

RESIDENTIAL ADDITION

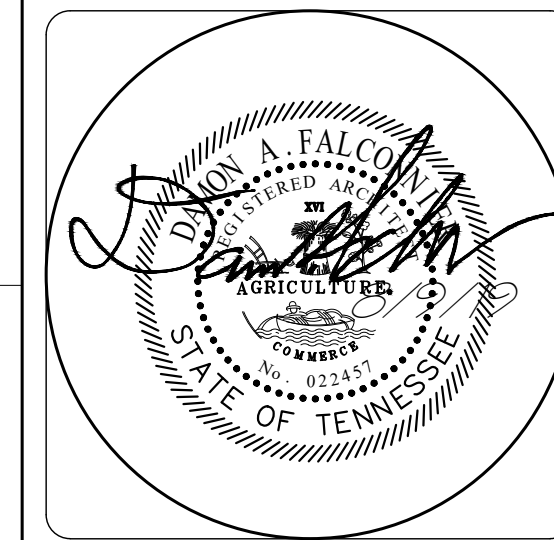
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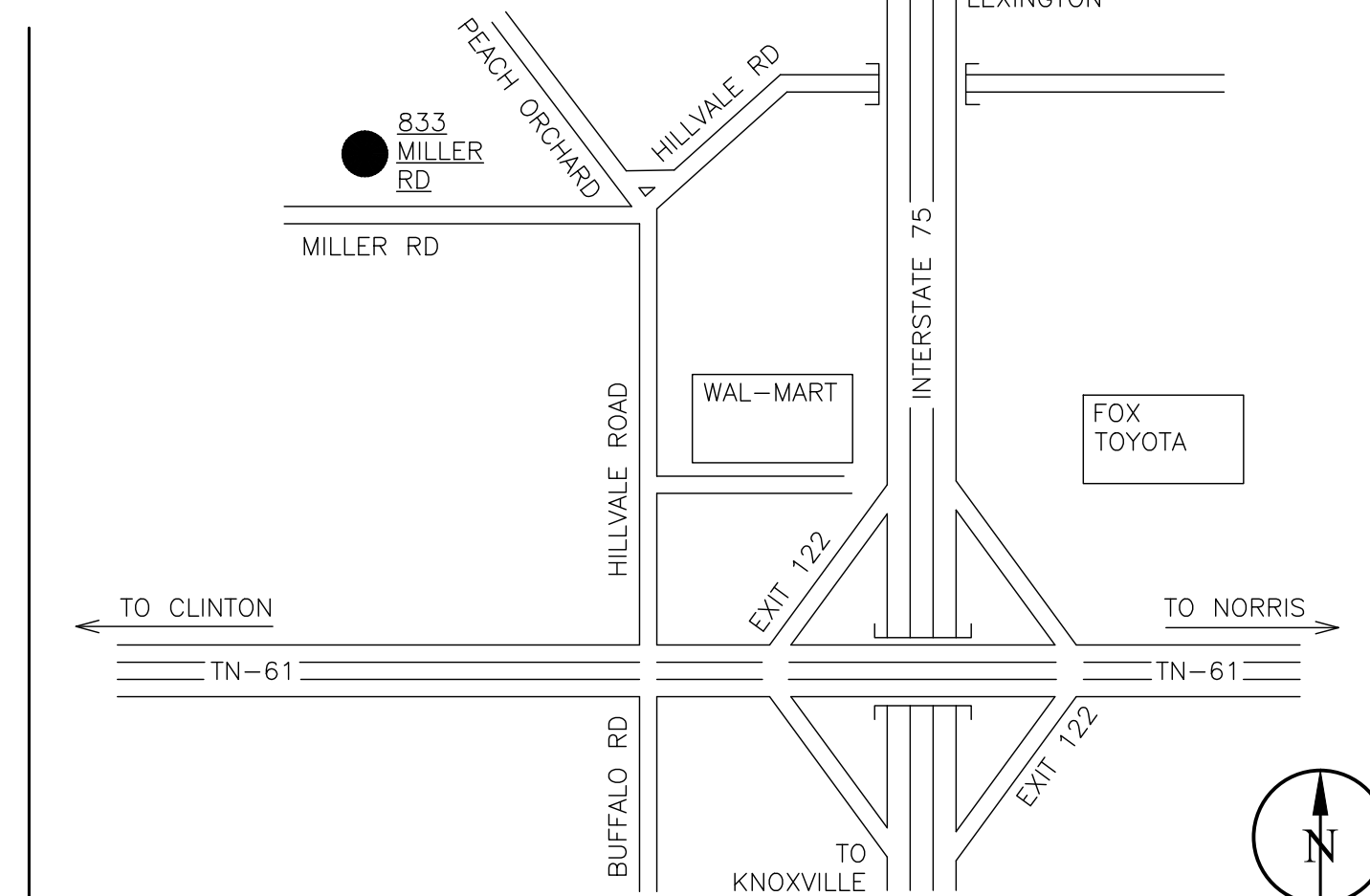
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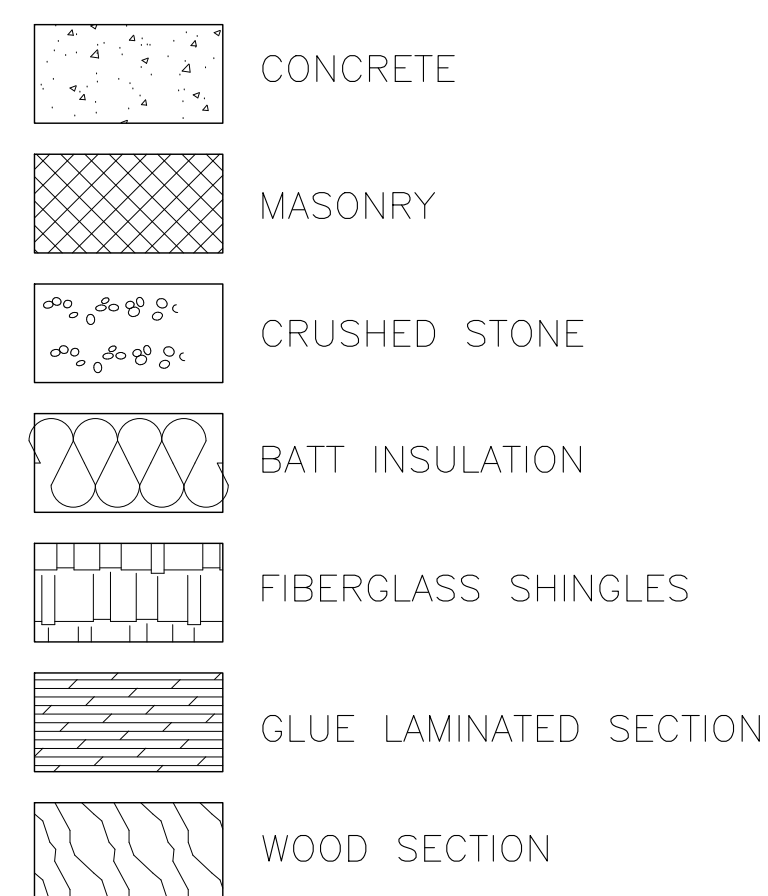
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LOCATION PLAN



MATERIAL INDICATIONS



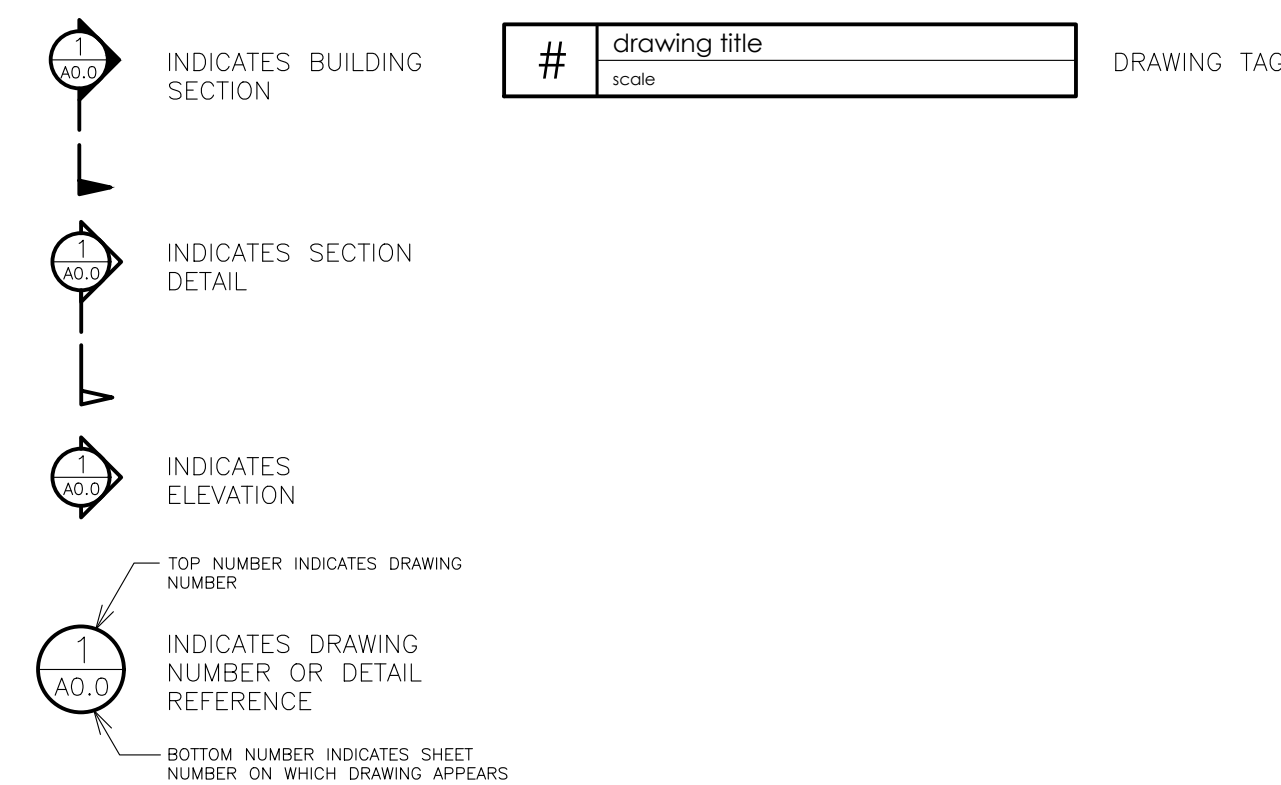
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ISSUE RECORD

ISSUE	DATE	REV	DESCRIPTION	SHEET NO.
1	08/09/19	~	PRICING AND PERMITTING SET	ALL ~ ~ ~

DRAWING SYMBOLS



ABBREVIATIONS

ABV ABOVE FINISHED FLOOR	BR BRUSH (ED)	COND CONDENSER	D DUR DRYER DURATION	FR FIXT FIRE RETARDANT	HD HEAVY DUTY	LEV LEVEL	MID WELDING	PLAM PASTIC LAMINATE	RD ROOF DRAIN	STOR STORAGE	URIN URINAL
AP ACCESS PANEL	BUR BUILT UP ROOFING	CONTR CONT CONSTRUCTION	EA EACH	FLX FLEX FLASHING	H HIGH	LIM LIMITING	MOV MOVABLE	PLYWD PLYWOOD	RM ROOM	SD STORM DRAIN	VJ V-JOINT
ACUST ACOUSTICAL TILE	BBU BULLETIN BOARD	CONTR CONTRACTOR	EA EACH	FLR FLOOR (ING)	HM HOLLOW METAL	LIN LINEN	MUL MULLION	PVC POLYVINYL CHLORIDE	RB RUBBER BASE	STRUC STRUCTURAL	VAR VARNISH
ADD ADDENDUM	CABT CABINET	CONTR CONTROL JOINT	EA EACH	FLR FLOOR (ING)	HORIZ HORIZONTAL	LTL LITEL	MTC MUSIC/MACH TRANS CLASS	PCF POUNDS PER CUBIC FOOT	RT RUBBER TILE	SUBFLR SUBFLOOR	VNR VENEER
ADJ ADJUSTABLE	CPT CARPET (ED)	CONV CONVENTIONAL	EA EACH	FD FLOOR DRAIN	HR HOUR	LTL LITEL	PLF POUNDS PER LINEAR FOOT	PLF POUNDS PER LINEAR FOOT	SUSP SUSPENDED	SYM SYMMETRY (ICAL)	VERT VERTICAL
A/C AIR CONDITIONER (ING)	CI CAST IRON	COORD COORDINATE (ON)	EF EACH FACE	FR FLOOR FINISH	LKR LOCKER	LKR LOCKER	PSF POUNDS PER SQUARE FOOT	PLF POUNDS PER LINEAR FOOT	S/S SAND & SEAL	VEST VESTIBULE	VB VINYL BASE
ALT ALTERNATE	CB CATCH BASIN	CG CORNER GUARD	EF EACH FACE	FR FLOOR FINISH	LKR LOCKER	LLV LONG LEG VERTICAL	PSI POUNDS PER SQUARE INCH	PC PRECAST CONCRETE	SEP SEPARATE	TEL TELEPHONE	VCT VINYL COMPOSITION TILE
ALUM ALUMINUM	CEM CEMENT	CS CORRUGATED	EF EACH FACE	FR FLOOR FINISH	LKR LOCKER	LLV LONG LEG VERTICAL	PC PRECAST CONCRETE	PCF POUNDS PER CUBIC FOOT	SERV SERVICE	TV TELEVISION	VT VINYL TILE
ANC ANCHOR (AGE)	CTR CENTER	CS CORRUGATED	EF EACH FACE	FR FLOOR FINISH	LKR LOCKER	LLV LONG LEG VERTICAL	PCF POUNDS PER CUBIC FOOT	PCF POUNDS PER CUBIC FOOT	SH SERVICE SINK	TEMP TEMPERED/TEMPORARY	VWC VINYL WALLCOVERING
AB ANCHOR BOLT	CL CENTER LINE	CS CORRUGATED	EF EACH FACE	FR FLOOR FINISH	LKR LOCKER	LLV LONG LEG VERTICAL	PCF POUNDS PER CUBIC FOOT	PCF POUNDS PER CUBIC FOOT	SH SERVICE SINK	TERM TERMINATE (ION)	WCT WANGSCOT
AND ANKORED	DEPT DEPARTMENT	CS CORRUGATED	EF EACH FACE	FR FLOOR FINISH	LKR LOCKER	LLV LONG LEG VERTICAL	PCF POUNDS PER CUBIC FOOT	PCF POUNDS PER CUBIC FOOT	SH SERVICE SINK	TERR TERRAZZO	WC WALL FABRIC
APPROX APPROXIMATE	DES DESIGN	CS CORRUGATED	EF EACH FACE	FR FLOOR FINISH	LKR LOCKER	LLV LONG LEG VERTICAL	PCF POUNDS PER CUBIC FOOT	PCF POUNDS PER CUBIC FOOT	SH SERVICE SINK	THRES THRESHOLD	WF WATER CLOSET
ARCH ARCHITECT (URAL)	DET DETAIL	CS CORRUGATED	EF EACH FACE	FR FLOOR FINISH	LKR LOCKER	LLV LONG LEG VERTICAL	PCF POUNDS PER CUBIC FOOT	PCF POUNDS PER CUBIC FOOT	SH SERVICE SINK	TOL TOLERANCE	WH WATER HEATER
AD AREA DRAIN	CHAM CHAMFER	CS CORRUGATED	EF EACH FACE	FR FLOOR FINISH	LKR LOCKER	LLV LONG LEG VERTICAL	PCF POUNDS PER CUBIC FOOT	PCF POUNDS PER CUBIC FOOT	SH SERVICE SINK	T&G TONGUE & GROOVE	WP WATER PROOFING
ASSEM ASSEMBLY (IES)	CHAN CHANNEL	CS CORRUGATED	EF EACH FACE	FR FLOOR FINISH	LKR LOCKER	LLV LONG LEG VERTICAL	PCF POUNDS PER CUBIC FOOT	PCF POUNDS PER CUBIC FOOT	SH SERVICE SINK	T.O.B. TOP OF BEAM	WR WATER RESISTANT
AUTO AUTOMATIC	CIR CIRCLE	CS CORRUGATED	EF EACH FACE	FR FLOOR FINISH	LKR LOCKER	LLV LONG LEG VERTICAL	PCF POUNDS PER CUBIC FOOT	PCF POUNDS PER CUBIC FOOT	SH SERVICE SINK	T.O.C. TOP OF CURB	WS WATER STOP
BS BACKSPLASH	CLR CLEAR (ANCE)	CS CORRUGATED	EF EACH FACE	FR FLOOR FINISH	LKR LOCKER	LLV LONG LEG VERTICAL	PCF POUNDS PER CUBIC FOOT	PCF POUNDS PER CUBIC FOOT	SH SERVICE SINK	T.O.J. TOP OF JOIST	WT WEIGHT
BSMT BASEMENT	CLO CLOSET	CS CORRUGATED	EF EACH FACE	FR FLOOR FINISH	LKR LOCKER	LLV LONG LEG VERTICAL	PCF POUNDS PER CUBIC FOOT	PCF POUNDS PER CUBIC FOOT	SH SERVICE SINK	T.O.M. TOP OF MASONRY	WWM WELDED WIRE MESH
BM BEAM	COA COATED	CS CORRUGATED	EF EACH FACE	FR FLOOR FINISH	LKR LOCKER	LLV LONG LEG VERTICAL	PCF POUNDS PER CUBIC FOOT	PCF POUNDS PER CUBIC FOOT	SH SERVICE SINK	T.O.S. TOP OF STEEL	W WEST/WASHER
BRG BEARING	CRD COLD ROLLED	CS CORRUGATED	EF EACH FACE	FR FLOOR FINISH	LKR LOCKER	LLV LONG LEG VERTICAL	PCF POUNDS PER CUBIC FOOT	PCF POUNDS PER CUBIC FOOT	SH SERVICE SINK	T.O.W. TOP OF WALL	WOW WINDOW
BETW BETWEEN	DBL DOUBLE	CS CORRUGATED	EF EACH FACE	FR FLOOR FINISH	LKR LOCKER	LLV LONG LEG VERTICAL	PCF POUNDS PER CUBIC FOOT	PCF POUNDS PER CUBIC FOOT	SH SERVICE SINK	T.O.PAR. TOP OF PARAPET	WG WIRE GLASS
BVL BEVEL (ED)	DISP DISPOSAL	CS CORRUGATED	EF EACH FACE	FR FLOOR FINISH	LKR LOCKER	LLV LONG LEG VERTICAL	PCF POUNDS PER CUBIC FOOT	PCF POUNDS PER CUBIC FOOT	SH SERVICE SINK	T.O.PAR. TOP OF PARAPET	WM WIRE MESH
BIT BITUMINOUS	DIV DIVISION	CS CORRUGATED	EF EACH FACE	FR FLOOR FINISH	LKR LOCKER	LLV LONG LEG VERTICAL	PCF POUNDS PER CUBIC FOOT	PCF POUNDS PER CUBIC FOOT	SH SERVICE SINK	T.T. TREAD COMPACTOR	W WITH
BLK BLOCK	DWG DRAWING	CS CORRUGATED	EF EACH FACE	FR FLOOR FINISH	LKR LOCKER	LLV LONG LEG VERTICAL	PCF POUNDS PER CUBIC FOOT	PCF POUNDS PER CUBIC FOOT	SH SERVICE SINK	TYP TYPICAL	W/O WITHOUT
BLKG BLOCKING	DWG DRAWING	CS CORRUGATED	EF EACH FACE	FR FLOOR FINISH	LKR LOCKER	LLV LONG LEG VERTICAL	PCF POUNDS PER CUBIC FOOT	PCF POUNDS PER CUBIC FOOT	SH SERVICE SINK	TYP TYPICAL	WO WOOD
BD BOARD	DWG DRAWING	CS CORRUGATED	EF EACH FACE	FR FLOOR FINISH	LKR LOCKER	LLV LONG LEG VERTICAL	PCF POUNDS PER CUBIC FOOT	PCF POUNDS PER CUBIC FOOT	SH SERVICE SINK	TYP TYPICAL	W/W WITH
BOT BOTTOM	DMO DEMOLISH (ION)	CS CORRUGATED	EF EACH FACE	FR FLOOR FINISH	LKR LOCKER	LLV LONG LEG VERTICAL	PCF POUNDS PER CUBIC FOOT	PCF POUNDS PER CUBIC FOOT	SH SERVICE SINK	TYP TYPICAL	W/W WITH

ADDITION TO
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COVER SHEET &
PROJECT DATA

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CHECKED BY: DAF
ISSUED: 08/09/19

REVISION(S):	DATE	DESCRIPTION

FILE: 2019-043

G-001

GENERAL NOTES AND SPECIFICATIONS

- ALL NEW CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL BUILDING CODES AND RESTRICTIVE ORDINANCES FOR CONSTRUCTION, PLUMBING, ELECTRICAL, MECHANICAL, AND FIRE PROTECTION SYSTEMS.
- DO NOT SCALE THESE DRAWINGS. WORK TO ALL DIMENSIONS.
- THE INTENT OF THESE DRAWINGS IS TO PROVIDE THE BUILDER WITH GENERAL GUIDELINES FOR THE SOUND CONSTRUCTION OF THE STRUCTURE INDICATED WITHIN. DEVIATIONS FROM THESE DRAWINGS ARE AT THE OWNER/CONTRACTOR'S RISK UNLESS APPROVED IN WRITING, AND WITH SUPPLEMENTARY DRAWINGS FROM ARCHITECT.
- IT IS RECOMMENDED THAT THE SERVICES OF A REGISTERED LAND SURVEYOR BE EMPLOYED FOR THE PROPER PLACEMENT OF THE STRUCTURES IN RELATION TO PROPERTY LINES, SETBACK LINES, EASEMENTS, ETC.
- OWNER/CONTRACTOR TO SECURE AND PAY FOR ALL NECESSARY FEES AND PERMITS FOR CONSTRUCTION, ELECTRICAL AND PLUMBING INSPECTIONS, ETC.
- DIMENSIONS INDICATED ON DRAWINGS ARE TO OUTSIDE FACE OF EXERIOR CONCRETE BLOCK, CAST-IN-PLACE WALL, OR STUD WALL TO CENTERLINE OF INTERIOR STUDS AND COLUMNS UNLESS NOTED OTHERWISE.
- IT IS THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR TO CHECK THE LOCAL AND STATE BUILDING CODES, SUB-DIVISION RESTRICTIONS AND HEALTH DEPARTMENT GUIDELINES AND ADHERE TO THEIR REQUIREMENTS.
- ANY DISCREPANCIES CONTAINED WITHIN THESE DRAWINGS ARE TO BE IMMEDIATELY REPORTED TO ARCHITECT.
- PROVIDE TEMPORARY SETTLING BASINS, HAYBALES, AND OTHER METHODS AS APPROPRIATE TO FILTER WATER AT ALL AREAS WHERE STORM WATER LEAVES THE PROJECT. CLEAN UP ALL SOIL WHICH FLOWS OFF-SITE AT THE END OF EACH DAY.
- ALL EXISTING SITE CONDITIONS ARE TO BE VERIFIED BY OWNER/CONTRACTOR BEFORE START OF CONSTRUCTION.
- OWNER/CONTRACTOR TO PROVIDE BUILDING WITH CHEMICAL BARRIER TO PROTECT AGAINST SUBTERRANEAN TERMITE ATTACK.
- LANDSCAPING TO BE PROVIDED BY OTHERS.
- EXCAVATE AS REQUIRED BY NEW CONSTRUCTION, PLUS SUFFICIENT SPACE TO PERMIT ERECTION OF FORMS, SHORING, WATERPROOFING, MASONRY, AND THE INSPECTIONS OF FOUNDATIONS. BOTTOMS OF FOOTINGS AND TRENCHES SHALL BE CUT TRUE AND SQUARE. KEEP EXCAVATIONS FREE FROM WATER AT ALL TIMES.
- THE DESIGN ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, ETC. FOR ALL WORK DONE BY THE OWNER/CONTRACTOR IS THE SOLE RESPONSIBILITY OF THE OWNER/CONTRACTOR. WALLS WHICH SUPPORT JOISTS, RAFTERS, ETC., AND ARE LATERALLY SUPPORTED BY SAME SHALL BE BRACED UNTIL ALL CONSTRUCTION IS COMPLETED.
- ALL CORNERS OF BUILDING AT STUD WALLS SHALL BE BRACED WITH A FULL SHEET OF 1/2" APA PLYWOOD.
- CONTRACTOR SHALL CAULK AND SEAL ALL JOINTS AND CRACKS AROUND WINDOWS, CHIMNEYS, DOORS, COUNTER TOPS, MUD SILLS, SILL PLATES, ETC. WITH PROPER EXTERIOR OR INTERIOR COMPOUNDS. INSTALL AS PER MANUFACTURER'S PRINTED INSTRUCTIONS.
- ALL FINISHES, WALL COVERINGS, CARPET, PANELING, FLOOR TILES, COUNTER TOPS, FURNITURE, FURNISHINGS, HARDWARE, AND PAINT: THEIR COLORS, PATTERNS AND TEXTURES TO BE SELECTED BY OWNER UNLESS NOTED OTHERWISE.
- ALL WATER LINES SHALL BE INSULATED.
- ALL WATERPIPING AT FIXTURES CONNECTIONS SHALL BE THOROUGHLY SECURED IN OR ON WALL OF PIPE CHASE BEHIND FIXTURES.
- OFFSET PLUMBING VENTS THROUGH ROOF AS REQUIRED TO AVOID ANY OBSTRUCTIONS. ALL ROOF PENETRATIONS, WHERE PRACTICAL, TO BE SIMILAR IN COLOR TO ROOF FINISH.
- PROVIDE 110V, UL APPROVED SMOKE/CO DETECTORS IN NUMBERS AS REQUIRED BY LOCAL CODES. DETECTORS SHALL BE LISTED AND MEET THE INSTALLATION REQUIREMENTS OF NFPA 72A AND 74.
- CONTRACTOR TO PRE-WIRE FOR TELEPHONE, CABLE TV, DOOR CHIMES, INTERNET AND SOUND SYSTEMS AS PER OWNER'S DIRECTION.
- WINDOWS FROM ALL SLEEPING ROOMS MUST HAVE A MINIMUM NET CLEAR OPENING HEIGHT OF 22" AND A MINIMUM NET CLEAR OPENING WIDTH OF 20". THE SILL HEIGHT CANNOT EXCEED A MAXIMUM OF 44" ABOVE THE FLOOR. TOTAL GLASS AREA TO BE 5 SQ. FT. AT GROUND LEVEL ROOMS AND 5.7 SQ. FT. AT UPPER LEVEL ROOMS.
- NO QUALIFYING STATEMENTS OR EXCEPTIONS TO PLANS OR NOTES TO BE PERMITTED.

CONCRETE, MASONRY, AND RELATED NOTES

- CONCRETE STRENGTH TO BE AS FOLLOWS UNLESS NOTED OTHERWISE ON DRAWINGS:
 - CONCRETE WALLS, BEAMS AND STRUCTURAL SLABS ———— F' C=3000 PSI @ 28 DAYS.
 - FOOTINGS ————— F' C=3000 PSI @ 28 DAYS.
 - SLABS ON GRADE AND CONCRETE TOPPING ———— F' C=4000 PSI @ 28 DAYS.

REFER TO NOTE #3 FOR TESTING OF CONCRETE AND SPECIFICATIONS FOR SUBMITTALS OF MIX DESIGN.
- CONCRETE EXPOSED TO WEATHER TO BE AIR-ENTRAINED (6% MAX., 3% MIN.).
- CONCRETE AND REINFORCING STEEL TO BE AS PER A.C.I. 318 (LATEST EDITION) AND A.C.I. 301 (LATEST EDITION). (CONTRACTOR TO HAVE COPIES OF THESE DOCUMENTS AT THE JOB SITE DURING CONSTRUCTION.) SAMPLING AND TESTING OF CONCRETE TO BE IN ACCORDANCE WITH A.C.I. 301 BY INDEPENDENT TESTING AGENCY AT CONTRACTOR'S EXPENSE. CONTRACTOR TO TAKE SPECIAL PRECAUTIONS FOR HOT AND COLD WEATHER CONCRETING AS INDICATED IN A.C.I. 301.
- REINFORCING STEEL TO BE A 615-60.
- FOOTINGS ARE DESIGNED FOR A MINIMUM SOIL BEARING CAPACITY OF 2000 PSF. CONTACT LOCAL ENGINEER IF POOR SOIL IS ENCOUNTERED.
- THE MINIMUM CONCRETE COVER TO BE PROVIDED FOR REINFORCEMENT IN CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH = 3".
- THE FOLLOWING REINFORCEMENT TO BE PROVIDED UNLESS NOTED OR DETAILED OTHERWISE:
 - PROVIDE 2'-6" x 2'-6" CORNER BARS IN CORNERS OF ALL FOOTINGS, REINFORCED WALLS, BOND BEAMS, ETC. PROVIDE SAME BAR SIZE AND NUMBER OR SPACING AS CONTINUOUS OR HORIZONTAL REINFORCEMENT.
- UNLESS NOTED OTHERWISE ON PLANS, PROVIDE A CONTINUOUS SPREAD FOOTING 10" (MIN) DEEP x 24" WIDE UNDER ALL WALLS WHICH EXTEND TO GRADE. BOTTOM OF FOOTINGS TO BE A MINIMUM OF 1" BELOW LOCAL FROST LINE OR AS REQUIRED BY LOCAL CODE.
- ALL CONCRETE SLABS ON GRADE TO BE 4" THICK WITH 6 x 6 W1.4 x W1.4 W.W.F. ON 4" CRUSHED STONE, UNLESS NOTED OTHERWISE. SEE DRAWINGS FOR ANY DEPRESSED AREAS, VAPOR BARRIERS, ETC.
- ALL EQUIPMENT PADS TO BE 6" THICK W/ 6X6 1.4X1.4 WWF AND EXTEND PAD 2'-0" PAST EACH SIDE OF MECHANICAL EQUIPMENT.
- UNLESS NOTED OR DETAILED OTHERWISE, ALL REINFORCING STEEL TO BE LAPPED A MINIMUM OF A CLASS C TENSION SPLICE.
- PROVIDE A CONTROL JOINT IN ALL CONCRETE SLABS ON GRADE AT 600 SQ./FT., UNLESS NOTED OTHERWISE.
- PROVIDE 10mil VAPOR BARRIER UNDER INTERIOR CONCRETE SLABS OR OVER ENTIRE SURFACE OF CRAWL SPACES.

INSTALLATION OF LAG SCREWS

LEAD HOLES FOR LAG SCREW SHALL BE BORED AS FOLLOWS TO AVOID SPLITTING THE WOOD MEMBER DURING CONNECTION FABRICATION. THE DATA ARE APPLICABLE TO:

WESTERN HEMLOCK
DOUGLAS FIR LARCH
LOGE POLE PINE/ENGLEMAN SPRUCE (WALL LOG 40)
WESTERN HEMLOCK (WALL LOG 40)
SOUTHERN YELLOW PINE (WALL LOG 40)
SOUTHERN PINE

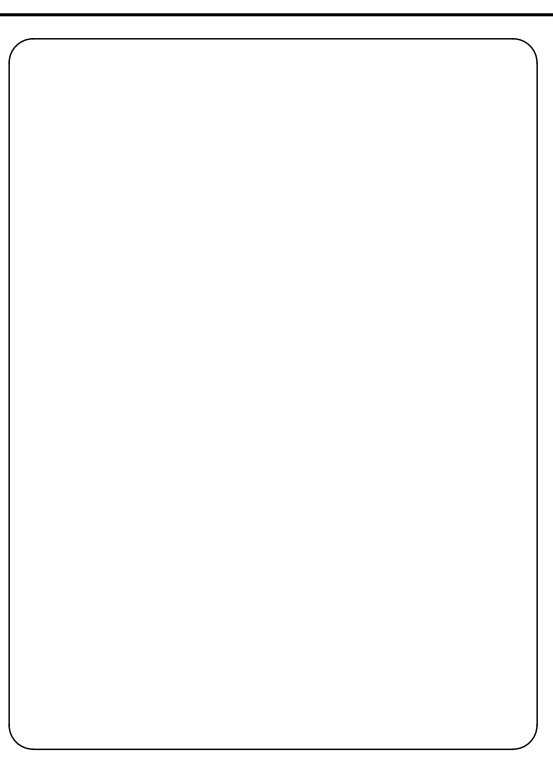
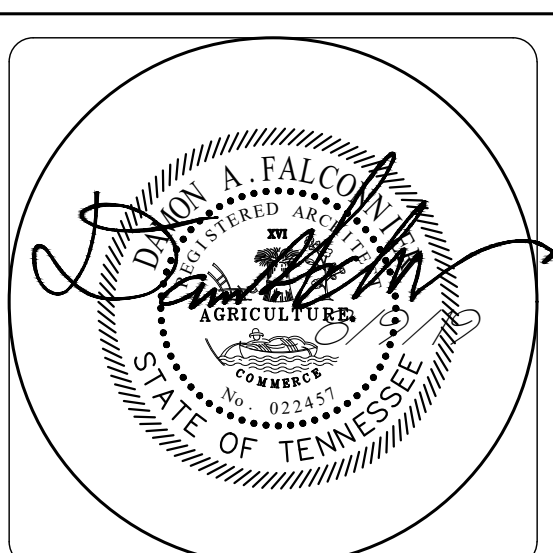
- THE CLEARANCE HOLE FOR THE SHANK OF THE LAG SCREW SHALL BE THE SAME AS THE DIAMETER OF THE LAG SCREW, AND THE SAME DEPTH OF PENETRATION AS THE LENGTH OF THE UNTHREADED SHANK.
- THE PILOT HOLE FOR THE THREADED PORTION SHALL BE OF THE DIAMETER SHOWN IN CHART AND THE LENGTH AT LEAST THE LENGTH OF THE THREADED PORTION

WOOD NOTES

- WHERE NOTED, CONTRACTOR SHALL USE "SIMPSON STRONG-TIE" (OR EQUIVALENT) WOOD FRAMING ANCHORS, CONNECTORS, HANGERS, ETC. FOR ALL WOOD TO WOOD CONNECTIONS, ALL ANCHORS ETC. TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S PRINTED SPECIFICATIONS.
- FIRST FLOOR TO BE 3/4" T & G. PLYWOOD, GLUED AND SCREWED. SECOND FLOOR TO BE 3/4" T & G. PLYWOOD, GLUED AND SCREWED.
- UNLESS NOTED OTHERWISE ON PLANS HEADERS TO BE AS FOLLOWS: UP TO 10'-0" ———— (2) 2 x 12
- CUTTING, NOTCHING, BORED HOLES IN STUD WALLS, RAFTERS, BEAMS, COLUMNS, ETC., SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL RESIDENTIAL CODE
- RIDGE BOARDS, WHERE INDICATED ON FRAMING PLANS, SHALL NOT BE LESS THAN 1 1/2" IN THICKNESS, AND NOT LESS IN DEPTH THAN CUT END OF RAFTERS. RAFTERS SHALL BE PLACED DIRECTLY OPPOSITE EACH OTHER AND NAILED TO RIDGE BOARD.
- ALL WOOD BUILT-UP GIRDERS, BEAMS, STUDS TO SOLE PLATE, ETC., TO BE CONNECTED AS PER INTERNATIONAL RESIDENTIAL CODE
- AT OPENINGS IN EXTERIOR WALLS, A WALL STUD SHALL BE AT EACH SIDE OF THE OPENING WITH THE ENDS OF THE HEADER SUPPORTED AS FOLLOWS (UNLESS OTHERWISE NOTED):
 - FOR OPENINGS LESS THAN 3 FT. IN WIDTH EACH END OF HEADER SHALL REST ON A SINGLE HEADER STUD OR MAY BE SUPPORTED BY FRAMING ANCHORS ATTACHED TO WALL STUD;
 - FOR OPENINGS OVER 3 FT. TO LESS THAN 6'-0" IN WIDTH, EACH END SHALL BEAR ON SINGLE HEADER STUD;
 - FOR OPENINGS MORE THAN 6'-0" IN WIDTH, EACH END SHALL BEAR ON DOUBLE HEADER STUD;
 - ANY LENGTH HEADER SUPPORTING CONCENTRATED LOADS FROM BEAMS ABOVE, EACH END SHALL BEAR ON DOUBLE HEADER STUD.
 - ANY LENGTH HEADER SUPPORTING CONCENTRATED LOADS FROM BEAMS ABOVE, EACH END SHALL BEAR ON DOUBLE HEADER STUD.
 - SUPPLY KING STUDS IN QUANTITY TO MATCH JACK STUDS, KING STUDS TO RUN FULL HEIGHT OF WALL FROM BOTTOM PLATE TO TOP PLATE
- WHERE WOOD BEAMS BEAR ON STUD WALLS, PROVIDE MIN. DOUBLE OR TRIPLE STUD, DEPENDING ON BEAM WIDTH, UNDER BEAM BEARING.
- ALL WOOD IN CONTACT WITH MASONRY, CONCRETE, OR EXPOSED TO THE WEATHER SHALL BE PRESSURE TREATED AS FOLLOWS:
 - TREATED LUMBER: SOUTHERN PINE OR DOUGLAS FIR CONSTRUCTION GRADE S4S, AWPA STANDARD C1 & C2.
 - ALL FIELD CUTS AND DRILLED HOLES IN TREATED LUMBER AND POSTS SHALL BE TREATED IN ACCORDANCE WITH AWPA M-4.
- WHEN PRE-FINISHED METAL IS INSTALLED OVER PRESSURE TREATED WOOD, USE (1) LAYER OF 15# FELT BETWEEN WOOD AND METAL TO PREVENT CORROSION. SOME PRE-FINISHED METALS CAN BE ORDERED WITH ORGANIC POLYMER COATINGS FOR THE SAME PURPOSE.

BUILDING CODE NOTES:

- MUNICIPAL JURISDICTION: ANDERSON COUNTY, TN
- CODES:
 - 2012 INTERNATIONAL RESIDENTIAL CODE INCLUDING ALL LOCAL AMENDMENTS
 - ANDERSON COUNTY ZONING ORDINANCE
- OCCUPANCY GROUP: SINGLE FAMILY RESIDENTIAL
- CONSTRUCTION TYPE: V-B, UN-SPRINKLERED
- STRUCTURAL:
 - SEISMIC DESIGN CATEGORY: D₀
 - DESIGN WIND SPEED: 90mph, 3-SECOND GUST: 110mph
 - DESIGN SNOW LOAD: 10psf
 - LIVE LOADS:
 - 40 psf
 - 30 psf (BEDROOMS)
- ENERGY CODE: 2012 INTERNATIONAL ENERGY CONSERVATION CODE
 - SEE A-301 FOR WALL, ROOF AND FLOOR INSULATION. CONFORM TO ANDERSON COUNTY REPORTING STANDARDS.
 - SEE A-101 FOR WINDOW ENERGY COMPLIANCE DATA
- OWNER SHALL:
 - BE RESPONSIBLE FOR ALL BUILDING PERMITS AND INSPECTIONS UNLESS DELEGATED IN WRITING TO THE GENERAL CONTRACTOR.
 - VERIFY SEWER AND SEPTIC REQUIREMENTS WITH LOCAL UTILITIES AND HEALTH DEPARTMENTS.
 - SCHEDULE ALL SITE UTILITY CONNECTIONS INCLUDING WATER, SEWER, ELECTRICAL AND COMMUNICATIONS.
 - VERIFY ALL ZONING REQUIREMENTS INCLUDING, BUT NOT LIMITED TO:
 - LAND USE
 - SETBACKS
 - ACCESS EASEMENTS
 - LANDSCAPING
 - UTILITY EASEMENTS
 - FLOOD PLAINS AND FEMA FLOOD ZONES



ADDITION TO WILSON HOUSE

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GENERAL NOTES & SPECIFICATIONS

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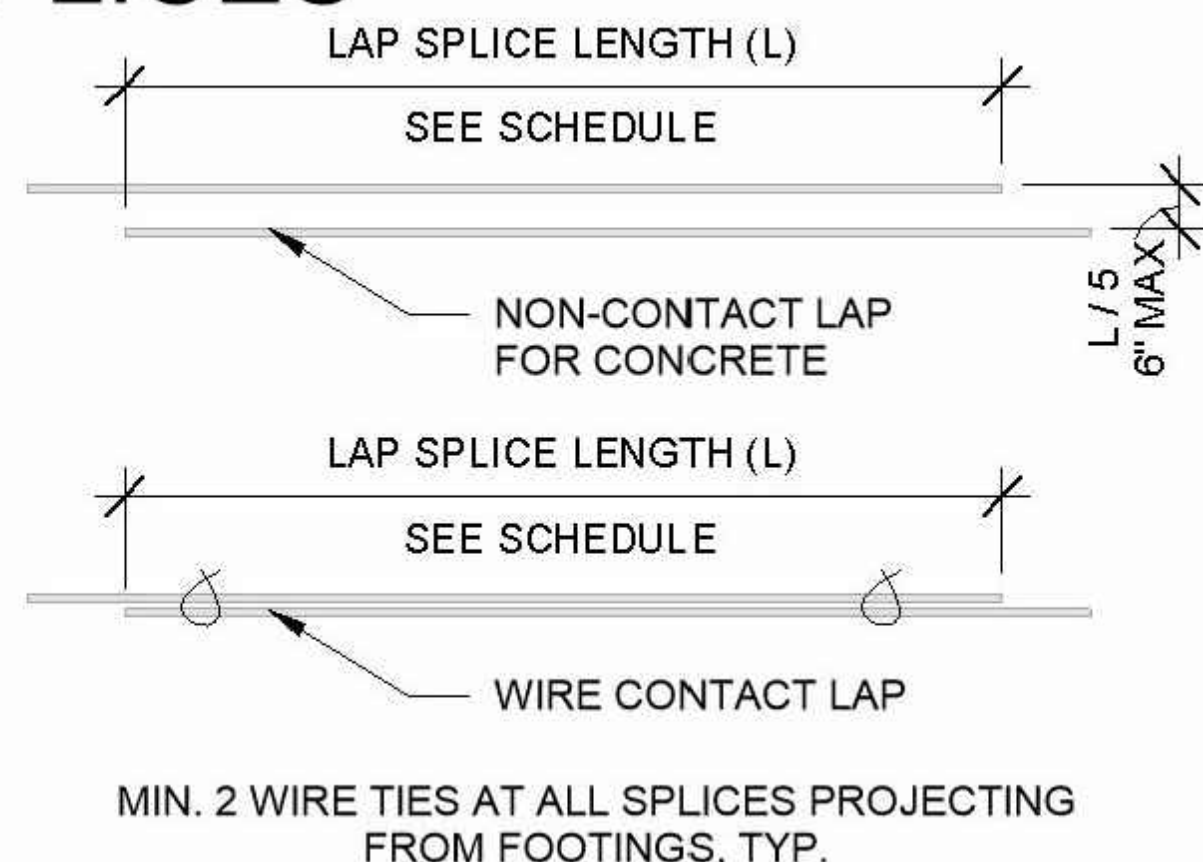
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CHECKED BY:	DAF
ISSUED:	08/09/19
REVISION(S):	
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FILE:	2019-043

G-101

CLASS "B" LAP SPLICES

SCHEDULE (Fy=60ksi)

BAR #	4000psi COMPRESSIVE STRENGTH CONCRETE (LAP SPLICE "L" IN INCHES)
#4 BAR	25
#5 BAR	31
#6 BAR	37
#7 BAR	54
#8 BAR	62
#9 BAR	70
#10 BAR	79
#11 BAR	87



ENVELOPE REQUIREMENTS (CLIMATE ZONE 4A)					
TYPE	SIZE	CAVITY INSUL.	CONT. INSUL.	INSULATION	SPECIFICATION
FRAME WALL	2x4	3 1/2" R-15		KRAFT FACED BATT	OWENS CORNING ECOTOUCH
WALL	2x6	5 1/2" R-21		KRAFT FACED BATT	OWENS CORNING ECOTOUCH
ROOF	TRUSS	6 1/4" R-36 ⁽¹⁾		UNFACED BATT	OWENS CORNING
⁽¹⁾ INSULATION CONTINUOUS ABOVE TOP OF EXTERIOR WALL					
FLOOR	JOISTS	10 1/4" R-19		UN-FACED BATT	OWENS CORNING
DOORS AND WINDOWS SEE NOTES A-110					
LIGHTING TYPES DETERMINED BY OWNER.					

- ENERGY CODE GENERAL NOTES:**
- CONFORM TO LOCAL AUTHORITY ENERGY CODE REPORTING STANDARDS.
 - SEE SECTIONS FOR LOCATIONS OF INSULATION.
 - INSULATION VALUES AND SPECIFICATIONS SHOWN IN TABLE AND DETAILS THIS SHEET.
 - THE DESIGN INTENT IS FOR ROOF/ATTIC INSULATION TO CONTINUE ABOVE TOP OF EXTERIOR WALLS, THEREBY QUALIFYING FOR 100% RULE IN NCECC (R)402.2.1 AND (R)402.2.2

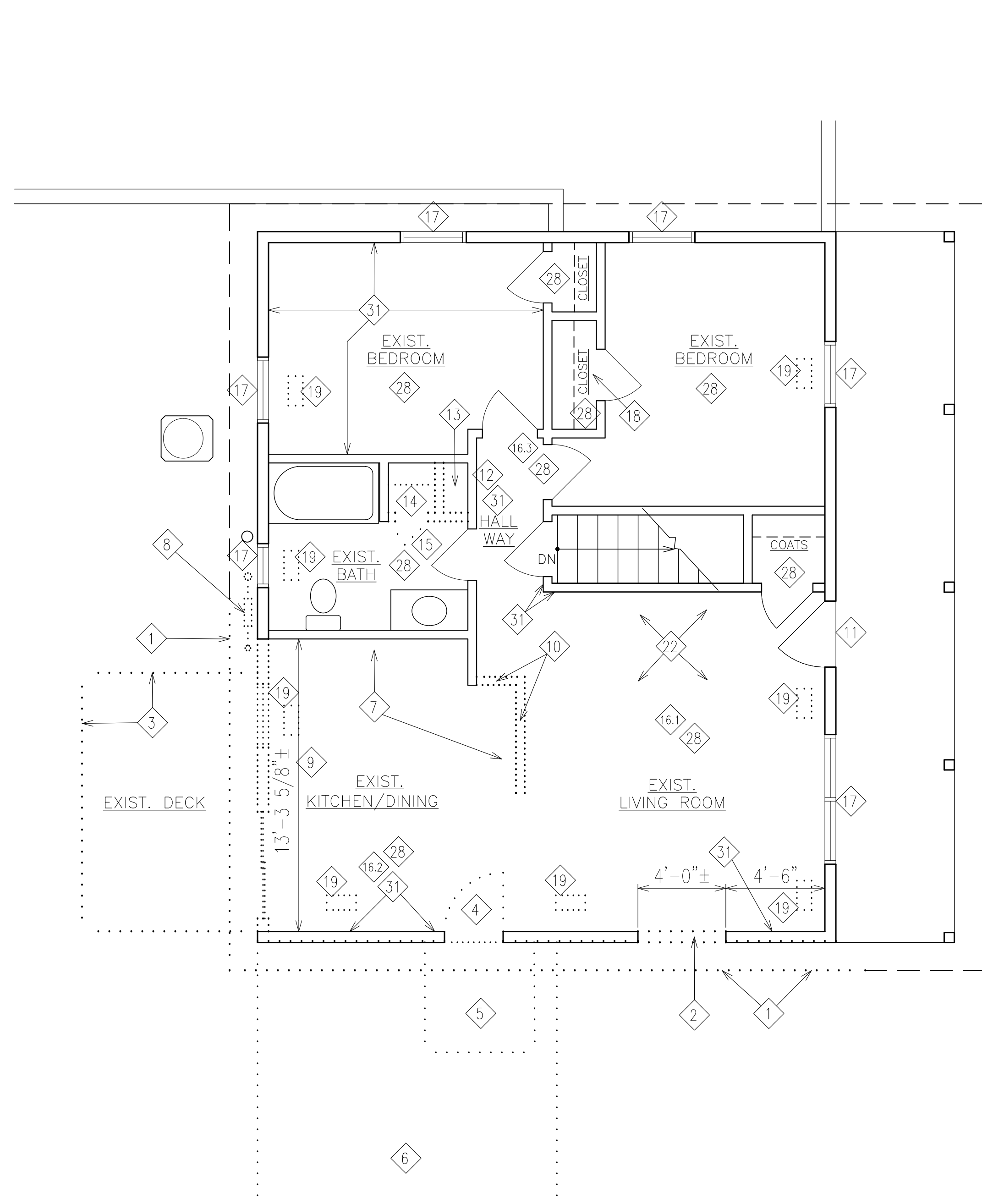
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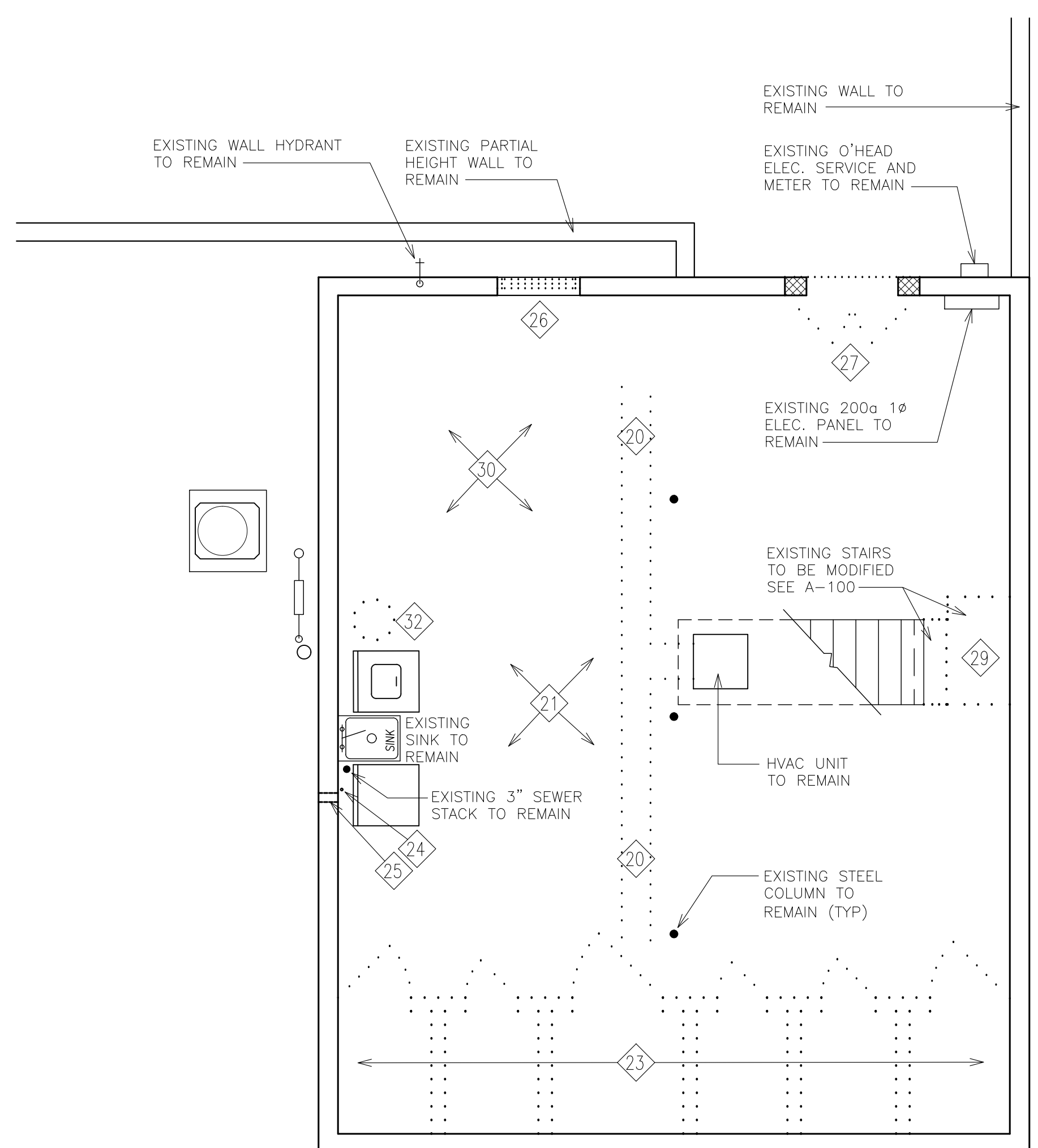
C

B

A



A1 EXISTING FLOOR PLAN - DEMO
1/4" = 1'-0"



A3 EXISTING BSMT. PLAN - DEMO
1/4" = 1'-0"

GENERAL DEMOLITION CONDITIONS:

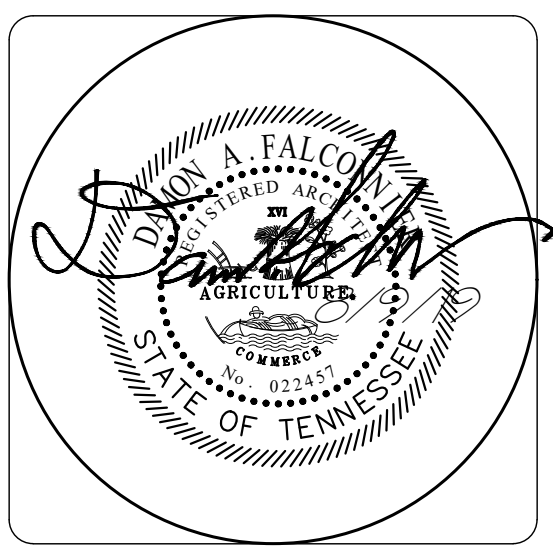
1. WHILE EVERY EFFORT HAS BEEN MADE IN COMPLETING THIS DEMOLITION PLAN AND NOTES, DEMOLITION ACTIVITIES MAY REVEAL ADDITIONAL DEMOLITION/MODIFICATION WORK NOT SHOWN HEREIN. IN THE EVENT FIELD DEMOLITION EXPOSES DANGEROUS CONDITIONS OR REVEALS CONDITIONS WHICH EXCEED THE PLANNED DEMOLITION SCOPE, NOTIFY ARCHITECT AND OWNER IMMEDIATELY PRIOR TO CONTINUATION OF DEMOLITION WORK.
2. ELECTRICAL, PLUMBING AND MECHANICAL WORK MAY REQUIRE ADDITIONAL OPENINGS IN WALLS, FLOORS, ETC. WHICH ARE NOT SHOWN ON DEMOLITION SHEETS. REFER TO ENGINEERING PLANS AND SPECS FOR MORE INFORMATION.
3. THE OWNER OF THE HOUSE DOES NOT INTEND TO OCCUPY THE RESIDENCE DURING CONSTRUCTION. CONSTRUCTION ACTIVITIES SHALL BE CAREFULLY COORDINATED WITH THE OWNER'S OCCUPANCY SCHEDULE.
4. CONSTRUCTION DEBRIS SHALL BE PLACED IN A DUMPSTER UNTIL REMOVED FROM SITE. DO NOT PILE DEBRIS ON LAWN OR IN DRIVEWAY UNLESS SPECIFICALLY REQUESTED TO DO SO BY OWNER.
5. PROTECT PORTIONS OF THE HOUSE WHICH ARE TO REMAIN HABITABLE DURING CONSTRUCTION FROM WATER INFILTRATION AND WITH TEMPORARY BARRIERS FOR TEMPERATURE CONTROL AND SECURITY.
6. PROTECT ALL EXISTING HVAC INTAKES AND DUCT WORK FROM DUST INGESTION.
7. OWNER MAY WANT TO SALVAGE EXISTING REMOVED WINDOWS, DOORS AND FRAMES. CONSULT WITH OWNER PRIOR TO DISPOSAL OF THESE ITEMS.
8. OWNER MAY WANT TO SALVAGE EXISTING LIGHT FIXTURES. CONSULT WITH OWNER PRIOR TO DISPOSAL OF THESE ITEMS.
9. DECONSTRUCTED ITEMS WHICH ARE LISTED FOR "RE-USE" OR "RETURN TO OWNER" SHALL BE NEATLY STORED IN LOCATION DETERMINED BY OWNER. PROTECT AS REQUIRED.
10. MAINTAIN WATER, SEWER, COMMUNICATIONS AND ELECTRICAL SERVICES DURING CONSTRUCTION. COORDINATE SERVICE INTERRUPTIONS WITH OWNER IN ADVANCE.
11. TEMPORARY SUPPORTS AND SHORING SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SHALL BE SUFFICIENT TO SUPPORT EXISTING TO REMAIN CONSTRUCTION UNTIL NEW ITEMS ARE INSTALLED.
12. CARE SHALL BE TAKEN NOT TO DAMAGE EXISTING-TO-REMAIN PORTIONS OF THE BUILDING WHICH RESULT DUE TO ERRORS IN THE DEMOLITION OR BY NEW CONSTRUCTION ACTIVITIES SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
13. OWNER SHALL REMOVE ALL EXTERIOR BLANDISHMENTS, APPURTENANCES, FURNITURE, PLANTS, ETC. FROM DEMOLITION AREAS PRIOR TO COMMENCEMENT OF DEMOLITION, OR SHALL ARRANGE FOR SUCH ITEMS TO BE REMOVED BY CONTRACTOR.

DEMOLITION NOTES:

1. REMOVE EXISTING ROOF OVERHANG, FASCIA AND ROOF SHEATHING. PROTECT EXISTING INTERIOR SPACES FROM WEATHER INFILTRATION.
2. CUT NEW OPENING IN EXISTING EXTERIOR WALL FOR NEW FIREPLACE. PROVIDE DBL. 2x12 LINTEL OVER OPENING WITH NEW CRIMPLE STUDS ON EACH SIDE AS REQUIRED. DETERMINE SIZE OF OPENING BASED ON OWNER-SELECTED FIREPLACE UNIT.
3. REMOVE EXISTING EXTERIOR WOOD DECK AND ALL FOUNDATIONS AND SUPPORTS.
4. REMOVE EXISTING EXTERIOR DOOR AND FRAME. PREPARE ROUGH OPENING FOR INSTALLATION OF NEW DOOR IN EXISTING LOCATION.
5. REMOVE EXISTING EXTERIOR WOOD STOOP AND ALL SUPPORTS AND FOUNDATIONS.
6. REMOVE EXISTING EXTERIOR PATIO. SAVE PAVERS FOR OWNER'S FUTURE USE UNLESS DIRECTED OTHERWISE. OWNER TO REMOVE EXISTING KITCHEN MILLWORK, PLUMBING FIXTURES AND APPLIANCES.
8. EXISTING GAS METER TO BE RELOCATED. SEE A-110 AND MECHANICAL.
9. REMOVE PORTION OF EXISTING EXTERIOR WALL INCLUDING WINDOWS, DOORS, FINISHES, ELECTRICAL AND OTHER APPURTENANCES. PROVIDE TEMPORARY SUPPORT FOR ROOF. FOUNDATION WALL TO REMAIN BELOW FLOOR. SEE A1/A-302.
10. REMOVE EXISTING INTERIOR PARTITION WALL INCLUDING FINISHES, STUDS AND ELECTRICAL.
11. EXISTING FRONT DOOR TO REMAIN. REPAINT PER OWNER'S DIRECTIONS.
12. REMOVE EXISTING LOW WALL RETURN GRILLE. CLOSE UP OPENING AND REPAIR WITH A SMOOTH UNIFORM APPEARANCE INDISTINGUISHABLE FROM SURROUNDING EXISTING.
13. REMOVE EXISTING RETURN DUCT. SEE MECHANICAL.
14. REMOVE EXISTING PARTITION WALLS AND CLOSET SHELVES.
15. REMOVE EXISTING DOOR AND FRAME.
16. REMOVE EXISTING "POPCORN" CEILING FINISH IN THE FOLLOWING SPACES:
16.1. EXISTING KITCHEN
16.2. EXISTING KITCHEN/DINING
16.3. HALLWAY TO BEDROOMS
17. REMOVE EXISTING WINDOW. PREPARE ROUGH OPENING FOR NEW WINDOW AND TRIMS.
18. PERMANENTLY SEAL EXISTING ATTIC ACCESS SCUTTLE OPENING IN CEILING OF EXISTING CLOSET. INSULATE OVER THE TOP.
19. REMOVE EXISTING HVAC DIFFUSER AND REPAIR HOLE IN SUBFLOOR WITH LIKE MATERIALS. TYPICAL ALL LOCATIONS, SOME OF WHICH MAY NOT BE SHOWN ON PLAN.
20. REMOVE EXISTING HVAC DUCT, ALL BRANCH DUCTS AND DIFFUSERS. (SEE NOTE 19, ABOVE). SEE MECHANICAL FOR NEW DUCT AND THERMOSTAT LOCATION.
21. REMOVE ALL EXISTING INSULATION BETWEEN MAIN FLOOR JOISTS AND BASEMENT.
22. REMOVE ALL EXISTING ATTIC INSULATION.
23. REMOVE EXISTING CMU AND CHAIN-LINK FENCE KENNELS ALONG WITH GATES AND HINGES. REPAIR FLOOR AND WALLS AS REQUIRED TO ACHIEVE A SMOOTH, UNIFORM APPEARANCE.
24. EXISTING GAS LINE TO BE RELOCATED. SEE MECHANICAL.
25. EXISTING DRYER VENT TO BE RE-ROUTED. SEE A-100.
26. REMOVE EXISTING WINDOW, PREPARE OPENING FOR NEW WINDOW. SEE A-110 FOR WINDOW SCHEDULE.
27. REMOVE EXISTING FRENCH DOOR AND FRAME. SEE A-100 FOR NEW DOOR AND IN-FILL FRAMING.
28. REMOVE ALL EXISTING FLOOR FINISHES.
29. REMOVE LOWERMOST (2) RISERS AND TREAD. SEE A-100 FOR STAIR RECONSTRUCTION.
30. REMOVE EXISTING BASEMENT LIGHT FIXTURES. NEW LIGHTING TO BE CONNECTED TO EXISTING CIRCUITS.
31. AREA OF DAMAGED WALLBOARD. REPAIR TO LIKE-NEW CONDITION.
32. REMOVE EXISTING WATER HEATER. CAP ALL EXISTING GAS AND WATER LINES. PREPARE TO CONNECT WATER LINES TO NEW WATER HEATER. SEE PLUMBING.

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ADDITION TO WILSON HOUSE

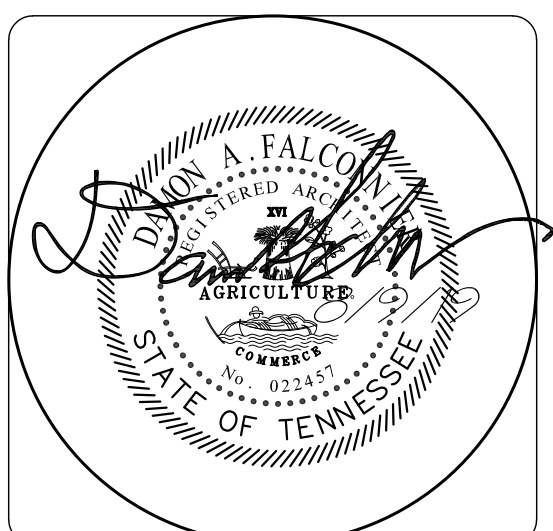
MELISSA WILSON, DVM
833 MILLER RD
CLINTON, TN 37716

EXISTING FLOOR PLAN & DEMOLITION

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FILE:	2019-043

D-100



ADDITION TO WILSON HOUSE

MELISSA WILSON, DVM
833 MILLER RD
CLINTON, TN 37716

BASEMENT, FOUNDATION, & 1st FLOOR FRAMING PLANS

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A-100

WALL REINFORCEMENT TABLE

ALL WALLS ARE TO BE REINFORCED HORIZONTALLY WITH DUR-O-WAL (OR EQUAL) TRUSS TYPE REINFORCING IN EVERY OTHER MORTAR BED (16" O.C. VERTICALLY). REINFORCING TO BE 2" NARROWER THAN NOMINAL WALL THICKNESS. THIS IS TYPICAL FOR ALL MASONRY WALL SIZES, TYPES AND HEIGHTS.

WHERE BLOCK WALL IS MORE THAN 6'-0" HIGH AND RETAINS BETWEEN 4'-0" AND 7'-0" OF EARTH, FILL CELLS SOLID AT 8" O.C. WITH R.M.G. AND REINFORCE WITH (1) #4 VERTICALLY.

WHERE BLOCK WALL IS MORE THAN 6'-0" HIGH AND RETAINS UP TO 4'-0" OF EARTH, FILL CELLS SOLID AT 16" O.C. WITH R.M.G. AND REINFORCE WITH (1) #4 VERTICALLY. THIS CONDITION SHALL APPLY TO ALL GARAGE FOUNDATION WALLS REGARDLESS OF HEIGHT TO RESIST SURCHARGE.

WHERE BLOCK WALL IS MORE THAN 6'-0" HIGH AND RETAINS LITTLE OR NO EARTH, FILL CELLS SOLID AT 24" O.C. WITH R.M.G. AND REINFORCE WITH (1) #4 VERTICALLY.

OR

WHERE BLOCK WALL IS LESS THAN 6'-0" HIGH AND RETAINS UP TO 4'-0" OF EARTH, FILL CELLS SOLID AT 24" O.C. WITH R.M.G. AND REINFORCE WITH (1) #4 VERTICALLY.

OR

WHERE WALL IS LESS THAN 6'-0" HIGH AND RETAINS NO EARTH, FILL CELLS SOLID AT 48" O.C. WITH R.M.G. AND REINFORCE WITH (1) #4 VERTICALLY.

TYPICAL CORNER CONDITION, APPLIES TO ALL CORNERS REGARDLESS OF WALL HEIGHT OR RETENTION CONDITION. FILL ALL CORNER CELLS SOLID WITH R.M.G. AND REINFORCE EACH FILLED CELL WITH (1) #4 VERTICALLY.

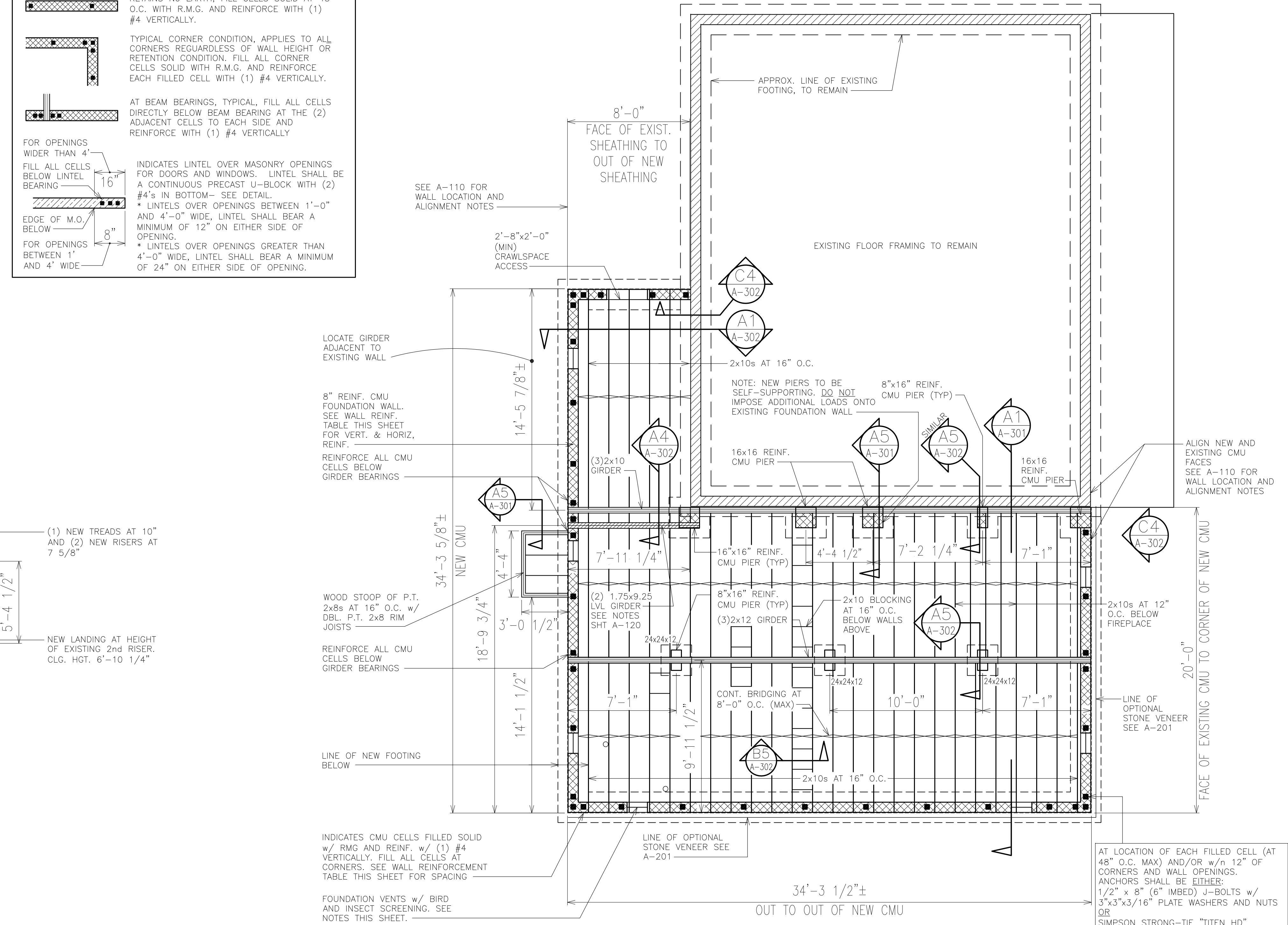
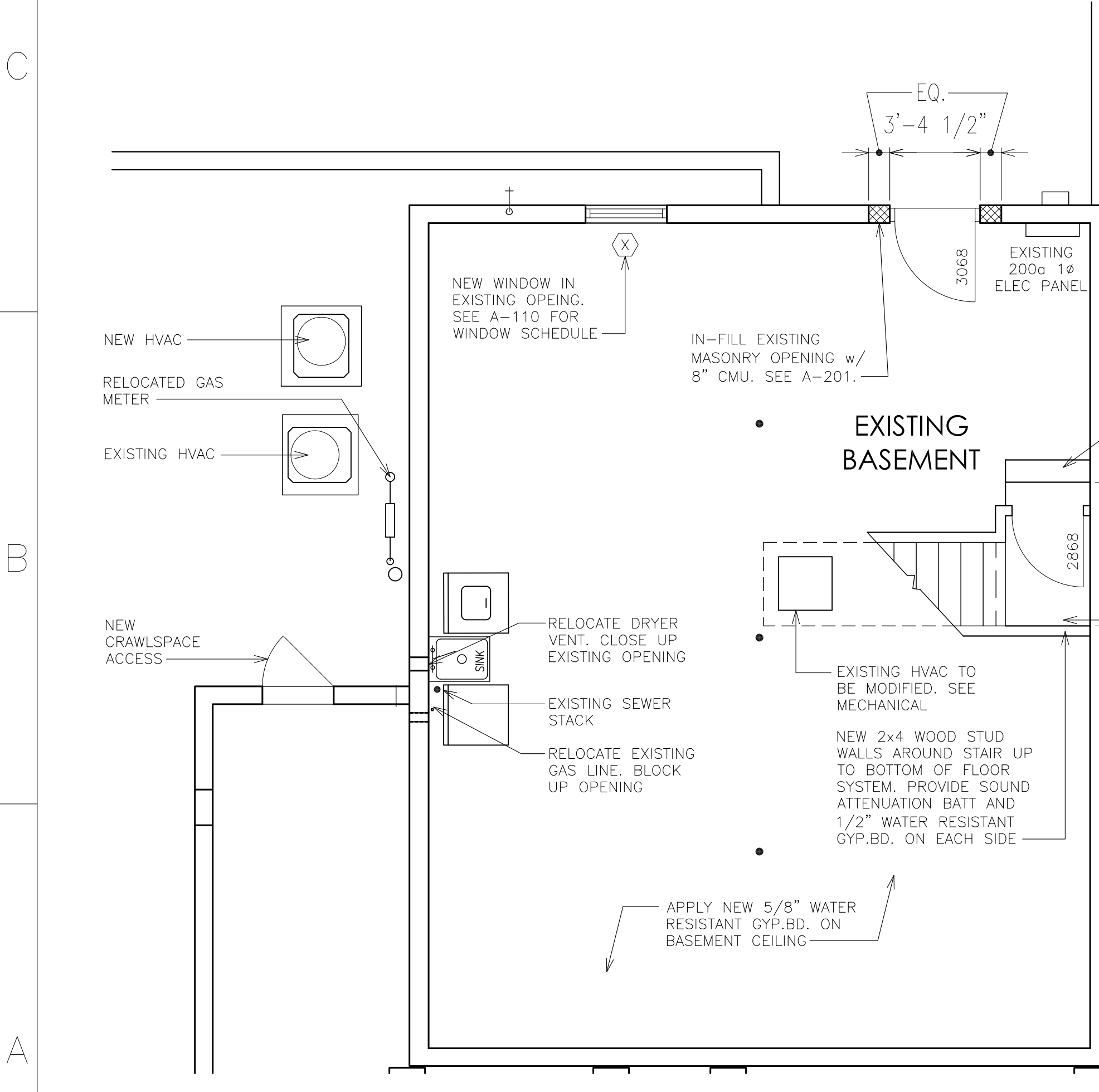
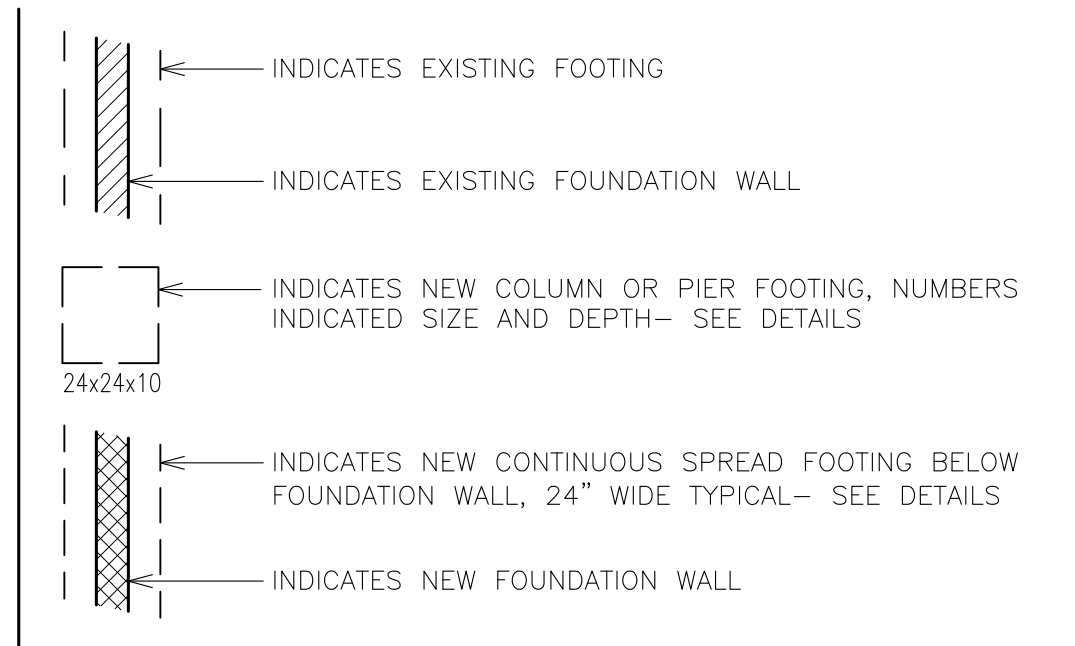
AT BEAM BEARINGS, TYPICAL, FILL ALL CELLS DIRECTLY BELOW BEAM BEARING AT THE (2) ADJACENT CELLS TO EACH SIDE AND REINFORCE WITH (1) #4 VERTICALLY.

FOR OPENINGS WIDER THAN 4" FILL ALL CELLS BELOW LINTEL BEARING 16" INDICATES LINTEL OVER MASONRY OPENINGS FOR DOORS AND WINDOWS. LINTEL SHALL BE A CONTINUOUS PRECAST U-BLOCK WITH (2) #4'S IN BOTTOM- SEE DETAIL.

EDGE OF M.O. BELOW 8" * LINTELS OVER OPENINGS BETWEEN 1'-0" AND 4'-0" WIDE, LINTEL SHALL BEAR A MINIMUM OF 12" ON EITHER SIDE OF OPENING.

FOR OPENINGS BETWEEN 1' AND 4" WIDE * LINTELS OVER OPENINGS GREATER THAN 4'-0" WIDE, LINTEL SHALL BEAR A MINIMUM OF 24" ON EITHER SIDE OF OPENING.

FOOTING TYPE LEGEND



A1 BASEMENT PLAN
1/4" = 1'-0"

A4 FOUNDATION & 1st FL. FRAMING
1/4" = 1'-0"

FOUNDATION VENTILATION NOTES:

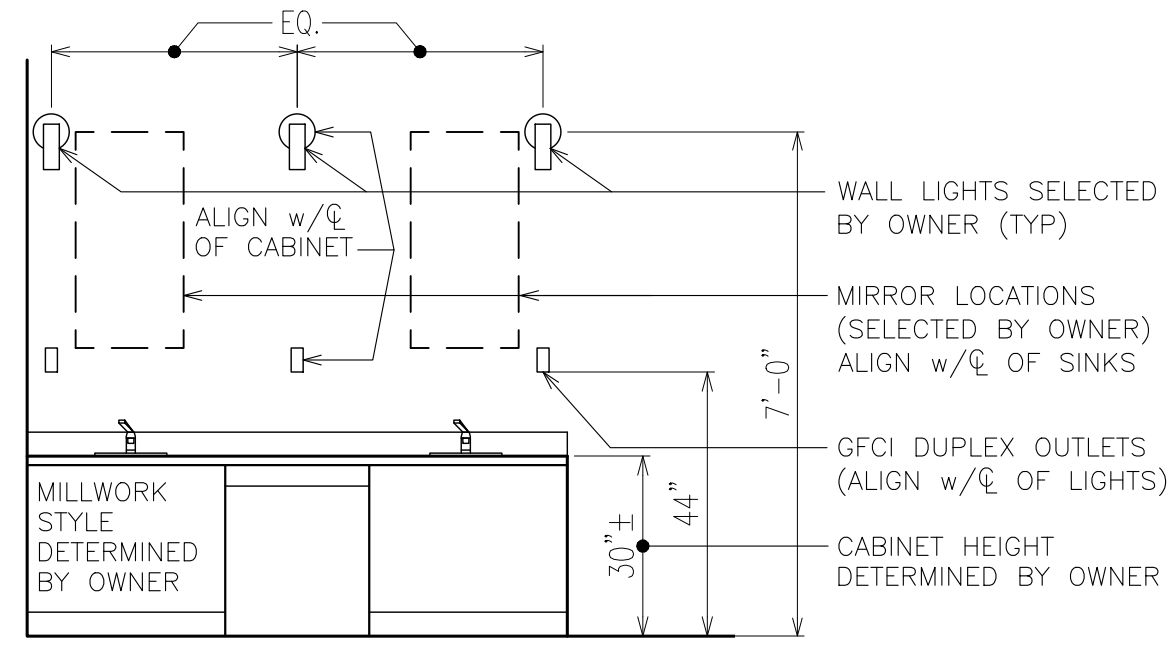
- CODE REQUIREMENT: 1 S.F. OF VENT/150 S.F. OF CRAWL SPACE
- 8"x16" VENTS PROVIDE 0.88 S.F. OR 1 PER 130 S.F. OF CRAWL SPACE.

NOTE: FOUNDATION LAYOUT BASED ON FIELD DIMENSIONS. VERIFY IN FIELD. LOCATION OF ADDITION DETERMINED BY EXISTING CONDITIONS AS NOTED ON SHEET A-110.

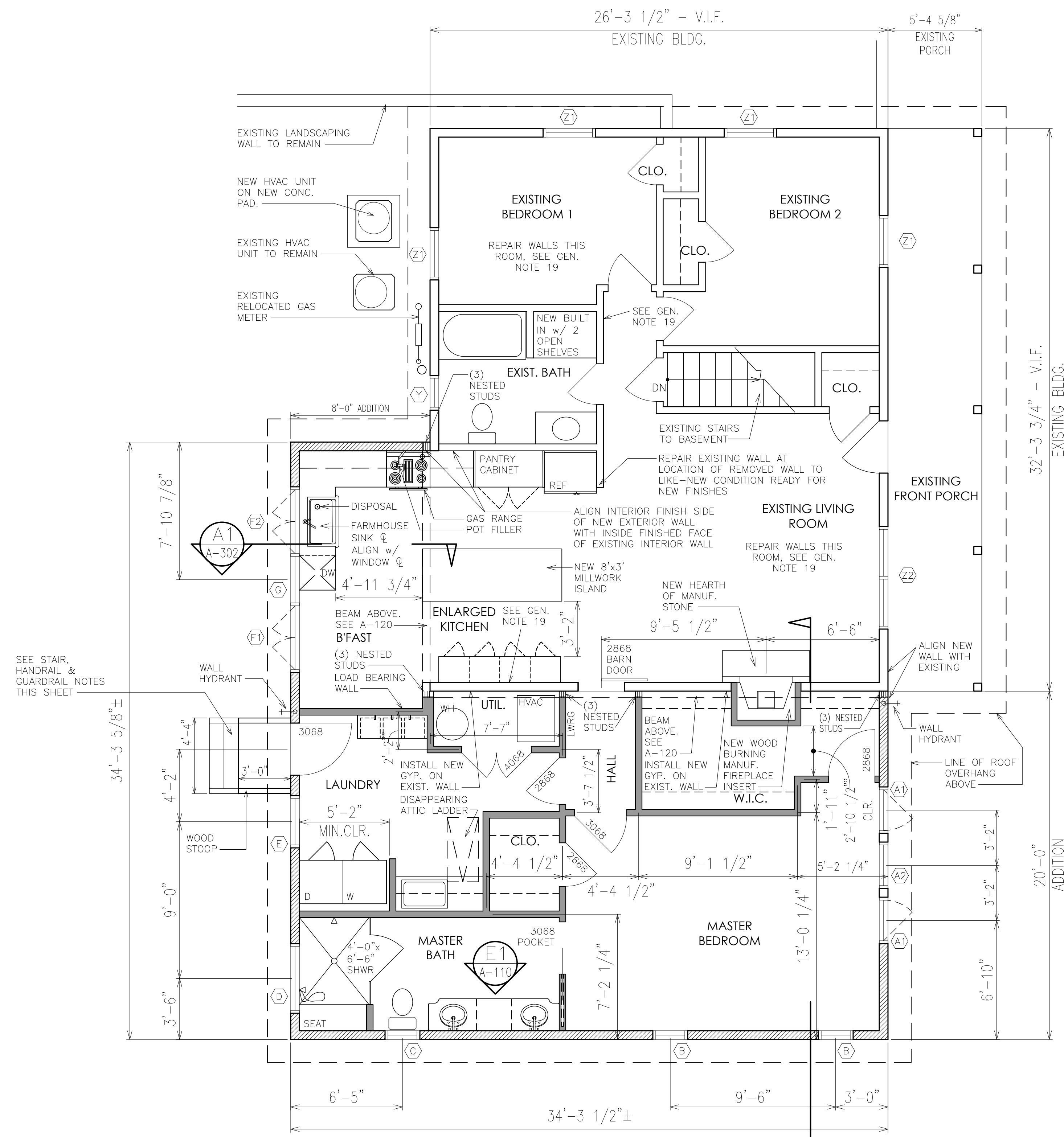
HOLD DOWNS SHALL BE EQUAL TO SIMPSON STRONG-TIE "HDU" SERIES

E
D
C
B
A

1 2 3 4 5 6



E1 INTERIOR ELEVATION DIAGRAM
3/8" = 1'-0"



A1 FLOOR PLAN
1/4" = 1'-0"

STAIR, HANDRAIL, & GUARDRAIL NOTES

- DISCLAIMER:
THE FOLLOWING GUARDRAIL, HANDRAIL, AND STAIR NOTES ARE GENERAL IN NATURE. CONTRACTOR/OWNER SHALL VERIFY THE APPLICABILITY OF EACH NOTE WITH REGARD TO LOCAL BUILDING CODES AND AUTHORITIES. THESE NOTES ARE BASED ON THE 2012 INTERNATIONAL RESIDENTIAL CODE DIMENSIONS IN [BRACKETS] ARE NEAR METRIC EQUIVALENTS IN MILLIMETERS (mm).
- HANDRAILS:** HANDRAILS HAVING MINIMUM AND MAXIMUM HEIGHTS OF 30" [762] AND 38" [964] RESPECTIVELY, MEASURED VERTICALLY FROM THE NOSING OF THE TREADS, SHALL BE PROVIDED ON AT LEAST ONE SIDE OF STAIRWAYS OF THREE OR MORE RISERS. SPIRAL STAIRWAYS SHALL HAVE THE REQUIRED HANDRAIL LOCATED ON THE OUTSIDE RADIUS. ALL REQUIRED HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. ENDS SHALL BE RETURNED OR SHALL TERMINATE IN NEWEL POSTS OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2" [38] BETWEEN THE WALL AND HANDRAIL.
 - HANDRAIL GRIP SIZE:** HANDRAILS SHALL HAVE EITHER A CIRCULAR CROSS SECTION WITH A DIAMETER OF 1 1/4" [31] TO 2" [50], OR A NONCIRCULAR CROSS SECTION WITH A PERIMETER DIMENSION OF AT LEAST 4" [102], BUT NOT MORE THAN 6 1/4" [158], AND A LARGEST CROSS-SECTION DIMENSION NOT EXCEEDING 2 1/4" [56]. EDGES SHALL HAVE A MINIMUM RADIUS OF 1/8" [3].
 - GUARDRAILS:** PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30" [762] ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDRAILS NOT LESS THAN 36" [914] IN HEIGHT. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30" [762] ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDRAILS NOT LESS THAN 36" [915] IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREADS. OPEN GUARDRAILS SHALL HAVE INTERMEDIATE MEMBERS SUCH THAT A 4" [100] SPHERE CANNOT PASS THROUGH ANY OPENING, AND A BOTTOM RAIL OR CURB THAT WILL PREVENT PASSAGE OF A 2" [50] SPHERE.
EXCEPTION: THE TRIANGULAR OPENING FORMED BY A TREAD, RISER, AND BOTTOM OF A GUARDRAIL SHALL PREVENT PASSAGE OF A 6" [150] SPHERE.
 - TREADS AND RISERS:** THE MAXIMUM RISER HEIGHT SHALL BE 7 3/4" [196] AND THE MINIMUM TREAD DEPTH SHALL BE 10" [254]. THE RISER HEIGHT SHALL BE MEASURED VERTICALLY BETWEEN THE LEADING EDGES OF THE ADJACENT TREADS. THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREADS LEADING EDGE. THE WALKING SURFACE OF TREADS AND LANDINGS OF A STAIRWAY SHALL BE SLOPED NO STEEPER THAN ONE UNIT VERTICAL IN 48 UNITS HORIZONTAL. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8" [9]. THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8" [9]. NOSINGS SHOWN ON PLANS ARE 1" [25].

GENERAL NOTES

- OWNER IS RESPONSIBLE FOR ALL BUILDING PERMITS AND INSPECTIONS. CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE 2012 INTERNATIONAL RESIDENTIAL CODE AS ENFORCED BY ANDERSON COUNTY, TN.
- OCCUPANCY GROUP: SINGLE FAMILY RESIDENTIAL
- CONSTRUCTION: V-B, UNSPRINKLERED
- CHECK EXISTING SITE ZONING FOR PROPERTY LINE LOCATIONS, SETBACKS AND ANY COVENANTS AND RESTRICTIONS
- ALL EXTERIOR WOOD SHALL BE PRESSURE TREATED.
- ALL WOOD IN CONTACT w/ CONCRETE OR CONCRETE MASONRY SHALL BE PRESSURE TREATED.
- ALL WOOD TO WOOD CONNECTORS SHALL BE BY SIMPSON STRONG-TIE. UBS CONNECTORS ARE AN ACCEPTABLE ALTERNATIVE IF LOADING SPECIFICATIONS MEET OR EXCEED SIMPSON STRONG-TIE. ALL WOOD TO WOOD CONNECTORS SHALL BE GALVANIZED.
- PROVIDE SOLID BLOCKING WHERE REQUIRED FOR NOTCHING AND NAILING.
- OWNER TO LOCATE:
- NEW ELECTRICAL OUTLETS
- LIGHT SWITCHES
- COMMUNICATIONS OUTLETS
- CONSULT WITH OWNER ABOUT I.T./COMMUNICATIONS REQUIREMENTS PRIOR TO COMPLETION OF FRAMING.
- ALL INTERIOR FINISHES, PAINT COLORS, LIGHT FIXTURES AND TRIMS SHALL BE SELECTED BY OWNER.
- ONLY NEW DOORS AND WINDOWS HAVE SIZES AND TYPES INDICATED. OTHER DOORS AND WINDOWS ARE EXISTING TO REMAIN.
- STYLE OF WINDOWS AND DOORS SELECTED BY OWNER.
- RE-ROOF EXISTING HOUSE. SEE EXTERIOR ELEVATIONS. COLOR AND STYLE OF ROOF SELECTED BY OWNER.
- LIGHTING FIXTURES SELECTED BY OWNER.
- CONSTRUCTION WILL NECESSITATE COORDINATION WITH OWNER AS TO CONSTRUCTION SCHEDULE, MATERIALS STORAGE AND ACCESS TO OTHER PARTS OF THE HOUSE.
- PROTECT EXISTING SPACES FROM WEATHER AND WATER INFILTRATION DURING CONSTRUCTION.
- CONSTRUCTION WILL REQUIRE ACCESS TO MAIN FLOOR AND BASEMENT FOR INSTALLATION OF ADDITIONAL STRUCTURE DOWN TO FOUNDATION. COORDINATE ACCESS WITH OWNER.
- CONSTRUCTION WILL REQUIRE THE REMOVAL AND REPLACEMENT OF SOME EXISTING WALL, FLOOR AND CEILING FINISHES TO INSTALL ADDITIONAL STRUCTURAL COMPONENTS. ALL DAMAGE TO EXISTING FINISHES SHALL BE REPAIRED AND REPLACED IN A NEAT, WORKMANLIKE MANNER WHICH SHALL MATCH EXISTING, ADJACENT FINISHES SO AS TO BE INDISTINGUISHABLE FROM UN-DAMAGED ADJACENT MATERIALS.
- ANY AND ALL INCIDENTAL DAMAGE TO THE EXISTING HOUSE, FINISHES, STRUCTURE, ETC. WHICH MAY RESULT FROM CONSTRUCTION ACTIVITIES, SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
- CONSTRUCTION ACTIVITIES SHALL NOT IMPEDE OR BLOCK ANY PUBLIC STREET OR SIDEWALK AND SHALL IN NO WAY DISRUPT VEHICULAR TRAFFIC (ESPECIALLY EMERGENCY FIRST RESPONDER ACCESS) OR NEIGHBORS' ACCESS TO ADJACENT PROPERTIES. INFORM LOCAL AUTHORITIES IF UNLOADING OR TEMPORARY PARKING IS NECESSARY FOR MATERIALS DELIVERY AND OTHER CONSTRUCTION ACTIVITIES.
- ADD-ALTERNATE: STONE VENEER SHOWN ON SECTIONS AND ELEVATIONS IS AN ADD ALTERNATE TO BE PRICED SEPARATELY. BASE BID IS FIBER CEMENT LAP SIDING.
- REPAIR AREAS OF EXISTING WALL BOARD WHICH HAVE BEEN DAMAGED BY DOGS TO ACHIEVE A SMOOTH, UNIFORM APPEARANCE READY FOR NEW FINISHES.
- FLOOR FINISH TO BE LUXURY VINYL PLANK IN ALL SPACES UNLESS DIRECTED OTHERWISE BY OWNER. COLOR AND STYLE SELECTED BY OWNER.

WINDOW SCHEDULE

WINDOW SYM.	NOMINAL SIZE W x H	JELD-WEN V-4500 MODEL NUMBER	EGRESS	TEMP'D GLASS	CASING	DRILLING	FIXED	REMARKS
A1	2'-6" x 5'-0"	PRVCMT3060	YES	NO	●	●	●	COMPLIES WITH EGRESS REQUIREMENTS w/ EGRESS HINGES
A2	2'-6" x 5'-0"	PRVFS3060	NO	NO	●	●	●	
B	2'-0" x 4'-6"	PRVDHT2454	NO	NO	●	●	●	
C	2'-0" x 3'-0"	PRVDHT2436	NO	YES	●	●	●	
D	4'-0" x 1'-0"	PRVFS4812	NO	YES	●	●	●	
E	3'-0" x 4'-0"	PRVDHT3648	NO	YES	●	●	●	
F1	4'-0" x 3'-0"	PRVCMT2436-2	NO	NO	●	●	●	TWIN UNIT, PROVIDE LEFT AND RIGHT HINGES
F2	4'-0" x 3'-0"	PRVCMT2436-2	NO	YES	●	●	●	TWIN UNIT, PROVIDE LEFT AND RIGHT HINGES
G	2'-8" x 3'-0"	PRVFS3236	NO	YES	●	●	●	
X	3'-0" x 4'-2" EXISTING SIZE	CUSTOM AS REQ'D	NO	NO	●	●	●	LOCATED IN BASEMENT
Y	2'-0" x 3'-0" EXISTING SIZE	PRVDHT2436	NO	YES	●	●	●	VERIFY R.O. IN FIELD PRIOR TO ORDERING WINDOWS
Z1	3'-0" x 4'-6" EXISTING SIZE	CUSTOM AS REQ'D	NO	NO	●	●	●	VERIFY R.O. IN FIELD PRIOR TO ORDERING WINDOWS
Z2	6'-0" x 4'-6" EXISTING SIZE	CUSTOM AS REQ'D	NO	NO	●	●	●	VERIFY R.O. IN FIELD PRIOR TO ORDERING WINDOWS

- WINDOW SCHEDULE NOTES:**
- WINDOW SIZES ARE BASED ON JELD-WEN V-4500 PREMIUM VINYL WINDOWS. IF ANOTHER WINDOW MANUFACTURER IS TO BE SUBSTITUTED, CONTRACTOR TO VERIFY THAT SUBSTITUTE WINDOWS MEET ALL APPLICABLE EGRESS REQUIREMENTS.
 - PROVIDE GRID BETWEEN THE GLASS SIMULATED DIVIDED LIGHTS AS SHOWN ON ELEVATIONS.
 - OWNER TO SELECT COLORS, TRIM STYLES, AND HARDWARE FUNCTIONS
 - OWNER AND CONTRACTOR ARE TO REVIEW AND VERIFY WINDOW SIZES AND PLACEMENT BEFORE ORDERING WINDOWS.
 - GO TO VERIFY ALL ROUGH OPENINGS PRIOR TO FRAMING.
 - VERIFY AND ADJUST EXISTING ROUGH OPENINGS WHERE NEW WINDOWS ARE TO REPLACE EXISTING WINDOWS.
 - HINGE SIDE BASED ON INSIDE OPERATOR'S VIEWPOINT
 - WINDOW ENERGY CRITERIA: LOW-E 270 DUAL GLASS + ARGON
U: 0.28
SHGC: 0.23
VT: 0.42

DOOR NOTES

- ONLY NEW DOOR SIZES ARE NOTED ON PLAN.
- DESIGNATIONS ON DOORS ARE IN FEET AND INCHES.
- "3068" INDICATES 3'-0"x6"-8".
- NEW EXTERIOR DOORS TO BE METAL WITH INSULATED CORES UNLESS NOTED OTHERWISE.
- NEW INTERIOR DOORS TO BE INSULATED CORE "MASONITE" PRE-HUNG IN WOOD FRAMES, U.I.O.
- OWNER TO SELECT HARDWARE.
- BARN DOOR & HARDWARE SELECTED BY OWNER.

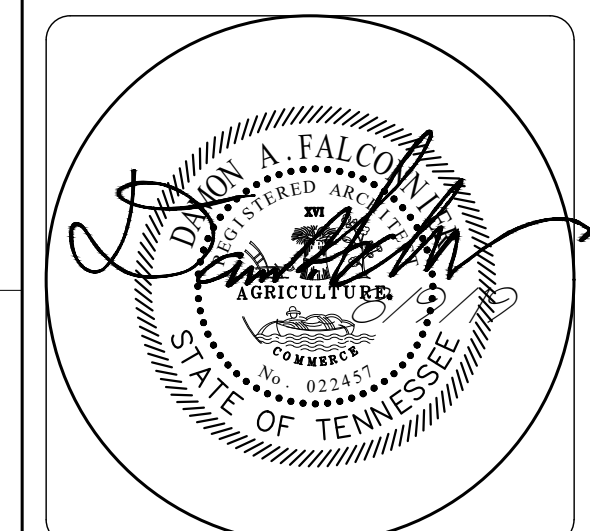
WINDOW EGRESS NOTES

- THESE NOTES ARE BASED ON THE 2012 INTERNATIONAL RESIDENTIAL CODE FOR SLEEPING ROOM EGRESS.
- MINIMUM CLEAR EGRESS AREAS:
GROUND FLOOR= 5.0 SQ.FT.
UPPER FLOORS= 5.7 SQ.FT.
- MINIMUM SASH CLEARANCES:
WIDTH = 20"
HEIGHT = 24"
- MAXIMUM SILL HEIGHT ABOVE FINISHED FLOOR= 44"

GRAPHIC LEGEND

- A4
A-101 INDICATES DETAIL REFERENCE. TOP NUMBER IS DETAIL NUMBER. LOWER NUMBER IS SHEET ON WHICH DETAIL MAY BE FOUND.
- A1
A-303 INDICATES SECTION/ELEVATION REFERENCE. TOP NUMBER IS DETAIL NUMBER. LOWER NUMBER IS SHEET ON WHICH DETAIL MAY BE FOUND.
- MASTER BATH INDICATES ROOM NAME/USE FUNCTION
- INDICATES NEW EXTERIOR BEARING WALL OF 2x6 STUDS AT 16" O.C. UNLESS NOTED OTHERWISE. SEE SECTION DRAWINGS FOR INTERIOR & EXTERIOR SHEATHING AND INSULATION
- INDICATES NEW INTERIOR STUD WALL OF 2x4 WOOD STUDS AT 16" O.C. (U.N.O.) w/ 1/2" GYPSUM BOARD ON EACH SIDE.
2x6 WALLS WHERE NOTED ON PLAN
• USE MOISTURE RESISTANT GYP.BD. IN WET AREAS (KITCHEN, BATHROOM & LAUNDRY ROOM WET WALLS)

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ADDITION TO WILSON HOUSE

MELISSA WILSON, DVM
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FLOOR PLAN

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FILE: 2019-043

A-110

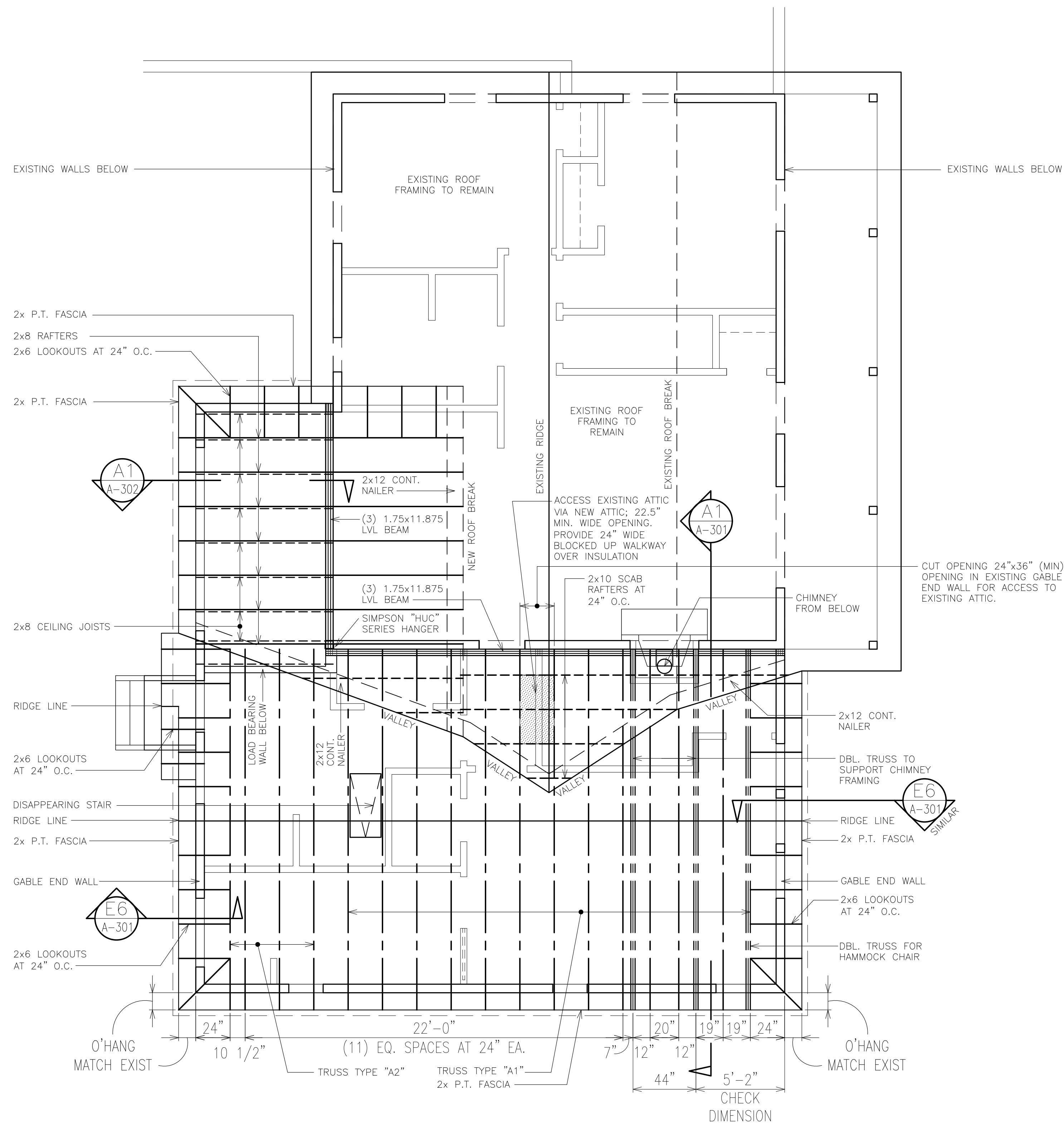
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D

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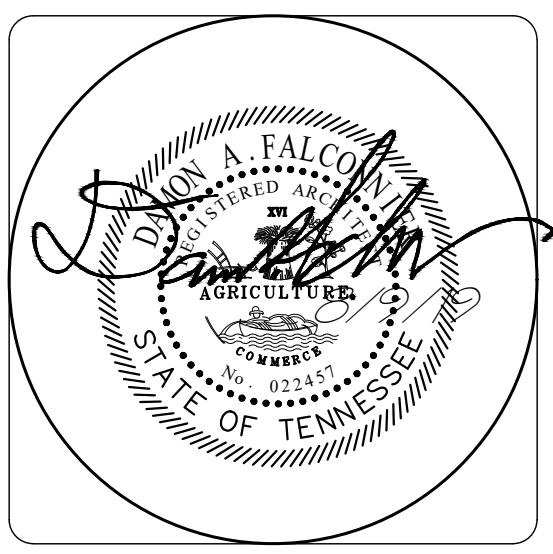
A



- WOOD LVL NOTES:**
- ENGINEERED WOOD LVL SIZES AND SPECIFICATIONS ARE BASED ON "VERSA-LAM" PRODUCTS AS MANUFACTURED BY BOISE CASCADE. IF ANOTHER MANUFACTURER IS TO BE SUBSTITUTED, VERIFY SIZES AND LOADING CONDITIONS PRIOR TO ORDERING.
 - LVL THICKNESS INDICATED ON DRAWINGS IS TO BE ACHIEVED BY BUILT-UP PLYS OF 1 3/4" THK LVL'S. 3 1/2" WIDE IS (2) 1 3/4" WIDE PLYS.
 - PLY DEPTHS SHALL BE FACTORY ASSEMBLED OR SHALL BE FIELD ASSEMBLED IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS FOR ASSEMBLY.
 - MINIMUM FASTENERS (2 OR 3 PLY): (2) ROWS OF 16d NAILS OR SDS 1/4" x 3 1/2" WS35 SCREWS AT 12" O.C. ON BOTH SIDES OF THE BEAM, WITH ROWS STAGGERED 1/2 O.C. SPACING.
 - FOR MORE THAN 3-PLY, REFER TO MANUFACTURER'S PRINTED LITERATURE.
 - LVL DEPTHS SHALL BE AS INDICATED ON DRAWINGS.
 - FOLLOW MANUFACTURER'S PRINTED INSTALLATION INSTRUCTIONS WITH REGARDS TO:
 - BEARING CONDITIONS
 - LATERAL BRACING
 - DELIVERY, STORAGE AND HANDLING
 - NOTCHING, BORING, CUTTING AND OTHER HOLES AND CUTS
 - PROVIDE SIMPSON STRONG-TIE CONNECTORS AND ATTACHMENTS WHICH HAVE BEEN SPECIFIED OR DESIGNED FOR USE WITH ENGINEERED WOOD. ALL STEEL CONNECTORS SHALL BE GALVANIZED.
 - DO NOT NOTCH, CUT, BORE HOLES OR OTHERWISE MODIFY LVLS WITHOUT EXPRESS WRITTEN DIRECTION OF ARCHITECT AND AS NOTED IN MANUFACTURER'S PRINTED LITERATURE.

- WOOD ROOF TRUSS NOTES:**
- ENGINEERED PRE-MANUFACTURED WOOD ROOF TRUSSES SHALL BE DESIGNED BY A TENNESSEE-LICENSED ENGINEER AND SHALL BE DESIGNED TO WITHSTAND ALL OF THE APPLICABLE LOADS INCLUDING, BUT NOT LIMITED TO:
 - WIND
 - SNOW
 - DEAD
 - APPLICABLE COMBINATIONS
 - TRUSSES SHALL BE MANUFACTURED IN ACCORDANCE WITH THE TRUSS PLATE INSTITUTE TPI 1 (CURRENT EDITION) "STANDARDS FOR METAL-PLATE-CONNECTED WOOD TRUSS CONSTRUCTION" AND LOCAL BUILDING CODES.
 - CONTRACTOR/SUPPLIER SHALL PROVIDE ALL LABOR AND MATERIALS TO COMPLETE TRUSS PORTION OF THE PROJECT.
 - SUBMIT ENGINEER PREPARED SHOP DRAWINGS SHOWING TRUSS DIAGRAMS AND LAYOUT, SPANS, LOADING AND DEFLECTION, WHERE APPLICABLE.
 - TRUSSES SHALL BE DELIVERED, STORED AND INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
 - TRUSS LUMBER SHALL BE A MINIMUM OF 2x4 IN SIZE, AND NOT LESS THAN KILN DRIED #2 SOUTHERN PINE. #3 KILN DRIED SOUTHERN PINE MAY BE USED IN WEBS.
 - GUSSET PLATES SHALL BE GALVANIZED, G185 METHOD.
 - PROVIDE SPECIALLY SHAPED TRUSSES FOR HIPPS, CORNERS, GIRDERS, OR JACK TRUSSES AS SPECIFIED IN THE CONSTRUCTION DRAWINGS.
 - GABLE END WALL TRUSSES SHALL BE DESIGNED FOR OUT-OF-PLANE WIND LOADS WITH WEB MEMBERS SPACED NOT MORE THAN 16" O.C.
 - TRUSSES SHALL BE BRACED LATERALLY DURING CONSTRUCTION PER MANUFACTURER'S INSTRUCTIONS.
 - PROVIDE SIMPSON STRONG-TIE CONNECTORS AND ATTACHMENTS WHICH HAVE BEEN SPECIFIED OR DESIGNED FOR USE WITH WOOD TRUSSES. ALL STEEL CONNECTORS SHALL BE GALVANIZED (G185 METHOD MINIMUM).
 - TRUSSES SHALL NOT BE FIELD MODIFIED EXCEPT AS DIRECTED BY ENGINEER OF RECORD.
 - SEE A-302 FOR TRUSS DIAGRAMS.

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ROOF FRAMING PLAN

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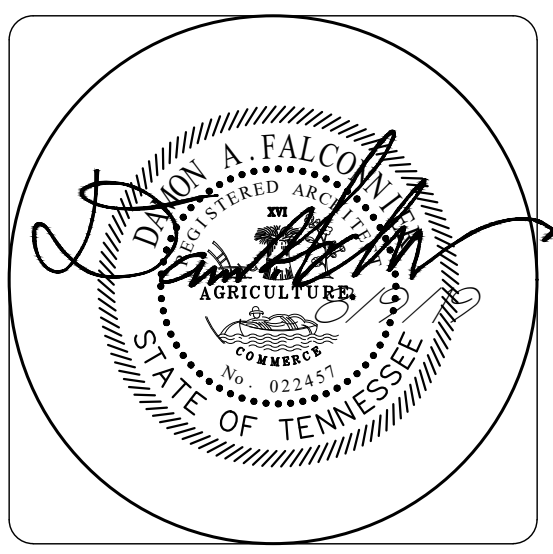
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A1 ROOF FRAMING PLAN
 1/4" = 1'-0"



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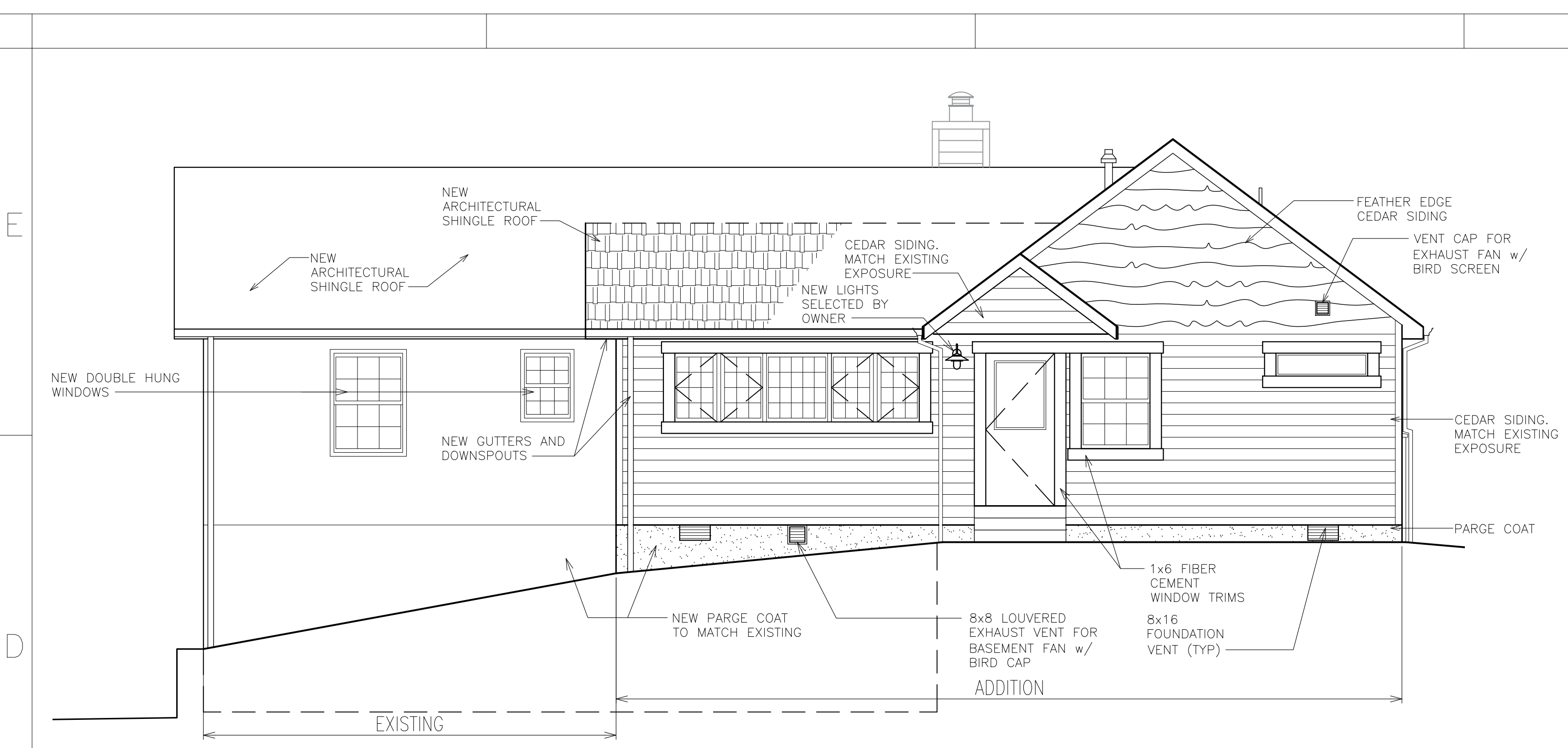
EXTERIOR ELEVATIONS

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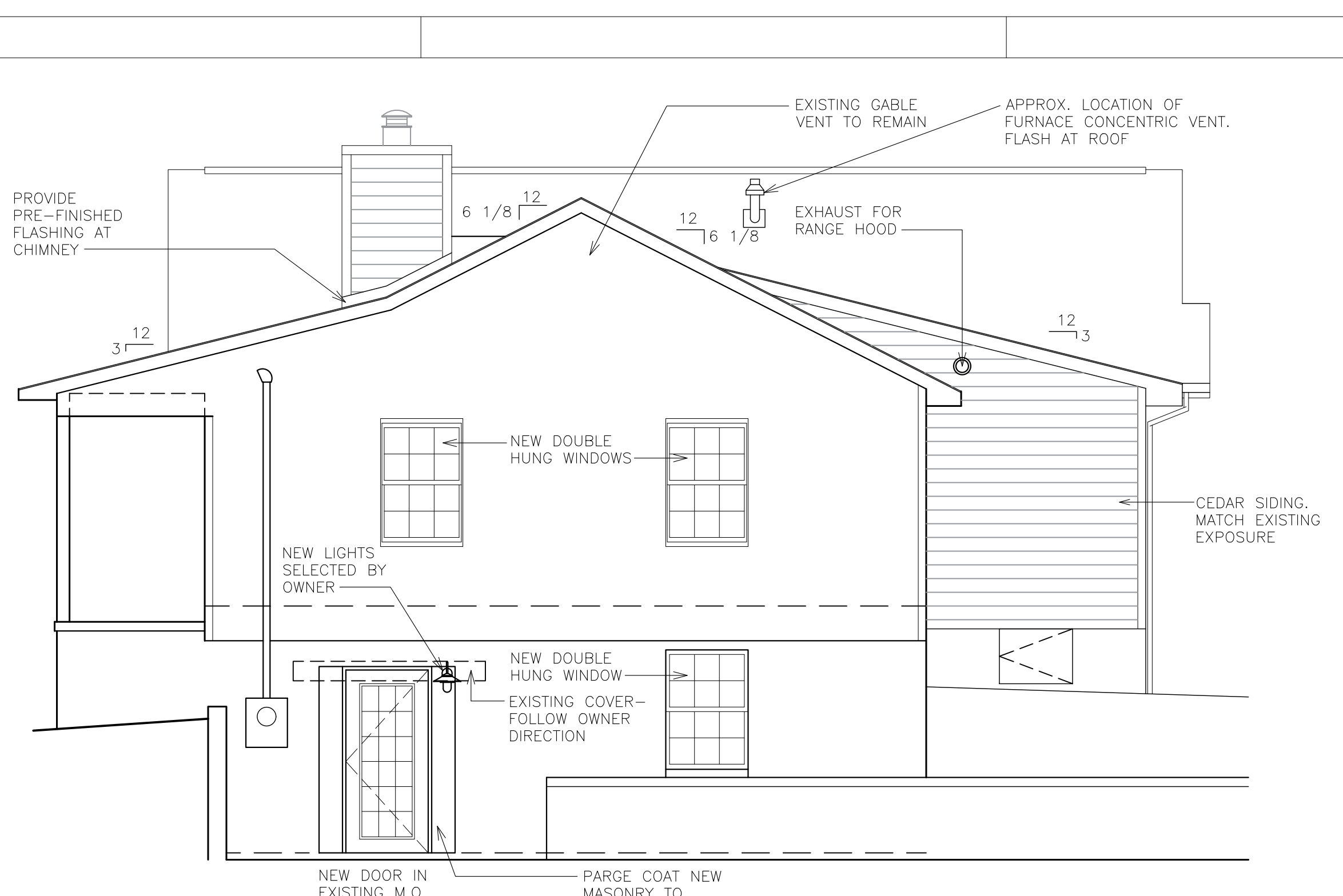
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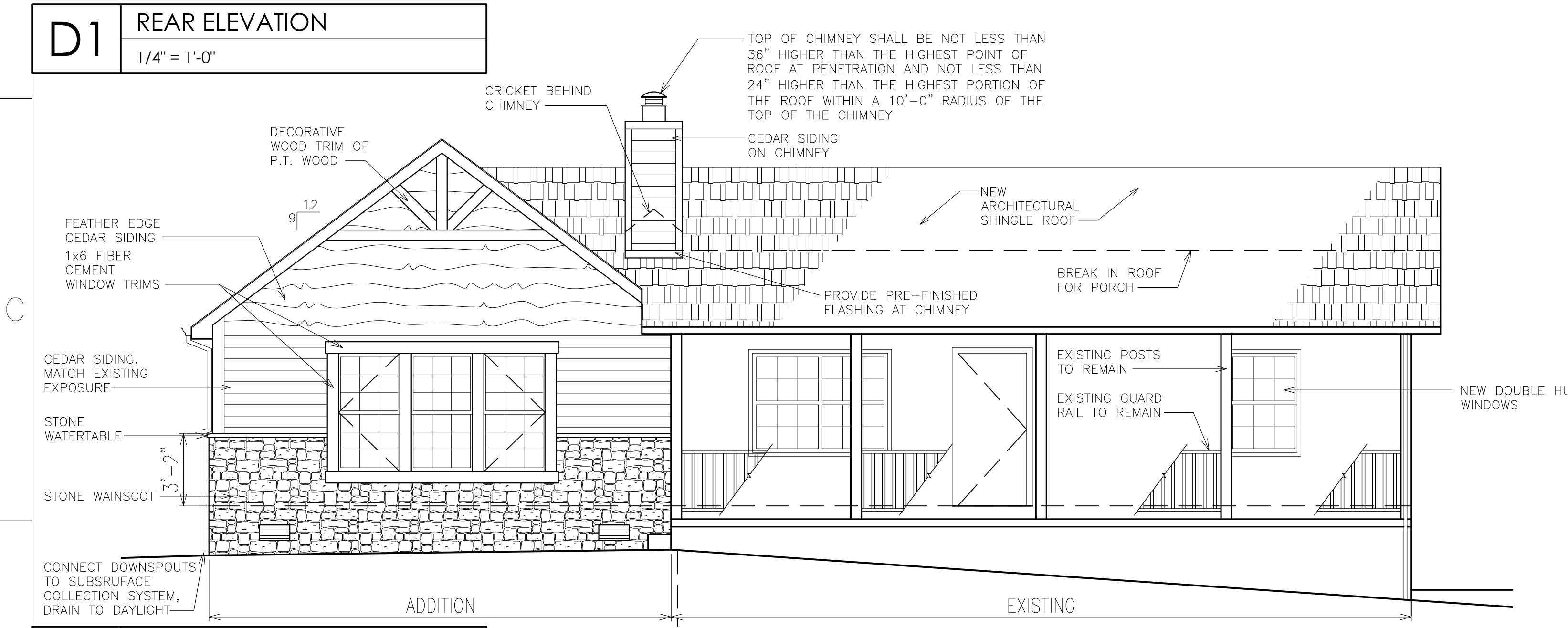
A-201



D1 REAR ELEVATION
1/4" = 1'-0"

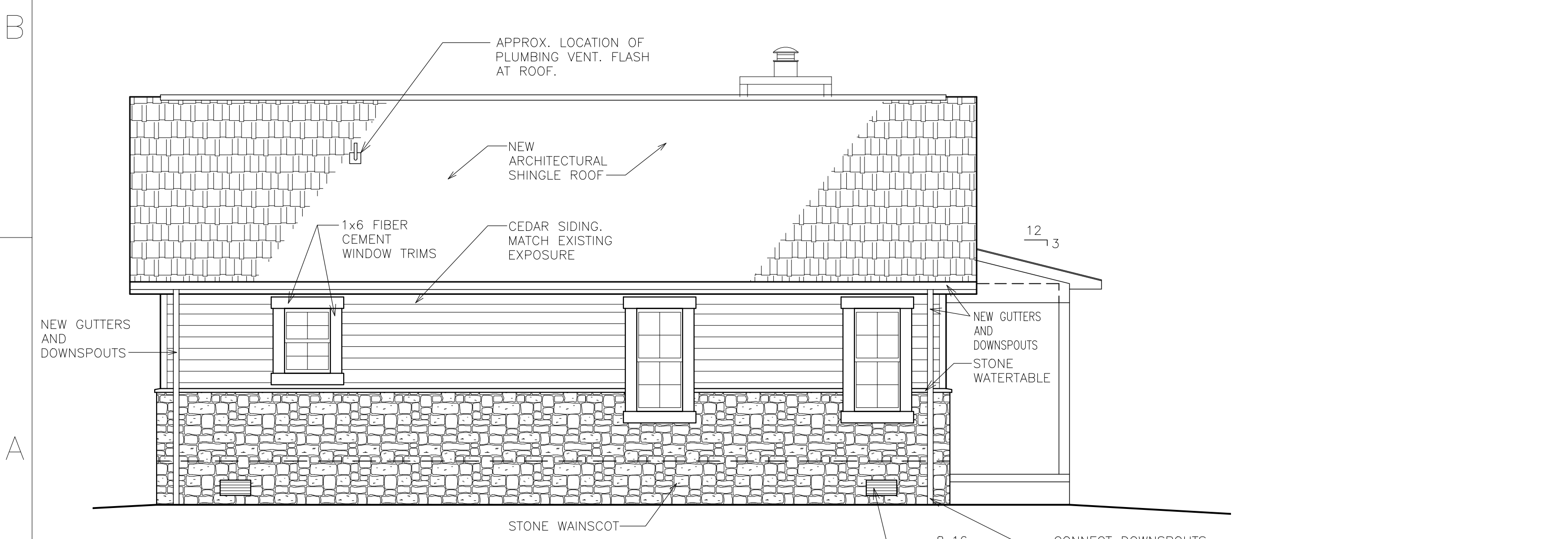


D4 RIGHT ELEVATION
1/4" = 1'-0"



B1 FRONT ELEVATION
1/4" = 1'-0"

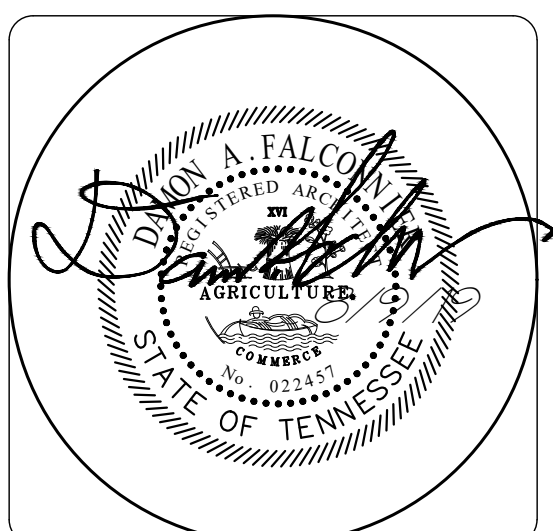
NOTE: STONE WAINSCOT IS AN ADD-ALTERNATE. SEE GENERAL NOTE 18 SHEET A-110.



A1 LEFT ELEVATION
1/4" = 1'-0"

NOTE: STONE WAINSCOT IS AN ADD-ALTERNATE. SEE GENERAL NOTE 18 SHEET A-110.

1 2 3 4 5 6



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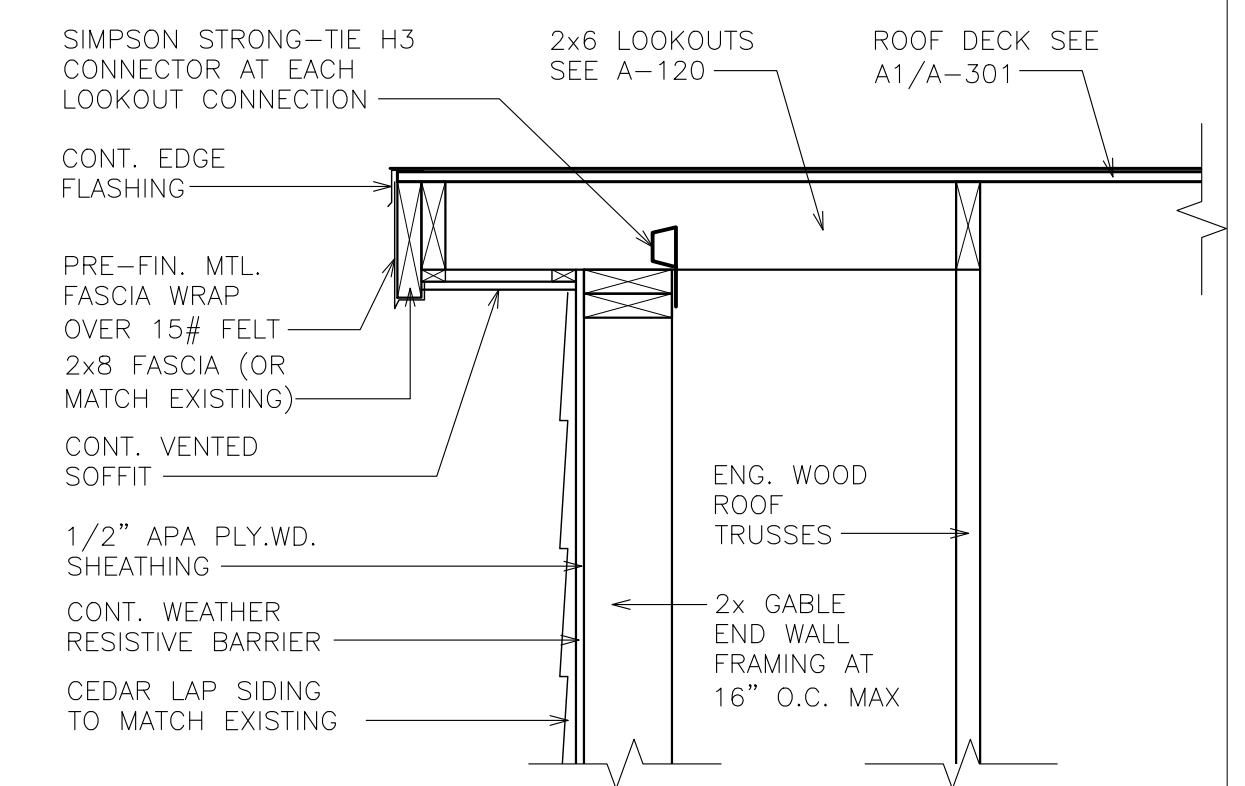
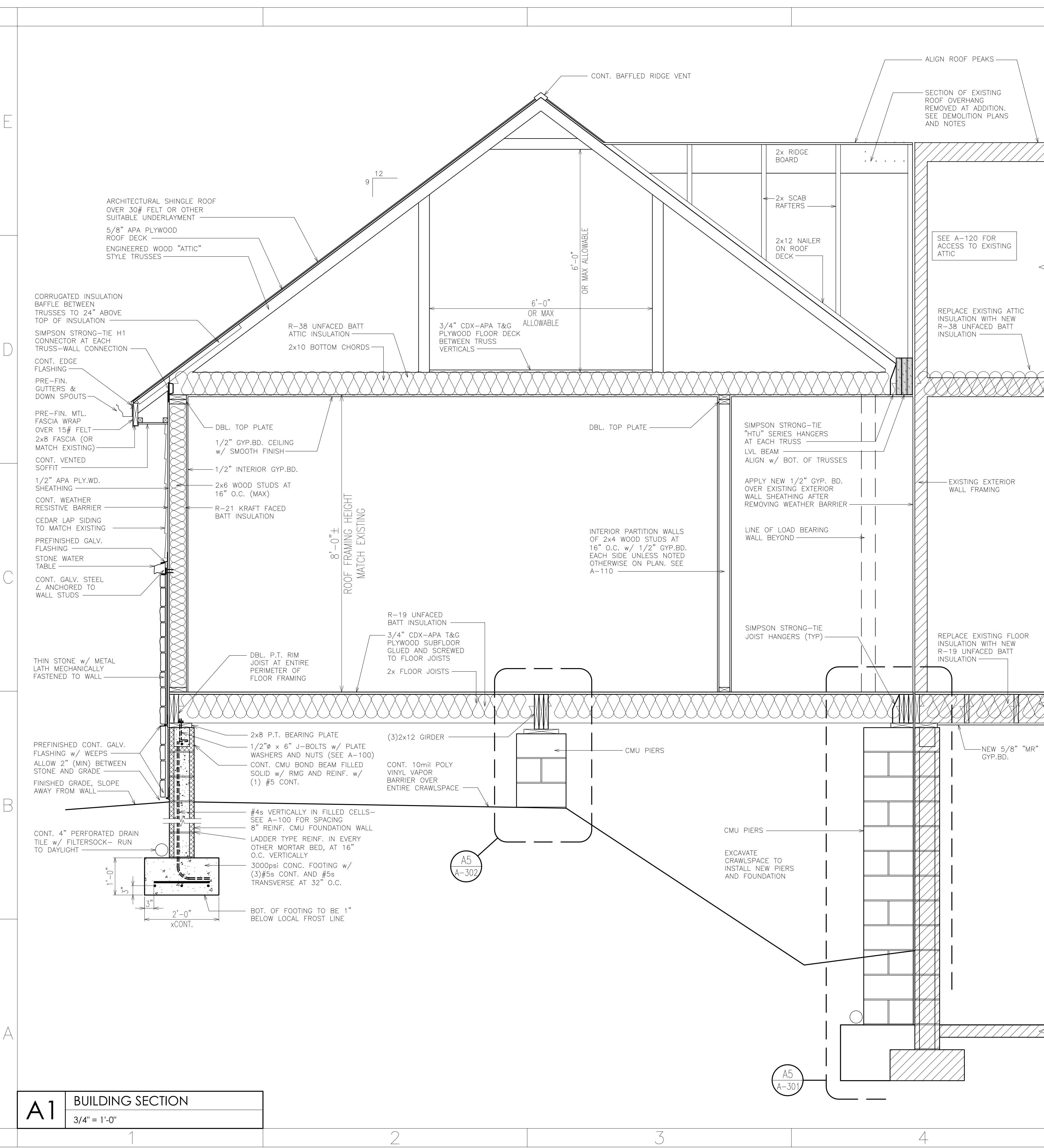
BUILDING SECTION & DETAILS

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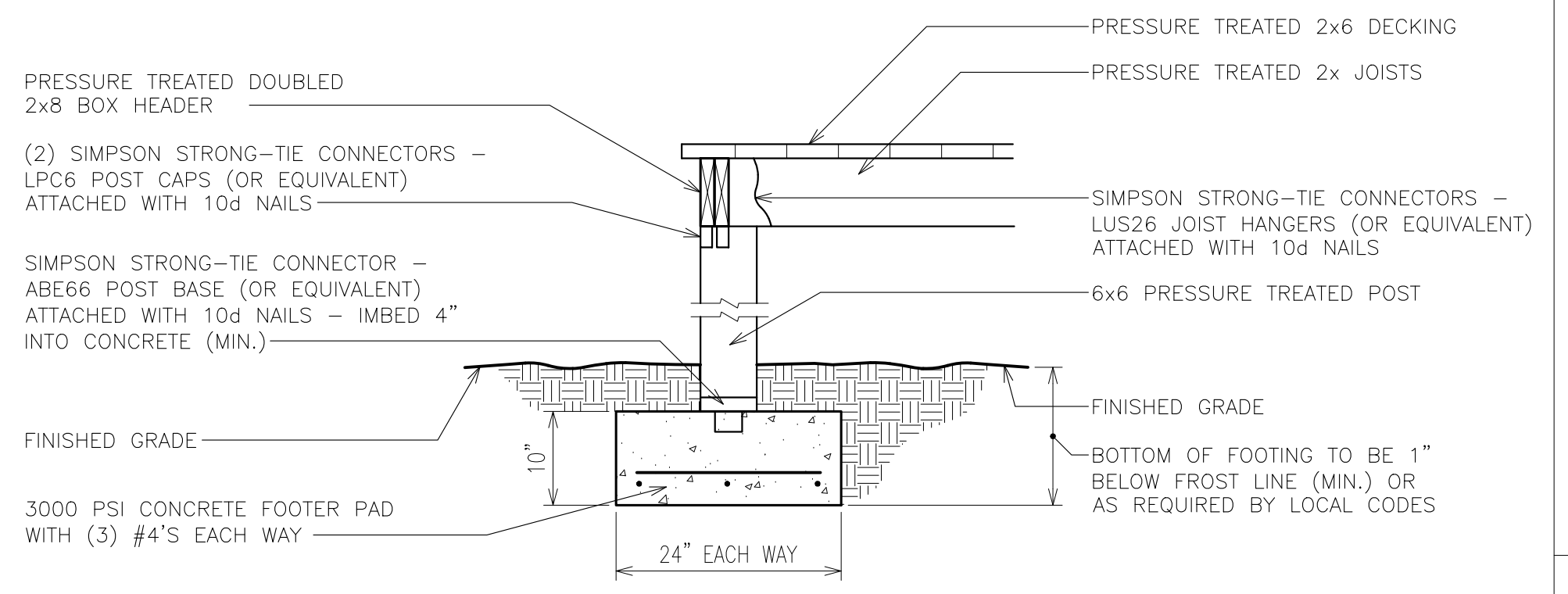
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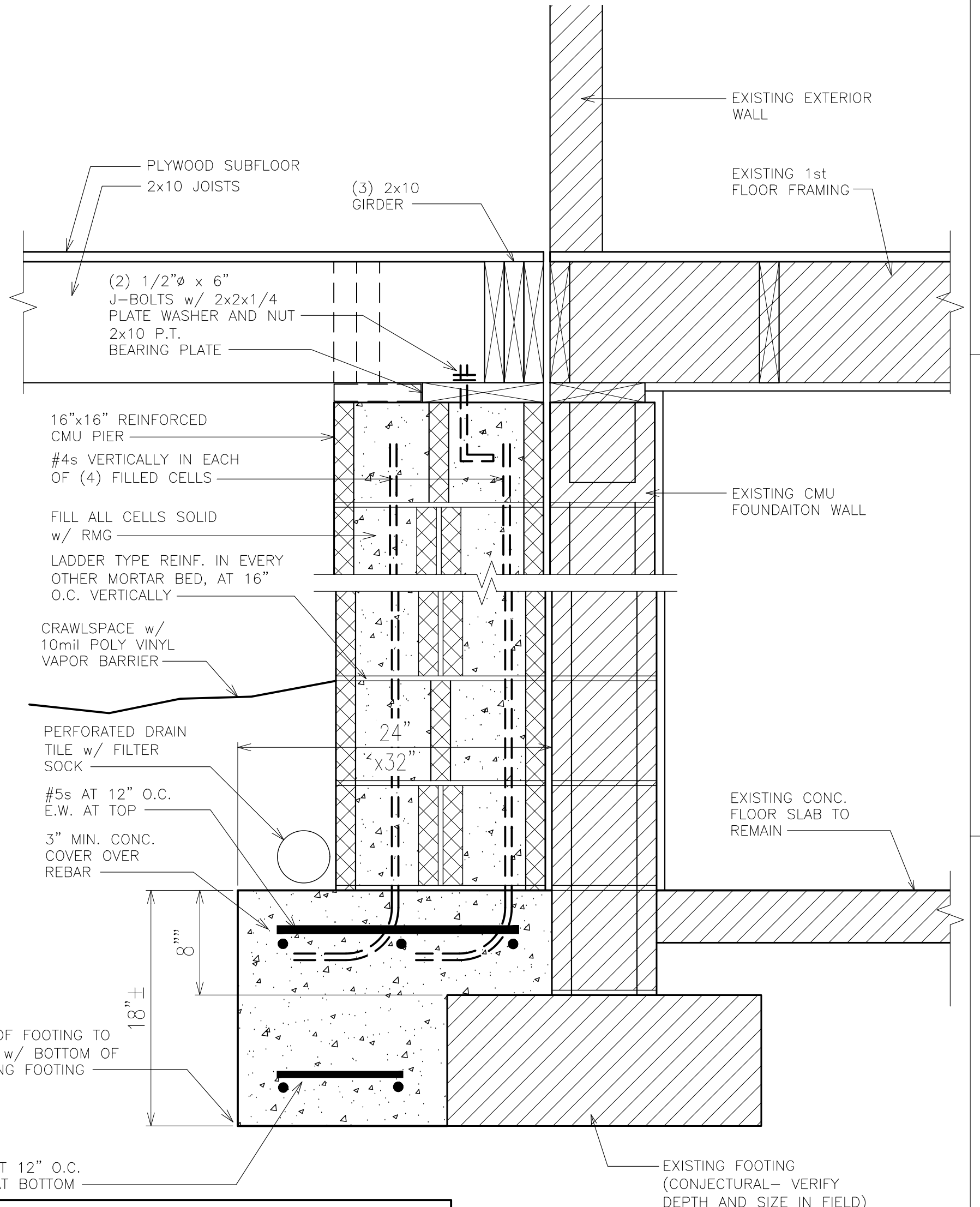
A-301



E6 RAKE DETAIL
1" = 1'-0"



D5 PORCH PIER DETAIL
1 1/2" = 1'-0"



A5 16"x16" PIER DETAIL
1 1/2" = 1'-0"

A1 BUILDING SECTION
3/4" = 1'-0"

E
D
C
B
A

1 2 3 4 5 6



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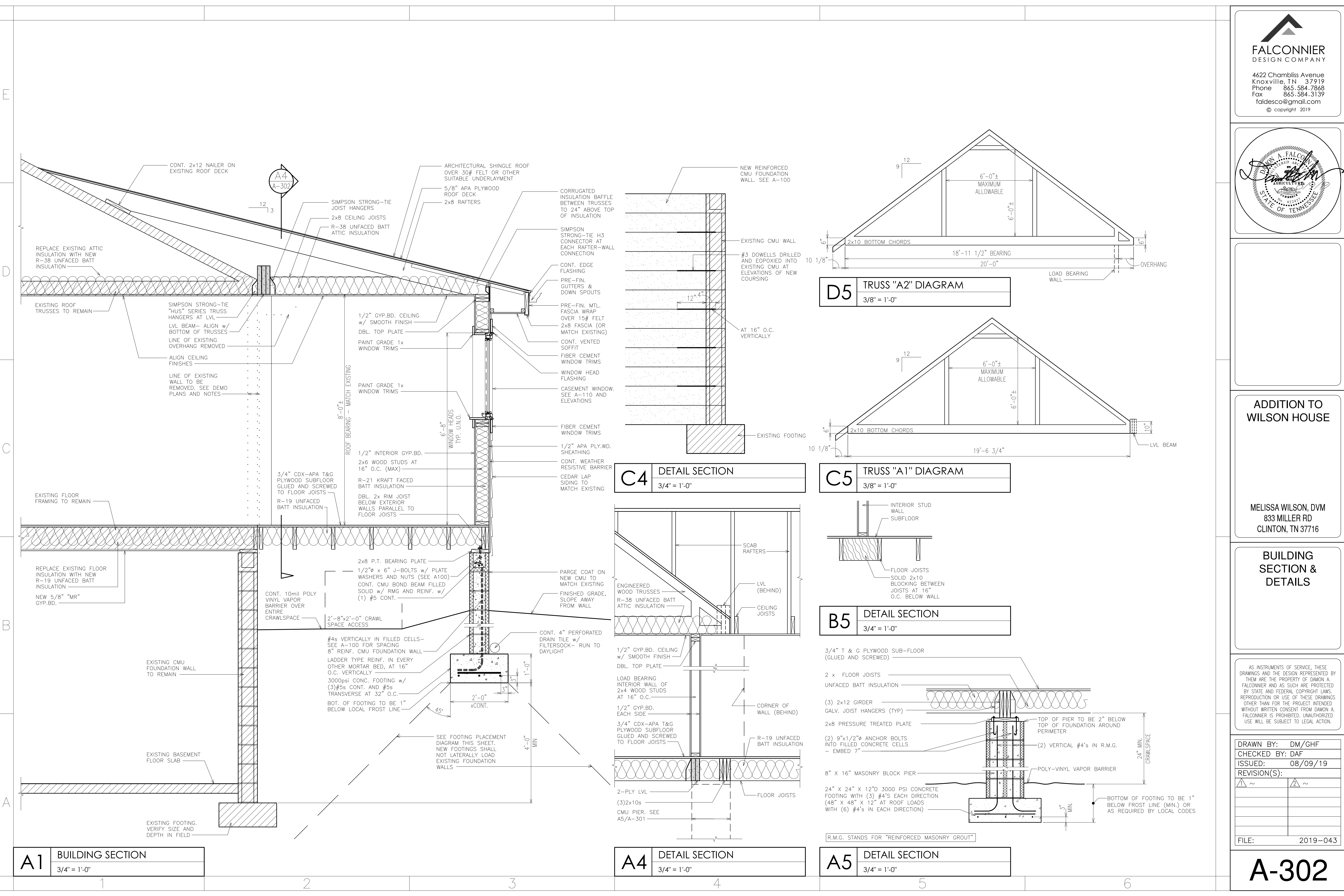
**BUILDING
SECTION &
DETAILS**

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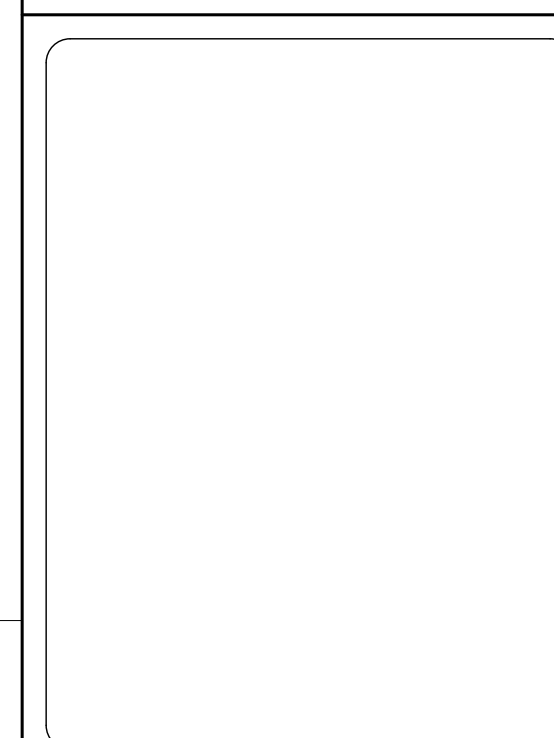
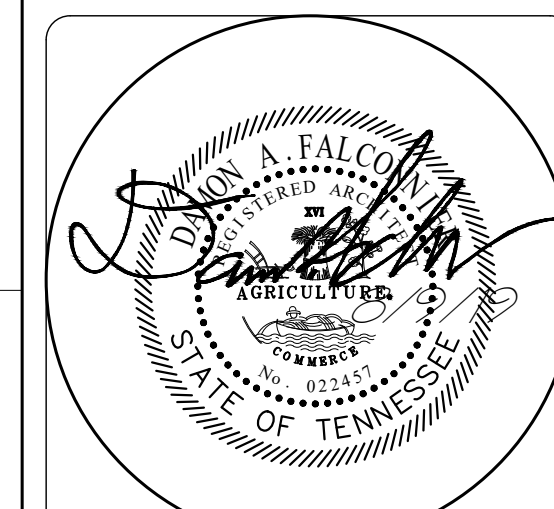
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A-302



R.M.G. STANDS FOR "REINFORCED MASONRY GROUT"



**ADDITION TO
WILSON HOUSE**

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**FLOOR PLANS
MECHANICAL &
GAS**

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M-100

UNIT	CFM	SONES	VOLTS	WEIGHT (LBS.)	BROAN MODEL	NOTES
EF1	100	2.0	120/1	16	AE50110DC	1,2,3,4

1. CEILING MOUNTED UNIT WITH INTEGRAL GRILLE.
2. RUN EXHAUST TO WALL CAP PROVIDED W/FAN. CAP SHALL BE PROVIDED W/BIRD SCREEN.
3. SWITCH FAN AND ROOM LIGHT FUNCTIONS SEPARATELY. SEE ELEC.
4. ALTERNATE MANUFACTURERS PERMITTED AT OWNER'S DISCRETION.

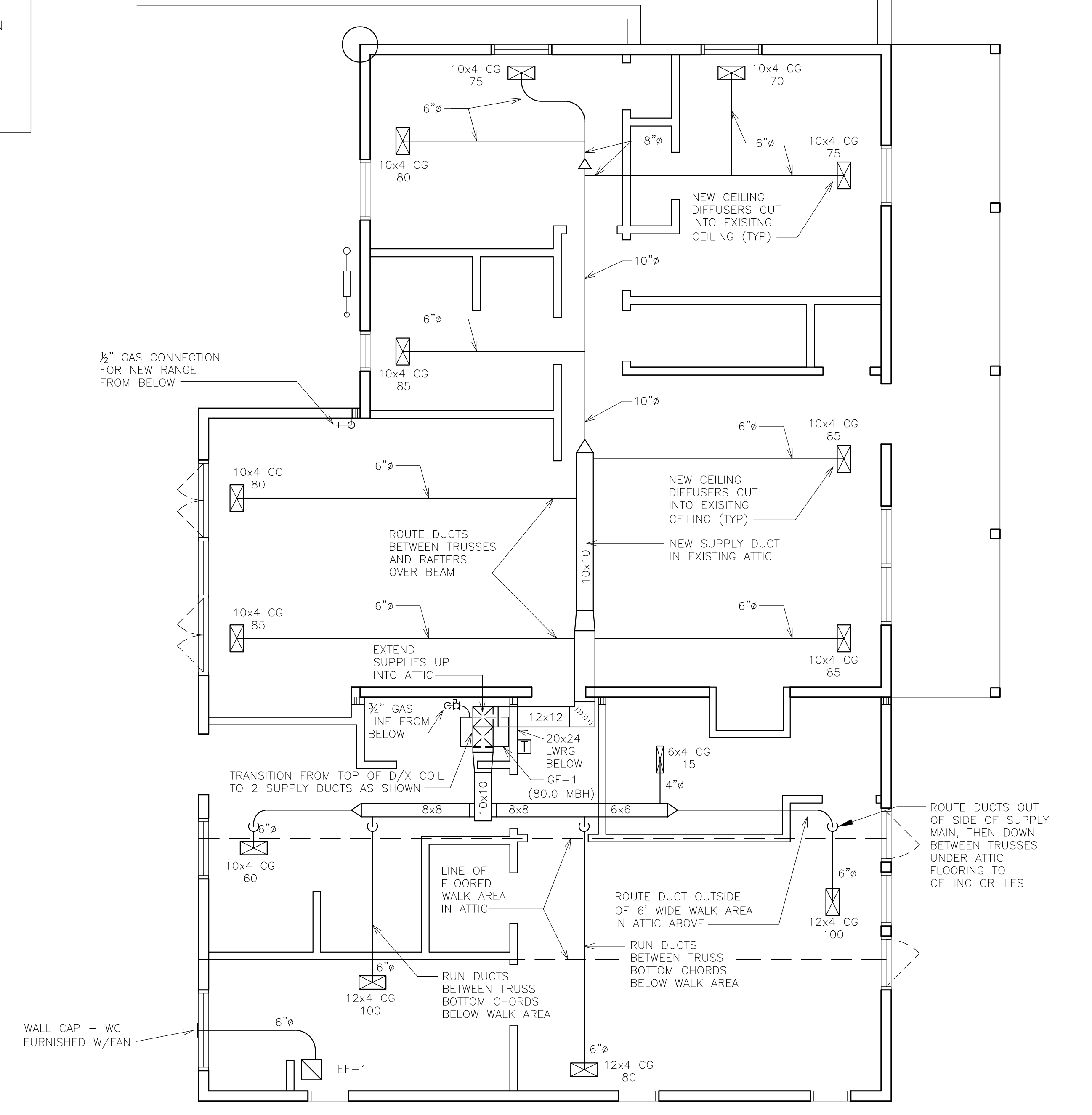
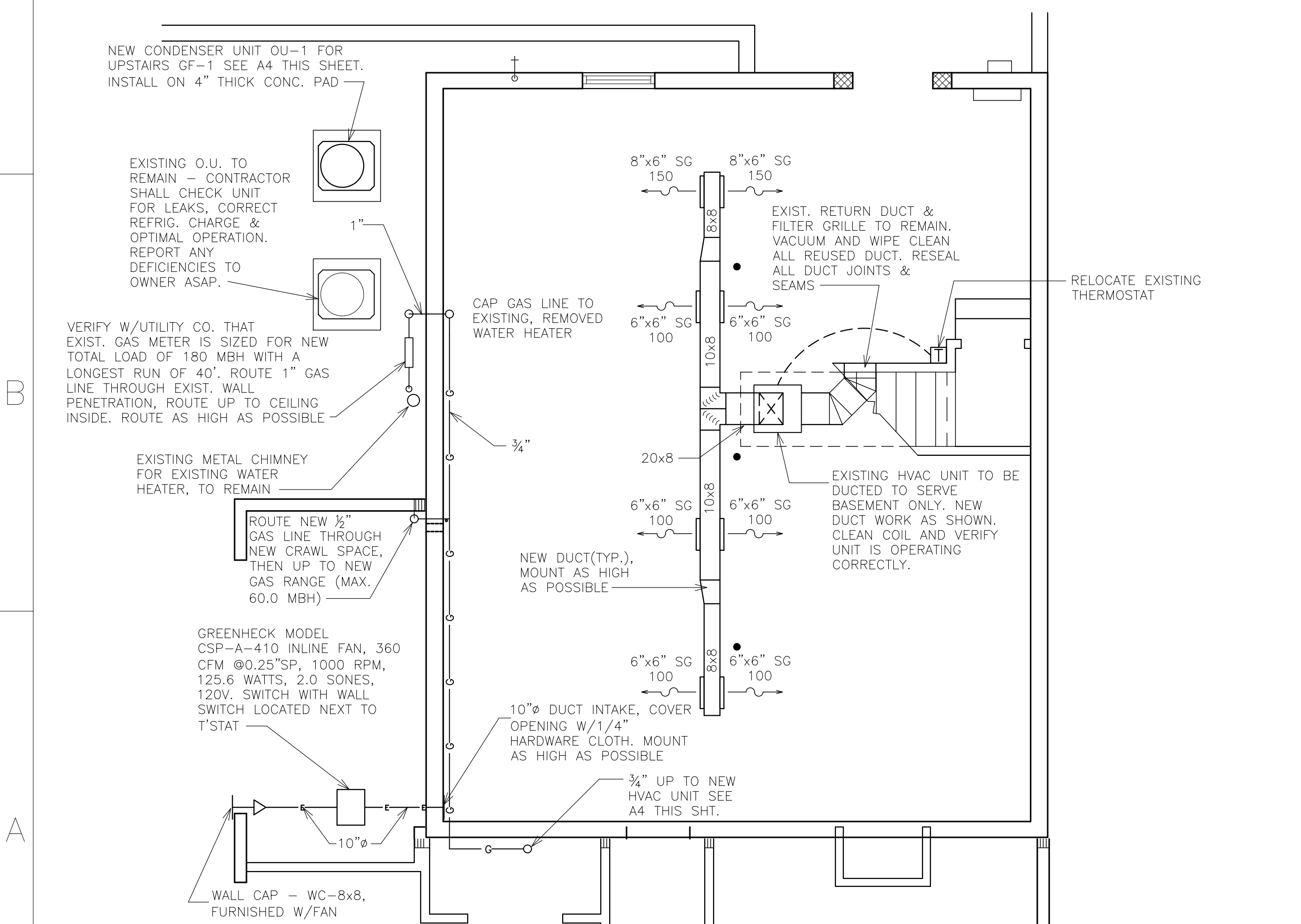
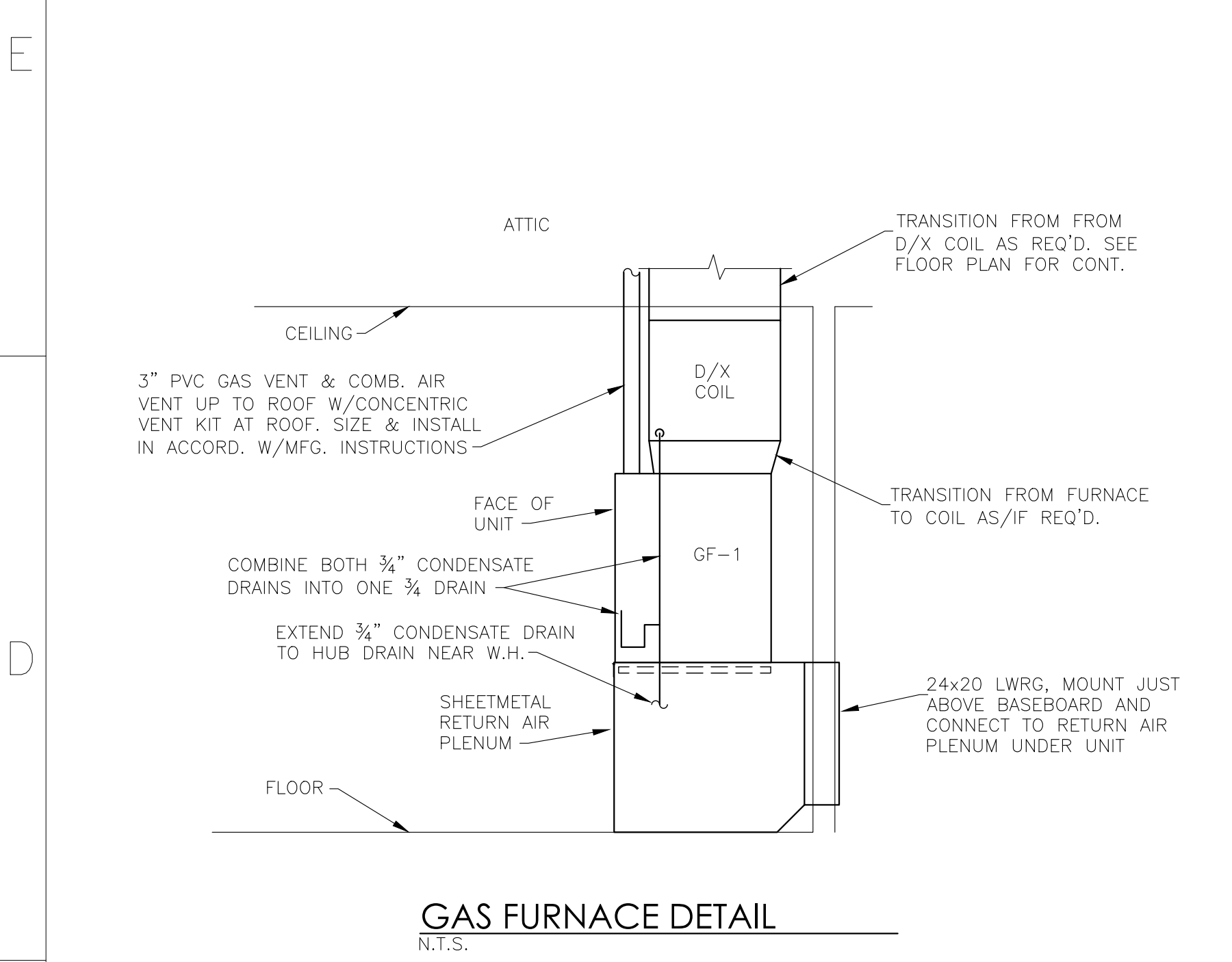
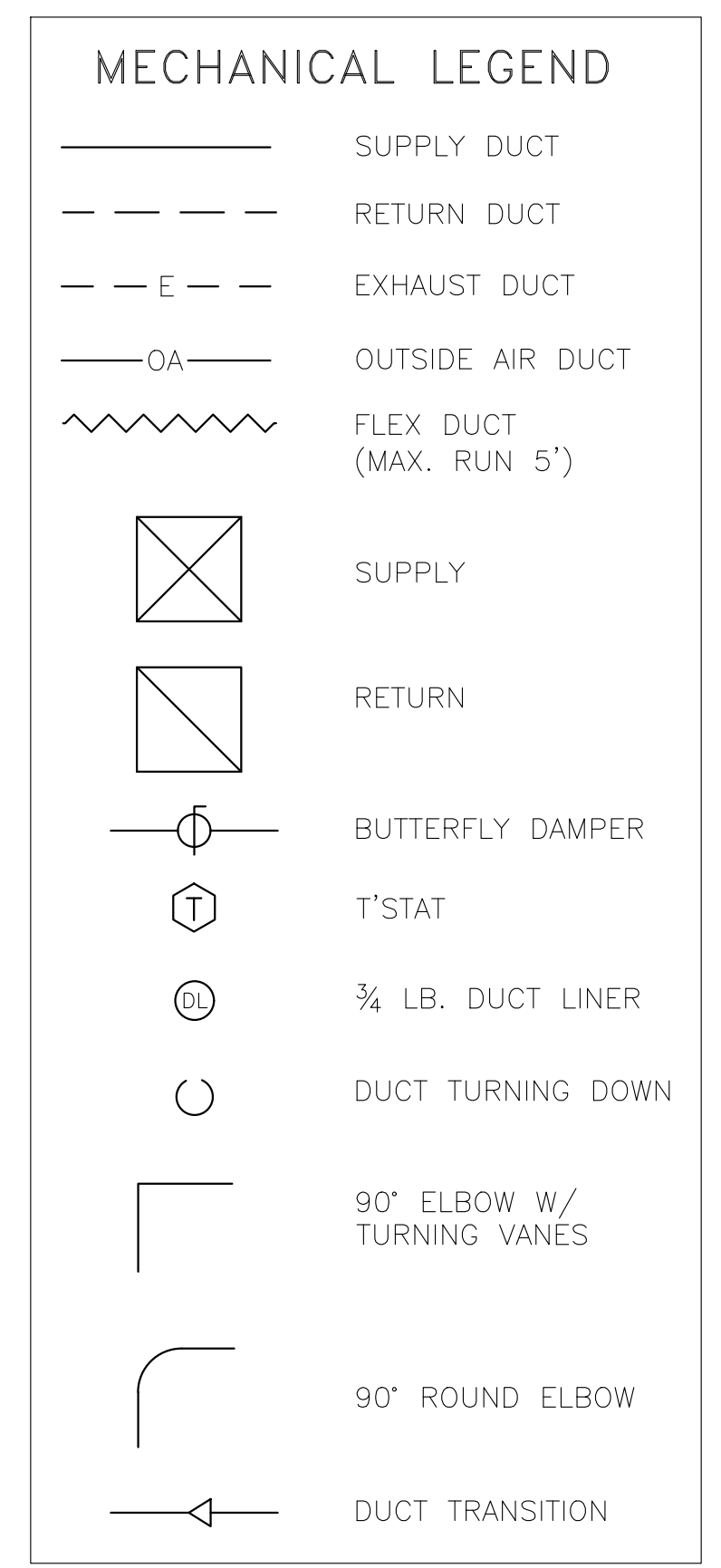
UNIT	MCA	MOCP	VOLTAGE	GOODMAN MODEL
OU1	17.0	25	240/1	GSX140301

MARK	CFM	FAN HP	COOLING CAPACITY		D/X COOLING COIL	MAX. AIR P.D.	SEER/EER	N.G. HEATING CAPACITY (MBH)		MCA	MOCP	VOLTAGE	GOODMAN MODEL #
			SENS.	TOTAL				INPUT	OUTPUT				
GF-1	1000	1/2	19.5	27.8	CAFF3642	0.14	14/12.0	80.0	76.8	14,1	15	240/1	GMES960804C

- NOTES:
- FURNISH UNIT WITH 7-DAY PROGRAMMABLE T'STAT. AND 3" DEEP DRAIN PAN UNDER ENTIRE UNIT WITH WATER SENSOR WIRED TO STOP UNIT UPON DETECTION OF WATER.
 - ROUTE 3/4" CONDENSATE DOWN IN OUTSIDE WALL AND SPILL ON SPLASH BLOCK ON GRADE.
 - 90% FURNACE USES PVC CONCENTRIC VENT KIT EXTENDED TO ROOF W/ FLASHING.

MARK	SERVICE	DESCRIPTION	MOUNTING	MANUFACTURER	MODEL #
LWRG	RETURN	SIDEWALL GRILLE W/1" FILTER RACK	SIDEWALL	HART & COOLEY	659
CG	CEILING SUPPLY	CEILING GRILLE W/DAMPER	CEILING	HART & COOLEY	621

- MECHANICAL NOTES:**
- ALL TAKE-OFFS SHALL EITHER HAVE INTEGRAL BALANCING DAMPER OR DUCT MOUNTED DAMPER JUST DOWNSTREAM OF TAKE-OFF.
 - SEAL ALL DUCT JOINTS AND SEAMS WITH EITHER TAPE OR MASTIC IN ACCORDANCE WITH ASHRAE 90.1.
 - INSULATE ALL SUPPLY DUCTS WITH MINIMUM 2.2" THICK, 3/4 POUND FIBERGLASS DUCT INSULATION WITH FRK/FSK VAPOR BARRIER JACKET. ALL JOINTS SHALL BE JOINED WITH OUTWARD CLINCHING STAPLES. ALL JOINTS AND SEAMS SHALL BE TAPED WITH FOIL TAPE.
 - INSULATE ALL SUPPLY, RETURN AND OUTSIDE AIR DUCTS LOCATED IN ATTIC WITH MINIMUM 3" THICK, 3/4 POUND FIBERGLASS DUCT INSULATION WITH FRK/FSK VAPOR BARRIER JACKET. INSTALL IN SAME MANNER AS ABOVE.
 - FLEX DUCT MAY EXTEND 5'-0" MAX.



A1 BSMT PLAN - MECHANICAL & GAS
1/4" = 1'-0"

A4 MAIN FL. PLAN - MECHANICAL
1/4" = 1'-0"

E

D

C

B

A

1

2

3

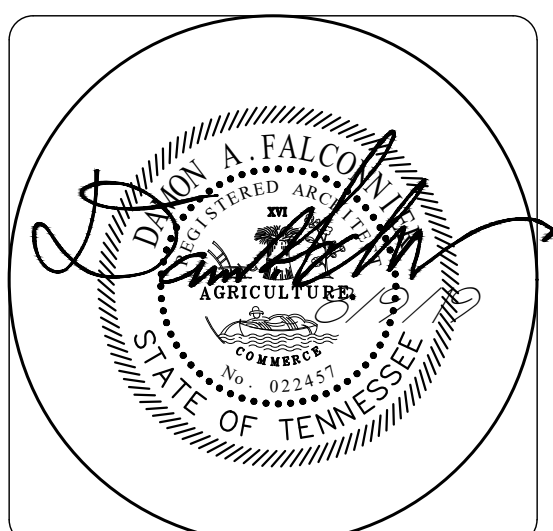
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5

6



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**ADDITION TO
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**FLOOR PLAN
WASTE**

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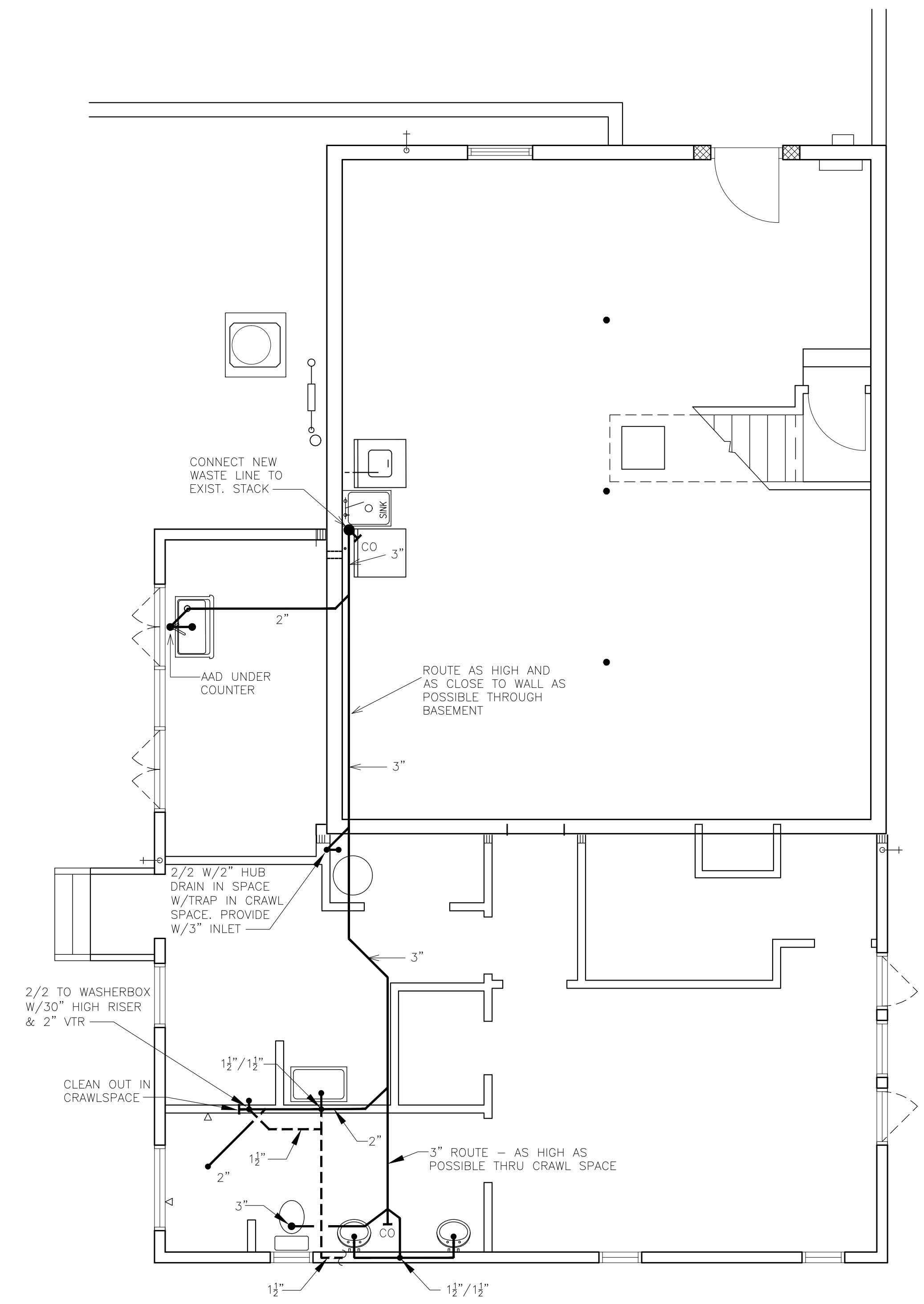
P-100

PLUMBING LEGEND

- WASTE PIPING
- BELOW GRADE WASTE
- VENT PIPING
- HOT WATER PIPING
- COLD WATER PIPING
- PIPE TURNING UP
- PIPE TURNING DOWN
- BALL VALVE
- CLEAN OUT
- AAD AIR ADMITTANCE DEVICE

GENERAL NOTES:

- INSULATE ALL HOT AND COLD WATER PIPING WITH MINIMUM 3/4" FLEXIBLE ELASTOMERIC INSULATION.
- PLUMBING DRAWINGS AND NOTES ASSUME THAT PLUMBING CONTRACTOR WILL PROVIDE AND INSTALL ALL PIPING, FITTINGS, FIXTURES, ETC. AND PERFORM ALL TESTS FOR A COMPLETE, WORKING PLUMBING SYSTEM READY FOR END-USE.
- PLUMBING SYSTEM SHALL COMPLY WITH INTERNATIONAL RESIDENTIAL CODE AND ALL APPLICABLE CODES AND STANDARDS.



A3 MAIN FLOOR WASTE
1/4" = 1'-0"

E

D

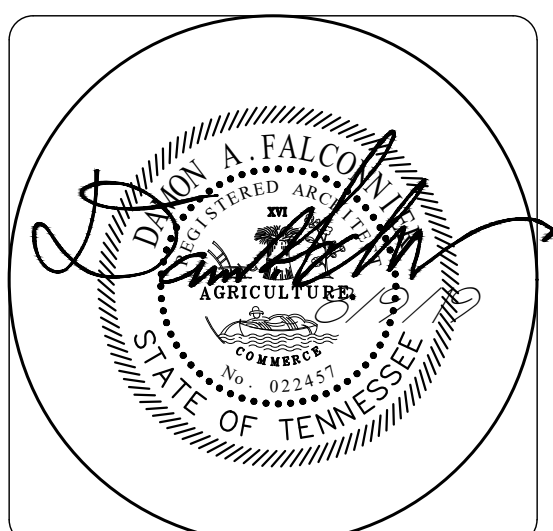
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A

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PLUMBING LEGEND

	WASTE PIPING
	BELOW GRADE WASTE
	VENT PIPING
	HOT WATER PIPING
	COLD WATER PIPING
	PIPE TURNING UP
	PIPE TURNING DOWN
	BALL VALVE
	CLEAN OUT
	AAD
	AIR ADMITTANCE DEVICE

GENERAL NOTES:

- INSULATE ALL HOT AND COLD WATER PIPING WITH MINIMUM 3/4" FLEXIBLE ELASTOMERIC INSULATION.
- PLUMBING DRAWINGS AND NOTES ASSUME THAT PLUMBING CONTRACTOR WILL PROVIDE AND INSTALL ALL PIPING, FITTINGS, FIXTURES, ETC. AND PERFORM ALL TESTS FOR A COMPLETE, WORKING PLUMBING SYSTEM READY FOR END-USE.
- PLUMBING SYSTEM SHALL COMPLY WITH INTERNATIONAL RESIDENTIAL CODE AND ALL APPLICABLE CODES AND STANDARDS.

PLUMBING NOTES

- PROVIDE AND INSTALL A COMPLETE AND OPERABLE PLUMBING SYSTEM AS INDICATED ON THE DRAWINGS, AS SPECIFIED, AND AS REQUIRED BY THE INTERNATIONAL PLUMBING CODE AND ALL APPLICABLE BUILDING CODES AND RESTRICTIVE ORDINANCES.
- CONTRACT DOCUMENT DRAWINGS FOR PLUMBING ARE DIAGRAMMATIC AND ARE INTENDED TO CONVEY SCOPE AND GENERAL ARRANGEMENT ONLY. LOCATION OF EXISTING PIPING SHOWN IS BASED ON PICTURES TAKEN BY ARCHITECT IN 2019. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL EXISTING CONDITIONS.
- INSTALL ALL EQUIPMENT AND APPURTENANCES IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS, CONTRACT DOCUMENTS, AND APPLICABLE CODES AND REGULATIONS.
- COORDINATE CONSTRUCTION OF ALL PLUMBING WORK WITH ARCHITECTURAL, STRUCTURAL, CIVIL, MECHANICAL, AND ELECTRICAL WORK SHOWN ON OTHER CONTRACT DOCUMENT DRAWINGS. MODIFICATIONS AND OFFSETS NECESSARY TO AVOID INTERFERENCES WITH OTHER TRADES SHALL BE DONE AT NO COST TO THE OWNER.
- PROVIDE ALL LABOR, MATERIALS, AND EQUIPMENT NECESSARY TO INSTALL PLUMBING AS SHOWN ON THESE DRAWINGS UNLESS NOTED OTHERWISE. VERIFY WITH OWNER FOR FIXTURES TO BE INSTALLED. OBTAIN AND PAY FOR ALL PERMITS AND INSPECTIONS REQUIRED. RETAIN CERTIFICATES OF INSPECTION AND NOTIFY WHEN WORK IS COMPLETED AND APPROVED.
- THE ENTIRE PLUMBING INSTALLATION SHALL BE GUARANTEED AGAINST ALL DEFECTIVE MATERIALS AND WORKMANSHIP FOR A PERIOD OF ONE YEAR AFTER ACCEPTANCE. THE PLUMBING CONTRACTOR SHALL MAKE ALL NECESSARY CORRECTIONS WITHOUT COST TO THE OWNER.
- COORDINATE WITH THE OWNER FOR ROUGH-IN LOCATIONS AND CONNECTION SIZES FOR EQUIPMENT SUPPLIED BY OTHERS.
- COORDINATE PLUMBING FIXTURE SELECTION WITH OWNER AND OTHER TRADES.
- ASSURE THAT VENT TERMINATIONS ARE MINIMUM 10 FEET AWAY FROM ANY HVAC FRESH AIR INTAKES.
- AFTER THE SYSTEM HAS BEEN LEAK TESTED AND BEFORE THE SYSTEM IS PLACED IN USE, INTRODUCE A CHLORINATING AGENT SOLUTION THROUGHOUT THE ENTIRE SYSTEM FOR 24 HOURS. FLUSH CLEAN WATER THROUGH ENTIRE SYSTEM. VERIFY CLEANING AND TESTING PROCEDURES WITH THE PUBLIC HEALTH AGENCY HAVING JURISDICTION. INTERIOR AND EXTERIOR SANITARY SEWER AND VENT PIPING SHALL BE SCHEDULE 40 PVC-DWV ASSEMBLED WITH SOLVENT WELD JOINTS. FOAM CORE WASTE PIPING SHALL NOT BE ALLOWED.
- ALL DOMESTIC HOT AND COLD WATER SHALL BE ROUTED THROUGH CRAWL SPACE. EXISTING PIPING OF SAME OR LARGER SIZE AND IN GOOD CONDITION MAY BE REUSED. INSULATE ALL PIPING.

ADDITION TO WILSON HOUSE

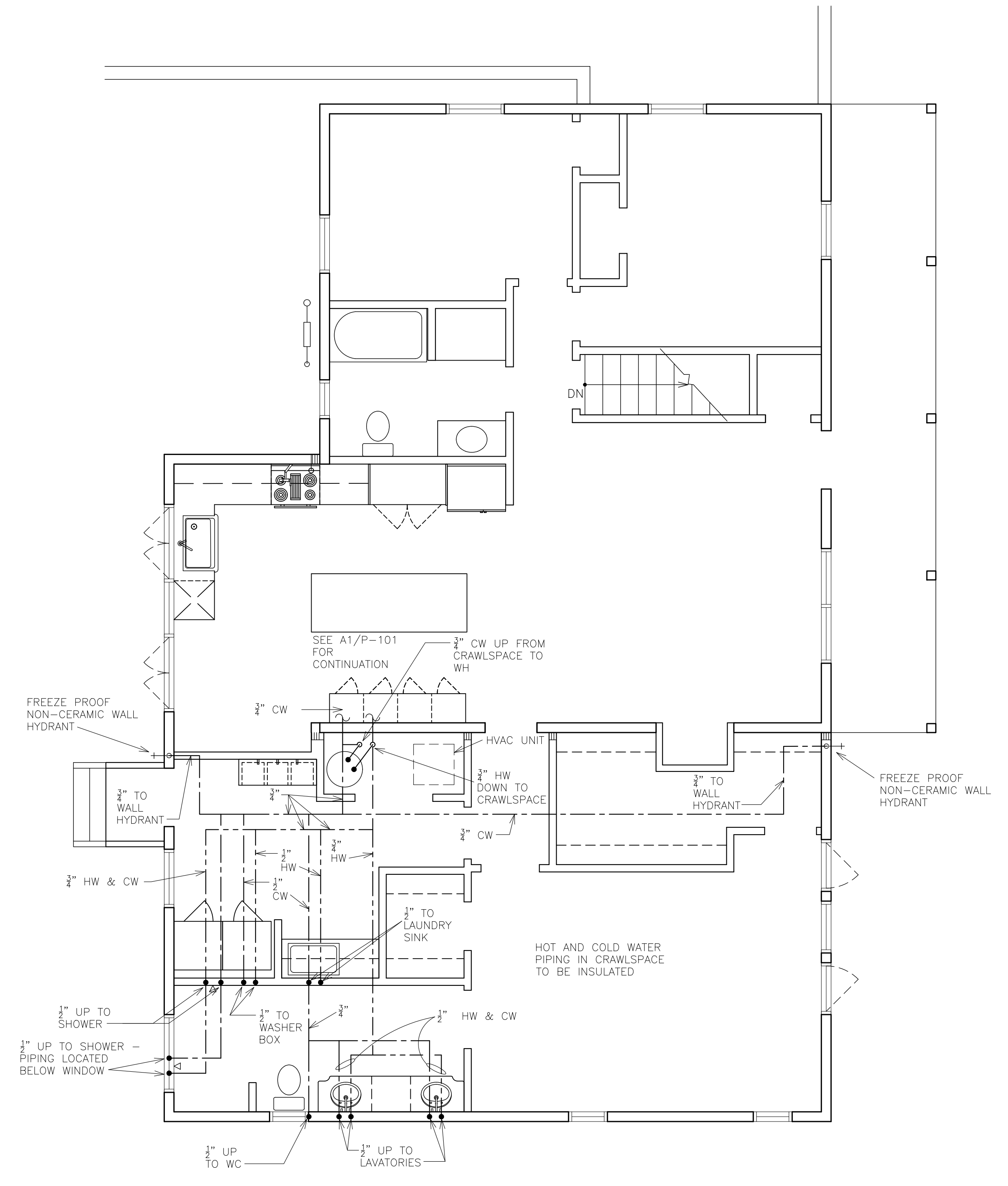
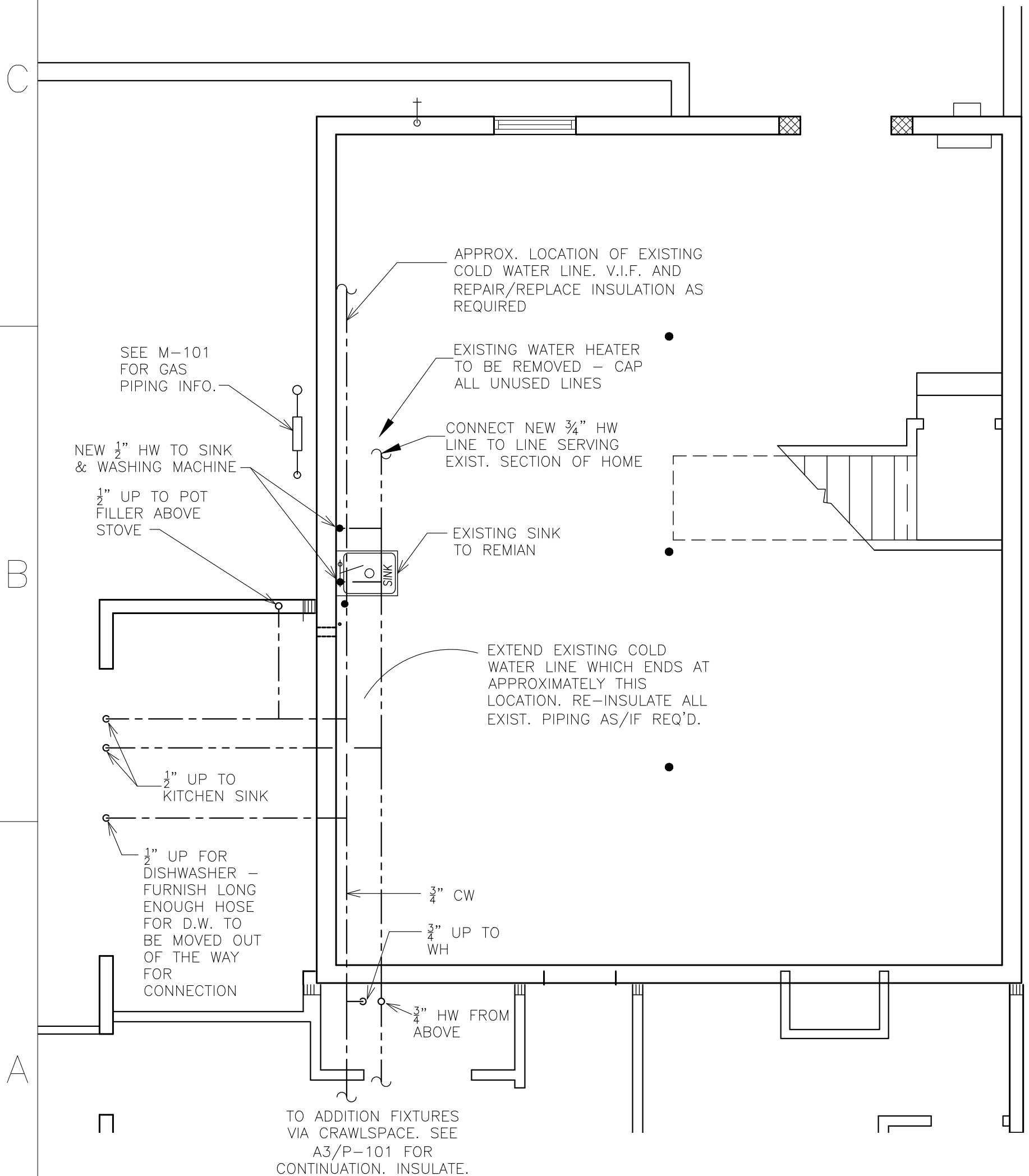
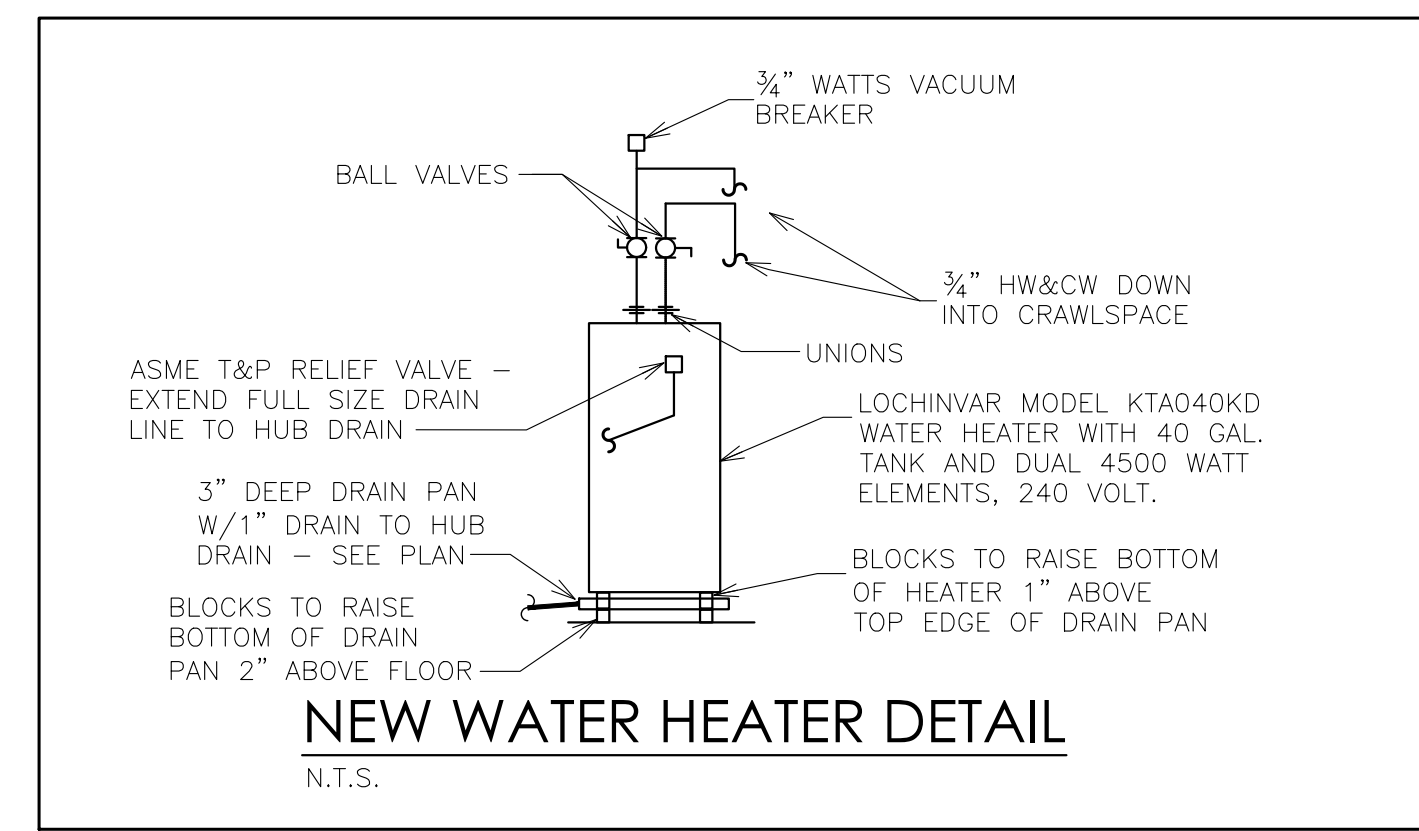
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FLOOR PLANS WATER

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REVISION(S):	
FILE:	2019-043

P-101



A1 BASEMENT WATER
1/4" = 1'-0"

A3 MAIN FLOOR WATER
1/4" = 1'-0"

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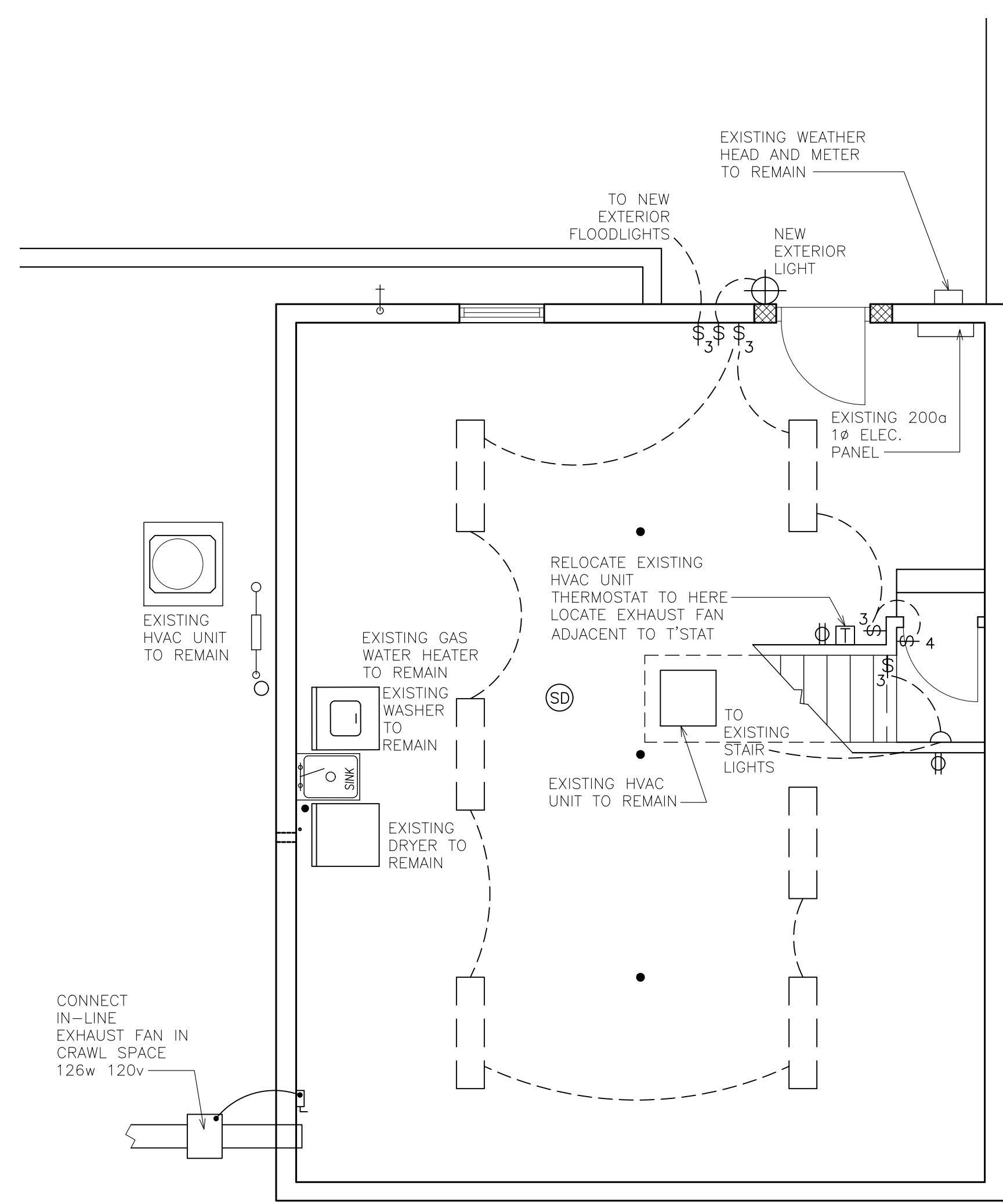
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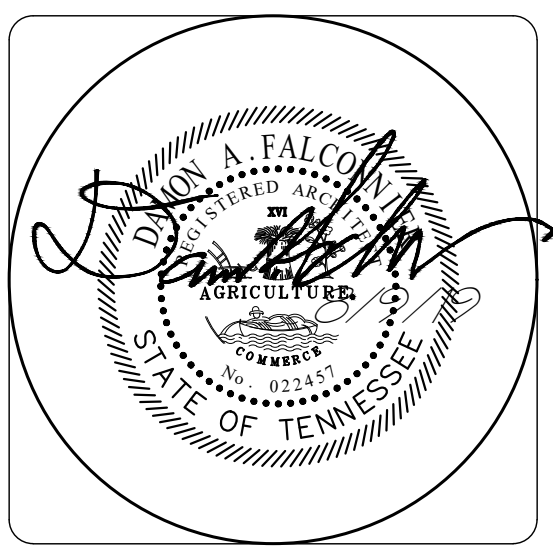
A1 BSMT. FLOOR ELECTRICAL
1/4" = 1'-0"

SEE A-110 FOR ELECTRICAL LEGEND AND LIGHTING NOTES.

1 2 3 4 5 6

FALCONNIER
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ADDITION TO WILSON HOUSE

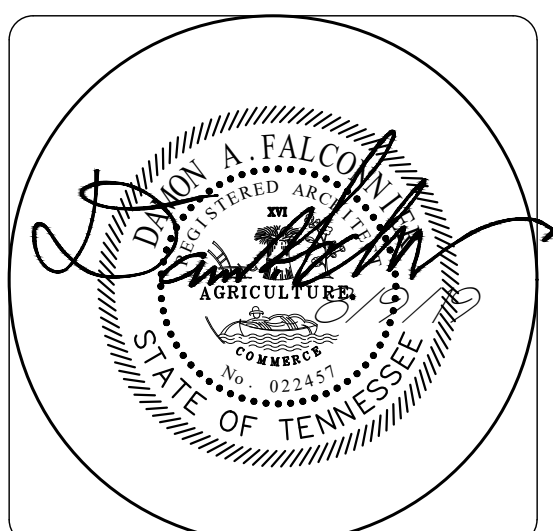
MELISSA WILSON, DVM
833 MILLER RD
CLINTON, TN 37716

BASEMENT ELECTRICAL LAYOUT PLAN

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E-100



**ADDITION TO
WILSON HOUSE**

MELISSA WILSON, DVM
833 MILLER RD
CLINTON, TN 37716

**MAIN FLOOR
ELECTRICAL
LAYOUT PLANS**

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E-110

GENERAL LIGHTING NOTES:

1. ALL LIGHTING FIXTURES AND FANS SHALL BE SELECTED BY OWNER.
2. ALL SWITCHING AND CONTROL OPTIONS WILL BE REVIEWED AND APPROVED BY OWNER.
3. LIGHTING LOCATIONS WILL BE PARTIALLY DETERMINED BY LOCATIONS OF EXISTING ROOF TRUSSES. VERIFY TRUSS LOCATIONS IN FIELD AND ADJUST LIGHTING ACCORDINGLY. DO NOT CUT TRUSS BOTTOM CHORDS TO INSTALL LIGHTING.
4. DIMMING:
 - 4.1. DIGITAL LIGHTING CONTROL SYSTEM RECOMMENDED. OWNER TO ADVISE.
 - 4.2. DIMMERS RECOMMENDED TO BE DIGITAL INTERFACE (SEE 2 ABOVE) AND MAY BE STAND-ALONE IF DESIRED.
 - 4.3. PROVIDE 3-POLE DIMMERS WHERE REQUIRED. DUE TO THE NUMBER OF 3-POLE DIMMERS, TRADITIONALLY WIRED DIMMERS ARE NOT RECOMMENDED. SEE NOTE 4.1 ABOVE.
5. ALL FANS SHALL HAVE 2 SWITCHES:
 - 5.1. PROVIDE REOSTAT FOR FAN SPEED CONTROL
 - 5.2. FANS MAY BE EQUIPPED WITH PROPRIETARY DIGITAL CONTROL INTERFACE. SEE NOTE 4 ABOVE.
6. OWNER TO SELECT LED LAMP COLOR. FOR LED, A 2700 TO 3000 KELVIN COLOR IS RECOMMENDED FOR RESIDENTIAL, WITH A MINIMUM CRI OF 80 OR ABOVE.
7. FLOOD LIGHT INDICATED TO HAVE A MOTION SENSOR. DO NOT SWITCH WITH OTHER FLOOD LIGHTS.

ELECTRICAL NOTES:

1. ELECTRICAL SERVICE IS EXISTING TO REMAIN.
2. ALL NEW ELECTRICAL WORK AND WIRING SHALL BE PERFORMED BY A COMPETENT, LICENSED ELECTRICIAN.
3. ELECTRICIAN AND OWNER SHALL VERIFY THAT NEW LIGHTING AND ELECTRICAL LOADS CAN BE ACCOMMODATED WITH EXISTING SERVICE. UPGRADE SERVICE IF NECESSARY.
4. OWNER TO REVIEW AND APPROVE THE LOCATIONS OF ALL OF THE FOLLOWING:
 - 4.1. RECEPTACLES.
 - 4.2. DEDICATED RECEPTACLES.
 - 4.3. SWITCHED RECEPTACLES.
 - 4.4. PHONE/DATA/TV OUTLETS.
5. SECURITY SYSTEM, KEYPADS, MOTION SENSORS AND CAMERA LOCATIONS TO BE DETERMINED BY OWNER. PROVIDE DEDICATED CIRCUIT FOR SECURITY SYSTEM.
6. SWITCHING NOTE: GROUPS OF SWITCHES MUST BE GANGED TIGHT ADJACENT TO DOOR TRIMS. DIGITAL SWITCH FUNCTIONS MAY BE COMBINED INTO A SINGLE BOX SWITCH WITH SEPARATE FUNCTION BUTTONS AND/OR SCENE SELECTION. THIS WILL DEPEND SOMEWHAT ON THE DIGITAL SYSTEM SELECTED.
7. PROVIDE GFCI DUPLEX OUTLET AT TOP OF DISAPPEARING STAIRS IN ATTIC.

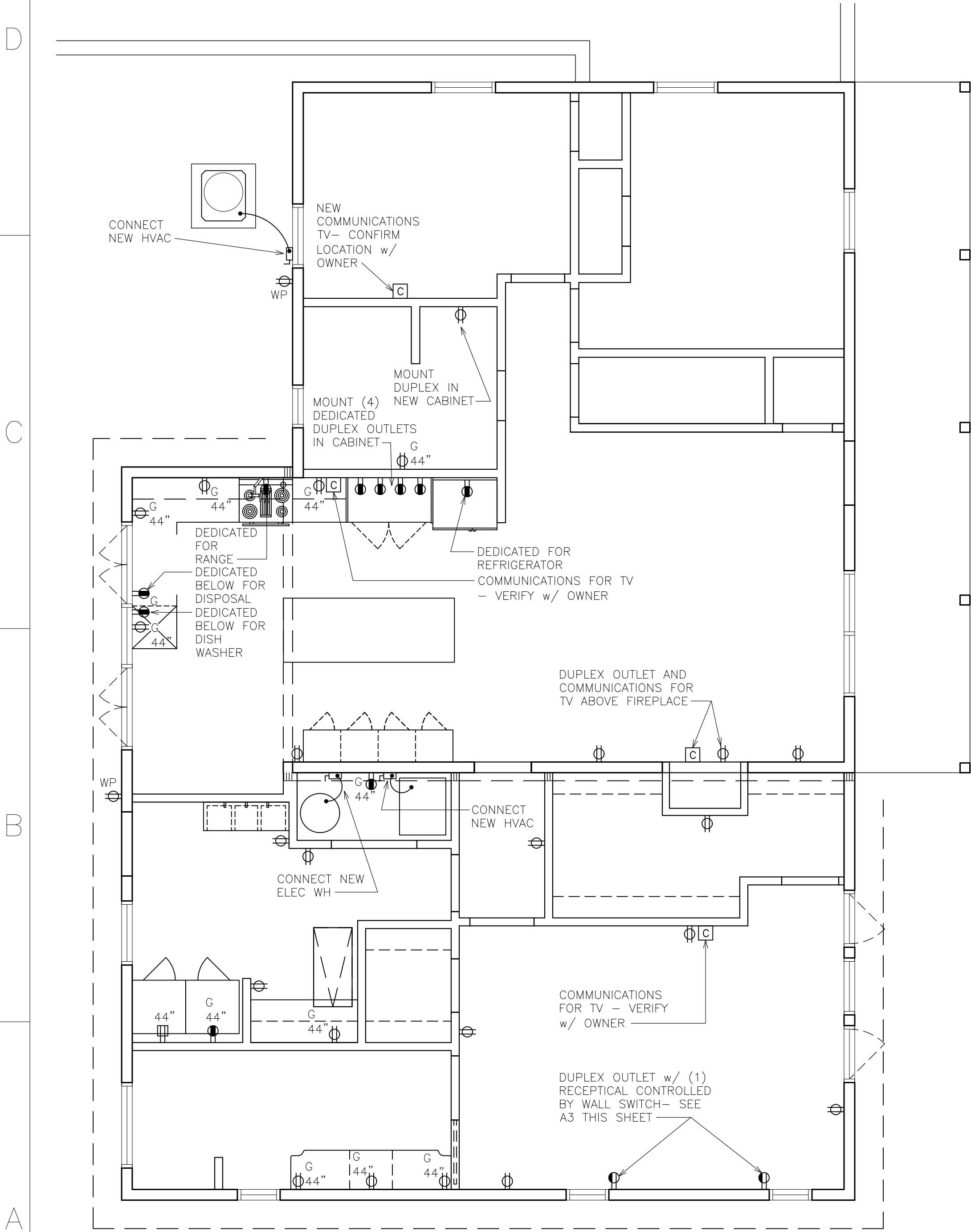
LIGHTING SCHEDULE

LIGHT FIXTURE SELECTION BY OWNER. OWNER TO VERIFY LOCATION OF ALL FIXTURES AND FUNCTIONS OF ALL SWITCHES AND CONTROLS.

	SURFACE MOUNTED 1'x4' LED LUMINAIRE w/ WRAP AROUND PRISMATIC LENSE. 3000k 80CRI (MIN).
	SURFACE MOUNTED 4' LED LUMINAIRE w/ WRAP AROUND PRISMATIC LENSE. 3000k 80CRI (MIN). MOUNT TO WALL ABOVE DOOR IN CLOSETS WHERE SHOWN ON PLAN.
	6" RECESSED LED CAN LIGHT w/ GYP.BD. TRIM RING
	DECORATIVE CHANDELLIER
	DECORATIVE LED PENDANT
	WALL SCONCE
	BATHROOM VANITY FIXTURES
	BATHROOM FAN AND LIGHT UNIT w/ SEPARATE FAN AND LIGHT SWITCHING
	UNDER-COUNTER LED LIGHT
	RECESSED LED CAN LIGHT FOR WET LOCATION
	NEW LED FLOOD LIGHTS
	CEILING FAN w/ VARIABLE SPEED CONTROL AS SELECTED BY OWNER.
	NEW WALL SCONCE IN STAIRS TO MATCH EXISTING. SEE BASEMENT FLOOR PLAN.
	6" RECESSED LED CAN LIGHT w/ GYP.BD. TRIM RING AND ADJUSTABLE DIRECTIONAL BAFFLE OR LENSE.

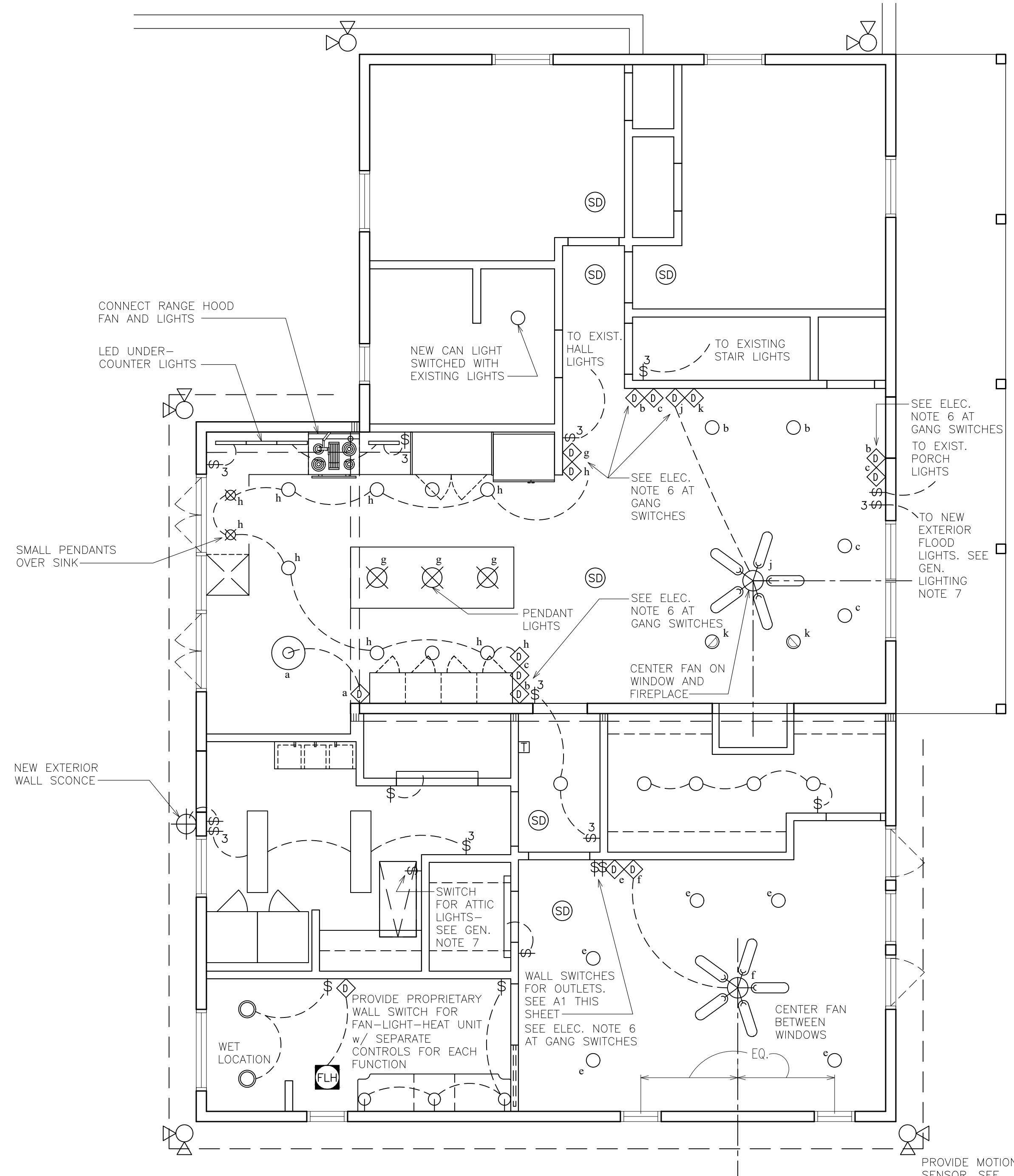
ELECTRICAL LEGEND

- DUPLEX RECEPTACLE MOUNTED AT 18" A.F.F. UNLESS NOTED OTHERWISE:
48 = MOUNT AT 48" A.F.F.
W = WEATHER PROOF ENCLOSURE
G = GFCI PROTECTED
- DUPLEX RECEPTACLE ON DEDICATED CIRCUIT, MOUNTED AT 18" A.F.F. UNLESS NOTED OTHERWISE:
48 = MOUNT AT 48" A.F.F.
W = WEATHER PROOF ENCLOSURE
G = GFCI PROTECTED
- RECESSED POP-UP DUPLEX OUTLET MOUNTED IN ISLAND.
- ELECTRICAL DISCONNECT SWITCH, HEAVY DUTY AS REQUIRED, NEMA 3R FOR WET OR EXTERIOR LOCATIONS.
- CEILING MOUNTED SMOKE/CO DETECTOR w/ BATTERY BACK UP. UNITS TO BE INTERCONNECTED (THIS MAY BE ACCOMPLISHED WITH WIRELESS UNITS) AND HARDWIRED.
- DATA OUTLET FOR CO-AX, TELEPHONE, INTERNET, VOICE-OVER-IP, CAT5, CAT6 OR OTHER AS DIRECTED BY OWNER.
- HVAC THERMOSTAT CONTROL, SEE MECHANICAL.
- DIGITAL LIGHTING CONTROL INTERFACE AS SELECTED BY OWNER w/ 0-10 DIMMING CAPABILITY FOR LED SOURCES. LOWER-CASE LETTER INDICATES SWITCHING CIRCUIT.
NOTE: SOME ROOMS WILL HAVE MORE THAN ONE BANK OF DIGITAL CONTROL LOCATIONS. PROVIDE WIRING ADEQUATE TO ACCOMMODATE THIS ARRANGEMENT. IF MORE THAN ONE SOURCE OF LIGHT IS CONTROLLED, A SEPARATE DIMMER IS SHOWN, BUT THIS MAY NOT BE NECESSARY DEPENDING ON THE LIGHTING SYSTEM SELECTED. SEE GENERAL LIGHTING NOTES 4 & 5 AND ELECTRICAL NOTE 6.
- WALL TOGGLE SWITCH



A1 MAIN FLOOR ELECTRICAL
1/4" = 1'-0"

SEE A-111 FOR DIMENSIONS AND CEILING FINISHES



A3 MAIN FLOOR LIGHTING
1/4" = 1'-0"

SEE A-111 FOR DIMENSIONS AND CEILING FINISHES

E

D

C

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