

MATER BRICKELL PREPARATORY ACADEMY

FOLIO:

01-4139-101-0010
01-4139-101-0020

APPLICANT:

MATER ACADEMY INC.

DATE: MAY 7, 2018

ISSUED FOR: WARRANT APPROVAL
CIVICA PROJECT: 150132

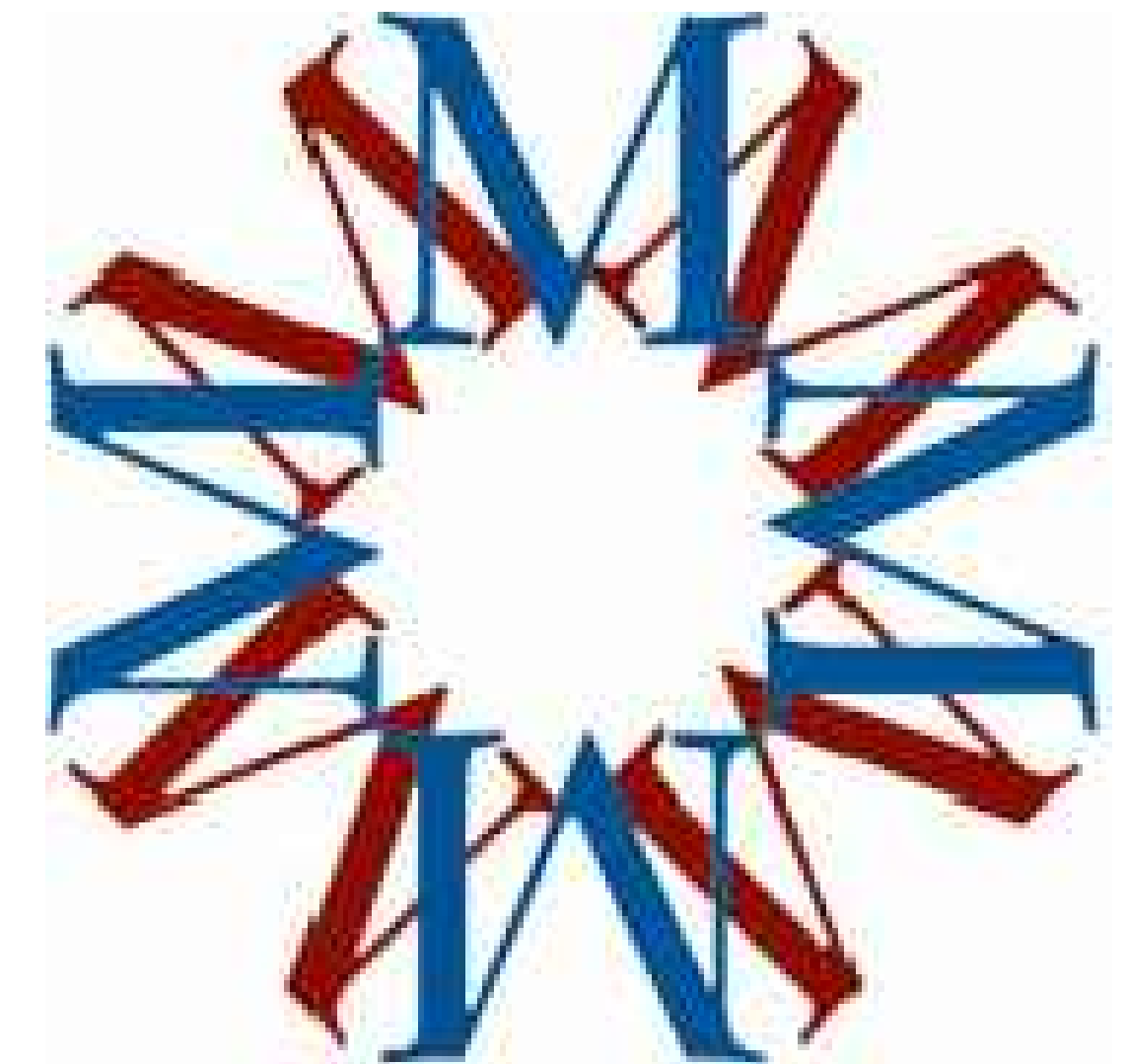
ARCHITECT:

CIVICA

L L C
ARCHITECTURE & URBAN DESIGN

8323 NW 12th St. Suite 106
Doral, FL 33126
tel: 305.593.9959

AA #26001093
WWW.CIVICAGROUP.COM
INFO@CIVICAGROUP.COM

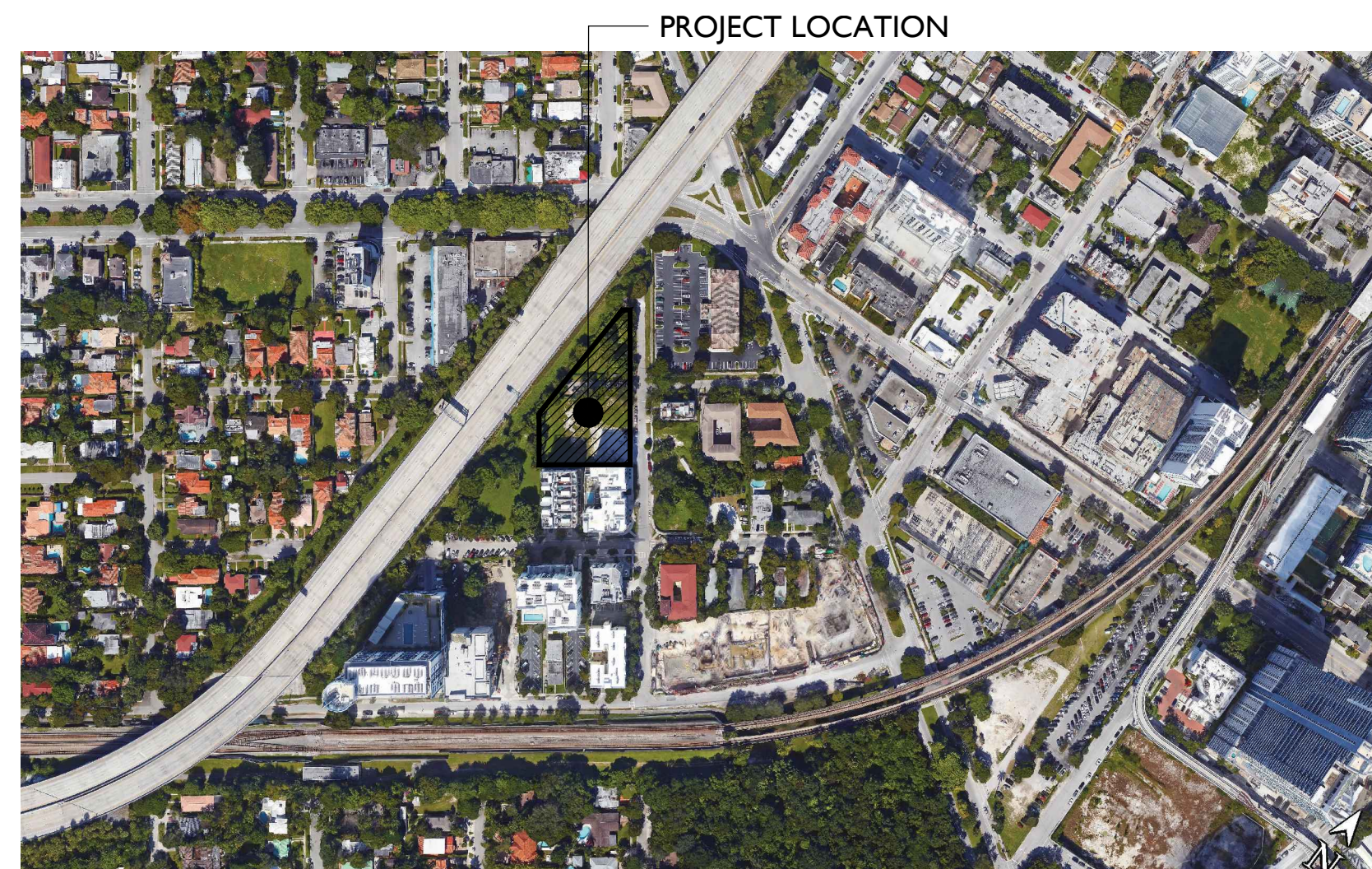


INDEX OF DRAWINGS

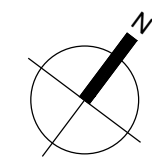
A0.0	COVER
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REVISIONS

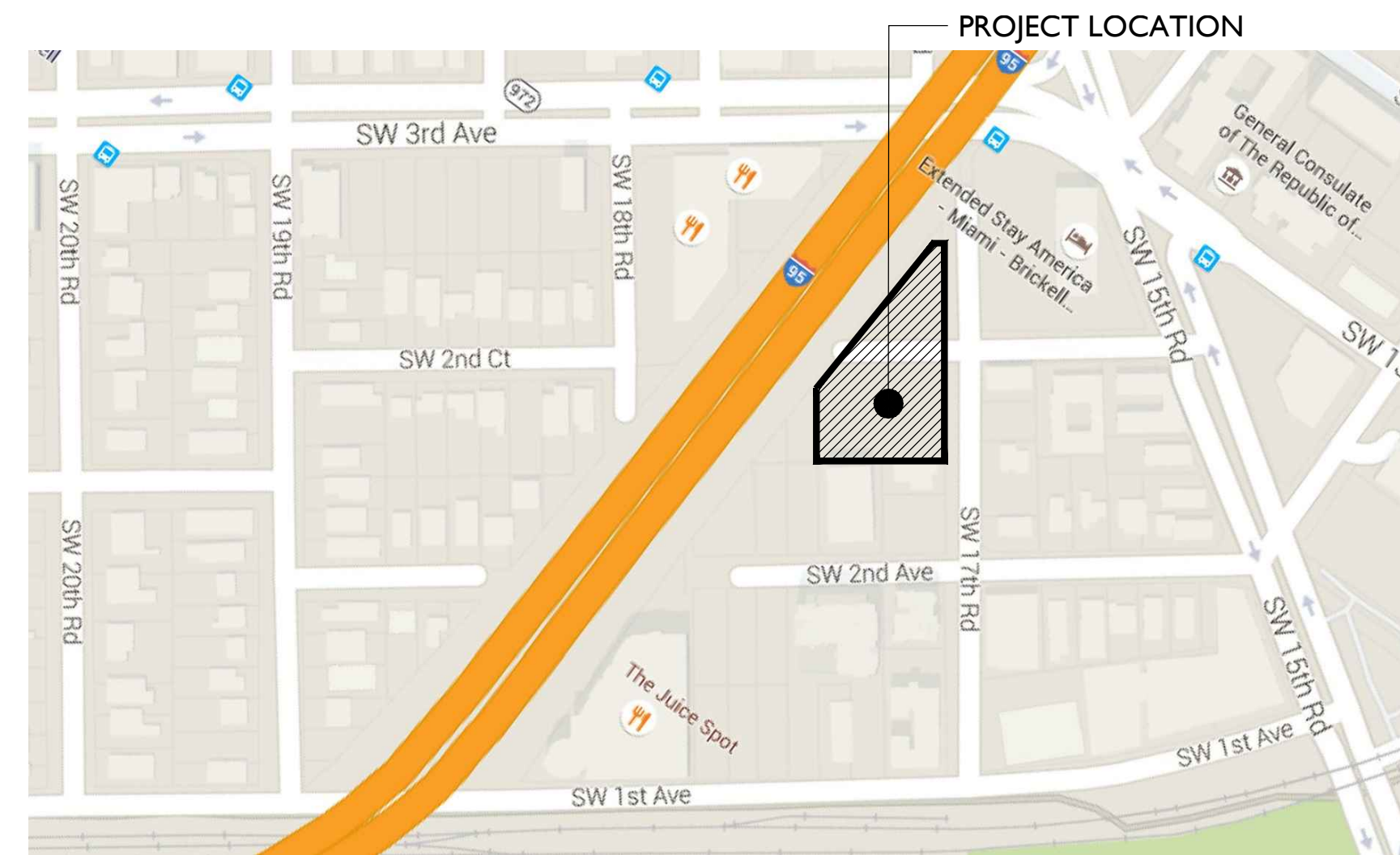
NO.	DATE	REVISION



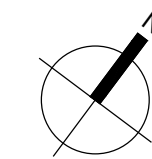
PROJECT LOCATION



AERIAL VIEW 4
SCALE: N.T.S. A1.0



PROJECT LOCATION

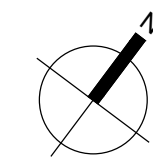


LOCATION MAP 3
SCALE: N.T.S. A1.0

- PROPOSED ATLAS
- T1 NATURAL
 - T3 SUB-URBAN
 - T4 GENERAL URBAN
 - T5 URBAN CENTER
 - T6-8* URBAN CORE
 - T6-12* URBAN CORE
 - T6-24* URBAN CORE
 - T6-36* URBAN CORE
 - T6-48* URBAN CORE
 - T6-60* URBAN CORE
 - T6-80* URBAN CORE
 - D1 WORK PLACE
 - D2 INDUSTRIAL
 - O3 MARINE
 - CS CIVIC SPACE/PARKS
 - CI CIVIC INSTITUTION
 - CHHD CIVIC INSTITUTION - HEALTH DISTRICT
 - R - RESTRICTED
 - L - LIMITED
 - O - OPEN
 - * NUMBER OF STORES



PROJECT LOCATION



ZONING DESIGNATION 2
SCALE: N.T.S. A1.0

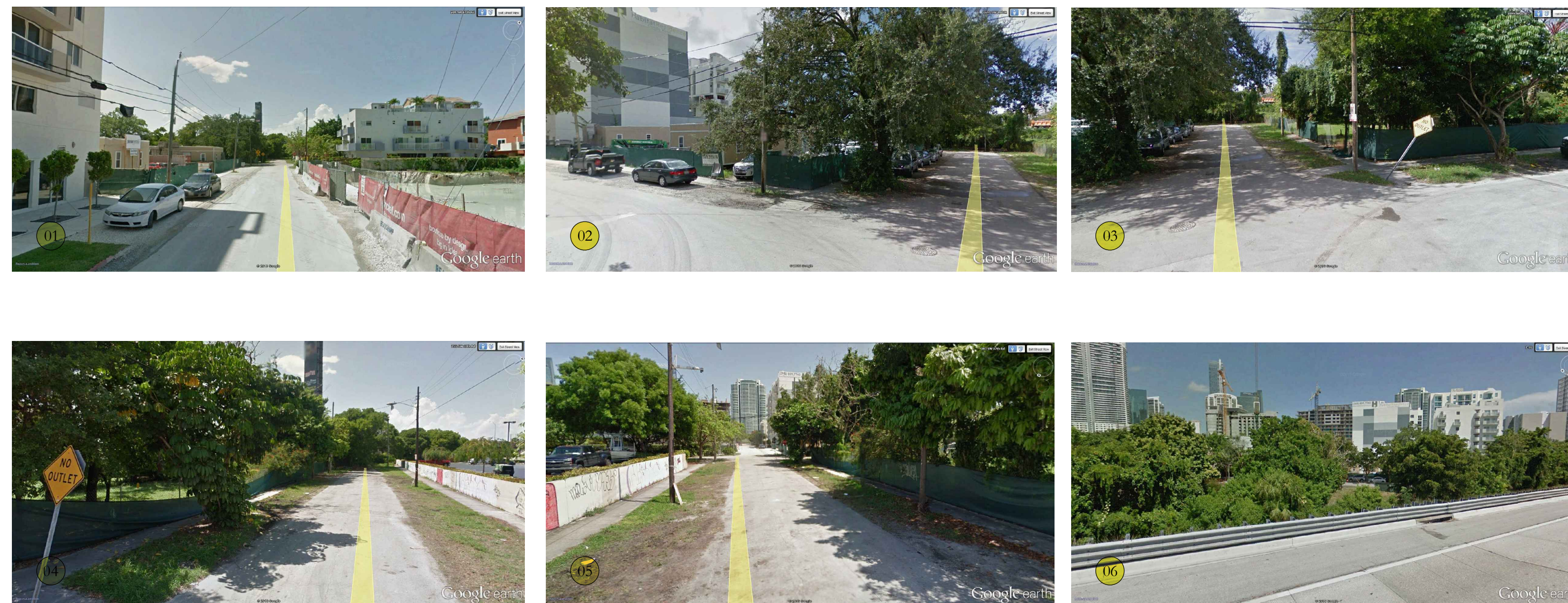
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ARCHITECTURE & URBAN DESIGN
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PROJECT:
**MATER BRICKELL
PREPARATORY
ACADEMY**
FOLIO: 01-4139-101-0020
01-4139-101-0010

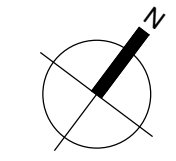
APPLICANT:
MATER ACADEMY INC.

ISSUED FOR:
**WARRANT
APPROVAL**

CIVICA PROJECT No :
150132
CONSULTANTS:



EXISTING SITE CONDITIONS PHOTOS



EXISTING SITE PLAN (REFERENCE ONLY) 1
SCALE: N.T.S. A1.0

No.	DATE	REVISION	BY

DRAWN BY: AB
APPROVED BY: RL
DATE: MAY 7, 2018
SCALE: AS SHOWN
KEY PLAN

SEAL/SIGNATURE

ROLANDO LLANES
AR - 0013160
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SHEET TITLE
**EXISTING
SITE PLAN &
CONTEXT PLANS**

SHEET NUMBER
A1.0

No.	DATE	REVISION	BY

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DATE	SCALE:
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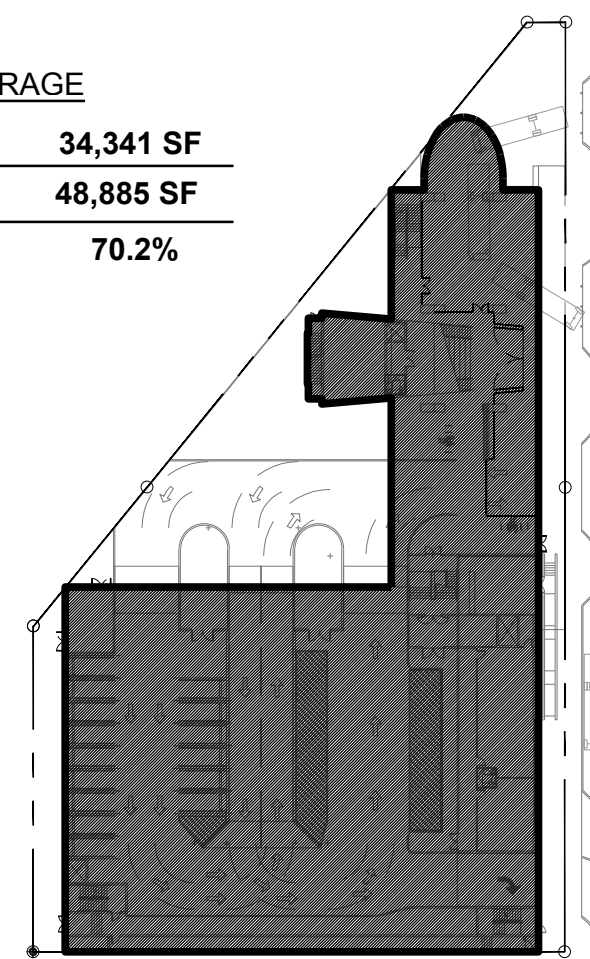
FLOOR LOT RATIO
DIAGRAMS
& AREA
CALCULATIONS

SHEET NUMBER

A-2.0

LOT COVERAGE

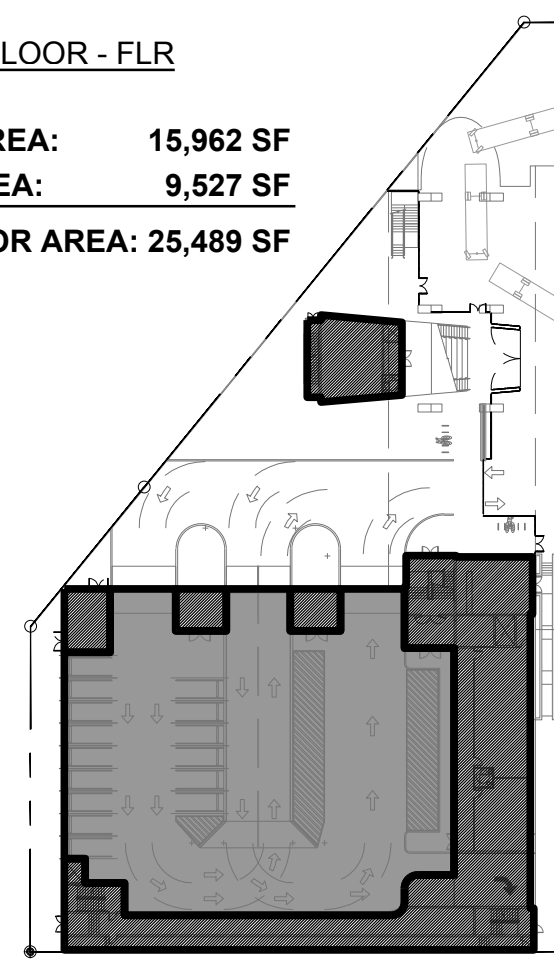
BUILDING:	34,341 SF
LOT AREA:	48,885 SF
LOT COVERAGE:	70.2%



LOT COVERAGE

1ST FLOOR - FLR

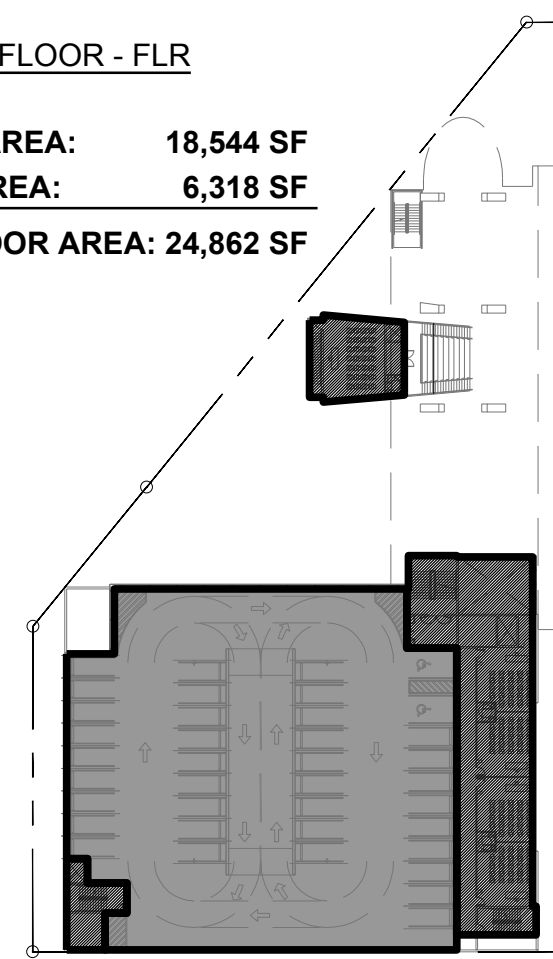
PARKING AREA:	15,962 SF
USABLE AREA:	9,527 SF
TOTAL FLOOR AREA:	25,489 SF



PARKING AREA
USABLE AREA

2ND FLOOR - FLR

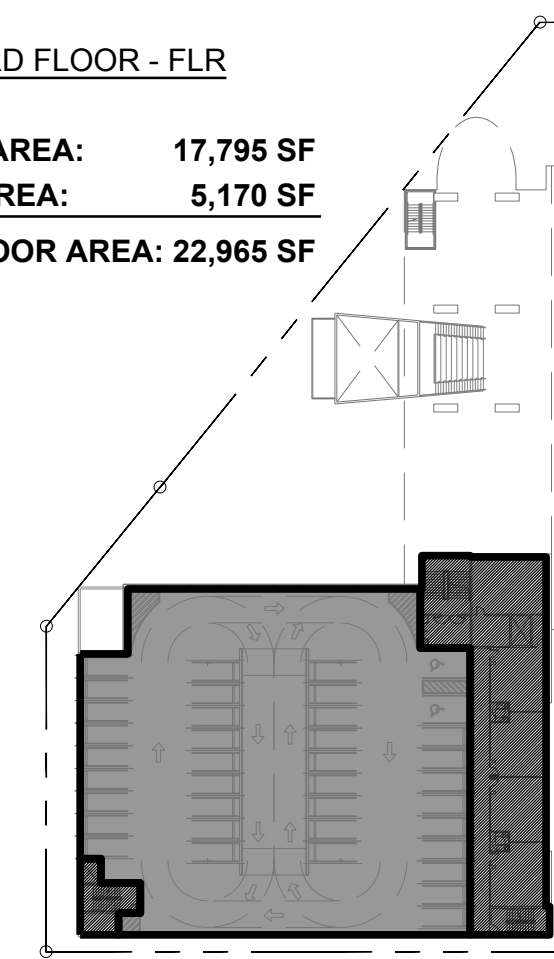
PARKING AREA:	18,544 SF
USABLE AREA:	6,318 SF
TOTAL FLOOR AREA:	24,862 SF



PARKING AREA
USABLE AREA

3RD FLOOR - FLR

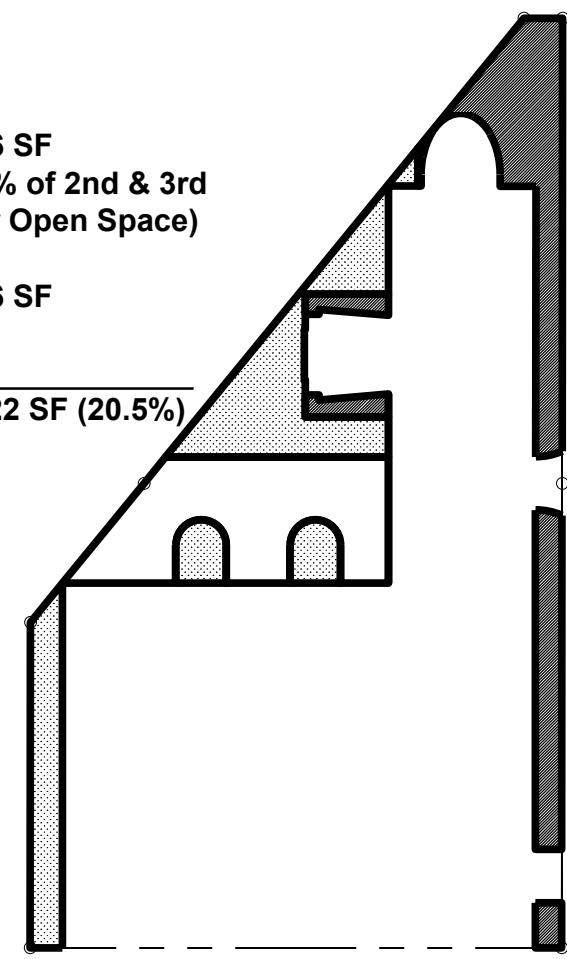
PARKING AREA:	17,795 SF
USABLE AREA:	5,170 SF
TOTAL FLOOR AREA:	22,965 SF



PARKING AREA
USABLE AREA

OPEN SPACE

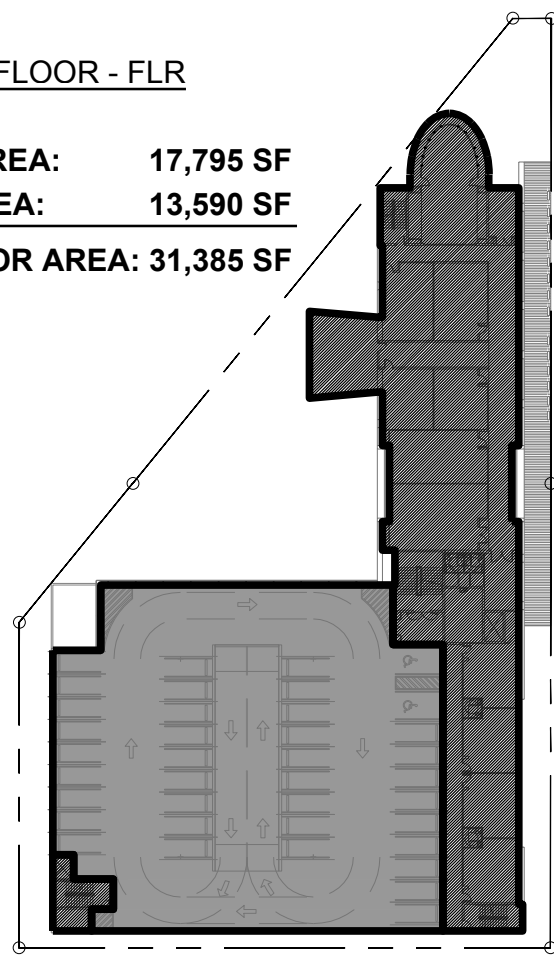
LANDSCAPED (PERVIOUS):	5,326 SF (53.7% of 2nd & 3rd layer Open Space)
PAVED (IMPERVIOUS) DRIVEWAYS NOT INCLUDED:	4,696 SF
TOTAL OPEN SPACE:	10,022 SF (20.5%)



LANDSCAPED (PERVIOUS)
PAVED (IMPERVIOUS)

4TH FLOOR - FLR

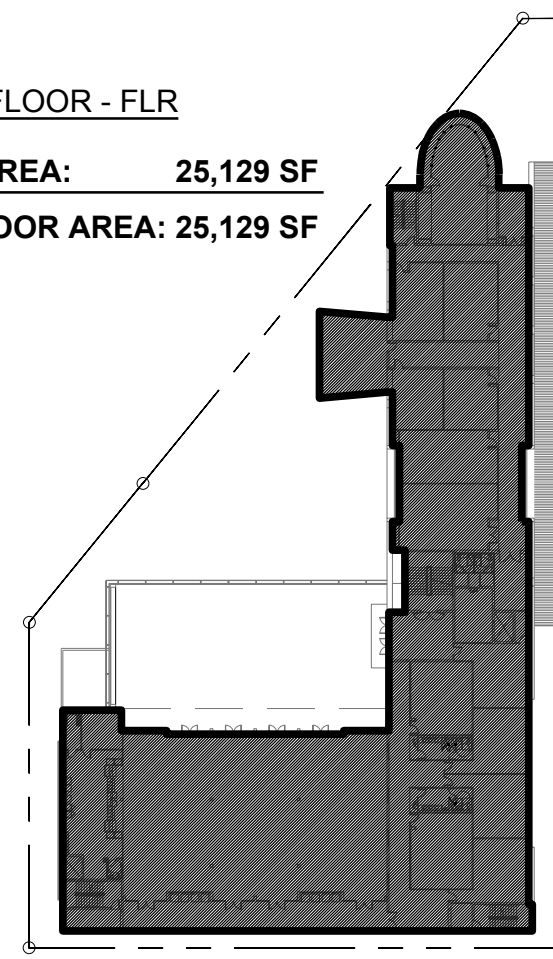
PARKING AREA:	17,795 SF
USABLE AREA:	13,590 SF
TOTAL FLOOR AREA:	31,385 SF



PARKING AREA
USABLE AREA

5TH FLOOR - FLR

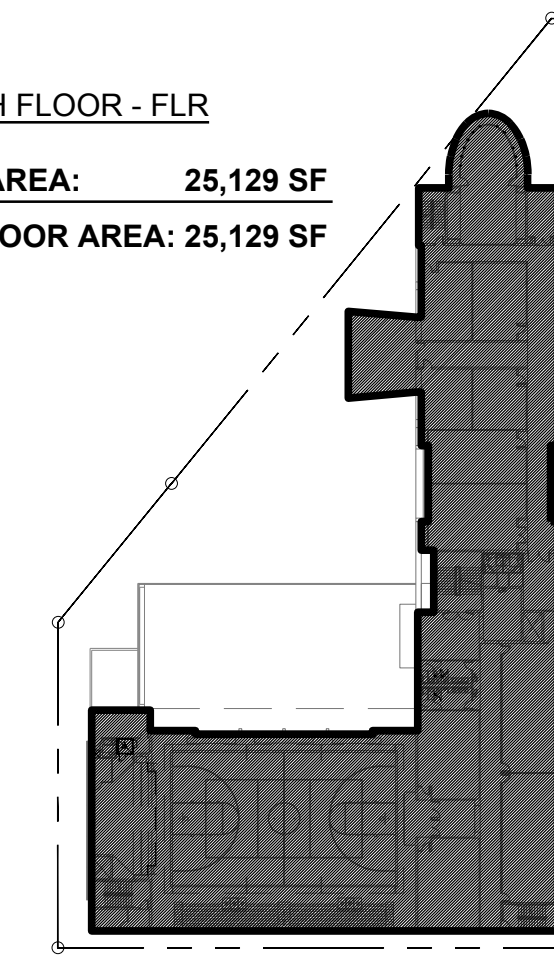
USABLE AREA:	25,129 SF
TOTAL FLOOR AREA:	25,129 SF



USABLE AREA

6TH FLOOR - FLR

USABLE AREA:	25,129 SF
TOTAL FLOOR AREA:	25,129 SF



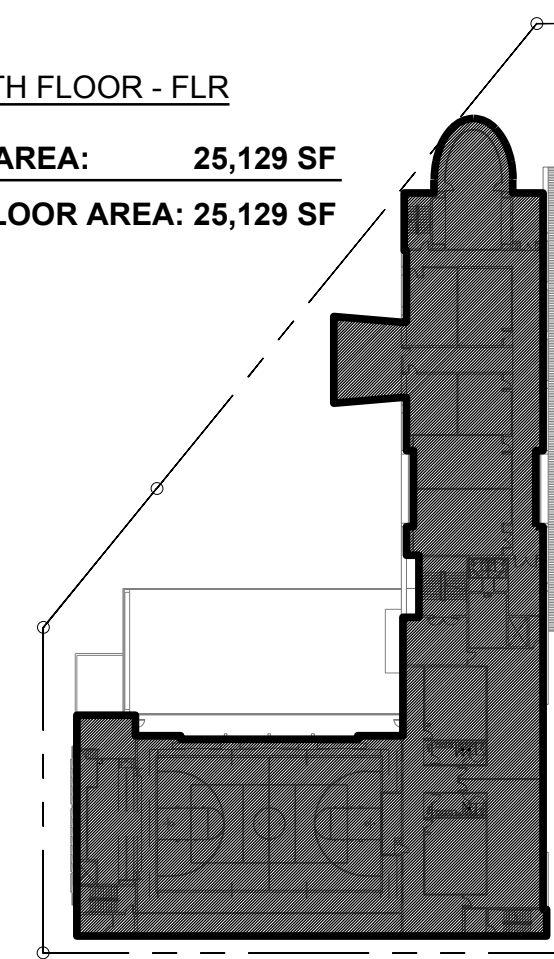
USABLE AREA

LOT COVERAGE	OPEN SPACE	TOTAL LOT AREA
34,341 SF	10,022 SF	48,885 SF

FLOOR LEVEL	PARKING / VEHICULAR AREA	USABLE AREA	TOTAL FLOOR AREA
1ST FL	15,962 SF	9,527 SF	25,489 SF
2ND FL	18,544 SF	6,318 SF	24,862 SF
3RD FL	17,795 SF	5,170 SF	22,965 SF
4TH FL	17,795 SF	13,590 SF	31,385 SF
5TH FL	0 SF	25,129 SF	25,129 SF
6TH FL	0 SF	25,129 SF	25,129 SF
7TH FL	0 SF	25,129 SF	25,129 SF
8TH FL	0 SF	3,057 SF	3,057 SF
TOTAL	70,096 SF	113,049 SF	183,145 SF (3.7)

7TH FLOOR - FLR

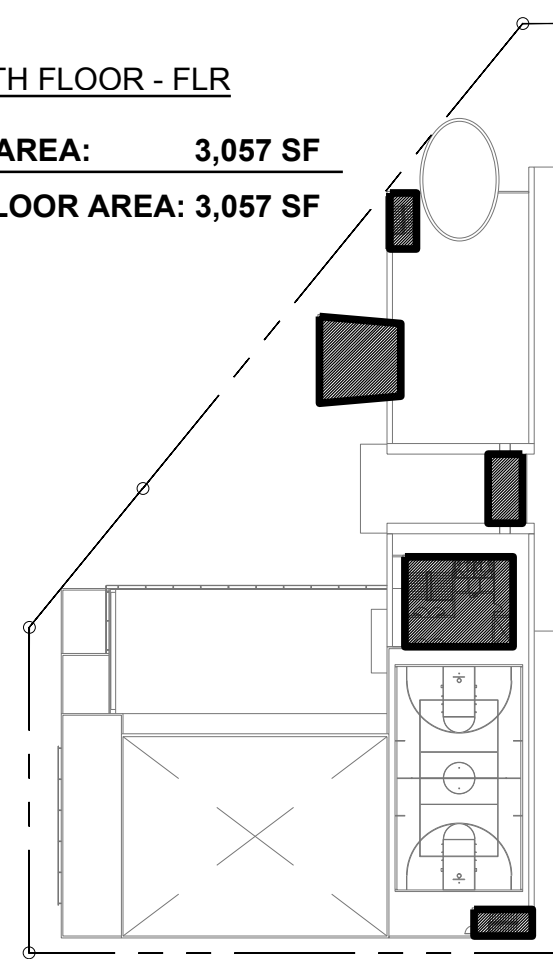
USABLE AREA:	25,129 SF
TOTAL FLOOR AREA:	25,129 SF



USABLE AREA

8TH FLOOR - FLR

USABLE AREA:	3,057 SF
TOTAL FLOOR AREA:	3,057 SF



USABLE AREA

No.	DATE	REVISION	BY

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AB	RL
DATE	SCALE:
MAY 7, 2018	AS SHOWN
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SHEET TITLE

**ZONING INFO
& PROPOSED
SITE PLAN**

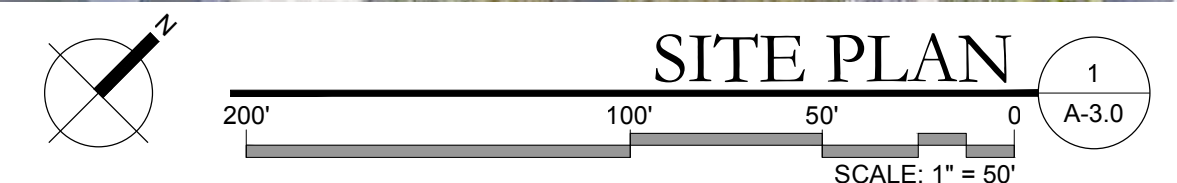
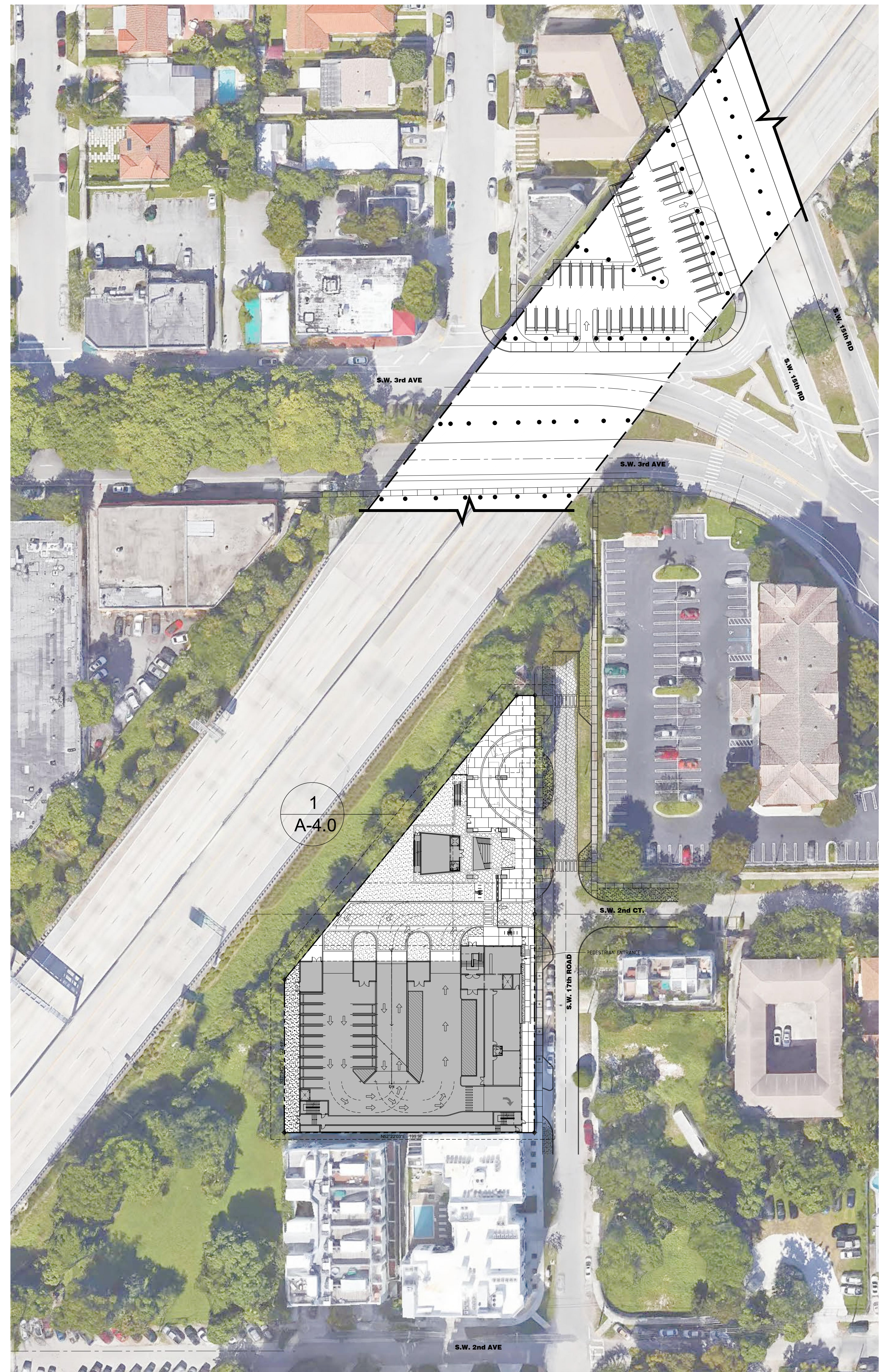
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A-3.0

ZONING LEGEND (MIAMI 21)

PROPERTY INFORMATION					
ADDRESS	219-83 SW 17TH RD				
FOLIOS	01-4139-101-0010 01-4139-101-0020				
TOTAL LOT AREA (SF)	48,885				
TOTAL LOT AREA (ACRE)	1.1222				
FLOOD ZONE	X, AE				
MIAMI 21					
TRANSECT ZONE	T6-80				
DISTRICT DESCRIPTION:	The highest Density and greatest variety of Uses, including Civic Buildings of regional importance. A network of small blocks has Thoroughfares with wide Sidewalks, with steady tree planting and Buildings set close to the Frontage with frequent doors and windows.				
PROJECT DESCRIPTION				NEW CONSTRUCTION	
PROPOSED USE					
EDUCATIONAL					
K-12 SCHOOL				ALLOWED BY WARRANT	
INTENSITY					
STUDENTS	1,500				
TEACHERS / STAFF	90				
ZONING PARAMETERS		REQUIRED / ALLOWED		PROPOSED	
LOT OCCUPATION					
LOT AREA	5,000 SF MIN.;40,000 SF MAX.	48,885	SF	M21 § 3.3.1	
LOT COVERAGE (MAX.)	80%	39,108	SF	70%	
FLOOR LOT RATIO	5	244,425	SF	3.7	
FRONTAGE AT FRONT SETBACK	70%	(350' x .7) = 245'-0"	SF	144'-0"	
OPEN SPACE	10% LOT AREA (MIN.)	4,889	SF	19%	
BUILDING SETBACK					
PRINCIPAL FRONT	10 ft. min.			COMPLIES	
SECONDARY FRONT	10 ft. min.			N/A	
SIDE	0 ft. min.			COMPLIES	
REAR	0 ft. min.			COMPLIES	
ABUTTING T-4	6 ft. min. 1st through 5th Story			N/A	
FRONTAGE	26 ft. min. above 5th Story			STOOP	
BUILDING HEIGHT	MIN. HEIGHT: 2 STORIES MAX HEIGHT: 8 STORIES			7 STORIES	
PARKING		REQUIRED / ALLOWED		PROPOSED	
EDUCATIONAL USE: K-12	Minimum of 1 parking space for each faculty or staff member	90		90	
	1 visitor parking space per 100 students	15		20	
	1 parking space per 10 students in 11 and 12 grade	44		44	
	Parking ratio may be reduced within 1/2 mile radius of TOD or within 1/4 mile radius of a Transit Corridor by thirty percent (30%) by process of Waiver, except when site is within 500 feet of T3.				
	PROPOSED ON-STREET PARKING				
TOTAL PARKING	Minimum of 1 Bicycle Rack Space for every 20 vehicular spaces required.	149		154	
		8		20	

* PROJECT TO BE LEED SILVER OR EQUIVALENT.



PROJECTED STUDENT POPULATION	
GRADE LEVEL	# OF STUDENTS
6TH	210
7TH	210
8TH	210
9TH	210
10TH	220
11TH	220
12TH	220
TOTAL	1,500

CHILD CARE CHECK LIST FOR CHARTER SCHOOLS

A signed charter contract from the Miami-Dade County School Board must accompany this application which matches the location, and not to exceed # of students and grade levels of the proposed application.

School Name: BRICKELL PREPARATORY ACADEMY
School Address: N/A - See folio numbers
Tax Folio #: 01-4139-101-0010, 01-4139-101-0020

Total size of site: 48,885 SF (1.12 ACRES).

Is this an expansion to an existing school? YES NO

If yes, then indicate the # of students and grade levels previously approved:

 and the Resolution #

Number of students / children requested: 1500 Grade Levels: 6-12th Grades Ages: 11-18 Yrs Old

Number of classrooms: 65 Total Classrooms

Total square footage of classroom area: 39,197 Sq Ft.

Total square footage of non-classroom area (offices, bathrooms, kitchens, etc.): 21,630 Sq Ft.

Total square footage of outdoor recreation/play area: 5,690 Sq Ft.

Number of parking spaces provided for staff and transportation vehicles: 90 Spaces

Total parking spaces provided: 157 Spaces

Auto-stacking spaces provided: 47 vehicles

Days and hours of operation: Monday - Friday 7:00 AM - 4:00 PM

THE INFORMATION ABOVE IS COMPLETE AND IS CORRECT TO THE BEST OF MY KNOWLEDGE.

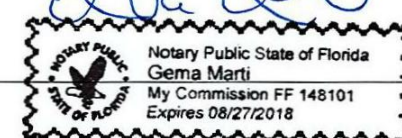
Signed, sealed, executed and acknowledge on this 26th day of April at Miami-Dade County, Florida

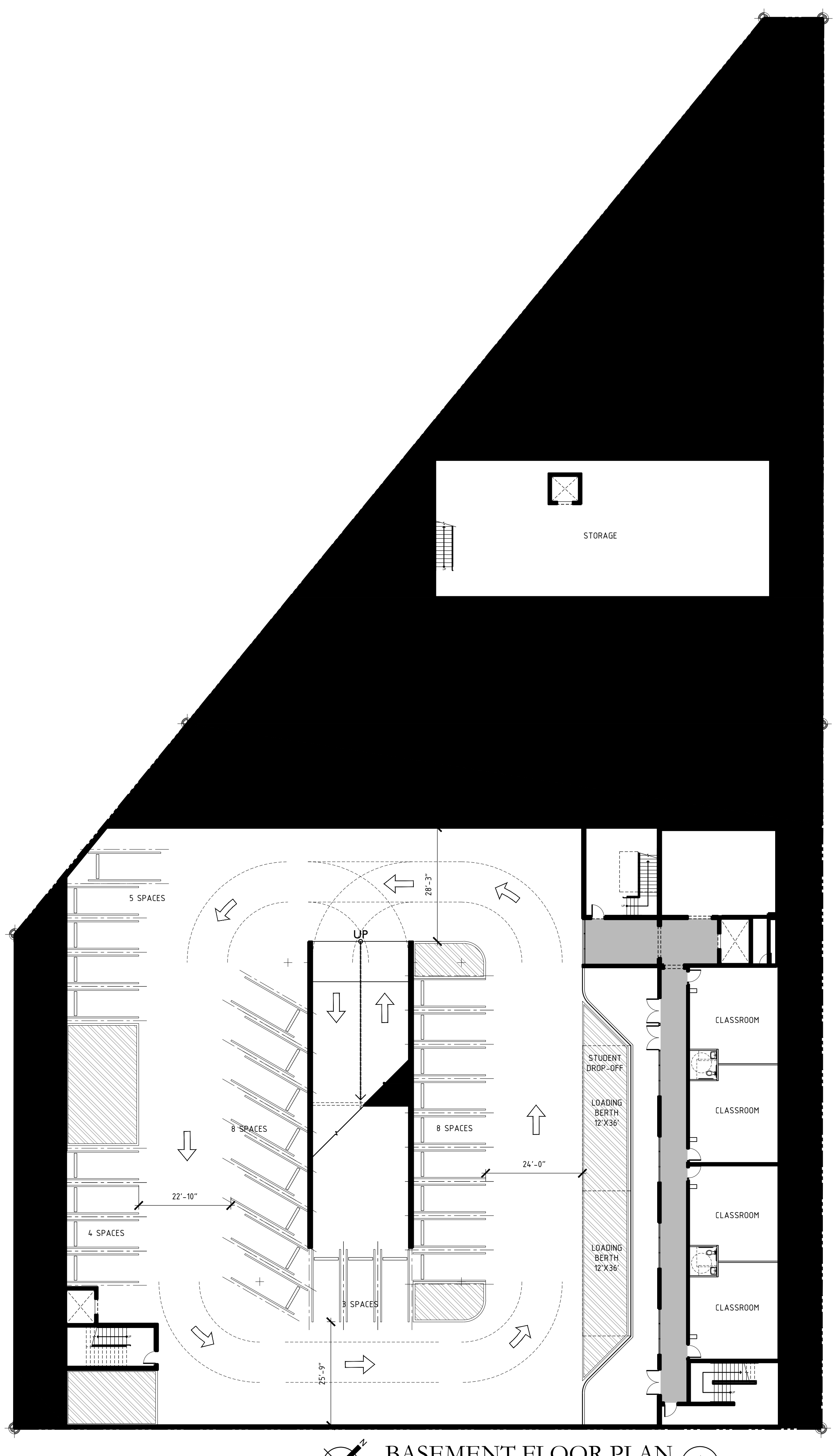
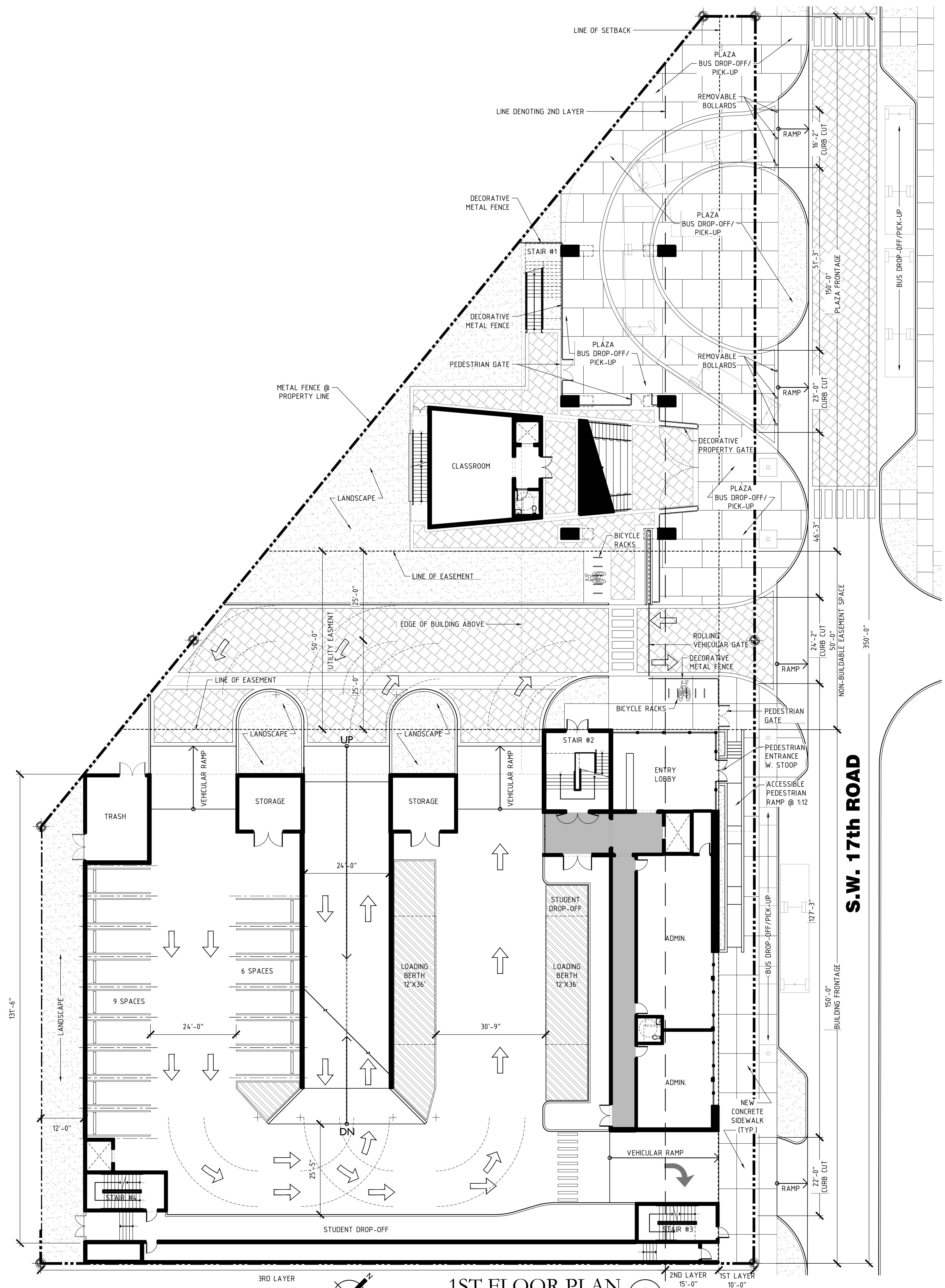
WITNESSES: [Signature] SIGNATURE: [Signature]

STATE OF FLORIDA
COUNTY OF MIAMI-DADE

I hereby certify that on this 26th day of April, 2018, before me personally appeared Rolando Llanes to me known to be the person described in an who executed the foregoing instrument and he/she acknowledge to me the execution thereof to be his/her free act for the uses and purposes therein mentioned.

My Commission Expires 8/27/18





No.	DATE	REVISION	BY

DRAWN BY: AB
APPROVED BY: RL
DATE: MAY 7, 2018
SCALE: AS SHOWN
KEY PLAN

SEAL/SIGNATURE

ROLANDO LLANES
AR - 0013160

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SHEET TITLE
**PROPOSED
BASEMENT &
1ST FLOOR PLAN**

SHEET NUMBER
A-4.0

No.	DATE	REVISION	BY

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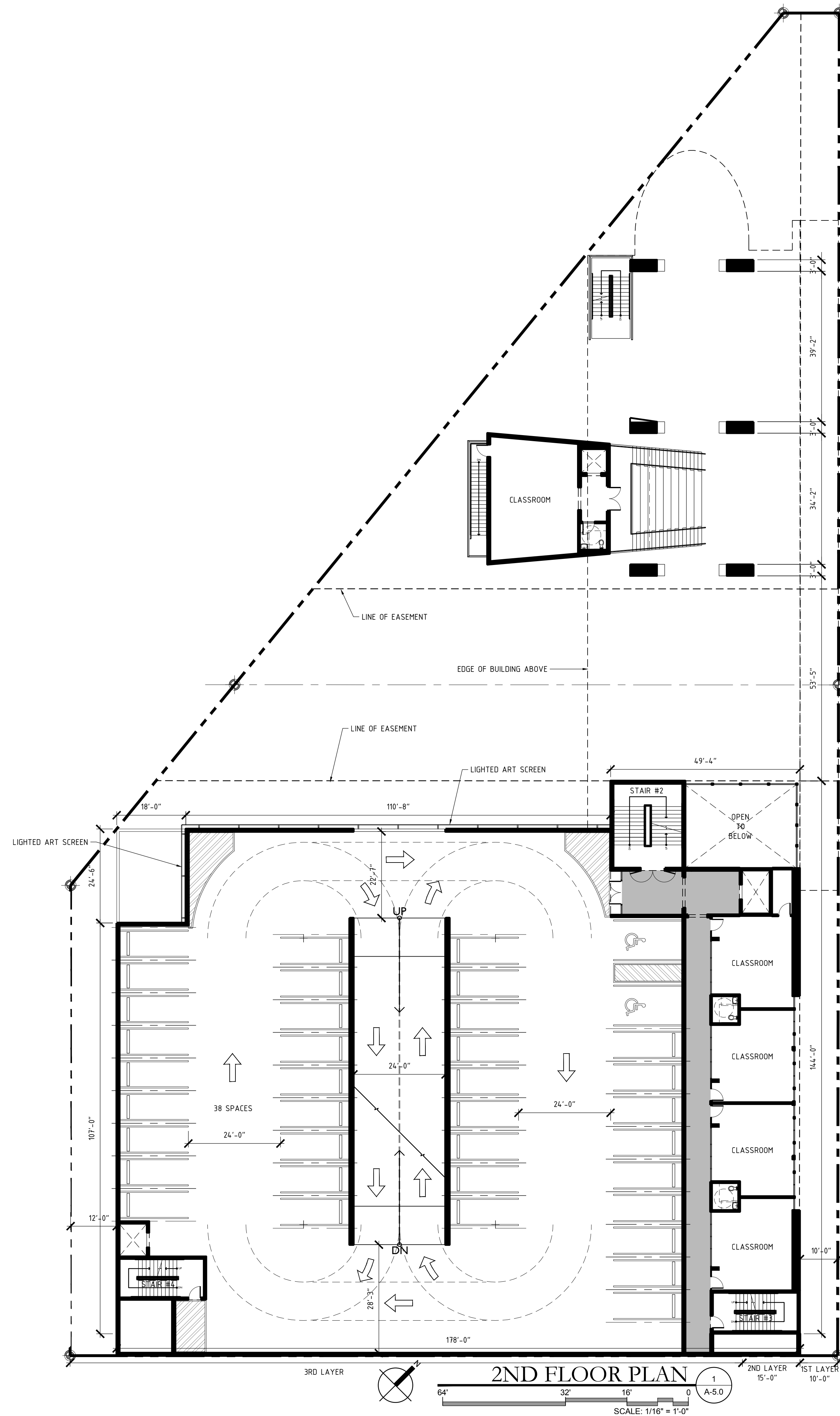
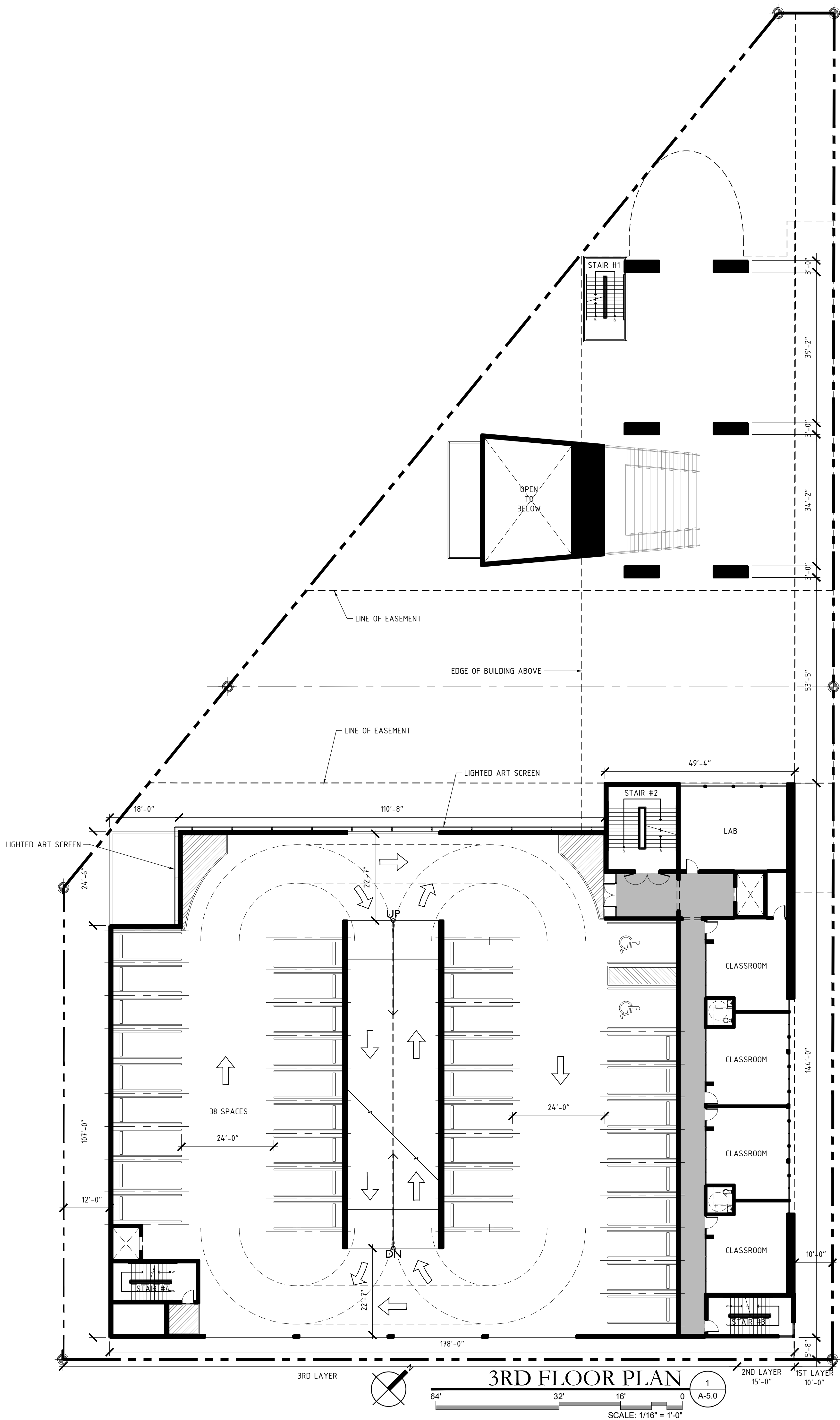
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SHEET TITLE

**PROPOSED
2ND & 3RD
FLOOR PLANS**

SHEET NUMBER

A-5.0



No.	DATE	REVISION	BY

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KEY PLAN

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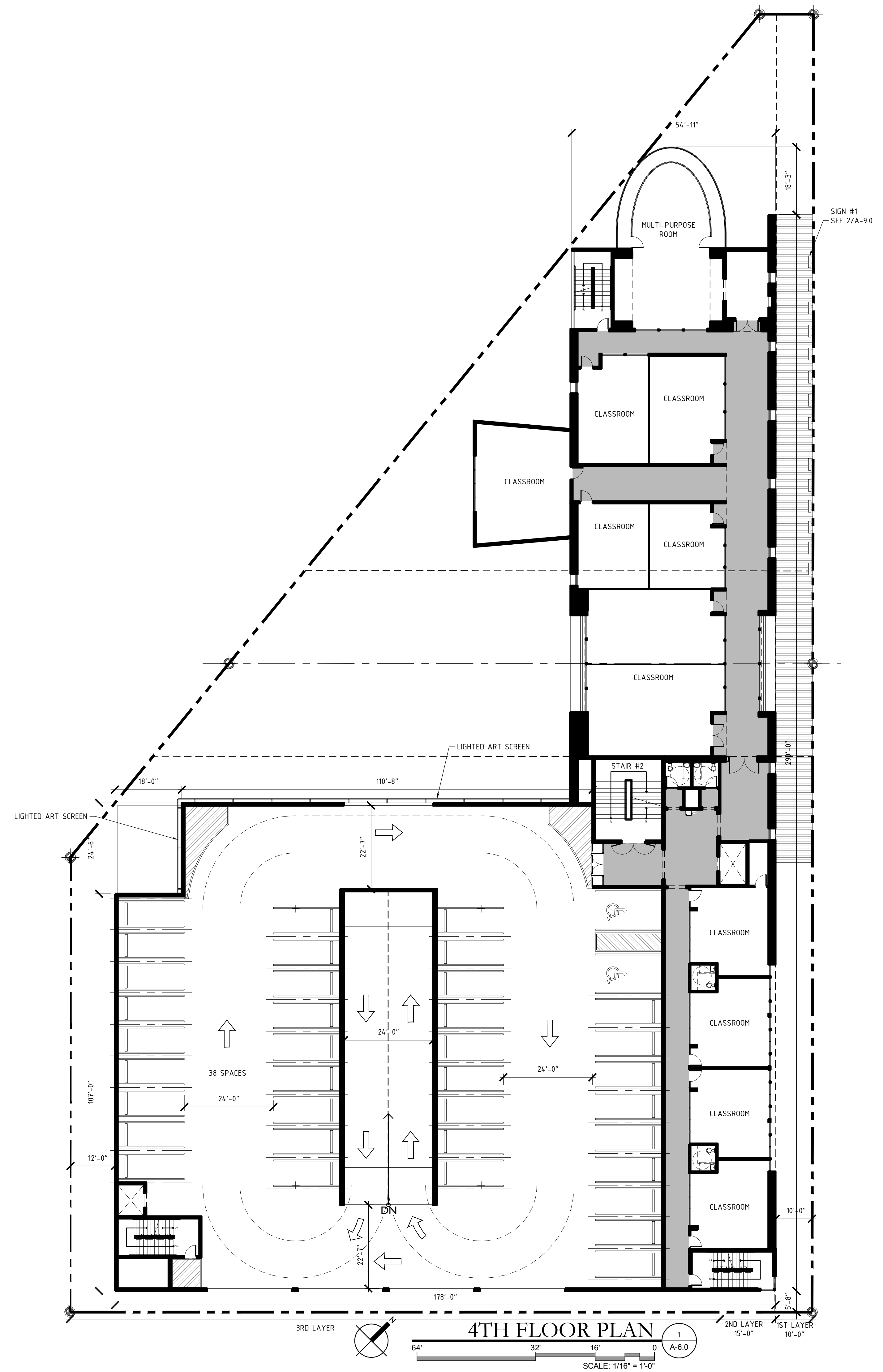
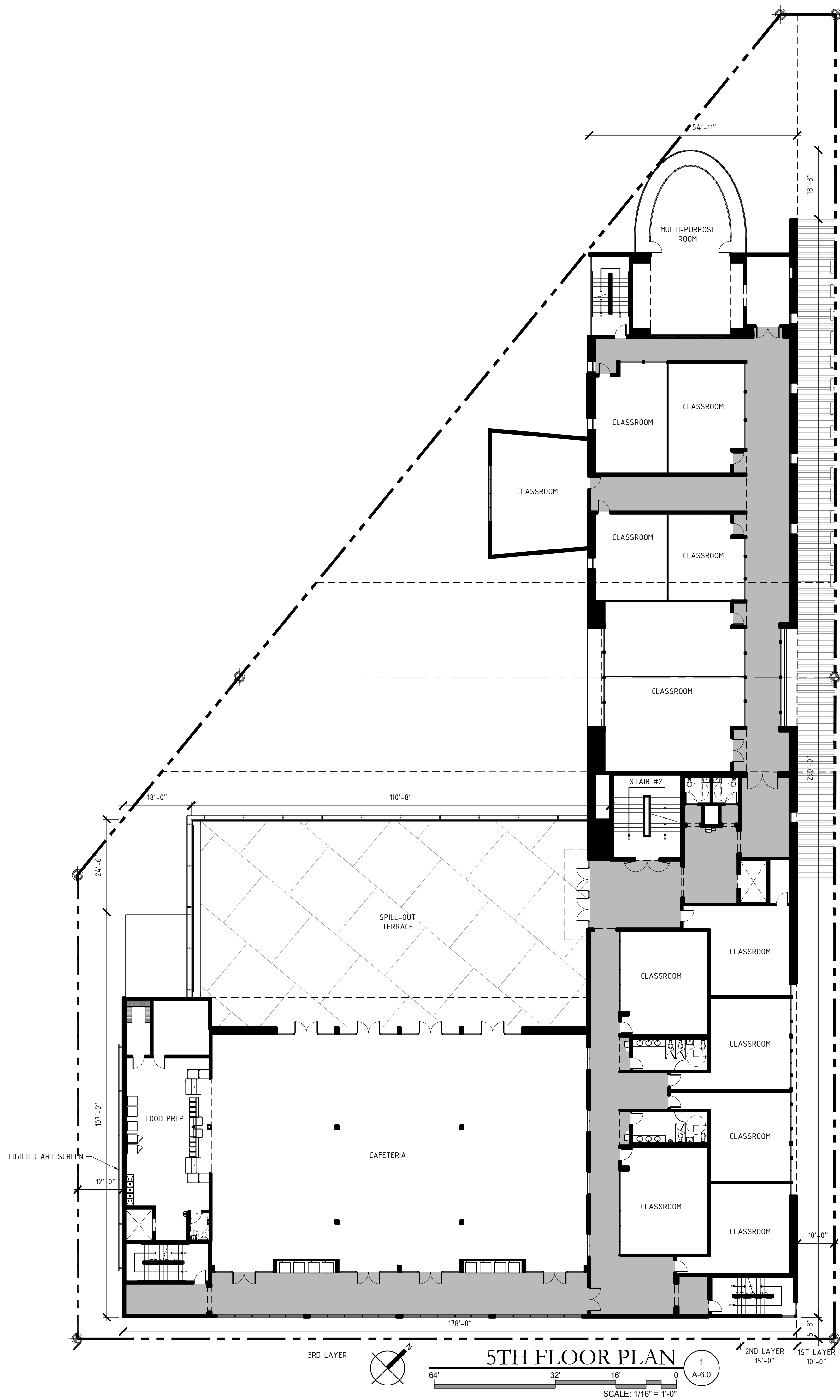
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SHEET TITLE

**PROPOSED
4TH & 5TH
FLOOR PLANS**

SHEET NUMBER

A-6.0



No.	DATE	REVISION	BY

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DATE MAY 7, 2018	SCALE: AS SHOWN
KEY PLAN	

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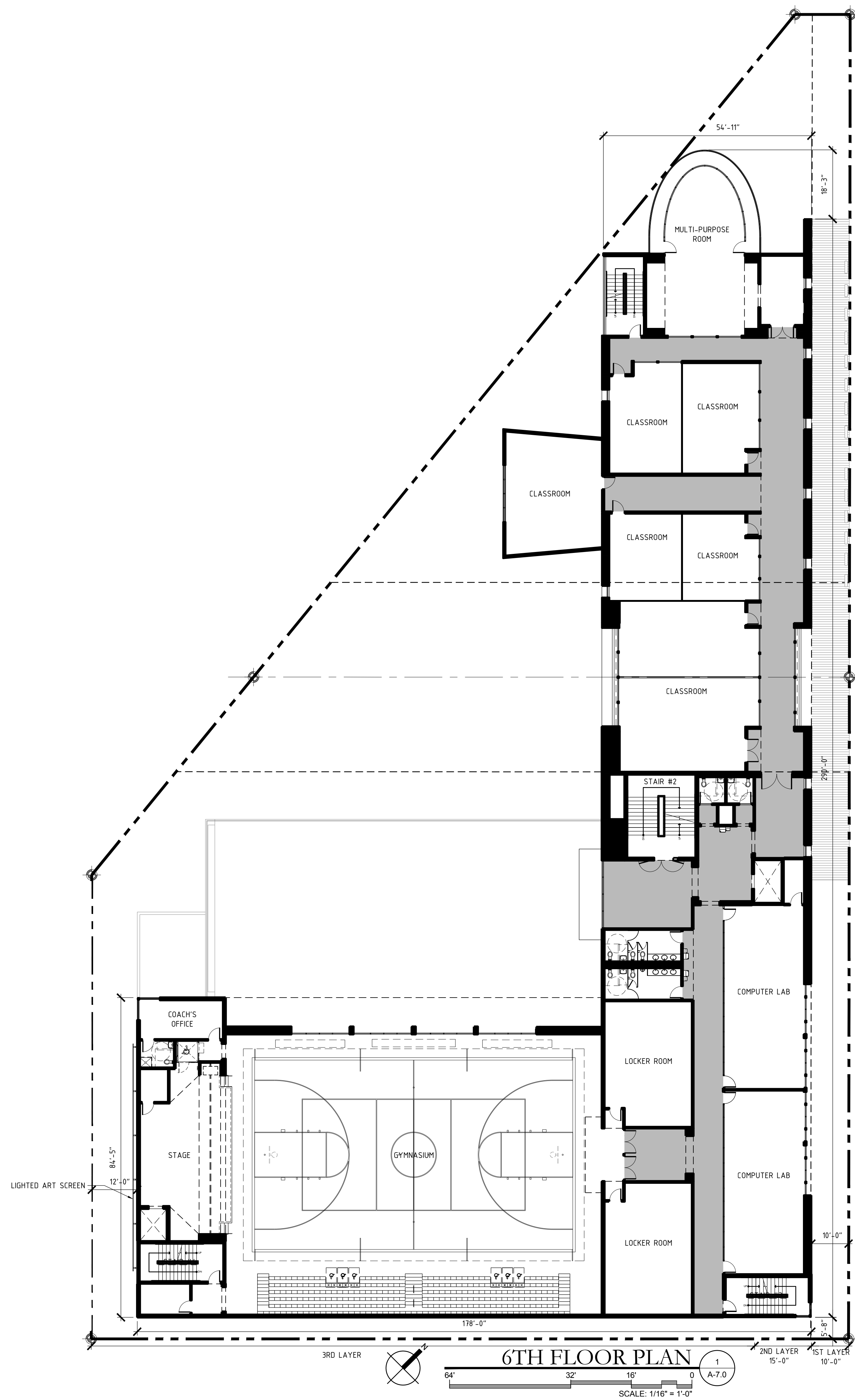
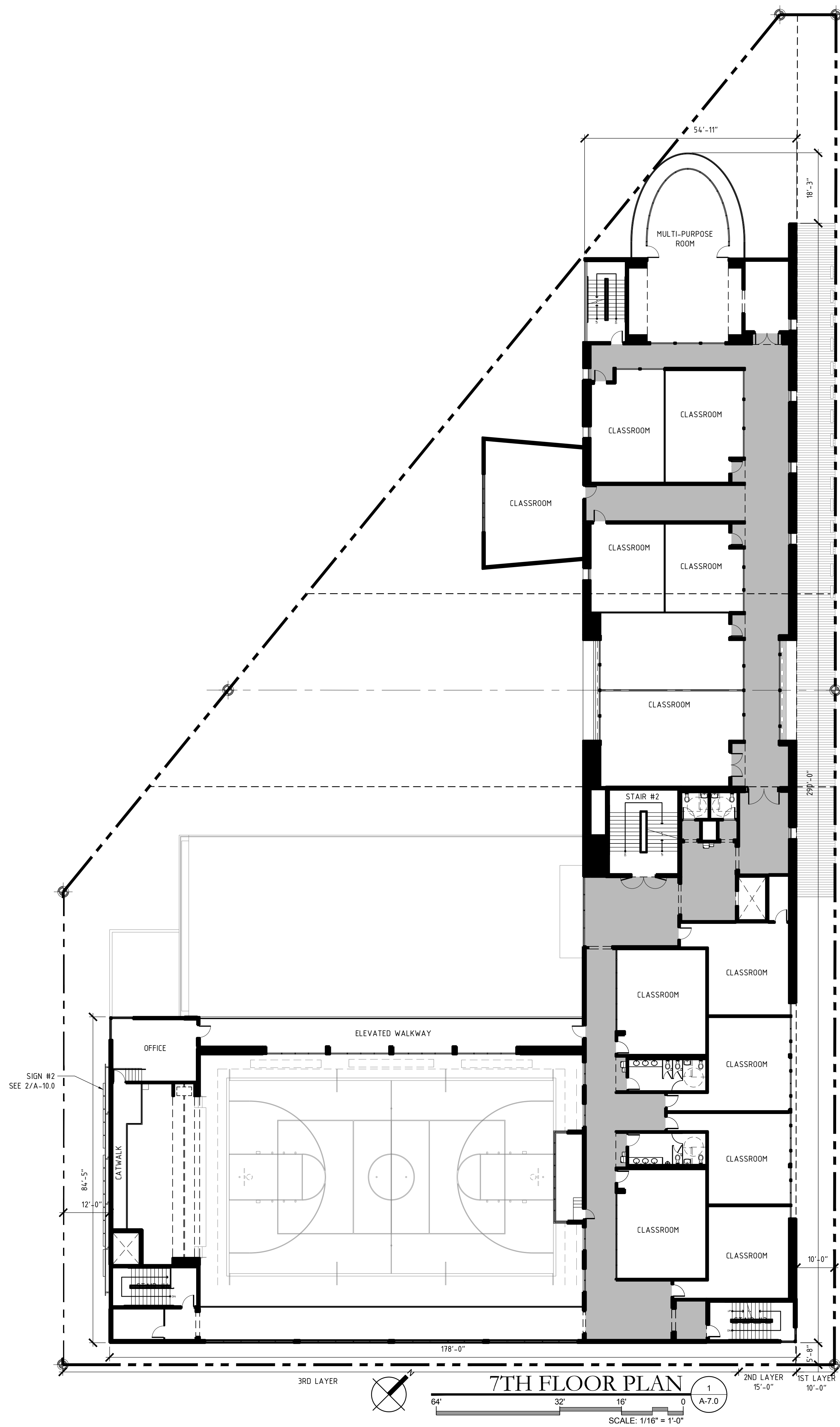
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SHEET TITLE

PROPOSED
6TH & 7TH
FLOOR PLANS

SHEET NUMBER

A-7.0



No.	DATE	REVISION	BY

DRAWN BY: AB APPROVED BY: RL
DATE: MAY 7, 2018 SCALE: AS SHOWN
KEY PLAN

SEAL/SIGNATURE

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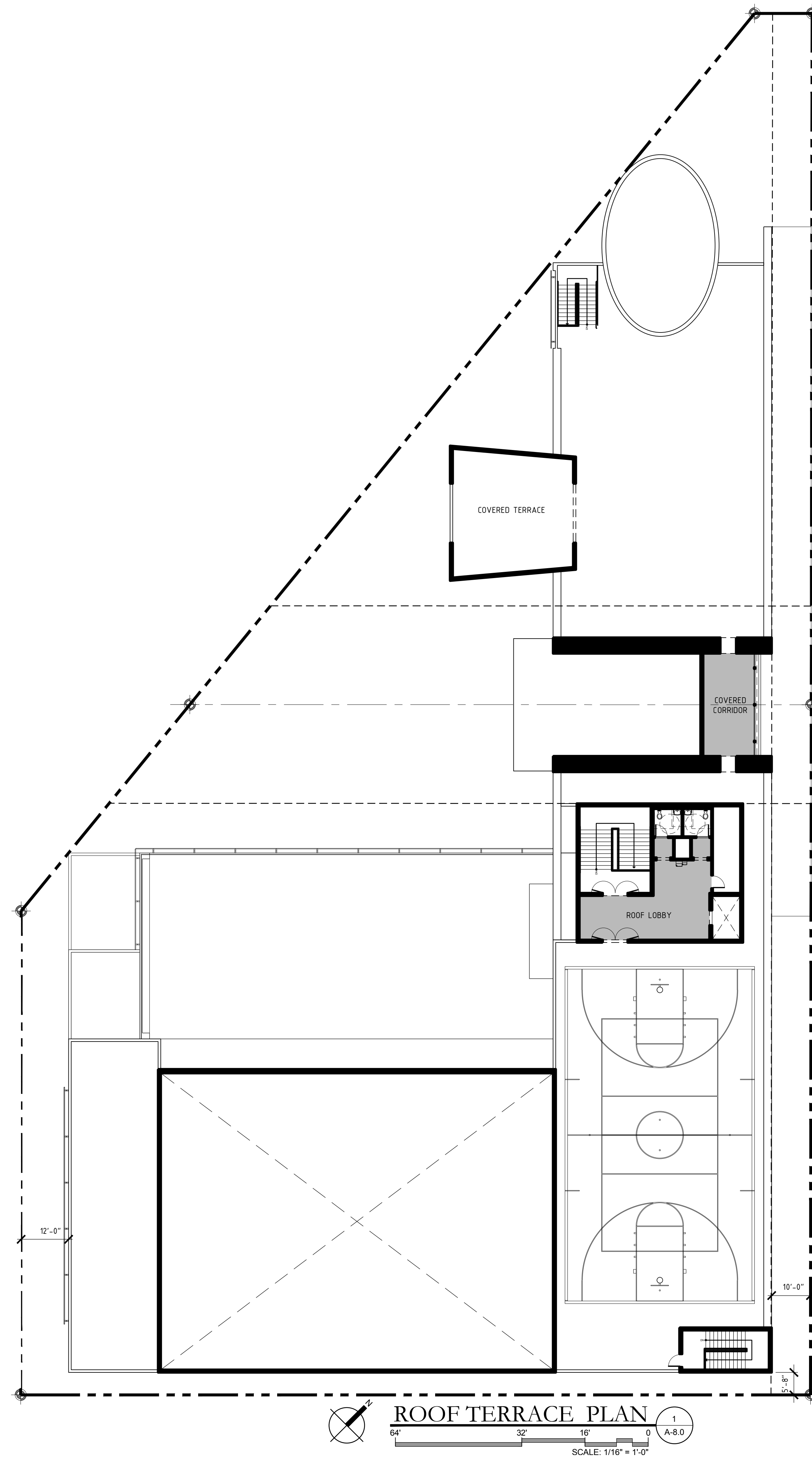
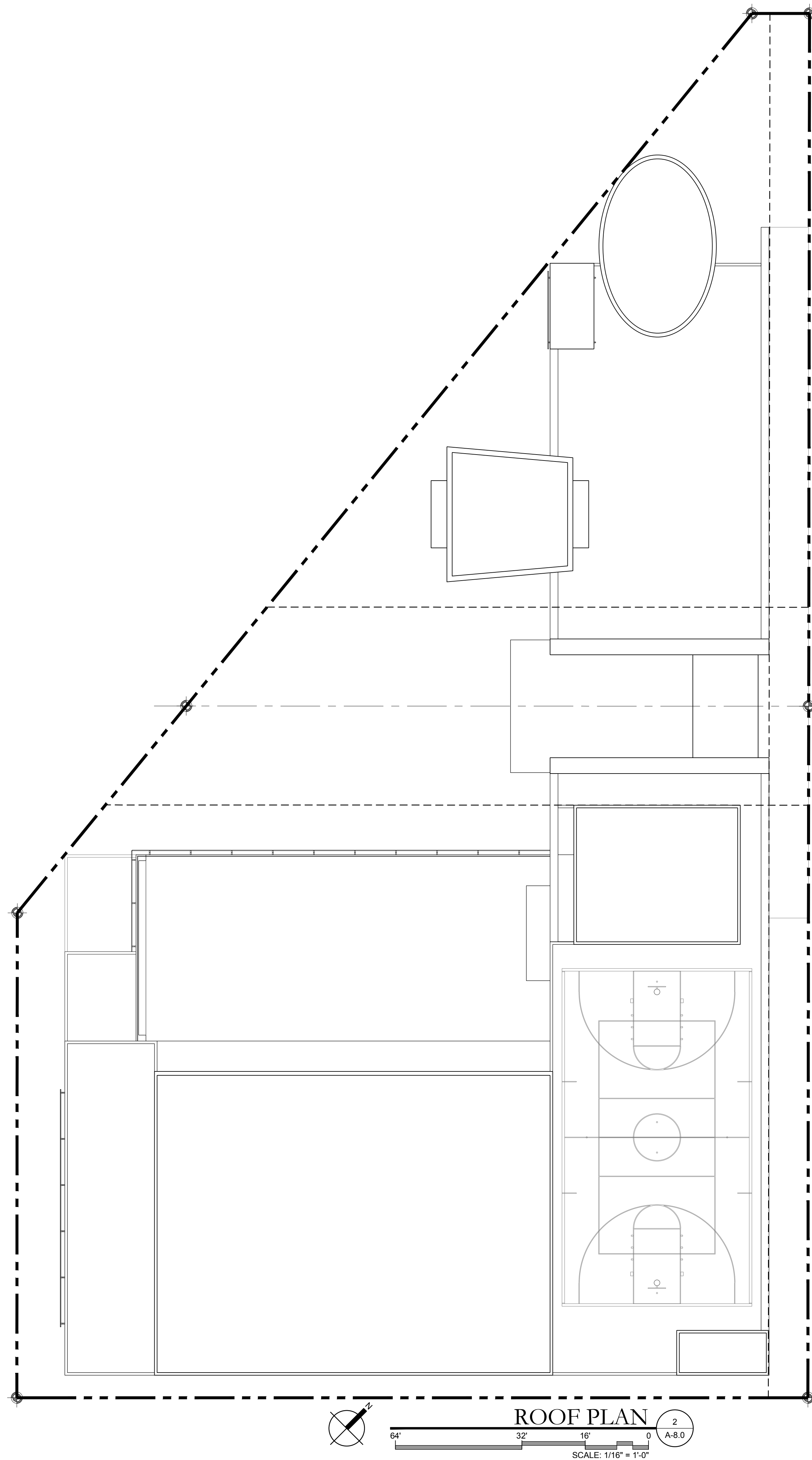
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SHEET TITLE

**PROPOSED
ROOF TERRACE
& ROOF PLAN**

SHEET NUMBER

A-8.0

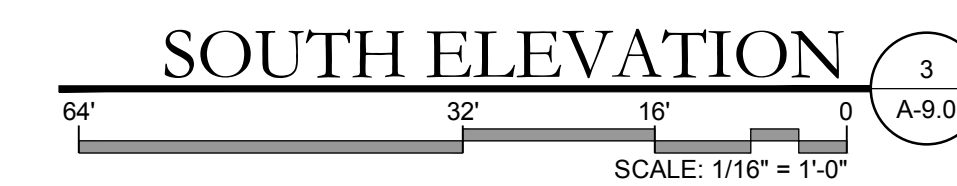
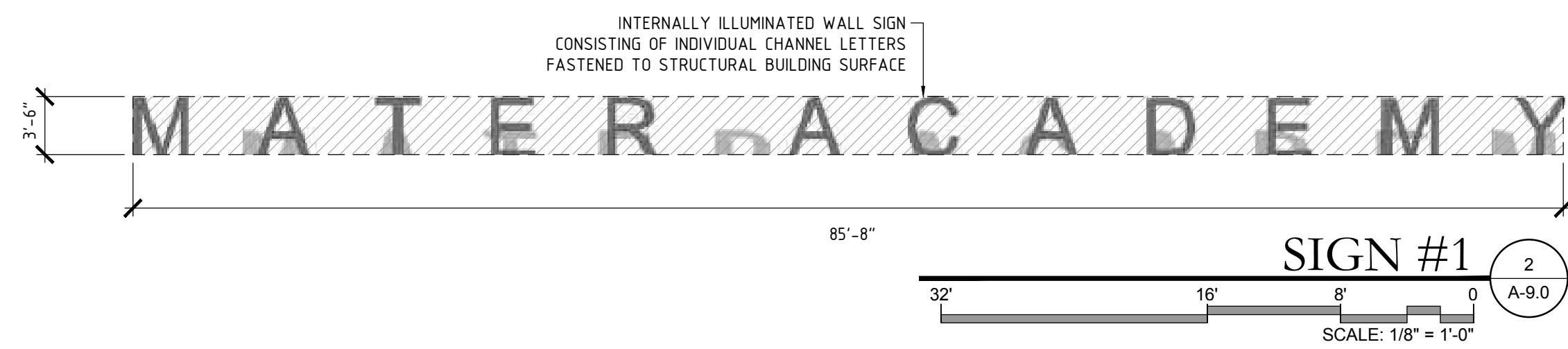
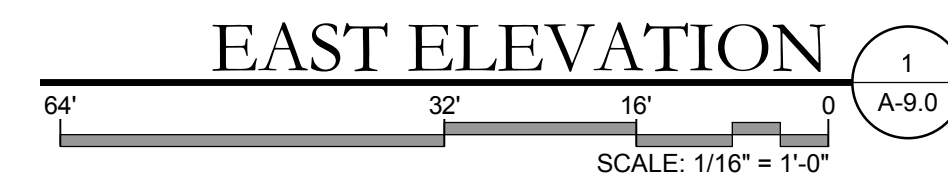




SIGN #1 - WALL SIGN (AGGREGATE AREA RATIO = 1.5 SF PER LINEAR FRONTAGE FOR T6-0)

	ALLOWED IN T6-0	PROPOSED
AGGREGATE AREA	(290.2 LF OF FRONTAGE) x (1.5 SF) = 435.3 SF 300 SF MAX. PER FRONTAGE	300 SF
WIDTH	(305.5 LF OF FRONTAGE) x (70%) = 216'	85'-8"

* ALL CALCULATIONS ARE BASED ON REQUIREMENTS FROM ARTICLE 10, TABLE 15.



No.	DATE	REVISION	BY

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DATE: MAY 7, 2018 SCALE: AS SHOWN
KEY PLAN

SEAL/SIGNATURE

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SHEET TITLE

EAST & SOUTH
ELEVATIONS

SHEET NUMBER

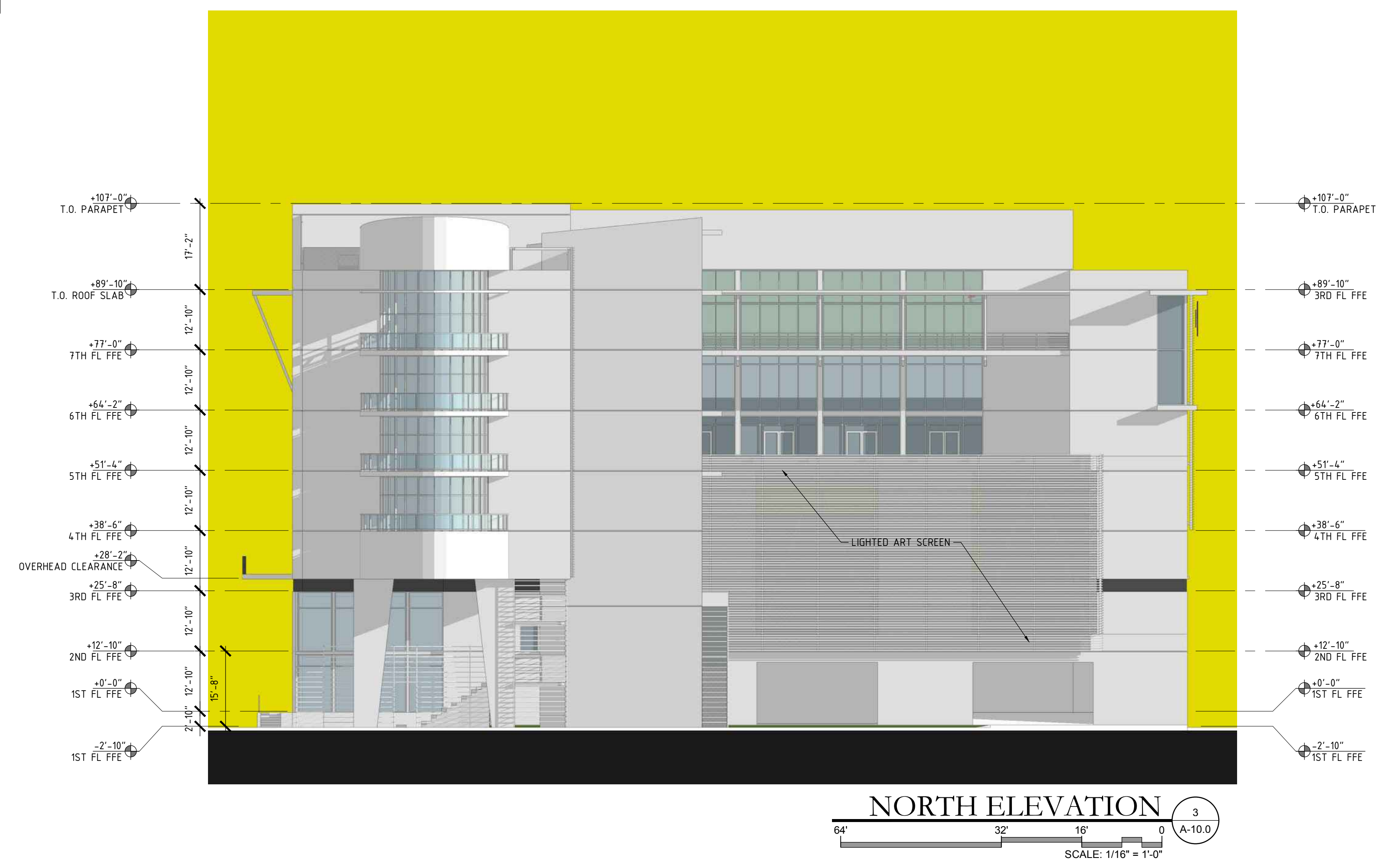
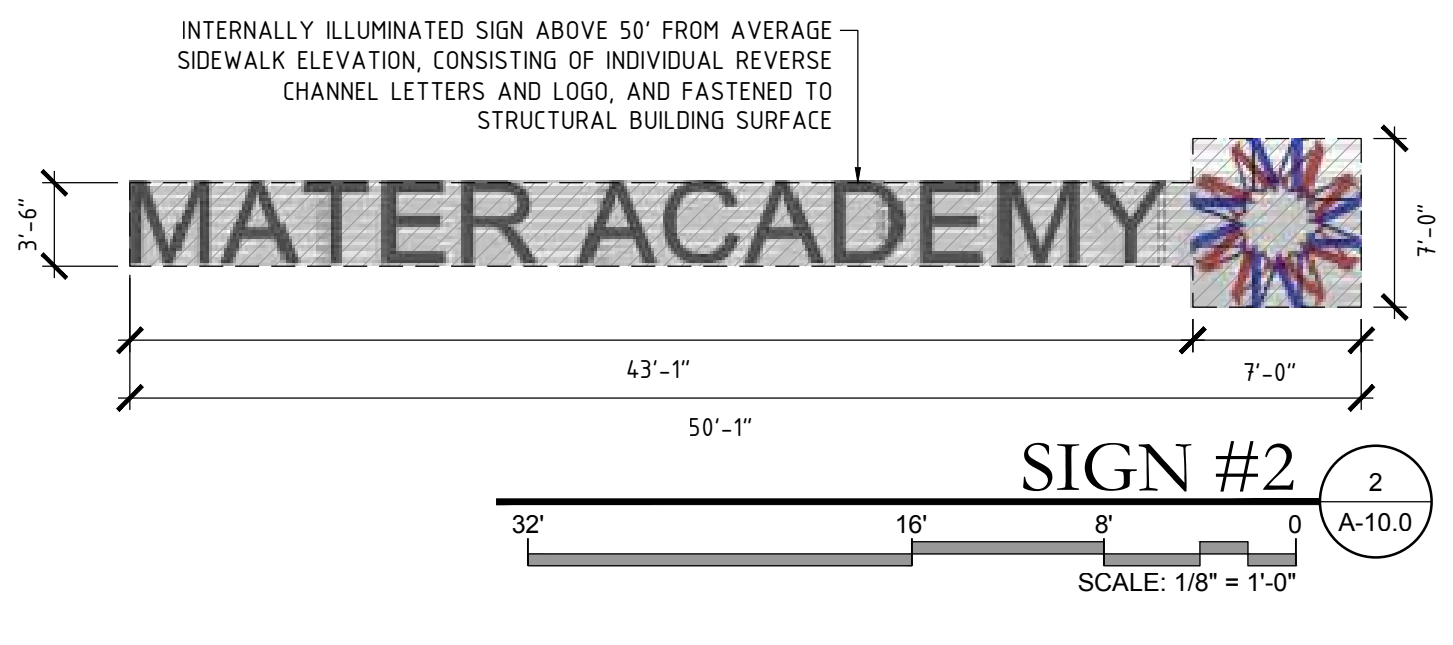
A-9.0



WEST ELEVATION 1
SCALE: 1/16" = 1'-0"

SIGN #2 - SIGN ABOVE 50' HEIGHT		
	ALLOWED	PROPOSED
SIGN AREA	200 SF MAX. FOR SIGNS OVER 50' OR GREATER, BUT LESS THAN 200' WHEN TEXT AND GRAPHIC LOGOTYPE ARE USED AS EMBLEM, AND WHEN THIS EMBLEM IS TO SERVE AS PRINCIPAL MEANS OF BUILDING IDENTIFICATION AS PER 10.3.6.d.	200 SF
LENGTH	(84'-5") x (80%) = 67'-6"	50'-1"

* ALL CALCULATIONS ARE BASED ON REQUIREMENTS FROM ARTICLE 10.3.6.



NORTH ELEVATION 3
SCALE: 1/16" = 1'-0"

No.	DATE	REVISION	BY

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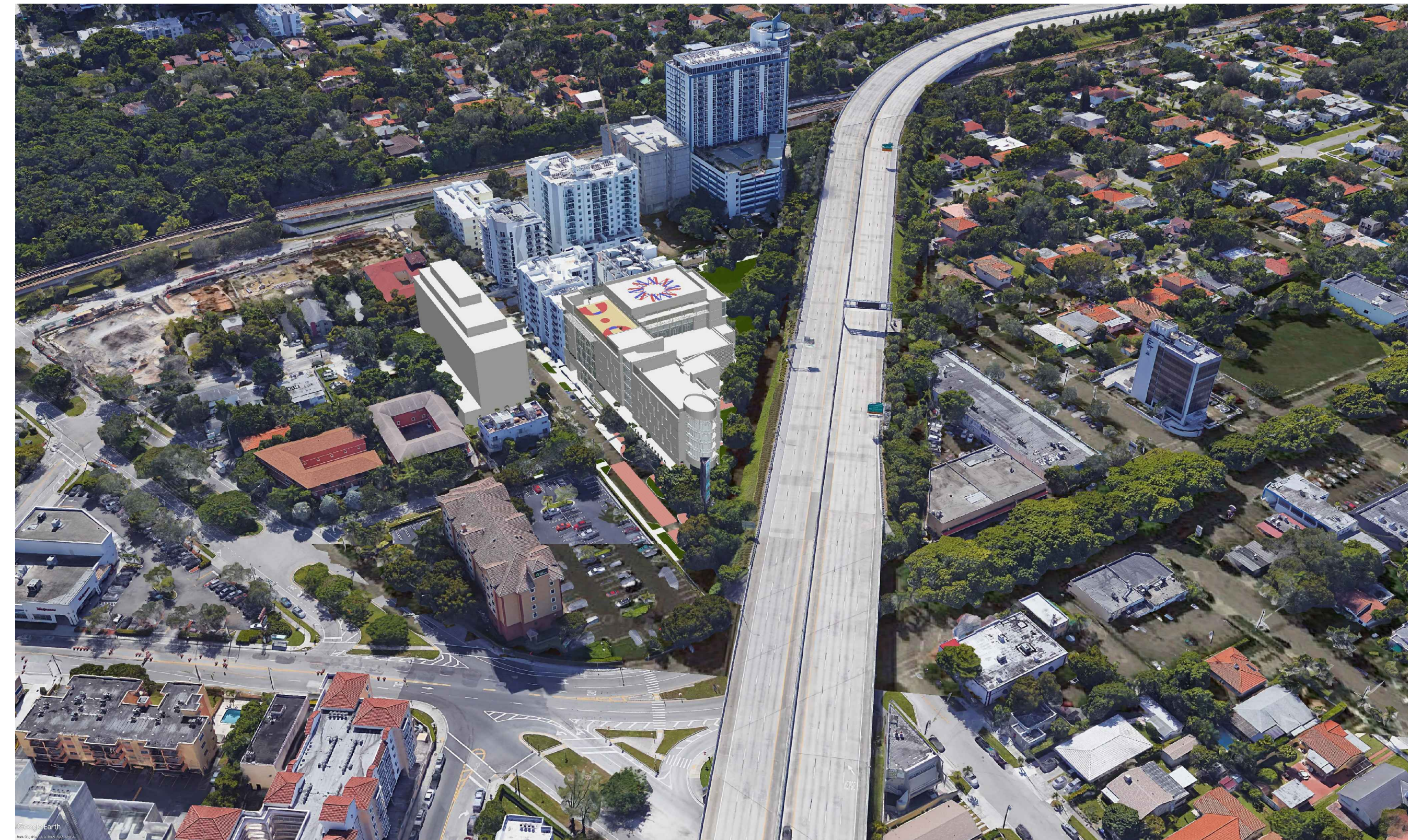
**WEST & NORTH
ELEVATIONS**

SHEET NUMBER

A-10.0



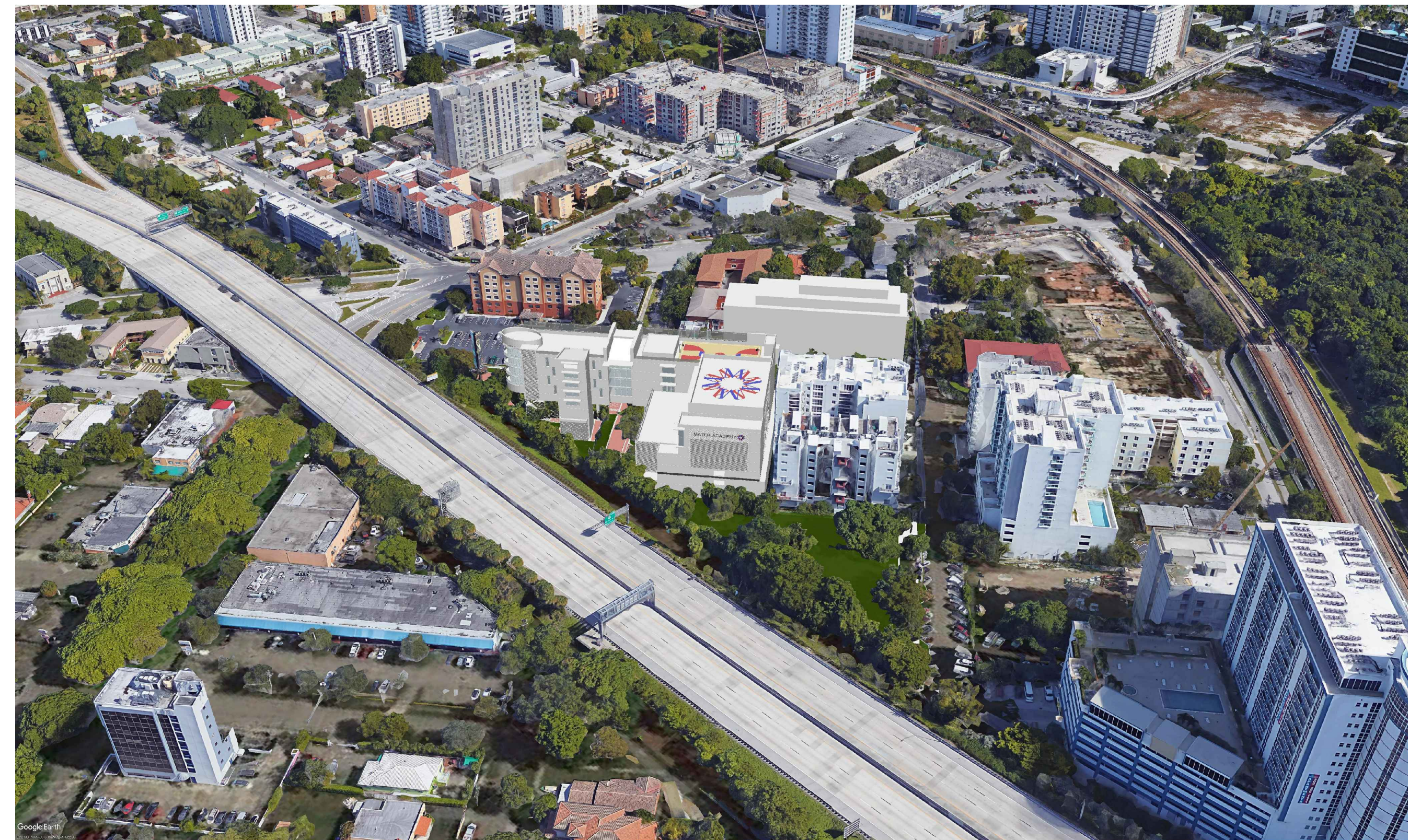
AERIAL CONTEXT RENDERING #1



AERIAL CONTEXT RENDERING #2



AERIAL CONTEXT RENDERING #3



AERIAL CONTEXT RENDERING #4

No.	DATE	REVISION	BY

DRAWN BY: AB APPROVED BY: RL
DATE: MAY 7, 2018 SCALE: AS SHOWN
KEY PLAN

SEAL/SIGNATURE

ROLANDO LLANES
AR - 0013160

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SHEET TITLE
**AERIAL
CONTEXT
RENDERINGS**

SHEET NUMBER
A-11.0



RENDERING LOOKING NORTH ON SW 17TH RD



RENDERING LOOKING SOUTH ON SW 17TH RD



RENDERING OF VIEW FROM I-95



RENDERING OF VIEW FROM I-95



RENDERING OF VIEW FROM I-95

No.	DATE	REVISION	BY

DRAWN BY: AB
APPROVED BY: RL
DATE: MAY 7, 2018
SCALE: AS SHOWN
KEY PLAN



AERIAL RENDERING



AERIAL RENDERING

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SHEET TITLE

RENDERINGS

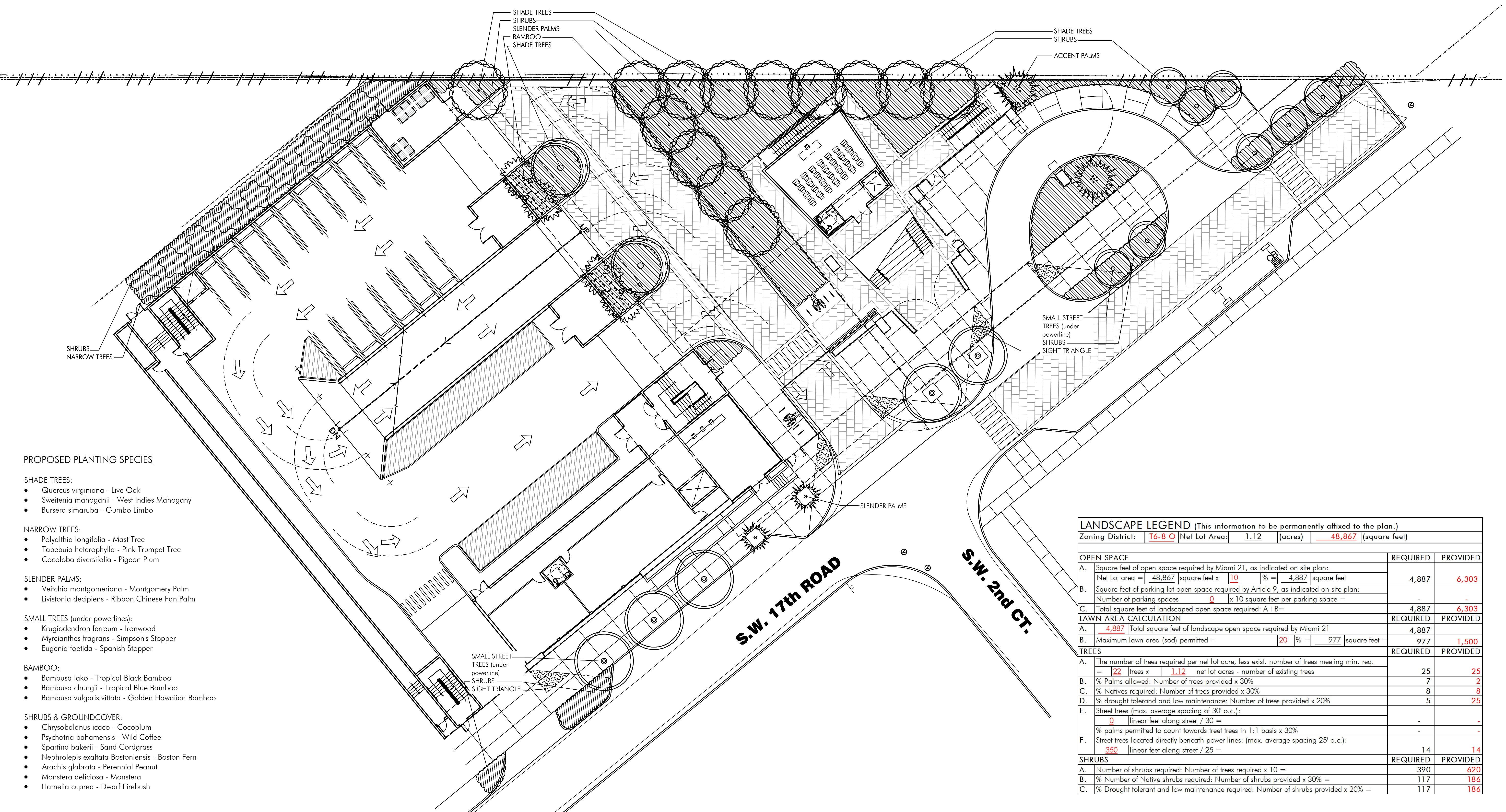
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A-12.0



No.	DATE	REVISION	BY

DRAWN BY: XI
APPROVED BY: KEG
DATE: APR. 9, 2018
SCALE: AS SHOWN
KEY PLAN



PROPOSED PLANTING SPECIES

- SHADE TREES:**
- Quercus virginiana - Live Oak
 - Sweitania mahoganii - West Indies Mahogany
 - Bursera simaruba - Gumbo Limbo

- NARROW TREES:**
- Polyalthia longifolia - Mast Tree
 - Tabebuia heterophylla - Pink Trumpet Tree
 - Cocoloba diversifolia - Pigeon Plum

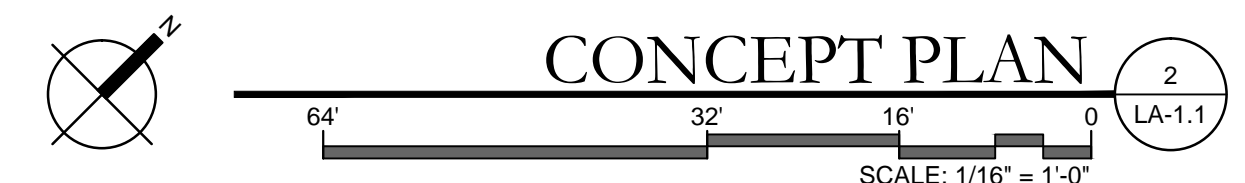
- SLIMMER PALMS:**
- Veitchia montomeriana - Montgomery Palm
 - Livistonia decipiens - Ribbon Chinese Fan Palm

- SMALL TREES (under powerlines):**
- Krugiodendron ferreum - Ironwood
 - Myrcianthes fragrans - Simpson's Stopper
 - Eugenia foetida - Spanish Stopper

- BAMBOO:**
- Bambusa lako - Tropical Black Bamboo
 - Bambusa chungii - Tropical Blue Bamboo
 - Bambusa vulgaris vittata - Golden Hawaiian Bamboo

- SHRUBS & GROUND COVER:**
- Chrysobalanus icaco - Cocoplum
 - Psychotria bahamensis - Wild Coffee
 - Spartina bakerii - Sand Cordgrass
 - Nephrolepis exaltata Bostoniensis - Boston Fern
 - Arachis glabrata - Perennial Peanut
 - Monstera deliciosa - Monstera
 - Hamelia cuprea - Dwarf Firebush

LANDSCAPE LEGEND (This information to be permanently affixed to the plan.)		
Zoning District:	T6-8 O	Net Lot Area: 1.12 (acres) = 48,867 (square feet)
OPEN SPACE		
A. Square feet of open space required by Miami 21, as indicated on site plan:	REQUIRED	PROVIDED
Net Lot area = 48,867 square feet x 10 % = 4,887 square feet	4,887	6,303
B. Square feet of parking lot open space required by Article 9, as indicated on site plan:		
Number of parking spaces = 0 x 10 square feet per parking space =	-	-
C. Total square feet of landscaped open space required: A+B=	4,887	6,303
LAWN AREA CALCULATION		
A. 4,887 Total square feet of landscape open space required by Miami 21	4,887	
B. Maximum lawn area (sod) permitted = 20 % = 977 square feet =	977	1,500
TREES		
A. The number of trees required per net lot acre, less exist. number of trees meeting min. req.	25	25
= 22 trees x 1.12 net lot acres - number of existing trees	7	2
B. % Palms allowed: Number of trees provided x 30%	8	8
C. % Natives required: Number of trees provided x 30%	8	8
D. % drought tolerant and low maintenance: Number of trees provided x 20%	5	25
E. Street trees (max. average spacing of 30' o.c.):		
0 linear feet along street / 30' =	-	-
% palms permitted to count towards tree trees in 1:1 basis x 30%	-	-
F. Street trees located directly beneath power lines: (max. average spacing 25' o.c.):		
350 linear feet along street / 25' =	14	14
SHRUBS		
A. Number of shrubs required: Number of trees required x 10 =	390	620
B. % Number of Native shrubs required: Number of shrubs provided x 30% =	117	186
C. % Drought tolerant and low maintenance required: Number of shrubs provided x 20% =	117	186



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SHEET TITLE
CONCEPTUAL LANDSCAPE DEVELOPMENT PLAN

SHEET NUMBER
LA-1.0

PROJECT:

**MATER BRICKEL
PREPARATORY
ACADEMY**

FOLIO: 01-4139-101-0020
01-4139-101-0010

APPLICANT:
MATER ACADEMY INC.

ISSUED FOR:
**WARRANT
APPROVAL**

CIVICA PROJECT NO :
150132

CONSULTANTS:



No.	DATE	REVISION	BY

DRAWN BY	APPROVED BY
XI	KEG
DATE	SCALE:
APR. 9, 2018	AS SHOWN
KEY PLAN	

LANDSCAPE SPECIFICATIONS
PART 1 - GENERAL

- 1.1 SCOPE
A. Contractor shall provide all labor, materials, equipment, supervision, and related work necessary to complete the landscape work in accordance with the intent of the landscape plans, schedules and these specifications. The extent of work is shown on the drawings which are a part of this document.
- 1.2 CONTRACTOR QUALIFICATIONS
A. Landscape installation work to be performed by a Contractor Certified by the Florida Nurserymen, Growers and Landscape Association (FNGLA) as a Certified Landscape Contractor. Any pruning to be supervised by an Arborist, certified by the International Society of Arboriculture (ISA) and licensed in Miami-Dade County.
- 1.3 INVESTIGATION OF UTILITIES
A. Prior to beginning work, the Contractor shall be responsible to locate existing underground utilities. Check with all utility companies and Sunshine State, call (811).
- 1.4 SUBSTITUTIONS
A. Only materials specified will be accepted, unless approved in writing by the Landscape Architect in advance.
- 1.5 PLANT SIZES
A. All plant sizes shall equal or exceed the minimum sizes as specified in the plant list. When plant sizes are specified as a range of size, installed materials shall average the mean of the range specified. Plants shall be measured following pruning, with branches in normal position. All necessary pruning shall be done at the time of planting.
- 1.6 PLANT QUALITY
A. All plant material shall be equal to or better than Florida No. 1 as classified by "Grades and Standards for Nursery Plants" by the Division of Plant Industry, Florida Department of Agriculture. They shall have a growth habit that is normal for the species, healthy, vigorous, free from insects, disease and injury.
- B. The Owner or Landscape Architect reserves the right to refuse any plant material which does not conform to the intent of the written specifications or design.
- C. CIRCLING ROOTS FOUND ON CONTAINER-GROWN MATERIAL WILL NOT BE ACCEPTED UNLESS REMEDIAL ROOT PRUNING, APPROVED BY THE LANDSCAPE ARCHITECT IS DONE BEFORE PLANTING.
- 1.7 PLANT QUANTITY
A. The plant quantities shown on the plant list are to be used only as an aid to bidders. In the case of discrepancy between the plant list and the plan, the quantity on the plan shall override the plant list.
- 1.8 UNIT PRICES
A. The successful bidder shall furnish to the Owner and the Landscape Architect, a unit price breakdown for all materials. The Owner may, at his discretion, add to or delete from the materials utilizing the unit price breakdown submitted to and accepted by the Owner.
- 1.9 SUBMITTALS
A. Fertilizer: The Contractor shall submit to the Owner and Landscape Architect documentation that all the fertilizer used for the project is of the analysis specified and placed at the rates specified in section 2.2 FERTILIZER.
- B. Planting soil: The Contractor shall submit a sample of the planting soil (approximately 1 cu. Ft.) to be analyzed by the Landscape Architect prior to delivery to the site.
- 1.10 CLEAN-UP & MAINTENANCE OF TRAFFIC
A. Follow procedures in FDOT Index 600 for maintenance of traffic during construction.
- B. At the end of each work day, the Contractor shall remove debris and shall barricade the un-filled holes in a manner appropriate in the path of pedestrians and motorists.
- C. Upon completion of the work or any major portion of the work or as directed by the Landscape Architect, all debris and surplus material from his work shall be removed from the job site.
- 1.11 MAINTENANCE PRIOR TO ACCEPTANCE
A. The Contractor is responsible to maintain the plantings until they are accepted under the provisions of 1.12 "ACCEPTANCE OF INSTALLATION".
1. Plants: Begin maintenance immediately following the final plant installation operation for each plant and continue until plant installation is complete and accepted. Maintenance shall include but not be limited to: watering all plants, weeding, mulching, pest and disease control, lightning and repairing of guys, repair of braces, removal of dead growth, resetting of plants to proper grade or up-right position, restoration of plant saucers, litter pick-up in plant beds and other necessary operations to assure specified minimum grade of Florida No. 1.
2. Turf Areas: Begin maintenance of turf immediately following the placement of soil and continue until soil installation is complete and accepted. Maintenance shall include but not be limited to: watering, leveling, mowing, weed and pest control, fungus and disease control and other necessary operations as determined by the Landscape Architect and good nursery practice.
3. Re-setting or straightening trees and palms:
The Contractor shall re-set and/or straighten trees and palms as required at no additional cost to the Owner unless caused by sustained winds of 75 mph or more. Then, the costs of the operations may be charged to the owner. Re-set trees within 48 hours.
- 1.12 ACCEPTANCE OF INSTALLATION
A. Inspection: Inspection of the work, to determine completion of contract work, exclusive of the possible replacement of plants and turf, will be made by the Landscape Architect at the conclusion of the maintenance period. Written notice requesting such inspection and submitted by the Contractor at least ten (10) days prior to the anticipated date.
- 1.13 GUARANTEE
A. Guarantee all plants for a period of one year (CCD). Guarantee shall commence from the date of written acceptance. Plant material which is on the site and scheduled to be relocated is not covered by the guarantee except in the case of Contractor's negligence or work that has been done in an unworkman-like manner. The Contractor is not responsible for loss due to acts of god, (i.e.) sustained winds of 75 mph or more, floods, frost, lightning, vandalism or theft.
- 1.14 REPLACEMENT
A. Replacement shall be made during the guarantee period as directed by the Landscape Architect within ten (10) days from time of notification. For all replacement plant material, the guarantee period shall extend for an additional forty-five (45) days beyond the original guarantee period. The Contractor shall be responsible to provide water to the replacement plants in sufficient quantity to aid in their establishment. At the end of the guarantee period, inspection will be made by the Landscape Architect, upon written notice requesting such inspection and submitted by the Contractor at least five (5) days before the anticipated date. Replacement plants must meet the requirements of Florida No. 1 at time of inspection. Remove from the site all plants that are dead or in a state of unsatisfactory growth, as determined by the Landscape Architect. Replace these and any plants missing due to the Contractor's negligence as soon as conditions permit.

1. Materials and Operations: All replacement plants shall be of the same kind and size as indicated on the plant list. The Contractor shall supply and plant the plants as specified under planting operations.
2. Cost of Replacements: A sum sufficient to cover the estimated cost of possible replacements, including material and labor will be retained by the Owner and paid to the Contractor after all replacements have been satisfactorily made and approved by the Landscape Architect.
- PART 2 - MATERIALS**
- 2.1 PLANTING SOIL
A. Planting soil for trees, shrubs and ground covers shall be of the composition noted on the plans, measured by volume.
- B. Soil for Soddied Areas: shall be coarse lawn sand.
- 2.2 FERTILIZER
A. Fertilizer for trees, palms, shrubs, and groundcovers shall be as follows: LESCO Palm Special 13-3-13 or equal, Sulfur coated with iron and other minor elements and maximum of 2% chlorine, or brand with equal analysis. The fertilizer shall be uniform in composition, dry and free flowing and shall be delivered to the site in the original unopened containers, bearing the manufacturer's guaranteed analysis. Fertilizer for soil and seeded areas shall be 8-6-8, 50% organically derived nitrogen, or equal.
- 2.3 WATER
A. The Contractor shall provide potable water on site, available from the start of planting. The Contractor is responsible to ascertain the location and accessibility of the water source. The Contractor is responsible to provide the means of distribution (i.e. water truck, hoses, etc.) for distribution of water to the planting areas.
- 2.4 MULCH
A. Mulch shall be shredded Melaleuca mulch (Florimulch) as manufactured by Forestry Resources, Inc., or equal.
- 2.5 ROOT BARRIER MATERIAL
A. When specified in the plans, root barrier material shall be Biobarrier (19.5 inch width) Remail or approved equal.
- B. Install per details in the plans.

PART 3 - INSTALLATION PROCEDURES

- 3.1 LAYOUT
A. Verify location of all underground utilities and obstructions prior to excavation.
- 3.2 HERBICIDE TREATMENT
A. In all areas infested with weed and/or grass growth, a systemic herbicide, such as Roundup, shall be applied per manufacturer's rates. When it has been established where work will be done, the systemic herbicide shall be applied in accordance with manufacturer's labeling to kill all noxious growth. Contractor shall schedule his work to allow more than one application to obtain at least 95% kill of undesirable growth. If necessary, Contractor shall conduct a test to establish suitability of product and applicator to be used on this project, prior to execution of the full application.
- 3.3 PLANT PIT EXCAVATION AND BACKFILLING
A. Trees: See the Planting and Bracing Details and notes.
B. All planting holes shall be hand dug where machine dug holes may adversely affect utilities or improvements.
C. Shrubs and Groundcover: Shrubs and groundcover shall be planted in a soil bed as described in the notes and details. Space shrubs and provide setback from curbs and pavements as shown in the plans.
D. Watering of field-grown plants: Thoroughly puddle in water to remove any air pockets in the plant hole.
- 3.4 WATERING
A. The Contractor is responsible to provide the water for all new plants and transplants and means of distribution (i.e. hand watering or water truck) during the maintenance period and extending into the period after acceptance until the full schedule as listed below is complete. Water for trees and other large field-grown plants shall be supplemented by hand or water truck, in addition to the irrigation system, (if one is provided). Contractor can adjust watering schedule during heavy rain season upon approval of the Landscape Architect.

AMOUNT OF WATER PER APPLICATION
For trees up to 5 inch caliper - 5 gallons
From 5 to 8 inch caliper - 25 gallons
9 inch and up caliper - 50 gallons

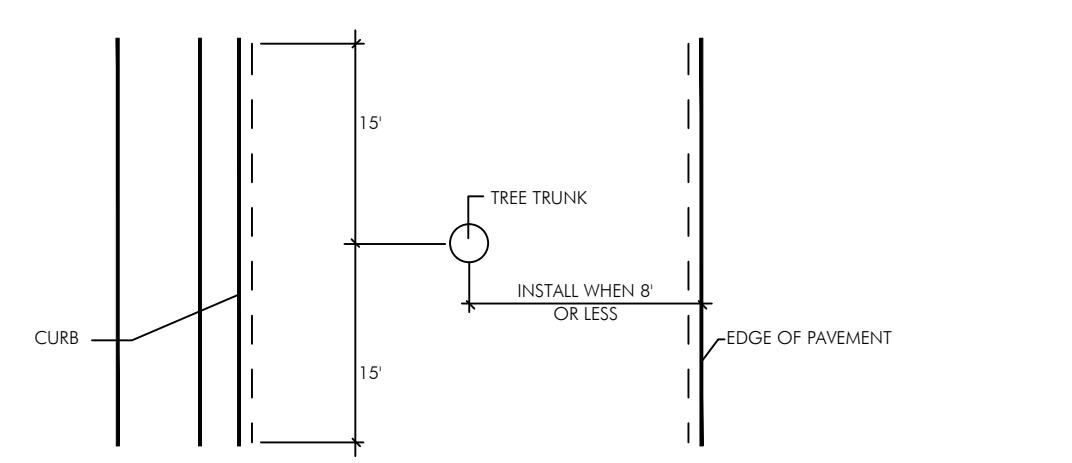
FREQUENCY OF WATER
Daily for the first week
3 times per week for weeks 2 - 5
2 times per week for weeks 6 - 8
1 time per week for weeks 9 - 12

B. Water in plants by thoroughly soaking of the entire root ball immediately after planting. For large trees and shrubs, add water while backfilling hole to eliminate any air pockets in the soil around the root ball.

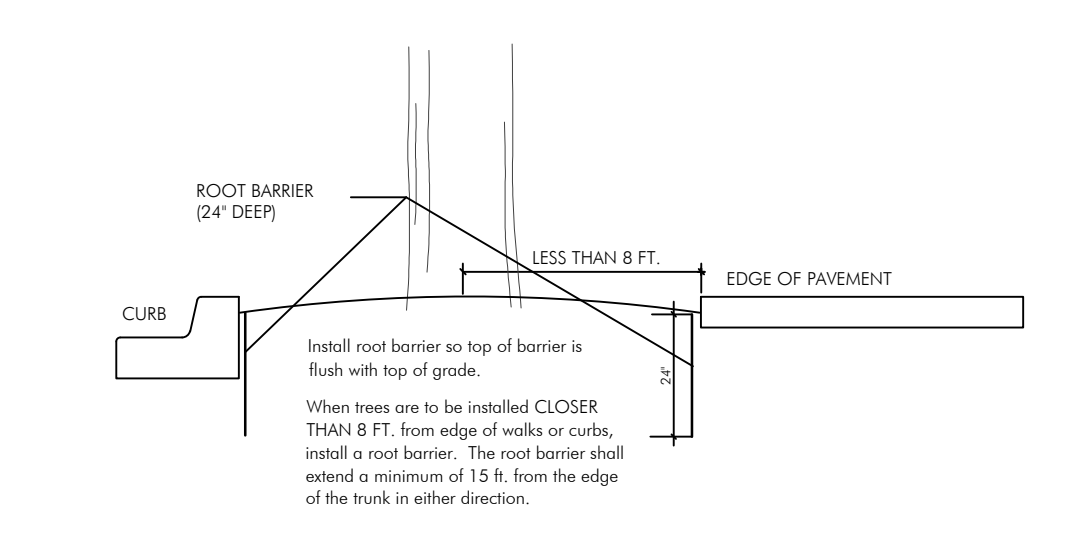
- C. Water shrubs, sod and groundcover a minimum of once daily for a week or until an irrigation system is fully operational. If no irrigation system is to be installed, the Contractor shall be responsible for watering the shrubs, sod, and groundcover for the time specified above, after installation of each section of the planting installed.
- 3.5 FERTILIZING
A. Add fertilizer on top of the surface of shrubs beds and tree and palms root balls two (2) months after installation. Fertilize sod within two (2) days after installing other plantings of each segment of the job. Fertilizer shall be applied after soil has been well moistened. Fertilizer shall be washed off of plant leaves and stems immediately after application. Apply at the following rates:
1. Trees and Large Shrubs: One (1) pound per inch of trunk diameter, spread evenly over the root ball area.
2. Shrubs: One half (1/2) handful per shrub, spread evenly over the root ball area.
3. Groundcover: Twelve (12) pounds per 100 sq. ft. of bed area.
4. Sod: Twelve (12) pounds per 1,000 sq. ft. Wash fertilizer off blades immediately after spreading.

- 3.6 MULCHING
A. Spread mulch two (2) inches thick uniformly over the entire surface of shrubs and groundcover beds, depth measured after settling, unless otherwise specified in the plans. Provide 36" diameter bed of mulch, measured from outer edge of the trunk, for all trees and palms planted in sod areas. Keep mulch away from contact with the trunk. Create a 6" high ring of mulch at the outer edge of tree and palm holes.
- 3.7 GUYING AND BRACING
A. See the details bound herewith or made part of the plans.
- 3.8 SODDING
A. Provide a blanket of lawn sand as described in the notes in these plans. Prior to planting, remove stones, sticks, etc. from the sub-soil surface. Excavate existing non-conforming soil as required so that the final grade of soil is flush with adjacent pavement or top of curb as well as adjacent soil in the case of sod patching.
B. Place sod on moistened soil, with edges tightly butted, in staggered rows at right angles to slopes. The sod shall be rolled with a 500 pound hand roller immediately after placing.
C. Keep edge of sod bed a minimum of 18" away from groundcover beds and 24" away from edge of shrub beds and 36" from trees, measured from the edge of plant or tree trunk.
D. Sod shall be watered immediately after installation to uniformly wet the soil to at least two inches below the bottom of sod strips.
E. Apply fertilizer to the sod as specified in Section 3.5.
- F. Excavate and remove excess soil so top of sod is flush w/top of curb or adjacent pavement, or adjacent existing soil.

- PLANT BED PREPARATION NOTES**
1. In all areas where new sod and shrub and groundcover masses are to be planted, kill all existing weeds by treating with Round-up prior to beginning soil preparation.
2. In all shrub and groundcover beds, prepare soil as described for either condition, over the entire area to be planted:
- Condition A:
If any compacted road base or asphalt or rocky soil is encountered, remove compacted material entirely to allow an 18" depth of planting soil. Backfill the entire area of the shrub and groundcover beds with 18" planting soil (as specified in Plans) to within 2 inches of the adjacent pavement or top of curb. Remove all debris and rocks and pebbles larger than 1 inch in size and level the grade before planting.
- Condition B:
Where no compacted soil is encountered, thoroughly mix 6 inches of planting soil into the existing soil to a depth of 18 inches. If required, excavate and remove the existing soil to lower the grade, so that the prepared mix is finished to a minimum of 2 inches below top of curb or adjacent walkway. Remove all debris and rocks and pebbles larger than 1 inch in size and level the grade before planting.
- For all sod areas, spread a 2" deep layer of lawn sand prior to sodding. Remove all debris and rocks and pebbles larger than 1 inch in size and level the grade before sodding. Remove, if required, existing soil so that top of sod is flush with and adjacent top of curb or pavement.
- SPACING OF PLANTS (SEE PLANT SPACING DETAIL)
1. Plants shall be planted sufficiently away from edges of pavements or curbs, to allow for growth toward the edges of the bed.
- PROTECTION OF PLANTS
1. The Contractor shall be responsible to protect existing trees and shrubs in and adjacent to the area of work. Erect barriers as necessary to keep equipment and materials, any toxic material, away from the canopy drip line of trees and shrubs. DO NOT FILL SOIL OR DEBRIS AGAINST TREE TRUNKS OR DEPOSIT NOXIOUS BUILDING SUPPLIES OR CHEMICALS WITHIN THE DRIP LINE.

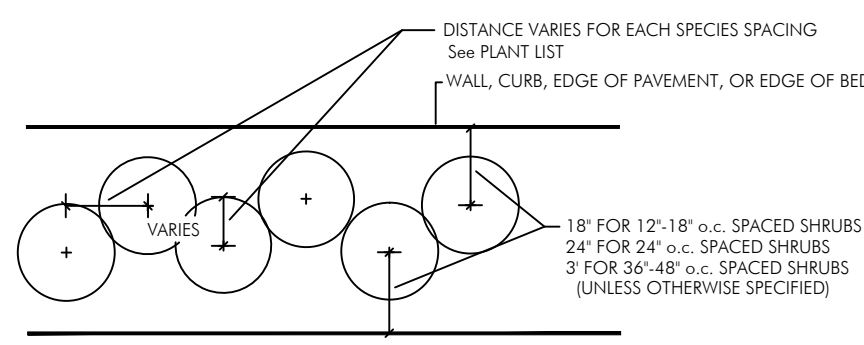


PLAN VIEW



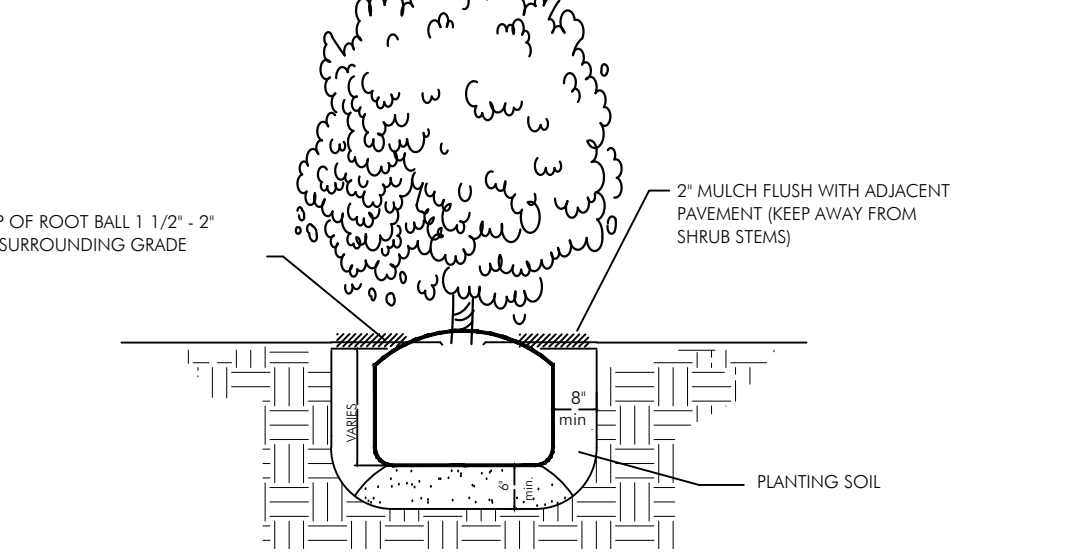
ROOT BARRIER INSTALLATION DETAIL

N.T.S.



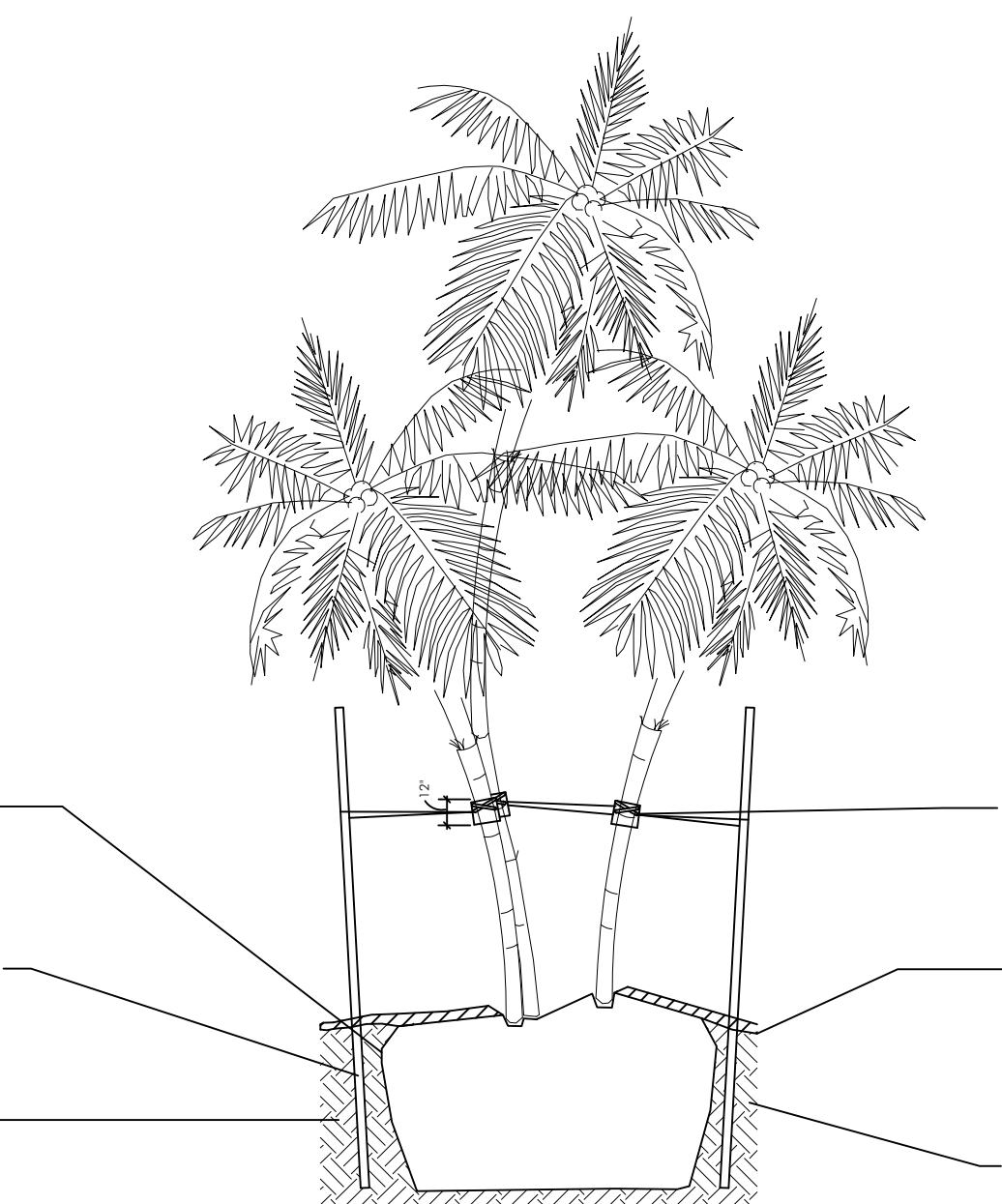
SHRUB SPACING DIAGRAM

N.T.S.



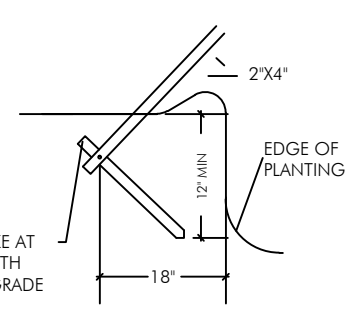
SHRUB INSTALLATION DETAIL

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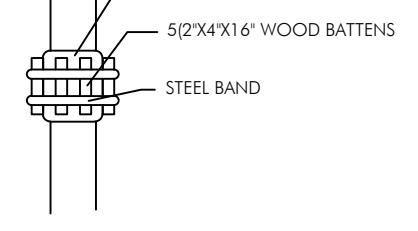
MULTI-TRUNKED PALM BRACING DETAIL

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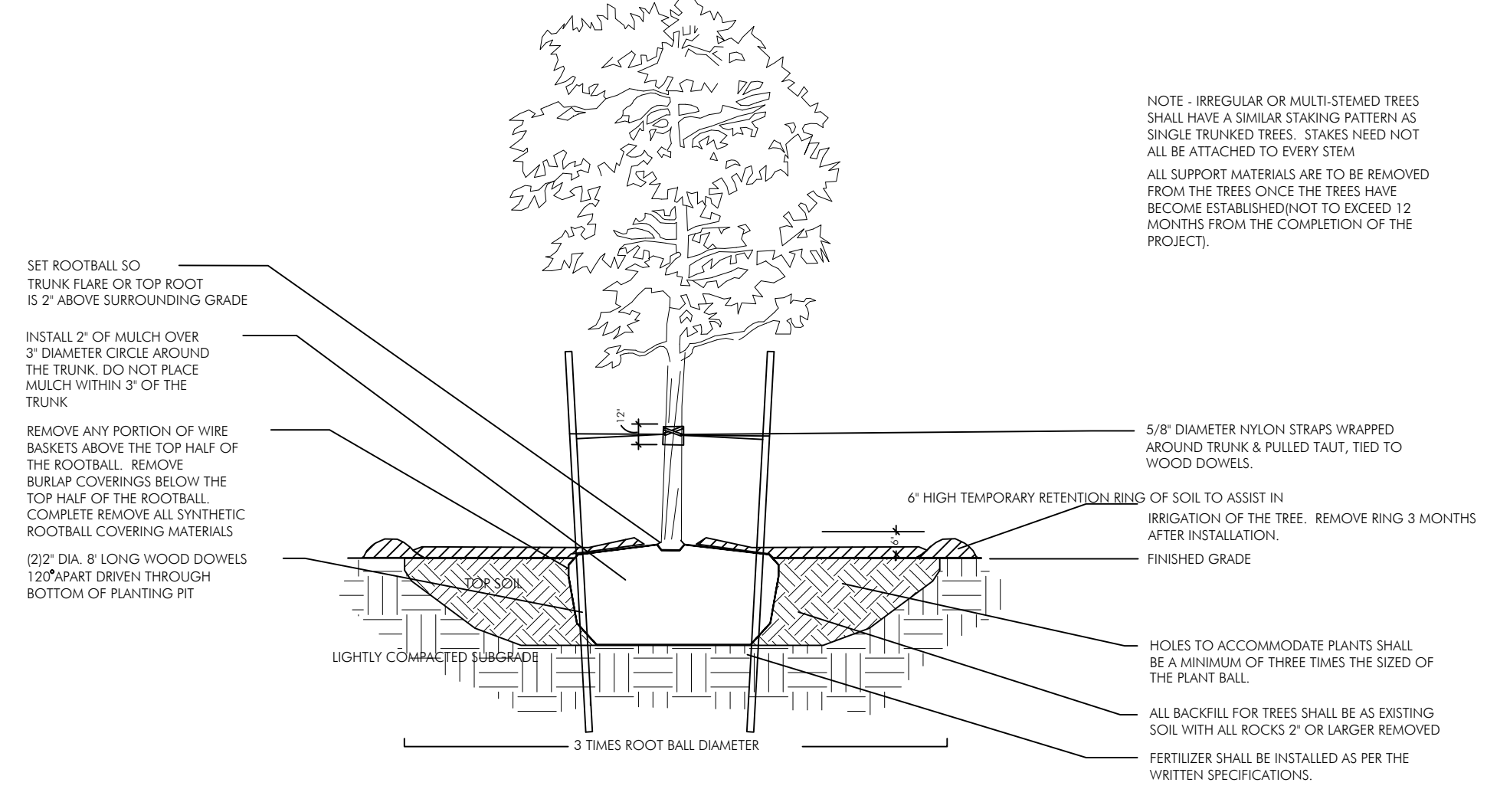
DETAIL A

N.T.S.



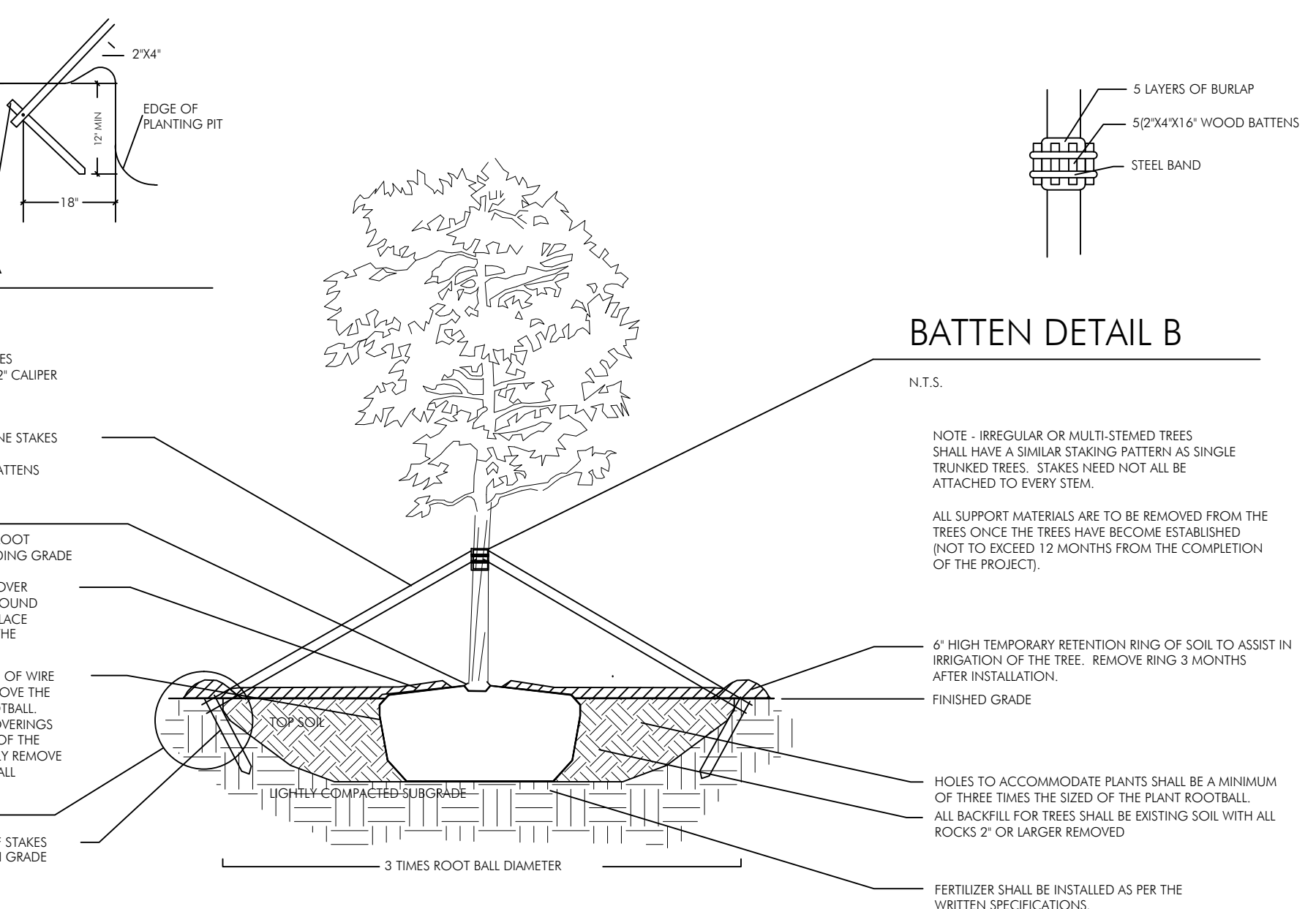
BATTEN DETAIL B

N.T.S.



PLANTING & BRACING DETAIL UNDER 3 1/2" CALIPER

N.T.S.



PLANTING & BRACING DETAIL OVER 3 1/2" CALIPER

N.T.S.

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LANDSCAPE SPECIFICATIONS & PLANTING DETAILS

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