

Beach House Home Inspections, Inc.

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Inspected By: Hank Stokes



Home Inspection Report

Prepared For:

Sample Report

Property Address:

1234 Any Road

Panama City Beach, FL

Inspected on Mon, May 14 2018 at 3:48 PM

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Thank you for the opportunity to conduct a home inspection of the property listed above. We understand that the function of this report is to assist you in understanding the condition of the property to assist in making an informed purchase decision.

The report contains a review of components that are present, visible, and accessible at the time of the inspection in the following basic categories: site, exterior, roofing, structure, electrical, HVAC, plumbing, and interior.

While there may be other parts, components, or systems present, only those items specifically noted as being inspected were inspected. The inspector is not required to turn on decommissioned equipment, systems, utility services or apply an open flame or light a pilot to operate any appliance. The inspector is not required to climb over obstacles, move furnishings or stored items to access an area.

Additional categories may or may not be included. The report is designed to be easy to read and comprehend however it is important to read the entire report to obtain a full understanding of the scope, limitations and exclusions of the inspection.

In addition to the checklist items of the report there are several comments which are meant to help you further understand certain conditions observed. These are easy to find by looking for their icons along the left side margin.

Comments with the blue icon are primarily informational and may reflect issues that are the result of normal wear and tear in a home. These comments may assist you in scheduling routine maintenance on this home in the future.

Comments with the orange icon often include recommendations for further evaluation from a licensed plumber, electrician or contractor along with suggested repairs. These comments can also be found in the summary at the end of this report.

Please read them all and call me with any questions you may have.

DEFINITION OF CONDITION TERMS

Satisfactory: At the time of inspection the component is functional without observed signs of a substantial defect.

Marginal: At the time of inspection the component is functioning but is estimated to be nearing end of useful life. Operational maintenance recommended. Replacement

anticipated.

Repair or Replace: At the time of inspection the component does not function as intended or presents a Safety Hazard. Repair or replacement is recommended.

Further Evaluation: The component requires further technical or invasive evaluation by qualified professional tradesman or service technician to determine the nature of any potential defect, the corrective action and any associated cost.

Electrical, plumbing, and structural repairs should be completed by a licensed professional. A cosmetic or decorative defect due to normal wear and tear is an a regularity or imperfection that could be corrected but is not required. Most often these items can be repaired by a handyman or contractor at a later time.

Report Summary

This summary page is not the entire report. The complete report may include additional information of interest or concern to you. It is strongly recommended that you promptly read the complete report. For information regarding the negotiability of any item in this report under the real estate purchase contract, contact your real estate agent or an attorney.

Exterior

1) Settlement crack was noted on bedroom window on east face of house .
Should be caulked to prevent moisture intrusion.
This could be performed by homeowner or handyman.

2) Caulk needs to be replaced to prevent moisture intrusion.
This can be done by the
homeowners or handyman.

Plumbing: Water Heater

3) Water heater has an active leak.
The water heater is located in attic and it does not drain to the exterior. Should there be a problem with the water heater in the future there is a possibility of water damage to the rooms below. This should to be corrected by licensed plumber.

Should you have any questions or need clarification on any comments or photos,
please do not hesitate to call me at 850-890-1467.

General

Property Type:	Single Family
Stories:	Two
Year House Built:	1989
Bedrooms/Baths:	5/2
Door Faces:	North
Furnished:	Yes
Occupied:	Yes
Weather:	Sunny
Soil Condition:	Dry
Utilities On During Inspection:	Electric Service, Water Service
People Present:	Not Present



Comment 1:

Addition Permit in 2014. It appears that there were renovations completed at the same time.


Roofing

The visible condition of the roof covering, flashings, skylights, chimneys and roof penetrations are inspected. The purpose of the inspection is to determine general condition at the time of the inspection, NOT to determine life expectancy.

Inspection Method:	From Ground with Binoculars, Walked Roof/Arms Length
Roof Design:	Gable
Roof Covering:	Metal
	Condition: Satisfactory
Approximate Roof Age:	2014
Ventilation Present:	Gable Ends, Ridge Vents
	Condition: Satisfactory
Vent Stacks:	Plastic
	Condition: Satisfactory
Flashings:	Metal, Asphalt
	Condition: Satisfactory
Soffit and Fascia:	Wood, Cement board
	Condition: Satisfactory

(Roofing continued)

Gutters & Downspouts: Metal
Condition: Satisfactory

 Comment 2:
Gutters and downspouts should be cleaned as a routine maintenance.

Permit Information: Re-Roofing Permit in 2002


 Comment 3:
Roof photos.



Figure 3-1



Figure 3-2

(Roofing continued)



Figure 3-3



Figure 3-4

Site

The condition of the vegetation, grading, surface drainage and retaining walls that are likely to adversely affect the building is inspected visually as well as adjacent walkways, patios and driveways.

Site Grading: Mostly Level
Condition: Satisfactory



Comment 4:

Drainage must be directed away from all sides of the foundation with graded slopes.

Vegetation: Generally Maintained
Condition: Satisfactory



Comment 5:

As a matter of routine maintenance all vegetation should be trimmed away from the house.

Retaining Walls: Masonry
Condition: Satisfactory

(Site continued)

Driveway:

Pavers

Condition: Satisfactory

Walkways:

Concrete , Pavers

Condition: Satisfactory

Steps/Stoops:

Concrete

Condition: Satisfactory



Patios/Decks:

Pavers

Condition: Satisfactory

(Site continued)



Comment 6:
Driveway and walkway photos.



Figure 6-1



Figure 6-2

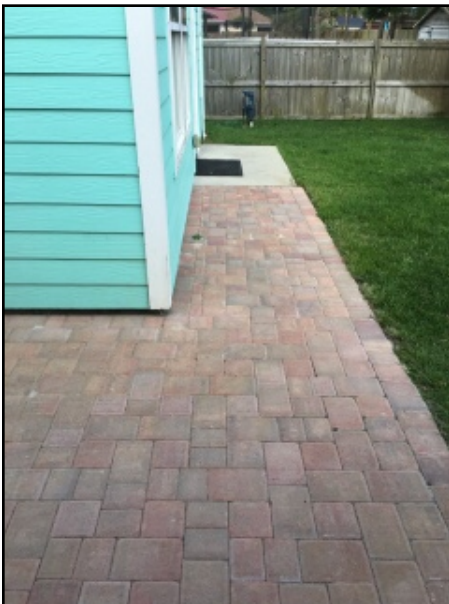


Figure 6-3

Exterior

The visible condition of exterior coverings, trim and entrances are inspected with respect to their effect on the condition of the building.

Exterior Covering:	Cement Shingles, Cement lap board Condition: Satisfactory
Exterior Trim Material:	Cement board Condition: Satisfactory
Entry Doors:	Wood, Vinyl, Steel Condition: Satisfactory
Windows:	Vinyl Condition: Satisfactory
Storm Protection:	Wood Panels Condition: Satisfactory
Recommendations :	House will need to be pressure washed as part of routine maintenance. Condition: Satisfactory


 **Comment 7:**
Settlement crack was noted on bedroom window on east face of house .
Should be caulked to prevent moisture intrusion.
This could be performed by homeowner or handyman.



Figure 7-1

(Exterior continued)



Comment 8:

Caulk needs to be replaced to prevent moisture intrusion. This can be done by the homeowners or handyman.



Figure 8-1

Structure

The visible condition of the structural components is inspected. The determination of adequacy of structural components is beyond the scope of a home inspection.

Foundation Types:	Slab on Grade
Foundation Material:	Poured Concrete
	Condition: Satisfactory
Wall Structure:	Wood Frame
	Condition: Satisfactory
Ceiling Structure:	Painted and textured sheet rock
Roof Sheathing:	OSB

(Structure continued)

i Comment 9:
The inspectors opinion is based on visual observations of accessible and unobstructed areas of the structure at the time of the inspection. Future performance of the structure cannot be predicted.

i Comment 10:
This is a cement joint where an addition was added. It is not a structural issue



Figure 10-1

Attic

Attic Entry:	Upstairs bathroom
Roof Framing Type:	Joist and Rafters
	Condition: Satisfactory
Roof Deck Material:	Oriented Strand Board
	Condition: Satisfactory
Vent Risers:	PVC
	Condition: Satisfactory
Insulation:	Spray Foam
	Condition: Satisfactory

(Attic continued)



Comment 11:
Attic photos.



Figure 11-1



Figure 11-2

HVAC

The main parts of the HVAC system are heating, ventilation and air conditioning unit.

HVAC System Type: Central Split System
Permit Information : None Found

(HVAC continued)



**Comment 12:
HVAC PHOTOS.**



Figure 12-1



Figure 12-2

All recommended repairs and service should be completed by a licensed HVAC technician.

Heating

The heating system is inspected visually and operated by normal controls to determine general condition NOT life expectancy. The capacity or adequacy of the heating system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if in question.

Location:	Hallway, Attic
Type of Equipment:	Heat Pump
Manufacturer:	Carrier
Heating Fuel:	Electric
Input BTUs:	36000
Output BTUs:	36000
	Condition: Satisfactory

(Heating continued)

Approximate Age:	2014
Output Temperature :	Cannot be tested when outside temperature is more than 65 degrees.
	Condition: Satisfactory
Filter Type:	Disposable
	Condition: Satisfactory
Type of Distribution:	Flexible Ducting
	Condition: Satisfactory

Furnaces over 10 years old should be checked, cleaned and serviced yearly by a licensed contractor.

Cooling

The cooling system is inspected by operation of the equipment by normal controls to determine general condition NOT life expectancy. The capacity or adequacy of cooling system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if in question.

Energy Source:	Electric
Type of Equipment:	Split System
	Condition: Satisfactory
Condenser Make:	Carrier
Condensor Size:	36,000 BTU (3 Tons)
Condenser Approximate Age:	2014
Expansion Coil Make:	Carrier
Expansion Coil Size:	36,000 BTU (3 Tons)
Expansion Coil Approximate Age:	2014
Condensate Drainage:	To Exterior
	Condition: Satisfactory
AC Supply Air Temp:	53°F

(Cooling continued)



Comment 13:
53°F.



Figure 13-1

AC Return Air Temp: 76°F

(Cooling continued)



Comment 14:
76°F.



Figure 14-1

AC Temperature Drop: 23°F

Air conditioners over 10 years old and heat pumps over 5 years old should be checked, cleaned and serviced yearly by a licensed contractor.

Electrical

The inspector can not inspect hidden wiring or verify if the number of outlets is per the National Electric Code. A representative number of outlets, switches and fixtures are tested for operation.

Type of Service:	Overhead
Service Panel Location:	Interior
Service Voltage:	120 volts
Service Amperage:	100 amps
Overcurrent Protection:	Breakers
	Condition: Satisfactory
Main Disconnect Location:	Meter Box
Subpanel Location:	Bedroom closet

(Electrical continued)

Service Panel Manufacturer:	Square D
	Condition: Satisfactory
Service Line Material:	Copper
	Condition: Satisfactory
Service Panel Ground:	Unknown Not Visable
Wiring:	Non-Metallic Shielded Copper
	Condition: Satisfactory
GFCI/AFCI Breakers:	Yes
	Condition: Satisfactory
GFCI Receptacles :	Kitchen , Master Bathroom , Bathroom #2
	Condition: Satisfactory
Permit Information :	None Found
Smoke Detectors:	9 volt Battery Type
	Condition: Satisfactory



Comment 15:
Electrical photos.



Figure 15-1



Figure 15-2

(Electrical continued)

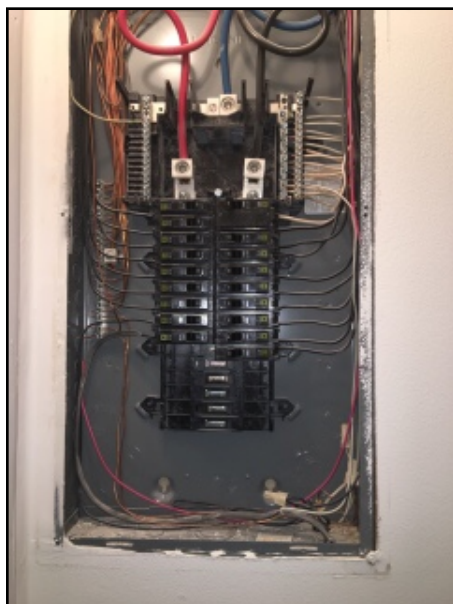


Figure 15-3

All recommended electrical repairs should be completed by a licensed electrician.

Plumbing

The plumbing system is inspected visually and by operating a representative number of fixtures and drains.

Private water and waste systems are beyond the scope of a home inspection.

Water Service:	Public
Supply Pipe Material:	Copper, CPVC
	Condition: Satisfactory
Location of Main Water Shutoff:	At Meter
Waste Pipe Material:	PVC
	Condition: Satisfactory
Permit Information :	None Found

(Plumbing continued)



Comment 16:
Plumbing Photos .



Figure 16-1



Figure 16-2

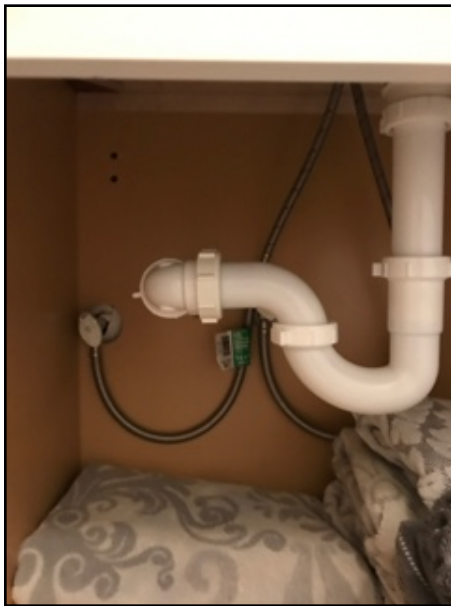


Figure 16-3

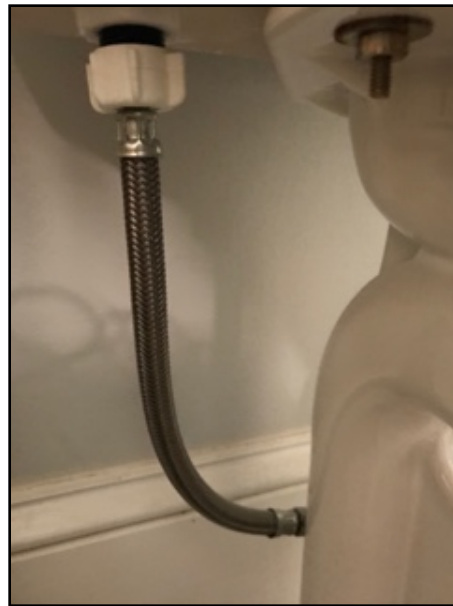


Figure 16-4

(Plumbing continued)



Figure 16-5

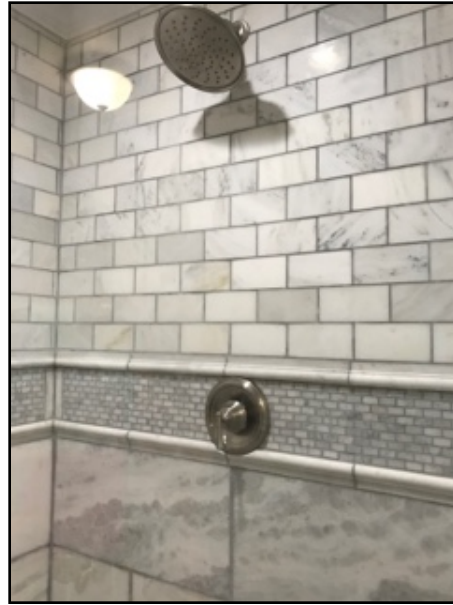


Figure 16-6



Figure 16-7



Figure 16-8

(Plumbing continued)



Figure 16-9

All recommended repairs should be completed by a licensed plumber.

Water Heater

Manufacturer:	Whirlpool
Fuel:	Electric
Capacity:	28 gal
Approximate Age:	2007
Temp & Pressure Relief Valve:	Present With Blow Off Leg Condition: Satisfactory
Fuel Disconnect:	Downstairs electric panel
Recommendations :	Further evaluation by a licensed plumber. Condition: Repair or Replace

(Water Heater continued)



Comment 17:
Photos.



Figure 17-1



Figure 17-2

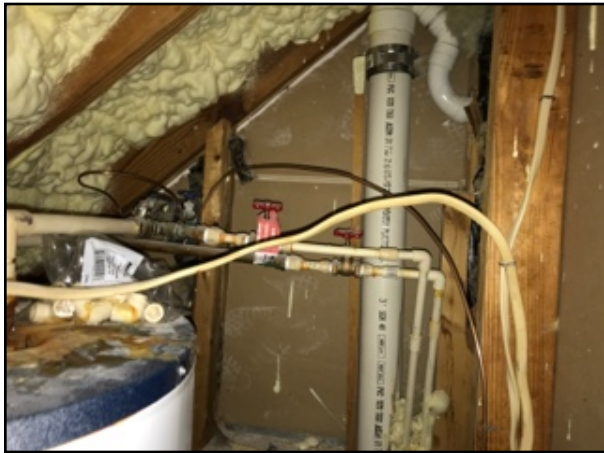


Figure 17-3



Figure 17-4

(Water Heater continued)



Comment 18:

Water heater has an active leak.

The water heater is located in attic and it does not drain to the exterior. Should there be a problem with the water heater in the future there is a possibility of water damage to the rooms below. This should to be corrected by licensed plumber.



Figure 18-1



Figure 18-2



Figure 18-3

We recommend that a Home Warranty be purchased that covers the repair

(Water Heater continued)

or replacement of many major home system components and appliances that typically breakdown over time due to normal wear and tear.

Interior

The interior inspection is limited to readily accessible areas that are not concealed by furnishings or stored items. A representative number of windows and doors are inspected.

Window Types: Double Hung
Condition: Satisfactory

Window Materials: Vinyl

Electrical, plumbing and structural repairs should be completed by a licensed professional.

A cosmetic or decorative defect due to normal wear and tear is an irregularity or imperfection that could be corrected but is not required. Most often these defects can be repaired by a handyman or contractor at a later time.

Living Room

Walls : Painted Drywall
Flooring : Tile

(Living Room continued)



Comment 19:
Photo .



Figure 19-1

Kitchen

Cabinets:	Wood Condition: Satisfactory
Countertops:	Stone Condition: Satisfactory
Sink:	Single Condition: Satisfactory
Walls:	Painted Drywall
Floor:	Tile

(Kitchen continued)



Comment 20:
Photo .



Figure 20-1

Appliances

This is a courtesy check only of the specified appliances. The accuracy or operation of timers, temperature or power level controls is beyond the scope of this inspection.

Range:

LG

Condition: Satisfactory



Comment 21:
Oven temperature is 369 degrees.

Refrigerator:

Samsung

Condition: Satisfactory



Comment 22:
Freezer temperature is -8 degrees.
Refrigerator temperature is 31 degrees.

Dishwasher:

Electrolux

Condition: Satisfactory

Microwave:

LG

Condition: Satisfactory

Disposal:

Not Present

(Appliances continued)



Comment 23:
Appliances .



Figure 23-1



Figure 23-2



Figure 23-3

Laundry

This a courtesy check of the appliances. The accuracy or operation of timers, temperature or power level controls is beyond the scope of this inspection.

Built In Cabinets:	Yes Condition: Satisfactory
Dryer Venting:	To Exterior Condition: Satisfactory
Laundry Hook Ups:	Yes Condition: Satisfactory
Washer:	Samsung Condition: Satisfactory
Dryer:	Samsung Condition: Satisfactory

Downstairs Bathroom

Shower:	Yes Condition: Satisfactory
Shower Walls:	Tile Condition: Satisfactory
Sink(s):	Single sink, Vanity
Toilet:	Koehler Condition: Satisfactory
Floor:	Tile Condition: Satisfactory
Ventilation:	Manufacturer undetermined. Condition: Satisfactory

(Downstairs Bathroom continued)



Comment 24:
Photos .

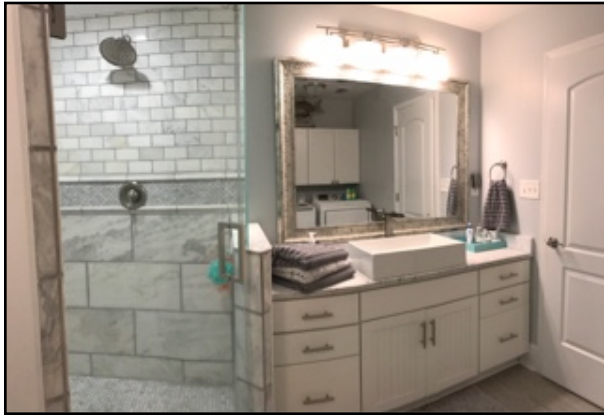


Figure 24-1

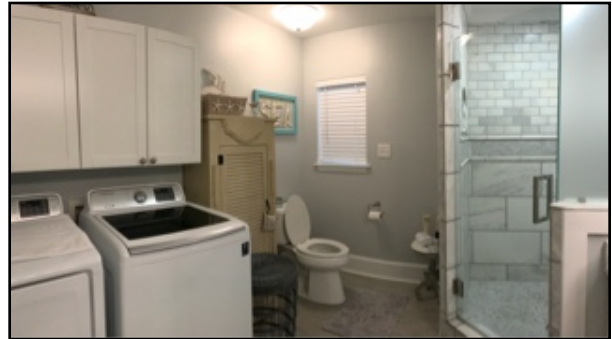


Figure 24-2

Upstairs Bathroom

Shower:	Yes Condition: Satisfactory
Sink(s):	Single sink , Vanity Condition: Satisfactory
Toilet:	American Standard Condition: Satisfactory
Walls:	Painted Drywall Condition: Satisfactory
Floor:	Vinyl Condition: Satisfactory
Ventilation:	Manufacturer undetermined. Condition: Satisfactory

(Upstairs Bathroom continued)



Comment 25:
Photos .

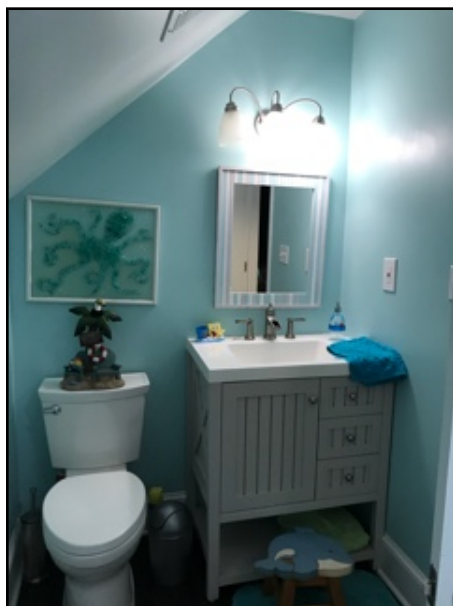


Figure 25-1

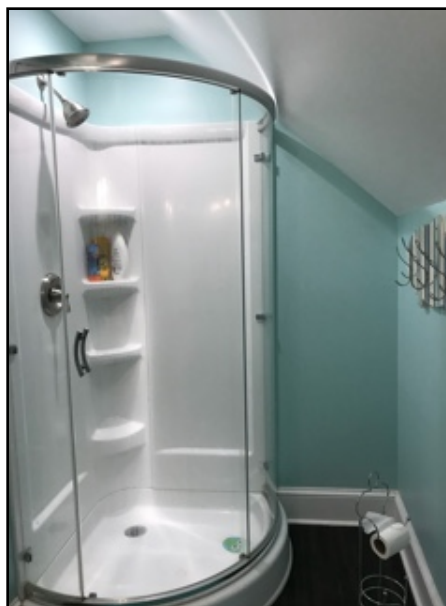


Figure 25-2

Master Bedroom



Comment 26:
Unable to access because door was locked.

Bedroom #2

Walls: Painted Drywall
Flooring : Vinyl

(Bedroom #2 continued)



Comment 27:
Photo .



Figure 27-1

Bedroom #3

Walls: Painted Drywall
Flooring : Vinyl



Comment 28:
Photo .



Figure 28-1

Bedroom #4

Walls: Painted Drywall
Flooring : Carpet



Comment 29:
Photo .



Figure 29-1

Bedroom #5

Walls: Painted Drywall
Flooring : Carpet

(Bedroom #5 continued)



Comment 30:
Photo .



Figure 30-1

Play space

Walls : Painted Drywall
Flooring : Tile, Carpet



Comment 31:
Photo .

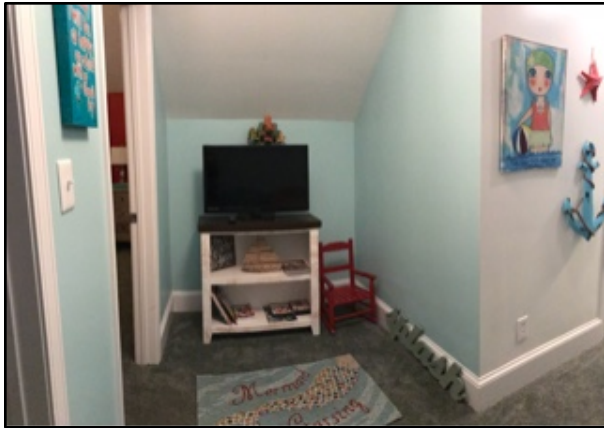


Figure 31-1

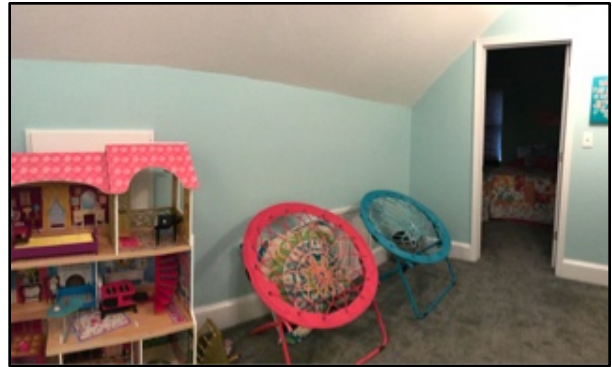


Figure 31-2

It is recommended that a Home Warranty Protection Plan be purchased that covers the repair or replacement of many major home system components and appliances that typically breakdown over time due to normal wear and tear.