

COMMUNICATING WITH  
CONSTRUCTION DRAWINGS

# UNDERSTANDING BLUEPRINTS

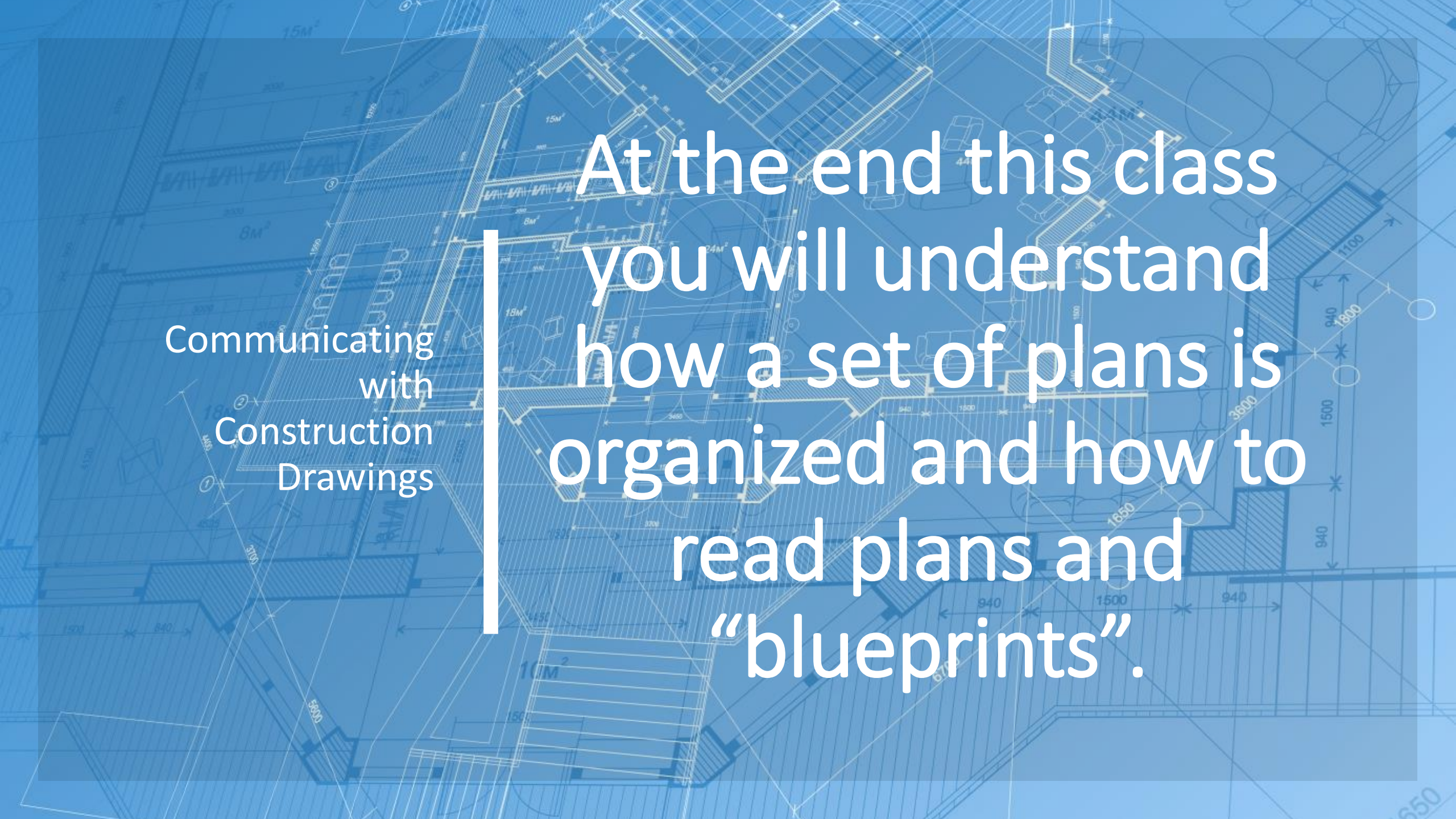
Communicating  
with  
Construction  
Drawings

This class is given by:

Roland A. Arriaga

Registered architect in FL, LA, MS, TX

35 + years experience in commercial,  
institutional, and residential architecture.



Communicating  
with  
Construction  
Drawings

At the end this class  
you will understand  
how a set of plans is  
organized and how to  
read plans and  
“blueprints”.



“A picture is worth  
a thousand words”

Frederick Barnard, 1921

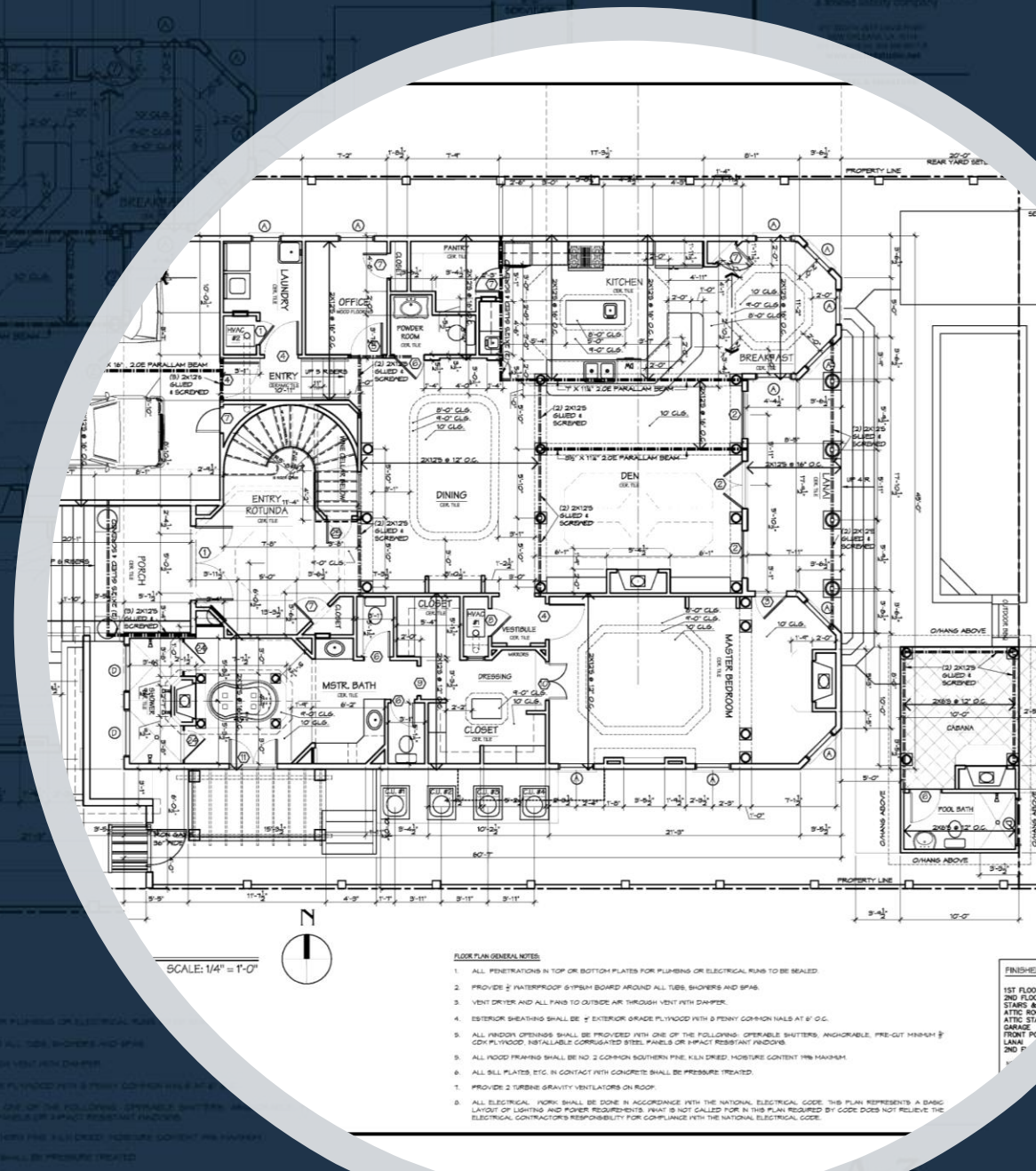
English illustrator and caricaturist attributed to his work on novels of Charles Dickens.

This statement clearly applies to construction drawings, otherwise known as “blueprints”, for none of the buildings you see today could be constructed accurately using only words to communicate design details.

The complexity of construction drawings can be conveyed with just a single still image.

# Introduction

- The complexity behind a single building can be translated into a set of construction drawings.
- Blueprints also known as construction drawings or working drawings are composites of several plans assembled into a set of drawings.
- Construction drawings are the main vehicle used in construction communication.
- Working Drawings are any drawings used as a basis for construction and includes all the necessary information concerning the size, shape, and materials used in a building.



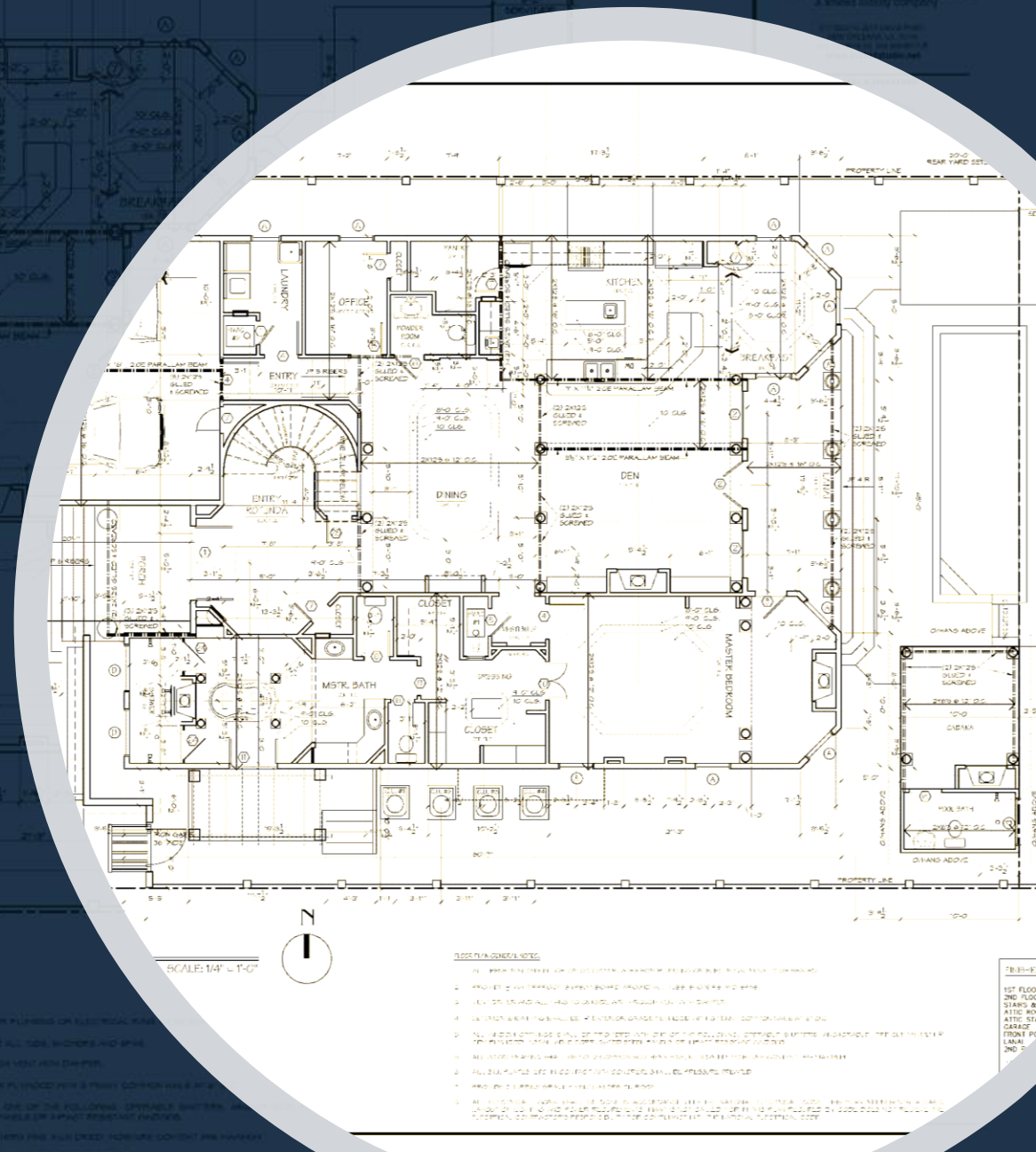
**FLOOR PLAN GENERAL NOTES:**

1. ALL PENETRATIONS IN TOP OR BOTTOM PLATES FOR PLUMBING OR ELECTRICAL RUNS TO BE SEALED.
2. PROVIDE 2" WATERPROOF GYP-SHM BOARD AROUND ALL TUBS, SHOWERS AND SPAS.
3. VENT DRYER AND ALL FANS TO OUTSIDE AIR THROUGH VENT WITH DAMPER.
4. EXTERIOR SHEATHING SHALL BE 1/2" EXTERIOR GRADE PLYWOOD WITH 3 PERRY GORHAM NAILS AT 8" O.C.
5. ALL WINDOW OPENINGS SHALL BE PROVIDED WITH ONE OF THE FOLLOWING: OPERABLE SHUTTERS, ANGIORABLE, PRE-GUT HURSHAM 3/4" CDX PLYWOOD, INSTALLABLE CORRUGATED STEEL PANELS OR IMPACT RESISTANT WINDOWS.
6. ALL WOOD FRAMING SHALL BE NO. 2 COMMON SOUTHERN PINE, KILN DRIED, MOISTURE CONTENT 19% MAXIMUM.
7. ALL SILL PLATES, ETC. IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
8. PROVIDE 2 TURBINE GRAVITY VENTILATORS ON ROOF.
9. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE. THIS PLAN REPRESENTS A BASIC LAYOUT OF LIGHTING AND POWER REQUIREMENTS. WHAT IS NOT CALLED FOR IN THIS PLAN REQUIRED BY CODE DOES NOT RELIEVE THE ELECTRICAL CONTRACTORS RESPONSIBILITY FOR COMPLIANCE WITH THE NATIONAL ELECTRICAL CODE.

FINISHED  
1ST FLOOR  
2ND FLOOR  
STAIRS &  
ATTIC NO.  
GARAGE  
FRONT PORCH  
LANA  
2ND FLOOR

# Why Construction Drawings?

- As buildings and the systems within them have become increasingly complex, so have the two-dimensional drawings that describe all the details of the project. From a simple residence to a large commercial building project, the same basic drawings and related information are required in order to obtain permits, estimate costs, establish a construction schedule, and ultimately construct the project.





COMMUNICATING WITH  
CONSTRUCTION DRAWINGS

**PART ONE**

**THE BASICS**

# SCALES

A knowledge of the scales on construction drawings is essential for the accurate interpretation of drawings. Three types of measuring scales are used in determining measurements in construction drawings:

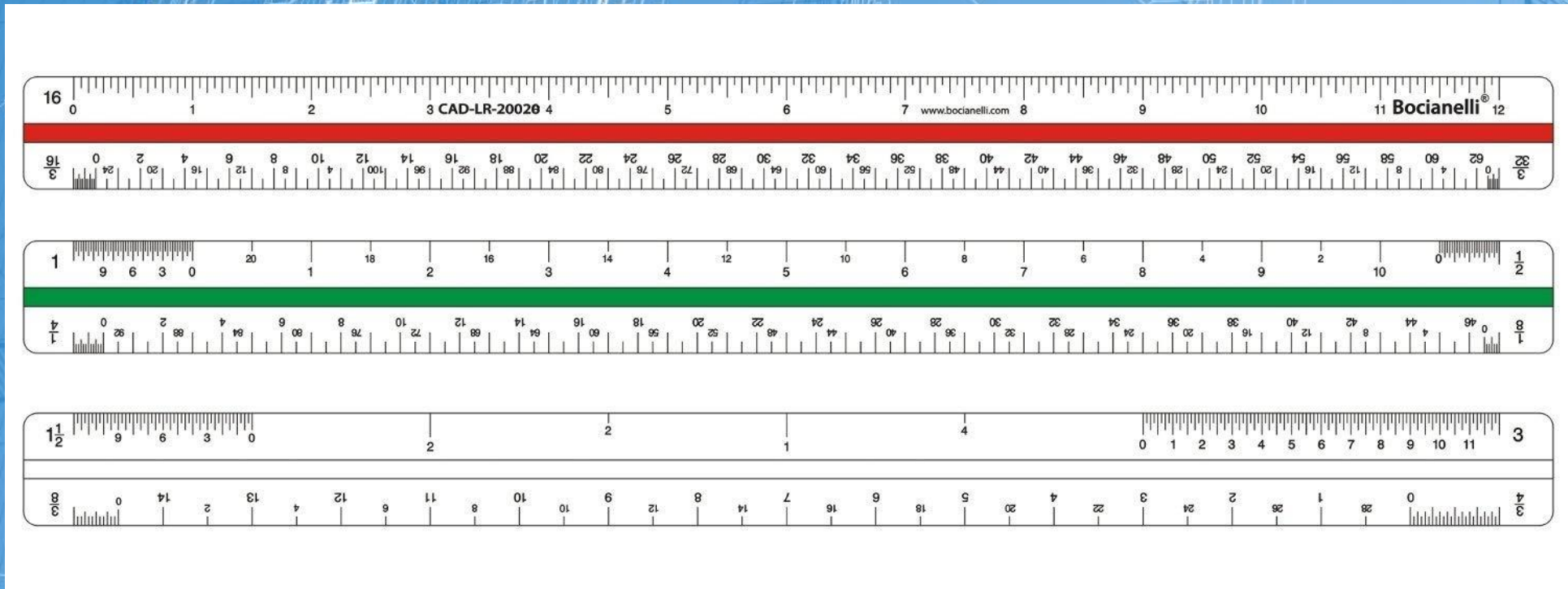
- Architect's SCALE
- Engineer's SCALE
- Metric SCALE





# The Architect's Scale

- Architect's scale is either triangular type or bevel type:



# Using the Architect's scale

Architect's scale combinations and sample measurements at different scales.

The triangular architect's scale contains 11 different scales. On ten of them, each inch represents a foot and is subdivided into multiples of 12 parts to represent inches and fractions of an inch.

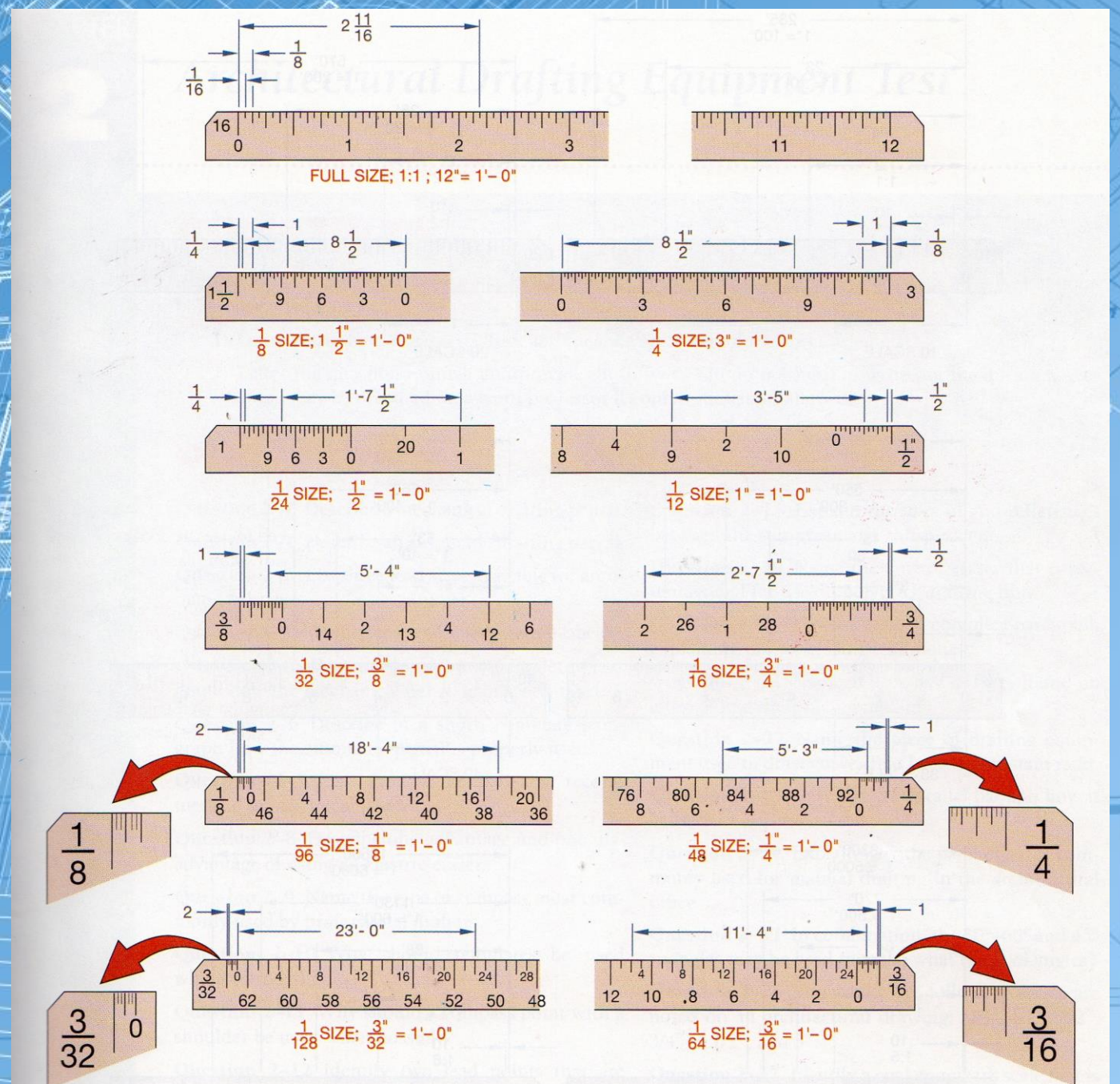
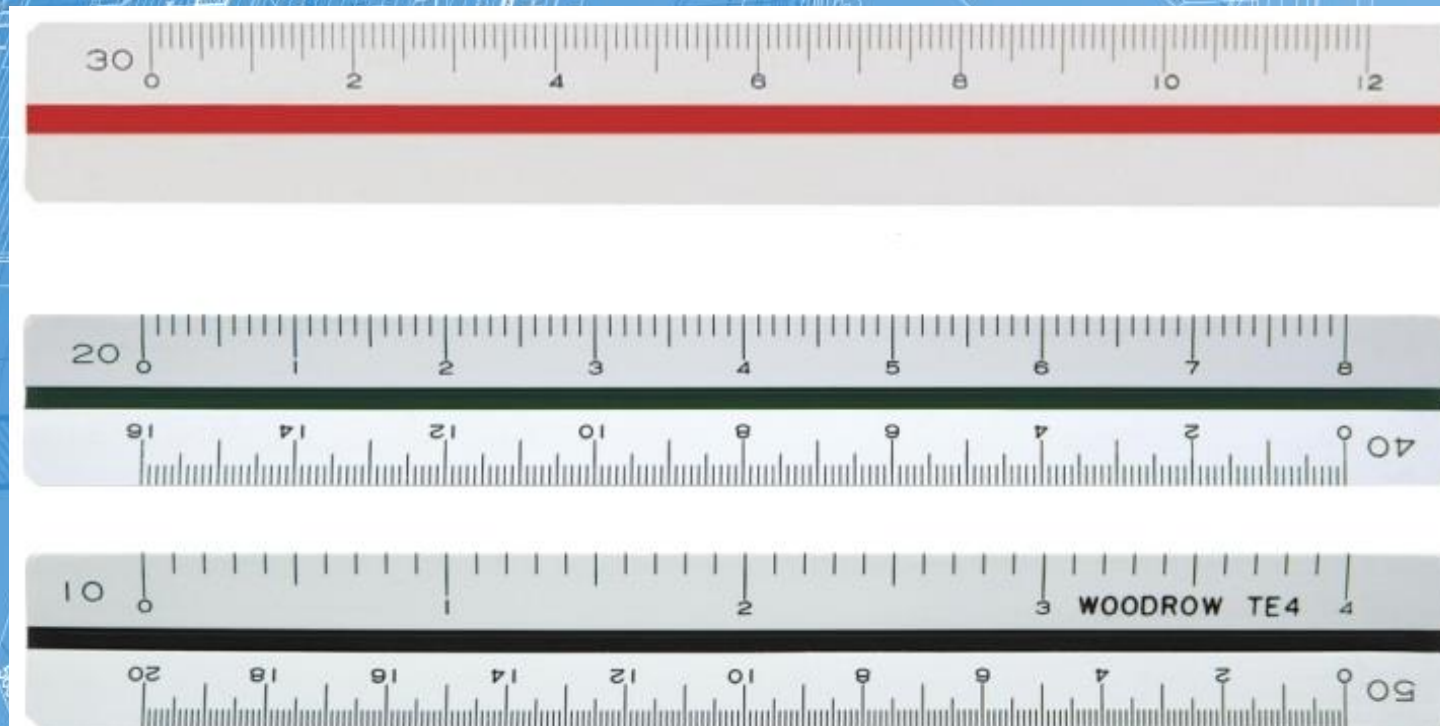


FIGURE 2.26 ■ Architect's scale combinations.

# The Engineer's Scale

- The Engineer's scale is either triangular type or bevel type:



# Using the Engineer's scale

Engineer's scale combinations and sample measurements at different scales.

The Engineer's Scale is often used for plot plans, surveys, and other large land tract plans.

The Engineer's Scale is calibrated in multiples of 10 with each space representing a foot.

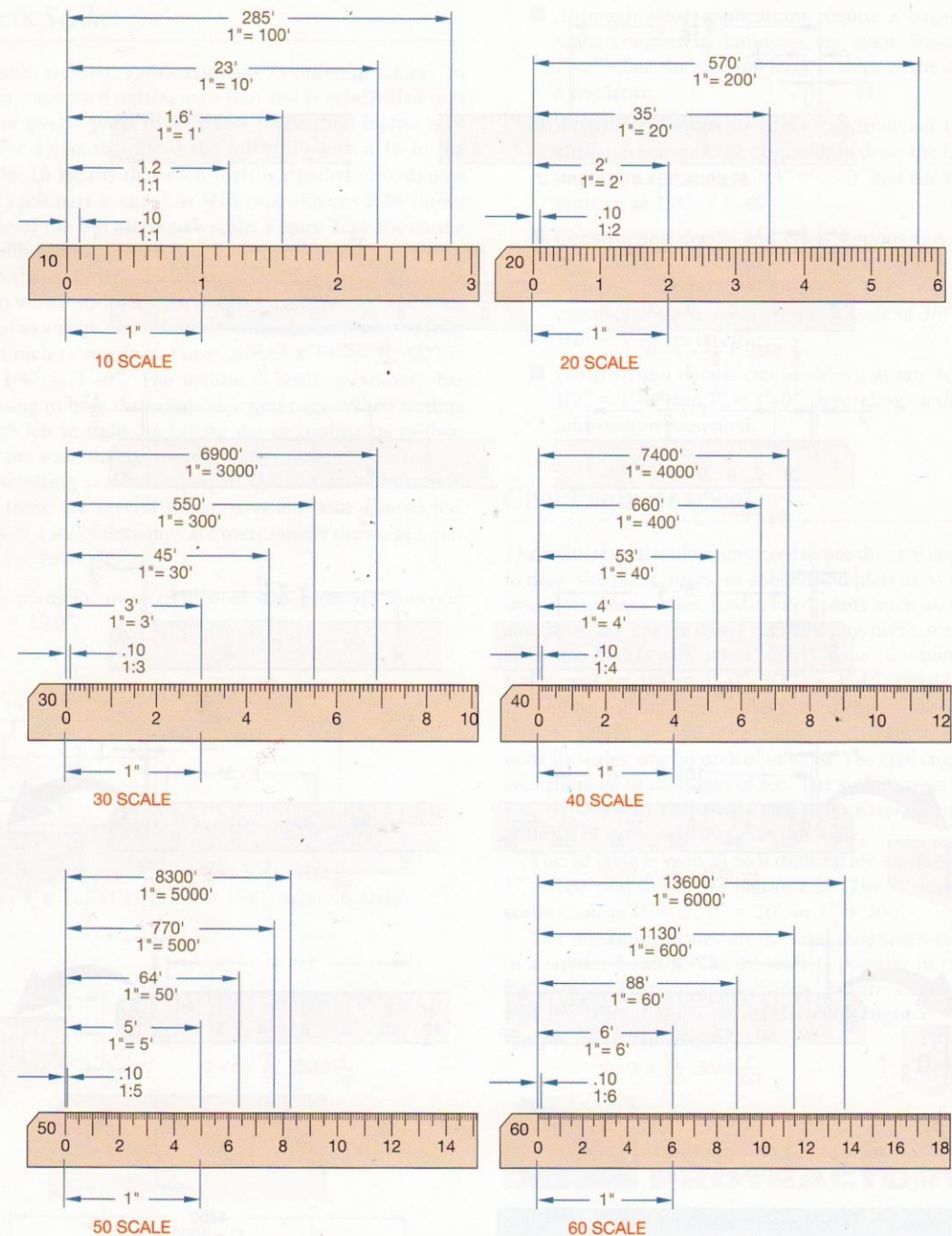











































FIGURE 2.28 ■ Civil engineer's scales and sample measurements at different scales.

# Architectural Blueprint Symbols & Lines

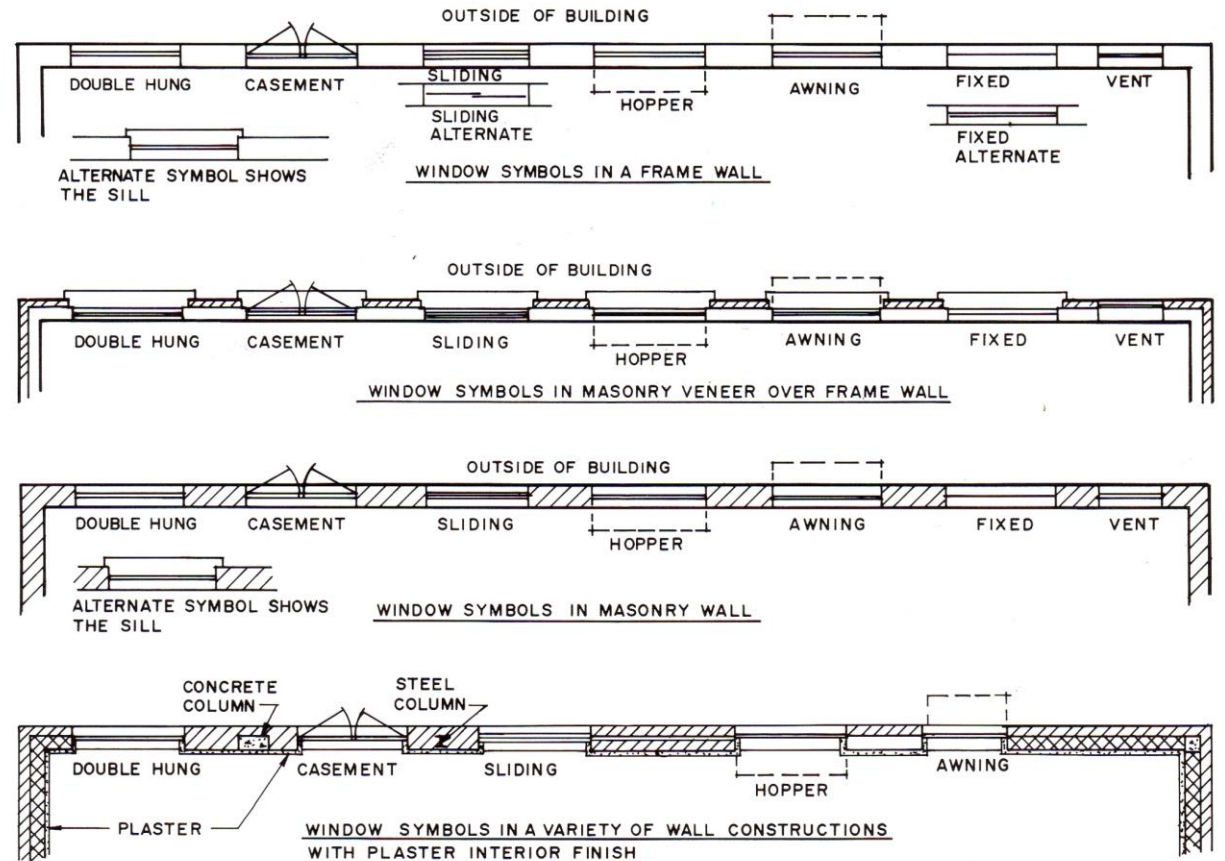
- Architects & Engineers use symbols for materials, plumbing fixtures, doors, windows, stairs, and walls.

	Shower		Spa Tub		Oval pedestal sink		Countertop
	Corner shower		Wall toilet with low-level cistern		Oval pedestal sink		Corner counter
	Corner bath		Toilet with built-in cistern		Pedestal sink Round freestanding sink that is usually placed against a wall		Cabinet
	Square Tub		Toilet		Pedestal sink Rectangular freestanding sink that is usually placed against a wall		Cabinet
	Bath Tub		Toilet		Basin that hangs from wall		Cabinet
	Built-in bath		Squat toilet		Double basin that hangs from wall		Medicine cabinet with single opening
	Freestanding bath		Bidet		Countertop sink		Medicine cabinet with double opening
			Double vanity sinks		Round sink		Toilet paper dispenser
					Vanity sink		Towel rack
					Corner sink		Towel rack with towel
					Hamper		Toilet paper holder
							Single light
							Double light
							3 light bar
							4 light bar

# Architectural Blueprint Symbols & Lines

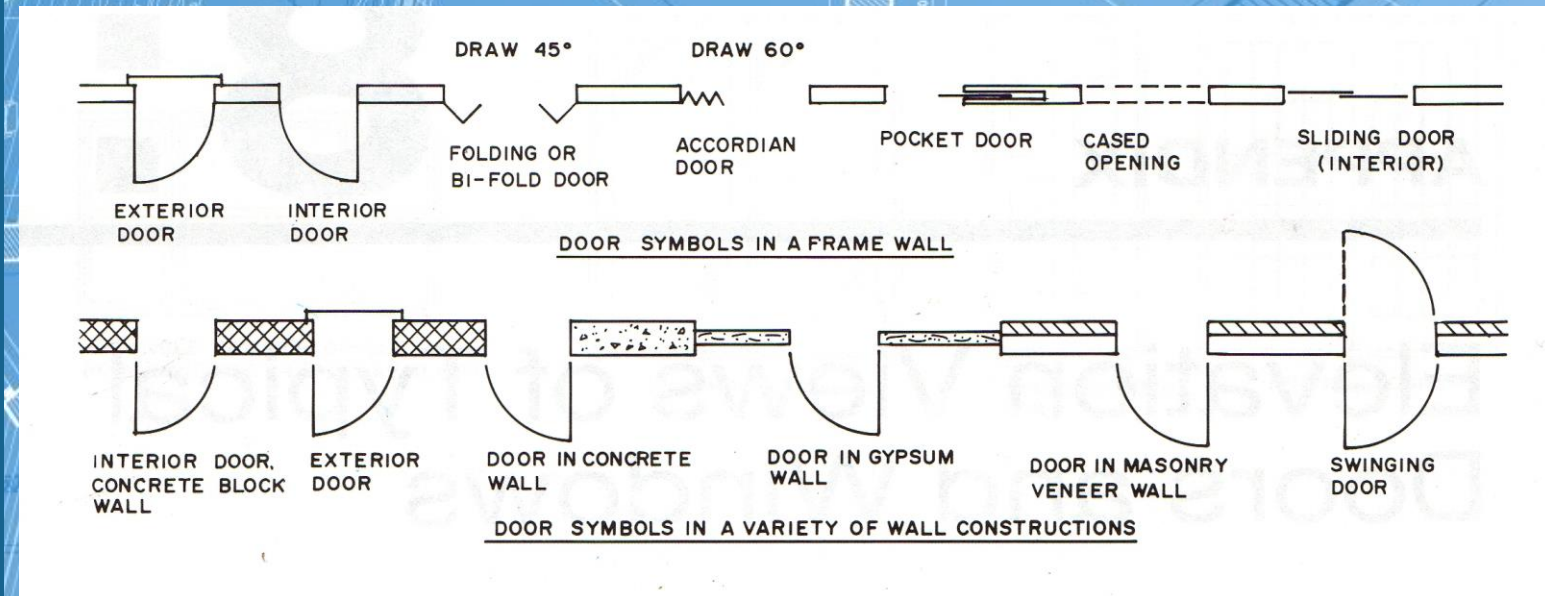
- Hundreds of abbreviations and symbols are used to convey building components such as doors, windows, and related information.

## Door and Window Symbols in Plan View



# Architectural Blueprint Symbols & Lines

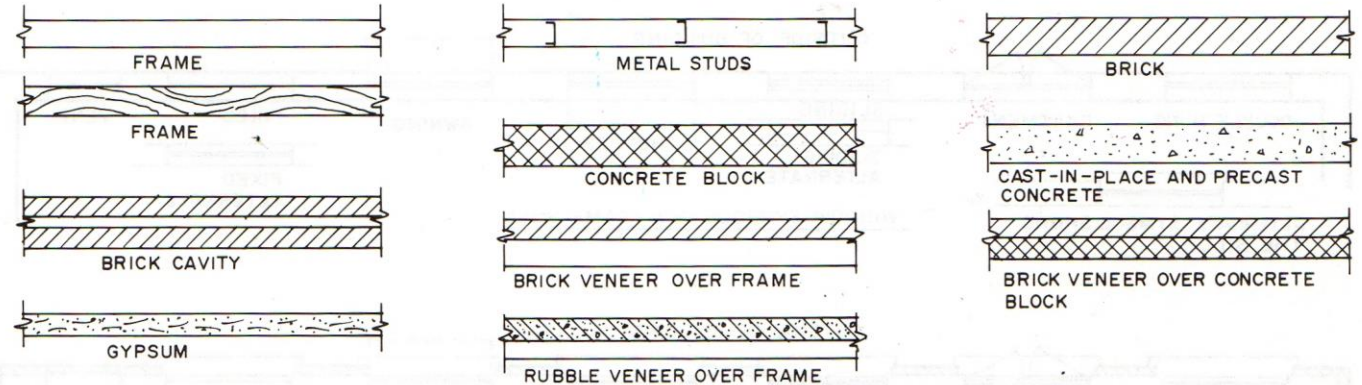
- Symbols provide a “common language” for plan reading through the US and abroad and they are created according to relevant standards and conventions.



# Architectural Blueprint Symbols & Lines

- Different types of lines are used on floor plans to show wall thicknesses. Walls are shown as two parallel lines.
- Each line type conveys a meaning in the way it is represented and its placement on the drawing.
- The addition of veneers and exterior material is shown with additional lines containing the symbol for the material used.

## Symbols for Walls In Section

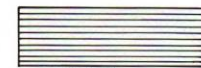




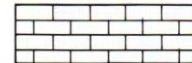
# Architectural Blueprint Symbols & Lines

- Architects and engineers use basic graphics to describe specific building elements and materials. For example, a masonry wall when viewed in section will normally be shown with a 45-degree cross-hatching through the wall. These standardized graphics help the architect, engineer and builder communicate more clearly.

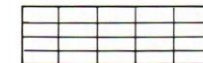
## Symbols for Materials in Elevation



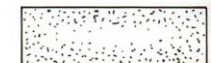
BRICK



CONCRETE BLOCK,  
RUNNING BOND



CONCRETE BLOCK,  
STACK BOND



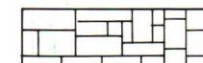
CONCRETE OR PLASTER



SPLIT STONE



SMOOTHED STONE



CUT STONE



RUBBLE STONE



MARBLE



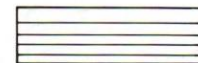
GLASS



FLASHING



PLYWOOD



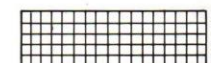
HORIZONTAL SIDING



VERTICAL SIDING



BOARD AND BATTEN OR  
VERTICAL GROOVE SIDING



CERAMIC TILE



ROOF SHINGLES

# Architectural Blueprint Symbols & Lines

- Symbols are typically standardized; abbreviations and symbols can differ from one architect or engineer to another and from one discipline to another.

THIN LINE USED TO INDICATE CENTERS AS CENTER LINE OF A BEAM OR COLUMN.

THICK LINE USED TO INDICATE PROPERTY LINE ON A SITE PLAN.

THIN LINE USED TO INDICATE HIDDEN FEATURES.

THIN LINE INDICATING A BREAK.

35'-6"  
A THIN LINE SERVING AS A DIMENSION LINE.

25'-9"  
AN EXTENSION LINE (THIN)

NOTE  
A FREEHAND LEADER

NOTE  
AN INSTRUMENT DRAWN LEADER

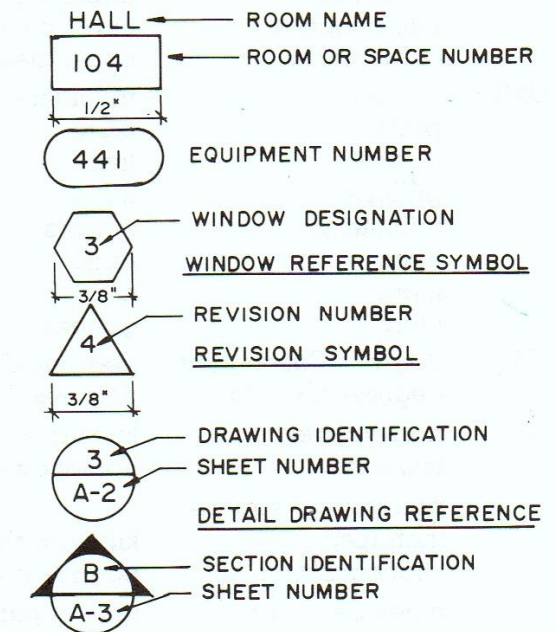
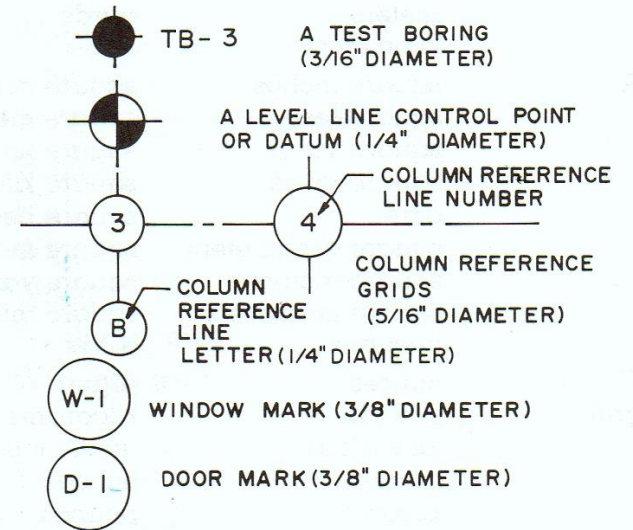
+ 35'-0" REQUIRED OR NEW ELEVATION POINT

+ 35'-0" EXISTING ELEVATION POINT ON SITE PLAN

1017.0  
CONTOUR LINE ON PLOT PLAN

1017.0  
ORIGINAL CONTOUR LINE ON SITE PLAN

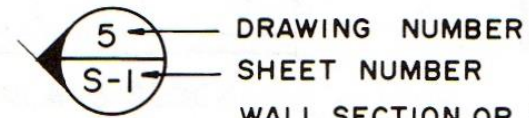
1016.0  
NEW CONTOUR ON SITE PLAN  
(SOME LETTER ELEVATION ABOVE CONTOUR LINE)



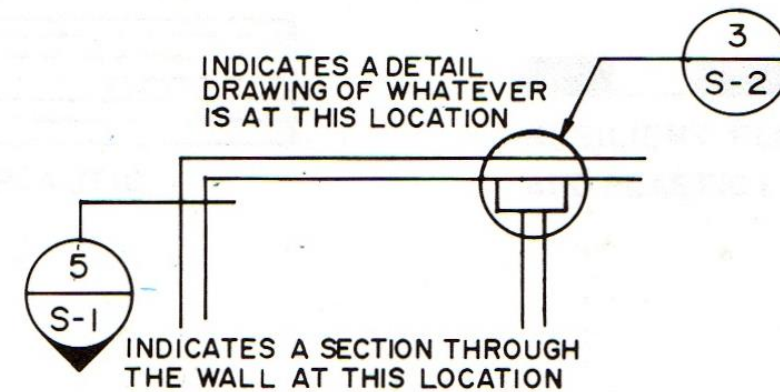
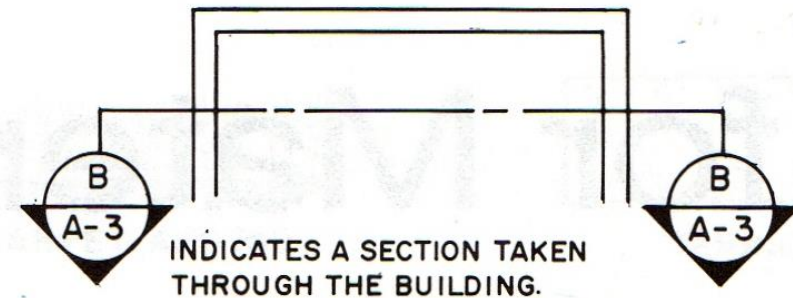
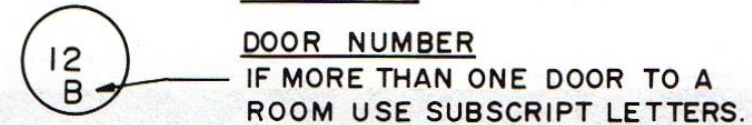
# Architectural Blueprint Symbols & Lines

- To clarify their intent, the architect provides a legend, typically on the first sheet, that relates the symbols and their intended meaning.

## BUILDING SECTION REFERENCE



## WALL SECTION OR ELEVATION REFERENCE














## DRAWING REFERENCE NUMBER EXAMPLES

# Architectural Blueprint Symbols & Lines

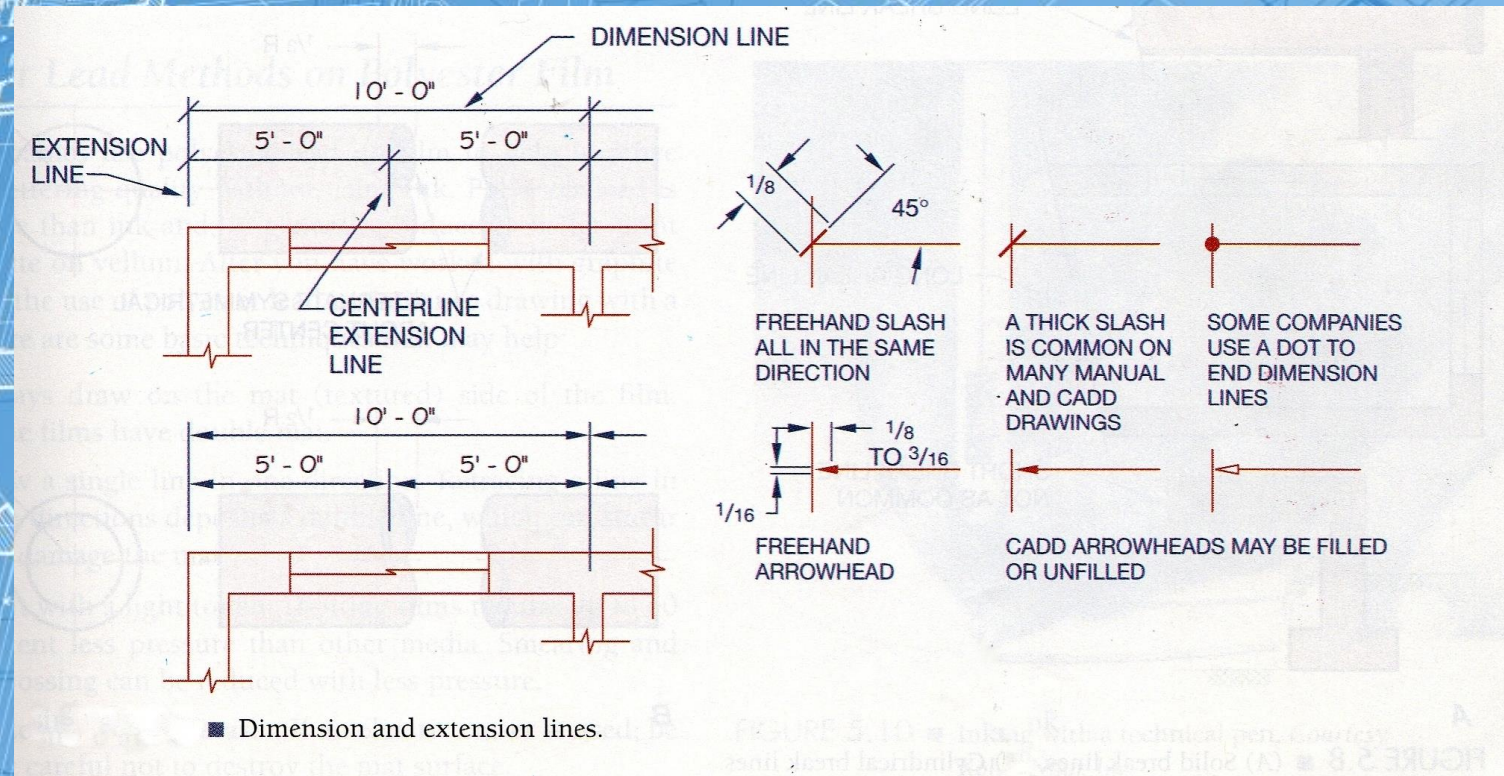
- Electrical symbols on power and lighting plans

## ELECTRICAL SYMBOLS

	CEILING OUTLET FIXTURE		SINGLE RECEPTACLE OUTLET		SINGLE-POLE SWITCH
	RECESSED OUTLET FIXTURE		DUPLEX RECEPTACLE OUTLET		DOUBLE-POLE SWITCH
	DROP CORD FIXTURE		TRIPLEX RECEPTACLE OUTLET		THREE-WAY SWITCH
	FAN HANGER OUTLET		QUADRUPLEX RECEPTACLE OUTLET		FOUR-WAY SWITCH
	JUNCTION BOX		SPLIT-WIRED DUPLEX RECEPTACLE OUTLET		WEATHERPROOF SWITCH
	FLUORESCENT FIXTURE		SPECIAL PURPOSE SINGLE RECEPTACLE OUTLET		LOW VOLTAGE SWITCH
	TELEPHONE		230 VOLT OUTLET		PUSH BUTTON
	INTERCOM		WEATHERPROOF DUPLEX OUTLET		CHIMES
	CEILING FIXTURE WITH PULL SWITCH		DUPLEX RECEPTACLE WITH SWITCH		TELEVISION ANTENNA OUTLET
	THERMOSTAT		FLUSH MOUNTED PANEL BOX		DIMMER SWITCH
	SPECIAL FIXTURE OUTLET A, B, C Etc.		SPECIAL DUPLEX OUTLET A, B, C Etc.		SPECIAL SWITCH A, B, C Etc.

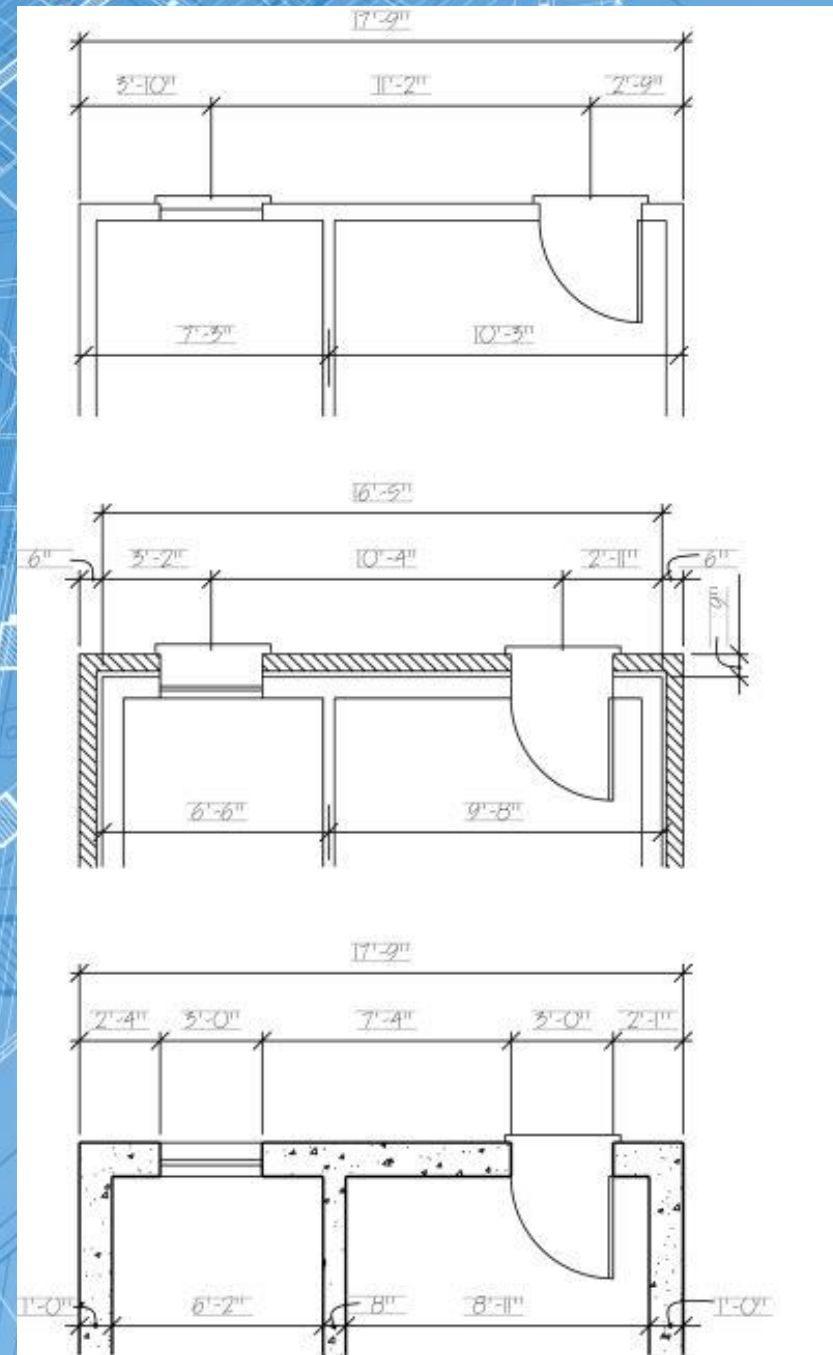
# Reading architectural dimensions

- Extension lines show the extent of a dimension.
- Dimension lines show the length of the dimension and terminate at the related lines with slashes, arrowheads, or dots.



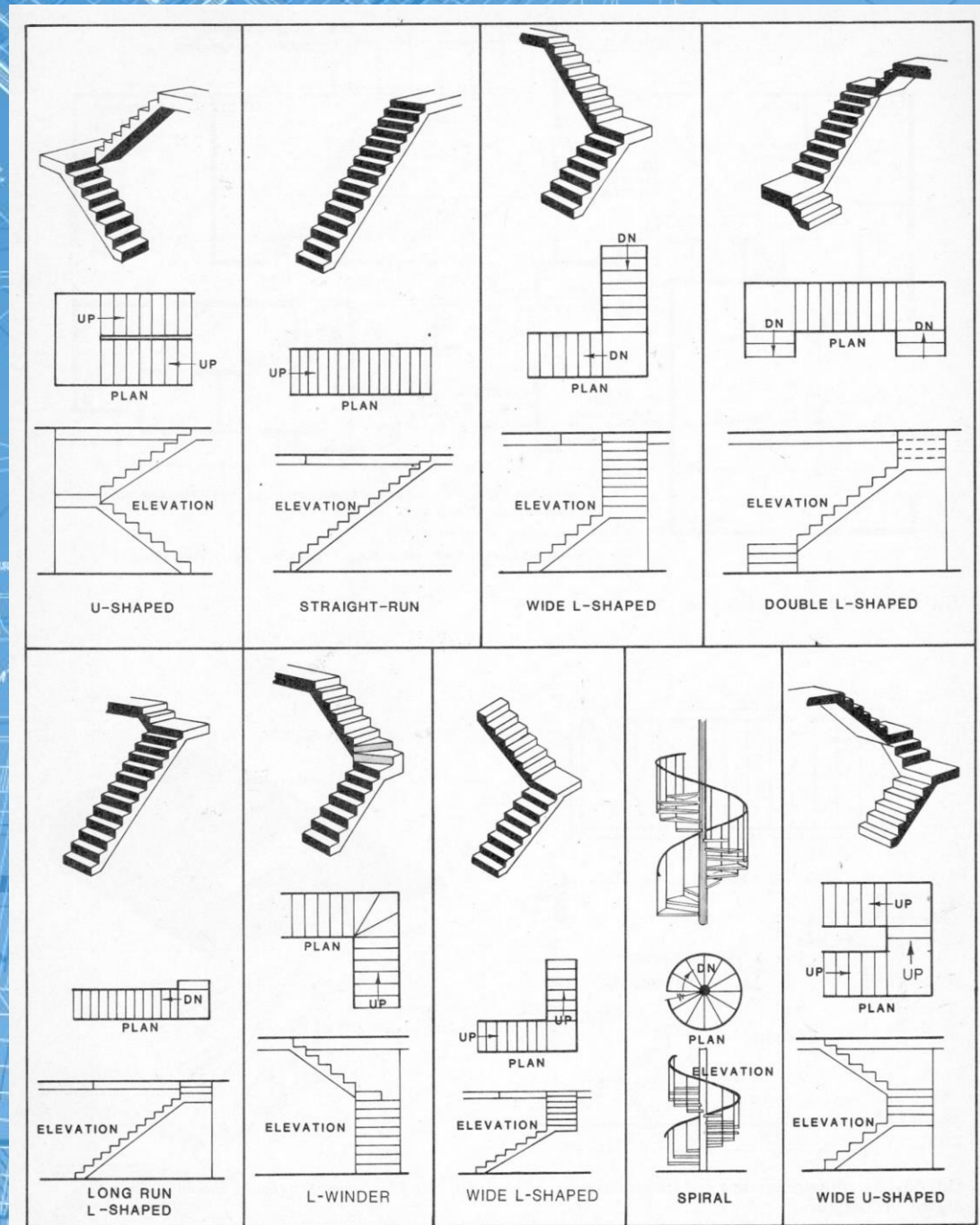
# Reading architectural dimensions

- Wood frame buildings are dimensioned from the face of exterior stud to the center of openings to the center of the interior stud.
- Masonry (units of brick, block or stone) are dimensioned to their edges.



# Stairs

- Stairs on plan will be drawn as a straight run, open, and U-shaped stair layouts.
- Masonry (units of brick, block or stone) are dimensioned to their edges.

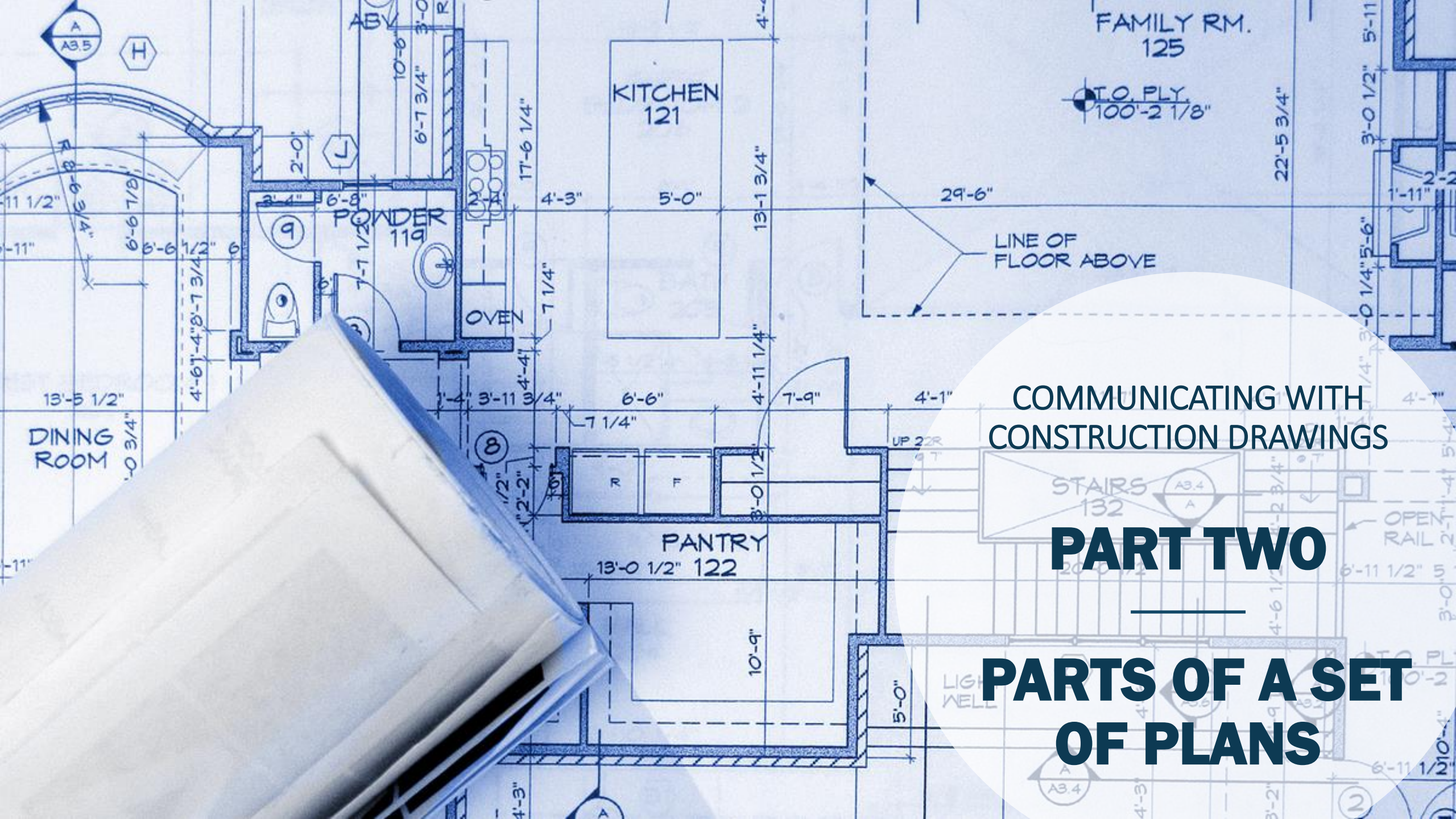




# Stairs

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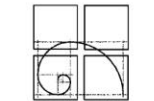
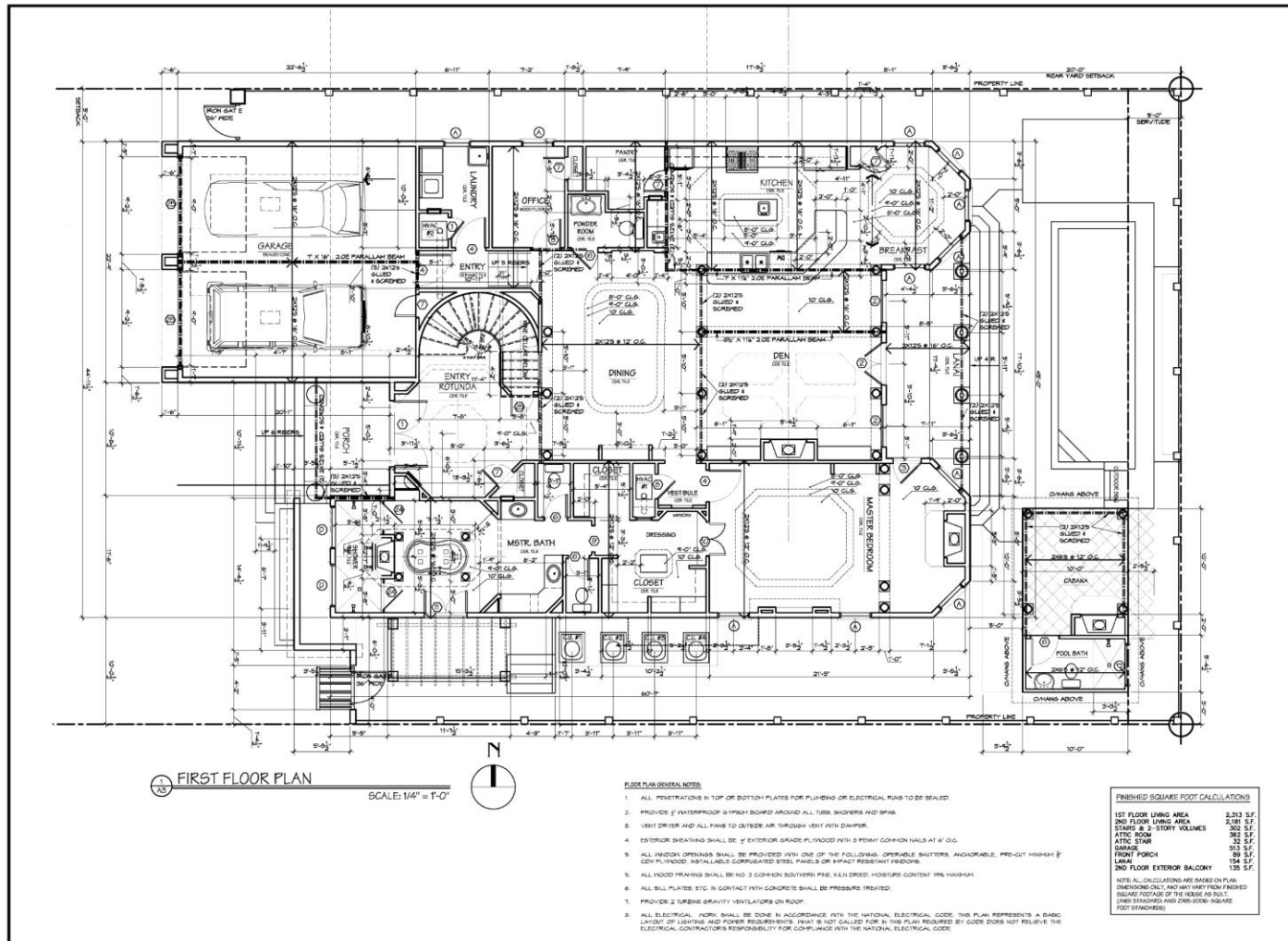


COMMUNICATING WITH  
CONSTRUCTION DRAWINGS

**PART TWO**

**PARTS OF A SET  
OF PLANS**

# Basic Parts of a Drawing sheet



Archi-Dinamica Architects  
 a limited liability company  
 271 SOUTH GUSTE DRIVE NORTH  
 NEW ORLEANS, LA 70119  
 NEW ORLEANS, LA 70119  
 www.archidinamica.net

PROFESSIONAL SEAL & SIGNATURE



These plans were prepared by me, or under my personal supervision and to the best of my knowledge comply with applicable building codes. We will not permit any other use of these plans.

130 MPH WIND LOAD ESTIMATION

I certify that these documents have been prepared in these drawings in accordance with the code and laws and to the best of my knowledge and belief and the requirements of the International Building Code, International Code Council 2006 Edition.

CONSULTANTS

EXPRESSION NOTES

The info contained in these drawings is the property of Archi-Dinamica Architects, LLC. Any party, except these documents, shall not be used or reproduced in any way without the written consent of Archi-Dinamica Architects, LLC.

**PROJECT NAME:**  
 NEW SINGLE FAMILY HOME  
 5663 BELLAIR DRIVE  
 NEW ORLEANS, LA  
 LOTS 23, SQUARE 7  
 7th DISTRICT, LAKEWOOD S.

**PROJECT NUMBER:**  
 10-000

**DATE:**  
 SEPT 15, 2010

**REVISIONS:**

**DRAWN BY:**  
 JSA, RAL

**CHECKED BY:**  
 RAL

**SHEET TITLE:**  
 FLOOR PLANS

**SHEET NUMBER:**  
 A-3

- FLOOR PLAN GENERAL NOTES:**
1. ALL PENETRATIONS IN TOP OR BOTTOM PLATES FOR PLUMBING OR ELECTRICAL PIPES TO BE SEALED.
  2. PROVIDE 2" WATERPROOF & WASH BOARD AROUND ALL TUBS, SHOWERS AND SPAS.
  3. VENT DOWN AND ALL PIPES TO OUTSIDE AIR THROUGH VENT DOWNS.
  4. EXTERIOR SEALING SHALL BE 2" EXTERIOR GRADE PLYWOOD WITH 5 POUND GYPSUM HALLS AT 4" O.C.
  5. ALL WINDOW OPENINGS SHALL BE PROVIDED WITH ONE OF THE FOLLOWING: OPERABLE SHUTTERS, ADJUSTABLE, PRE-CUT WOODS & COV PLYWOOD, INSTALLABLE CORRUGATED STEEL PANELS OR IMPACT RESISTANT WINDOWS.
  6. ALL WOOD FRAMING SHALL BE NO. 2 GRADH SOUTHERN PINE, KILN DRIED, HIGHEST CONTENT WITH HAVENSH.
  7. ALL SILL PLATES, ETC. IN CONTACT WITH CONCRETE SHALL BE PRESSURE TREATED.
  8. PROVIDE 2" RUBBER GASKET VENTILATORS ON ROOF.
  9. ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE. THIS PLAN REPRESENTS A BASIC LAYOUT OF LIGHTING AND POWER REQUIREMENTS. PRINT IS NOT CALLED FOR IN THIS PLAN. REQUIRED BY CODE DOES NOT RELIEVE THE ELECTRICAL CONTRACTOR'S RESPONSIBILITY FOR COMPLIANCE WITH THE NATIONAL ELECTRICAL CODE.

**FINISHED SQUARE FOOT CALCULATIONS**

1ST FLOOR LIVING AREA	2,310 S.F.
2ND FLOOR LIVING AREA	2,180 S.F.
2ND FLOOR BED ROOM	360 S.F.
2ND FLOOR BATH	360 S.F.
2ND FLOOR PORCH	80 S.F.
2ND FLOOR BALCONY	130 S.F.
<b>TOTAL</b>	<b>5,320 S.F.</b>

NOTE: ALL CALCULATIONS ARE BASED ON PLAN DIMENSIONS ONLY AND MAY VARY FROM FINISHED SQUARE FOOTAGE OF THE HOUSE AS BUILT. THESE DIMENSIONS AND FINISHED SQUARE FOOT STAMPS ARE FOR INFORMATION ONLY.

A residential drawing set is composed of 8 major types of drawings.

- Title Sheet
- Project Information Sheet
- Site Plan
- Foundation Plan
- Floor Plans
- Exterior Elevations
- Electrical & Lighting Plan
- Building Sections & Construction Details.

Sometimes Landscape, HVAC, and Plumbing Plans are included in the drawing set for public bid projects.





# 1036 BROOKLYN STREET

NEW SINGLE FAMILY HOME FOR  
SEAN MURPHY & ALLISON MANKER  
NEW ORLEANS, LA.

**REVISED PERMIT READY SET**  
OCT. 14, 2019 REVISED PERMIT SET

INDEX OF DRAWINGS	
SHEET NO.	DESCRIPTION
A-1	TITLE SHEET
A-2	PROJECT INFORMATION
A-3	FOUNDATION PLAN & DETAILS
A-4	SITE PLAN, FLOOR PLANS
A-5	ROOF PLAN, OUTDOOR STAIR DETAIL, SCHEDULES
A-6	FRAMING PLANS
A-7	ELECTRICAL, POWER & LIGHTING PLANS
A-8	3D VIEWS
A-9	EXTERIOR ELEVATIONS
A-10	BUILDING SECTIONS AND DETAILS



103 & JEFFERSON DRIVE SUITE 100  
NEW ORLEANS, LA 70119  
504-586-8888  
www.a-darchitects.com

PROFESSIONAL SEAL & SIGNATURE



10-11-2019

These plans were prepared to the best of my skill and knowledge and I am not responsible for any errors or omissions that may occur in the construction of the project.

**130 MPH WIND LOAD CERTIFICATION:**  
I hereby certify that the design of this building is in accordance with the provisions of ASCE 7-10 and the requirements of the International Residential Code, 2015 Edition.

CONSULTANTS:

**COPYRIGHT NOTICE:**  
The data included in these drawings constitute proprietary information of:  
ARCH-DYNAMICA ARCHITECTS, LLC

Any data appearing on these drawings shall be in accordance with the provisions of ASCE 7-10 and the requirements of the International Residential Code, 2015 Edition. The owner shall be responsible for any errors or omissions that may occur in the construction of the project.

**PROJECT:**  
NEW SINGLE FAMILY HOME FOR  
SEAN MURPHY & ALLISON MANKER  
1036 BROOKLYN AVE.  
NEW ORLEANS, LA.

**PROJECT NUMBER:**  
19-012

**DATE:**  
OCT. 11, 2019

**REVISIONS:**


**DRAWN BY:**  
RALUSA

**CHECKED BY:**  
JSA

**SHEET TITLE:**  
TITLE SHEET

**SHEET NUMBER:**  
A-1

**STATEMENT OF RESPONSIBILITY**

I certify that I have performed the design described in these drawings in accordance with 130 mph wind load (R301.2.14) and in compliance with ASCE 7-10 and the requirements of the International Residential Code, 2015 Edition.



10-11-2019

103.2.1: I HAVE RESEARCHED THE BUILDING AND RELATED CONSTRUCTION CODES OF THE CITY OF NEW ORLEANS (ARRANGEMENTS) AND THE LOUISIANA STATE UNIFORM CONSTRUCTION CODE AND TO THE BEST OF MY KNOWLEDGE AND BELIEF THESE DRAWINGS ARE IN COMPLIANCE THEREWITH. I TAKE FULL RESPONSIBILITY FOR THE CONTENT OF THESE PLANS. I WILL NOT ADMINISTER/OVERSEER CONSTRUCTION.



10-11-2019

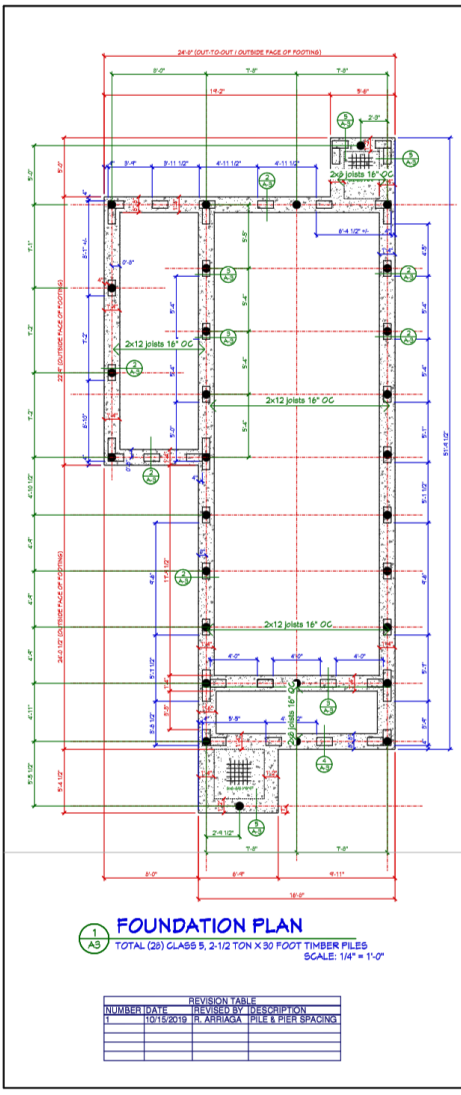
ROLAND A. ARRAGA, ARCHITECT LIC. NO. 3893 - LA  
ARCH-DYNAMICA ARCHITECTS, LLC

# Title Sheet

- The Title Sheet contains
- Sheet index
  - Rendering of project
  - Title of project
  - Responsibility Statements

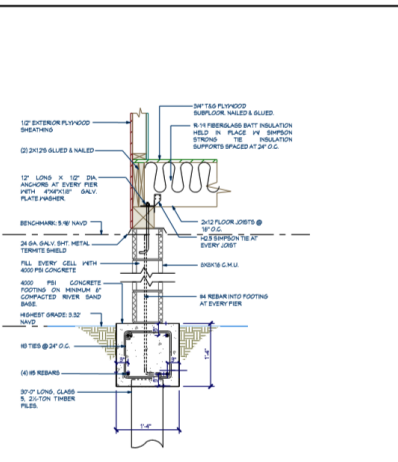






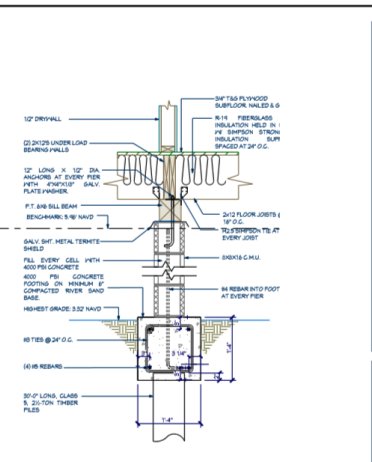
**FOUNDATION PLAN**  
 TOTAL (26) CLASS 5, 2-1/2 TON X 30 FOOT TIMBER PILES  
 SCALE: 1/4" = 1'-0"

REVISION	DATE	DESCRIPTION
1	10/15/2014	ISSUE FOR PERMITS

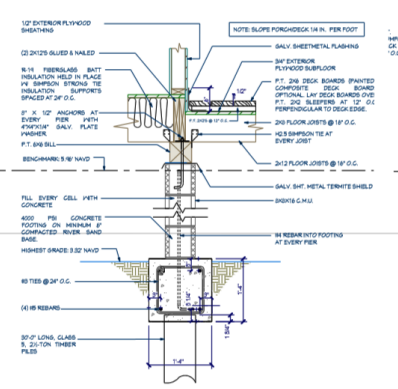


**2 OUTER PIER DETAIL**  
 SCALE: 1" = 1'-0"

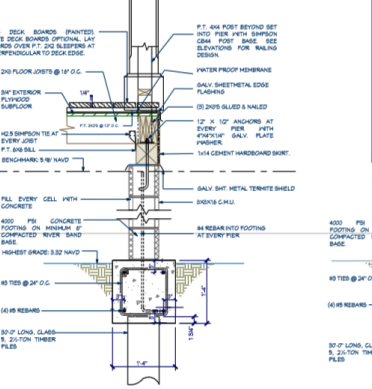
CITY OF NEW ORLEANS PILE ZONE GM-3, CLASS 5, 30 FOOT LONG TIMBER PILES, 2 1/2 - TON DESIGN LOAD. PILE DRIVING COMPANY TO PROVIDE TEST PILE REPORT TO OWNER PRIOR TO DRIVING PILES.



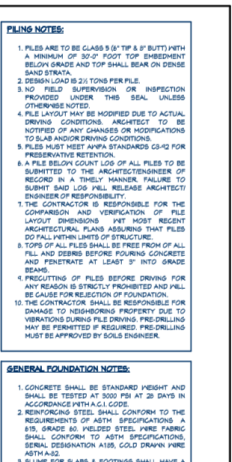
**3 CENTER PIER DETAIL**  
 SCALE: 1" = 1'-0"



**4 PORCH DETAIL**  
 SCALE: 1/4" = 1'-0"



**5 PORCH DETAIL**  
 SCALE: 1" = 1'-0"



**6 STAIR SLAB DETAIL**  
 SCALE: 1" = 1'-0"

**PLANNING NOTES:**

- PILES ARE TO BE CLASS 5 2 1/2" TP & 3" BUTT WITH A MINIMUM OF 30" FOOT TOP EXPOSED BELOW GRADE AND TOP SHALL BEAR ON DENSE SAND STRATA.
- DESIGN LOAD IS 2 1/2 TONS PER PILE.
- NO FIELD SUPERVISION OR INSPECTION PROVIDED UNDER THIS SEAL UNLESS OTHERWISE NOTED.
- PILE LAYOUT MAY BE MODIFIED DUE TO ACTUAL DRIVING CONDITIONS. ARCHITECT TO BE NOTIFIED OF ANY CHANGES OR MODIFICATIONS TO PLAN AND/OR DRIVING CONDITIONS.
- PILES MUST MEET AWWA STANDARDS C5-02 FOR PRESERVATION RETENTION.
- A PILE BELONGING TO A GROUP OF PILES TO BE SUBMITTED TO THE ARCHITECT/ENGINEER OF RECORD IN A TIMELY MANNER, FAILING TO DO SO SHALL BE AT THE CONTRACTOR'S RISK.
- THE CONTRACTOR IS RESPONSIBLE FOR THE COMPARISON AND VERIFICATION OF FILE LAYOUT DIMENSIONS WITH MOST RECENT ARCHITECTURAL PLANS ASSURING THAT PILES DO NOT FALL WITHIN LIMITS OF STRUCTURE.
- TOPS OF ALL PILES SHALL BE FREE FROM ALL FILL AND DEBRIS BEFORE POURING CONCRETE AND FOOTINGS AT LEAST 3" INTO GRADE BEAMS.
- PRESUITING OF PILES BEFORE DRIVING FOR ANY REASON IS STRICTLY PROHIBITED AND WILL BE CAUSE FOR REJECTION OF FOUNDATION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO NEIGHBORING PROPERTY DUE TO VIBRATIONS DURING PILE DRIVING. PRE-DRILLING MAY BE PERMITTED IF REQUIRED. PRE-DRILLING MUST BE APPROVED BY SOILS ENGINEER.

**GENERAL FOUNDATION NOTES:**

- CONCRETE SHALL BE STANDARD WEIGHT AND SHALL BE TESTED AT 3000 PSI AT 28 DAYS IN ACCORDANCE WITH A.C.I. CODE.
- REINFORCING STEEL SHALL CONFORM WITH THE REQUIREMENTS OF ASTM SPECIFICATIONS. A 60K GRADE IS PREFERRED. STEEL WIRE FABRIC SHALL CONFORM TO ASTM SPECIFICATIONS. SERIAL DESIGNATION A108, COLD DRAWN WIRE, ASTM A108.
- SUMP FOR SLABS & FOOTINGS SHALL HAVE A MINIMUM SLUMP OF 4" AND A MINIMUM OF 3" SUMP.
- FILL UNDER SLAB & FOOTINGS SHALL BE GRADED SAND (RIVER OR SPILLWAY PUMP SAND) OR GRAVEL OF MINIMUM THICKNESS SHOWN ON DRAWINGS. ALL FILL SHALL BE COMPACTED TO 95% DENSITY.
- FORMS FOR CONCRETE SHALL BE NO 3 CORONAL GRADE OR BETTER. FORMS SHALL BE BUILT TRUE TO LINE AND GRADE SHALL BE HORIZONTAL. TRIM AND SUFFICIENTLY RIGID TO PREVENT DISPLACEMENT OR SAGGING BETWEEN SUPPORTS.
- UNDER ALL CONCRETE FLOORS PROVIDE (1) LAYER OF 3/8" THICK PLASTIC SHEET (MIGUENED) BETWEEN FILL AND CONCRETE. LAP ALL JOINTS AT LEAST 6" HIGHER. SEALING OF JOINTS IS REQUIRED OVER SAND FILL.
- ALL CONCRETE SHALL BE SCAFFERED LEVEL. SURFACE SHALL BE FLATTED AND TROWELED TO A SMOOTH SUPERFICIAL SURFACE FREE OF TROUBLE SPOTS.
- CURING COMPOUND SHALL BE APPLIED IMMEDIATELY AFTER TROWELING. COMPOUND SHALL BE "NON-RESINIOUS KURE 8 SEAL" OR EQUAL.
- EXTERIOR SLABS AND WALLS SHALL BE LIGHTLY BRUSHED AFTER FINAL TROWELING TO PRECLUDE A NON-SMOOTH SURFACE FINISH.
- TERMINATE TREATMENT.
- ALL BUILDING SLAB AREAS SHALL BE CHEMICALLY TREATED TO PROTECT AGAINST SUBSERMINAN. TREATMENT PRESENTATION PRIOR TO INSTALLATION BARRIER BUT AFTER FINAL GRADING OF SOIL BASE MATERIAL. PROVIDE HANDBOOK AGAINST TERMITES DAMAGE FOR A PERIOD OF ONE (1) YEAR FROM DATE OF BUILDING ACCEPTANCE BY OWNER.



These plans were prepared by the office under the direct supervision and in the presence of the undersigned professional engineer. The work was performed in accordance with the requirements of the International Professional Code, 601.0100.

100 MPH WIND LOAD DETERMINATION  
 A 100 MPH WIND SPEED WAS ASSUMED FOR THE DETERMINATION OF THE WIND LOADS. THE WIND SPEED WAS DETERMINED BY THE REQUIREMENTS OF THE INTERNATIONAL PROFESSIONAL CODE, 601.0100.

CONTRACTOR NOTES:  
 The area indicated in these drawings is intended to be used for the installation of the foundation system. The contractor shall be responsible for the proper installation of the foundation system.

PROJECT NUMBER:  
 NEW SINGLE FAMILY HOME FOR BEAN MURPHY & ALLISON MANEY, 1038 BROOKLYN AVE, NEW ORLEANS, LA.

PROJECT NUMBER:  
 19-012

DATE:  
 OCT. 11, 2019

REVISIONS:

DRAWN BY:  
 RAL/JSA

CHECKED BY:  
 JSA

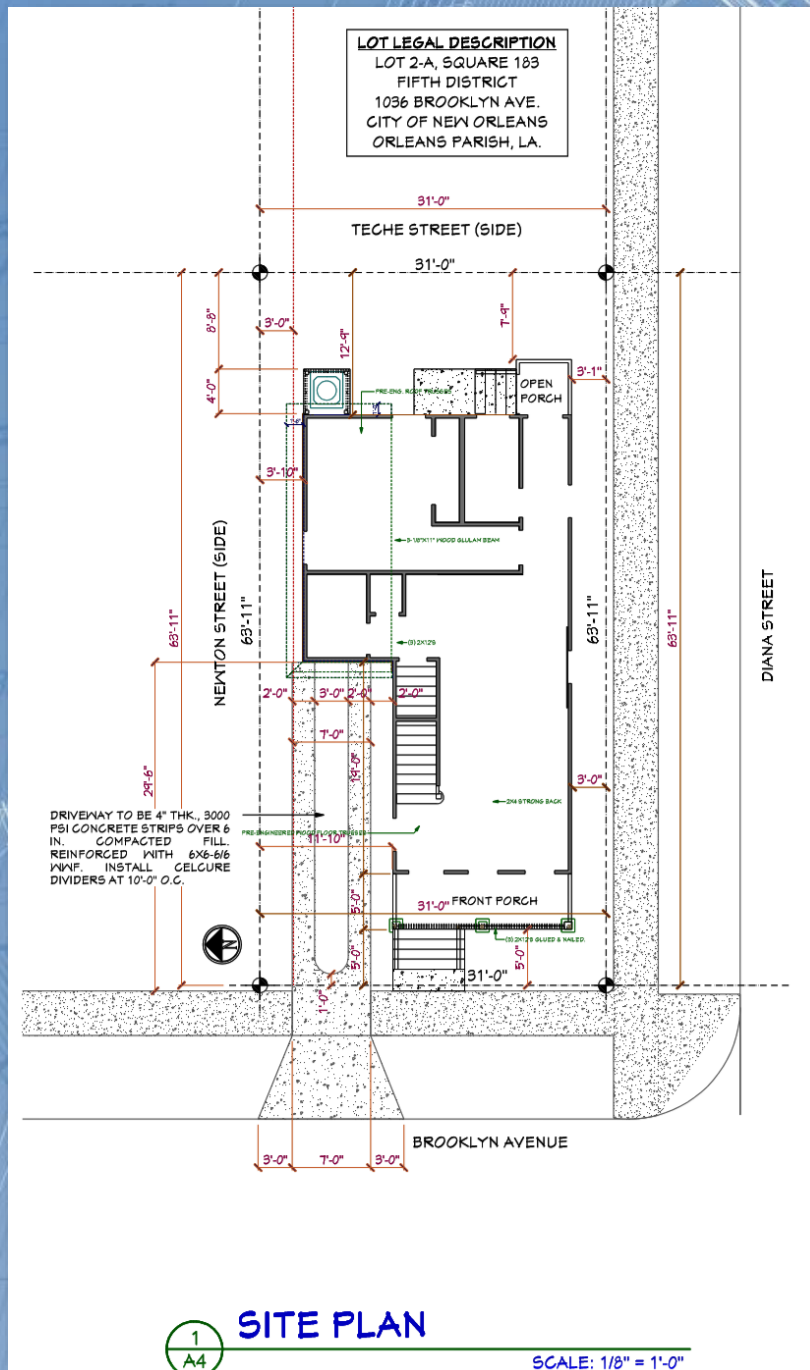
SHEET TITLE:  
 FOUNDATION PLAN & FOUNDATION DETAILS

SHEET NUMBER:  
 A-3

# Raised Foundation

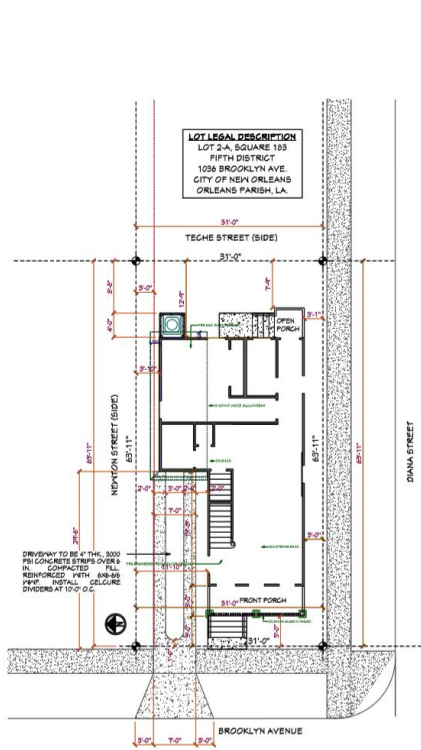
The Raised Foundation Plan shows an elevation structure above the Base Floor Elevation. Typically a raised foundation is called a pier are constructed with concrete cinder blocks.

# Site Plan

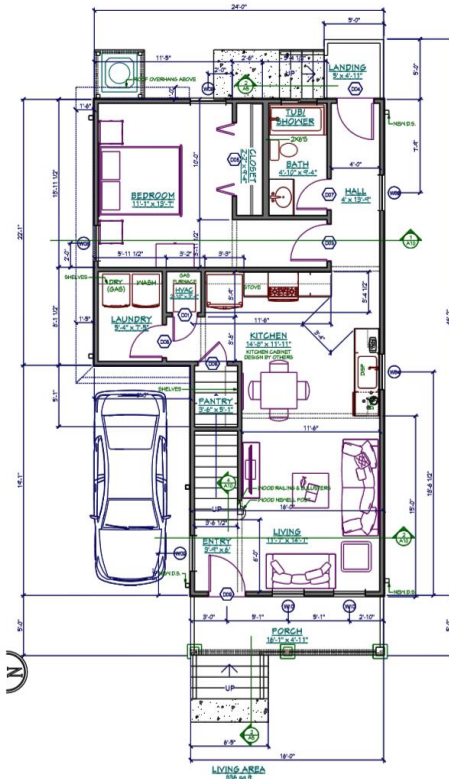


The Site Plan locates the building 'footprint' on the actual site and describes the required site work. The Site Plan shows sidewalks, driveways, flatwork, and all details related to site work.

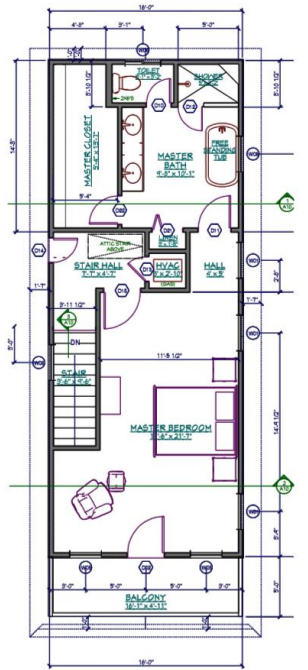




**1 SITE PLAN**  
 SCALE: 1/8" = 1'-0"



**1 FIRST FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"



**2 SECOND FLOOR PLAN**  
 SCALE: 1/4" = 1'-0"

**PERMEABLE OPEN SPACE CALCULATIONS:**

- ZONING: S-RD (SUBURBAN TWO-FAMILY RESIDENTIAL DISTRICT)
- LOT AREA: 1981.4 S.F.
- TOTAL IMPERVIOUS SURFACE AREA: 1037.8 (INCLUDES ROOF OVERHANGS, COVERED PORCHES, STEPS, C.U. PLATFORMS)
- DRIVEWAY COVERAGE = 119 S.F.
- TOTAL IMPERVIOUS SURFACE COVERAGE = 1156.85 S.F.
- TOTAL OPEN SPACE ON LOT = 1981.4 - 1156.8 = 824.6 S.F.
- OPEN SPACE RATIO = 824.6 / 1156.8 = 0.71
- TOTAL OPEN SPACE = 824.6 S.F. (70%) > 594.4 S.F. (30%)

**AREA CALCULATIONS**

1ST FLOOR LIVING AREA	842 SF
2ND FLOOR LIVING AREA	624 SF
TOTAL LIVING AREA	1466 SF
FRONT PORCH	82 SF
2ND FLOOR BALCONY	82 SF
TOTAL UNDER ROOF	1630 SF

NOTE: ALL CALCULATIONS ARE BASED ON PLAN DIMENSIONS ONLY AND MAY VARY FROM FINISHED SQUARE FOOTAGE OF THE HOUSE AS BUILT. (ANSI Z390-2008 SQUARE FOOT STANDARDS)



10 MPH WIND LOAD VERIFICATION:  
 VERIFY THAT THESE LOADS MEET THE DESIGN REQUIREMENTS IN THESE AREAS: IN ACCORDANCE WITH 100 MPH WIND SPEED PER ASCE 7-10 AND 100 MPH WIND SPEED PER THE INTERNATIONAL RESIDENTIAL CODE, 2012 EDITION.

COMMENTS:

EXPRESSION NOTES:  
 THE SETS SHOWN IN THESE DRAWINGS REPRESENT PRELIMINARY PLANS.  
 ARCHITECTURE: RALUISA, LLC  
 ANY COPYING THESE DRAWINGS OR ANY PART THEREOF WITHOUT THE WRITTEN CONSENT OF ARCHITECT RALUISA, LLC IS STRICTLY PROHIBITED.  
 PROJECT NAME:  
 NEW SINGLE FAMILY HOME FOR SEAN MURPHY & ALLISON MANNING  
 1036 BROOKLYN AVE.  
 NEW ORLEANS, LA.

PROJECT NUMBER:  
 19-012

DATE:  
 OCT. 11, 2019

REVISIONS:

DRAWN BY:  
 RALUISA

CHECKED BY:  
 JSA

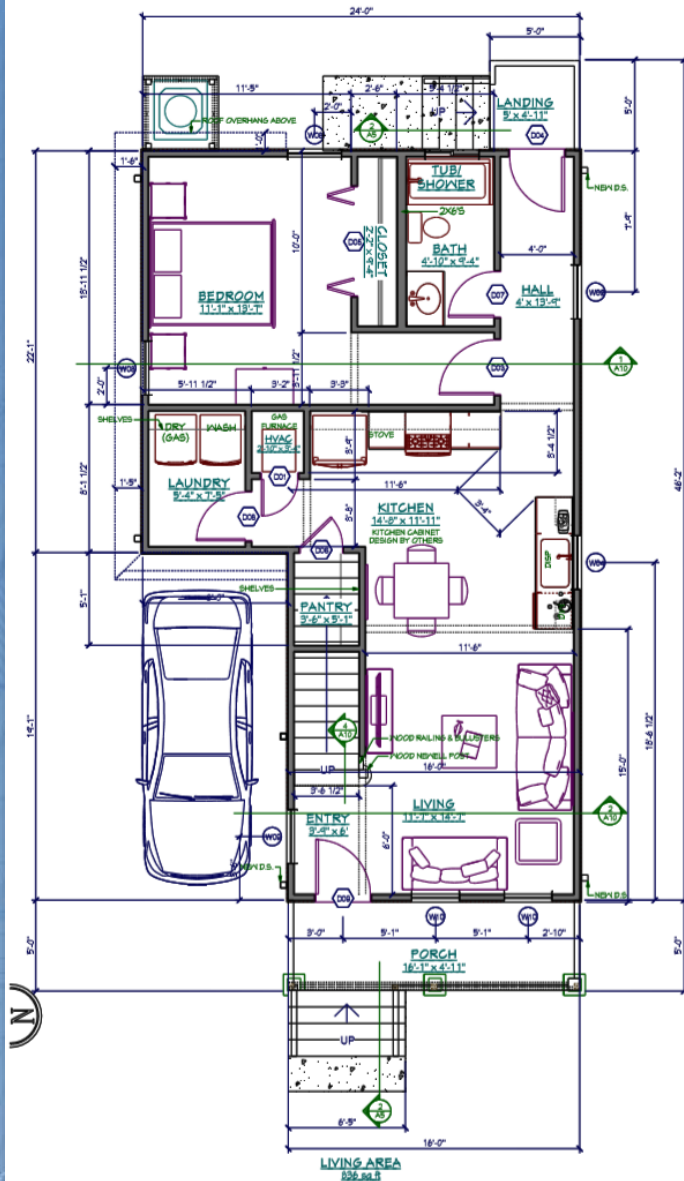
SHEET TITLE:  
 SITE PLAN FLOOR PLANS

SHEET NUMBER:  
 A-4

# Floor Plan View

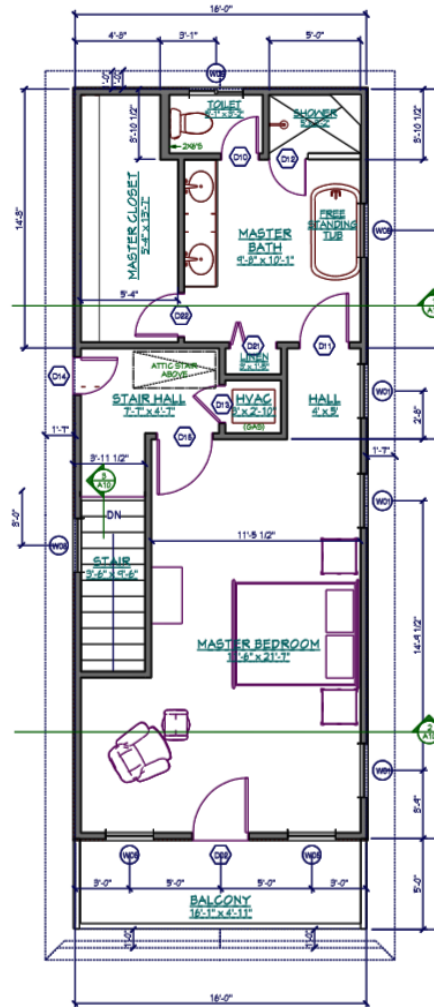
**FLOOR PLAN FOR A HOUSE**

Floor plans are simply that. Each floor of the building is drawn to scale (usual a 1/8" or 1/4" scale). These plans show interior and exterior walls, door and window locations, room dimensions, stairs, cabinets, toilets and sinks, and other relevant information.



1  
A4 **FIRST FLOOR PLAN**

SCALE: 1/4" = 1'-0"



2  
A4 **SECOND FLOOR PLAN**

SCALE: 1/4" = 1'-0"

## Close up of Floor Plan View

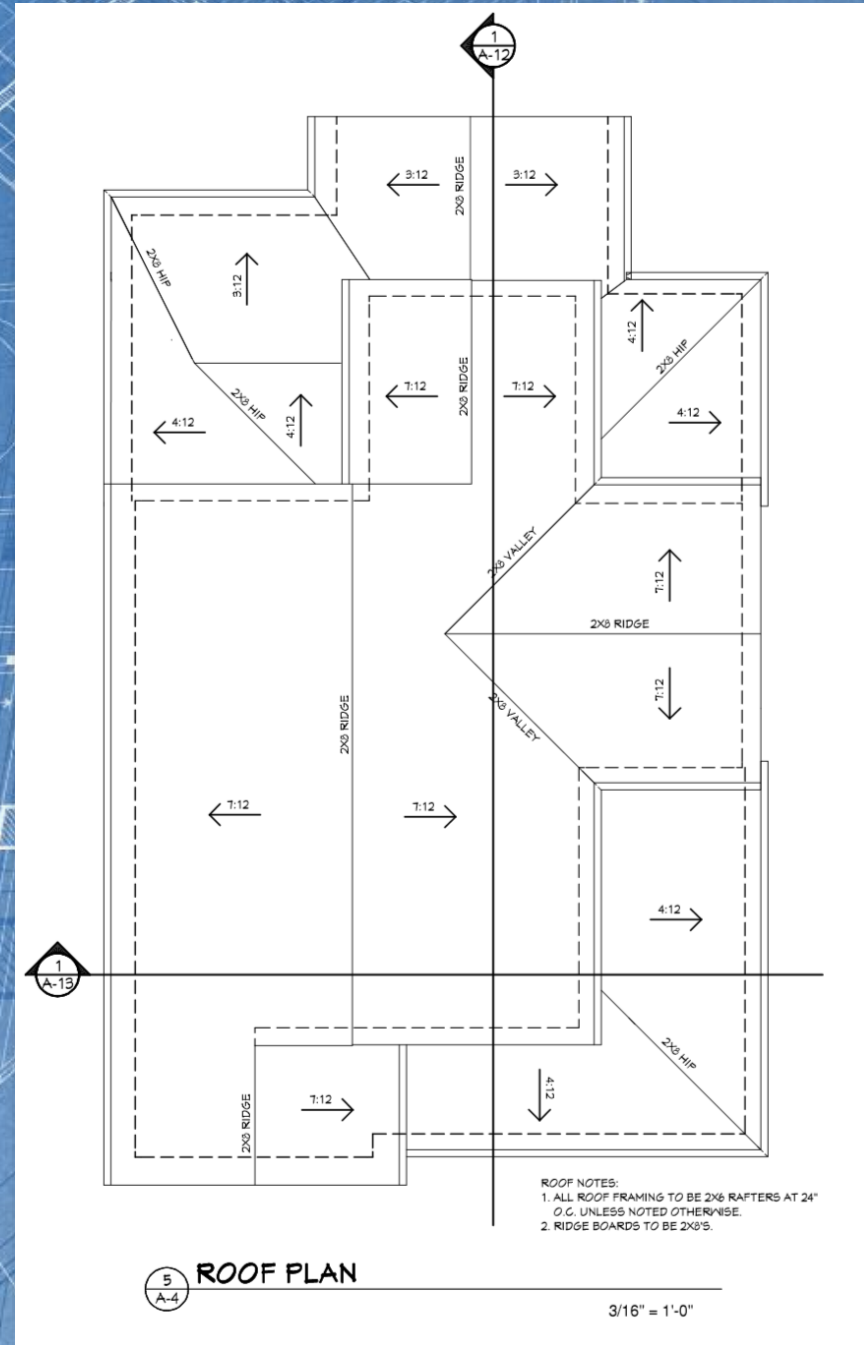
### FLOOR PLAN FOR A HOUSE

Floor plans are simply that. Each floor of the building is drawn to scale (usual a 1/8" or 1/4" scale). These plans show interior and exterior walls, door and window locations, room dimensions, stairs, cabinets, toilets and sinks, and other relevant information.

# Roof Plan View

## ROOF PLAN FOR A HOUSE

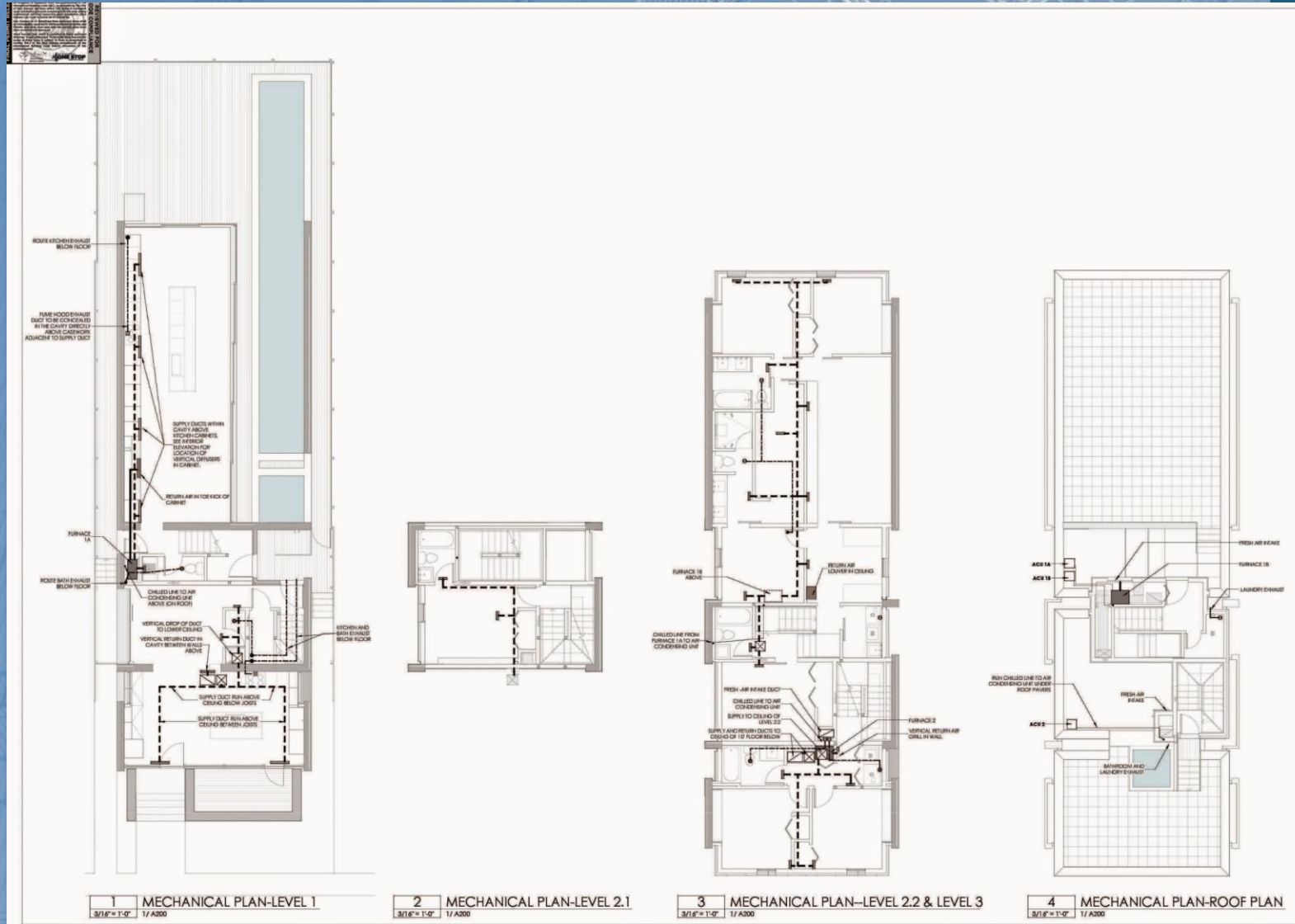
Roof plans show dormers, hips, valleys, roof slope, roof pitch, roof-mounted equipment and other related details such as materials to be used and roof penetrations like plumbing or exhaust vents.



# Air Conditioning Duct Layout

## MEP - MECHANICAL, ELECTRICAL, PLUMBING PLANS FOR A RESIDENTIAL PROJECT

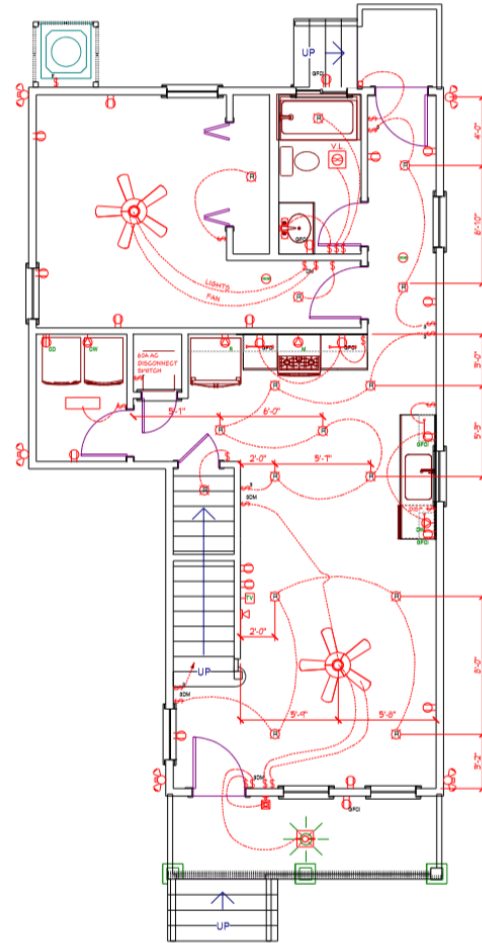
Plumbing, mechanical and electrical plans are usually needed for larger projects, but under certain public bid circumstances in housing projects each individual discipline can be shown on separate sheets without making the Architectural Plan too crowded and difficult to understand.



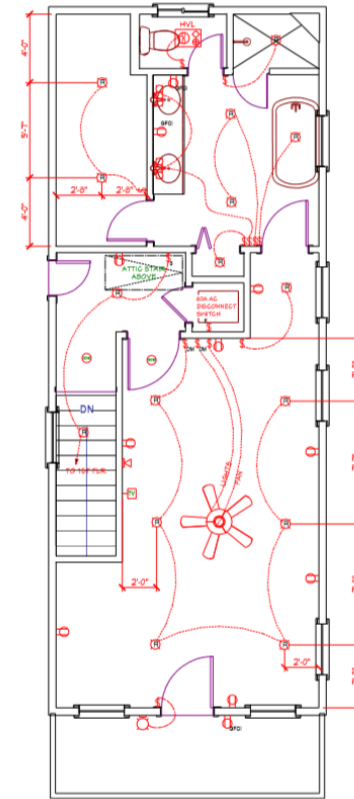
# Electrical & Lighting Plan View

## ELECTRICAL & LIGHTING PLAN FOR A RESIDENTIAL BUILDING

The lighting plan shows locations of all light fixtures, switches, emergency lighting, and special lighting.



**1**  
A7  
**1ST FLOOR POWER & LIGHTING PLAN** SCALE: 1/4" = 1'-0"



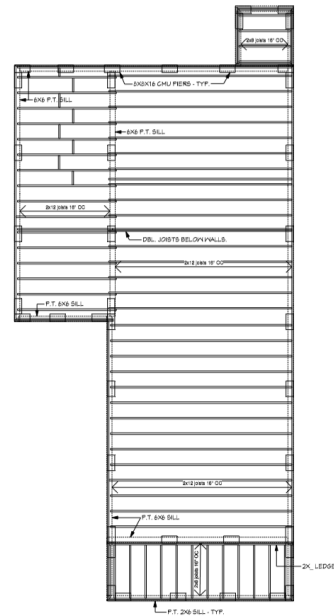
**2**  
A7  
**2ND FLOOR POWER & LIGHTING PLAN** SCALE: 1/4" = 1'-0"

ELECTRICAL SYMBOLS LEGEND	
	INCANDESCENT LIGHT (CEILING MOUNTED)
	WALL MOUNTED INCANDESCENT
	RECESSED CAN INCANDESCENT
	VAPOR PROOF LIGHT
	WALL MOUNTED LIGHT FIXTURE
	1' X 4' FLUORESCENT LIGHT (2-LAMP)
	2' X 4' FLUORESCENT LIGHT (2 OR 4 LAMP)
	CEILING FAN
	VENT / LIGHT
	HEATER / VENT / LIGHT
	WIRE OR CIRCUIT
	CABLE TV OUTLET
	DOORBELL
	DOORBELL BUZZER
	JUNCTION BOX
	SINGLE POLE LIGHT SWITCH
	3 WAY LIGHT SWITCH
	4 WAY LIGHT SWITCH
	LIGHT SWITCH WITH DIMMER
	DUPLEX OUTLET
	220 VOLT OUTLET
	WEATHER PROOF OUTLET
	220 VOLT OUTLET
	FLOOR OUTLET
	TWIN FLOOD LIGHT
	DISCONNECT SWITCH
	CEILING SMOKE DETECTOR
	WALL MOUNTED SMOKE DETECTOR
	PHONE JACK

# Plan View

## STRUCTURAL FRAMING PLANS

The framing plans shows the framing member sizes and location of all beams and columns and framing details relevant to the framing type specified.



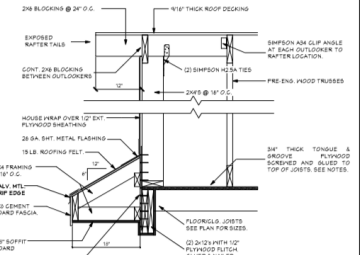
1 1st FLOOR FRAMING PLAN  
SCALE: 1/4" = 1'-0"



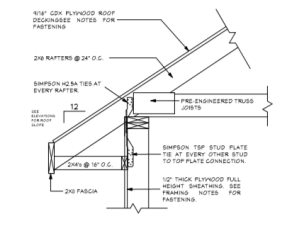
2 2ND FLOOR FRAMING PLAN  
SCALE: 1/4" = 1'-0"



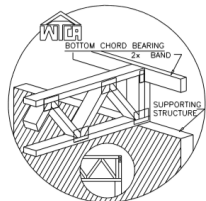
3 ROOF FRAMING PLAN  
SCALE: 1/4" = 1'-0"



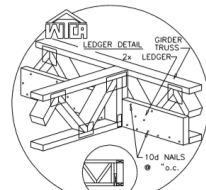
A GABLE END DETAIL  
SCALE: 1" = 1'-0"



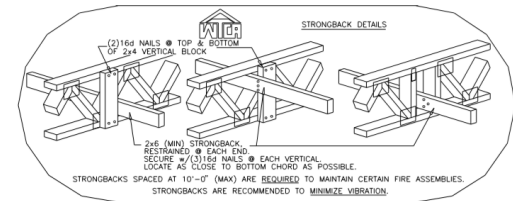
B TRUSS EAVE DETAIL  
SCALE: 1" = 1'-0"



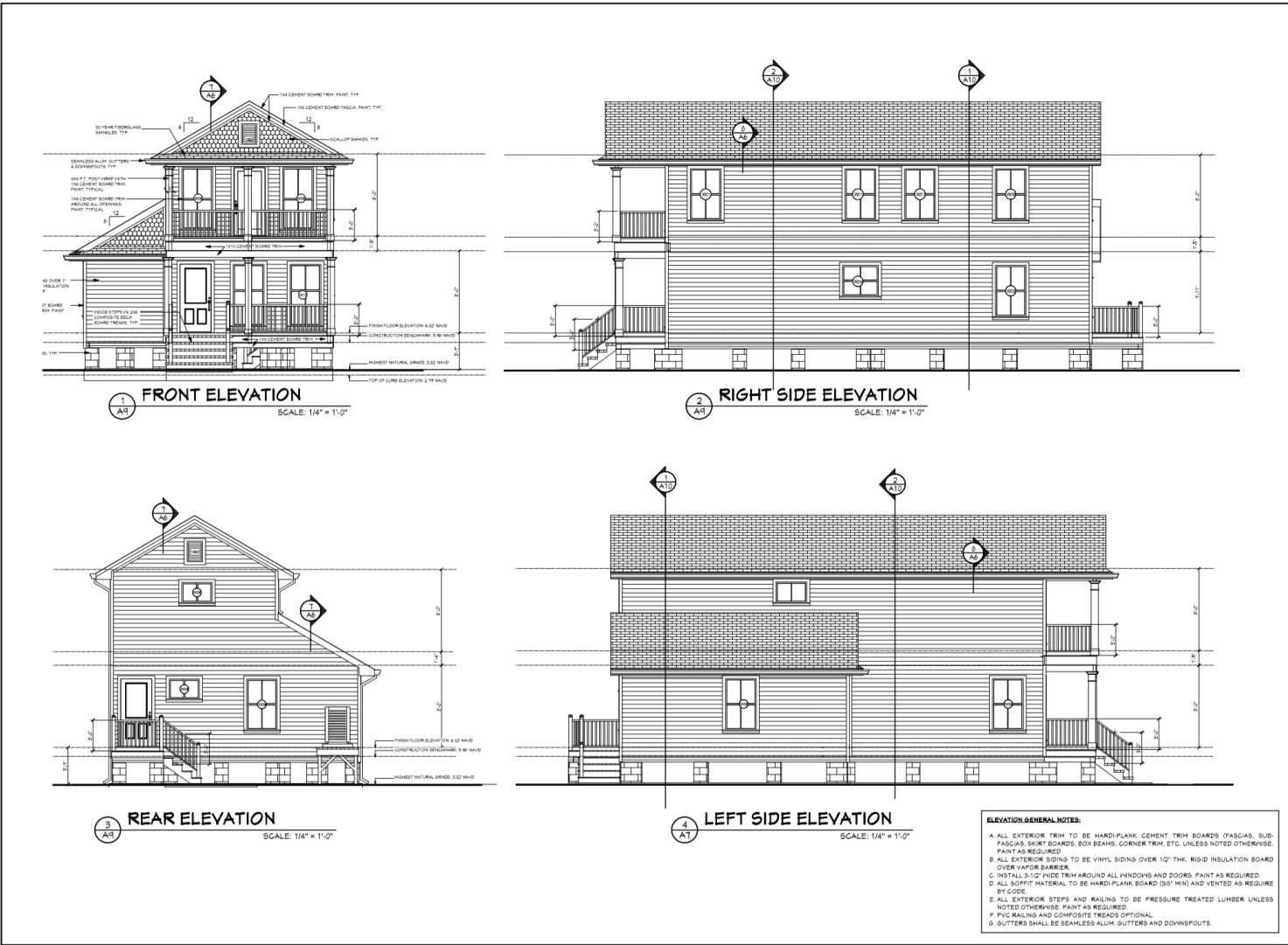
4 FLOOR TRUSS BOTTOM CHORD BEARING DETAIL  
SCALE: 1/4" = 1'-0"



5 FLOOR TRUSS LEDGER BEARING DETAIL  
SCALE: 1/4" = 1'-0"



6 FLOOR TRUSS STRONG-BACK DETAILS  
SCALE: 1/4" = 1'-0"



THIS DRAWING IS THE PROPERTY OF A-D ARCHITECTS, LLC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. NO PART OF THIS DRAWING IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF A-D ARCHITECTS, LLC.

**CONTRACTOR:**

**PROJECT NAME:**  
NEW SINGLE FAMILY HOME FOR SEAN MURPHY & ALLISON MANKER  
1008 BROOKLYN AVE.  
NEW ORLEANS, LA

**PROJECT NUMBER:**  
19-012

**DATE:**  
OCT. 11, 2019

**REVISIONS:**

**DRAWN BY:**  
RALUSA

**DESIGNED BY:**  
JSA

**SHEET TITLE:**  
EXTERIOR ELEVATIONS

**SHEET NUMBER:**  
A-9

# Elevations

## ELEVATIONS

Elevations are side views showing each of the exterior walls of the building. Usually the elevations are noted north, south, east, and west and they should be cross-referenced on the First Floor Plan.

# Exterior Renderings

## EXTERIOR RENDERING

Describe the project in three-dimensional form. It helps with the understanding of volumes, roof planes, and certain features that cannot be described in two-dimensional format. It makes the plans easier to understand.



1 FRONT  
AS



3 REAR VIEW  
AS



2 REAR VIEW FROM LEFT  
AS



4 KITCHEN  
AS



201 S. GARDNER STREET  
NEW ORLEANS, LA 70112  
504.586.1234  
AD@AD-LLC.COM

PROFESSIONAL SEAL & SIGNATURE



10-11-2014

These plans were prepared by the office and the design responsibility shall be the responsibility of the architect. The client is responsible for obtaining all necessary permits and approvals from the local government authority jurisdiction.

NO NEW WORK UNDER CONTRACT  
THIS SET OF ARCHITECTURAL DRAWINGS IS THE PROPERTY OF A-D ARCHITECTS, LLC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. ANY REUSE OR MODIFICATION OF THESE DRAWINGS WITHOUT THE WRITTEN CONSENT OF A-D ARCHITECTS, LLC IS STRICTLY PROHIBITED.

DATE: 10-11-2014

DESCRIPTION:

The site contains 3 new design houses

PROJECT NAME:

Architect: A-D ARCHITECTS, LLC

NO. OF SHEETS: 10

PROJECT NUMBER:

NEW SINGLE FAMILY HOME

FOR

SEAN MURPHY & ALLISON

MANAGER

1008 BROOKLYN AVE.

NEW ORLEANS, LA.

PROJECT NUMBER:

19-012

DATE:

OCT. 11, 2019

REVISION:

REVISION:

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# Interior Elevations

**KITCHEN CABINET NOTES:**

1. ALL KITCHEN CABINETS TO BE WOOD.
2. ALL KITCHEN TOPS TO BE STONE.
3. INSTALL RANGE HOOD AND APPLIANCE PER MANUFACTURER'S RECOMMENDATIONS.
4. ALL APPLIANCES TO BE ON DEDICATED CIRCUITS. REFER TO APPLIANCE SPECIFICATIONS FOR AMP/VAULTAGE REQUIREMENTS.
5. USE MIN. 3/8" HOLES FOR HOOD CONFINER HOOD IS 36" CFM MIN.
6. CONFIRM FINAL MATERIALS FOR BACKSPLASH AND COUNTERTOP PRIOR TO ORDERING.
7. CABINETS STYLE TO BE SELECTED BY HOMEOWNER AND COORDINATED WITH KITCHEN DESIGNER OR STAFF AT CABINET SUPPLIER.
8. ALL DRAWER SLIDES TO BE SOFT CLOSE.
9. SWITCHED LED LIGHTS FOR UNDER CABINET LIGHTING.
10. CONFIRM HOOD, DRAWER AND DOOR STYLES PRIOR TO ORDERING.
11. INSTALL CROWN MOULDING ON WALL CABINETS.

**ENLARGED KITCHEN PLAN** 3/8" = 1'-0"

**KITCHEN ISLAND ELEVATION** 3/8" = 1'-0"

**KITCHEN ISLAND END ELEVATION** 3/8" = 1'-0"

**KITCHEN ISLAND WALL ELEVATION** 3/8" = 1'-0"

**KITCHEN CABINET ELEVATION "A"** 3/8" = 1'-0"

**KITCHEN CABINET ELEVATION "B"** 3/8" = 1'-0"

**KITCHEN VIEW FROM DINING AREA** 1/4" = 1'-0"

**KITCHEN VIEW FROM SUN ROOM AREA** 1/4" = 1'-0"

**Archi-Dinamica Architects, LLC**  
 A PROFESSIONAL ARCHITECTURAL FIRM  
 100 N. JEFFERSON BOULEVARD, SUITE 100  
 NEW ORLEANS, LA 70112  
 (504) 581-1000  
 www.archi-dinamica.com

2-23-2018

**PROJECT NAME:** SHULER RESIDENCE, REMODEL & BALCONY ADDITION, 360 HILLAUDON STREET, NEW ORLEANS, LA.

**PROJECT NUMBER:** 17-015

**DATE:** FEB. 23, 2018

**DESIGNED BY:** RAL

**CHECKED BY:** RAL/USA

**SCALE:** KITCHEN CABINET ELEVATIONS

**DATE:**

**A-13**

## INTERIOR ELEVATIONS

Interior elevations are also included, typically to show cabinets and countertop work, bathroom walls and anywhere a plan view alone can't communicate what is needed.

# Building Sections

Plan views and elevations are not sufficient to fully describe the various building components needed or how each component relates to the others. This is where 'sections' are used. Sections are basically 'slices' through a building or building component.

**INSULATION NOTES**

ATTIC: INSTALL 4" THK. FIBERGLASS BATTS  
 EXTERIOR WALLS: 3/4" THK. FIBERGLASS BATTS  
 EXTERIOR SHEATHING: 1/2" THK. EXTERIOR PLYWOOD  
 ROOF SHEATHING: 5/8" THK. CDX PLYWOOD  
 SOUND BETWEEN FLOORS: 1" THK. FIBERGLASS INSULATION

**DESIGN CRITERIA FOR RAFTERS**

DEFLECTION: FOR 50 PSF LIVE LOAD  
 LIMITED SPAN IN CHORDS DIVIDED BY 243  
 STRENGTH: LIVE LOAD OF 50 PSF PLUS DEAD LOAD OF 10 PSF  
 SPECIES AND GRADE: NO. 2 SOUTHERN YELLOW PINE SELECT

**SECTION THROUGH REAR BEDROOM**  
 SCALE: 3/8" = 1'-0"

**SECTION THROUGH LIVING ROOM**  
 SCALE: 3/8" = 1'-0"

STRUCTURAL CONNECTOR FASTENER SCHEDULE	MFR.	MODEL NO.	SPACING	ACTUAL LOAD	ALLOWABLE LOAD	REMARKS
RAFTERS	SIMPSON	H2.2	EACH RAFTER	266 LBS.	415 LBS.	
TOP PLATE	SIMPSON	SP2	48" O.C.	266 LBS.	690 LBS.	
BOTTOM PLATE	SIMPSON	SP1	48" O.C.	491 LBS.	585 LBS.	
1ST & 2ND FLOOR DIAPHRAGM STRAPS	SIMPSON	LST2A2	48" O.C.	375 LBS.	1258 LBS.	
INTERIOR 6X6 SILLS	SIMPSON	H2.5	32" O.C.	255 LBS.	225 LBS.	
OUTER 6X6 SILLS	SIMPSON	H2.5	16" O.C.	354 LBS.	415 LBS.	

**3 BOTTOM OF STAIR DETAIL**  
 SCALE: 1" = 1'-0"

**4 BOTTOM OF STAIR DETAIL**  
 SCALE: 1" = 1'-0"

**CARETAKER:**

ALL LUMBER NOT SPECIFICALLY NOTED TO BE S.P.F. #2 OR BETTER. ALL WOOD IN PERMANENT CONTACT WITH CONCRETE OR CMU SHALL BE PRESURE TREATED UNLESS AN APPROVED BARBER IS PROVIDED. FRAMING ACCESSORIES AND STRUCTURAL FASTENERS SHALL BE MANUFACTURED BY SIMPSON STRONG-TIE COMPANY FOR ENGINEER APPROVED EQUAL AND OF THE SIZE AND TYPE SHOWN ON THE DRAWINGS. RANGERS NOT SHOWN SHALL BE SIMPSON 1/2" OR SIZE RECOMMENDED FOR MEMBER. ALL HANGERS AND NAILS IN CONTACT WITH PRESURE TREATED LUMBER SHALL BE SIMPSON GALV. HANGERS OR STAINLESS STEEL. ALL SHEAR WALL SHEATHING NAILS SHALL BE COMMON NAILS. ALL FRAMING NAILS SHALL BE COMMON NAILS OR HOT DIP GALVANIZED BOX NAILS. FRAMING NAILS SHALL BE PER IRC TABLE DS(1) OR IRC TABLE DS(2)(1).

PLYWOOD PANELS SHALL CONFORM TO THE REQUIREMENTS OF U.S. PRODUCT STANDARD PS 1 FOR CONSTRUCTION AND INDUSTRIAL PLYWOOD OR APA PERFORMANCE STANDARDS. UNLESS NOTED, PANELS SHALL BE APA RATED SHEATHING, EXPOSURE 1, OF THE THICKNESS AND SPAN RATING SHOWN ON THE DRAWINGS. PLYWOOD INSULATION SHALL BE IN CONFORMANCE WITH APA RECOMMENDATIONS. ALLOW 1/8" SPACING AT PANEL ENDS AND EDGES UNLESS OTHERWISE RECOMMENDED BY THE PANEL MANUFACTURER.

ALL ROOF SHEATHING AND SUBROOFING SHALL BE INSTALLED WITH FACE GRAIN PERPENDICULAR TO SUPPORTS, EXCEPT AS INDICATED ON THE DRAWINGS. ROOF SHEATHING SHALL EITHER BE BLOCKED, TONGUE AND GROOVE, OR HAVE EDGES SUPPORTED BY PLYWOOD. INFERIOR SHEATHING SHALL BE BLOCKED WITH 2X FRAMING AT ALL PANEL ENDS, EDGES, HANGING NOT SPECIFICALLY IDENTIFIED ON THE DRAWINGS TO CONFORM WITH IRC TABLE DS(2)(1).

GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH U.S. PRODUCT STANDARD PS 84, STRUCTURAL GLUED LAMINATED TIMBER AND AMERICAN INSTITUTE OF TIMBER CONSTRUCTION, AND 11" EACH MEMBER SHALL BEAR AN AITC OR APA'S IDENTIFICATION MARK AND BE ACCOMPANIED BY A CERTIFICATE OF CONFORMANCE. ONE COAT OF END GRASE SHALL BE APPLIED IMMEDIATELY AFTER TRIMMING IN ORDER TO PREVENT FIELD. GLULAM HANGERS NOT SHOWN SHALL BE SIMPSON 80. BEAMS SHALL BE VISUALLY GRADED WESTERN SPECIES INDUSTRIAL GRADE, AND OF THE STRENGTH INDICATED BELOW:

LUMBER SPECIES:

- POLE BRANCH, HEADERS, JOISTS, AND RAFTERS TO BE SPF#2
- EXPOSED ARCH BRAMS TO BE SYP#1 OR BETTER
- SILL, RATER BLOCKING, AND BRIDGING TO BE SYP#2
- ALL STUDS TO BE SPF#2 OR BETTER
- PLYWOOD SHEATHING SHALL BE AS FOLLOWS:  
 ROOF SHEATHING SHALL BE 5/8" CDX INT-APA RATED 32/16.  
 WALL SHEATHING SHALL BE 5/8" APA RATED 32/16 OR 7/16" CDX.  
 FLOOR SHEATHING SHALL BE 5/8" T & G INT-APA RATED OSB.
- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESURE TREATED.

**A:D ARCHITECTS, LLC**

PROFESSIONAL SEAL & SIGNATURE

10-11-2014

10-11-2019

**PROJECT NAME:**  
 NEW SINGLE FAMILY HOME FOR SEAN MURPHY & ALLISON MANER  
 1038 BROOKLYN AVE.  
 NEW ORLEANS, LA.

**PROJECT NUMBER:**  
 19-012

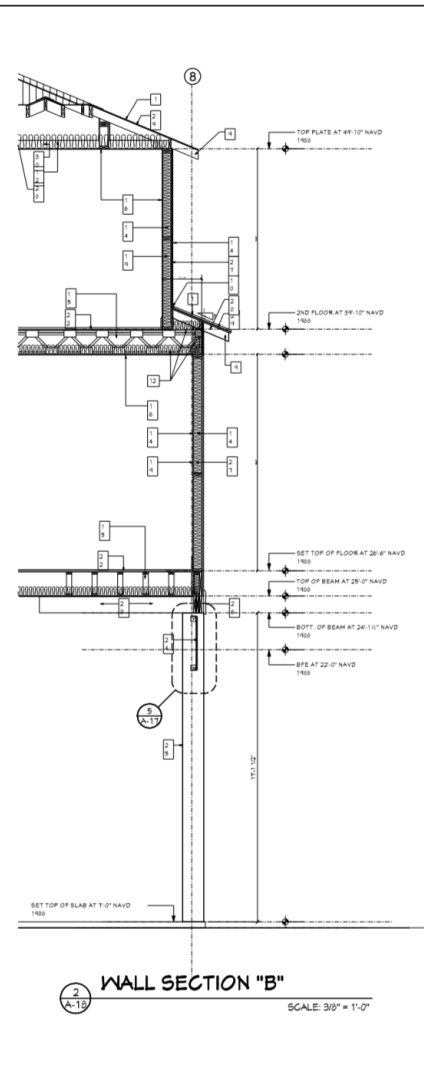
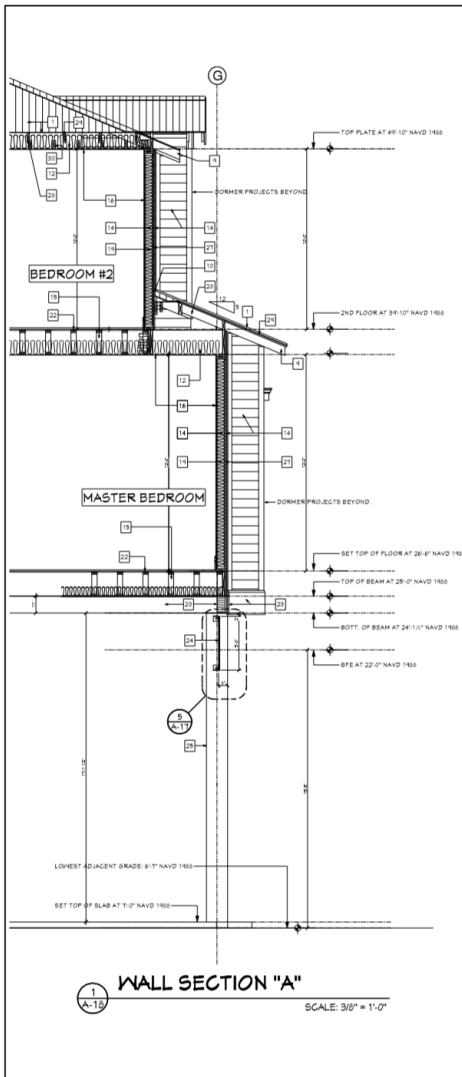
**DATE:**  
 OCT. 11, 2019

**DESIGNER:**  
 RALUISA

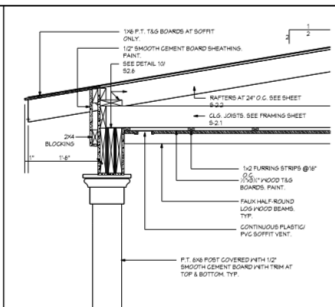
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 JSA

**SCALE:**  
 1/8" = 1'-0"

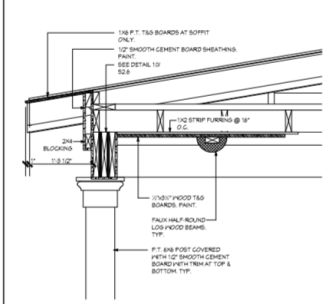
**SECTION NUMBER:**  
 A-10



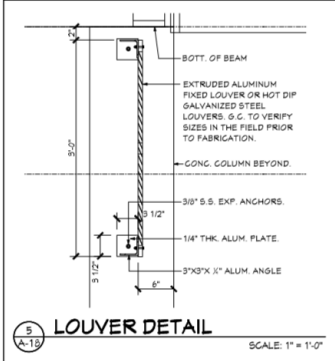
- SECTION KEY NOTES:**
1. STANDING BEAM METAL ROOF SYSTEM OVER 30-LB FELT.
  2. 1/2" SMOOTH GEMENT BOARD FASGIA. PAINT. TYP.
  3. SMOOTH GEMENT BOARD LAP SIDING. HANDS BOND OR EG. TYP. INSTALL OVER TYVEK OR EG VAPOR BARRIER.
  4. 1/2" EXTERIOR GRADE FLYWOOD SHEATHING.
  5. 1/4" SMOOTH GEMENT BOARD TRIM UNDER SOFFIT. PAINT. TYP. AT PROJECTING GABLE END DORNERS.
  6. 1/2" SMOOTH GEMENT BOARD TRIM. PROVIDE 2" FLASHING WHERE SIDING MEETS BOARD.
  7. EXTRUDED ALUMINUM FINED LOUVER OR HOT DIP GALVANIZED STEEL LOUVERS. O.C. TO VERIFY SIZES IN THE FIELD PRIOR TO FABRICATION.
  8. PAINTED CONCRETE COLUMN. SEE STRUCTURAL DRAWINGS.
  9. F.T. RAFTERS.
  10. 2# 8# GAL. GALVANIZED SHEET METAL FLASHING. EXTEND BEHIND VAPOR BARRIER. 2" MIN. TYPICAL AT ALL ROOF TO WALL JUNCTURES.
  11. GUYER BEAM. WITH 1/2" SMOOTH GEMENT BOARD & PAINT.
  12. 4" THK. R-13 FIBERGLASS BATT INSULATION.
  13. 2" THK. R-13 FIBERGLASS BATT INSULATION.
  14. 6" THK. R-13 FIBERGLASS BATT INSULATION.
  15. 1" DEEP ENGINEERED WOOD (OPEN WEB) FLOOR TRUSSES. TYPICAL.
  16. 1/2" THK. INTERIOR DRYWALL. TYP.
  17. 2X6 @ 16" O.C.
  18. 2X12 @ 16" O.C.
  19. 2X4 WOOD STUDS @ 16" O.C.
  20. 2X4 WOOD STUDS @ 16" O.C.
  21. 2X4 WOOD BLOCCING.
  22. 2X4 SUBFLOOR. NAIL & SCREW TO TOP OF FLOOR TRUSSES/GUYERS.
  23. GUYER BEAM PER STRUCTURAL DRAWINGS. SEE SHEET S-2.0.
  24. EXTRUDED ALUMINUM FINED LOUVER OR HOT DIP GALVANIZED STEEL LOUVERS. O.C. TO VERIFY SIZES IN THE FIELD PRIOR TO FABRICATION.
  25. 14" SQUARE REINFORCED CONCRETE COLUMN BEYOND PER STRUCTURAL DINGS.
  26. 1/2" SMOOTH GEMENT BOARD TRIM. PROVIDE 2" FLASHING WHERE SIDING MEETS BOARD.
  27. SMOOTH GEMENT BOARD LAP SIDING. HANDS BOND OR EG. TYP.
  28. 2X6 RAFTERS @ 24" O.C. SEE ROOF FRAMING PLAN ON SHEET S-2.0 & S-2.1.
  29. 3/8" CDX FLYWOOD ROOF DECKING.
  30. 2X6 CEILING JOISTS @ 16" O.C.
  31. PAIR HALF ROUND LOG WOOD BEAMS. TYP.
  32. 1/2" PAINTED WOOD INTERIOR TRIM. BEAM PER STRUCTURAL DRAWINGS. (3) 1/2" MIN. LEVEL VERIFY.
  33. 2X4 P.T. TOP & BOTTOM REAL PAINTED (PVC) OPTIONAL STAINLESS STEEL GABLE RAIS @ 4" O.C. INSTALL WITH 'INVISIBLE' GABLE RAIL HANDRAIL. INTERMEDIATE SUPPORTS TO BE 14" X 1" STAINLESS STEEL FLAT BAR.
  34. P.T. END POST COVERED WITH 1/2" SMOOTH GEMENT BOARD WITH TRIM AT TOP & BOTTOM. PAINT AS SIDING TYP.
  35. 1/2" SMOOTH GEMENT BOARD TRIM. PAINT. TYP.
  36. 1/2" SMOOTH GEMENT BOARD TRIM. PAINT. TYP.
  37. REFER TO FRAMING PLAN ON SHEET S-2.1.



**3 PORCH EAVE DETAIL**  
SCALE: 1" = 1'-0"



**4 REAR PORCH EAVE DETAIL**  
SCALE: 1" = 1'-0"



**5 LOUVER DETAIL**  
SCALE: 1" = 1'-0"



388 S. GERRARD STREET, SUITE 100  
NEW ORLEANS, LA 70112  
TEL: 504.586.0122  
INFO@A-D.COM

PROFESSIONAL SEAL & SIGNATURE

100 SHIVHOUS, LONG BEACH, CALIFORNIA  
I CERTIFY THAT I HAVE PREPARED THE DESIGN AND CONSTRUCTION DOCUMENTS FOR THIS PROJECT AND I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF MISSISSIPPI. I HAVE BEEN A LICENSED PROFESSIONAL ENGINEER SINCE 2015.

**CONTRACT NAME:**  
PRESLEY RESIDENCE  
324 PUNANI PLACE  
DIAMONDHEAD, MS

**PROJECT NUMBER:**  
18-007

**DATE:**  
JAN. 14, 2019

**REVISIONS:**

**DRAWN BY:**

**CHECKED BY:**  
RALUSA

**SHEET TITLE:**  
WALL SECTIONS

**SHEET NUMBER:**  
A-18

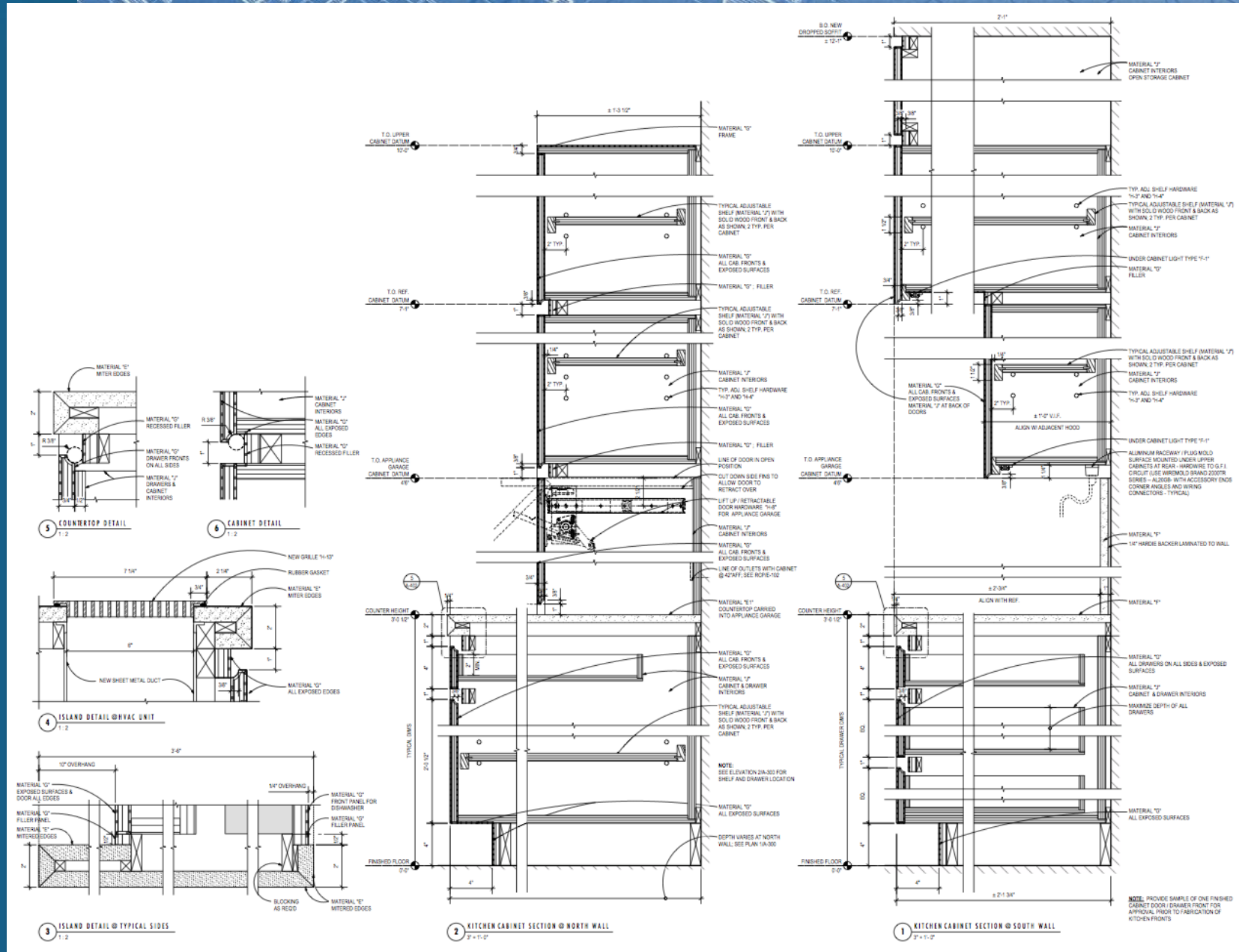
# Wall Sections

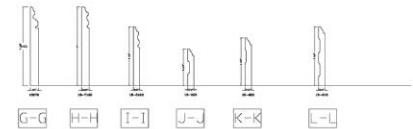
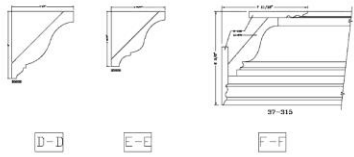
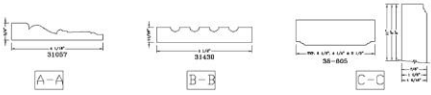
A common 'section' is a Wall Section. This is a vertical slice through the wall that shows the inside, outside and interior components of the wall, such as studs, sheathing, insulation, siding, or masonry, as well as how the wall engages the floor or foundation below, and the roof or floor structure above.

# Cabinet Sections

## INTERIOR CASEWORK

Other sections include cabinet and countertop sections to depict all dimensions, relationships to other elements and interior cabinet shelving and other features. Sections are cross referenced on plan views, and elevations, so the reader can understand where the relevant 'slice' was taken. Mostly used in high end residential working drawings.

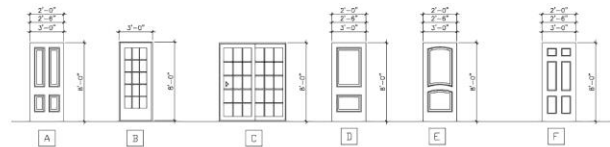




INTERIOR TRIM AND MOULDING TYPES



DOOR + WINDOW CASING TYPES



DOOR ELEVATIONS

**INTERIOR FINISH SCHEDULE** DRYWALL SHALL BE "KNOCK DOWN" WALL TEXTURED WITH ROUNDED CORNER BEADS.

ROOM NAME	FLOOR	BASE	WALLS		CEILING		REMARKS
			MATERIAL	FINISH	MATERIAL	FINISH	
PORCH			3/4" STUCCO		3/4" STUCCO		
TRAVERTINE							
FOYER	MARBLE TILE	7" WOOD W/SIDE	DRYWALL	PAINT	DRYWALL	PAINT	23'-0" 3-PIECE CROWN MOULDING
LIVING ROOM	WOOD	7" WOOD W/SIDE	DRYWALL	PAINT	DRYWALL	PAINT	12'-0" 3-PIECE CROWN MOULDING
DINING ROOM	WOOD	7" WOOD W/SIDE	DRYWALL	PAINT	DRYWALL	PAINT	12'-0" 3-PIECE CROWN MOULDING
HALF BATH	CRK. TILE	7" WOOD W/SIDE	DRYWALL	PAINT	DRYWALL	PAINT	12'-0" 6" CROWN MOULDING
H/V CLOSET	SEALED CONCRETE		DRYWALL	PAINT	DRYWALL	PAINT	12'-0"
COAT CLOSET	CRK. TILE	5-1/4" W/SIDE	DRYWALL	PAINT	DRYWALL	PAINT	12'-0"
GUEST BEDROOM	CARPET	7" WOOD	DRYWALL	PAINT	DRYWALL	PAINT	12'-0" 6" CROWN MOULDING
GUEST BATH	CRK. TILE	5-1/4" W/SIDE	DRYWALL	PAINT	DRYWALL	PAINT	12'-0" 6" CROWN MOULDING
GUEST CLOSET	CARPET	5-1/4" WOOD	DRYWALL	PAINT	DRYWALL	PAINT	12'-0"
FAMILY ROOM	CRK. TILE	5-1/4" W/SIDE	DRYWALL	PAINT	DRYWALL	PAINT	12'-0" 3-PIECE CROWN MOULDING
STUDY	CARPET	7" WOOD	DRYWALL	PAINT	DRYWALL	PAINT	12'-0" 6" CROWN MOULDING
GALLERY	CRK. TILE	7" WOOD	DRYWALL	PAINT	DRYWALL	PAINT	12'-0" 6" CROWN MOULDING
POOL BATH	CRK. TILE	7" WOOD W/SIDE	DRYWALL	PAINT	DRYWALL	PAINT	12'-0" 6" CROWN MOULDING
UTILITY ROOM	CRK. TILE	5-1/4" W/SIDE	DRYWALL	PAINT	DRYWALL	PAINT	12'-0"
KITCHEN	CRK. TILE	7" WOOD W/SIDE	DRYWALL	PAINT	DRYWALL	PAINT	12'-0" 6" CROWN MOULDING
PANTRY	CRK. TILE	5-1/4" W/SIDE	DRYWALL	PAINT	DRYWALL	PAINT	12'-0"
BREAKFAST	CRK. TILE	7" WOOD W/SIDE	DRYWALL	PAINT	DRYWALL	PAINT	12'-0" 6" CROWN MOULDING
MASTER BEDROOM	CARPET	7" WOOD	DRYWALL	PAINT	DRYWALL	PAINT	12'-0" 3-PIECE CROWN MOULDING
MASTER BATH	CRK. TILE	7" WOOD W/SIDE	DRYWALL	PAINT	DRYWALL	PAINT	12'-0" 6" CROWN MOULDING
MASTER CLOSET	CARPET	7" WOOD W/SIDE	DRYWALL	PAINT	DRYWALL	PAINT	12'-0"
MASTER TOILET	CRK. TILE	7" WOOD W/SIDE	DRYWALL	PAINT	DRYWALL	PAINT	12'-0" 6" CROWN MOULDING
MASTER LINEN CLOSET	CRK. TILE	5-1/4" W/SIDE	DRYWALL	PAINT	DRYWALL	PAINT	12'-0"
GARAGE	SEALED CONCRETE	7" WOOD W/SIDE	DRYWALL	PAINT	DRYWALL	PAINT	12'-0"
2ND FLOOR BALCONY	WOOD	7" WOOD W/SIDE	DRYWALL	PAINT	DRYWALL	PAINT	10'-0" 6" CROWN MOULDING
2ND FLOOR LINEN CLOSET	WOOD	5-1/4" W/SIDE	DRYWALL	PAINT	DRYWALL	PAINT	10'-0"
BEDROOM NOS. 1-4	CARPET	5-1/4" W/SIDE	DRYWALL	PAINT	DRYWALL	PAINT	10'-0"
CLOSETS NOS. 1-4	CARPET	5-1/4" W/SIDE	DRYWALL	PAINT	DRYWALL	PAINT	10'-0"
BATHS NOS. 1-3	CRK. TILE	5-1/4" W/SIDE	DRYWALL	PAINT	DRYWALL	PAINT	10'-0"
VANITY NOS. 1 & 2	CRK. TILE	5-1/4" W/SIDE	DRYWALL	PAINT	DRYWALL	PAINT	10'-0"

**DOOR SCHEDULE**

DOOR NO.	SIZE	TYPE	T'HOLD	ELEVATION	REMARKS
①	3'-0" X 8'-0" PAIR	WOOD WITH LEADED GLASS PANEL	ALUM.		LEADED GLASS & ARCH TRANSOM
②	1'-6" X 8'-0" PAIR	FIXED CLADDED WD. FRENCH DOOR	ALUM.		CASING TYPE 3
③	3'-0" X 8'-0"	INSULATED METAL FRENCH DOOR	ALUM.	B	
④	3'-0" X 8'-0" PAIR	INSULATED METAL FRENCH DOORS	ALUM.	B	CASING TYPE 3
⑤	2'-6" X 8'-0" PAIR	INSULATED METAL FRENCH DOORS	ALUM.	B	CASING TYPE 3
⑥	3'-0" X 8'-0"	MASONITE DOOR		E	CASING TYPE 3
⑦	2'-6" X 8'-0"	MASONITE DOOR		E	CASING TYPE 3
⑧	2'-6" X 8'-0"	MASONITE DOOR		E	CASING TYPE 3
⑨	2'-0" X 5'-0"	MASONITE DOOR (A/C CLOSET)		E	CASING TYPE 3
⑩	2'-0" X 8'-0"	MASONITE DOOR		E	CASING TYPE 3
⑪	3'-0" X 8'-0"	INSULATED METAL DOORS		E	CASING TYPE 3
⑫	9'-0" WIDE X 8'-0"	AUTOMATIC GARAGE DOOR			INCLUDE GLASS LITES / INSULATED

**WINDOW SCHEDULE**

WINDOW NO.	SIZE	TYPE	MATERIAL	ELEVATION	REMARKS
A	2'-0" QUATRE FOIL	FIXED	WOOD		INSULATED (EAGLE, PELLA, MARVIN)
B	1'-6" RADIUS ARCH	FIXED	WOOD		
C	3'-0" X 5'-6"	CASEMENT	WOOD		
D	3'-0" X 4'-0"	CASEMENT	WOOD		
E	1'-6" X 4'-0"	FIXED	WOOD		
F	9" RADIUS ARCH	FIXED	WOOD		
G	1'-6" X 6'-0"	FIXED	WOOD		
H	3'-0" X 4'-0"	CASEMENT	WOOD		
I	3'-0" RADIUS ARCH	FIXED	WOOD		
J	21" RADIUS ARCH	FIXED	WOOD		



ROLAND A. ARRIGATA, ARCHITECT  
JEANNETTE S. ARRIGATA, B. ARCH.  
**ARCH-DINAMI**  
ARCHITECTS, L.L.C.

217 S. Jeff. Davis Pkwy.  
New Orleans, LA 70119  
(504) 482-5255 office  
(504) 482-5270 fax

Architect's Seal/Signature

THIS SEAL AND SCHEDULE IS THE PROPERTY OF THE ARCHITECT AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN CONSENT OF THE ARCHITECT.

Consultants

M O T I O E  
The seal is the Architect's exclusive property and is not to be reproduced or copied in any manner without the written consent of the Architect.

project name

ISMAL RESIDENCE

GABRIEL DEVELOPMENT  
KENNER, LA

project number

04-006

date

JUNE 22, 2005

revision

drawn by

RAL

checked by

RAL

sheet title

SCHEDULES

sheet number

A-6

# Schedules

## SCHEDULES

Many building components are organized in simple matrices called 'schedules.' Door, frame and door hardware details will be described in a door schedule. The floor plan will have simple door number or mark, and that will correspond with the detailed information on the door schedule. Windows, interior finishes, are all typically detailed in schedules.



COMMUNICATING WITH  
CONSTRUCTION DRAWINGS

# PART THREE

PLAN SET  
SAMPLES

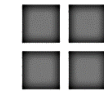
# A COMPLETE SET OF PLANS FOR AFFORDABLE HOUSING

---

A 3-D isometric CAD model of a residential building. The house is a single-story structure with a gabled roof, light-colored walls, and a dark blue base. It features a front porch with a white railing and a set of stairs leading to the entrance. The model includes detailed landscaping with several large, leafy trees, numerous small shrubs, and a lawn. A paved driveway and sidewalk are shown, with a red car parked on the driveway and another red car on the street. A small human figure stands on the sidewalk near the front steps. The entire scene is rendered in a clean, wireframe style with semi-transparent surfaces, set against a black background. The image is framed by a blue border with faint architectural drawings and dimensions.

3-D ISOMETRIC CADD MODEL





ROLAND A. ARRIAGA, ARCHITECT  
JEANNETTE B. ARRIAGA, B. ARCH.  
**ARCHI-DINAMICA**  
ARCHITECTS, LLC

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New Orleans, LA. 70119  
(504) 482-5255 office  
(504) 482-5270 fax

Architect's Seal/Signature

These plans were prepared by this office under our personal supervision and to the best of our knowledge comply with the laws and local codes of the City of New Orleans, Louisiana.  
Consultants

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project name  
CITY OF KENNER COMMUNITY DEVELOPMENT DEPARTMENT  
REPLACEMENT HOUSING PROGRAM

REPLACEMENT HOME FOR  
JOSEPHINE ALEXANDER  
313 FORTIER ST.  
KENNER, LA. 70062

project number  
04-006

date  
JUNE 20, 2005

revision

drawn by  
RAL

checked by  
RAL

sheet title  
FOUNDATION

sheet number

**T-1**

# REPLACEMENT HOME FOR JOSEPHINE ALEXANDER

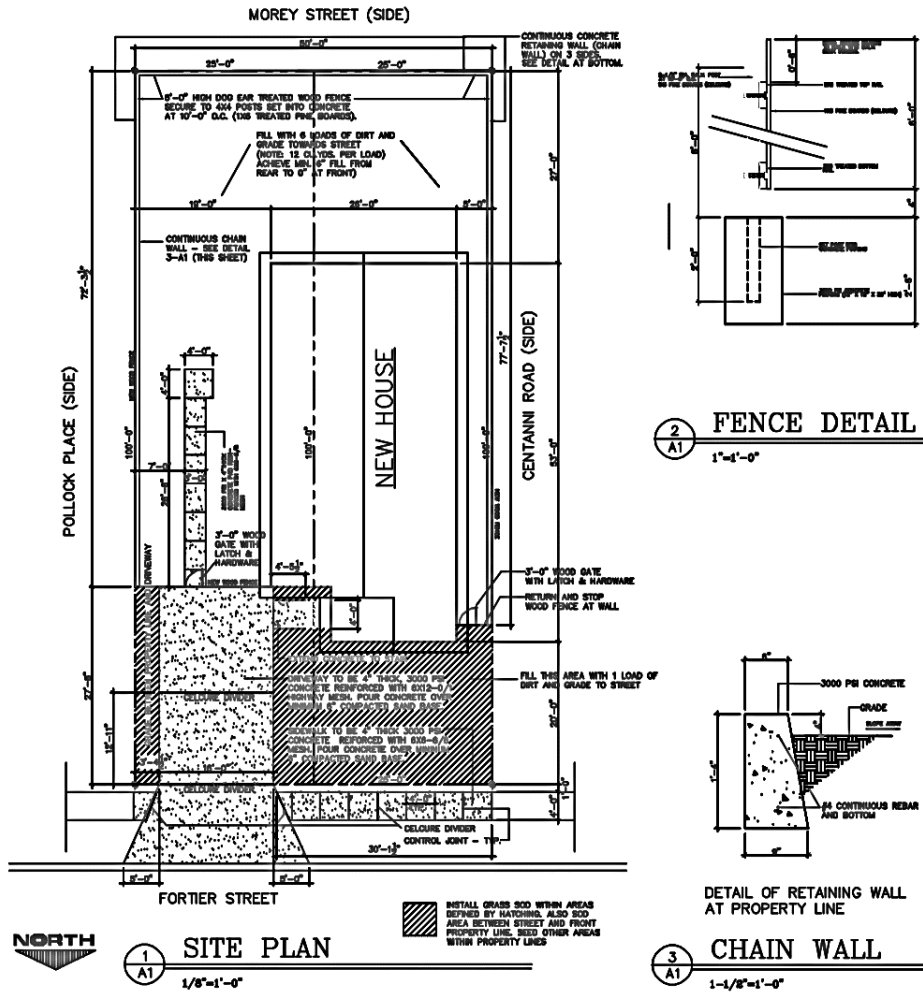
## 313 FORTIER STREET, KENNER, LA. 70062

### CITY OF KENNER COMMUNITY DEVELOPMENT DEPARTMENT REPLACEMENT HOUSING PROGRAM

SYMBOLS LEGEND	MATERIALS LEGEND	ABBREVIATIONS	DRAWING INDEX																																																																																																																																																																																												
<p><b>INTERIOR ELEVATION SYMBOL</b> INDICATES DIRECTION WHERE ELEVATION IS VIEWED INDICATES ELEVATION NUMBER INDICATES DWG. SHT. ON WHICH ELEVATION IS SHOWN</p> <p><b>BUILDING &amp; WALL SECTION SYMBOL</b> SECTION IDENTIFICATION INDICATES DIRECTION WHERE SECTION IS VIEWED INDICATES DWG. SHT. ON WHICH ELEVATION IS SHOWN</p> <p><b>DETAIL IDENTIFICATION</b> DETAIL IDENTIFICATION INDICATES DWG. SHT. ON WHICH ELEVATION IS SHOWN</p> <p><b>WINDOW IDENTIFICATION</b> WINDOW IDENTIFICATION</p> <p><b>DOOR IDENTIFICATION</b> DOOR IDENTIFICATION</p> <p><b>BAR SCALE</b> 0 2' 4' 8' SCALE: 1/4" = 1'-0"</p> <p><b>REVISION IDENTIFICATION</b> REVISION CLOUD REVISION IDENTIFICATION</p> <p><b>HEIGHT ELEVATION SYMBOL</b> LOCATION OF ELEVATION ELEVATION IDENTIFICATION</p> <p><b>ROOM IDENTIFICATION</b> ROOM NAME ROOM NUMBER</p> <p><b>NORTH POINT</b> POINTS TO MAGNETIC NORTH</p>	<p><b>Materials, Elevation</b></p> <table border="0"> <tr> <td></td> <td>RUNNING BOND BRICK</td> <td></td> <td>PLASTER/STUCCO/CONCRETE</td> </tr> <tr> <td></td> <td>STONE VENEER</td> <td></td> <td>GLASS/GLAZING</td> </tr> </table> <p><b>Materials, Plan/Section</b></p> <table border="0"> <tr> <td></td> <td>CONCRETE</td> <td></td> <td>C.M.U.</td> </tr> <tr> <td></td> <td>FINISHED WOOD</td> <td></td> <td>WOOD BLOCKING</td> </tr> <tr> <td></td> <td>PLYWOOD</td> <td></td> <td>BATT INSULATION</td> </tr> <tr> <td></td> <td>RIGID INSULATION</td> <td></td> <td>ACOUSTICAL CEILING PANELS</td> </tr> <tr> <td></td> <td>CERAMIC TILE</td> <td></td> <td>BRICK</td> </tr> <tr> <td></td> <td>EARTH</td> <td></td> <td>STEEL</td> </tr> <tr> <td></td> <td>GRANULAR FILL</td> <td></td> <td>STUCCO/PLASTER</td> </tr> </table> <p><b>BUILDING INFORMATION</b></p>		RUNNING BOND BRICK		PLASTER/STUCCO/CONCRETE		STONE VENEER		GLASS/GLAZING		CONCRETE		C.M.U.		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Masonry Opening	ARCH	Architect(s)	(N)	New	BLDG	Building	NIC	Not in Contract	CJ	Control Joint	NOM	Nominal	CLG	Ceiling	NTS	Not in Scale	CONC	Concrete	O.C.	On Center	CONT	Continuous	O.D.	Outside Diameter	C.T.	Ceramic Tile	OPG	Opening	DIA	Diameter	OPP	Opposite	D.S.	Downspout	(P)	Point	DWG	Drawing	R	Riser	(E)	Existing	R	Riser	EA	Each	(R)	Remove	EJ	Expansion Joint	Re	Refer (to)	ELEC	Electrical	REQD	Required	EL	Elevation	R.D.	Roof Drain	EQUIP	Equipment	R.O.	Rough Opening	EW	Electric Water Cooler	S.C.	Soil Core	F.D.	Floor Drain	SF	Square Feet	F.O.C.	Face of Concrete	SM	Similar	F.O.F.	Face of Finish	SPEC	Specifications	F.O.S.	Face of Stud	S.S	Stainless Steel	F.R.	Fire-Retardant	STD	Standard	GA	Gauge or Gage	STR	Structural	GC	General Contractor	S.A.C.	Suspended Acoustical Ceiling	GL	Galvanized Iron	T	Tread	GYP. BD.	Gypsum Board	T.O.B.	Top of Beam - Steel	H.C.	Hollow Core	T.O.C.	Top of Concrete	H.M.	Hollow Metal	T.O.W.	Top of Wall	HORIZ	Horizontal	TYP	Typical	HT	Height	UNO	Unless Noted Otherwise	I.D.	Inside Diameter	VCT	Vinyl Composition Tile	JT	Joint	WJ	With	LAV	Lavatory	WC	Water Closet	MAX	Maximum	WR	Water Resistant	MICH	Mechanical	WW	Welded Wire Fabric	MFR	Manufacturer			MIN	Minimum			<p>T-1 TITLE SHEET A-1 SITE PLAN &amp; SCHEDULES A-2 FOUNDATION PLAN &amp; FLOOR FRAMING &amp; PIER DETAILS A-3 FOOTING DETAILS A-4 FLOOR PLAN &amp; POWER &amp; LIGHTING A-5 ELEVATIONS A-6 TRUSS SECTIONS &amp; DETAILS A-7 BUILDING SECTION &amp; DETAILS</p>
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# DEMOLITION NOTE

**DEMOLITION NOTE:** CLEAR SITE FROM ALL GRUB AND EXISTING TREES, IF ANY. REMOVE EXISTING STRUCTURE (HOUSE & SHEDS, IF ANY) AND HALL, AWAY ALL MATERIAL. SITE SHALL BE CLEARED OF ALL DEBRIS PRIOR TO CONSTRUCTION OF NEW HOME.



## GENERAL NOTES

- CONTRACTOR TO VISIT SITE AND BECOME FAMILIAR WITH ALL CONDITIONS PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS SHOWN ON THESE DRAWINGS BEFORE CONSTRUCTION BEGINS. ANY DISCREPANCIES ARE TO BE BROUGHT TO THE ATTENTION OF THE ARCHITECT.
- THE CONTRACTOR IS TO KEEP AN ACCURATE RECORD OF ALL CHANGES MARKED IN INK ON THESE DRAWINGS DURING CONSTRUCTION, INCLUDING LOCATION OF ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL FURNISH THE OWNER AND ARCHITECT EACH A COPY OF THIS RECORD BEFORE FINAL COMPLETION AND ACCEPTANCE IS RECORDED.
- THE CONTRACTOR/BUILDER SHALL ASK FOR DETAILS WHENEVER UNCERTAIN ABOUT METHODS OF INSTALLATION. LACK OF DETAILS NOT REQUESTED WILL NOT EXCUSE IMPROPER INSTALLATION AND CORRECTION SHALL BE MADE THE RESPONSIBILITY OF THE CONTRACTOR/BUILDER.
- THE SHEETS IN THESE DRAWINGS ARE COMPLEMENTARY TO EACH OTHER, WHAT IS CALLED FOR BY ONE WILL BE BINDING AS IF CALLED FOR BY ALL AND ALL PARTIES INVOLVED SHALL BECOME FAMILIAR WITH ALL SHEETS OF DRAWINGS AND SPECIFICATIONS (IF ANY) AND NOT SIMPLY THEIR OWN WORK IN ORDER TO FULLY UNDERSTAND AND DEVELOP THE CONSTRUCTION PROJECT.
- THESE DRAWINGS HAVE BEEN DRAWN AND CHECKED TO ENSURE A REASONABLE DEGREE OF ACCURACY. HOWEVER, THE CONTRACTOR/BUILDER IS RESPONSIBLE FOR CHECKING ALL DIMENSIONS, DETAILS AND REQUIREMENTS OF THESE PLANS AND/OR SPECIFICATIONS PRIOR TO COMMENCING WORK.

NO	SIZE	DESCRIPTION	TYPE	REMARKS	QUANTITY
A	3'-0" x 6'-0"	SINGLE HUNG ALUM. WINDOW	6/8 DIVIDED LITES	DOUBLE GLZED (INSULATED)	4
B	3'-0" x 3'-0"	SINGLE HUNG ALUM. WINDOW	6/8 DIVIDED LITES	DOUBLE GLZED (INSULATED)	1
C	3'-0" x 4'-0"	SINGLE HUNG ALUM. WINDOW	6/8 DIVIDED LITES	DOUBLE GLZED (INSULATED)	5

NO	SIZE	DESCRIPTION	REMARKS	QUANTITY
1	3'-0" x 6'-0" x 1-3/4"	6 PANEL INSULATED PRE-HANG STEEL DOOR	DOOR TO HAVE HALF MOON LITE	1
2	3'-0" x 6'-0"	PRE-HANG 6-PANEL "MANSION" DOOR	PAINT DOOR 2 COATS INTERIOR LATEX PAINT BOTH SIDES	1
3	3'-0" x 6'-0"	PRE-HANG 6-PANEL "MANSION" DOOR	PAINT DOOR 2 COATS INTERIOR LATEX PAINT BOTH SIDES	6
4	1'-0" x 6'-0"	PRE-HANG 6-PANEL "MANSION" DOOR	PAINT DOOR 2 COATS INTERIOR LATEX PAINT BOTH SIDES	2
5	(2) 3'-0" x 6'-0"	PAIR 3-PANEL "MANSION" 6-PANEL DOOR	PAINT DOOR 2 COATS INTERIOR LATEX PAINT BOTH SIDES	1
6	(2) 3'-0" x 6'-0"	PAIR 3-PANEL "MANSION" 6-PANEL DOOR	PAINT DOOR 2 COATS INTERIOR LATEX PAINT BOTH SIDES	2
7	3'-0" x 6'-0"	PRE-HANG PANEL "MANSION" DOOR	PAINT DOOR 2 COATS INTERIOR LATEX PAINT BOTH SIDES	1
8	3'-0" x 6'-0" x 1-3/4"	6 PANEL INSULATED PRE-HANG STEEL DOOR	PAINT DOOR 2 COATS INTERIOR LATEX PAINT BOTH SIDES	1
9	1'-0" x 6'-0"	PRE-HANG 6-PANEL "MANSION" DOOR	PAINT DOOR 2 COATS INTERIOR LATEX PAINT BOTH SIDES	1

ROOMS	FLOOR	BASE	WALLS	CEILING	HT.	REMARKS
LIVING ROOM	X	X	X	X	8'-0"	
DINING ROOM	X	X	X	X	8'-0"	
KITCHEN	X	X	X	X	8'-0"	
PANTRY	X	X	X	X	8'-0"	
BEDROOM 1	X	X	X	X	8'-0"	
BEDROOM 2	X	X	X	X	8'-0"	
MASTER BEDROOM	X	X	X	X	8'-0"	
BATH NO.1	X	X	X	X	8'-0"	
BATH NO.2	X	X	X	X	8'-0"	
UTILITY ROOM	X	X	X	X	8'-0"	
BEDROOM CLOSETS	X	X	X	X	8'-0"	

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 Architect's Seal / Signature

Notation and symbols to be used on all drawings  
 shall conform to the American Institute of Architects  
 Standard Drawing Specifications, 14th Edition, 1995  
 Edition 1995

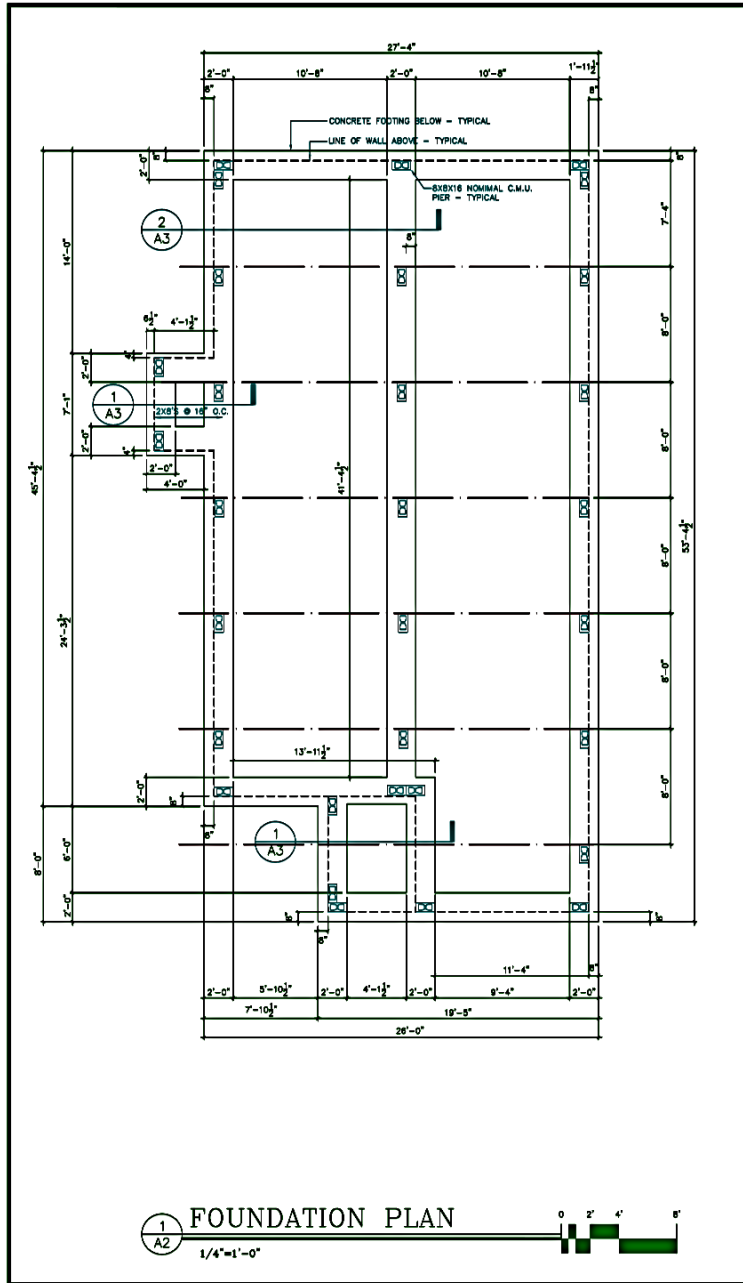
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**project name**  
 CITY OF KENNER COMMUNITY  
 DEVELOPMENT DEPARTMENT  
 REPLACEMENT HOUSING  
 PROGRAM  
 REPLACEMENT HOME FOR  
 JOSEPHINE ALEXANDER  
 313 FORTIER ST.  
 KENNER, LA. 70062

**project number**  
 04-006  
**date**  
 JUNE 20, 2005

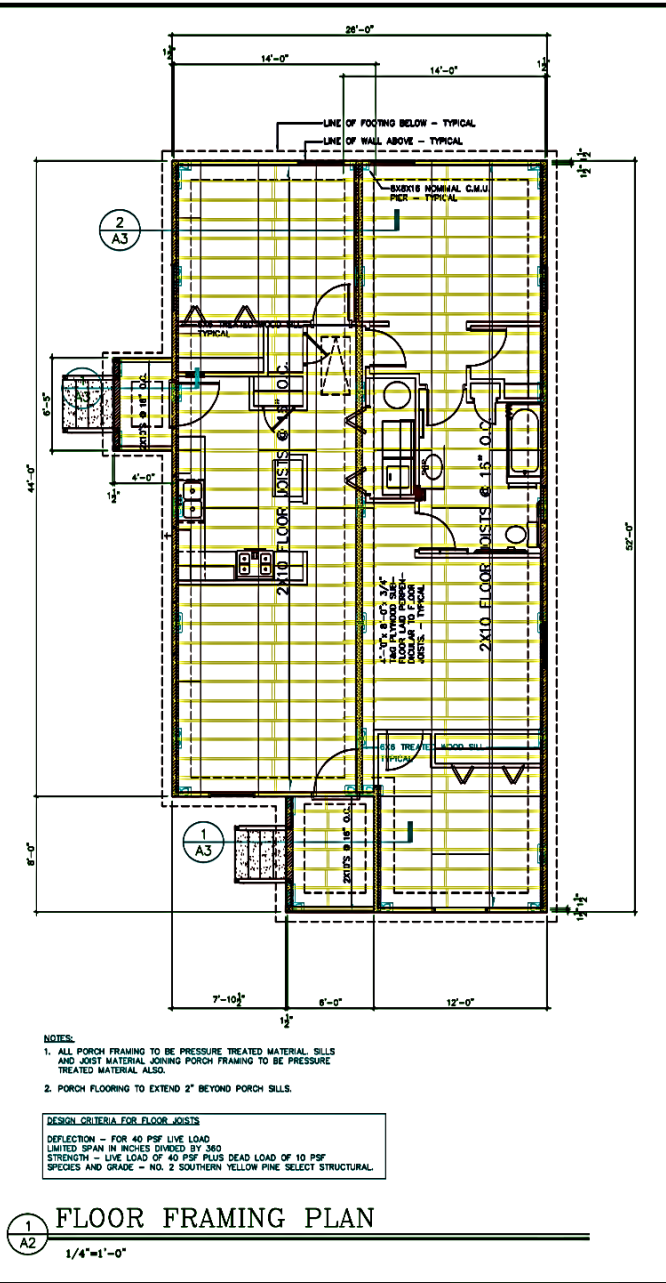
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**drawn by** JSA  
**checked by** RAL  
**sheet title**  
 SITE PLAN  
 CEILING FRAMING

**sheet number**  
**A-1**



1 FOUNDATION PLAN  
 1/4"=1'-0"  
 0 2' 4'

- GENERAL NOTES**
- CONCRETE SHALL BE STANDARD WEIGHT AND SHALL BE TESTED AT 3000 PSI AT 28 DAYS IN ACCORDANCE WITH A.C.I. CODE REQUIREMENTS.
  - REINFORCING STEEL SHALL CONFORM TO THE REQUIREMENTS OF ASTM SPECIFICATIONS A615, GRADE 60, WELDED STEEL WIRE FABRIC SHALL CONFORM TO ASTM SPECIFICATIONS, SERIAL DESIGNATION A185, COLD-DRAWN WIRE ASTM A-82.
  - SLUMP FOR FOOTINGS SHALL HAVE A MAXIMUM SLUMP OF 4" AND A MINIMUM OF 3" SLUMP.
  - FILL UNDER FOOTINGS SHALL BE GRADED SAND (RIVER OR SPILLWAY FINE SAND) OR GRAVEL OF MINIMUM THICKNESS SHOWN ON DRAWINGS. ALL FILL SHALL BE COMPACTED TO 98% DENSITY.
  - FORMS FOR CONCRETE SHALL BE NO 3 COMMON GRADE OR BETTER. FORMS SHALL BE BEAT TRUE TO LINE AND GRADE. SHALL BE MORTAR TIGHT AND SUFFICIENTLY RIGID TO PREVENT DISPLACEMENT OR SAGGING BETWEEN SUPPORTS.
  - UNDER ALL CONCRETE FLOORS PROVIDE (1) LAYER OF 6" THK. R-19, FIBERGLASS BATT INSULATION BETWEEN FLOOR JOISTS.
  - ALL CONCRETE SHALL BE SCREENED LEVEL. SURFACE SHALL BE FLOATED AND TROWEL TO A SMOOTH, IMPERVIOUS SURFACE FREE OF TROWEL MARKS.
  - CURING COMPOUND SHALL BE APPLIED IMMEDIATELY AFTER TROWELING. COMPOUND SHALL BE "SONNEBORNE'S AURE" & SEAL" OR EQUAL.
  - EXTERIOR SLABS AND WALKS SHALL BE LIGHTLY BRUSHED AFTER FINAL TROWELING TO PRODUCE A NON-SLIP SURFACE FINISH.
  - TERMITE TREATMENT:  
 ALL BUILDING FOOTING AREAS SHALL BE CHEMICALLY TREATED TO PROTECT AGAINST SUBTERRANEAN TERMITE INFESTATION PRIOR TO ERECTING CONCRETE BLOCK PIERS BUT AFTER FINAL GRADING OF SOIL BASE MATERIAL. PROVIDE WARRANTY AGAINST TERMITE DAMAGE FOR A PERIOD OF ONE (1) YEAR FROM DATE OF BUILDING ACCEPTANCE BY OWNER.
  - A/C COMPRESSOR PADS:  
 COMPRESSOR PADS SHALL BE 4" THICK, 3000 P.S.I. CONCRETE REINFORCED WITH 6X6-10/70 WWF. POUR PADS OVER 6" MIN. COMPACTED SOIL BASE.
  - PILE FOUNDATIONS:  
 PILING SHALL BE CLASS 5, 30"-0" LONG CRESTOTE IMPREGIATED TUBER PILES DRIVEN TO REFUSAL. DESIGN LOAD TO BE 4 TONS. SEE FOUNDATION PLAN FOR REQUIRED SPACING.
  - CONTRACTOR/BUILDER SHALL BE RESPONSIBLE FOR DAMAGE TO NEIGHBORING PROPERTY DUE TO VIBRATIONS DURING PILE DRIVING. PRE-DRILLING MAY BE REQUIRED. PRE-DRILLING MUST BE APPROVED BY SOILS ENGINEER.



1 FLOOR FRAMING PLAN  
 1/4"=1'-0"

- NOTES:**
- ALL PORCH FRAMING TO BE PRESSURE TREATED MATERIAL, SILLS AND JOIST MATERIAL JOINING PORCH FRAMING TO BE PRESSURE TREATED MATERIAL ALSO.
  - PORCH FLOORING TO EXTEND 2" BEYOND PORCH SILLS.
- DESIGN CRITERIA FOR FLOOR JOISTS**
- DEFLECTION - FOR 40 PSF LIVE LOAD  
 LIMITED SPAN IN INCHES EXCEEDED BY 360  
 STRENGTH - LIVE LOAD OF 40 PSF PLUS DEAD LOAD OF 10 PSF  
 SPECIES AND GRADE - NO. 2 SOUTHERN YELLOW PINE SELECT STRUCTURAL

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project name  
 CITY OF KENNER COMMUNITY DEVELOPMENT DEPARTMENT REPLACEMENT HOUSING PROGRAM

REPLACEMENT HOME FOR JOSEPHINE ALEXANDER  
 313 FORTIER ST.  
 KENNER, LA. 70062

project number  
 04-006

date  
 JUNE 20, 2005

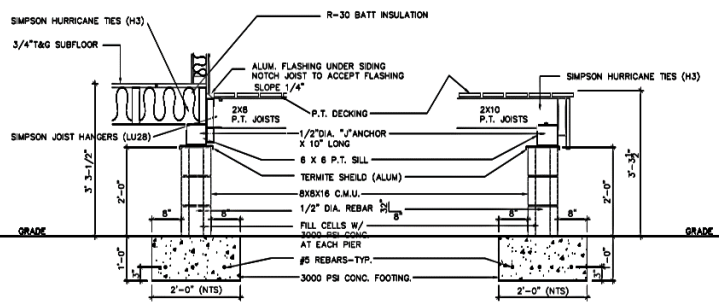
revision

drawn by  
 JSA

checked by  
 RAL

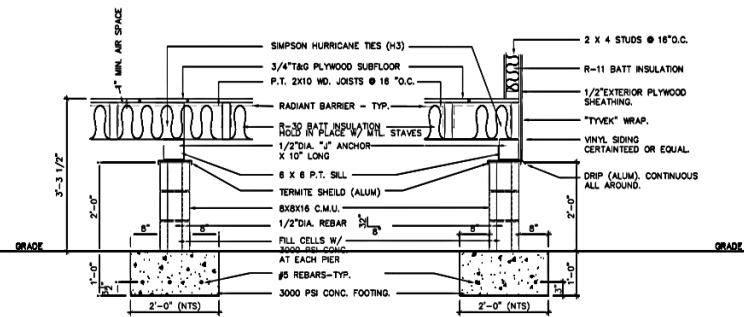
sheet title  
 FOUNDATION

sheet number  
**A-2**



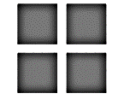
NOTE: SCREW AND GLUED PLYWOOD SUBFLOOR TO TOP OF FLOOR JOISTS.

1  
A3  
TYPICAL PORCH SECTION  
1"=1'-0"



NOTE: SCREW AND GLUED PLYWOOD SUBFLOOR TO TOP OF FLOOR JOISTS.

2  
A3  
FOOTING & FLOOR SECTION WITH SIDING  
1"=1'-0"



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JEANNETTE B. ARRIAGA, B. ARCH.  
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revision  
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drawn by RAL

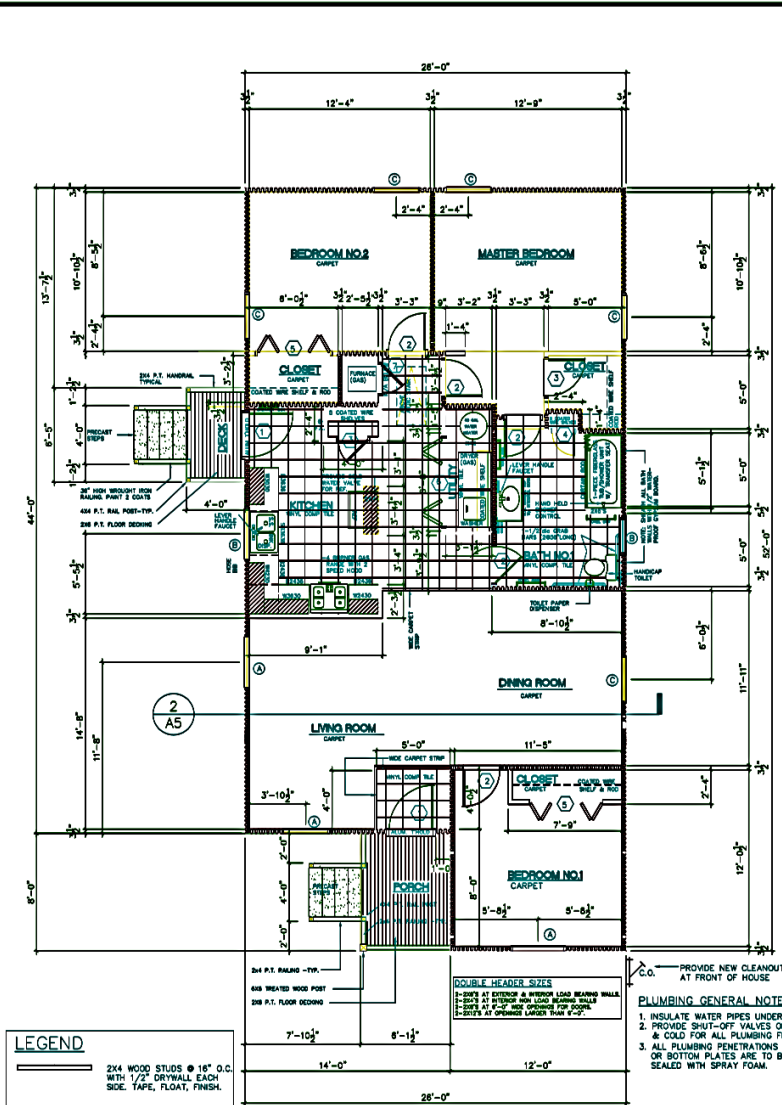
checked by RAL

sheet title

FOUNDATION

sheet number

**A-3**



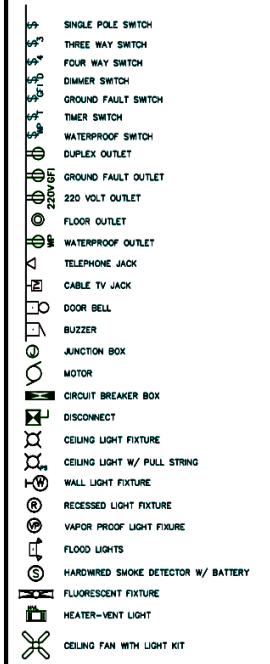
2 FLOOR PLAN  
1/4"=1'-0"

**GENERAL ELECTRICAL NOTES:**

THIS PLAN REPRESENTS A BASIC LAYOUT OF LIGHTING AND POWER REQUIREMENTS. WHAT IS NOT CALLED OUT FOR IN THIS PLAN BY CODE DOES NOT RELIEVE THE ELECTRICAL CONTRACTOR'S RESPONSIBILITY FOR COMPLIANCE WITH THE NATIONAL ELECTRICAL CODE (NEC).

- ELECTRICAL OUTLET PLATE GASKETS SHALL BE INSTALLED ON RECEPTACLE, SWITCH, AND ANY OTHER BOXES IN EXTERIOR WALL.
- PROVIDE A SEPARATE CIRCUIT FOR MICROWAVE AND APPLIANCES THAT DRAW LARGE AMPERAGES.
- VERIFY ALL CONDITIONS, DIMENSIONS, AND ELECTRICAL LOCATIONS WITH OWNER BEFORE STARTING ELECTRICAL WORK.
- EXTERIOR FLOOD LIGHTS TO BE PHOTO-ELECTRIC CELL WITH TIMER.
- PROVIDE EACH AND EVERY FIXTURE AS INDICATED IN THE PLANS AND SCHEDULE. FIXTURES TO BE COMPLETE WITH BALLASTS, INTERNAL WIRING, BRACKETS, FITTINGS, COVERS, REFLECTORS, AND ALL REQUIRED ACCESSORIES.
- ANY FIXTURE DAMAGED DURING CONSTRUCTION BEFORE FINAL ACCEPTANCE OF THE PROJECT SHALL BE REPLACED.
- INSTALLATION METHODS FOR EACH FIXTURE SHALL BE AS INDICATED AND AS RECOMMENDED BY THE FIXTURE MANUFACTURER.
- RECESSED FIXTURES SHALL BE PROVIDED WITH MOUNTING FRAMES OR RINGS AND SHALL FINISH FLUSH TO THE CEILING WITHOUT LIGHT LEAKS.
- NEW SMOKE DETECTOR TO BE U.L. LISTED, HARDWIRED WITH BATTERY BACK UP, INCLUDE WIRING, BOX, AND DETECTOR, FINE OR EQUAL.
- PROVIDE CABLE SET TERMINALS INCLUDING ALL COVER PLATES AT LOCATIONS SHOWN ON DRAWINGS.
- ALL EQUIPMENT AND LOCATIONS TO BE USED FOR CABLE TV SHALL HAVE THE HOMEOWNER'S APPROVAL BEFORE INSTALLATION. INCLUDE ALL WIRING FOR SPEAKERS AND SOUND SYSTEM.
- PROVIDE 1 GFI DUPLEX OUTLET AT EACH ATTIC STAIR LOCATION.
- PROVIDE 1 80W UTILITY LIGHT AT EACH ATTIC STAIR LOCATION CONVENIENTLY SWITCHED TO HALLWAY. INCLUDE ROUGH AND FINISH WIRING AS NECESSARY.
- ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE.

**ELECTRIC SYMBOL LEGEND**



**GENERAL NOTES:**

- PROVIDE 1 GFI DUPLEX OUTLET IN ATTIC AT EACH FOLDING STAIR LOCATION.
- PROVIDE 1 ATTIC LIGHT AT EACH FOLDING STAIR LOCATION CONVENIENTLY SWITCHED TO HALLWAY.
- PROVIDE POWER AND GAS FOR A/C EQUIPMENT.
- PROVIDE 1 TURBINE GRAVITY ATTIC VENTILATOR.

ALL ELECTRICAL WORK SHALL BE DONE IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE. THIS PLAN REPRESENTS A BASIC LAYOUT OF LIGHTING AND POWER REQUIREMENTS. WHAT IS NOT CALLED OUT FOR IN THIS PLAN REQUIRED BY CODE DOES NOT RELIEVE ELECTRICAL CONTRACTOR'S RESPONSIBILITY FOR COMPLIANCE WITH THE NATIONAL ELECTRICAL CODE.

PROVIDE 1 INTERIOR TYPE CIRCUIT BREAKER PANEL, 110/220V SERVICE, LABEL ALL CIRCUITS. PANEL TO BE 125 AMPS WITH MIN. 25 BREAKERS. COMPLY WITH N.E.C.

3 POWER & LIGHTING PLAN  
1/4"=1'-0"



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REPLACEMENT HOUSING PROGRAM

REPLACEMENT HOME FOR JOSEPHINE ALEXANDER  
313 FORTIER ST.  
KENNER, LA. 70062

**project number**  
04-006

**date**  
JUNE 20, 2005

**revision**

**drawn by** JSA

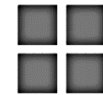
**checked by** RAL

**sheet title**

FLOOR PLANS

**sheet number**

A-4



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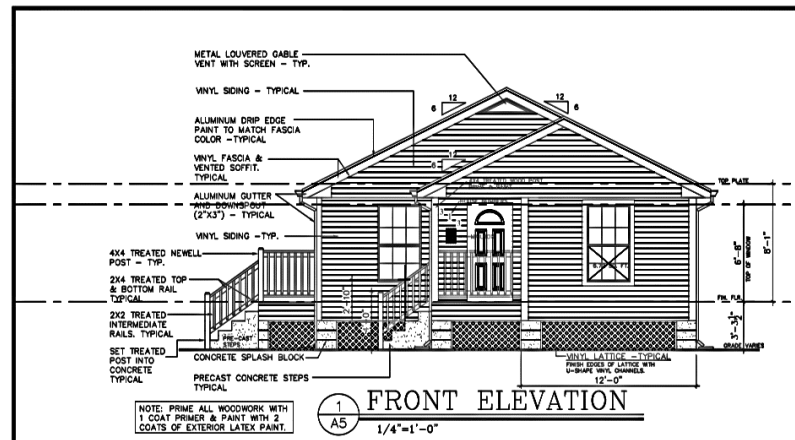
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sheet title  
ELEVATIONS  
CEILING FRAMING

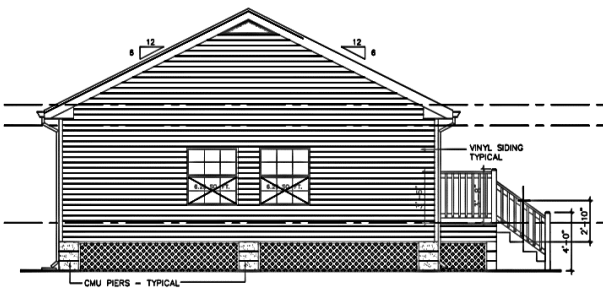
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**A-5**

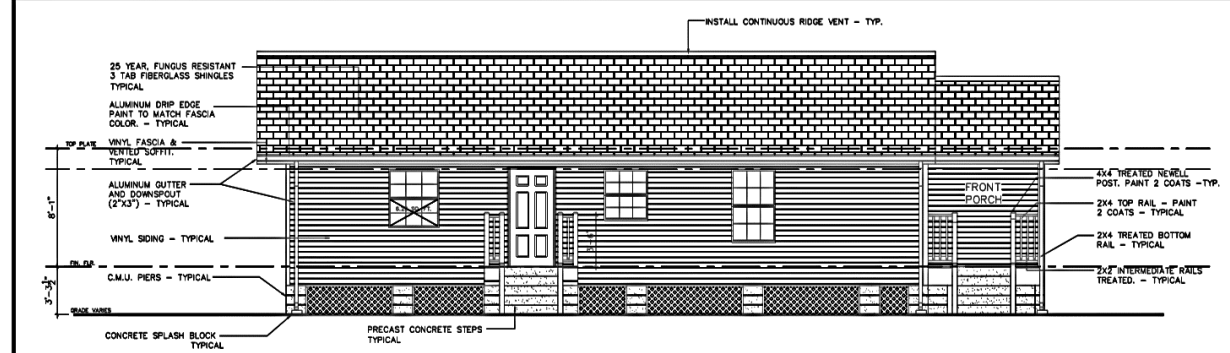
GENERAL NOTE:  
ANY NOTE MARKED "TYPICAL" (TYP.) APPLIES TO  
ALL LIKE CONDITIONS UNLESS NOTED OTHERWISE.



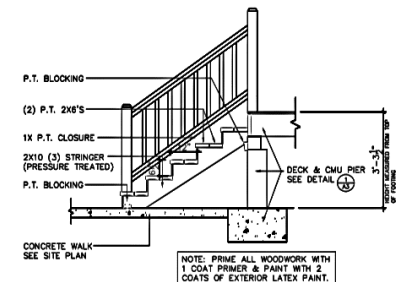
1 FRONT ELEVATION  
A5 1/4"=1'-0"



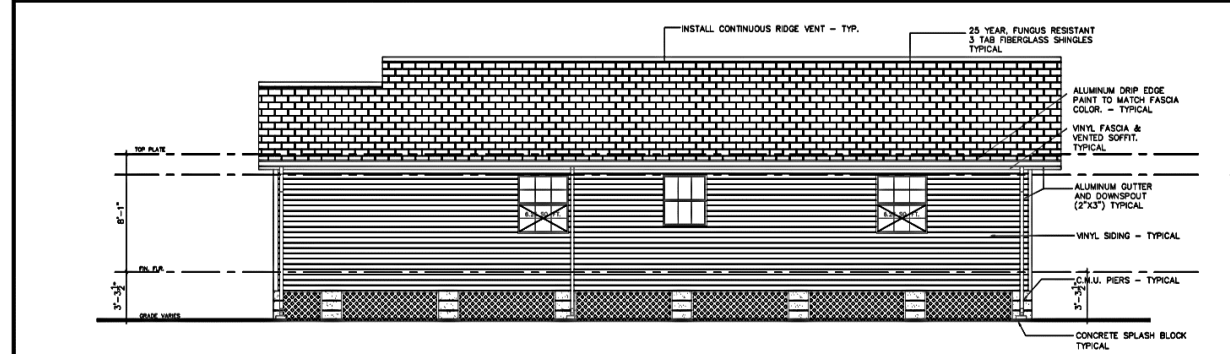
2 REAR ELEVATION  
A5 1/4"=1'-0"



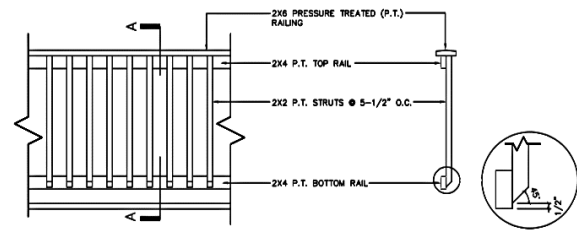
3 EAST ELEVATION - POLLOCK PL. SIDE  
A5 1/4"=1'-0"



5 ALTERNATE STEP DETAIL  
A5 1/4"=1'-0"



4 WEST ELEVATION - CENTANNI RD. SIDE  
A5 1/4"=1'-0"



6 PORCH RAILING DETAIL  
A5 1/4"=1'-0"



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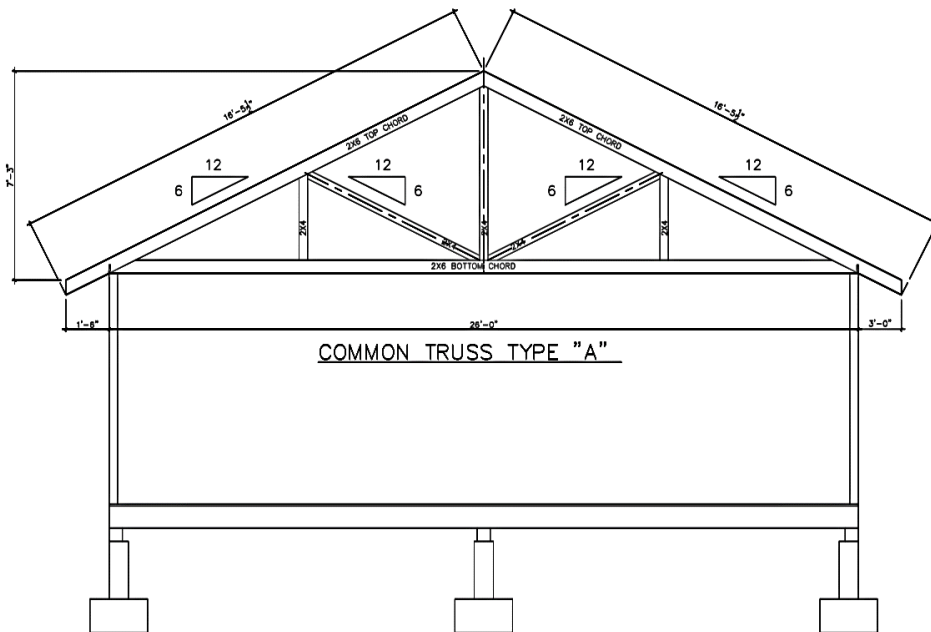
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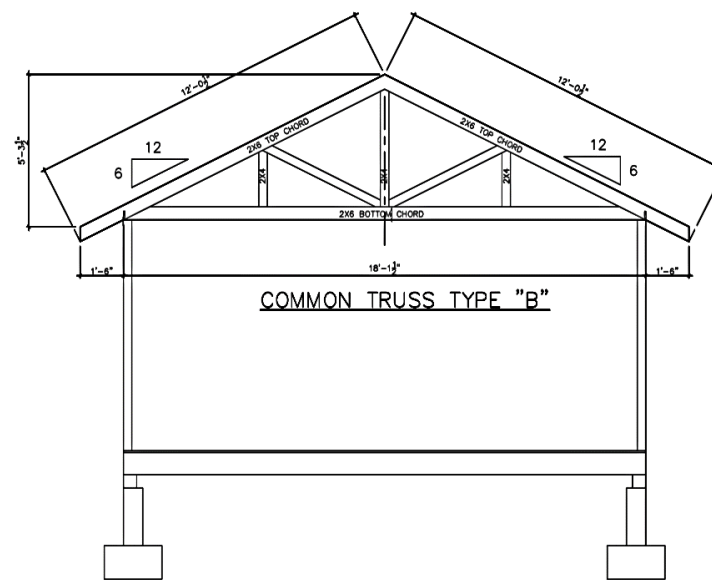
TRUSS DETAILS

sheet number

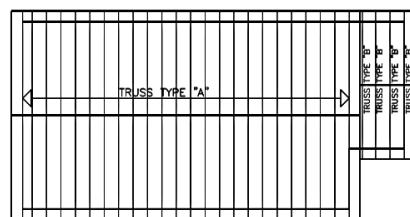
A-6



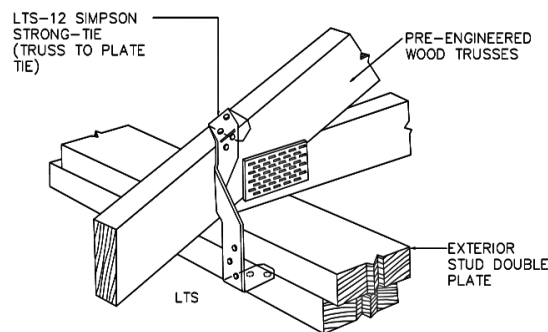
1  
A4 TRUSS ELEVATION - TRUSS TYPE "A" SCALE: 1/2" = 1'-0"



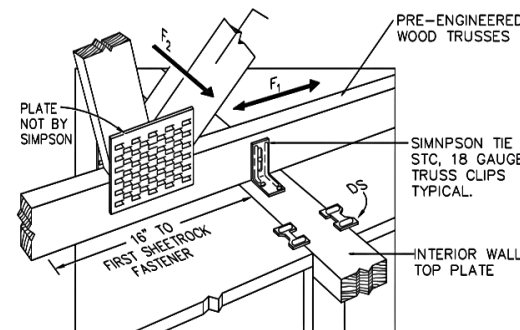
1  
A4 TRUSS ELEVATION - TRUSS TYPE "B" SCALE: 1/2" = 1'-0"



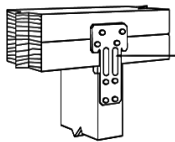
2  
A4 DETAIL SCALE: 1/8" = 1'-0"



3  
A4 TRUSS ANCHORING DETAIL SCALE: 1/8" = 1'-0"

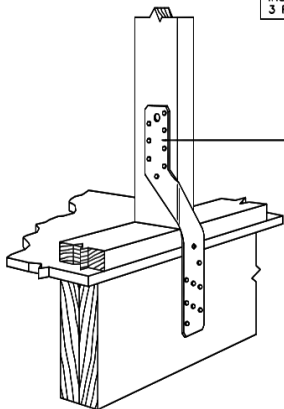


4  
A4 TRUSS ANCHORING DETAIL SCALE: 1/8" = 1'-0"



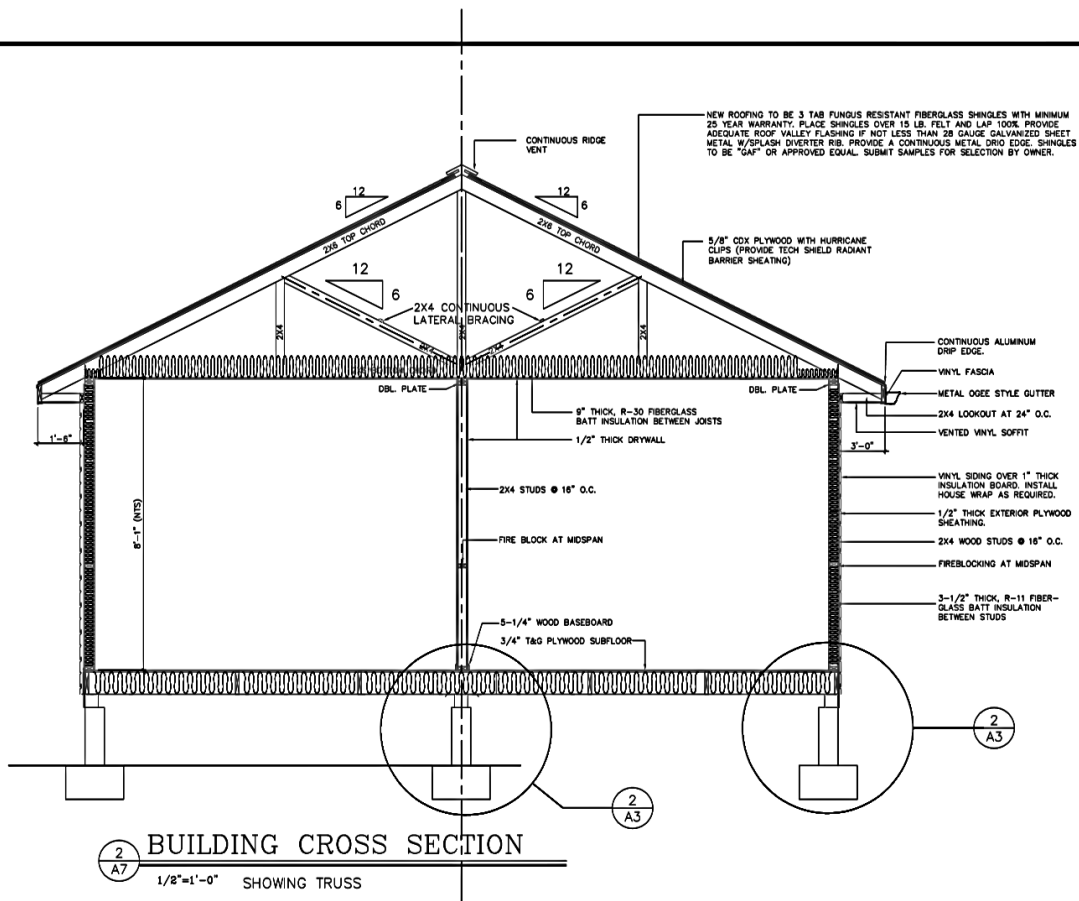
STUD TO DOUBLE PLATE  
RSP4 SIMPSON TIE

INSTALL SIMPSON TIES EVERY  
3 RD STUD OR 48" O.C.



STUD TO SILL/BAND JOIST  
CONNECTION. MTS16 SIMPSON  
STRONG TIE.

**1**  
A7  
**STUD TO PLATE ANCHORING**  
1-1/2"=1'-0"



**2**  
A3  
**BUILDING CROSS SECTION**  
1/2"=1'-0" SHOWING TRUSS

**GENERAL FRAMING NOTES:**

- ALL WOOD FRAMING, FABRICATION AND ERECTION SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION BY THE NPFA, THE PLYWOOD DESIGN SPECIFICATIONS BY THE AMERICAN PLYWOOD ASSOCIATION (A.P.A.) AND MEET THE REQUIREMENTS OF THE STANDARD BUILDING CODE (S.B.C.). ALL WOOD CONNECTIONS SHALL BE IN ACCORDANCE WITH THE FASTENING SCHEDULE OF THE S.B.C.
- ALL LUMBER IN CONTACT WITH CONCRETE OR MASONRY SHALL BE TREATED. ALL WOOD IN CONTACT WITH GROUND OR BELOW GROUND LEVEL WHICH SUPPORTS PERMANENT STRUCTURES SHALL BE APPROVED PRESSURE TREATED WOOD.  
ALL POSTS, POLES, AND COLUMNS SUPPORTING PERMANENT STRUCTURES AND EMBEDDED IN CONCRETE WHICH IS IN CONTACT WITH GROUND SHALL BE APPROVED PRESSURE TREATED WOOD.  
SILLS AND SOLE PLATES ON CONCRETE SLAB WHICH IS IN DIRECT CONTACT WITH EARTH SHALL BE APPROVED PRESSURE TREATED WOOD.  
WOOD STRUCTURAL MEMBERS SUPPORTING MOISTURE PERMEABLE FLOORS OR ROOFS WHICH ARE EXPOSED TO WEATHER SHALL BE OF APPROVED PRESSURE TREATED WOOD UNLESS SEPARATED FROM SUCH FLOORS OR ROOFS BY AN APPROVED IMPERVIOUS MOISTURE BARRIER.
- BLOCK ALL STUDS AT MID HEIGHT. RAMSET BOTTOM PLATE OF STUD WALLS TO CONCRETE, WHERE APPLICABLE WITH 1/4" RAMSETS AT 16" O.C., EMBEDDED A MINIMUM IN CONCRETE WITH 1-1/2" HOOK.
- PROVIDE WOOD CROSS BRIDGING, BLOCKING AND BRACING AS REQUIRED BY BUILDING CODE. PROVIDE DOUBLE JOISTS AT ALL PARALLEL WALLS ABOVE AND SOLID BLOCKING OVER BEARING WALLS.
- PLYWOOD SUBFLOOR TO BE APA RATED 48/24, 3/4" THICK, TONGUE AND GROOVE.
- PLYWOOD ROOF SHEATHING TO BE APA RATED 24/0, 5/8" THICK. PROVIDE CLIPS AT UNSUPPORTED EDGES BETWEEN ROOF RAFTERS.
- WIND BRACING TO BE APA RATED, 4" X 8" X 1/2" PLYWOOD ON ALL EXTERIOR WALL CORNERS AND A MAXIMUM OF 20'-0" O.C. ALONG EXTERIOR WALLS FROM SLAB/FLOOR TO UNDERSIDE OF RAFTERS. PROVIDE SOLID BLOCKING AT ALL PANEL EDGES. NAIL PLYWOOD EDGES WITH 80 NAILS AT 4" O.C. AND 12" AT ALL INTERMEDIATE SUPPORTS.
- JOISTS HANGERS SHALL BE 16 GA. TYPE "J", AS MANUFACTURED BY SIMPSON STRONG-TIE COMPANY, INSTALL IN STRICT ACCORDANCE WITH THE MANUFACTURER'S SPECIFICATIONS. USE JOIST HANGERS FOR JOISTS AND BEAMS WHICH FRAME TO BEAMS AT THE SAME ELEVATION. JOIST HANGERS SHALL BE THE SAME SIZE AS THE MEMBER SUPPORTED.
- PROVIDE STUD POSTS MADE UP OF MULTIPLE STUDS BENEATH END BEARING OF BEAMS. NAIL EACH STUD TO ADJACENT STUD IN THE POST WITH 160 NAILS AT 12" O.C., ON STUD CENTERLINE AND WITHIN 3" OF EACH END. CUT STUDS CAREFULLY TO INSURE FULL AND COMPLETE BEARING ON BOTH TOP AND BOTTOM.
- COORDINATE FRAMING WITH HVAC DUCTS, ELECTRICAL AND PLUMBING REQUIREMENTS.
- BORED HOLES SHALL BE 2" CLEAR FROM TOP OR BOTTOM EDGES OF JOISTS, NOT LARGER THAN 1-1/4" DIAMETER AND NOT IN THE MIDDLE OF THE SPAN.
- STRAP ALL STUDS OUT AWAY FOR PLUMBING WITH 1-1/2" WIDE, NO. 24 GALVANIZED STRAPS, 18" LONG ON BOTH SIDES OF WALL, SPIKED TO PLATES.
- ALL HEADERS OVER WINDOWS SHALL BE (2) 2X12'S W/ 3/4" PLYWOOD HEADERS TO BE GLUED AND NAILED TOGETHER.



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revision

drawn by  
RAL

checked by  
RAL

sheet title  
BUILDING SECTIONS

sheet number

**A-7**





COMMUNICATING WITH  
CONSTRUCTION DRAWINGS

---

**PART FOUR**  
**OTHER**

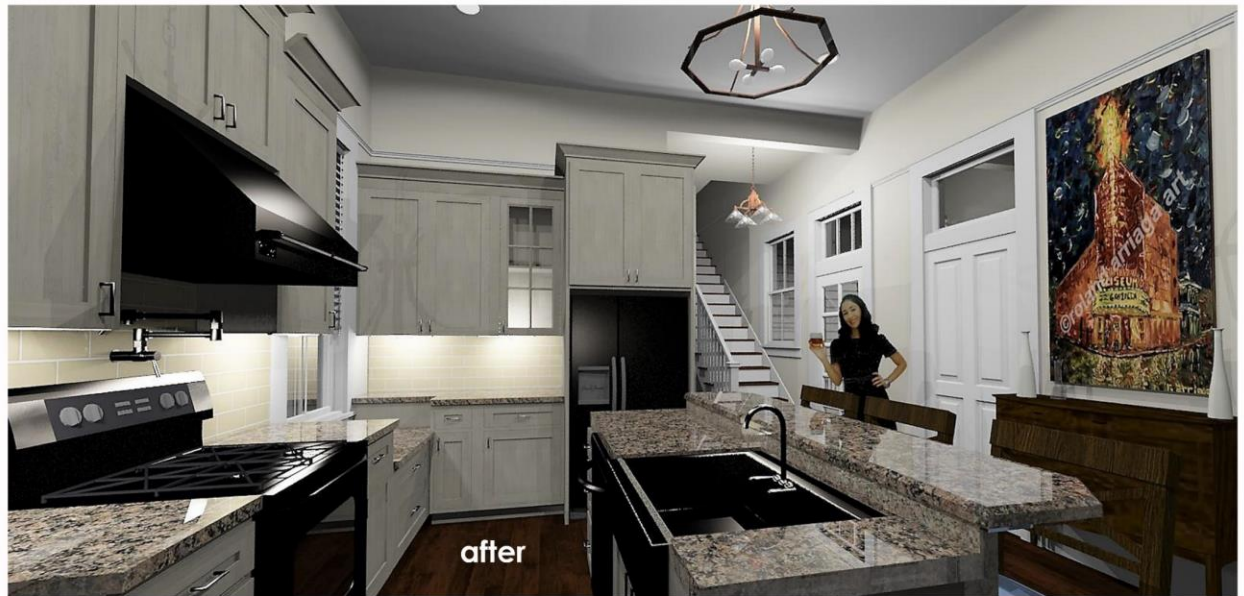
3-D PRESENTATION DRAWINGS

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PROJECT FEASIBILITY STUDIES



before



after



before



after



1894 Queen Anne Cottage Addition & Renovation

**A·D**  
ARCHITECTS, LLC





BEFORE



AFTER

REHABILITATION OF DISTRESSED PROPERTIES



ALTERNATIVE FOOT CLINIC, INC.  
540 SHADOWS LANE BATON ROUGE, LA.

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**ST. ALMA BAPTIST CHURCH**  
3736 ROUGON ROAD  
PORT ALLEN, LA.

The background of the image is a detailed architectural floor plan, rendered in a light blue color. It shows various rooms, corridors, and structural elements with dimensions and labels. The text is overlaid on this background.

## **FEASIBILITY / NEEDS & ASSESMENT STUDIES**

When a design is started without an answer to specific questions that establish proper groundwork for any project, it means significant design changes later, with time and cost overruns during construction because of insufficient information and discrepancies in the plans.





## The Needs and Assessment Report

helps clients, building owners & facility managers, and developers achieve positive results by establishing solid starting points and putting all the technical and regulatory aspects of a project together into an understandable order of importance resulting in constructible architectural designs and well-coordinated construction documents that will save time and money and prevent disappointments later.

# EAGLE NEST APARTMENTS FEASIBILITY STUDY

06/25/2018

958 Harding Street     Baton Rouge, La. 70807



ComNet, LLC ~~~~~Creating Neighborhood Developers~~~~~



ComNet, LLC - 4811 Harding Blvd - Baton Rouge, La 70811  
Phone: 22-205-6562 Fax: 225-357-9577  
Email: ComNetLLC@yahoo.com

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223 South Jefferson Davis Pkwy.  
New Orleans, LA, 70119  
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958 Harding Street     Baton Rouge, La. 70807

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## INTERNATIONAL BUILDING CODE – GENERAL REQUIREMENTS:

The proposed apartments are to be designed with careful consideration to relevant building codes. The building codes that constrain the design for this project come from the (IBC) International Building Code, 2015 edition.

**Classification:**                    R310.4 Group R2 – Apartment houses

**Construction Type:**            Type V-A (111)<sup>1</sup>

Structural elements, exterior walls of 1-hour fire-resistive construction, and 1-hour fire separation between units and corridors. Interior walls are of any materials permitted by the code, combustible or non-combustible. Fire rating only between units, exterior walls and corridors.

<sup>1</sup>Allows greater fire separation distance 10 min. to 30 max. separation distance between exterior walls or distance between buildings.

**General building height and area:** 4 stories with unlimited area. (Table 503 Allowable Building Heights & Areas).

### **Other Group R2 Requirements:**

#### **420.2 Separation Walls**

Walls separating dwelling units in the same building, walls separating sleeping units in the same building and walls separating dwelling or sleeping units from other occupancies contiguous to them in the same building shall be constructed as fire partitions in accordance with Section 708.

#### **420.3 Horizontal Separation**

Floor assemblies separating dwelling units in the same buildings, floor assemblies separating sleeping units in the same building and floor assemblies separating dwelling or sleeping units from other occupancies contiguous to them in the same building shall be constructed as horizontal assemblies in accordance with Section 711.

ZONING ANALYSIS CONT'D. – Restrictions & Setbacks

Lot No.	Zoning District	Front yard setback	Side yard setback	Rear yard setback	Height Limit	Parking	Conditional Use
Lot #1	C-2	---	---	---	none	Req'd	None Req'd.
Lot #2	A-4	20 ft	5 ft <sup>1</sup>	25 ft	45 ft	See Table 17.A	None Req'd.
Lot #3	A-4	20 ft	5 ft <sup>1</sup>	25 ft	45 ft	See Table 17.A	None Req'd.
Lot #4	A-4	20 ft	5 ft <sup>1</sup>	25 ft	45 ft	See Table 17.A	None Req'd.

- Where the sides or rear of a site zoned to permit apartments adjoins the side or rear of an A1 or A2 Zoning District, all buildings thereon shall be set back twenty (20) feet from the A1 or A2 Zoning District side lines.

**18.3 Landscape Design Standards**

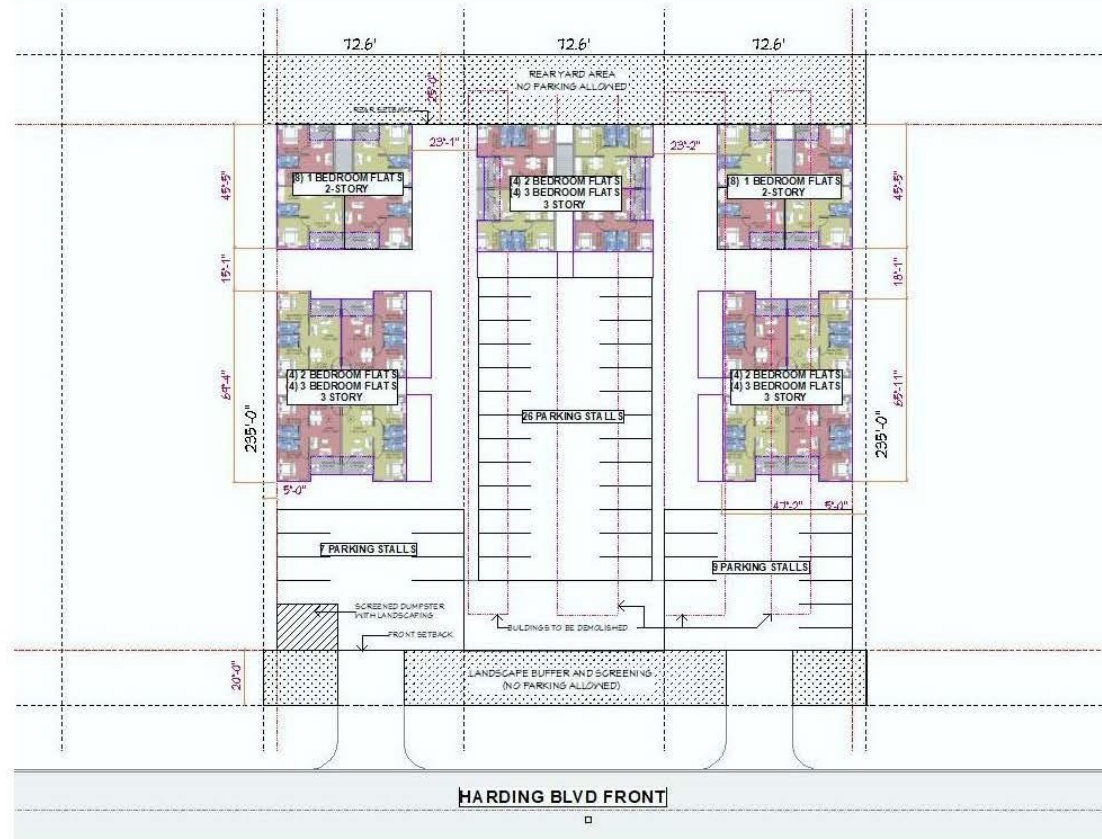
18.3.2 Percentage of Landscape Area At least ten percent of the developed site area, which is inclusive of the building footprint, parking areas, driveways and sidewalks, shall be landscape area. For purposes of this chapter, landscape area shall include required and optional plant materials as well as open areas covered with grass and/or ground cover.

All Developments must show compliance with **Chapter 18 Landscape and Trees** of the Unified Development Code of East Baton Rouge Planning Department.

All Developments must be approved for Drainage and Storm Management Plan by East Baton Rouge Parish Guideline for Storm water Master Development Program.

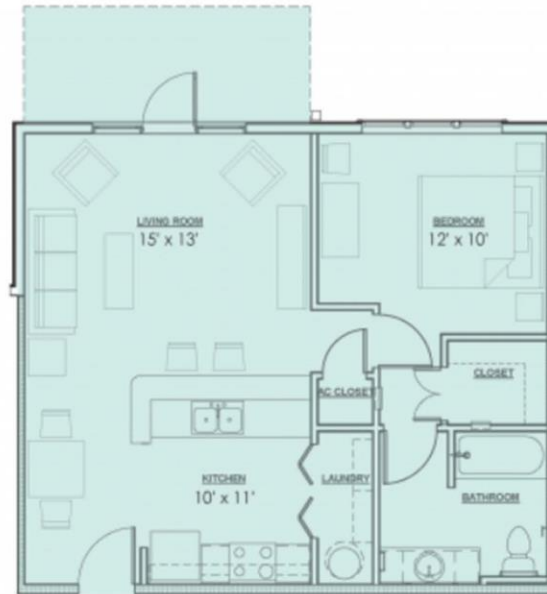
958 Harding Street Baton Rouge, La. 70807

### SITE PLAN CONCEPT

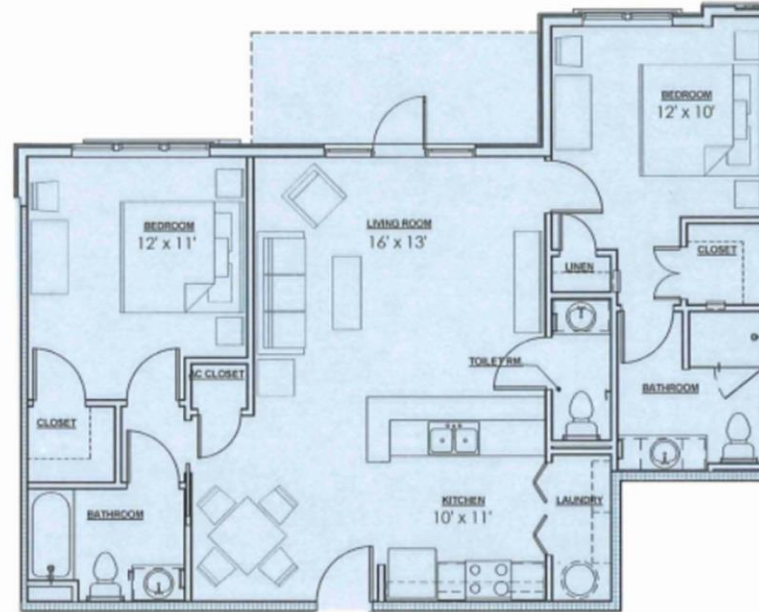


958 Harding Street     Baton Rouge, La. 70807

## PLAN CONCEPTS



ONE BEDROOM FLAT 675 SF



TWO BEDROOM FLAT 915 SF

958 Harding Street Baton Rouge, La. 70807

## PROBABLE ESTIMATE OF CONSTRUCTION COST

The proposed multi-family residential complex can be built in 3 phases consisting of a series of attractive one-, two-, three-bedroom flats using energy efficiency and construction quality with attention to detail. Some ground units will be handicap accessible. If tenants have specific needs for a special kitchen or bath, then the unit will be retrofitted to meet handicap accessible needs.

Archi-Dinamica Architects, LLC  
217 S. Jeff Davis Pkwy.  
New Orleans, LA. 70119  
(504) 486-8616

ComNet, LLC  
4811 Harding Blvd.  
Baton Rouge, La. 70811  
(225) 205-6562

### PROBABLE ESTIMATE OF CONSTRUCTION COST

To establish a feasible project budget all probable costs are based on an average construction cost of \$117.00 per square foot derived from Design and Construction Resources 2018 Square Foot Costs adjusted to local market conditions.

1	General Requirements (Insurances, Permits, including Overhead & profit)	12%	\$	594,000.00
2	Sitework (paving, sewage & drainage, driveways, landscaping, etc.)	5%	\$	247,500.00
3	Concrete (piling, foundation, etc.)	5%	\$	247,500.00
4	Masonry (brick, CMU, Etc.)	4%	\$	198,000.00
5	Metals (Columns, beams)	4%	\$	198,000.00
6	Wood & Plastics			
	Rough Carpentry (Framing, Roof and Walls)	14%	\$	693,000.00
	Finish Carpentry (Millwork)	4%	\$	198,000.00
7	Thermal & Moisture Protection (waterproofing, flashing & sheetmetal)	8%	\$	396,000.00
	Insulation			
	Roofing			
8	Doors, Windows, and Hardware	5%	\$	247,500.00
9	Finishes (Exterior, drywall, paint, flooring)	14%	\$	693,000.00
10	Specialties (bath accessories & prefab fireplace)	1%	\$	49,500.00
11	Equipment (appliances - ref., range, hood, m/wave, disp., d/washer)	3%	\$	148,500.00
12	Furnishings (kitchen & bath cabinets, tops, etc.)	4%	\$	198,000.00
13	Special construction	0%	\$	-
14	Conveying Systems (elevators)	0%	\$	-
15	Mechanical (HVAC, Plumbing, Fire protection, )			
	Plumbing/Fire protection	4%	\$	198,000.00
	HVAC	7%	\$	346,500.00
16	Electrical	6%	\$	297,000.00

<b>Probable cost of construction</b>	<b>100%</b>	<b>\$</b>	<b>4,950,000.00</b>
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<b>SQ FT COST</b>	<b>Building Cost</b>	<b>\$</b>	<b>117.00 /SF</b>
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Gross Bldg. Area	42213 sf
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1. A fire sprinkler is required in all units. The units will be fully sprinklered in accordance with NFPA 13R.
2. All floor and roof framing will be all wood frame with fire protected exterior walls and load bearing walls. Ceiling heights to be 10 feet.



# EAGLE NEST APARTMENTS FEASIBILITY STUDY

06/25/2018

958 Harding Street Baton Rouge, La. 70807

## PROPOSED ARCHITECTURAL, ENGINEERING, & PROJECT CONSULTANT FEES

**Archi-Dinamica Architects, LLC**  
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### COMPUTATION OF PROPOSED ARCHITECTURAL AND ENGINEERING FEE

PROJECT No.:	Eagle Nest Apartments			DATE:	22-Jun-18		
PROJECT NAME:	Eagle Nest Apartments, 958 Harding Blvd., Baton Rouge, La.						
ESTIMATED PROJECT BUDGET / FUNDS AVAILABLE FOR CONSTRUCTION (AFC) =					\$ 4,950,000		
<u>FEE COMPUTATION</u>	46.1 Log (AFC (1975 BCI/Current BCI))						
<u>FEE % for calculation =</u>	\$	4,950,000	0.3	46.1	-	7.47	3.50%
				1485000	6.17		
<b>BASE ARCHITECTURAL &amp; ENGINEERING FEE=</b>						\$	173,250.00
RENOVATION FACTOR (RF)					=		1.00
MODIFICATION FACTOR					=		1.00
<b>Architectural &amp; Engineering FEE</b>						\$	173,250.00
(A/E/C Fees) Architect, Engineerings, & Consultants						\$	-
						<b>Total</b>	<b>\$ 173,250.00</b>

1 A/E/C fees includes fees for Architect, Civil & Structural Engineer, Mechanical & Electrical Engineer, Landscape Architect, & Interior Designer

### A/E/C Fee Breakdown

<b>I. Schematic Design</b>	(10% of A/E Fee)	10%	\$	17,325.00
<small>(Includes arch/mosh/plumb/tiroprot/cloc/sitc/struct) (selection and design of building assemblies, and waterproofing materials, wind loading, hurricane resistant design)</small>				
<b>II. Design Development</b>	(20% of A/E Fee)	20%	\$	34,650.00
<small>(Includes arch/mosh/plumb/tiroprot/cloc/sitc/struct) (selection and design of building assemblies, and waterproofing materials, wind loading, hurricane resistant design)</small>				
<b>III. Construction Documents</b>	(40% of A/E Fee)	40%	\$	69,300.00
<small>(Includes detailed Arch. C.D.'s &amp; M/E/P/S/FP coordination)</small>				
<b>IV. Plan Review and Follow-up</b>	(5% of A/E Fee)	5%	\$	8,662.50
<small>(plan review &amp; fire marshal plan review, revisions incorporating review comments, correspond and follow-up with building dept., Plan Review Dept. reviews, revisions, and approvals)</small>				
<b>V. Construction Administration Support</b>	(5% of A/E Fee)	5%	\$	8,662.50
<small>(Shop dwg. Review, Submittals, Site Visits.)</small>				
<b>VI. Construction Phase Supervision</b>	(20% of A/E Fee)	20%	\$	34,650.00
<small>(check &amp; review progress, process G.C. payments, sound assembly, building envelope and waterproofing inspections, changes &amp; field directives, Requests for Information, as-built drawings)</small>				
			<b>TOTAL</b>	<b>\$ 173,250.00</b>

# EAGLE NEST APARTMENTS FEASIBILITY STUDY

06/25/2018

958 Harding Street Baton Rouge, La. 70807

## PROPOSED ARCHITECTURAL, ENGINEERING, & PROJECT CONSULTANT FEES

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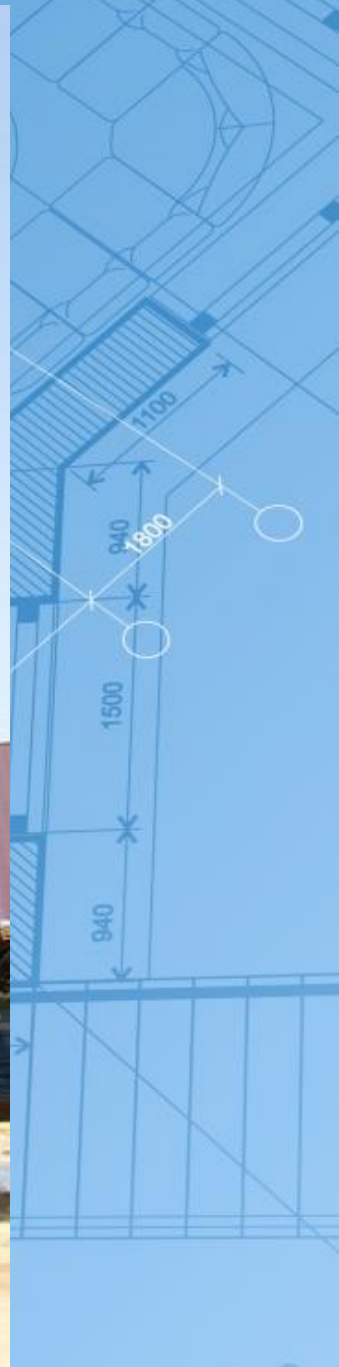
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<b>BASE ARCHITECTURAL &amp; ENGINEERING FEE=</b>				Actual	Proposed	3.50%	
RENOVATION FACTOR (RF)	=				\$	173,250.00	
MODIFICATION FACTOR	=					1.00	
<b>Architectural &amp; Engineering FEE</b>					\$	173,250.00	
(A/E/C Fees) Architect, Engineerings, & Consultants					\$	-	
				<b>Total</b>	\$	<b>173,250.00</b>	

1 A/E/C fees includes fees for Architect, Civil & Structural Engineer, Mechanical & Electrical Engineer, Landscape Architect, & Interior Designer

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<b>TOTAL</b>			\$	<b>173,250.00</b>



End of Presentation

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Question & Answer