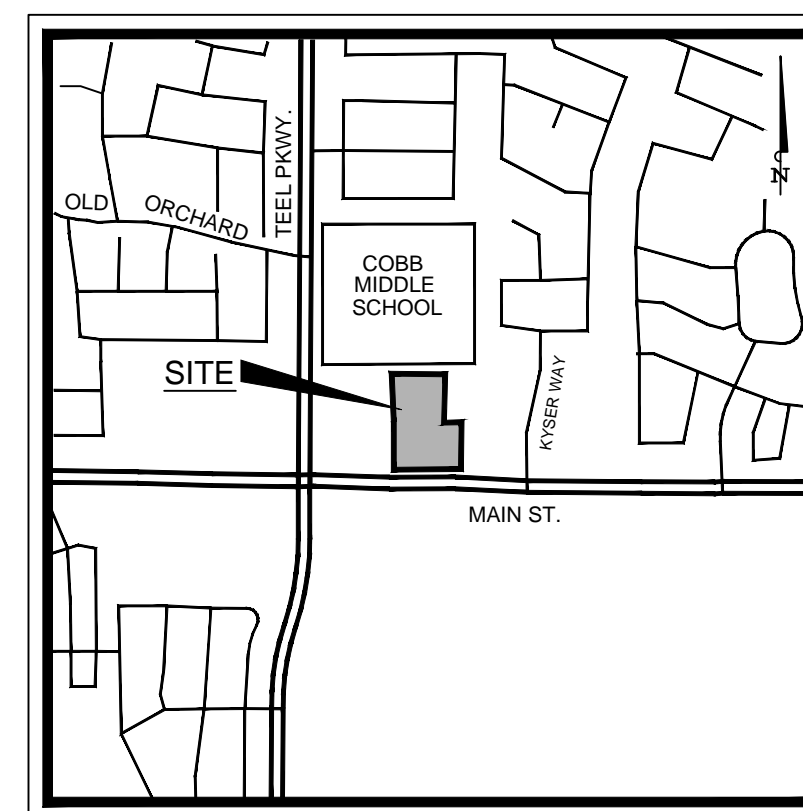


CIVIL PLANS

# TEEL CROSSING

LOT 4, BLOCK A, TEEL CROSSING SHOPPING CENTER I  
MAIN STREET  
FRISCO, TEXAS  
CITY PROJECT #SP15-0007 AND #SCSP15-0042



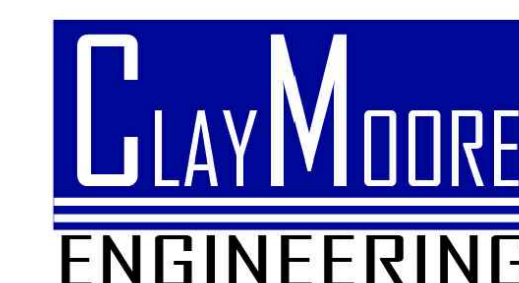
VICINITY MAP  
N.T.S.

SHEET LIST TABLE		
SHEET NUMBER	SHEET TITLE	REVISION DATE
C-0	COVER	05/19/2016
	CONVEYANCE PLAT	
EX-1	EASEMENT LAYOUT EXHIBIT	05/19/2016
1	SUBSTANTIALLY CONFORMING SITE PLAN	05/19/2016
2	OPEN SPACE PLAN	05/19/2016
C-1	GENERAL NOTES	05/19/2016
C-2	EROSION CONTROL PLAN	05/19/2016
C-3	EROSION CONTROL DETAILS	05/19/2016
C-4	DIMENSIONAL CONTROL AND PAVING PLAN	05/19/2016
C-5	MAIN STREET IMPROVEMENTS PLAN	05/19/2016
C-6	GRADING PLAN	05/19/2016
C-7	DRAINAGE AREA MAP EXISTING CONDITIONS	05/19/2016
C-8	DRAINAGE AREA MAP PROPOSED CONDITIONS	05/19/2016
C-9	DRAINAGE PLAN	05/19/2016
C-10	DRAINAGE PROFILES	05/19/2016
C-11	DRAINAGE AND DETENTION CALCULATIONS	05/19/2016
C-12	UTILITY PLAN	05/19/2016
C-13	WATER & SANITARY SEWER PROFILES	05/19/2016
C-14	CONSTRUCTION DETAILS	05/19/2016
C-15	CITY OF FRISCO STANDARD DETAILS	05/19/2016
L-1	LANDSCAPE PLAN	
L-2	LANDSCAPE PLAN	
L-3	LANDSCAPE DETAILS	
IR-1	IRRIGATION PLAN	
IR-2	IRRIGATION DETAILS	

PLAN SUBMITTAL LOG	
DESCRIPTION	SUBMITTAL DATE
SUBMITTAL #1	08/27/2015
SUBMITTAL #2	10/22/2015
RECORD DRAWINGS	05/19/2016

ARCHITECT  
DUANE MEYERS ARCHITECT  
560 PR 2422  
UNCERTAIN, TX 75661  
TEL 903.484.4040  
CONTACT: DUANE MEYERS  
EMAIL: DRMEYERS@MAC.COM

ENGINEER

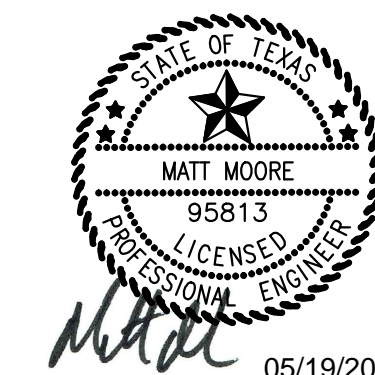


TEXAS REGISTRATION #14199  
1903 CENTRAL DRIVE  
SUITE #406  
BEDFORD, TX 76021  
PH. 817.281.0572  
FAX 817.281.0574  
CONTACT: MATT MOORE, PE  
EMAIL: MATT@CLAYMOOREENG.COM

MAY 2016

This drawing has been revised to show those changes during the construction process reported by the contractor to ClayMoore Engineering, Inc. and considered to be significant. This drawing is not guaranteed to be "As Built" but is based on the information made available.

By: Matt Moore Date: 07/27/2016



**STOP!**  
**CALL BEFORE YOU DIG**  
DIG TESS  
1-800-DIG-TESS  
(@ least 72 hours prior to digging)

C-0

TEEL CROSSING - FRISCO, TEXAS

SP15-0007 AND SCSP15-0042



**FLOOD STATEMENT:** According to Community Panel No. 48121C0440G, dated April 18, 2011 of the Federal Emergency Management Agency, National Flood Insurance Program map this property is within Flood Zone "X", which is not a special flood hazard area. If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This statement shall not create liability on the part of the Surveyor

REVISED CONVEYANCE PLAT  
TEEL CROSSING SHOPPING CENTER I  
LOT 3B & 4, BLOCK A

BEING A REPLAT OF LOT 3, BLOCK A OF TEEL CROSSING SHOPPING CENTER I AS  
RECORDED IN CABINET Y PAGE 441, PLAT RECORDS BOOK \_\_\_\_\_ COUNTY, TEXAS AND BEING  
SITUATED IN THE CRAIN AND WARREN SURVEY ABSTRACT NO. 229, CITY OF FRISCO,  
DENTON COUNTY, TEXAS

Owner: Teel Crossing Partners, Ltd. 14001 Dallas Parkway Dallas, Texas 75240	Engineer: ClayMoore Engineering 1903 Central Drive, Suite 406 Bedford, Texas 76021
---	---

Scale: 1" = 40'	Checked By: A.J. Bedford
Date: December 8, 2014	P.C.: Cryer/Spradling
Technician: Spradling/Elam	File: Lot 3 Teel Xing RePlat
Drawn By: Spradling/Elam	Job. No. 552-036
	GF No.

301 N. Alamo Rd. \* Rockwall, Texas 75087

(972) 722-0225, [www.ajbedfordgroup.com](http://www.ajbedfordgroup.com)

TBPLS REG#1011820

Sheet:  
1  
Of: 2

**AJ Bedford Group, Inc.**  
Registered Professional Land Surveyors

Filed for Record  
in the official records of  
Denton County

On: May 29, 2015 at 10:18

### Plot Records

Doc Number: 2015- 207

No of Pages: 2  
Amount 100.00

Receipt Number - 1293904

By,  
Jury Robinson

© 2005 Blackwell Publishing Ltd *Journal of Internal Medicine* 257: 105–112

\\Snpne\cad files\All FILES\552-CLAYMOORE ENGINEERING\frisco\teel &amp; main\Lot 3 Teel Xing Replat 1-19-2015.dwg, 5/11/2015 9:13:36 AM



STATE OF TEXAS §  
COUNTY OF DENTON §

WHEREAS TEEL CROSSING PARTNERS, LTD. is the owner of an 8.427 acre tract of land situated in the Crain and Warren Survey Abstract No. 229, City of Frisco, Denton County, Texas and being all of Lot 3, Block A of Teel Crossing Shopping Center I an addition to the City of Frisco according to the plat recorded in Cabinet Y, Page 441, Plat Records Denton County, Texas (PRDCT) and being more particularly described as follows:

BEGINNING at an x-cut in concrete found for corner in the north line of Main Street a variable width right of way for the southwest corner of said Lot 3 and the southeast corner of Lot 2, Block A of Teel Crossing Shopping Center I an addition to the City of Frisco according to the plat recorded in Cabinet W, Page 747 (PRDCT);

THENCE along the common line of said Lot 2 and Lot 3, NORTH 00°00'40" EAST a distance of 295.62 feet a x-cut in concrete in concrete found for corner;

THENCE continuing along the common line of said Lot 2 and Lot 3, SOUTH 89°59'20" WEST a distance of 192.72 feet to a 5/8 inch iron rod set for corner in the east line of Lot 1, Block A of Teel Crossing Shopping Center I an addition to the City of Frisco according to the plat recorded in Cabinet V, Page 894 (PRDCT);

THENCE along the common line of said Lot 1 and Lot 3 as follows:

NORTH 00°00'40" WEST a distance of 37.31 feet to a x-cut in concrete found for corner;

SOUTH 89°59'20" WEST a distance of 190.85 feet to a x-cut in concrete found for corner;

SOUTH 00°00'40" EAST a distance of 43.50 feet x-cut in concrete found for corner;

SOUTH 89°59'20" WEST a distance of 78.41 feet to a 5/8 inch iron rod set in the east line of Teel Parkway a variable width right of way and being the southwest corner of said Lot 3 and the northwest corner of said Lot 1;

THENCE along the east line of said Teel Parkway NORTH 03°50'01" WEST a distance of 76.78 feet to a 5/8 inch iron rod set for corner;

THENCE continuing along said Teel Parkway, NORTH 00°00'40" WEST a distance of 250.53 feet to a 5/8 inch iron rod set for the northwest corner of said Lot 3 and being the southwest corner of Lot 1, Block A of Robert Cobb Middle School an addition to the City of Frisco according to the plat recorded in Document No. 2010-155 Official Public Records Denton County, Texas (OPRDCT);

THENCE along the north line of said Lot 3 and along the south line of the aforementioned Lot 1, SOUTH 89°12'43" EAST a distance of 793.58 feet to a 5/8 inch iron rod set for the north east corner of said Lot 3 and the northwest corner of Lot 2, Block A of Huffman F.M. 720 Addition and revised Conveyance Plat of Block A, Lot 1R Frick Main Street Addition an addition to the City of Frisco according to the plat recorded in Document No. 2009-35 (OPRDCT);

THENCE along the common line of said Lot 3 and the aforementioned Lot 2 as follows:

SOUTH 00°47'59" WEST a distance of 310.08 feet to a 5/8 inch iron rod set for corner;

SOUTH 89°12'01" EAST a distance of 96.80 feet to a 5/8 inch iron rod set for corner;

SOUTH 00°47'59" WEST a distance of 299.89 feet to a 5/8 inch iron rod set for corner in the north line of said Main Street;

THENCE along the north line of said Main Street, NORTH 89°12'43" WEST a distance of 414.57 feet to the POINT OF BEGINNING;

CONTAINING 8.427 acres or 367,101 square feet of land more or less.

#### GENERAL NOTES:

Selling off a portion of this addition by metes and bounds is a violation of City Ordinance and State Laws, and is subject to fines and withholding of utilities and building certificates.

All corners are 5/8 inch iron rod set unless otherwise noted.

Basis of Bearings: Bearings are based on the Plat of Teel Crossing Shopping Center I as recorded in Cabinet Y, Page 441 of the Plat Records of Denton County, Texas.

FLOOD STATEMENT: According to Community Panel No. 48121C0440G, dated April 18, 2011 of the Federal Emergency Management Agency, National Flood Insurance Program map this property is within Flood Zone "X", which is not a special flood hazard area. If this site is not within an identified special flood hazard area, this flood statement does not imply that the property and/or the structures thereon will be free from flooding or flood damage. On rare occasions, greater floods can and will occur and flood heights may be increased by man-made or natural causes. This statement shall not create liability on the part of the Surveyor

NOTICE: A conveyance plat is a record of property approved by the City of Frisco, Texas, for the purpose of sale or conveyance in its entirety or interests thereon defined. No building permit shall be issued nor permanent public utility service provided until a final plat is approved, filed or record and public improvements accepted in accordance with the provisions of the Subdivision Ordinance of the City of Frisco. Selling a portion of this addition by metes and bounds is a violation of city ordinance and state law and is subject to fines and withholding of utilities and building permits.

#### NOW, THEREFORE, KNOW ALL MEN BY THESE PRESENTS:

THAT TEEL CROSSING PARTNERS, LTD. acting herein by and through its duly authorized officers, does hereby certify and adopt this plat designating the herein above described property as TEEL CROSSING SHOPPING CENTER I, BLOCK A, LOTS 3R & 4, being a replat of Lot 3, Block A of Teel Crossing Shopping Center I as recorded in Cabinet Y Page 441 Plat Records Collin County, Texas an addition to the City of Frisco, and does hereby dedicate to the public use forever, the streets and alleys shown thereon. The TEEL CROSSING PARTNERS, LTD does herein certify the following:

1. The streets and alleys are dedicated in fee simple for street and alley purposes.
2. All public improvements and dedications shall be free and clear of all debt, liens, and/or encumbrances.
3. The easements and public use areas, as shown, and created by this plat, are dedicated for the public use forever for the purposes indicated on this plat.
4. No buildings, fences, trees, shrubs or other improvements or growths shall be constructed or placed upon, over or across the easements as shown, except that landscape improvements may be placed in landscape easements if approved by the City of Frisco.
5. The City of Frisco is not responsible for replacing any improvements in, under, or over any easements caused by maintenance or repair.
6. Utility easements may also be used for the mutual use and accommodation of all public utilities desiring to use or using the same unless the easement limits the use to particular utilities, said use by public utilities being subordinate to the public's and City of Frisco's use thereof.
7. The City of Frisco and public utilities shall have the right to remove and keep removed all or parts of any buildings, fences, trees, shrubs or other improvements or growths which may in any way endanger or interfere with the construction, maintenance, or efficiency of their respective systems in the easements.
8. The City of Frisco and public utilities shall at all times have the full right of ingress and egress to or from their respective easements for the purpose of constructing, reconstructing, inspecting, patrolling, maintaining, reading meters, and adding to or removing all or parts of their respective systems without the necessity at any time procuring permission from anyone.
9. All modifications to this document shall be by means of plat and approved by the City of Frisco.

This plat approved subject to all platting ordinances, rules, regulations and resolutions of the City of Frisco, Texas.

WITNESS, my hand, this the 13<sup>TH</sup> day of MAY 2015.

By: TEEL CROSSING PARTNERS, LTD.

Signature: Vaughn Miller

Name: Vaughn Miller

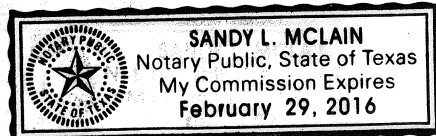
Title: MANAGER

STATE OF TEXAS §  
COUNTY OF DENTON §

BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared Vaughn Miller known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the 13<sup>TH</sup> day of MAY, 2015.

Sandy L. McLain  
Notary Public, State of Texas



#### FIRE LANE EASEMENT

The undersigned covenants and agrees that he (they) shall construct upon the fire lane easements, as dedicated and shown hereon, a hard surface paved in accordance with City standards and that he (they) shall maintain the same in a state of good repair at all times and keep the same free and clear of any structures, fences, trees, shrubs, or other improvements or obstruction, including but not limited to the parking, loading, or unloading of motor vehicles, trailers, boats, or other impediments to the access of fire apparatus. The maintenance of pavement in accordance to City standards of the fire lane easements is the responsibility of the owner, and the owner shall post and maintain signage in accordance to City standards in conspicuous places along the fire lanes, stating "Fire Lane, No Parking". The Chief of Police or his/her duly authorized representative is hereby authorized to cause such fire lanes and utility easements to be maintained free and unobstructed at all times for fire department and emergency use.

#### ACCESS EASEMENT

The undersigned covenants and agrees that the access easement(s) may be utilized by any person or the general public for ingress and egress to other real property, and for the purpose of general public vehicular and pedestrian use and access, and for the Fire Department, Police and emergency use in along, upon and across said premises, with the right and privilege at all times of the City of Frisco, its agents, employees, workmen and representatives having ingress, egress, and regress in, along, upon and across said premises.

#### DRAINAGE AND DETENTION EASEMENT (ABOVE GROUND DETENTION)

THE STATE OF TEXAS §  
COUNTY OF DENTON §  
CITY OF FRISCO §

This plat is hereby adopted by the Owners and approved by the City of Frisco (Called "City") subject to the following conditions which shall be binding upon the Owners, their heirs, grantees, successors and assigns: The Portion of Block A, as shown on the plat is called "Drainage and Detention Easement". The Drainage and Detention Easement within the limits of this addition, will remain open at all times and will be maintained in safe and sanitary condition by the owners of the lot or lots that are traversed by or adjacent to the Drainage and Detention Easement. The City will not be responsible for the maintenance and operation of said Easement or for any damage to private property or person that results from conditions in the Easement, or for the control of erosion. No obstruction to the natural flow of storm water run-off shall be permitted by onstruction of any type of building, fence or any other structure within the Drainage and Detention Easement, as herein above defined, unless approved by the City Engineer. Provided, however, it is understood that in the event it becomes necessary for the City to erect or consider erecting any type of drainage structure in order to improve the storm drainage that may be occasioned by drainage in or adjacent to the subdivision, then in such vent, the City shall have the right to enter upon the Drainage and Detention Easement at any point, or points, to investigate, survey or to erect, construct and maintain any drainage facility deemed necessary for drainage purposes. Each property owner shall keep the Drainage and Detention Easement clean and free of debris, silt, and any substance which would result in unsanitary conditions or obstruct the flow of water, and the City shall have the right of ingress and egress for the purpose of inspection and supervision of maintenance work by the property owner to alleviate any undesirable conditions which may occur. The natural drainage through the Drainage and Detention Easement is subject to storm water overflow and natural bank erosion to an extent which cannot be definitely defined. The City shall not be held liable for any damages of any nature resulting from the occurrence of these natural phenomena, or resulting from the failure of any structure or structures, within the Easement.

Approved this 13<sup>th</sup> day of May 2015 by the Planning & Zoning Commission of the City of Frisco, Texas.

W. J. Smith

Planning & Zoning Commission Chairperson

W. J. Smith

Planning & Zoning Commission Secretary

W. J. Smith

City Secretary



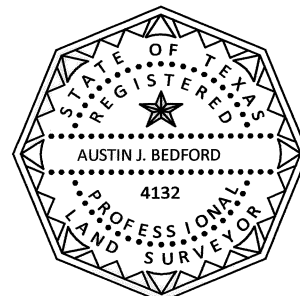
Know All Men By These Presents:

That I, Austin J. Bedford, do hereby certify that I prepared this plat and the field notes made a part thereof from an actual and accurate survey of the land and that the corner monuments shown thereon were properly placed under my personal supervision, in accordance with the Subdivision regulations of the City of Frisco, Texas. Dated this the 11th day of May, 2015.

Austin J. Bedford

Austin J. Bedford  
Texas Registered Professional Land Surveyor No. 4132  
A. J. Bedford Group, Inc.  
301 N Alamo Road  
Rockwall, Texas 75087

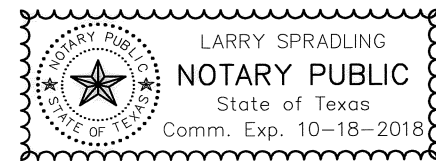
STATE OF TEXAS §  
COUNTY OF ROCKWALL §



BEFORE ME, the undersigned, a Notary Public in and for The State of Texas, on this day personally appeared Austin J. Bedford, known to me to be the person and officer whose name is subscribed to the foregoing instrument, and acknowledged to me that he executed the same for the purposes and considerations therein expressed and in the capacity therein stated.

GIVEN UNDER MY HAND AND SEAL OF OFFICE this the 11th day of May, 2015.

Larry Spradling  
Notary Public, State of Texas



#### GENERAL NOTE:

THE USE OF THE WORD "CERTIFY" OR "CERTIFICATE" USED HEREON CONSTITUTES AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THOSE FACTS OF FINDINGS WHICH ARE THE SUBJECT OF THE CERTIFICATION, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

CP14-0035

### REVISED CONVEYANCE PLAT TEEL CROSSING SHOPPING CENTER I LOT 3R & 4, BLOCK A

BEING A REPLAT OF LOT 3, BLOCK A OF TEEL CROSSING SHOPPING CENTER I AS RECORDED IN CABINET Y PAGE 441, PLAT RECORDS DENTON COUNTY, TEXAS AND BEING SITUATED IN THE CRAIN AND WARREN SURVEY ABSTRACT NO. 229, CITY OF FRISCO, DENTON COUNTY, TEXAS

Owner: Teel Crossing Partners, Ltd. 14001 Dallas Parkway Dallas, Texas 75240	Engineer: ClayMoore Engineering 1903 Central Drive, Suite 406 Bedford, Texas 76021
---	---

	Scale: 1" = 40'	Checked By: A.J. Bedford
	Date: December 8, 2014	P.C.: Cryer/Spradling
	Technician: Spradling/Elam	File: Lot 3 Teel Xing RePlat
	Drawn By: Spradling/Elam	Job. No. 552-036
		GF No.

301 N. Alamo Rd. \* Rockwall, Texas 75087  
(972) 722-0225, www.ajbedfordgroup.com

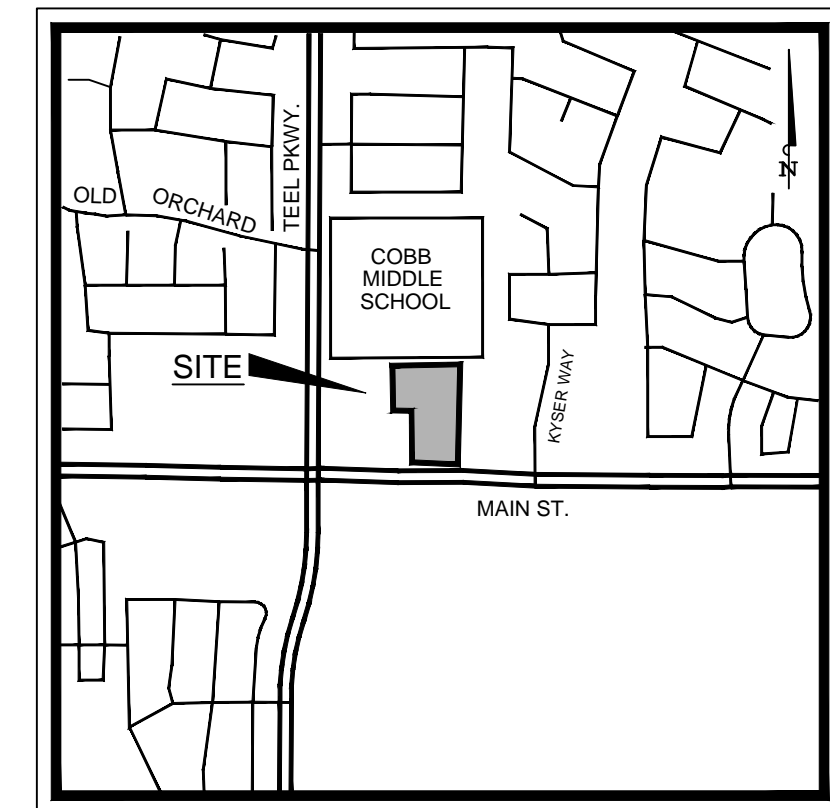
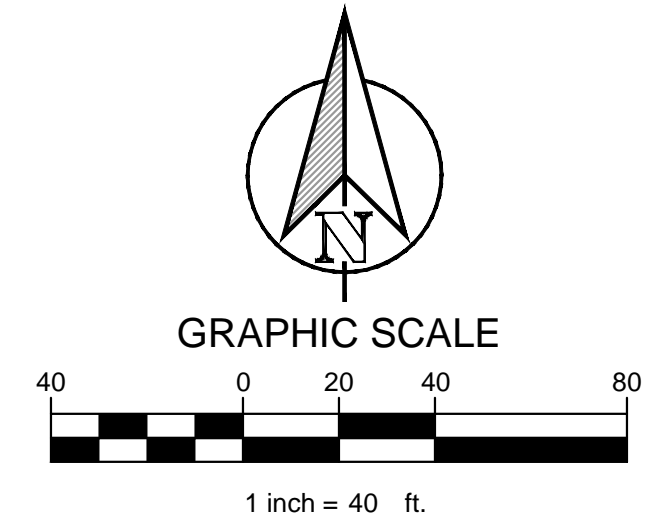
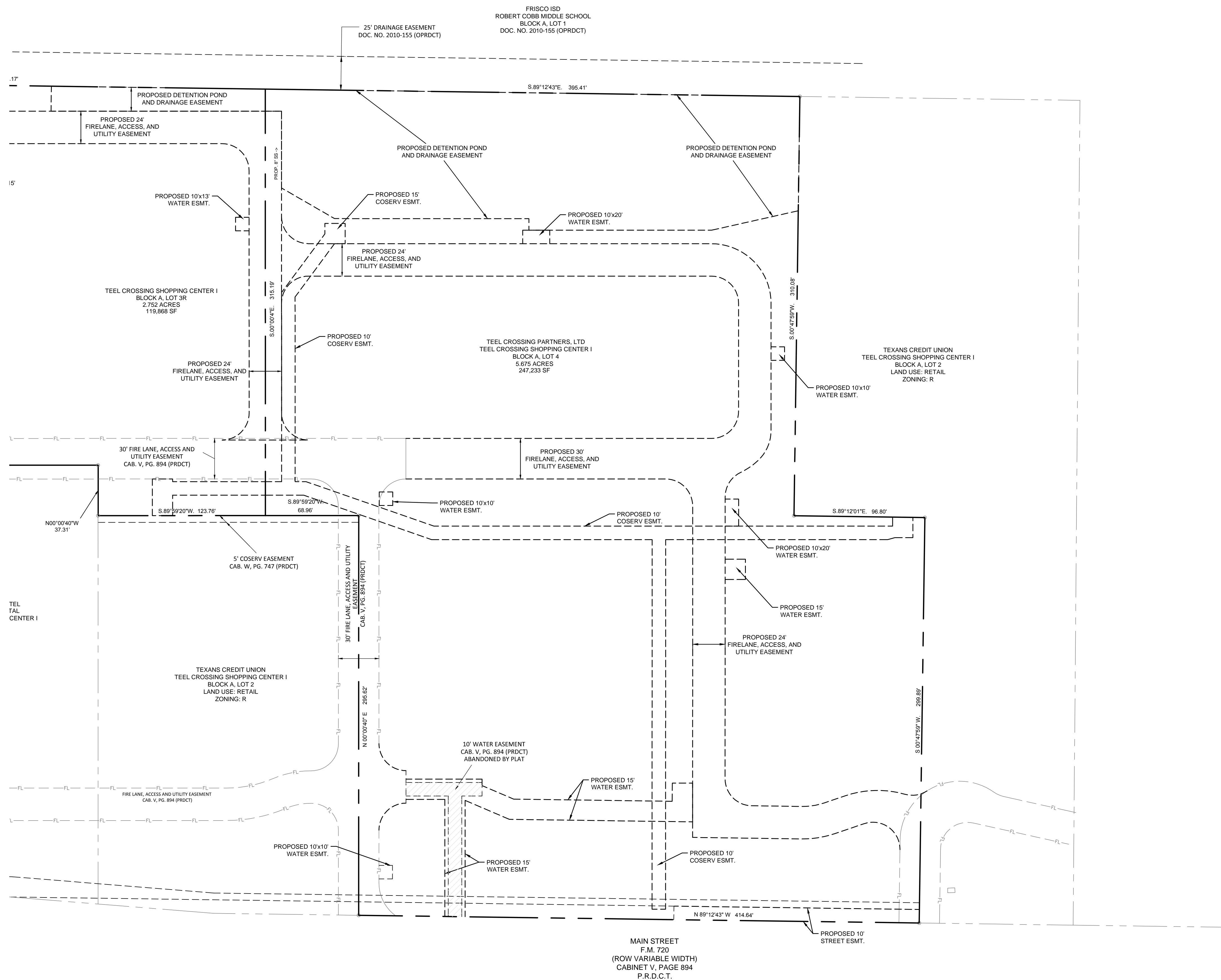
TBPLS REG#10118200

Sheet:  
1  
Of: 2

**AJ Bedford Group, Inc.**  
Registered Professional Land Surveyors

Filed for Record  
in the official records of:  
Denton County  
On: May 29, 2015 at 10:18AM  
As a  
Plat Records  
TEEL CROSSING SHOPPING CENTER I  
Doc Number: 2015- 207  
No of Pages: 2  
Amount 100.00  
Receipt Number - 1293904  
By: Jos Robinson

PLOTTED BY: BOBBY KUBIN  
 PLOT DATE: 5/19/2016 11:08 AM  
 LOCATION: Z:\PROJECTS\PROJECT  
 LAST SAVED: 5/19/2016 10:53 AM



This drawing has been revised to show those changes during the construction process reported by the contractor to ClayMoore Engineering, Inc. and considered to be significant. This drawing is not guaranteed to be "As Built" but is based on the information made available.

By: Watt U Date: 07/27/2016

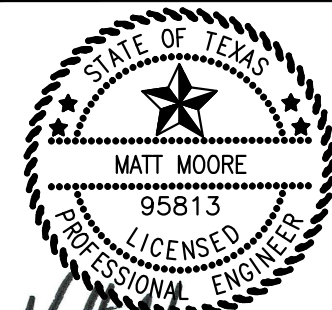
TEXAS REGISTRATION #14199

**CLAYMOORE**

**ENGINEERING**

100 CENTRAL DRIVE, SUITE #406  
DALLAS, TX 75201

PHONE: 817.281.0572  
WWW.CLAYMOOREENG.COM



05/19/2016

**TEEL CROSSING**  
**MAIN STREET**  
**FRISCO, TX**

[illegible]

EASEMENT LAYOUT EXHIBIT

DESIGN:	BJK
DRAWN:	BJK
CHECKED:	MAM
DATE:	05/19/2016

SHEET

EX-1

File No.

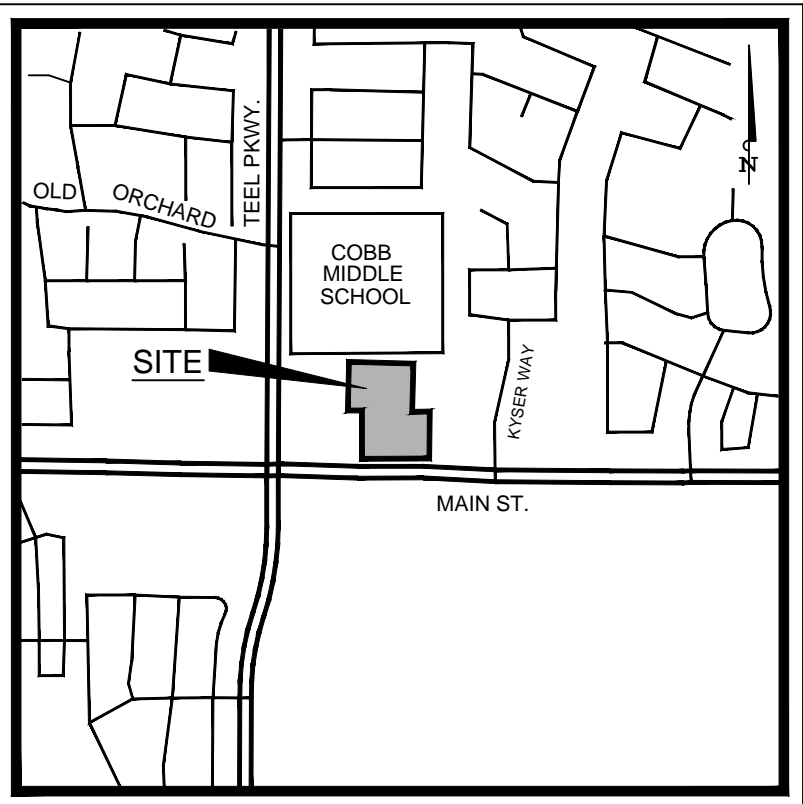


# SITE DATA SUMMARY

LOT	ZONING	PROPOSED USE	LOT SIZE (ACRES)	LOT SIZE (SQ. FT.)	BLDG. AREA (SQ. FT.)	BLDG. HGT. (FT # ST.)	LOT COVERAGE REQ.	PROV.	FLR AREA RATIO REQ.	PROV.	PARKING REQ. RATIO	REQ.	PROV.	HANDICAP SP. REQ.	PROV.	TOTAL IMPERVIOUS (SQ. FT.)	USABLE OPEN SPACE REQ.	PROV.	WATER RESOURCE ZONE REQ.	PROV.
4	R	RETAIL	5.68	247,233	29,770	22' - 1 ST.	50% MAX	12.0%	1:1 MAX	8.30:1	1:200 SF RETAIL	149	149	8	8	143,142	58%	7%	17,306	60,975
BUILDING A PHASE 1	R	RETAIL	-	-	20,020	22' - 1 ST.	50% MAX	8.1%	1:1 MAX		1:200 SF RETAIL	100	100	6	6	-	-	-	15 SF PER PARKING	2,235
BUILDING B PHASE 2	R	RETAIL	-	-	9,750	22' - 1 ST.	50% MAX	3.9%	1:1 MAX		1:200 SF RETAIL	49	49	2	2	-	-	-	-	-

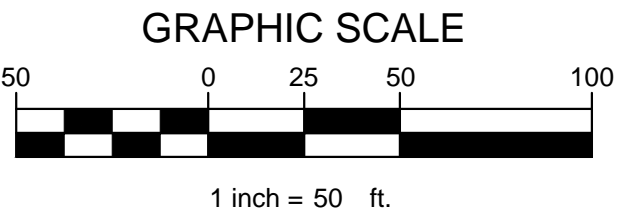
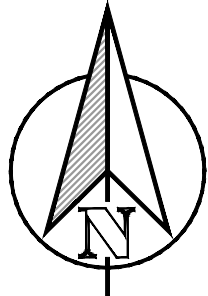
# OPEN SPACE SUMMARY

REQ.	PROV.	REQ.	PROV.	REQ.	PROV.	REQ.	PROV.
7%	17,306	60,975	15 SF PER PARKING	2,235	2,540	-	-



VICINITY MAP  
FLOODPLAIN NOTE

ACCORDING TO MAP NO. 4812100440G, DATED APRIL 18, 2011 OF THE NATIONAL FLOOD INSURANCE PROGRAM MAP, FLOOD INSURANCE RATE MAP OF DENTON COUNTY, TEXAS, FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, THIS PROPERTY IS WITHIN ZONE "X" (SHADED) AND IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA.



## LEGEND

---	EX. STORM LINE
---	EX. SEWER LINE
---	EX. WATER LINE
---	EX. FIRE HYDRANT
---	PROPOSED FIRE HYDRANT
---	PROPOSED SEWER LINE
---	PROPOSED WATER LINE
---	PROPOSED STORM DRAIN
---	PROPOSED FIRE LANE, ACCESS, AND UTILITY EASEMENT
---	PROPOSED WATER RESOURCE ZONE

This drawing has been revised to show those changes during the construction process reported by the contractor to ClayMoore Engineering, Inc. and considered to be significant. This drawing is not guaranteed to be "As Built" but is based on the information made available.

By: *Whittell* Date: 07/27/2016

## REVISIONS FOR SUBSTANTIALLY CONFORMING SITE PLAN:

- ADDITION OF THE PROPOSED DRIVE-THRU WINDOW. INCLUDING:
  - 5 STACKING SPACES (100') FROM ORDER WINDOW
  - 1 STACKING SPACE (20') PAST ORDER WINDOW
  - 9' WIDE ESCAPE LANE
  - MODIFICATIONS TO LANDSCAPE ISLAND AT DRIVE LANE ENTRANCE
  - REMOVED 1 PARKING SPACE
  - REMOVED 2 BALD CYPRESS TREES
- ADDITION OF A SECOND DUMPSTER
  - REVISED LOCATION OF PROPOSED TRANSFORMER
  - MODIFICATIONS TO LANDSCAPE ISLAND
  - REMOVED PROPOSED WATER QUALITY ZONE
- PROPOSED WATER QUALITY ZONE
- REVISED LAYOUT OF FUTURE RETAIL PARKING, DRIVE AISLE, TRANSFORMER AND DUMPSTER ENCLOSURE
- REVISED ALIGNMENT OF PROPOSED UNDERGROUND ELECTRIC LINE.

## WATER METER SCHEDULE

ID	TYP.	SIZE	NO.	SAN. SEWER
1	DOM.	2"	1	6"
2	IRR.	2"	1	N/A

## GENERAL NOTES:

- 18-FOOT DEEP PARKING STALLS SHALL HAVE AN UNOBSTRUCTED 2' PARKING OVERHANG.
- SIDEWALKS ADJACENT TO 18' DEEP PARKING STALLS SHALL BE 6' WIDE TO ACCOMMODATE THE 2' PARKING OVERHANG.
- PARKING FOR RETAIL BUILDINGS A & B MEET ZONING ORDINANCE STANDARDS FOR 1:200. SHOULD RESTAURANT TENANTS BE INTRODUCED, REQUIRED PARKING OF 1:100 SHALL BE ACCOMMODATED WITH EXCESS PARKING PROVIDED ON SITE OR NEW PARKING ADDED.

## SITE PLAN NOTES:

- ANY REVISION TO THIS PLAN WILL REQUIRE CITY APPROVAL AND WILL REQUIRE REVISIONS TO ANY CORRESPONDING PLANS TO AVOID CONFLICTS BETWEEN PLANS.
- OPEN STORAGE, WHERE PERMITTED, SHALL BE SCREENED IN ACCORDANCE WITH THE ZONING ORDINANCE.
- BUILDINGS WITH AN AGGREGATE SUM OF 5,000 SQUARE FEET OR GREATER ON A LOT SHALL BE SHALL HAVE AUTOMATIC FIRE SPRINKLERS INSTALLED THROUGHOUT ALL STRUCTURES. ALTERNATIVE FIRE PROTECTION MEASURES MAY BE APPROVED BY THE FIRE DEPARTMENT. ALL SIGNAGE IS SUBJECT TO BUILDING INSPECTION DIVISION APPROVAL.
- ALL FENCES AND RETAINING WALLS SHALL BE SHOWN ON THE SITE PLAN AND ARE SUBJECT TO BUILDING INSPECTION DIVISION APPROVAL.
- NO TREES WILL BE REMOVED FOR THIS ADDITION.

## ADA NOTE:

- HANDICAP PARKING IS PROVIDED IN ACCORDANCE WITH ADA STANDARDS

## LIVING SCREEN WALL NOTES:

- THE PROPOSED LIVING SCREEN HAS BEEN AGREED TO BY THE ADJACENT FISH ELEMENTARY SCHOOL.
- THE PROPOSED LIVING SCREEN HAS BEEN REVIEWED AND APPROVED BY THE CITY'S LANDSCAPE ARCHITECT.
- THE PROPOSED LIVING SCREEN WILL BE APPROVED WITH PLANNING & ZONING COMMISSION ACTION ON THIS PRELIMINARY SITE PLAN.
- PROPOSED TREES IN LIVING SCREEN SHALL BE CHERRY LAURELS.

## ACTION

APPROVED DENIED

STAFF \_\_\_\_\_ Date \_\_\_\_\_ Initials \_\_\_\_\_  
P&Z \_\_\_\_\_ Date \_\_\_\_\_ Initials \_\_\_\_\_

Neighborhood # \_\_\_\_\_  
See the Staff Approval Letter or P&Z Result Memo for any conditions associated with the approval of the project.

## SUBSTANTIALLY CONFORMING SITE PLAN CITY PROJECT #SCSP 15-0042

### OWNER:

TEEL CROSSING PARTNERS, LTD.  
10950 RESEARCH RD  
FRISCO, TX 75033  
PH: 214.387.3993

### APPLICANT:

CLAYMOORE ENGINEERING, INC.  
1903 CENTRAL DRIVE, SUITE #406  
BEDFORD, TX 76021  
PH: 817.281.0572

### SURVEYOR:

AJ BEDFORD GROUP INC.  
301 N. ALAMO RD  
ROCKWALL, TX 75087  
PH: 972.722.0225

### LEGAL DESCRIPTION:

5.675 AC  
TEEL CROSSING SHOPPING CENTER 1  
BLOCK A, LOT 4 - PHASE 1

### CITY:

FRISCO

### STATE:

TEXAS

### COUNTY:

DENTON

### SURVEY:

CRAIN & WARREN SURVEY

### ABSTRACT NO.

229

## SUBSTANTIALLY CONFORMING SITE PLAN

DESIGN: BJK  
DRAWN: BJK  
CHECKED: MAM  
DATE: 05/19/2016

1

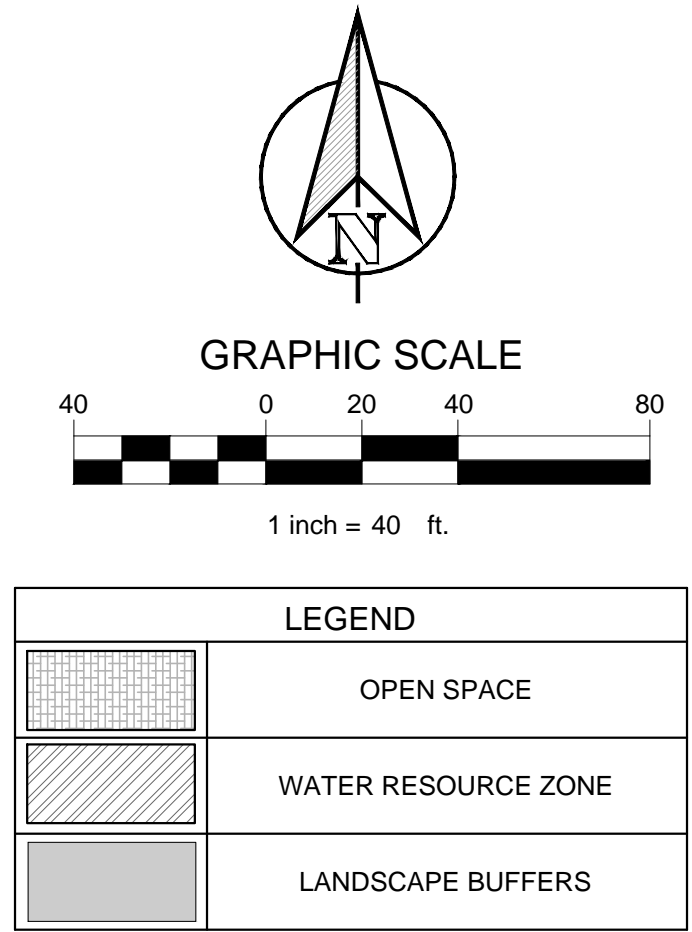
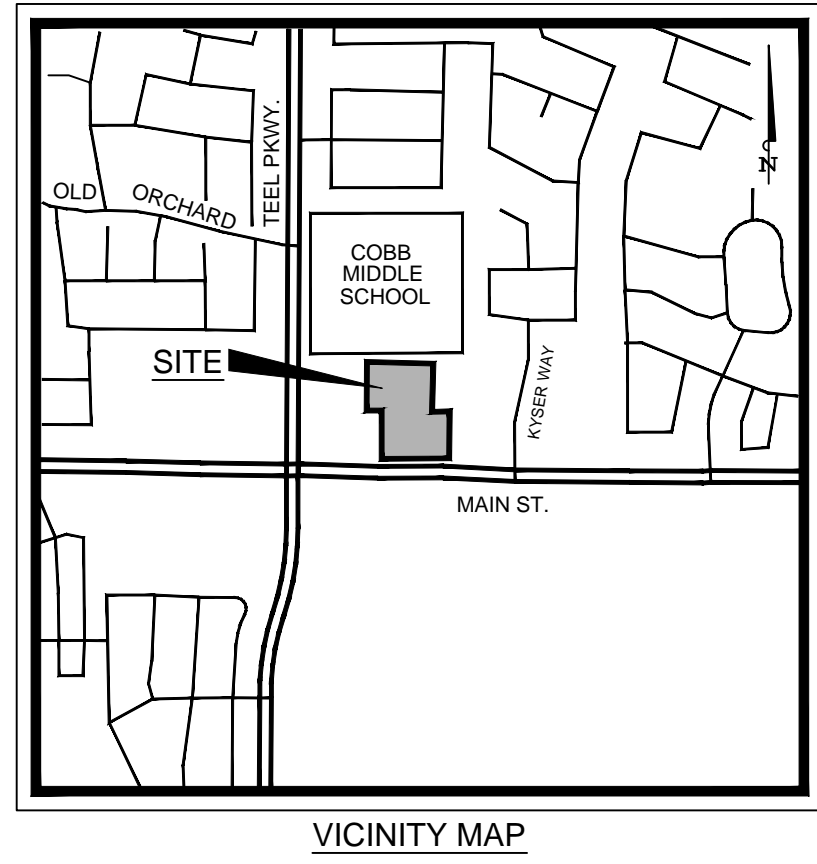
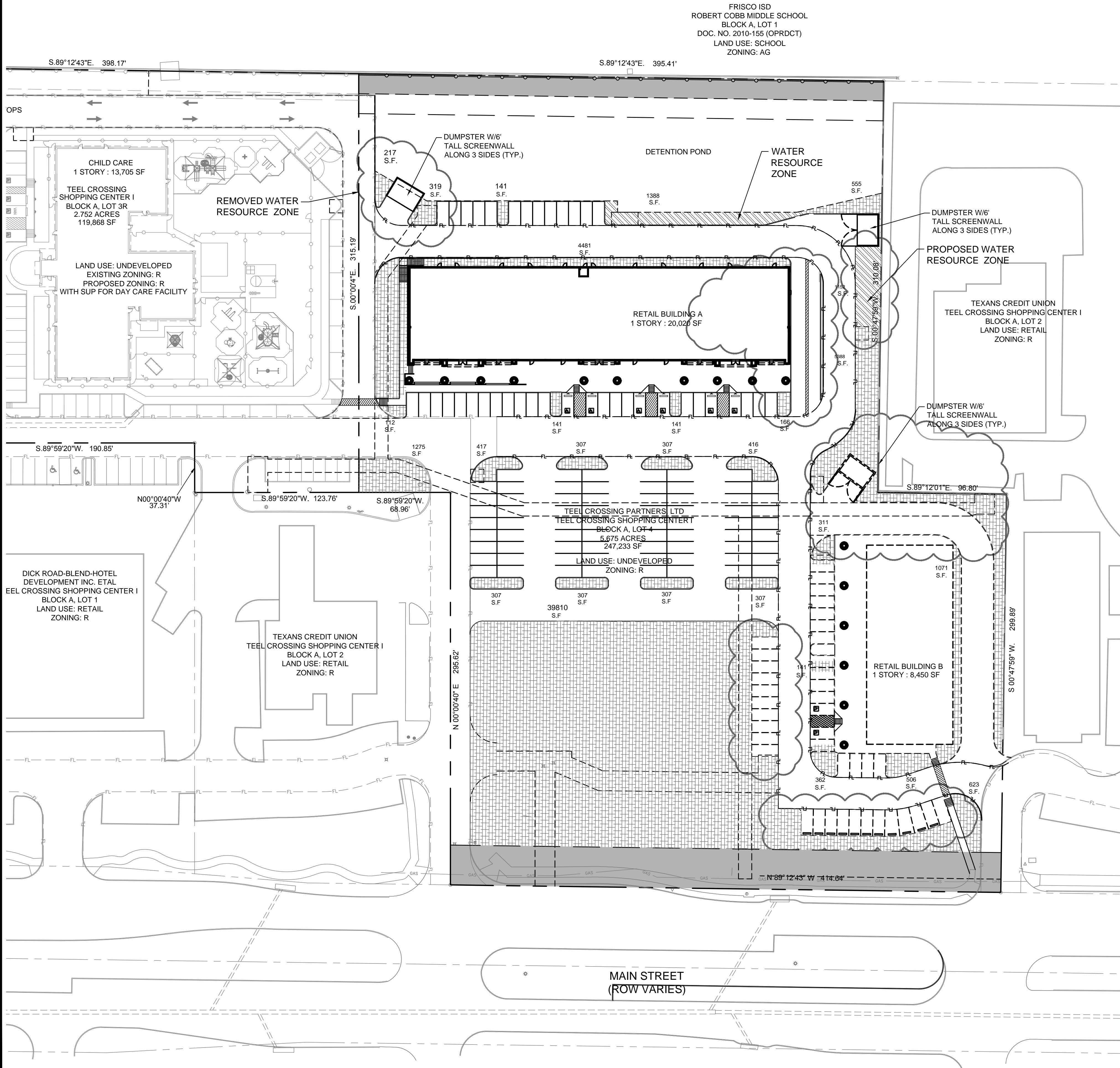
File No.

SCSP 15-0042

PLOTTED BY: BOBBY KUBIN  
 PLOT DATE: 5/19/2016 11:09 AM  
 LOCATION: Z:\PROJECTS\PROJECTS\2014-104 CDG FRISCO PRIMROSE CADD SHEETS-VCM\SCSP-1 SITE PLAN.DWG  
 LAST SAVED: 5/19/2016 11:04 AM



PLOTTED BY: BOBBY KUBIN  
 PLOT DATE: 5/19/2016 11:10 AM  
 LOCATION: Z:\PROJECTS\PROJECTS\2014-104 CDG FRISCO PRIMROSE\CADD\SHEETS-VCM\SCSP-2 OPEN SPACE PLANDWG  
 LAST SAVED: 5/19/2016 11:08 AM



OPEN SPACE SUMMARY										
LOT	ZONING	PROPOSED USE	GROSS LOT SIZE (ACRES)	LOT SIZE (SQ. FT.)	USABLE OPEN SPACE			WATER RESOURCE ZONE		
					REQ.	PROV.		REQ.	PROV.	
4	R	RETAIL	5.68	247,233	7%	17,306	60,975	15 SF PER PARKING	2,235	2,540
BUILDING A PHASE 1	R	RETAIL	-	-	-	-	-	-	-	-
BUILDING B PHASE 2	R	RETAIL	-	-	-	-	-	-	-	-

This drawing has been revised to show those changes during the construction process reported by the contractor to ClayMoore Engineering, Inc. and considered to be significant. This drawing is not guaranteed to be "As Built" but is based on the information made available.

By: *Matt Moore* Date: 07/27/2016

SUBSTANTIALLY CONFORMING SITE PLAN		
CITY PROJECT #SCSP 15-0042		
OWNER: TEEL CROSSING PARTNERS, LTD. 10950 RESEARCH RD FRISCO, TX 75033 PH: 214.387.3993		
APPLICANT: CLAYMOORE ENGINEERING, INC. 1903 CENTRAL DRIVE, SUITE #406 BEDFORD, TX 76021 PH: 817.281.0572		
SURVEYOR: AJ BEDFORD GROUP INC. 301 N. ALAMO RD ROCKWALL, TX 75087 PH: 972.722.0225		
LEGAL DESCRIPTION: 5.675 AC TEEL CROSSING SHOPPING CENTER 1 BLOCK A, LOT 4		
CITY: FRISCO	STATE: TEXAS	
COUNTY: DENTON	SURVEY: CRAIN & WARREN SURVEY	ABSTRACT NO. 229

TEXAS REGISTRATION #14199  
**CLAYMOORE ENGINEERING**  
 1903 CENTRAL DRIVE, SUITE 406  
 BEDFORD, TX 76021  
 PHONE: 817.281.0572  
 WWW.CLAYMOORE.COM

STATE OF TEXAS  
 MATT MOORE  
 95813  
 LICENSED PROFESSIONAL ENGINEER  
 05/19/2016

**TEEL CROSSING  
MAIN STREET  
FRISCO, TX**

**OPEN SPACE PLAN**

DESIGN:	BJK
DRAWN:	BJK
CHECKED:	MAM
DATE:	05/19/2016
SHEET	
	<b>2</b>
File No.	



## GENERAL NOTES FOR ALL CONSTRUCTION ACTIVITIES

- 10 THE CONTRACTOR SHALL NOT PLACE PEDESTRIAN CROSSWALK AND STOP BAR PAVEMENT MARKINGS UNTIL SIGNAL IS OPERATIONAL.
- 11 ALL LIGHTING POLES, FIXTURES, AND ARMS WHICH ARE REMOVED SHALL BE DELIVERED TO THE CITY PUBLIC WORKS FACILITY (11300 RESEARCH ROAD, FRISCO, TEXAS 75034) BY THE CONTRACTOR AND WILL REMAIN THE PROPERTY OF THE CITY. CONTRACTOR THE TRAFFIC DEPARTMENT AT LEAST 24 HOURS IN ADVANCE OF DELIVERY.
- 12 DURING THE 30-DAY TRAFFIC SIGNAL TEST PERIOD, CONTRACTOR SHALL RESPOND TO AND DIAGNOSE ALL TROUBLE CALLS WITH QUALIFIED PERSONNEL WITHIN A REASONABLE TRAVEL TIME FROM A DALLAS ADDRESS BUT NOT MORE THAN TWO (2) HOURS MAXIMUM. CONTRACTOR SHALL REPAIR ANY MALFUNCTIONS OF SIGNAL EQUIPMENT SUPPLIED BY THE CONTRACTOR ON THE PROJECT. A LOCAL TELEPHONE NUMBER (NOT SUBJECT TO FREQUENT CHANGES) WHERE TROUBLE CALLS ARE TO BE RECEIVED ON A 24-HOUR BASIS SHALL BE PROVIDED TO THE CITY BY THE CONTRACTOR. APPROPRIATE REPAIRS SHALL BE MADE WITHIN 24 HOURS. THE CONTRACTOR'S KEEP A RECORD OF ALL TROUBLE CALLS REPORTED IN THE MANNER PRESCRIBED BY THE CITY AND THE CITY OF EACH TROUBLE CALL. THE ERROR LOG IN THE MAINTENANCE FUNCTION OF THE MANAGEMENT UNIT (MMU) SHALL NOT BE CLEARED DURING THE 30-DAY TEST PERIOD WITHOUT THE APPROVAL OF THE CITY.
- 13 TEXAS STATE LAW, ARTICLE 1436C, MAKES IT UNLAWFUL TO OPERATE EQUIPMENT OR MACHINES WITHIN 10-FEET OF ANY OVERHEAD ELECTRICAL LINES UNLESS DANGER AGAINST CONTACT WITH HIGH VOLTAGE OVERHEAD LINES HAS BEEN EFFECTIVELY GUARDED AGAINST PURSUANT TO THE PROVISIONS OF THIS ARTICLE. WHEN CONSTRUCTION OPERATIONS REQUIRE WORKING NEAR AN OVERHEAD ELECTRICAL LINE, THE CONTRACTOR SHALL CONTACT THE OWNER/OPERATOR OF THE OVERHEAD ELECTRICAL LINE TO MAKE ADEQUATE ARRANGEMENTS AND TO TAKE NECESSARY SAFETY PRECAUTIONS TO ENSURE THAT ALL LAWS, ELECTRICAL LINE OWNER/OPERATOR REQUIREMENTS AND STANDARD SAFETY PRACTICES ARE MET.

71. ALL STORM DRAIN CONSTRUCTION, TESTING, AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY'S CURRENT STANDARDS, DETAILS, AND SPECIFICATIONS UNLESS OTHERWISE NOTED.

1. ALL WATER AND WASTEWATER CONSTRUCTION, TESTING, AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY'S CURRENT STANDARDS, DETAILS, AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
2. CONTRACTOR SHALL SUBMIT A TRENCH SAFETY PLAN PRIOR TO THE PRE-CONSTRUCTION MEETING.
3. CONTRACTOR SHALL NOT OPERATE EXISTING VALVES. CONTACT THE CITY'S PUBLIC WORKS DEPARTMENT TO REQUEST VALVE CHANGES.

1. ALL LANDSCAPING CONSTRUCTION, INSTALLATION, TESTING, AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY'S CURRENT STANDARDS, DETAILS, AND SPECIFICATIONS UNLESS OTHERWISE NOTED.

- GENERAL NOTES FOR IRRIGATION**
1. ALL IRRIGATION CONSTRUCTION, INSTALLATION, TESTING, AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY'S CURRENT STANDARDS, DETAILS, AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
  2. A PERMIT FROM THE BUILDING INSPECTION DIVISION IS REQUIRED FOR EACH IRRIGATION SYSTEM.
  3. CONTRACTOR SHALL NOTIFY THE PARKS DEPARTMENT OF ANY MODIFICATION TO THE EXISTING SYSTEM.
  4. CONTRACTOR SHALL SCHEDULE A MEETING WITH THE PARKS DEPARTMENT TO COORDINATE WORK PRIOR TO ANY DEMOLITION OR REMOVAL OF EXISTING IRRIGATION AND PRIOR TO ANY INSTALLATION OF NEW IRRIGATION.

EXISTING IRRIGATION SYSTEMS AND LANDSCAPE MATERIALS SHALL BE RESTORED TO EQUAL OR BETTER CONDITION AT NO COST TO CITY.

6. CONTRACTOR SHALL PROGRAM EACH CONTROLLER ZONE BASED ON SPRINKLER TYPE, PLANT VARIETY, SOIL CHARACTERISTIC, SLOPE AND SOLAR ORIENTATION AS DESIGNATED ON THE PLANS. THE CONTRACTOR SHALL COORDINATE WITH THE CITY PARKS DEPARTMENT FOR APPROVAL OF THE CONTROLLER SETTINGS.

POWER TO EACH IRRIGATION CONTROLLER. CONTRACTOR SHALL HAVE ONE OR MORE POWER LINES INSTALLED FROM POWER SOURCE UP TO THE CONTROLLER. CONTRACTOR SHALL MEET CONTROLLER SPECIFICATIONS FOR POWER REQUIREMENTS.

8. CONTRACTOR SHALL SET A TEMPORARY CONTROLLER TO ESTABLISH LANDSCAPE. ONCE LANDSCAPE IS ESTABLISHED, CONTRACTOR SHALL CONTACT THE CITY'S PARKS AND RECREATION DEPARTMENT FOR ASSISTANCE ON INSTALLATION OF INTER SPEC CONTROLLER.

1. STEEL POSTS SHALL NOT BE USED TO INSTALL EROSION CONTROL MEASURES WITHIN CITY ROW.
2. NO EQUIPMENT SHALL BE CLEANED ON-SITE, OR OTHER LIQUIDS DEPOSITED AND ALLOWED TO FLOW OVERLAND OR SUBTERRANEAN WITHIN THE LIMITS OF THE CRITICAL ROAD ZONE OF TREES THAT REMAIN ON SITE. THIS INCLUDES PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, CONCRETE EQUIPMENT WASH WATER, MORTAR OF SIMILAR MATERIALS.
3. ASPHALT BAGS SHALL BE PLACED AT CONSTRUCTION ENTRANCES TO PREVENT CURB DAMAGE.
4. GEOTEXTILE FABRIC SHALL BE PLACED ON SUBGRADE PRIOR TO STONE PLACEMENT FOR CONSTRUCTION ENTRANCES.

By: W.H. H. Date: 07/27/2016

1. ALL MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE CITY'S DESIGN STANDARDS, IF NO CITY STANDARD IS AVAILABLE. MATERIAL AND CONSTRUCTION SHALL CONFORM TO THE "NORTH CENTRAL TEXAS COUNCIL OF GOVERNMENTS STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION".
2. THE CONTRACTOR SHALL BE RESPONSIBLE TO FURNISH ALL MATERIALS AND LABOR TO CONSTRUCT THE FACILITY AS SHOWN AND DESCRIBED IN THE CONSTRUCTION DOCUMENTS IN ACCORDANCE WITH THE SPECIFICATIONS AND STANDARDS. THE CONTRACTOR SHALL MEET ALL REQUIREMENTS. ALL WORK REQUIRED BY THESE PLANS SHALL BE CONDUCTED IN CONFORMANCE WITH CURRENT SAFETY CODES AND STANDARDS WITH JURISDICTION OVER THIS PROJECT.
3. THE CONTRACTOR SHALL CONTACT ALL FRANCHISE UTILITY COMPANIES TO HAVE THEM LOCATE ALL EXISTING UTILITIES AND PROVIDE THE LOCATION OF ALL UTILITIES TO THE CITY. THE EXACT LOCATION AND DEPTH OF ALL FRANCHISE UTILITY SERVICES AND ANY REQUIRED RELOCATION AND/OR EXTENSIONS, SERVICES SHOWN ON THE PLANS, IF ANY, ARE ACCEPTED.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE EXISTING UTILITIES OF THE PROJECT. ALL MANHOLES, CLEANOUTS, VALVE BOXES, POWER POLES, SIGNS, FIRE HYDRANTS ETC., MUST BE ADJUSTED TO PROPER GRADE BY THE CONTRACTOR PRIOR TO AND AFTER PLACING OF PERMANENT PAVING. UTILITIES MUST BE MAINTAINED TO PROPER LINE AND GRADE DURING CONSTRUCTION FOR THIS PROJECT.
5. BRACING OF UTILITY PIPES MAY BE REQUIRED BY UTILITY COMPANIES WHEN TRENCHING OR EXCAVATION IS IN CLOSE PROXIMITY TO THE POLES. THE COST OF BRACING POLES WILL BE BORNE BY THE CONTRACTOR. THERE SHALL BE NO PAYMENT FOR THIS WORK. THE COST IS INCIDENTAL TO THE CONTRACTOR'S WORK FOR INSTALLATION.
6. THE LOCATIONS, ELEVATIONS, AND DIMENSIONS OF EXISTING UTILITIES SHOWN ON THE PLANS WERE OBTAINED FROM AVAILABLE RECORDS AND ARE CONSIDERED APPROXIMATE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION, DEPTH, AND DIMENSIONS OF ALL ADJACENT AND/OR CONFLICTING UTILITIES SUFFICIENTLY IN ADVANCE OF CONSTRUCTION IN ORDER THAT ADJUSTMENTS CAN BE MADE TO PROVIDE ADEQUATE CLEARANCES. THE CONTRACTOR SHALL PRESERVE AND PROTECT PUBLIC UTILITIES AT ALL TIMES DURING CONSTRUCTION. ANY DAMAGE TO OR REMOVAL OF ANY PUBLIC UTILITIES OR INSTALLATIONS SHALL BE RESTORED AT THE CONTRACTOR'S EXPENSE. THE ENGINEER SHALL BE NOTIFIED WHEN PROPOSED FACILITY GRADES CONFLICT WITH EXISTING UTILITY GRADES.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL DAMAGE TO PRIVATE PROPERTY, INCLUDING, BUT NOT LIMITED TO FENCES, WALLS, PAVEMENT, GRASS, TREES, AND LAWN SPRINKLER AND IRRIGATION SYSTEMS AT NO COST TO THE OWNER. THIS WORK SHALL BE SUBSIDIARY TO THE CONTRACT (UNLESS OTHERWISE NOTED) AND IS NOT A SEPARATE PAY ITEM.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL DAMAGE TO PRIVATE PROPERTY. THIS WORK SHALL BE SUBSIDIARY TO THE CONTRACT AND IS NOT A SEPARATE PAY ITEM.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION.
10. THE CONTRACTOR SHALL HAVE AVAILABLE AT THE JOB SITE AT ALL TIMES A COPY OF THE CONTRACT DOCUMENTS INCLUDING PLANS, SPECIFICATIONS, AND SPECIAL CONDITIONS. COPIES OF ANY REQUIRED CONSTRUCTION PERMITS, EROSION CONTROL PLANS, SWPPP AND INSPECTION RECORDS SHALL BE AVAILABLE AT THE JOB SITE.
11. ANY DISCREPANCIES ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT AND ENGINEER BEFORE COMMENCING WORK. NO FIELD CHANGES OR DEVIATIONS SHALL BE MADE WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT AND ENGINEER. THE CONTRACTOR'S REQUEST FOR CHANGES WILL BE GIVEN TO CHANGE ORDERS FOR WHICH THE OWNER AND ENGINEER WERE NOT CONTACTED PRIOR TO CONSTRUCTION OF THE AFFECTED ITEM.
12. ALL COPIES OF COMPACTION, CONCRETE AND OTHER REQUIRED TEST RESULTS SHALL BE SENT TO THE ARCHITECT, CIVIL ENGINEER, CONTRACTOR AND OWNER DIRECTLY FROM THE TESTING AGENCY.
13. THE NECESSARY INSPECTIONS AND/OR CERTIFICATIONS REQUIRED BY CODES, JURISDICTIONAL AGENCIES AND/OR OTHERS TO PROVIDE COMPLETION OF THE PROJECT SHALL BE THE CONTRACTOR'S RESPONSIBILITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL DAMAGE TO PRIVATE PROPERTY, INCLUDING, BUT NOT LIMITED TO FENCES, WALLS, PAVEMENT, GRASS, TREES, AND LAWN SPRINKLER AND IRRIGATION SYSTEMS AT NO COST TO THE OWNER. THIS WORK SHALL BE SUBSIDIARY TO THE CONTRACT (UNLESS OTHERWISE NOTED) AND IS NOT A SEPARATE PAY ITEM.
14. THE CONTRACTOR SHALL VERIFY BENCHMARKS AND DATUM PRIOR TO COMMENCING CONSTRUCTION OR STAKING OF IMPROVEMENTS.
15. THE CONTRACTOR SHALL THOROUGHLY CHECK COORDINATION OF CIVIL, LANDSCAPE, MEP, ARCHITECTURAL, AND OTHER PLANS PRIOR TO COMMENCING CONSTRUCTION. OWNER AND ENGINEER SHALL BE NOTIFIED OF ANY DISCREPANCY PRIOR TO COMMENCING WITH CONSTRUCTION.
16. ALL HORIZONTAL DIMENSIONS GIVEN ARE TO FACE OF CURB AND TO PIPE CENTERLINES UNLESS OTHERWISE NOTED ON PLANS.
17. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING RELOCATION AND INSTALLATION OF EXISTING UTILITIES AND NECESSARY RELOCATION AND INSTALLATION OF NEW UTILITIES. PAYMENT FOR RELOCATION AND INSTALLATION WILL BE NEGOTIATED ONCE IDENTIFIED.
18. ALL LOT OR FILL SLOPES SHALL BE 4:1 OR FLATTER UNLESS OTHERWISE SHOWN.
19. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONTROL OF DUST AND DIRT RISING AND THE REDUCTION OF NOISE DURING CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OTHER SUITABLE METHODS OF CONTROL. THE CONTRACTOR SHALL COMPLY WITH ALL GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.
20. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING THE CIVIL ENGINEER A COPY OF RECORD DRAWINGS IDENTIFYING ALL DEVIATIONS OR VARIATIONS FROM THE ORIGINAL PLANS.
21. THE CONTRACTOR SHALL GIVE NOTICE TO ALL AFFECTED PARTIES AND ALL AUTHORIZED INSPECTORS, SUPERINTENDENTS, OR PERSONS IN CHARGE OF PRIVATE AND PUBLIC UTILITIES OR RAILROADS AFFECTED BY HIS OPERATIONS, AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF WORK.
22. ALL "RECORD" DIMENSIONS SHALL CONFORM TO THE DESIGN DIMENSIONS PLUS OR MINUS 0.02 FEET. ALL "RECORD" SLOPES SHALL CONFORM TO THE DESIGNED SLOPES PLUS OR MINUS 0.005 FOOT/FOOT.
23. THE CONTRACTOR SHALL CONTACT CITY BUILDING OFFICIAL TO LEARN OF ANY UNUSUAL CONSTRUCTION SEQUENCING REQUIREMENTS THAT THE CITY MAY REQUIRE. THE CONTRACTOR IS CAUTIONED THAT THE CITY DOES NOT HAVE THE AUTHORITY TO RELEASE AND IT IS THE CONTRACTOR'S RESPONSIBILITY TO INVESTIGATE AND COMPLY WITH THEM.

1. TESTING OF MATERIALS REQUIRED BENEATH ALL PAVING IMPROVEMENTS SHALL BE PERFORMED IN ACCORDANCE WITH THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. THE TESTING LABORATORY AND THE PAVEMENT OF SUCH TESTING SERVICES SHALL BE MADE BY THE OWNER. IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO ENSURE, BY THE STANDARD TESTING METHOD, THAT THE ASPHALT PAVING CONSTRUCTED MEETS THE REQUIREMENTS OF THE CITY AND PROJECTS SPECIFICATIONS.
2. ALL SIGNS, PAVEMENT MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE "TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES" TO THE "EXUNCONTROL DEVICES".
3. THE CONTRACTOR SHALL REVIEW LOCATION OF ALL TRAFFIC CONTROL DEVICES WITH THE OWNER PRIOR TO INSTALLATION.
4. SEE M.E.P. PLANS FOR LOCATION OF PROPOSED SLEEVING AND CONDUITS.
5. ALL HANDICAP RAMPING, STRIPING, AND PAVEMENT MARKINGS SHALL CONFORM TO THE MOST RECENT EDITION OF THE AMERICAN ROAD & BUILDING BUILDINGS CODE OF 1994 AND THE TEXAS ARCHITECTURAL BARRIERS ACT OF 1994, AND ALL ADDENDUMS OR UPDATES.
6. CONTRACTOR SHALL SUBMIT A PAVEMENT JOINTING PLAN TO THE ENGINEER AND OWNER PRIOR TO THE BEGINNING OF ANY CONCRETE PAVING WORK.
7. ALL JOINTS OF CONCRETE PAVING OF THIS DAY SHALL BE REMOVED SHALL BE PROPERLY DISPOSED OF BY THE CONTRACTOR OFF SITE. THIS WORK SHALL BE SUBSIDIARY TO THE CONTRACT AND IS NOT A SEPARATE PAY ITEM.
8. CONSTRUCTION JOINTS SHALL BE REQUIRED AT INTERRUPTIONS OF PAVING OPERATIONS SUCH AS STOPPING OR STOPPING AT THE END OF THE DAY OR EQUIPMENT OR EQUIPMENT BREAKDOWN, PLACE AT LONGITUDINAL CONSTRUCTION OR ISOLATION JOINT LOCATIONS.
9. CONTRACTOR TO INSTALL CONSTRUCTION JOINTS IN CONCRETE PAVEMENT AT ALL PCS AND AS CONVENIENT TO PHASING OF POURS. CONCRETE PAVEMENT TO BE CONSTRUCTED WITH ISOLATION JOINTS AT THE END OF EACH PAVING OF ANY BLOCK OUT IN PAVEMENT AND SAVED DUMMYS JOINTS EVERY 12' IN BOTH DIRECTIONS.
10. ALL JOINTS ARE TO CONTINUE THROUGH THE CURB.
11. RADIAL JOINTS SHALL BE NO SHORTER THAN 24'.
12. JOINTS IN CONSTRUCTION JOINTS SHALL BE CUT AND PLANE OF BURN, BLOWN DRY AND IMMEDIATELY SEALED WITH HOT POURED RUBBER JOINT SEALING COMPOUND.

1. CONTRACTOR SHALL FIELD VERIFY THE VERTICAL AND HORIZONTAL LOCATIONS OF ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND SUBCONTRACTOR IMMEDIATELY IF A CONFLICT IS DISCOVERED.
2. CONTRACTOR SHALL VERIFY AND COORDINATE ALL DIMENSIONS SHOWN, INCLUDING THE HORIZONTAL AND VERTICAL LOCATION OF CURB INLETS, GRATE INLETS, AND ALL UTILITIES CROSSING THE STORM SEWER. FLOW LINES AND RIMS OF PROPOSED INLETS SHALL BE VERIFIED WITH PROPOSED SIDE PAVEMENT DIMENSIONS.
3. THE END OF ALL STORM SEWER LATERALS THAT CONNECT TO WORK BY PLUMBER SHALL BE TIGHTLY PLUGGED OR CAPPED AND MARKED 5.0 FEET OUTSIDE THE BUILDING UNTIL FINAL CONNECTIONS ARE MADE BY PLUMBING CONTRACTOR.
4. THE SITE UTILITY CONTRACTOR SHALL PROVIDE ALL MATERIALS AND APPURTENANCES NECESSARY FOR COMPLETE INSTALLATION OF ALL UTILITIES.
5. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL CONSTRUCTION PERMITS.
6. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY THE SUITABILITY OF ALL EXISTING AND PROPOSED SITE CONDITIONS INCLUDING GRADES AND DIMENSIONS BEFORE COMMENCEMENT OF CONSTRUCTION. THE ENGINEER SHALL BE NOTIFIED IMMEDIATELY OF ANY DISCREPANCIES.
7. EXISTING MANHOLE TOPS AND ALL OTHER DRAINAGE FACILITIES SHALL BE ADJUSTED AS REQUIRED TO MATCH FINAL GRADES AS SHOWN ON GRADING PLAN, NO SEPARATE PAY ITEM.
8. ALL RCP SHALL BE CLASS 3 OR APPROVED EQUAL.

1. IF THE TOTAL DISTURBED AREA EXCEEDS ONE (1) ACRE A NOTICE OF INTENT (N.O.I.) SHALL BE SUBMITTED BY THE CONTRACTOR TO THE TCEQ NO LESS THAN 48 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION ACTIVITIES.
2. ALL CONTRACTORS AND SUBCONTRACTORS PROVIDING SERVICES RELATED TO THE SWPPP SHALL SIGN A CONTRACTOR CERTIFICATION STATEMENT ACKNOWLEDGING THEIR RESPONSIBILITIES AS SPECIFIED IN THE SWPPP.

1. EXISTING UTILITY DATA IS PROVIDED FOR INFORMATION ONLY. ALTHOUGH THIS DATA IS SHOWN AS ACCURATE, THE CONTRACTOR SHALL VERIFY THE DATA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE EXISTING UTILITY DATA. THE CONTRACTOR SHALL ASSUME NO LIABILITY FOR THE ACCURACY OF THIS DATA.
2. THE CONTRACTOR IS TO VERIFY LOCATION AND ELEVATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.
3. TRENCHES WHICH LIE OUTSIDE EXISTING PAVEMENTS SHALL BE BACKFILLED ABOVE THE TOP OF THE EMBEDEDMENT WITH TYPE "C" BACKFILL MATERIAL. WHEN TYPE "C" BACKFILL MATERIAL IS NOT SUITABLE AND AT THE DIRECTION OF THE ENGINEER, TYPE "B" MATERIAL SHALL BE USED. ALL BACKFILL MATERIAL SHALL BE COMPACTED TO A MINIMUM OF 90% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY STANDARD PROCTOR. THE EXISTING OR FUTURE PAVEMENT SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY WITH MOISTURE CONTENT  $\pm 2\%$  OF OPTIMUM MOISTURE CONTENT.
4. TYPICAL LOCATION OF SANITARY SEWER PIPE SHALL BE A MINIMUM OF 4'-0" BELOW TOP OF CURB EXCEPT WHERE SHOWN OTHERWISE IN THESE PLANS.
5. ALL CURB EXISTING SANITARY SEWER MAINS SHALL BE TESTED WITH STANDARD 5% DEFLECTION MANDEREL.
6. ALL SANITARY SEWER LINES SHALL BE CAPPED WITH AN APPROPRIATE CAP AT THE END OF EACH WORKDAY.
7. WHEN EXISTING GRADES ARE LOWER THAN PROPOSED MAINS, THE FILL AREA AROUND THE PIPE SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF THE MAXIMUM DRY DENSITY TO THE PROPOSED FINISHED GRADE PRIOR TO INSTALLING ANY MAIN.
8. ALL SEWER SERVICES SHALL BE CONSTRUCTED OF SDR-35 PIPE.

1. CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL PLANS TO THE OWNER, AT LEAST 48 HOURS BEFORE CONSTRUCTION BEGINS.
2. ALL TRAFFIC CONTROL DEVICES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE TEXAS MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (TMUTCD), LATEST VERSION.
3. THE CONTRACTOR SHALL COVER EXISTING SIGNS AND OBLITERATE EXISTING PAVEMENT MARKINGS THAT CONFLICT WITH THE INTENT OF THESE TRAFFIC CONTROL PLANS TO AVOID THE DISRUPTION OF THE FLOWING PATTERN OF TRAFFIC.
4. THE CONTRACTOR SHALL UNCOVER EXISTING SIGNS AND REPLACE PAVEMENT MARKINGS IN-KIND AS ORIGINALLY CONFIGURED AT THE END OF CONSTRUCTION OPERATIONS AND PRIOR TO FINAL ACCEPTANCE BY THE OWNER.
5. ALL TEMPORARY SIGNS, BARRICADES, WARNING LIGHTS AND OTHER MISCELLANEOUS TRAFFIC CONTROL MEASURES SHALL BE REMOVED AND ORIGINAL TRAFFIC CONTROL MEASURES REPLACED AT THE END OF THE CONTRACTOR'S CONSTRUCTION OPERATIONS.

1. THE CONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE, AND LOCAL REGULATION, CONSIDERATION, AND SITUATION. THE CONTRACTOR SHALL USE SEDIMENT FILTERS OR OTHER MEASURES APPROVED BY THE ENGINEER AND CONSTRUCTION MANAGER TO PREVENT SILT AND CONSTRUCTION DEBRIS FROM CLOGGING STORM SEWER PIPES OR PROPOSED OR EXISTING INLETS, OR FROM BEING TRANSPORTED TO ADJACENT PROPERTIES AND STREET RIGHT-OF-WAYS. ALL EROSION CONTROL DEVICES SHALL BE INSTALLED PRIOR TO SITE DISTURBANCE AND SHALL REMAIN IN PLACE UNTIL FINAL GRADING AND PAVING IS COMPLETE AND PERMANENT SOIL STABILIZATION IS ACHIEVED.
2. CONSTRUCTION OPERATIONS SHALL BE MANAGED SO THAT AS MUCH OF THE SITE AS POSSIBLE IS LEFT COVERED WITH EXISTING TOPSOIL AND VEGETATION.
3. ALL SLOPES AND AREAS DISTURBED BY CONSTRUCTION SHALL BE GRADED SMOOTH. THE AREAS SHALL BE RESEED OR COVERED, IRRIGATED, AND MAINTAINED UNTIL PERMANENT STAND OF GRASS IS ACHIEVED WITH A MINIMUM OF 70% COVERAGE. UNLESS OTHERWISE NOTED, PRIVATE LAWN AREAS AND PARKWAYS IN FRONT OF PRIVATE LAWN AREAS DISTURBED BY CONSTRUCTION SHALL BE REPLACED WITH BLOCK SOO SIMILAR TO THAT EXISTING.
4. THE CONTRACTOR SHALL CONSTRUCT AND MAINTAIN A STABILIZED ENTRANCE AT ALL PRIMARY POINTS OF ACCESS. CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION TRAFFIC UTILIZES THE STABILIZED ENTRANCE AT ALL TIMES FOR INGRESS/EGRESS TO THE SITE.
5. CONSTRUCTION ENTRANCE:
  - a. MINIMUM SIZE STONE: 5-INCHES DIAMETER
  - b. THICKNESS: NOT LESS THAN 8-INCHES
  - c. LENGTH: AS SHOWN ON PLAN
  - d. WIDTH: NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS AND EGRESS.
  - e. MAINTENANCE REQUIREMENTS: AS NECESSARY TO PREVENT TRACKING OR FLOWING MUD INTO PUBLIC RIGHT-OF-WAY OR PARKING AREAS.

- ### GRADING NOTES

1. IF A GRADING PERMIT IS REQUIRED FROM THE CITY PRIOR TO STARTING CONSTRUCTION, CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMIT AND PAYING ALL ASSOCIATED FEES.
2. CONTRACTOR SHALL FIELD VERIFY HORIZONTAL AND VERTICAL LOCATION OF ALL EXISTING UTILITIES AND RECORD THE LOCATION OF ALL UTILITIES. CONTRACTOR IS RESPONSIBLE FOR PROTECTING EXISTING UTILITIES (SHOWN OR NOT SHOWN WITHIN SCOPE OF CONSTRUCTION). IF ANY EXISTING UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL REPLACE THEM AT HIS OWN EXPENSE.
3. ALL SPOT ELEVATIONS SHOWN ARE TO TOP OF PAVING SURFACE OR FINISHED EARTH GRADE UNLESS NOTED OTHERWISE.
4. CONTRACTOR TO ENSURE POSITIVE DRAINAGE FROM THE EXISTING AND PROPOSED BUILDINGS AND NO PONDING IN PAVED AREAS. CONTRACTOR ADJUSTMENTS TO SPOT GRADES TO MAINTAIN POSITIVE DRAINAGE IS ALLOWED WITH THE PRIOR APPROVAL OF THE ENGINEER. IF CONTRACTOR SHALL CONTACT THE ENGINEER PRIOR TO PAVING IF ANY AREAS OF POOR DRAINAGE ARE ENCOUNTERED.
5. THE CONTRACTOR SHALL PROTECT ALL MANHOLE COVERS, VALVE COVERS, VAULT LIDS, FIRE HYDRANTS, AND ALL OTHER ABOVE GROUND UTILITIES AND TELEPHONE BOXES WHICH ARE REMAIN IN PLACE AND UNDISTURBED DURING CONSTRUCTION.
6. ALL EXISTING CONCRETE PAVING, CHANNEL IMPROVEMENTS, SIDEWALK, STRUCTURES AND CURB DEMOLITION SHALL BE REMOVED IN THEIR ENTIRETY AND DISPOSED OF BY THE CONTRACTOR, INCLUDING ALL OTHER MATERIALS AND DEBRIS.
7. ALL CLEARING, GRADING, COMPACTION AND SUBGRADE PREPARATION SHALL BE IN ACCORDANCE TO THE GEOTECHNICAL REPORT.
8. GRADING CONTRACTOR TO COORDINATE WITH THE FRANCHISE UTILITY COMPANIES FOR ANY EXISTING UTILITIES AND ALL ADJACENT PROPERTIES.
9. THE CONTRACTOR SHALL CALCULATE HIS OWN EARTHWORK QUANTITIES AND USE TO DETERMINE HIS BID ACCORDINGLY.
10. BEFORE PLACING PAVING, CONTRACTOR SHALL VERIFY THAT SUITABLE HANDICAPPED ROUPES (PER A.D.A. & T.A.S) EXIST TO AND FROM EVERY DOOR, IN NO CASE SHALL HANDICAP RAMP SLOPES EXCEED 1:12, SIDEWALKS SHALL BE MAINTAINED TO A MINIMUM OF 5 FEET AND 5.0 PERCENT. IN NO CASE SHALL LONGITUDINAL SIDEWALK SLOPES EXCEED 5.0 PERCENT. CONTRACTOR SHALL CONTACT ENGINEER PRIOR TO PAVING IF ANY EXCESSIVE SLOPES ARE ENCOUNTERED. NO CONTRACTOR CHANGE ORDERS WILL BE ACCEPTED FOR A.D.A. AND T.A.S. COMPLIANCE ISSUES.

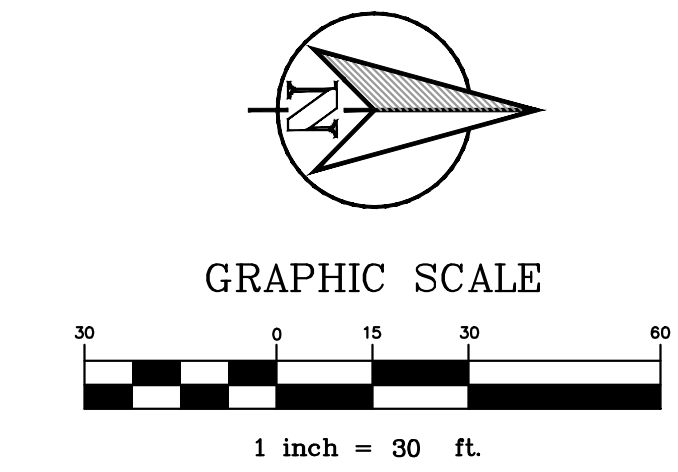
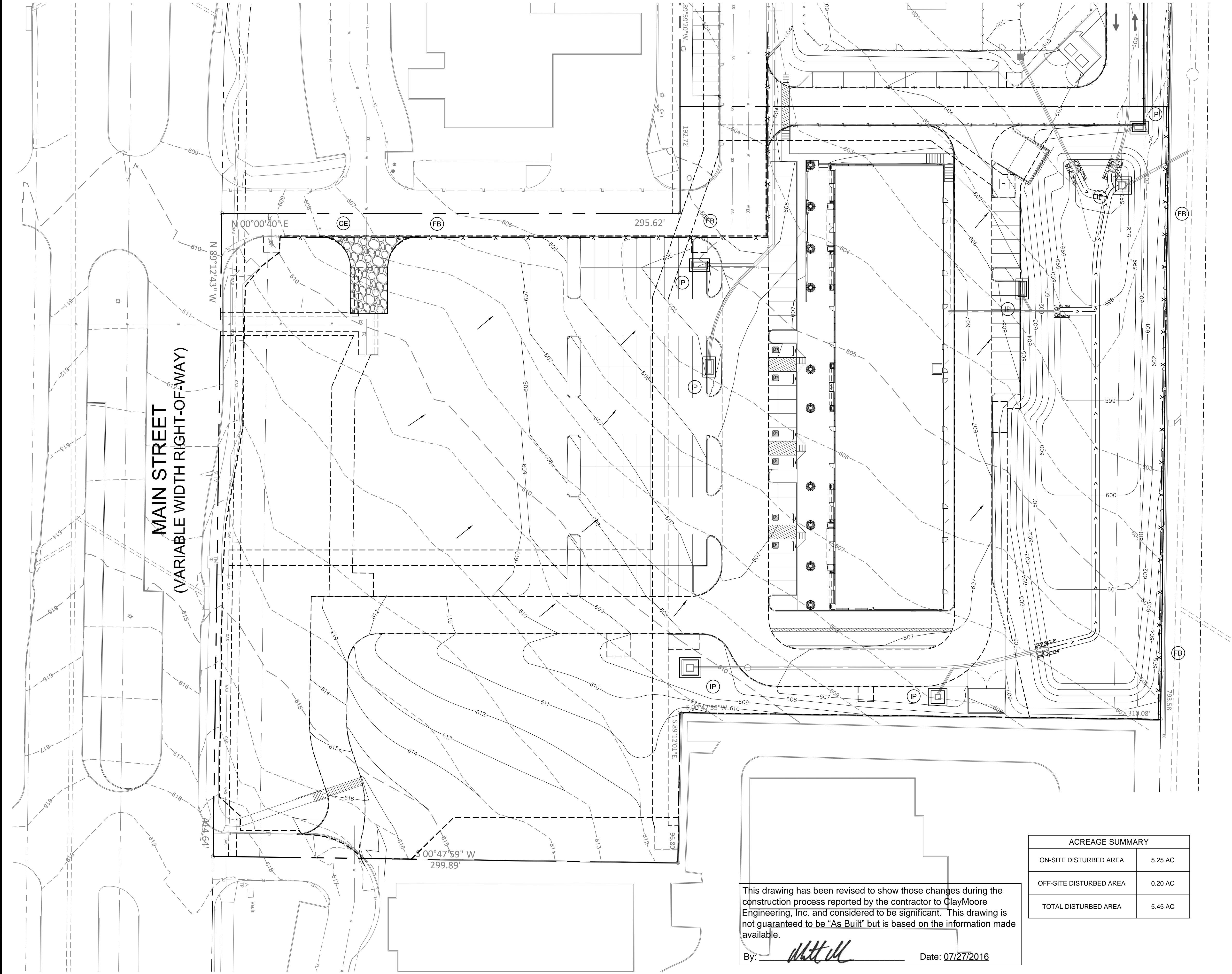
[illegible]

DESIGN:	BJK
DRAWN:	BJK
CHECKED:	MAM
DATE:	05/19/2016

File No.



PLOTTED BY: BOBBY KUBIN  
PLOT DATE: 5/19/2016 11:11 AM  
LOCATION: Z:\PROJECTS\PROJECTS\2014-104 CDG FRISCO PRIMROSE\CADD\SHEETS-VCM\C-2 EROSION CONTROL PLAN.DWG  
LAST SAVED: 5/19/2016 9:51 AM



LEGEND	
	DIRECTION OF FLOW
	EXISTING CONTOUR
	PROPOSED CONTOUR
	LIMITS OF CONSTRUCTION
	CONSTRUCTION ENTRANCE
	FILTER BARRIER
	INLET PROTECTION

ACREAGE SUMMARY	
ON-SITE DISTURBED AREA	5.25 AC
OFF-SITE DISTURBED AREA	0.20 AC
TOTAL DISTURBED AREA	5.45 AC

This drawing has been revised to show those changes during the construction process reported by the contractor to ClayMoore Engineering, Inc. and considered to be significant. This drawing is not guaranteed to be "As Built" but is based on the information made available.

By: Date: 07/27/2016

PROJECT BENCHMARK:  
STANDARD CITY OF FRISCO MONUMENT -  
STATION NO. 7 AND ALUMINUM DISK LOCATED  
BETWEEN A SIDEWALK AND GUARD RAIL ON THE  
WEST SIDE OF TEEL PARKWAY SOUTH OF THE  
INTERSECTION OF TEEL PARKWAY AND  
ELDORADO PARKWAY.  
ELEVATION = 589.43 FEET

TEXAS REGISTRATION #14109  
**CLAYMOORE**  
**ENGINEERING**  
PHONE 972.261.0072  
1903 CENTRAL DRIVE, SUITE 400  
Frisco, TX 75034  
WWW.CLAYMOORE.COM

TEEL CROSSING  
MAIN STREET  
FRISCO, TX

No.	DATE	REVISION	BY

EROSION CONTROL PLAN

DESIGN: BJK  
DRAWN: BJK  
CHECKED: MAM  
DATE: 05/19/2016  
SHEET  
C-2

File No.



PLOTTED BY: BOBBY KUBIN  
 PLOT DATE: 5/19/2016 11:11 AM  
 LOCATION: Z:\PROJECTS\PROJECTS\2014-104 CDG FRISCO PRIMROSE\CADD\SHEETS-VCM\C-3 EROSION CONTROL DETAILS.DWG  
 LAST SAVED: 5/19/2016 9:46 AM

STANDARD EROSION CONTROL GENERAL NOTES

1. EROSION CONTROL DEVICES AS SHOWN ON THE EROSION CONTROL PLAN FOR THE PROJECT SHALL BE INSTALLED PRIOR TO THE START OF LAND DISTURBING ACTIVITIES ON THE PROJECT.
2. ALL EROSION CONTROL DEVICES ARE TO BE INSTALLED IN ACCORDANCE WITH THE APPROVED PLANS AND SPECIFICATIONS FOR THE PROJECT. CHANGES ARE TO BE APPROVED BEFORE CONSTRUCTION BY THE DESIGN ENGINEER AND THE CITY OF FRISCO.
3. IF THE EROSION CONTROL PLAN AS APPROVED CANNOT CONTROL EROSION AND OFF-SITE SEDIMENTATION FROM THE PROJECT THE EROSION CONTROL PLAN WILL BE REQUIRED TO BE REVISED AND/OR ADDITIONAL EROSION CONTROL DEVICES WILL BE REQUIRED ON SITE.
4. IF OFF-SITE BORROW OR SPOILS SITES ARE USED IN CONJUNCTION WITH THIS PROJECT, THIS INFORMATION SHALL BE DISCLOSED AND SHOWN ON THE EROSION CONTROL PLAN. OFF-SITE BORROW AND SPOILS AREAS ARE CONSIDERED PART OF EROSION CONTROL REQUIREMENTS. THESE AREAS SHALL BE STABILIZED WITH GROUND COVER PRIOR TO FINAL APPROVAL OF THE PROJECT.
5. INSPECTIONS SHALL BE MADE WEEKLY AND AFTER RAIN STORM EVENTS TO INSURE THAT THE DEVICES ARE FUNCTIONING PROPERLY. WHEN SEDIMENT OR MUD HAS CLOGGED THE VOID SPACES BETWEEN STONES OR MUD IS BEING TRACKED ONTO A PUBLIC ROADWAY THE AGGREGATE PAD MUST BE WASHED DOWN OR REPLACED. RUNOFF FROM THE WASH DOWN OPERATION SHALL NOT BE ALLOWED TO DRAIN DIRECTLY OFF SITE WITHOUT FIRST FLOWING THROUGH ANOTHER BMP TO CONTROL OFF SITE SEDIMENTATION. PERIODIC RE-GRADING OR THE ADDITION OF NEW STONE MAY BE REQUIRED TO MAINTAIN THE EFFICIENCY OF THE INSTALLATION.
6. CONTRACTOR SHALL HAVE A COPY THE SWPPP ON SITE AT ALL TIMES.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR SUBMITTAL OF N.O.I., N.O.T. AND ANY ADDITIONAL INFORMATION REQUIRED BY THE E.P.A. CONTRACTOR SHALL COMPLY WITH ALL E.P.A. STORM WATER POLLUTION PREVENTION REQUIREMENTS.

EROSION CONTROL SCHEDULE AND PHASING

THE PROJECT SHALL GENERALLY CONFORM TO THE FOLLOWING:

PHASE 1 – DEMOLITION/GRADING

- A. CONSTRUCT TEMPORARY CONSTRUCTION ENTRANCE, SILT FENCE, AND TREE PROTECTION FENCE ACCORDING TO THE APPROXIMATE LOCATION SHOWN ON GRADING AND EROSION CONTROL PLAN, NOTES, AND DETAIL SHEETS.
- B. BEGIN CLEARING AND GRADING OF SITE.
- C. SEED AND REVEGETATE SLOPES WHERE SHOWN.

PHASE 2 – UTILITIES

- A. KEEP ALL STORM WATER POLLUTION PREVENTION MEASURES IN PLACE.
- B. INSTALL STORM DRAINS AS SPECIFIED ON PLAN SHEETS.
- C. INSTALL INLET PROTECTION.

PHASE 3 – PAVING

- A. KEEP ALL STORM WATER POLLUTION PREVENTION MEASURES IN PLACE. REMOVE AS NEEDED TO PAVE.
- B. STABILIZE SUBGRADE.
- C. PAVE PARKING LOT AND SIDEWALKS AS SPECIFIED ON PLAN SHEETS.
- D. REMOVE TEMPORARY CONSTRUCTION ENTRANCE.
- E. MAINTAIN INLET PROTECTION.

PHASE 4 – LANDSCAPING AND SOIL STABILIZATION

- A. REVEGETATE LOT AND PARKWAYS
- B. LANDSCAPE CONTRACTOR SHALL REVEGETATE ALL AREAS RESERVED FOR LANDSCAPE VEGETATIVE COVERS.
- C. REMOVE EROSION CONTROL DEVICES WHEN GROUND COVER ESTABLISHED.

B.M.P. MAINTENANCE SCHEDULE

TEMPORARY STONE CONSTRUCTION ENTRANCE/EXIT:

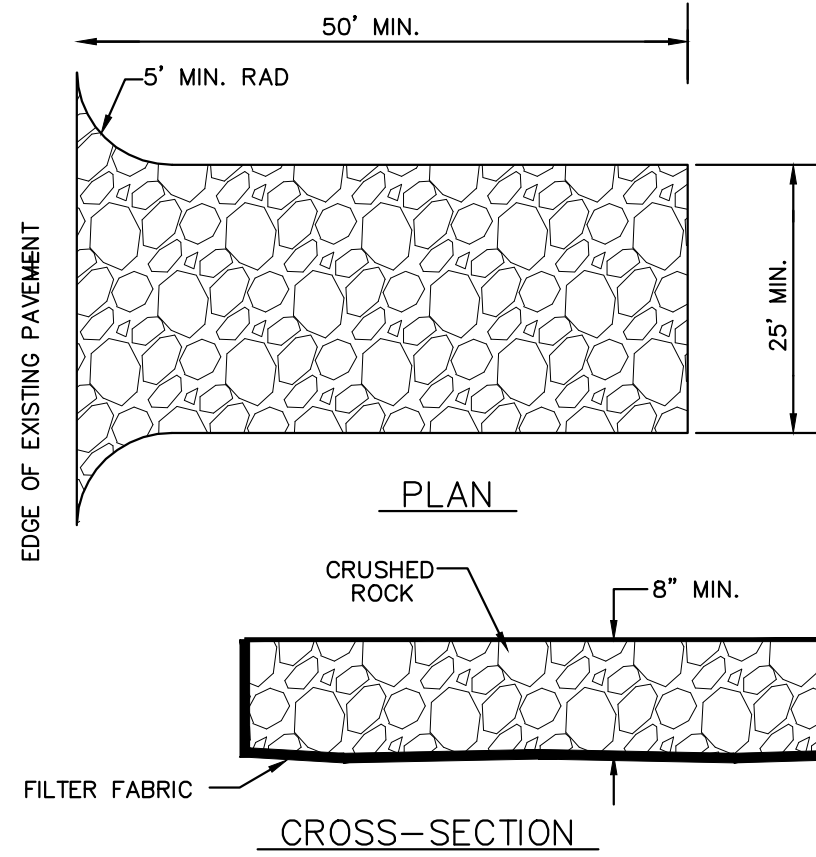
INSPECTIONS SHALL BE MADE WEEKLY AND AFTER RAIN STORM EVENTS TO ENSURE THAT THE FACILITY IS FUNCTIONING PROPERLY. AGGREGATE PAD SHALL BE WASHED DOWN OR REPLACED WHEN SEDIMENT OR MUD HAS CLOGGED THE VOID SPACES BETWEEN THE SONES OR MUD IS BEING TRACKED ONTO THE PUBLIC ROADWAY. RUNOFF FROM WASH DOWN OPERATION SHALL BE FILTERED THROUGH ANOTHER B.M.P. PRIOR TO DRAINING OFF-SITE.

SILT FENCE:

INSPECTIONS SHALL BE MADE WEEKLY AND AFTER RAIN STORM EVENTS. SEDIMENT SHALL BE REMOVED FROM BEHIND THE FENCE WHEN THE DEPTH OF SEDIMENT HAS BUILT UP TO ONE-THIRD THE HEIGHT OF THE FENCE ABOVE GRADE. FENCE SHALL BE INSPECTED FOR GAPS AT BASE. INSPECT SUPPORTING POSTS AND FILTER FABRIC. REPLACE IF REQUIRED.

INLET PROTECTION:

INSPECTIONS SHALL BE MADE WEEKLY AND AFTER RAIN STORM EVENTS TO ENSURE THAT THE DEVICE IS FUNCTIONING PROPERLY. SEDIMENT SHALL BE REMOVED FROM THE STORAGE AREA WHEN SEDIMENT DEPTH HAS BUILT UP TO ONE-HALF THE DESIGN DEPTH. IF DE-WATERING OF THE STORAGE VOLUME IS NOT OCCURRING, CLEAN OR REPLACE THE FILTER STONE SURROUNDING THE INLET. CLEAN THE STONE SURFACE THE FIRST FEW TIMES BY RAKING. REPEATED SEDIMENT BUILD-UP WILL REQUIRE FILTER STONE REPLACEMENT.



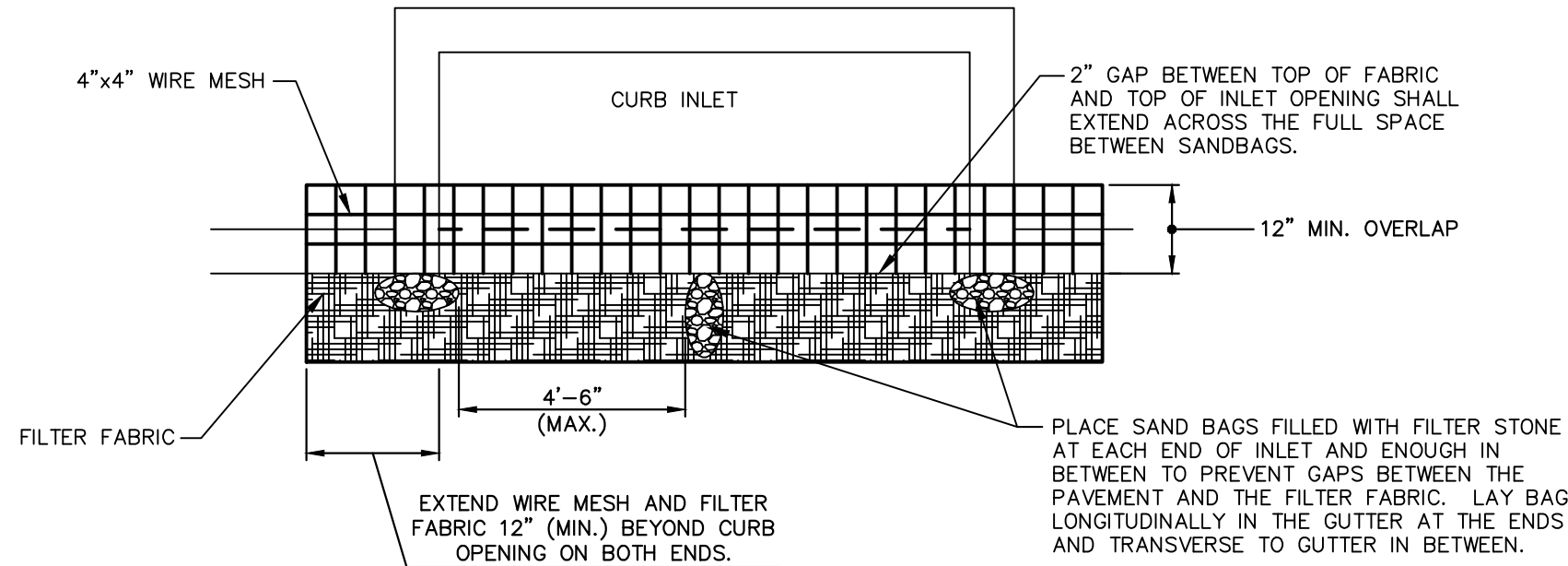
CONSTRUCTION ENTRANCE NOTES:

1. STONE SIZE – 5 INCHES (MIN) ROCK.
2. LENGTH – AS EFFECTIVE, BUT NOT LESS THAN 50 FEET.
3. THICKNESS – NOT LESS THAN 8 INCHES.
4. WIDTH – NOT LESS THAN 25 FEET OF ALL POINTS OF INGRESS OR EGRESS.
5. WASHING – WHEN NECESSARY, WHEELS SHALL BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTRANCE ONTO PUBLIC ROADWAY. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED TRAP OR SEDIMENT BASIN. ALL SEDIMENT SHALL BE PREVENTED FROM ENTERING ANY STORM DRAIN, DITCH OR WATERCOURSE USING APPROVED METHODS.
6. MAINTENANCE – THE ENTRANCE SHALL BE MAINTAINED IN CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC ROADWAYS. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND, AND REPAIR AND/OR CLEAN OUT OF ANY MEASURES USED TO TRAP SEDIMENT. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC ROADWAY, MUST BE REMOVED IMMEDIATELY.
7. DRAINAGE – ENTRANCE MUST BE PROPERLY GRADED OR INCORPORATE A DRAINAGE SWALE TO PREVENT RUNOFF FROM LEAVING THE CONSTRUCTION SITE.
8. CONTRACTOR TO COORDINATE EXACT LOCATION OF THIS DETAIL.

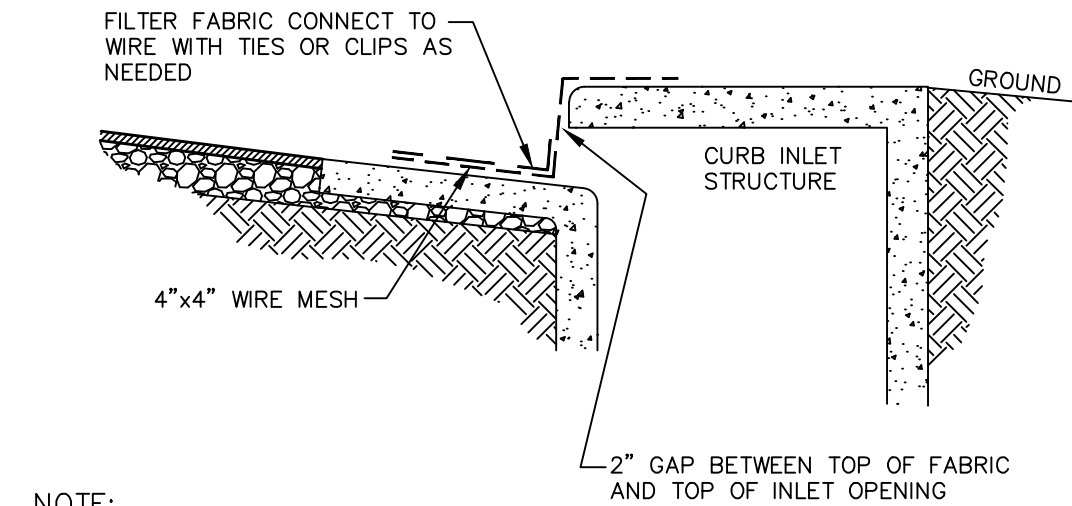
CONSTRUCTION ENTRANCE

N.T.S.

CE



PLAN VIEW



CROSS SECTION

CURB INLET PROTECTION DETAIL

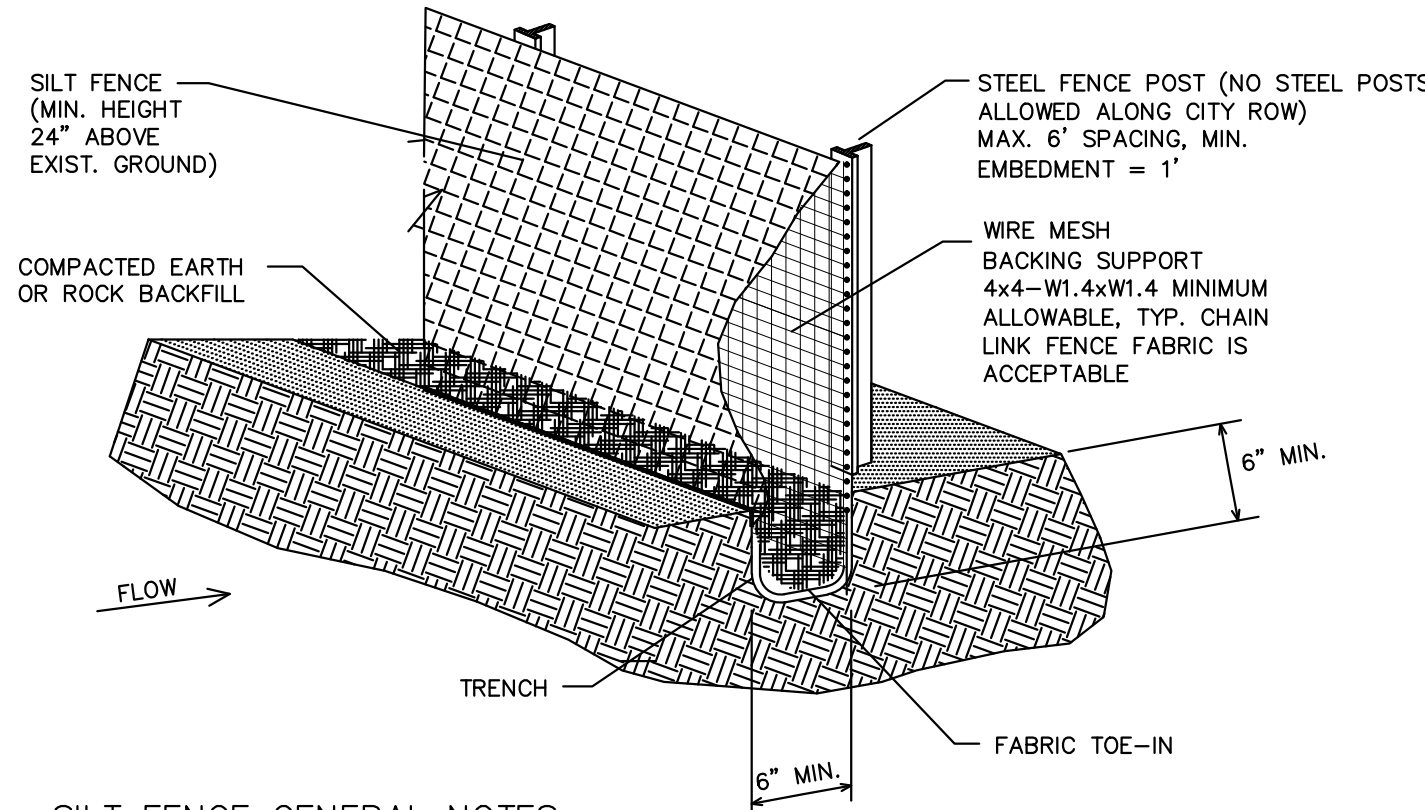
N.T.S.

IP

This drawing has been revised to show those changes during the construction process reported by the contractor to ClayMoore Engineering, Inc. and considered to be significant. This drawing is not guaranteed to be "As Built" but is based on the information made available.

By: *Matt Moore*

Date: 07/27/2016



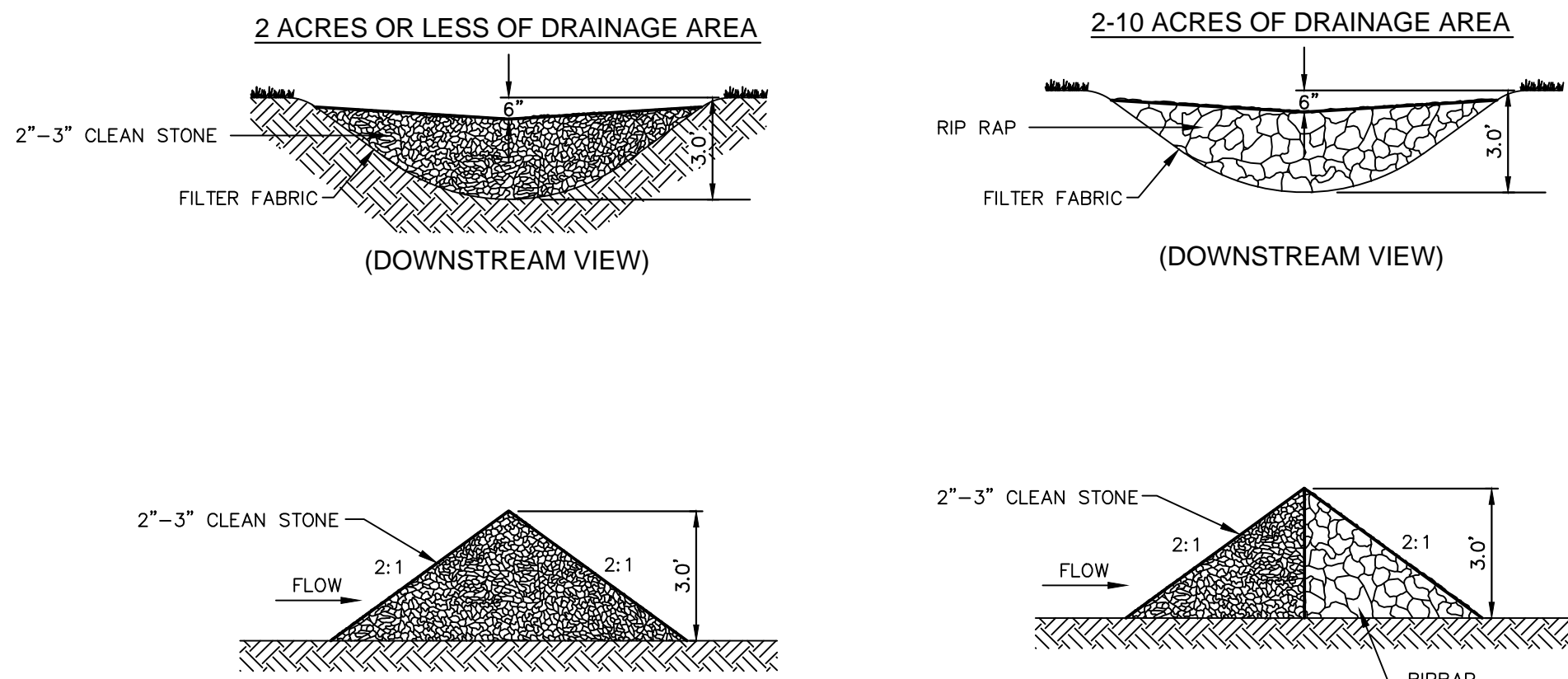
SILT FENCE GENERAL NOTES

1. STEEL POSTS WHICH SUPPORT THE SILT FENCE SHALL BE INSTALLED ON A SLIGHT ANGLE TOWARD THE ANTICIPATED RUNOFF SOURCE. POST MUST BE EMBEDDED A MINIMUM OF ONE FOOT.
2. THE TOE OF THE SILT FENCE SHALL BE TRENCHED IN WITH A SPADE OR MECHANICAL TRENCHER, SO THAT THE DOWN SLOPE FACE OF THE TRENCH IS FLAT AND PERPENDICULAR TO THE LINE OF FLOW. WHERE FENCE CANNOT BE TRENCHED IN (e.g. PAVEMENT), WEIGHT FABRIC FLAP WITH ROCK ON UPHILL SIDE TO PREVENT FLOW FROM SEEPING UNDER FENCE.
3. THE TRENCH MUST BE A MINIMUM OF 6 INCHES DEEP AND 6 INCHES WIDE TO ALLOW FOR THE SILT FENCE FABRIC TO BE LAID IN THE GROUND AND BACKFILLED WITH COMPACTED MATERIAL.
4. SILT FENCE SHOULD BE SECURELY FASTENED TO EACH STEEL SUPPORT POST OR TO WOVEN WIRE, WHICH IN TURN IS ATTACHED TO THE STEEL FENCE POST. THERE SHALL BE A 3 FOOT OVERLAP, SECURELY FASTENED WHERE ENDS OF FABRIC MEET.
5. INSPECTION SHALL BE MADE EVERY WEEK AND AFTER EACH 1/2" RAINFALL. REPAIR OR REPLACEMENT SHALL BE MADE PROMPTLY AS NEEDED.
6. SILT FENCE SHALL BE REMOVED WHEN THE SITE IS COMPLETELY STABILIZED SO AS NOT TO BLOCK OR IMPEDE STORM FLOW OR DRAINAGE.
7. ACCUMULATED SILT SHALL BE REMOVED WHEN IT REACHES A DEPTH OF HALF THE HEIGHT OF THE FENCE. THE SILT SHALL BE DISPOSED OF AT AN APPROVED SITE AND IN SUCH A MANNER AS TO NOT CONTRIBUTE TO ADDITIONAL SILTATION.

CONSTRUCTION OF A FILTER BARRIER

N.T.S.

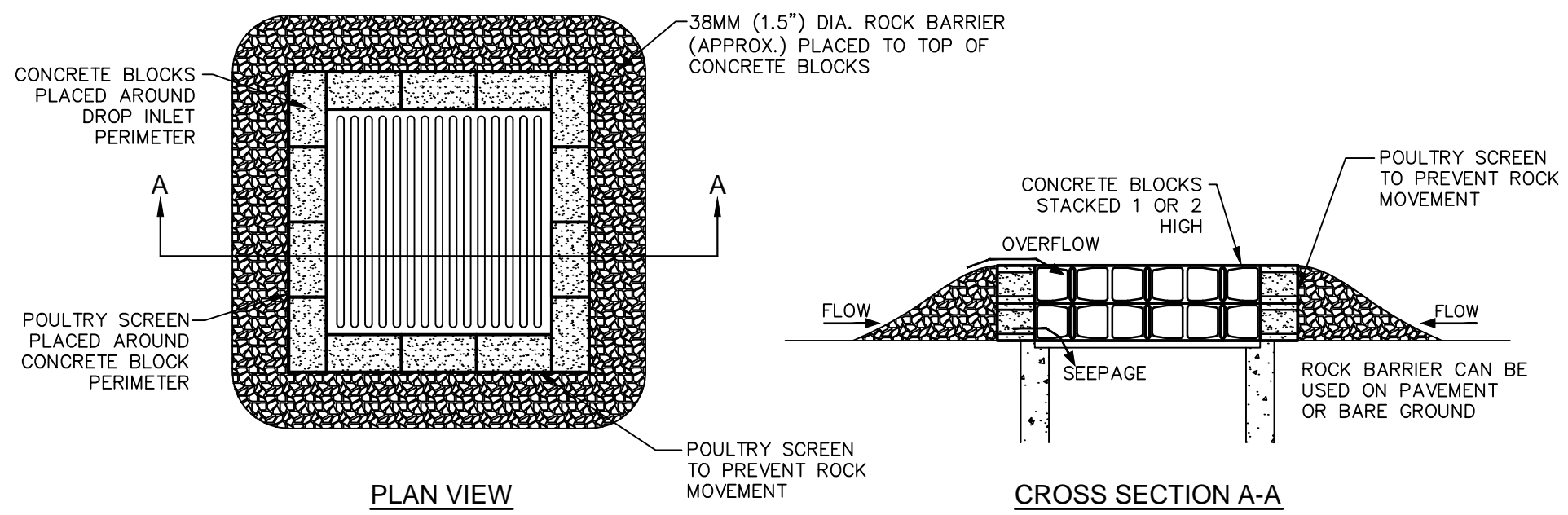
FB



ROCK CHECK DAM DETAIL

N.T.S.

CD



PLAN VIEW

CROSS SECTION A-A

GRATE INLET PROTECTION DETAIL

N.T.S.

IP

TEXAS REGISTRATION #14109

CLAYMOORE  
ENGINEERING

PHONE 917.261.0072  
WWW.CLAYMOORE.COM



TEEL CROSSING  
MAIN STREET  
FRISCO, TX

NO.	DATE	REVISION	BY

EROSION CONTROL DETAILS

DESIGN: BJK  
DRAWN: BJK  
CHECKED: MAM  
DATE: 05/19/2016

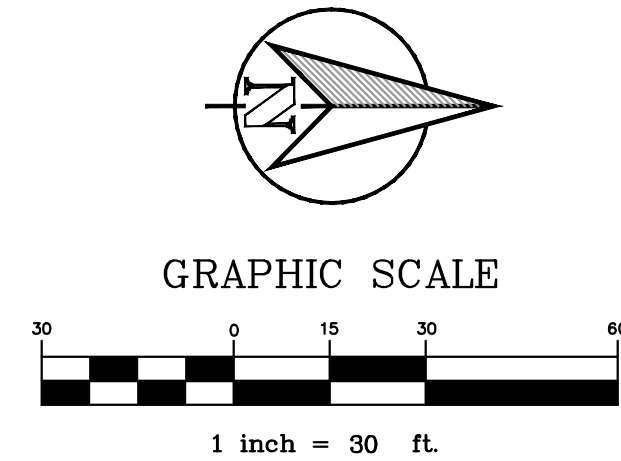
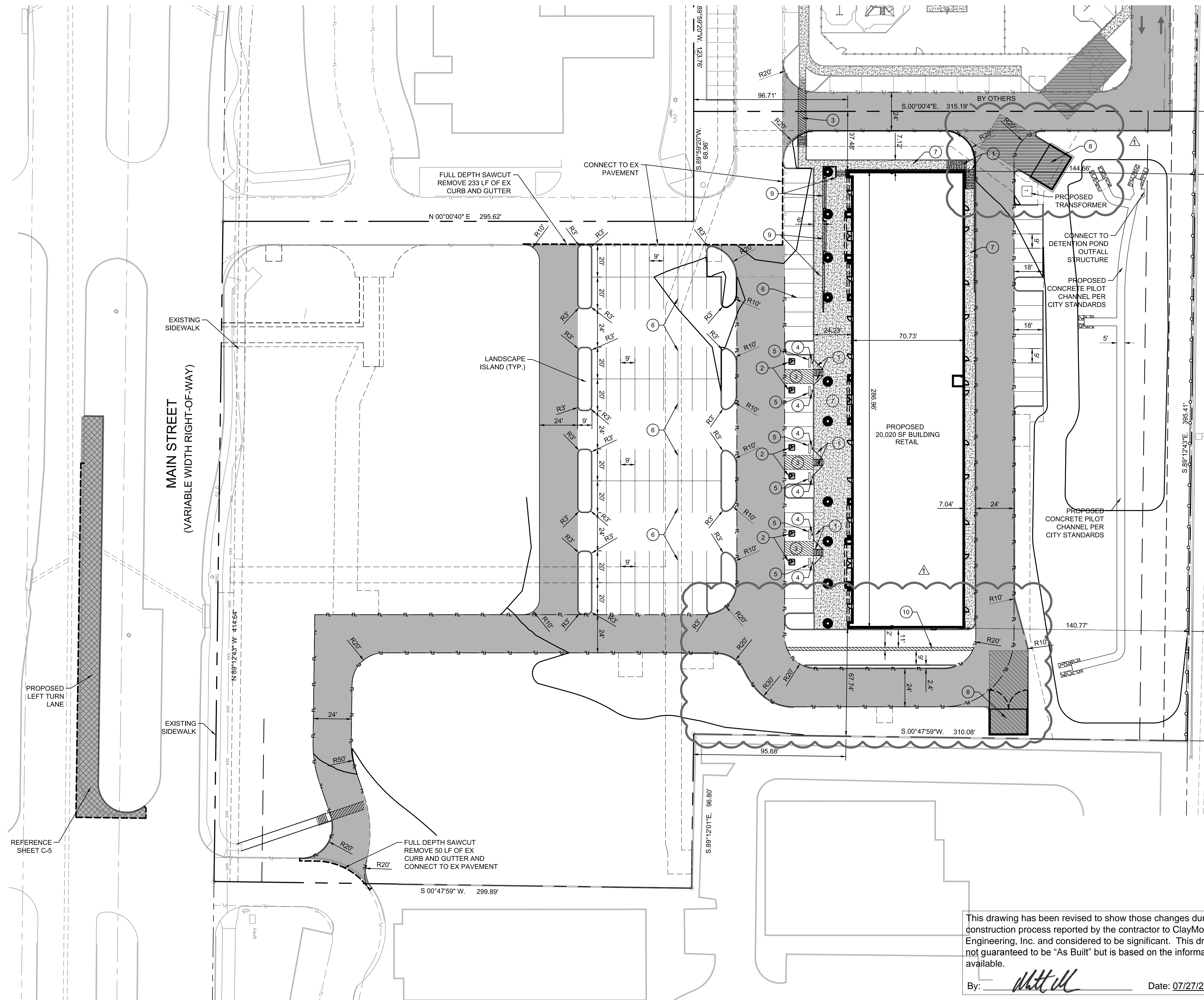
SHEET




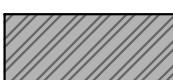





C-3

File No.



PLOTTED BY: BOBBY KUBIN  
 PLOT DATE: 5/19/2016 11:13 AM  
 LOCATION: Z:\PROJECTS\PROJECT  
 LAST SAVED: 4/20/2016 11:31 AM



LEGEND	
	PROPOSED STANDARD CONCRETE PAVEMENT PER DETAILS SHEET C-14
	PROPOSED HEAVY DUTY CONCRETE PAVING PER DETAILS SHEET C-14
	PROPOSED CONCRETE SIDEWALK PER DETAILS SHEET C-14
	PROPOSED DUMPSTER CONCRETE PAVING PER DETAILS SHEET C-14
	PROPOSED CONCRETE CURB AND GUTTER
	PARKING COUNT
	FULL-DEPTH SAWCUT: CONNECT TO EXISTING PAVEMENT WITH LONGITUDINAL BUTT JOINT. SEE DETAIL SHEET C-14
	PROPOSED FIRE LANE
	PROPOSED LIGHTPOLE (TYP)

CONSTRUCTION SCHEDULE	
①	HANDICAP RAMPS PER DETAILS SHEET C-14
②	HANDICAP SYMBOL PER DETAILS SHEET C-14
③	PAVEMENT STRIPING PER DETAILS SHEET C-14
④	HANDICAP SIGN DETAILS PER DETAILS C-14
⑤	CURB STOP PER DETAILS SHEET C-14
⑥	4" PARKING STALL STRIPING COLOR: WHITE (TYP)
⑦	SIDEWALK PER DETAILS SHEET C-14
⑧	PROPOSED DUMPSTER AREA AND ENCLOSURE REFER TO TO ARCH PLANS FOR DETAILS
⑨	PROPOSED STAIRS REFER TO TO ARCH PLANS FOR DETAILS
⑩	4" WHITE PAINTED TRAFFIC STRIPES 2' O.C. AT 45°

**NOTES:**

1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS OTHERWISE NOTED.
2. REFER TO ARCHITECTURAL PLANS FOR BUILDING DIMENSIONS AND EXACT DOOR LOCATIONS.
3. A THIRD PARTY INSPECTION WILL BE REQUIRED ON FIRE LANE CONSTRUCTION. A LETTER SHALL BE PROVIDED (BY TESTING LAB OR DESIGN ENGINEER) THAT CERTIFIES THAT FIRE LANE HAS BEEN CONSTRUCTED IN ACCORDANCE WITH ALL STAIRWINDS AND CONSTRUCTION PLANS. THE LETTER SHALL SPECIFY TO DEPTH, STRENGTH AND REBAR PLACEMENT.
4. THE CONTRACTOR SHALL SUBMIT A PAVING JOINT LAYOUT (EXPANSION AND CONTRACTION JOINTS) FOR APPROVAL PRIOR TO CONSTRUCTION.

**PROJECT BENCHMARK:**  
STANDARD CITY OF FRISCO MONUMENT -  
STATION NO. 7 AND ALUMINUM DISK LOCATED  
BETWEEN A SIDEWALK AND GUARD RAIL ON THE  
WEST SIDE OF TEEL PARKWAY SOUTH OF THE  
INTERSECTION OF TEEL PARKWAY AND  
ELDORADO PARKWAY.  
ELEVATION = 589.43 FEET

This drawing has been revised to show those changes during the construction process reported by the contractor to ClayMoore Engineering, Inc. and considered to be significant. This drawing is not guaranteed to be "As Built" but is based on the information made available.

By: Watt M Date: 07/27/2016

**TEEL CROSSING  
MAIN STREET  
FRISCO, TX**

## DIMENSIONAL CONTROL & PAVING PLAN

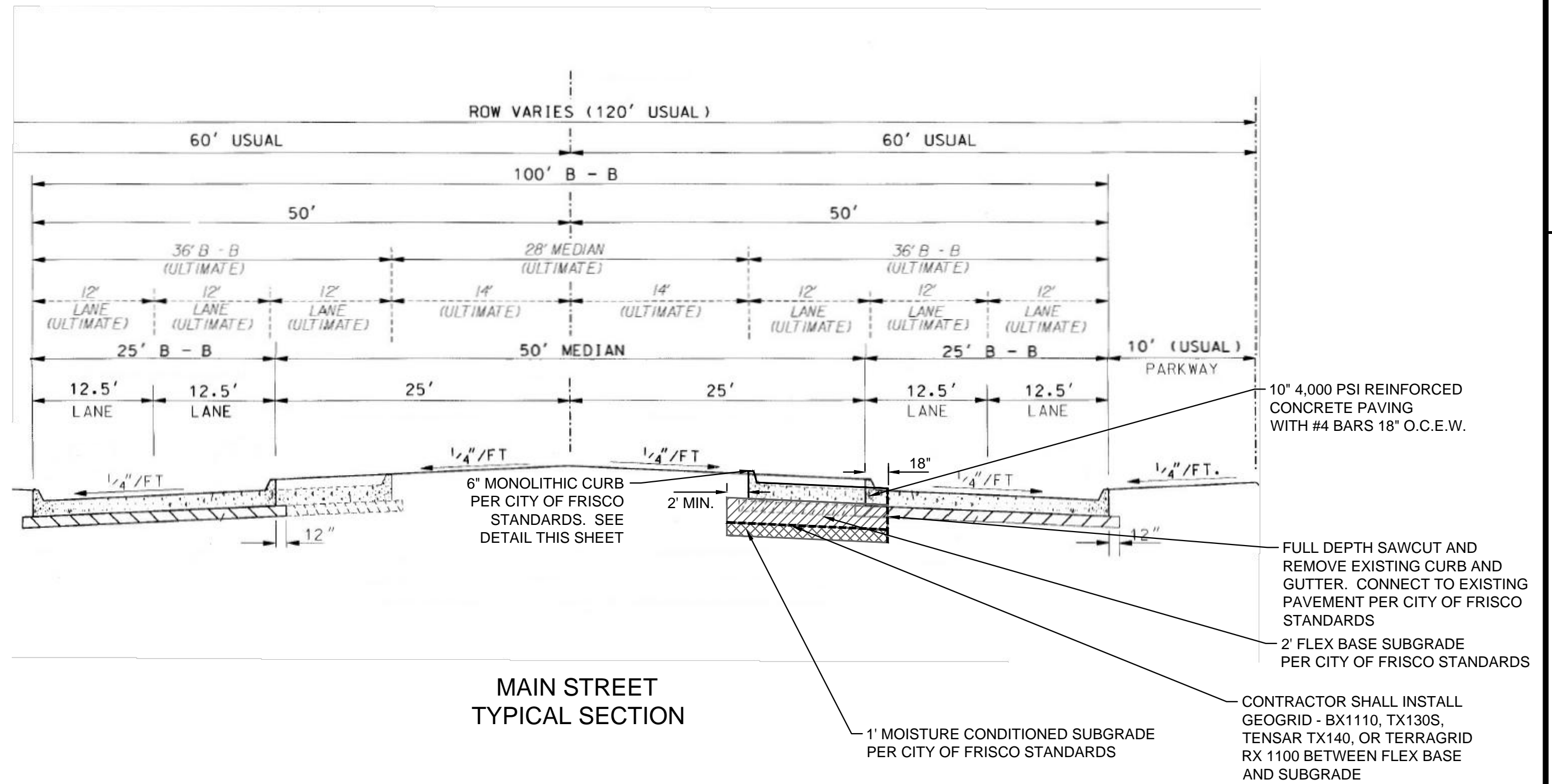
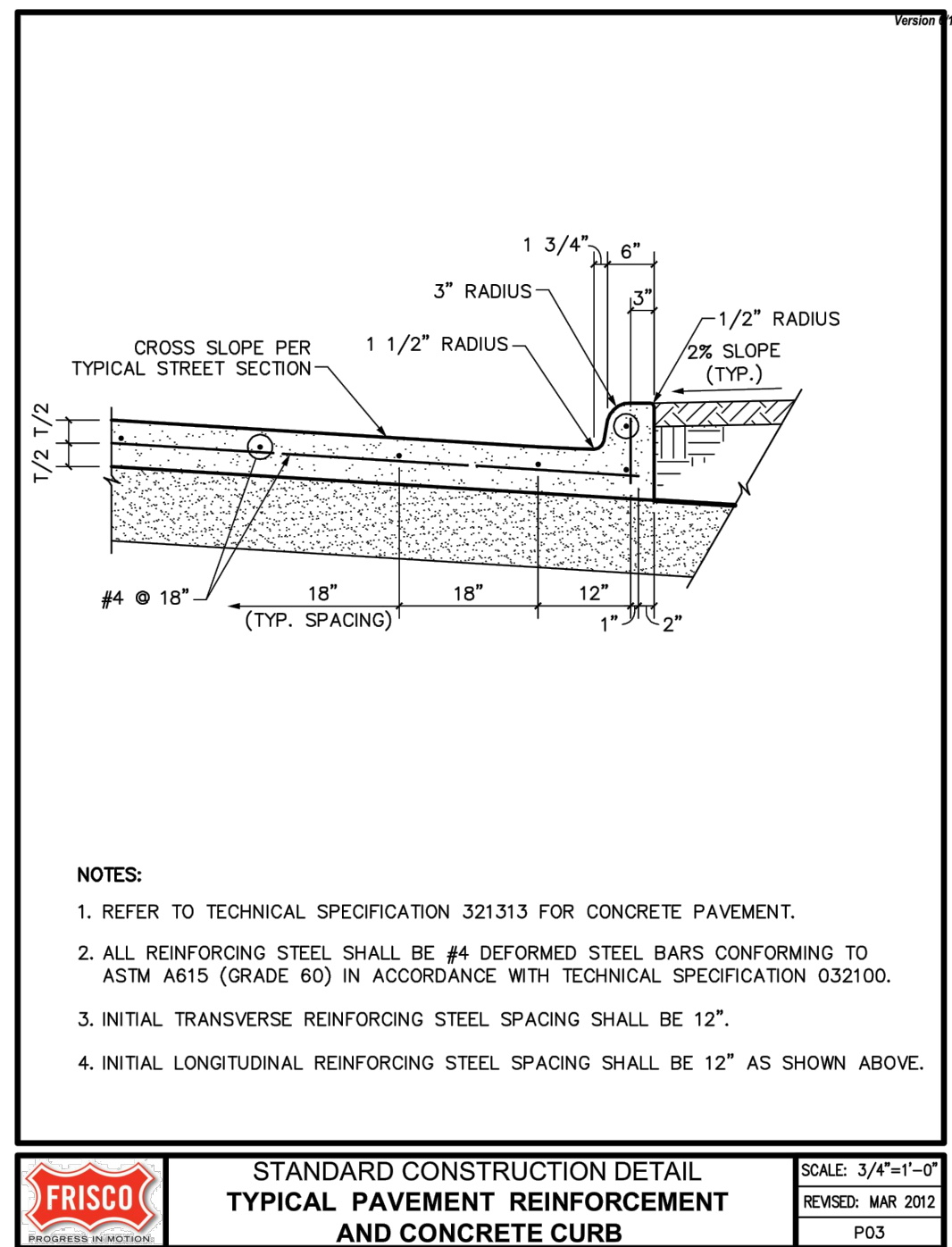
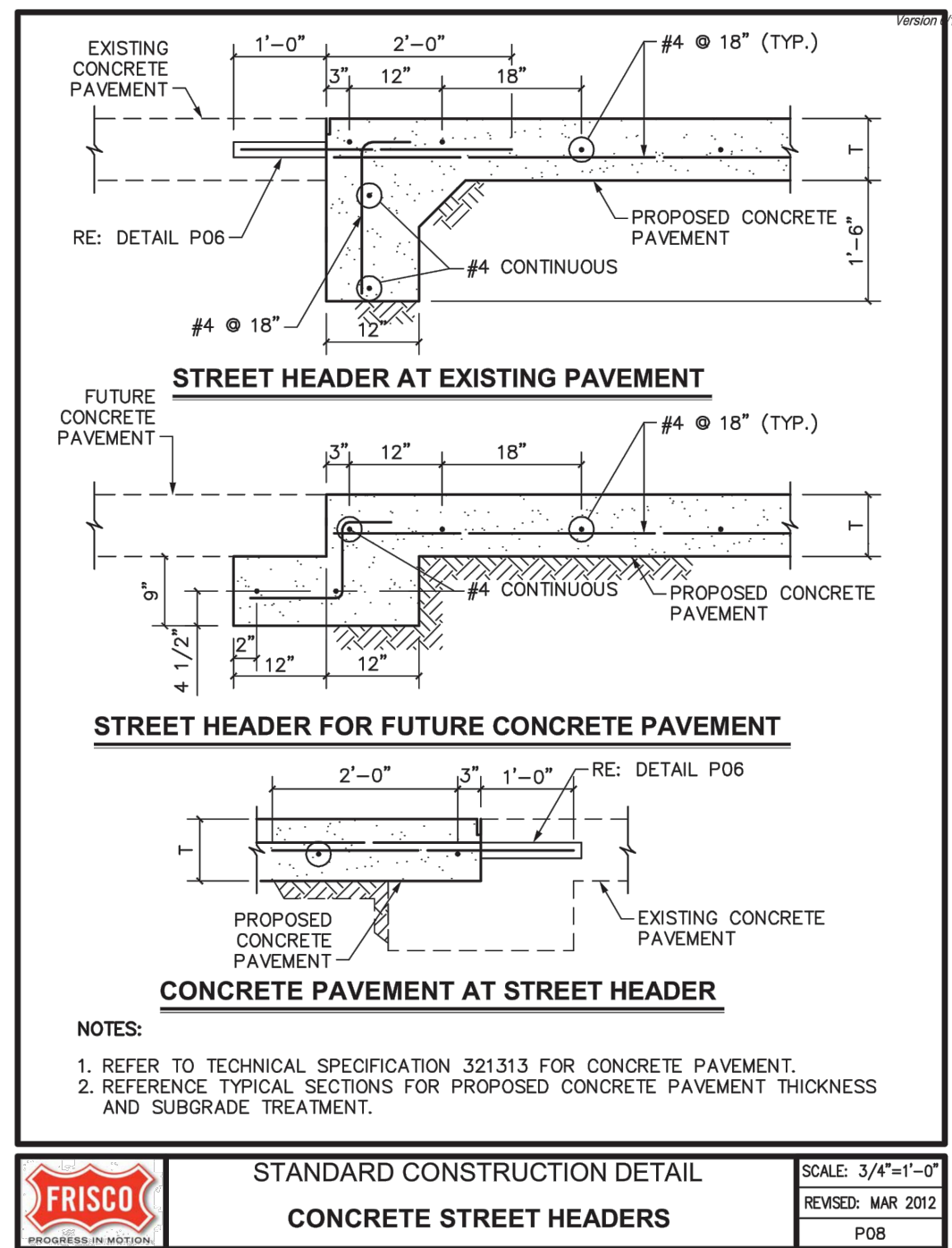
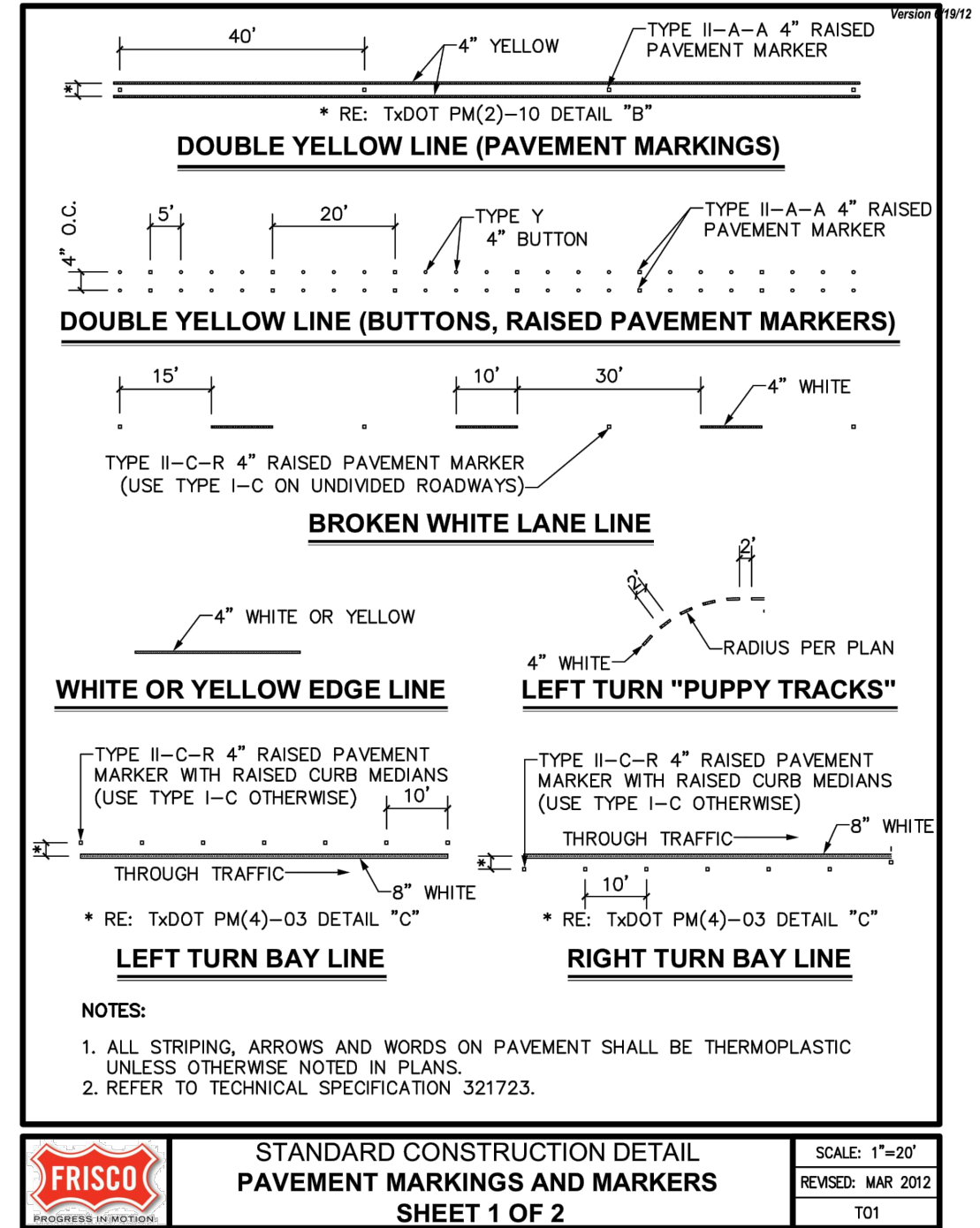
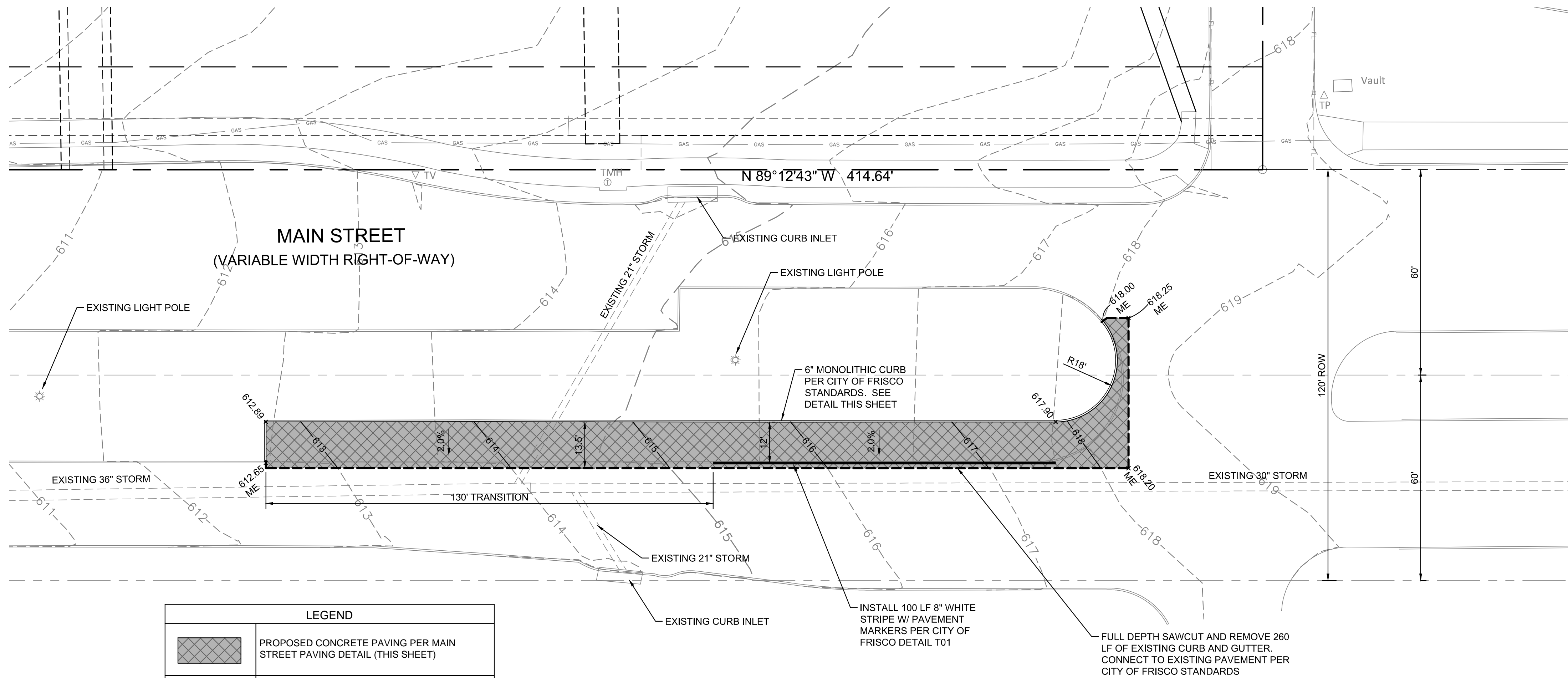
DESIGN:	BJK
DRAWN:	BJK
CHECKED:	MAM
DATE:	05/19/2016

SHEET  
C-4

File No.



PLOTTED BY: BOBBY KUBIN  
 PLOT DATE: 5/19/2016 11:14 AM  
 LOCATION: Z:\PROJECTS\PROJECTS\2014-104 CDG FRISCO PRIMROSE CADD\SHEETS-VCM\C-5 MAIN STREET LEFT TURN LANE.DWG  
 LAST SAVED: 10/22/2015 10:57 AM



This drawing has been revised to show those changes during the construction process reported by the contractor to ClayMoore Engineering, Inc. and considered to be significant. This drawing is not guaranteed to be "As Built" but is based on the information made available.

By: *Matt Moore* Date: 07/27/2016

PROJECT BENCHMARK:  
 STANDARD CITY OF FRISCO MONUMENT - STATION NO. 7 AND ALUMINUM DISK LOCATED BETWEEN A SIDEWALK AND GUARD RAIL ON THE WEST SIDE OF TEEL PARKWAY SOUTH OF THE INTERSECTION OF TEEL PARKWAY AND ELDORADO PARKWAY.  
 ELEVATION = 589.43 FEET

TEXAS REGISTRATION #14109  
  
 1903 CENTRAL DRIVE, SUITE 400  
 FORT WORTH, TX 76102  
 PHONE 817.261.0072  
 WWW.CLAYMOORE.COM

05/19/2016

TEEL CROSSING  
 MAIN STREET  
 FRISCO, TX

NO.	DATE	REVISION	BY

MAIN STREET LEFT TURN LANE

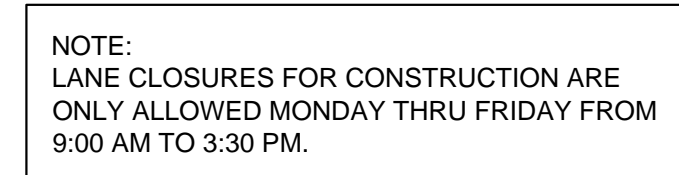
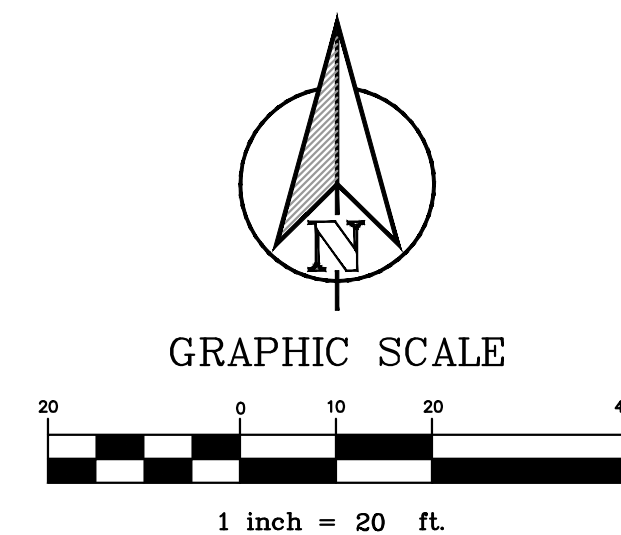
DESIGN:	BJK
DRAWN:	BJK
CHECKED:	MAM
DATE:	05/19/2016

SHEET  
C-5


File No.



PI OTTED BY: BOBBY KUBIN



By: Matt M Date: 07/27/2016



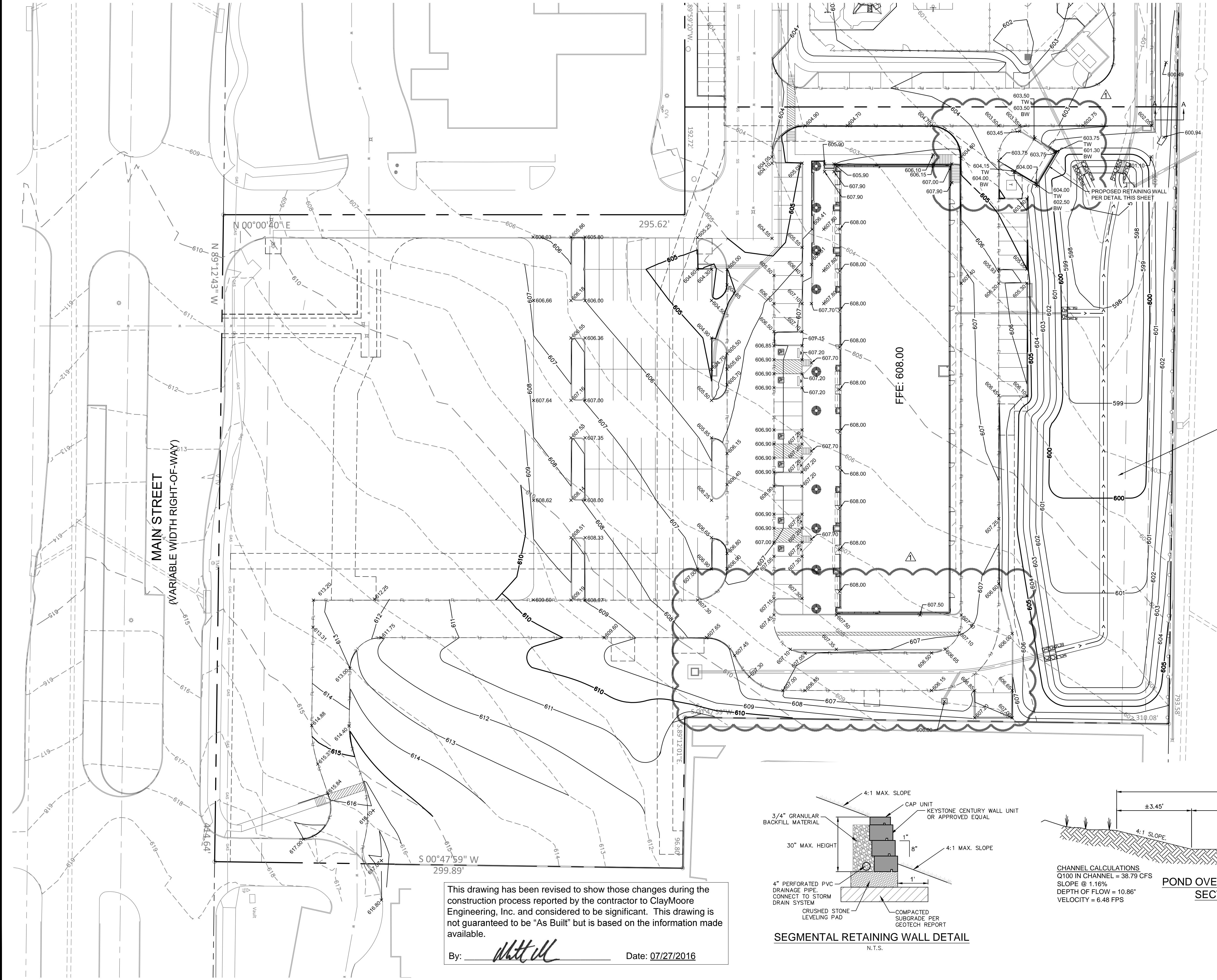
## MAIN STREET TRAFFIC CONTROL PLAN

[illegible]

DESIGN:	BJK
DRAWN:	BJK
CHECKED:	MAM
DATE:	05/19/2016
SHEET	
C-5A	
File No.	



PLOTTED BY: BOBBY KUBIN  
 PLOT DATE: 5/19/2016 11:16 AM  
 LOCATION: Z:\PROJECTS\PRIMROSE\2014-104 CDG FRISCO PRIMROSE\CADD\SHEETS-VCM\C-6 GRADING PLAN.DWG  
 LAST SAVED: 5/19/2016 9:59 AM



TEXAS REGISTRATION #14199  
**CLAYMOORE ENGINEERING**  
 1903 CENTRAL DRIVE, SUITE 400  
 FORT WORTH, TX 76102  
 PHONE 817.261.0072  
 WWW.CLAYMOORE.COM

STATE OF TEXAS  
 MATT MOORE  
 95813  
 LICENSED PROFESSIONAL ENGINEER  
 05/19/2016

**TEEL CROSSING**  
**MAIN STREET**  
**FRISCO, TX**

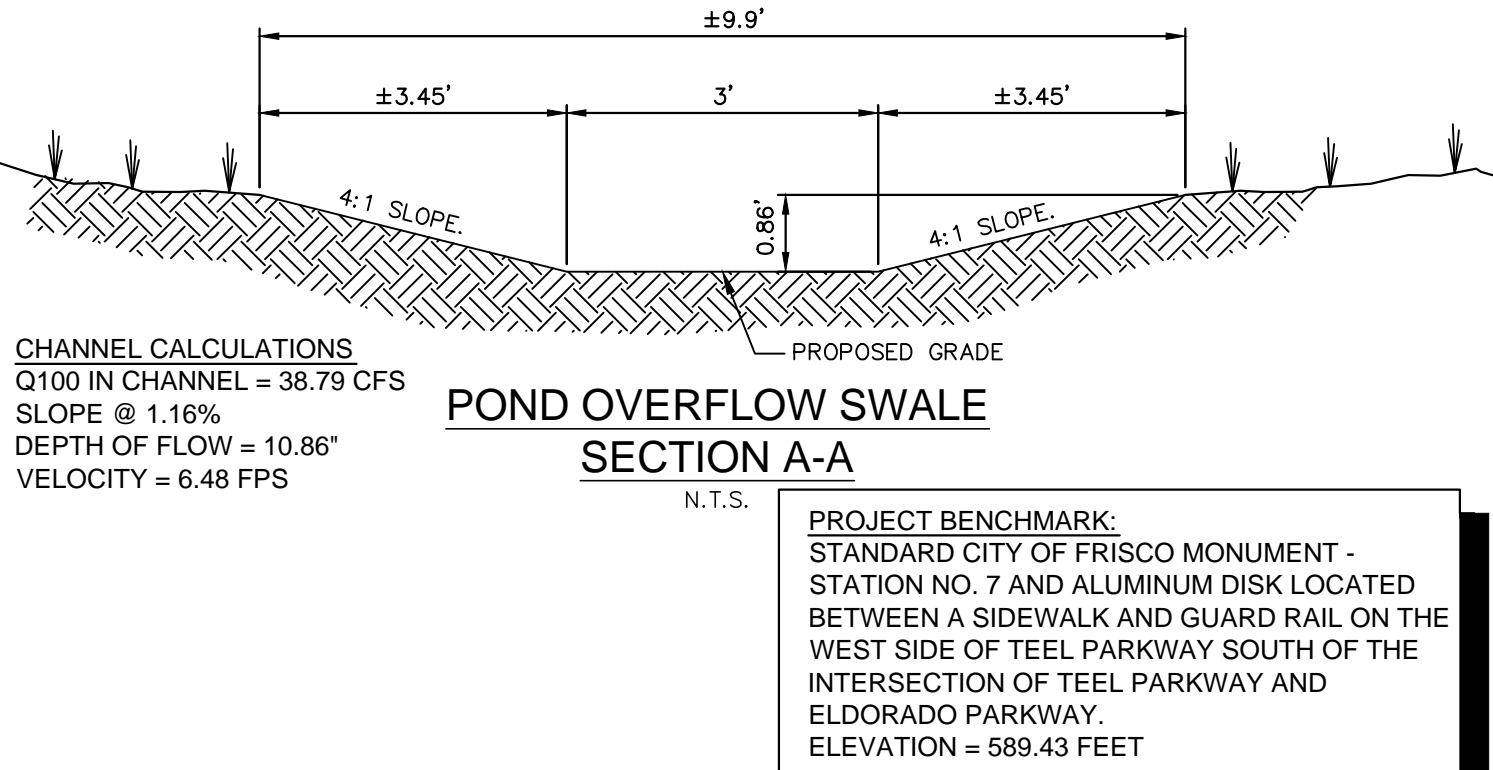
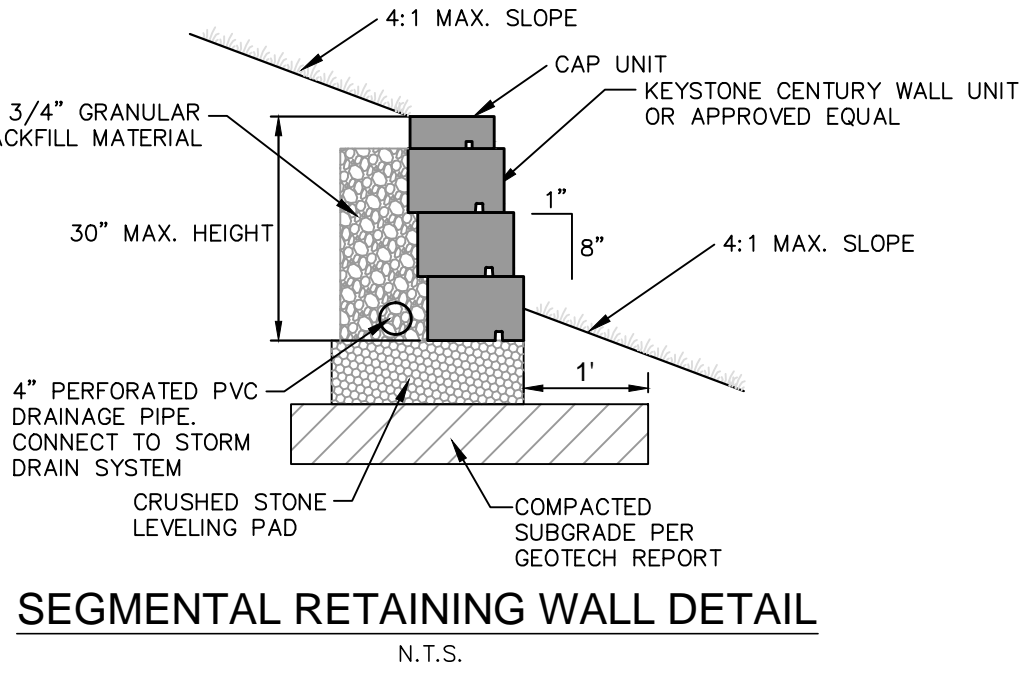
LEGEND	
---100---	EXISTING CONTOUR
—100—	PROPOSED CONTOUR
x699.50	PROPOSED GRADE (TOP OF PAVEMENT)
ME	MATCH EXISTING
TC	TOP OF CURB
TW	TOP OF WALL
BW	BOTTOM OF WALL

GRAPHIC SCALE  
 1 inch = 30 ft.

PROPOSED DETENTION POND BY OTHERS. REFER TO PRIMROSE SCHOOL OF FRISCO PLANS BY CLAYMOORE ENGINEERING.

This drawing has been revised to show those changes during the construction process reported by the contractor to ClayMoore Engineering, Inc. and considered to be significant. This drawing is not guaranteed to be "As Built" but is based on the information made available.

By: *Matt Moore* Date: 07/27/2016



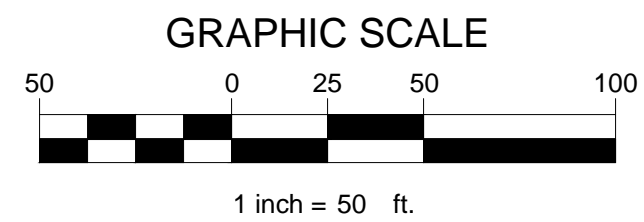
GRADING PLAN			
No.	DATE	REVISION	BY
1	10/27/15	ADDED DRIVE THRU LANE AND DUMPSTER	
DESIGN: BJK			
DRAWN: BJK			
CHECKED: MAM			
DATE: 05/19/2016			
SHEET			
C-6			
File No.			



PLOTTED BY: BOBBY KUBIN  
 PLOT DATE: 5/19/2016 11:16 AM  
 LOCATION: Z:\PROJECTS\PROJECT  
 LAST SAVED: 10/22/2015 11:20 AM

By: Watt Date: 07/27/2016

DRAINAGE AREA	AREA (AC.)	C	Tc	I <sub>100</sub> (IN/HR)	Q <sub>100</sub> (CFS)	REMARKS
OS-1	0.66	0.90	10	8.74	5.19	DRAINS TO EX CURB INLET
OS-2	0.53	0.90	10	8.74	4.17	DRAINS TO EX CURB INLET
OS-3	0.31	0.90	10	8.74	2.44	DRAINS TO TEEL PARKWAY
OS-4	1.22	0.90	10	8.74	9.60	DRAINS TO TEEL PARKWAY
<b>TOTAL OFF SITE DRAINAGE</b>	<b>2.72</b>				<b>21.40</b>	



LEGEND	
	<ul style="list-style-type: none"> <li>- DRAINAGE AREA</li> <li>- DRAINAGE AREA IN ACRES</li> <li>- FLOW FOR DRAINAGE AREA IN CFS</li> </ul>
	DIRECTION OF FLOW
	DRAINAGE AREA BOUNDARY
	EX. STORM LINE
	EX. SEWER LINE
	EX. WATER LINE
	EX. FIRE HYDRANT
	PROPOSED FIRE HYDRANT
	PROPOSED SEWER LINE
	PROPOSED WATER LINE
	PROPOSED STORM DRAIN

ACCORDING TO MAP NO. 48121C0440G, DATED APRIL 18, 2011 OF THE NATIONAL FLOOD INSURANCE PROGRAM MAP, FLOOD INSURANCE RATE MAP OF DENTON COUNTY, TEXAS, FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, THIS PROPERTY IS WITHIN ZONE "X" (SHADED) AND IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA.

TEXAS REGISTRATION #14199

**CLAYMOORE**

**ENGINEERING**

PHONE 817.281.0572  
WWW.CLAYMOOREENG.COM

603 CENTRAL DRIVE, SUITE #406  
EDFORD, TX 76021



**TEEL CROSSING**  
**MAIN STREET**  
**FRISCO, TX**

[illegible]

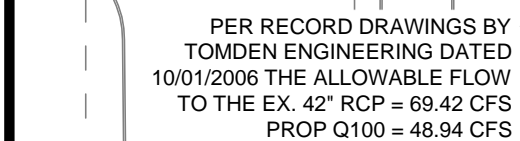
## DRAINAGE AREA MAP EXISTING CONDITIONS

DESIGN:	BJK
DRAWN:	BJK
CHECKED:	MAM
DATE:	05/19/2016
SHEET	
C-7	

File No.



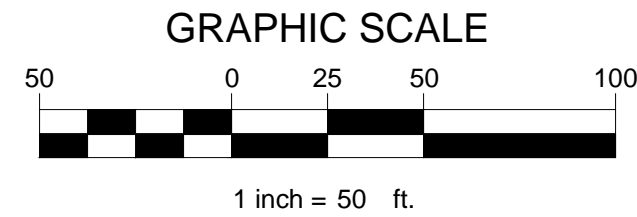
PLOTTED BY: BOBBY KUBIN



ACCORDING TO MAP NO. 48121C0440G, DATED APRIL 18, 2011 OF THE NATIONAL FLOOD INSURANCE PROGRAM MAP, FLOOD INSURANCE RATE MAP OF DENTON COUNTY, TEXAS, FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, THIS PROPERTY IS WITHIN ZONE "X" (SHADED) AND IS NOT WITHIN A SPECIAL FLOOD HAZARD AREA.

PER RECORD DRAWINGS BY RLK  
ENGINEERING DATED 3/10/2010 THE  
ALLOWABLE FLOW TO THE EX  
STORM SYSTEM = 24.1 CFS  
PROP Q100 = 24.1 CFS  
(POND OUTFALL, C-1, D-1, AND G-1)

— REFER TO PRIMROSE SCHOOL OF FRISCO  
WEST BY CLAYMOORE ENGINEERING FOR  
DETENTION POND AND OUT FALL DETAILS



LEGEND	
	<ul style="list-style-type: none"> <li>- DRAINAGE AREA</li> <li>- DRAINAGE AREA IN ACRES</li> <li>- FLOW FOR DRAINAGE AREA IN CFS</li> </ul>
	DIRECTION OF FLOW
	DRAINAGE AREA BOUNDARY
	EX. STORM LINE
	EX. SEWER LINE
	EX. WATER LINE
	EX. FIRE HYDRANT
	PROPOSED FIRE HYDRANT
	PROPOSED SEWER LINE
	PROPOSED WATER LINE
	PROPOSED STORM DRAIN

POST DEVELOPMENT RUNOFF CALCULATIONS								
DRAINAGE AREA	AREA (AC.)	C	Tc	I <sub>s</sub> (IN/HR)	Q <sub>s</sub> (CFS)	I <sub>100</sub> (IN/HR)	Q <sub>100</sub> (CFS)	REMARKS
A-1 *	0.21	0.90	10	5.81	1.10	8.74	1.65	DRAINS TO GRATE INLET
A-2 *	0.88	0.90	10	5.81	4.60	8.74	6.92	DRAINS TO WYE INLET
B-1 *	0.14	0.90	10	5.81	0.73	8.74	1.10	DRAINS TO CURB INLET
B-2 *	0.16	0.90	10	5.81	0.84	8.74	1.26	ROOF DRAINS
B-3 *	0.32	0.90	10	5.81	1.67	8.74	2.52	ROOF DRAINS
C-1 **	1.75	0.90	10	5.81	9.15	8.74	13.77	DRAINS TO CURB INLET
C-2 **	0.69	0.90	10	5.81	3.61	8.74	5.43	DRAINS TO CURB INLET
D-1 *	0.89	0.90	10	5.81	4.65	8.74	7.00	DETENTION POND
D-2 *	0.06	0.90	10	5.81	0.31	8.74	0.47	DRAINS TO DETENTION POND
D-3 *	0.10	0.90	10	5.81	0.52	8.74	0.79	DRAINS TO DETENTION POND
E-1 *	0.78	0.90	10	5.81	4.08	8.74	6.14	DRAINS TO DETENTION POND
F-1 *	0.17	0.90	10	5.81	0.89	8.74	1.34	DRAINS TO CURB INLET
F-2 *	0.29	0.90	10	5.81	1.52	8.74	2.28	DRAINS TO CURB INLET
G-1**	0.31	0.90	10	5.81	1.62	8.74	2.44	SHEET FLOWS TO LOT 3R

TOTAL ONSITE DRAINAGE	6.75	35.30	53.11
-----------------------	------	-------	-------

OS-1**	0.09	0.90	10	5.81	0.47	8.74	0.71	DRAINS TO EX WYE INLET
OS-2**	0.23	0.90	10	5.81	1.20	8.74	1.81	DRAINS TO WYE INLET
OS-3**	0.29	0.90	10	5.81	1.52	8.74	2.28	SHEET FLOWS TO TEEL PKWY.
OS-4**	3.79	0.90	10	5.81	19.82	8.74	29.82	DRAINS TO EX 42" RCP

TOTAL OFFSITE DRAINAGE	4.40	23.01	34.62
TOTAL DRAINAGE	11.15	58.30	87.74

\* DENOTES AREAS DRAINING TO DETENTION POND  
\*\* DENOTES UNDETAINED AREAS DRAINING TO MAIN STREET VIA EX. 42" RCP

This drawing has been revised to show those changes during the construction process reported by the contractor to ClayMoore Engineering, Inc. and considered to be significant. This drawing is not guaranteed to be "As Built" but is based on the information made available.

By: Matt M Date: 07/27/2016

**PROJECT BENCHMARK:**  
STANDARD CITY OF FRISCO MONUMENT -  
STATION NO. 7 AND ALUMINUM DISK LOCATED  
BETWEEN A SIDEWALK AND GUARD RAIL ON THE  
WEST SIDE OF TEEL PARKWAY SOUTH OF THE  
INTERSECTION OF TEEL PARKWAY AND  
ELDORADO PARKWAY.  
ELEVATION = 589.43 FEET

**TEEL CROSSING  
MAIN STREET  
FRISCO, TX**

No.	DATE	REVISION	BY

# DRAINAGE AREA MAP PROPOSED CONDITIONS

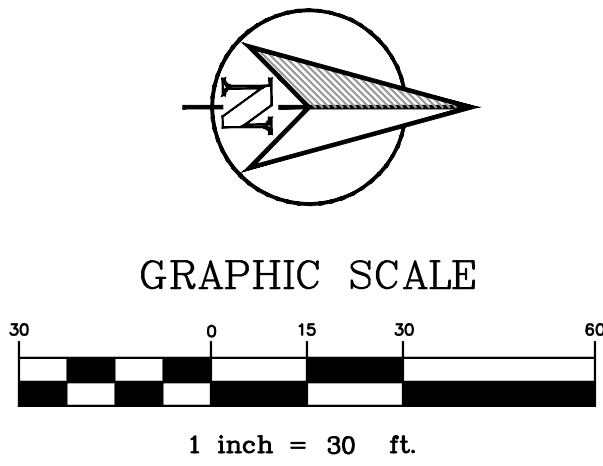
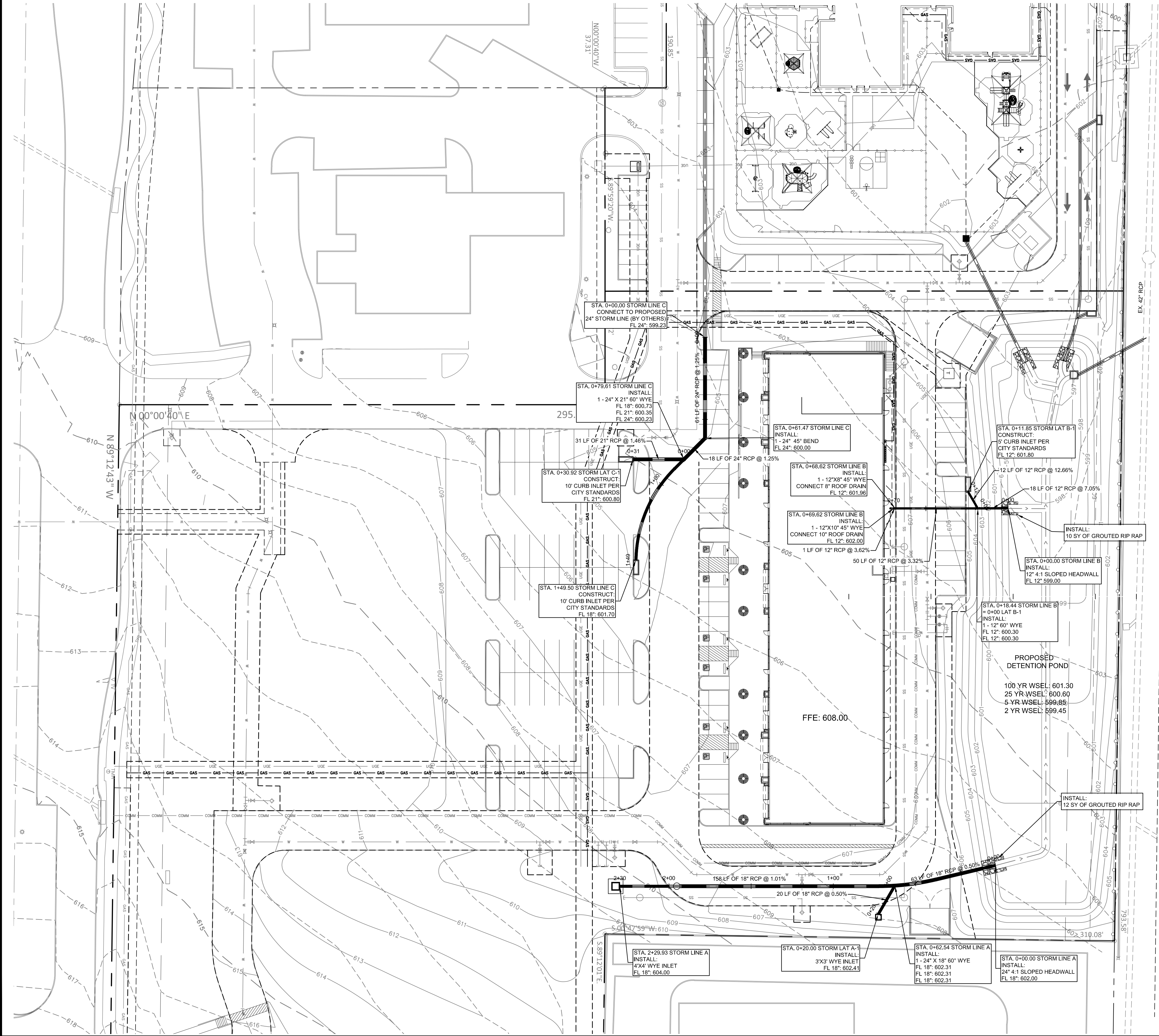
DESIGN:	BJK
DRAWN:	BJK
CHECKED:	MAM
DATE:	05/19/2016

C-8

File No.



PLOTTED BY: BOBBY KUBIN  
PLOT DATE: 5/19/2016 11:19 AM  
LOCATION: Z:\PROJECTS\PROJECTS\2014-104 CDG FRISCO PRIMROSE\CADD\SHEETS-VCM\C-9 DRAINAGE PLAN.DWG  
LAST SAVED: 5/19/2016 10:11 AM



- NOTES:
1. CONTRACTOR SHALL VERIFY EXACT LOCATION AND ELEVATION OF EXISTING STORM LINES PRIOR TO CONSTRUCTION. IF A DISCREPANCY IS FOUND THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
  2. ALL DRAINAGE PIPE LOCATED UNDER A FIRE LANE SHALL BE REINFORCED CONCRETE PIPE

This drawing has been revised to show those changes during the construction process reported by the contractor to ClayMoore Engineering, Inc. and considered to be significant. This drawing is not guaranteed to be "As Built" but is based on the information made available.

By: *W.H. Hill* Date: 07/27/2016

LEGEND	
	EXISTING STORM DRAIN
	PROPOSED STORM DRAIN
	PROPOSED CURB INLET
	PROPOSED WATER LINE
	PROPOSED SANITARY SEWER LINE

PROJECT BENCHMARK:  
STANDARD CITY OF FRISCO MONUMENT -  
STATION NO. 7 AND ALUMINUM DISK LOCATED  
BETWEEN A SIDEWALK AND GUARD RAIL ON THE  
WEST SIDE OF TEEL PARKWAY SOUTH OF THE  
INTERSECTION OF TEEL PARKWAY AND  
ELDORADO PARKWAY.  
ELEVATION = 589.43 FEET

TEXAS REGISTRATION #14199

**CLAYMOORE**  
**ENGINEERING**

PHONE 972.261.0072  
1903 CENTRAL DRIVE, SUITE 400  
FARMERSVILLE, TX 76111  
WWW.CLAYMOORE-ENG.COM

STATE OF TEXAS  
MATT MOORE  
95813  
LICENSED PROFESSIONAL ENGINEER

*Matt Moore* 05/19/2016

**TEEL CROSSING**  
**MAIN STREET**  
**FRISCO, TX**

No.	DATE	REVISION	BY

**DRAINAGE PLAN**

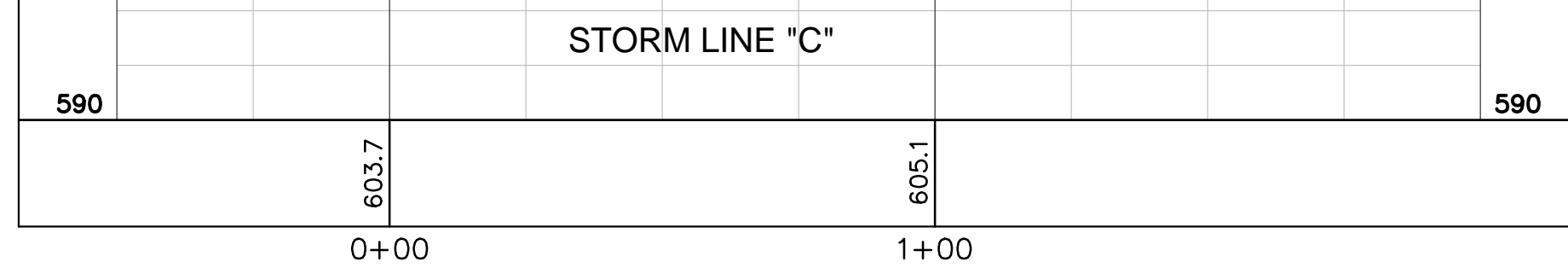
DESIGN: BJK  
DRAWN: BJK  
CHECKED: MAM  
DATE: 05/19/2016

SHEET  
**C-9**

File No.



PI OTTED BY: BOBBY KIRIN



By: Watt M Date: 07/27/2016

**PROJECT BENCHMARK:**  
STANDARD CITY OF FRISCO MONUMENT -  
STATION NO. 7 AND ALUMINUM DISK LOCATED  
BETWEEN A SIDEWALK AND GUARD RAIL ON THE  
WEST SIDE OF TEEL PARKWAY SOUTH OF THE  
INTERSECTION OF TEEL PARKWAY AND  
ELDORADO PARKWAY.  
ELEVATION = 589.43 FEET

File No.

[illegible]

**CLAY MOORE**  
**ENGINEERING**

PHONE: 817.281.0072  
FAX: 817.281.0073  
WWW.CMENGINEERING.COM


33 CENTRAL DRIVE, SUITE 4406  
FARMERS BRANCH, TEXAS 75442



PLOTTED BY: BOBBY KUBIN  
 PLOT DATE: 5/19/2016 11:20 AM  
 LOCATION: Z:\PROJECTS\PROJECTS\2014-104 CDC FRISCO PRIMROSE\CADD\SHEETS-VCN\C-11 DRAINAGE AND DETENTION CALCULATIONS.DWG  
 LAST SAVED: 10/23/2015 9:23 AM

LINE	STA.		INCREMENTAL AREA	CUMULATIVE AREA	RUNOFF COEFFICIENT	INCREMENTAL CA	CUMULATIVE CA	INLET TIME	FLOW TIME IN PIPE	TIME OF CONCENTRATION	INTENSITY	DIST	TOTAL		STORM DRAIN								ROUGH- NESS	PIPE SLOPE	PIPE CAPACITY									FRICTION SLOPE				HGL		INVERT															
													Q <sub>100</sub>		DIA.	SPAN	RISE	NUMBER	A	R																		n	So	C <sub>cap</sub>	V <sub>design</sub>	V <sub>f,full</sub>	Q/Q <sub>full</sub>	V/V <sub>full</sub>	d/D	Flow Depth	V <sub>partial</sub>	S <sub>f</sub>	H <sub>v</sub>	K <sub>i</sub>	H <sub>i</sub>	INCOMING PIPE	OUTGOING PIPE	INCOMING PIPE	OUTGOING PIPE
													CFS		IN	FT	FT		Sq FT																				%	CFS	cfsign/A	FPS					FT	FPS	FT/FT	V <sub>design</sub> *2/2g	(MN 0.1) FT	FT	FT	FT	FT
			ACRES	ACRES						MIN		FT		IN	FT	FT																																							
LINE A	0+00.00	DETENTION BASIN		1.09			0.98		0.22	10.66		62.54	8.47	18		1.5	1.77	0.375	0.013	0.50%	7.43	4.79	4.20	1.141	1.00	1.00	1.50	4.20	0.65%	0.36					603.50		602.00																		
	0+62.54	60 DEGREE WYE	0.21	0.88	0.90	0.19	0.79		0.44	8.64		167.39	6.92	18		1.5	1.77	0.375	0.013	1.01%	10.56	3.92	5.97	0.656	1.07	0.59	0.89	6.37	0.43%	0.24	0.35	0.27	604.18	603.90	602.31	602.31																			
	2+29.93	INLET	0.88		0.90	0.79			10.00	8.74																										605.14	604.90	604.00	604.00																
LINE B	0+00.00	DETENTION BASIN		0.62			0.56		0.03	10.14		26.45	4.86	12		1	0.79	0.250	0.013	12.48%	12.59	6.19	16.03	0.386	0.93	0.43	0.43	14.97	1.85%	0.60					601.30		599.00																		
	0+26.45	60 DEGREE WYE	0.14	0.48	0.90	0.13	0.43		0.10	8.72		50.17	3.78	12		1	0.79	0.250	0.013	3.32%	6.49	4.81	8.27	0.582	1.03	0.54	0.54	8.53	1.12%	0.36	0.35	0.47	603.30	601.79	602.30	602.30																			
	0+76.62	45 DEGREE WYE	0.16	0.48	0.90	0.14	0.43		0.10	8.74		50.17	3.78	12		1	0.79	0.250	0.013	3.32%	6.49	4.81	8.27	0.582	1.03	0.54	0.54	8.53	1.12%	0.36	0.50	0.50	604.97	603.86	603.97	603.97																			
	0+77.62	45 DEGREE WYE	0.32	0.32	0.90	0.29	0.29		0.01	8.74		1.00	2.52	12		1	0.79	0.250	0.013	3.32%	6.49	3.21	8.27	0.388	0.93	0.43	1.00	7.72	0.50%	0.16	0.50	0.50	605.47	604.97	604.00	604.00																			
LAT B-1	0+00.00	LINE B		0.14			0.13		0.02	10.02		11.85	1.10	12		1	0.79	0.250	0.013	12.66%	12.68	1.40	16.14	0.087	0.60	0.19	0.19	9.63	0.10%	0.03					602.26		600.30																		
	0+11.85	INLET	0.14		0.90	0.13		10.00		8.74																										602.37	602.27	601.90	601.80																
LINE C	0+00.00	PROPOSED 24" RCP		2.43			2.19		0.12	10.34		61.47	19.03	24		2	3.14	0.500	0.013	1.25%	25.29	6.06	8.05	0.752	1.09	0.64	1.28	8.81	0.70%	0.57					599.23		599.23																		
	0+61.47	45 DEGREE BEND	0.00	2.43	0.90	0.00	2.19		0.05	8.69		18.14	19.03	24		2	3.14	0.500	0.013	1.25%	25.29	6.06	8.05	0.752	1.09	0.64	2.00	8.81	0.70%	0.57	0.35	0.37	602.00	599.66	600.00	600.00																			
	0+79.61	60 DEGREE WYE	1.74	0.69	0.90	1.57	0.62		0.17	10.17	8.70	69.89	5.43	18		1.5	1.77	0.375	0.013	1.39%	12.38	3.07	7.01	0.438	0.96	0.46	0.69	6.76	0.27%	0.15	0.35	0.52	602.64	602.13	600.73	600.23																			
	1+49.50	INLET	0.69		0.90	0.62		10.00		8.74																										603.01	602.83	601.70	601.70																
LAT C-1	0+00.00	LINE C		1.74			1.57		0.04	10.04		30.92	13.69	21		1.75	2.41	0.438	0.013	1.46%	19.15	5.69	7.96	0.715	1.08	0.62	1.09	8.63	0.74%	0.50					601.00		600.23																		
	0+30.92	INLET	1.74		0.90	1.57		10.00		8.74																										601.86	601.23	600.68	600.68																
LINE D	0+00.00	EXISTING 42" RCP								10.06																											599.50		596.41																
	0+47.13	OUTFALL STRUCTURE						10.00	0.06	8.74		47.13	19.30	24		2	3.14	0.500	0.013	0.50%	16.00	6.14	5.09	1.207	1.00	1.00	2.00	5.09	0.72%	0.59	1.25	0.73	600.57	599.84	596.65	596.65																			

This drawing has been revised to show those changes during the construction process reported by the contractor to ClayMoore Engineering, Inc. and considered to be significant. This drawing is not guaranteed to be "As Built" but is based on the information made available.

By:  Date: 07/27/2016

TEXAS REGISTRATION #141599

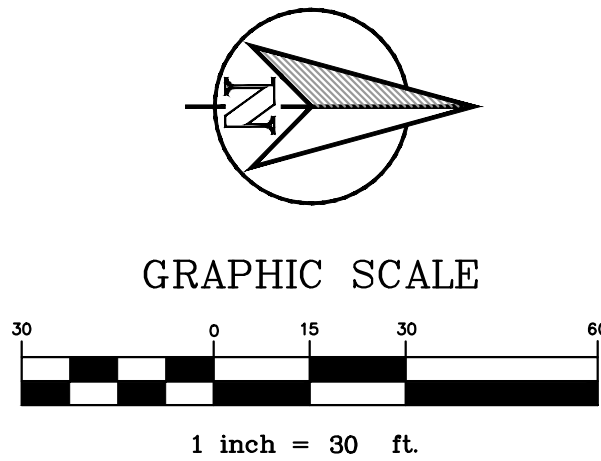
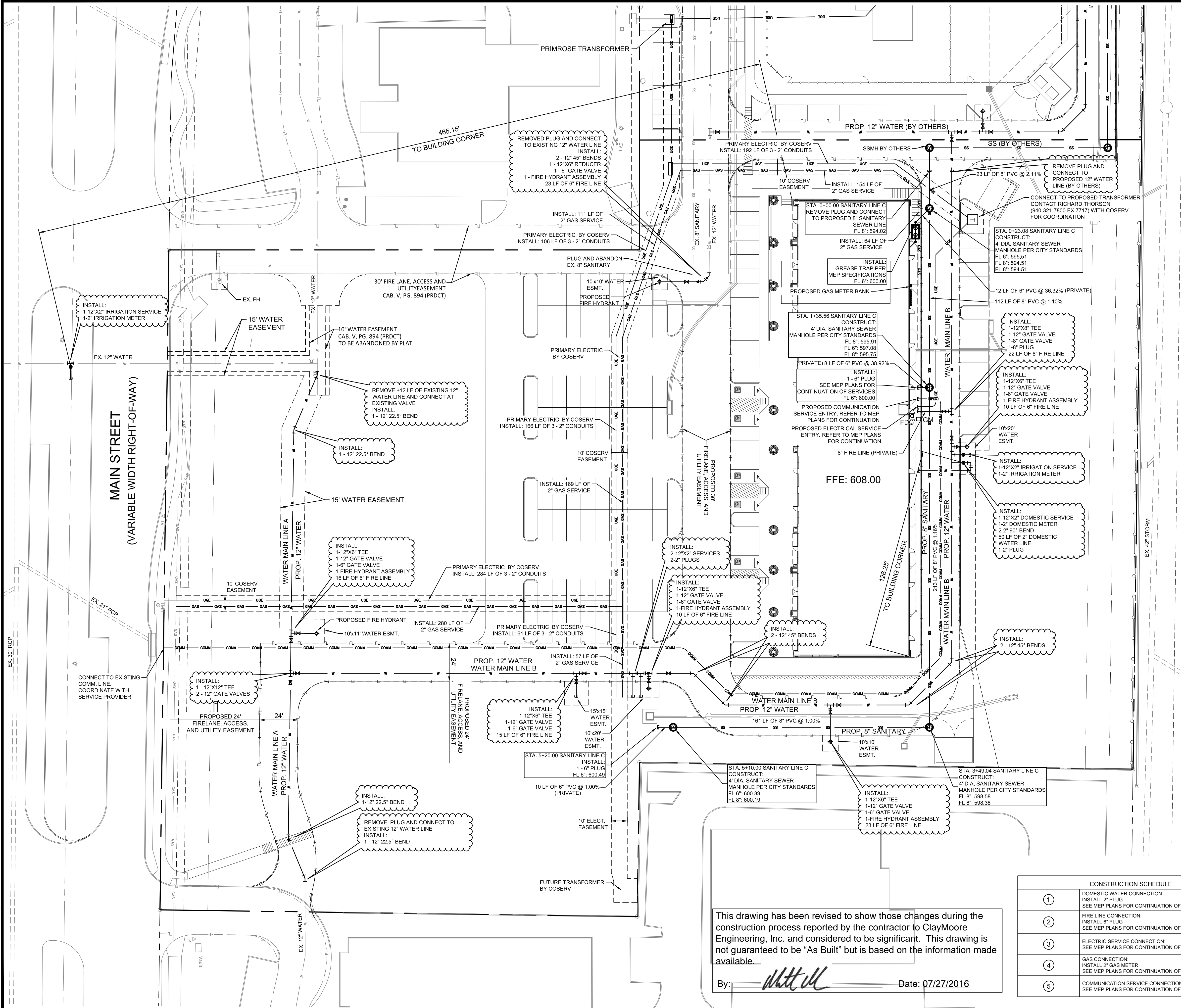
**CLAY MOORE**  
**ENGINEERING**

1000 WESTERN BLVD. SUITE 4000  
HOUSTON, TEXAS 77057  
WWW.CLAYMOOREINC.COM

STATE OF TEXAS  
95813  
LICENSED  
PROFESSIONAL ENGINEER  
05/19/2016



PLOTTED BY: BOBBY KUBIN  
 PLOT DATE: 7/27/2016 1:47 PM  
 LOCATION: Z:\PROJECTS\PROJECTS\2014-104 CDG FRISCO PRIMROSE\CADD\SHEETS-VCM\C-12 UTILITY PLAN.DWG  
 LAST SAVED: 7/27/2016 1:40 PM



LEGEND	
	EXISTING WATER LINE
	PROPOSED WATER LINE
	EXISTING SANITARY SEWER LINE
	PROPOSED SANITARY SEWER LINE
	EXISTING OVERHEAD ELECTRIC
	PROPOSED UNDERGROUND ELECTRIC
	PROPOSED METER
	PROPOSED VALVE
	PROPOSED PLUG
	PROPOSED FIRE HYDRANT
	PROPOSED FDC
	PROPOSED REDUCER
	PROPOSED BENDS

- NOTES
- CONTRACTOR SHALL COORDINATE WITH FRANCHISE UTILITY COMPANIES AND IRRIGATION PLANS TO DETERMINE QUANTITY, SIZE, AND LOCATION FOR ALL CONDUIT AND SLEEVES REQUIRED TO SERVE BUILDING AND SITE. ALL CONDUIT AND SLEEVES SHALL BE INSTALLED PRIOR TO SUBGRADE PREPARATION AND PAVING.
- FRANCHISE UTILITY NOTES:
- THE GAS, ELECTRIC AND TELEPHONE INFORMATION SHOWN ON THIS PLAN IS BASED UPON THE LATEST INFORMATION AVAILABLE FROM THE RESPECTIVE FRANCHISE UTILITY COMPANIES. IT IS INTENDED FOR PURPOSES OF GENERAL BIDDING AND BASIC CLARITY. SPECIFIC JOB SITE CONDITIONS SHALL BE FIELD VERIFIED PER NOTES 2 THROUGH 4 BELOW. THE FRANCHISE UTILITY CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR SAID FIELD CONDITIONS AND ASSOCIATED REVISIONS REQUIRED BY THE RESPECTIVE UTILITY COMPANIES INVOLVED.
  - THE FRANCHISE UTILITY CONTRACTOR SHALL CONTACT THE RESPECTIVE FRANCHISE UTILITY COMPANIES, VERIFY ALL REQUIREMENTS AND EQUIPMENT, AND FURNISH AND INSTALL, INCLUDING BUT NOT LIMITED TO, ALL METERS, TRANSFORMERS, CONDUIT, CONCRETE PADS, TRENCHING, AND BACKFILL NECESSARY FOR PROPER INSTALLATION. FRANCHISE UTILITY CONTRACTOR SHALL ALSO PAY ALL FEES AND CHARGES INCURRED AND COORDINATE WITH OTHER FRANCHISE UTILITY COMPANIES.
  - THE FRANCHISE UTILITY CONTRACTOR SHALL FIELD VERIFY, IN THE PRESENCE OF THE RESPECTIVE UTILITY COMPANY REPRESENTATIVES, THE LOCATION OF ALL EXISTING AND PROPOSED UTILITY SERVICES AND EQUIPMENT. THE FRANCHISE UTILITY CONTRACTOR SHALL INCLUDE IN HIS BID SUFFICIENT FUNDS TO COVER ALL COSTS REQUIRED BY UTILITY COMPANIES TO PROVIDE NEW SERVICES AND/OR UPGRADE EXISTING SERVICES. NO ALLOWANCES WILL BE MADE FOR FRANCHISE UTILITY CONTRACTOR'S UNFAMILIARITY WITH THE EXISTING CONDITION, REQUIREMENTS OF THE NEW CONDITIONS, AND/OR FAILURE TO COORDINATE INSTALLATION.
  - CONTRACTOR SHALL VERIFY THAT METER AND TRANSFORMER LOCATIONS SHOWN MEET DESIGN CRITERIA BY FRANCHISE UTILITY COMPANIES FOR, BUT NOT LIMITED TO, THE OFFSET DISTANCE FROM FACE OF BUILDING.

CONSTRUCTION SCHEDULE	
①	DOMESTIC WATER CONNECTION: INSTALL 2" PLUG SEE MEP PLANS FOR CONTINUATION OF SERVICE
②	FIRE LINE CONNECTION: INSTALL 8" PLUG SEE MEP PLANS FOR CONTINUATION OF SERVICE
③	ELECTRIC SERVICE CONNECTION: SEE MEP PLANS FOR CONTINUATION OF SERVICE
④	GAS CONNECTION: INSTALL 2" GAS METER SEE MEP PLANS FOR CONTINUATION OF SERVICE.
⑤	COMMUNICATION SERVICE CONNECTION: SEE MEP PLANS FOR CONTINUATION OF SERVICE

PROJECT BENCHMARK:  
 STANDARD CITY OF FRISCO MONUMENT -  
 STATION NO. 7 AND ALUMINUM DISK LOCATED  
 BETWEEN A SIDEWALK AND GUARD RAIL ON THE  
 WEST SIDE OF TEEL PARKWAY SOUTH OF THE  
 INTERSECTION OF TEEL PARKWAY AND  
 ELDERADO PARKWAY.  
 ELEVATION = 589.43 FEET

TEXAS REGISTRATION #14199  
**CLAYMOORE**  
**ENGINEERING**  
 1903 CENTRAL DRIVE, SUITE 400  
 FORT WORTH, TX 76101  
 PHONE 817.258.0072  
 WWW.CLAYMOORE.COM

STATE OF TEXAS  
 MATT MOORE  
 95813  
 LICENSED PROFESSIONAL ENGINEER  
 05/19/2016

**TEEL CROSSING**  
**MAIN STREET**  
**FRISCO, TX**

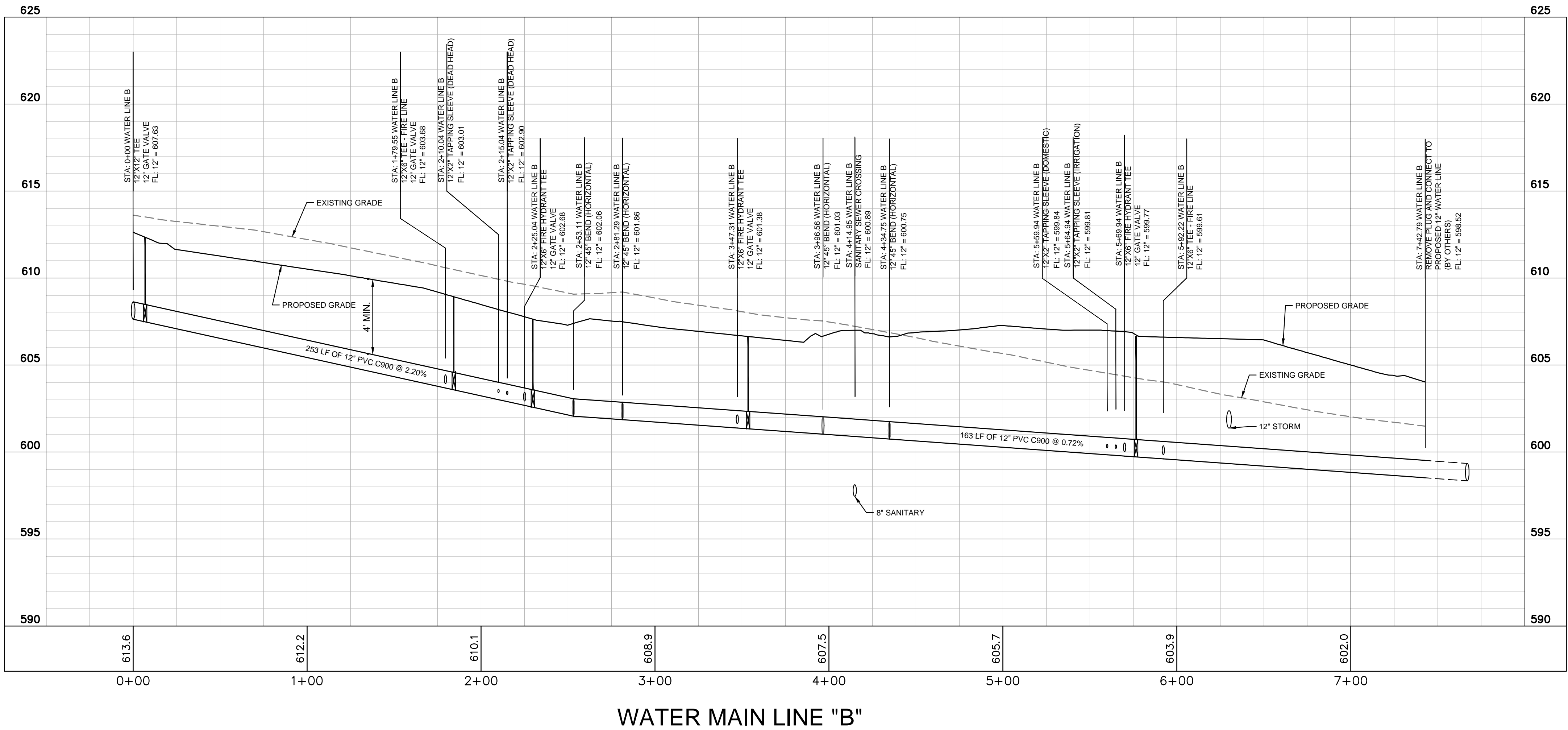
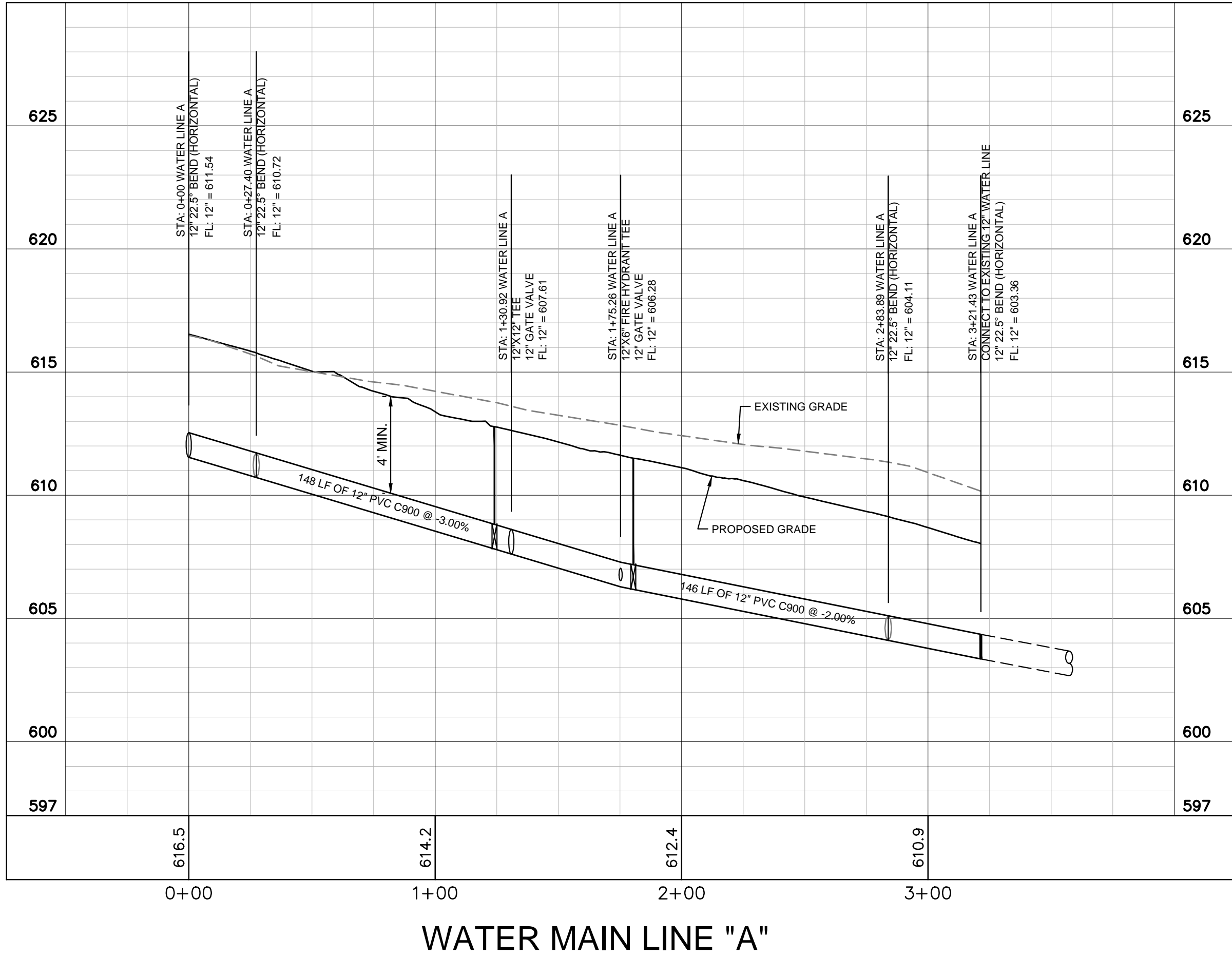
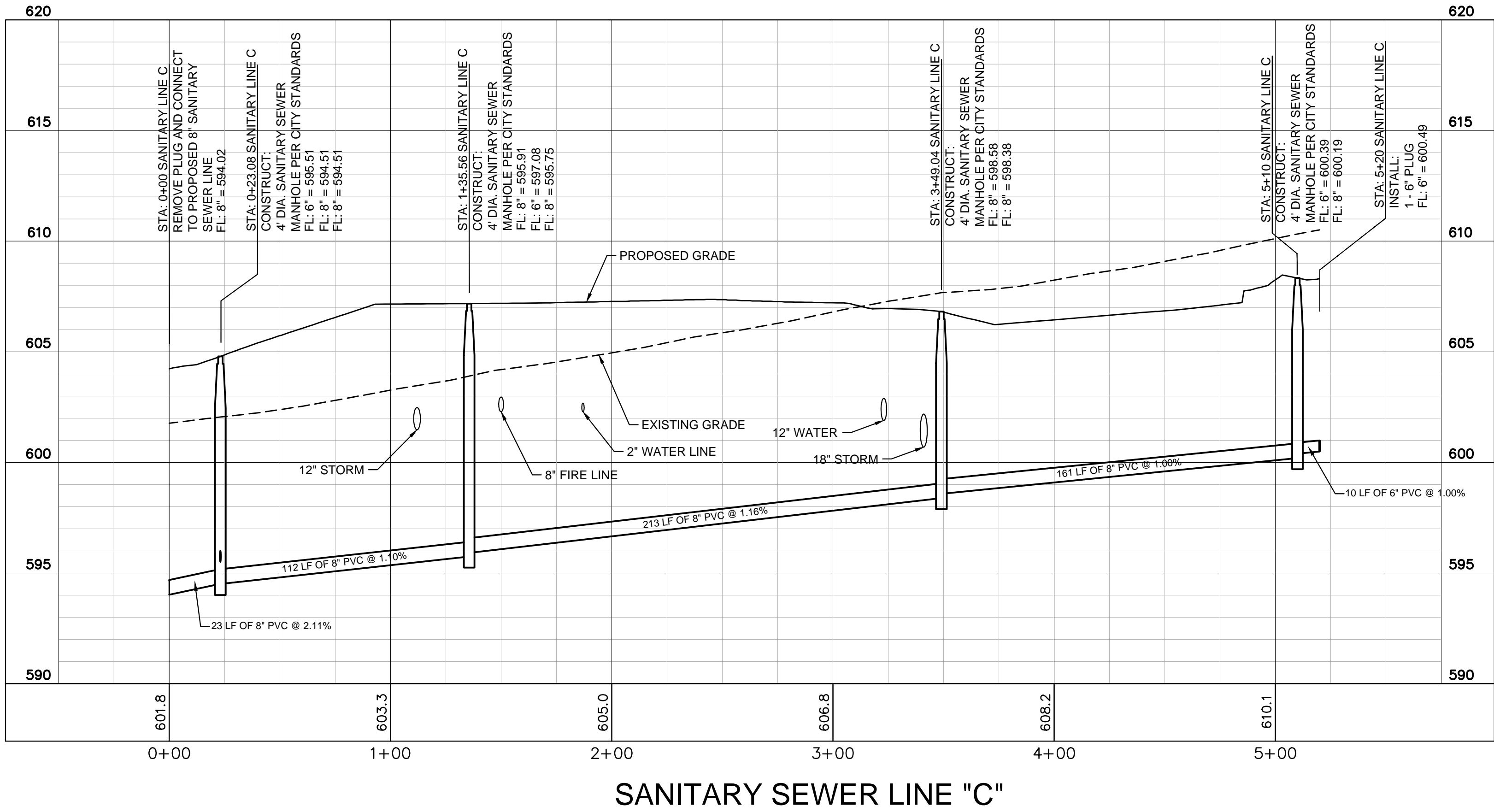
UTILITY PLAN  
 SHEET  
**C-12**

DESIGN:	BJK
DRAWN:	BJK
CHECKED:	MM
DATE:	05/19/2016

File No.



PLOTTED BY: BOBBY KUBIN  
 PLOT DATE: 5/19/2016 11:22 AM  
 LOCATION: Z:\PROJECTS\PROJECTS\2014-104 CDG FRISCO PRIMROSE\CADD\SHEETS-VCM\C-13 WATER & SANITARY SEWER PROFILES.DWG  
 LAST SAVED: 10/23/2015 8:34 AM



This drawing has been revised to show those changes during the construction process reported by the contractor to ClayMoore Engineering, Inc. and considered to be significant. This drawing is not guaranteed to be "As Built" but is based on the information made available.

By: *Matt Moore* Date: 07/27/2016

PROJECT BENCHMARK:  
 STANDARD CITY OF FRISCO MONUMENT -  
 STATION NO. 7 AND ALUMINUM DISK LOCATED  
 BETWEEN A SIDEWALK AND GUARD RAIL ON THE  
 WEST SIDE OF TEEL PARKWAY SOUTH OF THE  
 INTERSECTION OF TEEL PARKWAY AND  
 ELDORADO PARKWAY.  
 ELEVATION = 589.43 FEET

TEXAS REGISTRATION #14199  
  
 1903 CENTRAL DRIVE, SUITE 400  
 FORT WORTH, TX 76101  
 PHONE 817.261.0072  
 WWW.CLAYMOORE.COM

05/19/2016

**TEEL CROSSING**  
**MAIN STREET**  
**FRISCO, TX**

No.	DATE	REVISION	BY

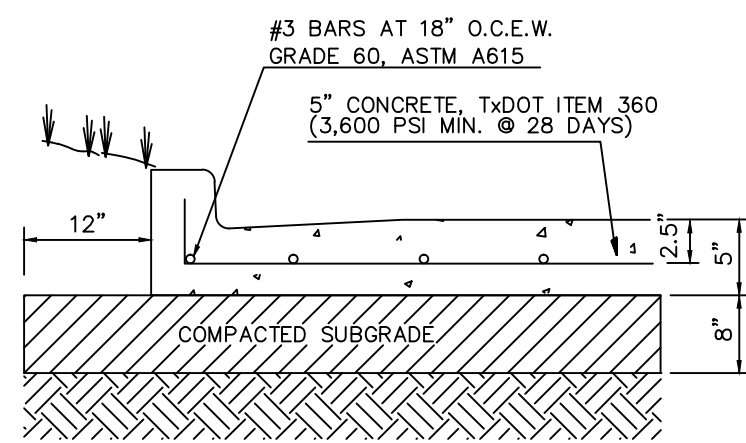
**WATER & SANITARY SEWER**  
**PROFILES**

DESIGN: BJK  
 DRAWN: BJK  
 CHECKED: MAM  
 DATE: 05/19/2016  
 SHEET  
**C-13**

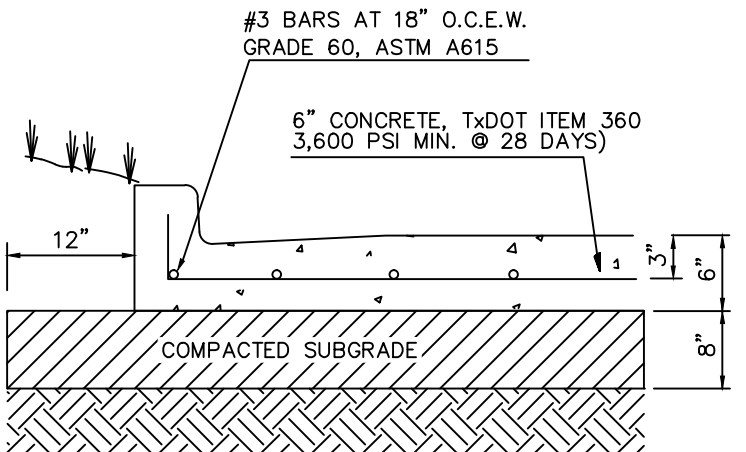
File No.



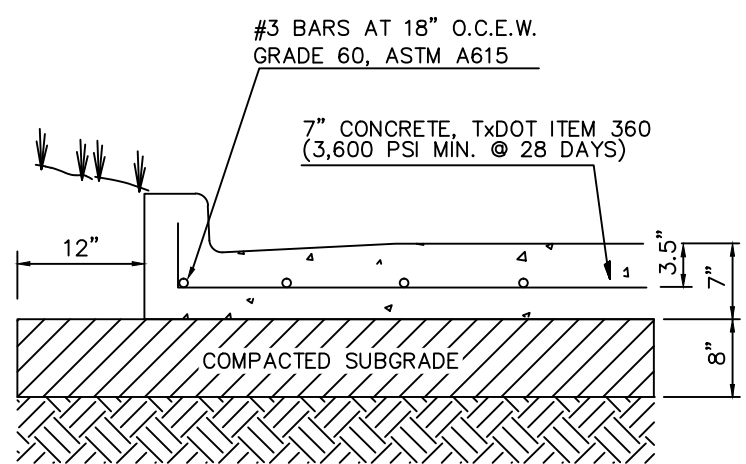
PLOTTED BY: BOBBY KUBIN  
 PLOT DATE: 5/19/2016 11:22 AM  
 LOCATION: Z:\PROJECTS\PROJECTS\2014-104 CDG FRISCO PRIMROSE\CADD\SHEETS-VCM\C-14 CONSTRUCTION DETAILS.DWG  
 LAST SAVED: 10/23/2015 8:39 AM



STANDARD DUTY  
CONCRETE PAVING



HEAVY DUTY  
CONCRETE PAVING

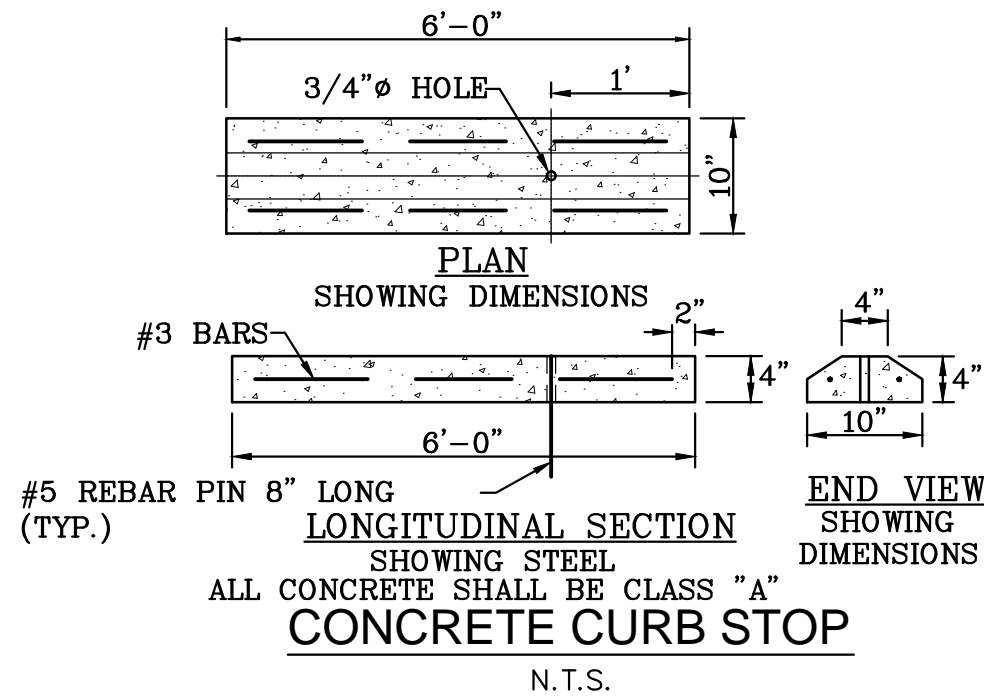


DUMPSTER AREA  
CONCRETE PAVING

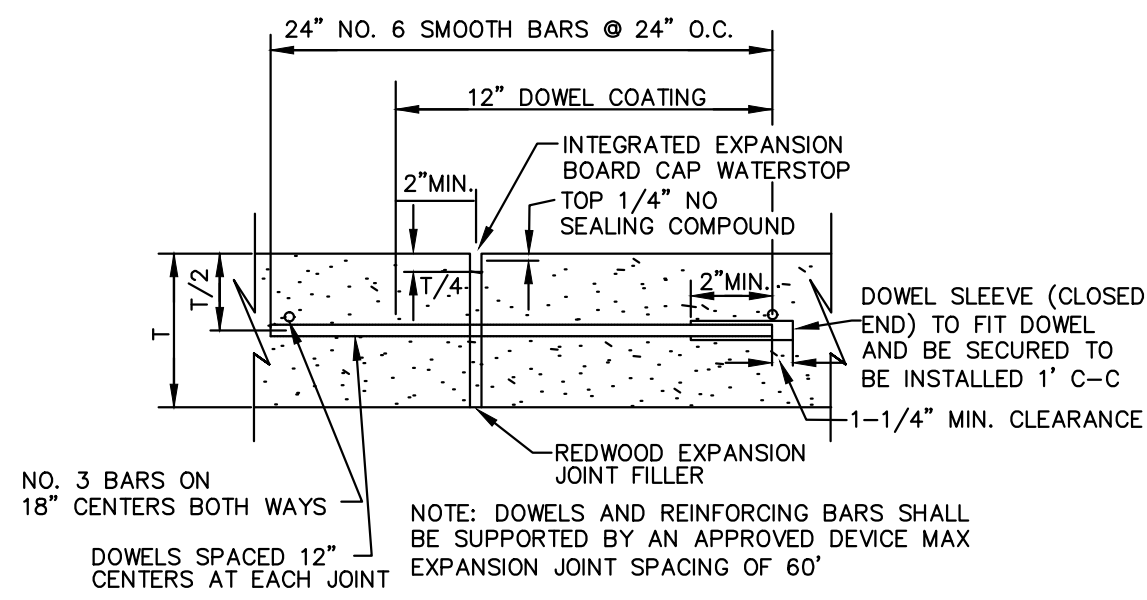
GENERAL PAVING NOTES

- FOR PREPARATION OF PAVEMENT SUBGRADE, COHESIVE (CLAY) SUBGRADE SOILS SHOULD BE COMPACTED BETWEEN 95% AND 100% OF MAXIMUM DRY DENSITY SUBGRADE DEFINED BY THE STANDARD PROCTOR (ASTM D 698) WITH A MOISTURE CONTENT RANGING FROM 0 TO PLUS 3 PERCENT ABOVE OPTIMUM DRY DENSITY.
- CONCRETE SHALL HAVE A MINIMUM 4,000 PSI COMPRESSIVE STRENGTH AT 28 DAYS. JOINTS IN CONCRETE PAVING SHALL BE FORMED AT A MAXIMUM OF 15 FEET. CONCRETE SHALL INCLUDE AIR ENTRAINMENT PER GEOTECH REPORT. ALL OTHER JOINT SPACING SHALL BE INSTALLED PER PROJECT SPECIFICATIONS.
- JOINTS IN CONCRETE PAVEMENT SHALL NOT EXCEED 15 FOOT SPACING.
- REFER TO GEOTECHNICAL REPORT FOR ALL SUBGRADE RECOMMENDATIONS

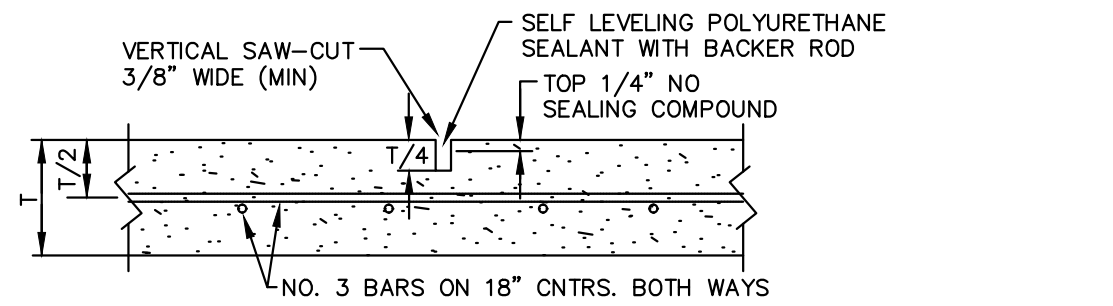
PAVING DETAILS  
SCALE: NONE



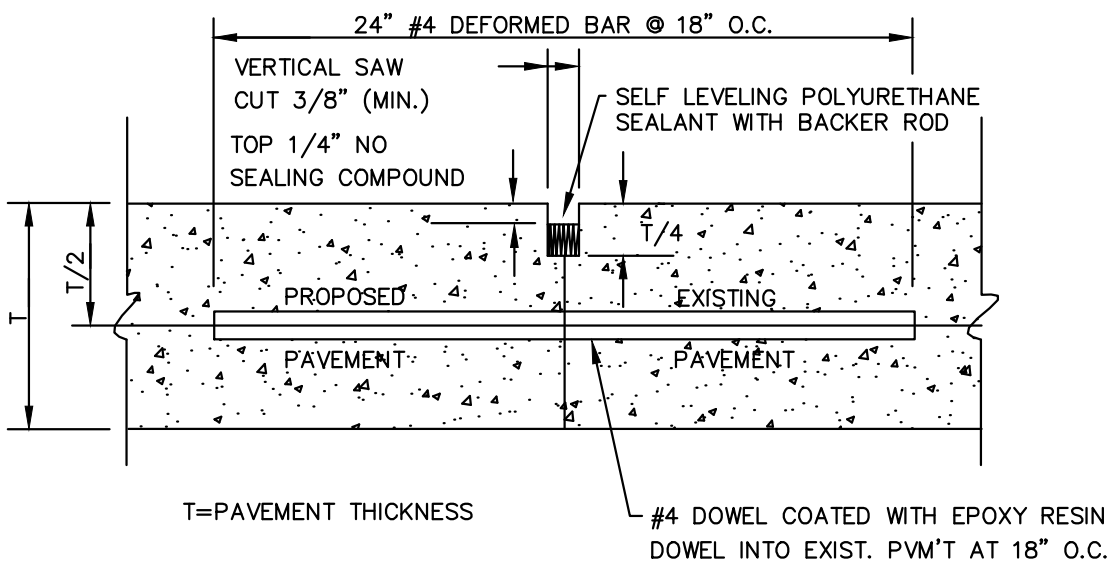
CONCRETE CURB STOP  
N.T.S.



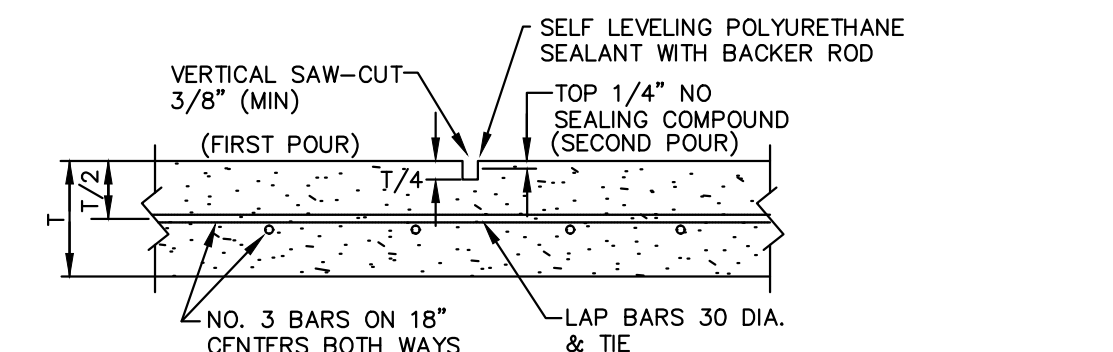
TRANSVERSE EXPANSION/  
ISOLATION JOINT DETAIL  
SCALE: NONE



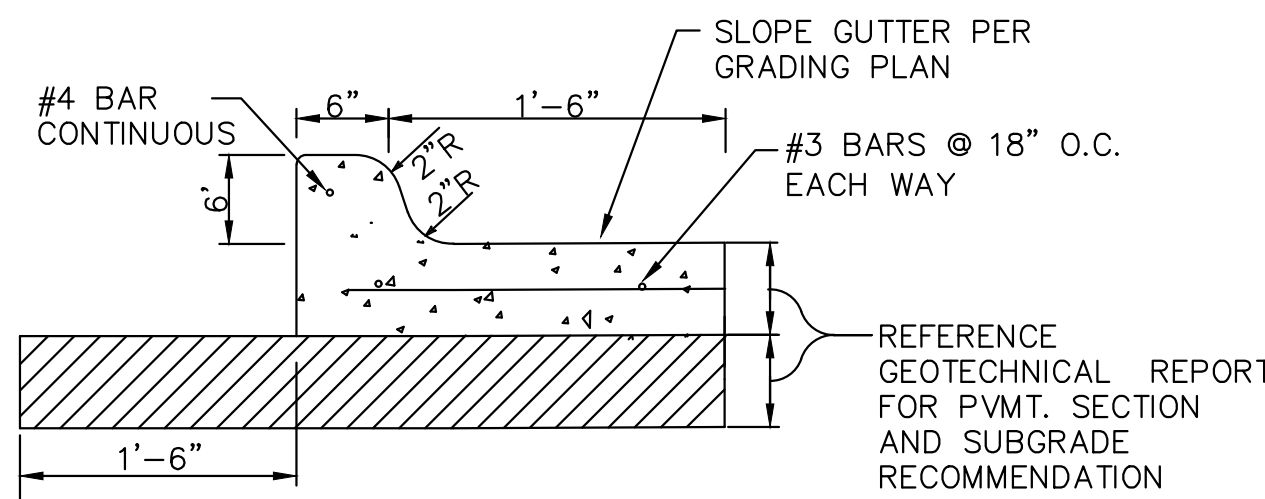
CONTRACTION JOINT DETAIL  
SCALE: NONE



LONGITUDINAL BUTT JOINT DETAIL  
SCALE: NONE



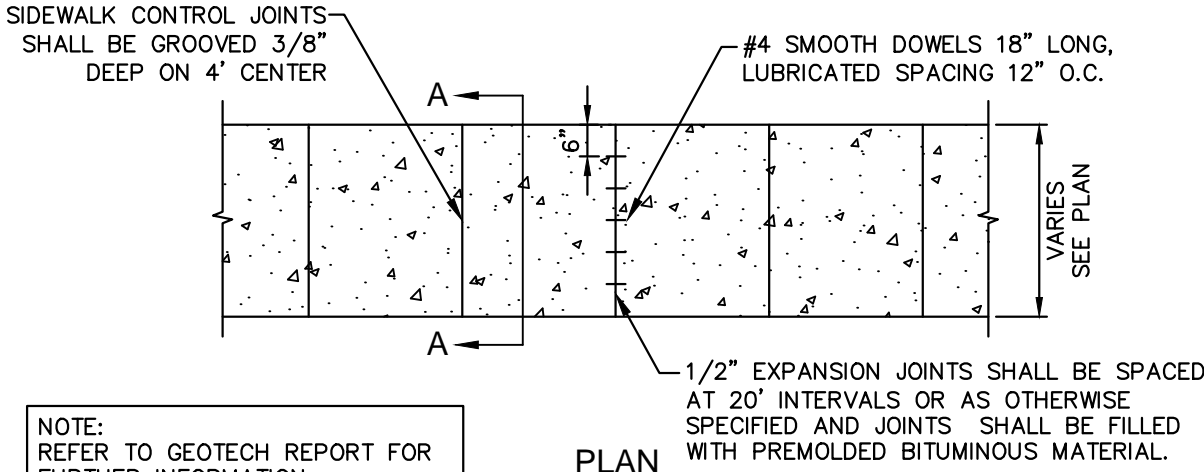
CONSTRUCTION JOINT DETAIL  
SCALE: NONE



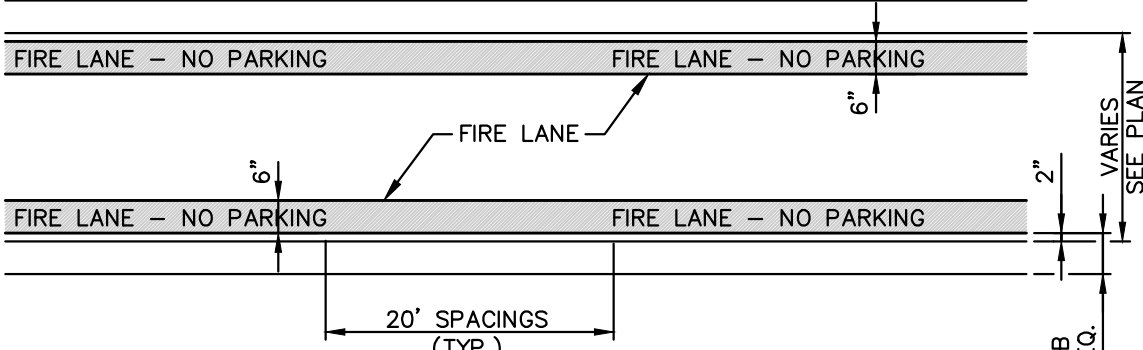
CONCRETE CURB AND GUTTER DETAIL  
(PRIVATE)  
SCALE: NONE

This drawing has been revised to show those changes during the construction process reported by the contractor to ClayMoore Engineering, Inc. and considered to be significant. This drawing is not guaranteed to be "As Built" but is based on the information made available.

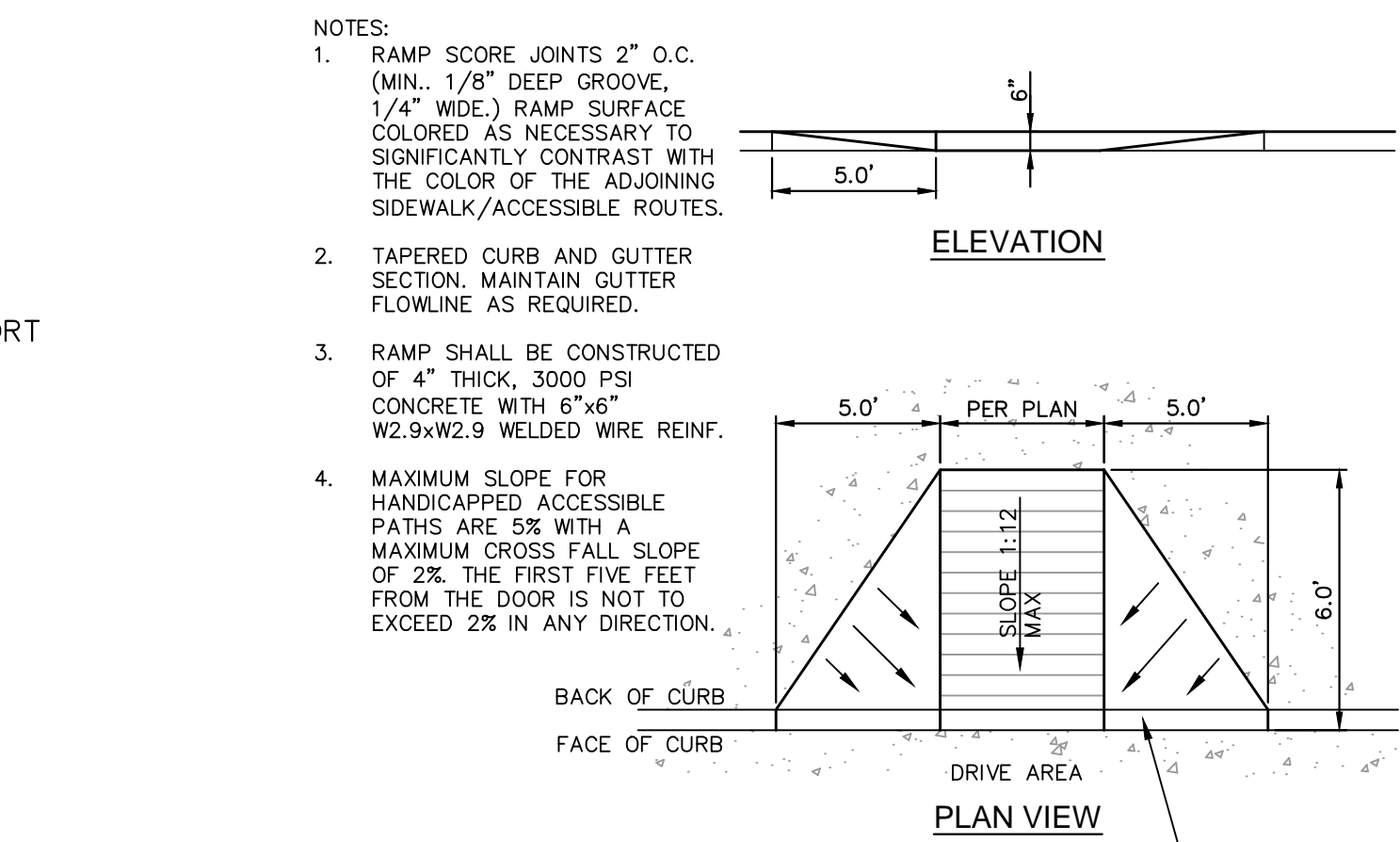
By: *Matt Moore* Date: 05/18/2016



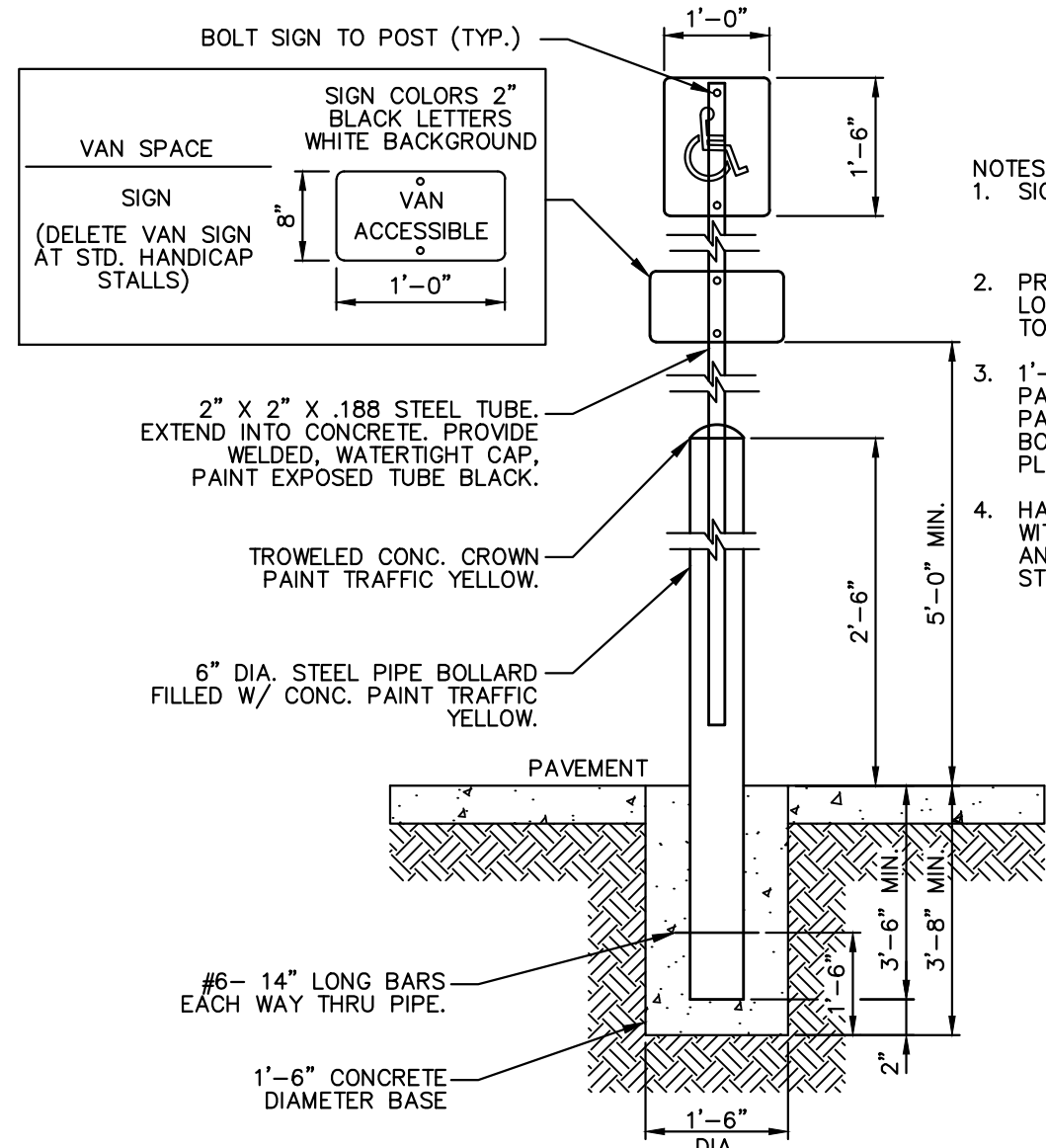
PRIVATE CONCRETE SIDEWALK DETAIL  
N.T.S.



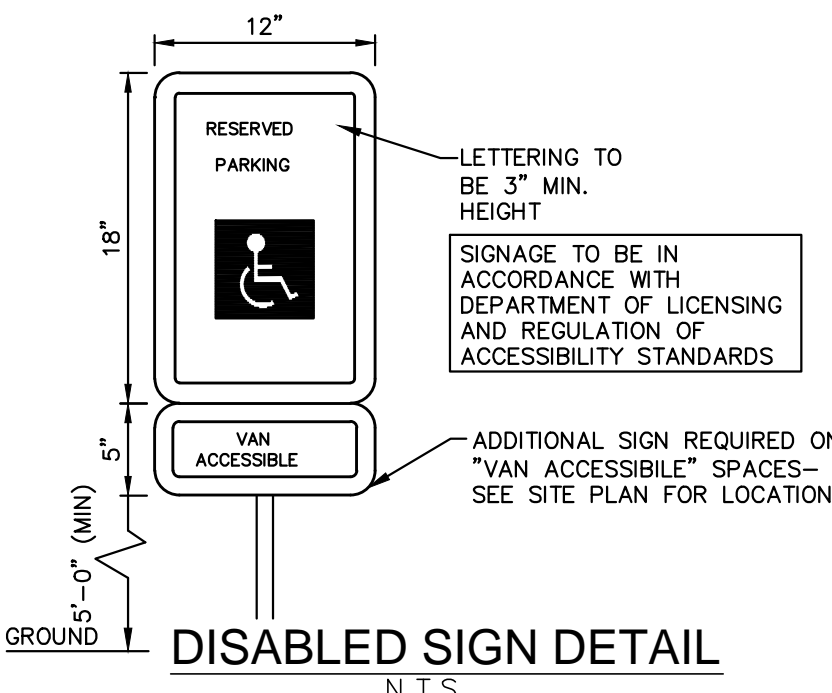
FIRE LANE STRIPING DETAIL  
N.T.S.



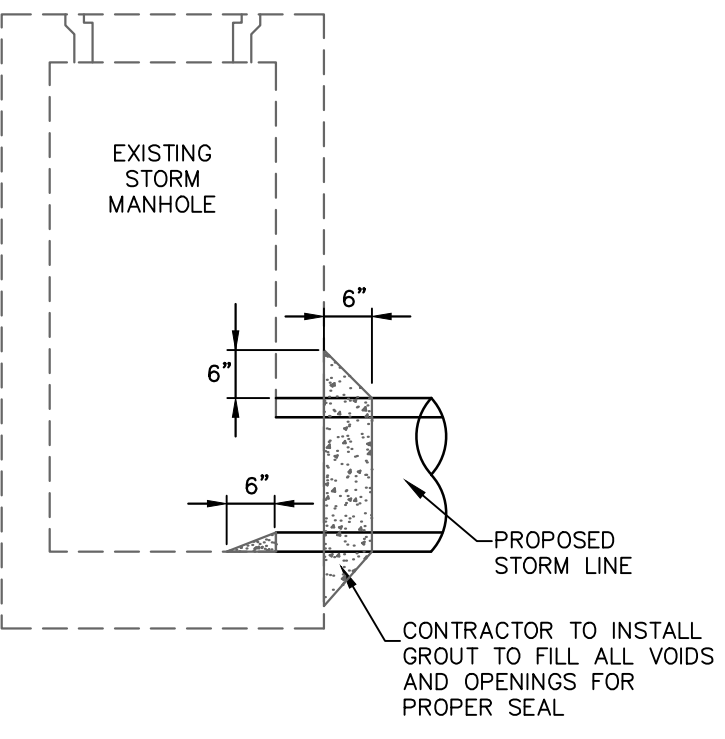
PRIVATE HANDICAPPED RAMPS  
N.T.S.



"HANDICAPPED PARKING" SIGN POST DETAIL  
N.T.S.



DISABLED SIGN DETAIL  
N.T.S.



STORM SEWER MANHOLE  
CONNECTION DETAIL  
N.T.S.

PROJECT BENCHMARK:  
 STANDARD CITY OF FRISCO MONUMENT -  
 STATION NO. 7 AND ALUMINUM DISK LOCATED  
 BETWEEN A SIDEWALK AND GUARD RAIL ON THE  
 WEST SIDE OF TEEL PARKWAY SOUTH OF THE  
 INTERSECTION OF TEEL PARKWAY AND  
 ELDORADO PARKWAY.  
 ELEVATION = 589.43 FEET

TEXAS REGISTRATION #14109  
**CLAYMOORE**  
 ENGINEERING  
 1100 CENTRAL DRIVE, SUITE 400  
 FORT WORTH, TX 76102  
 PHONE 817.261.0072  
 WWW.CLAYMOORE.COM

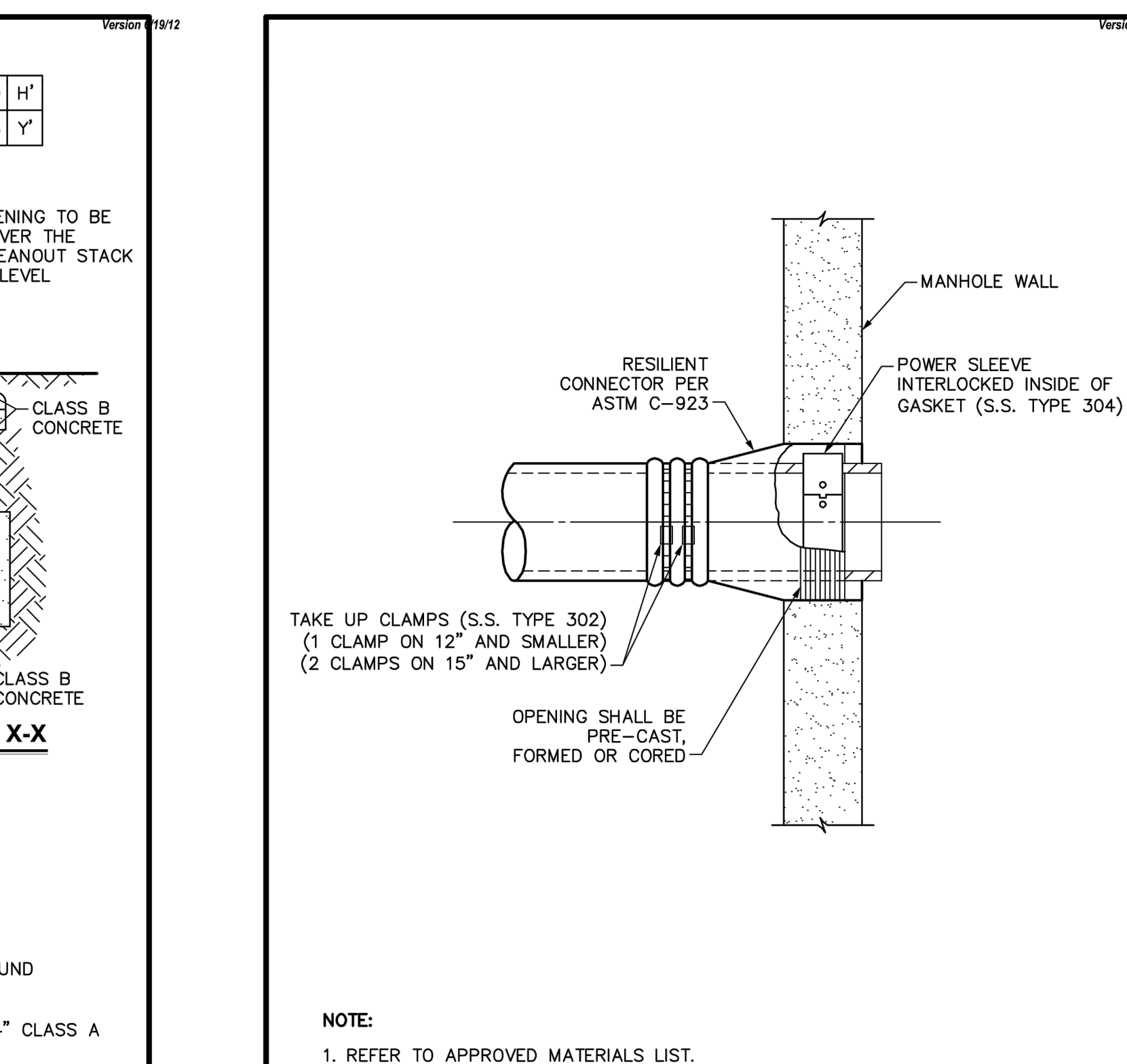
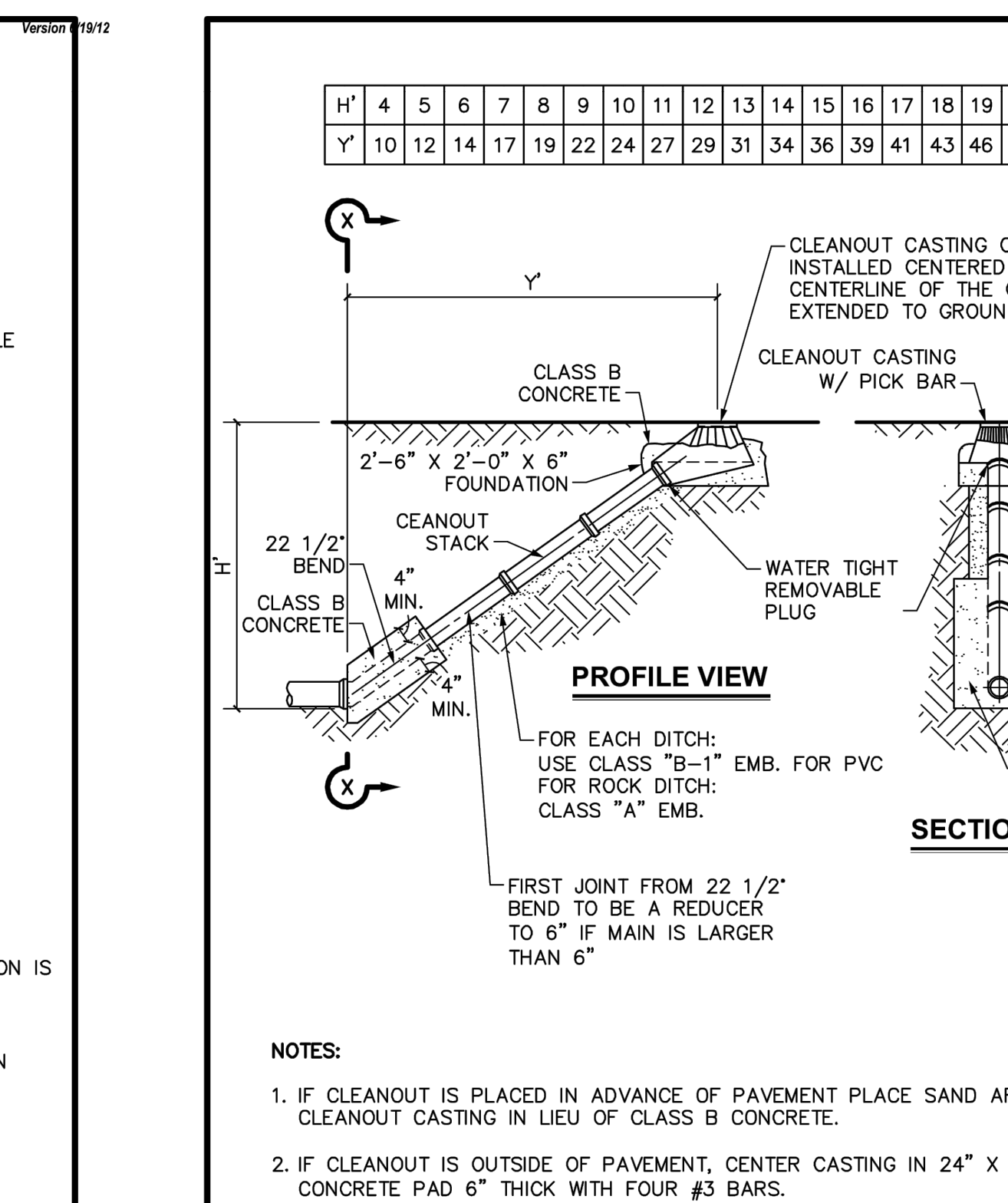
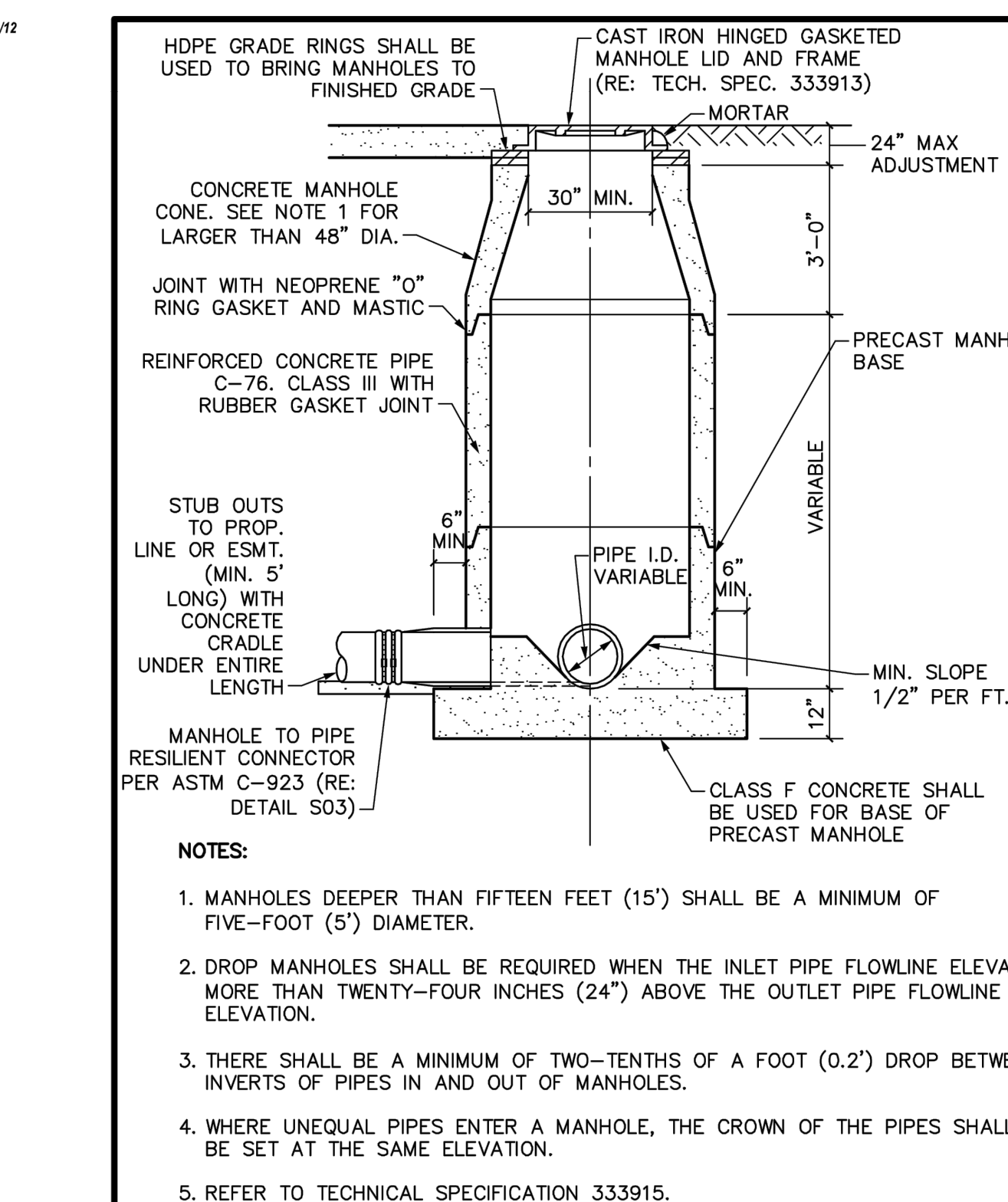
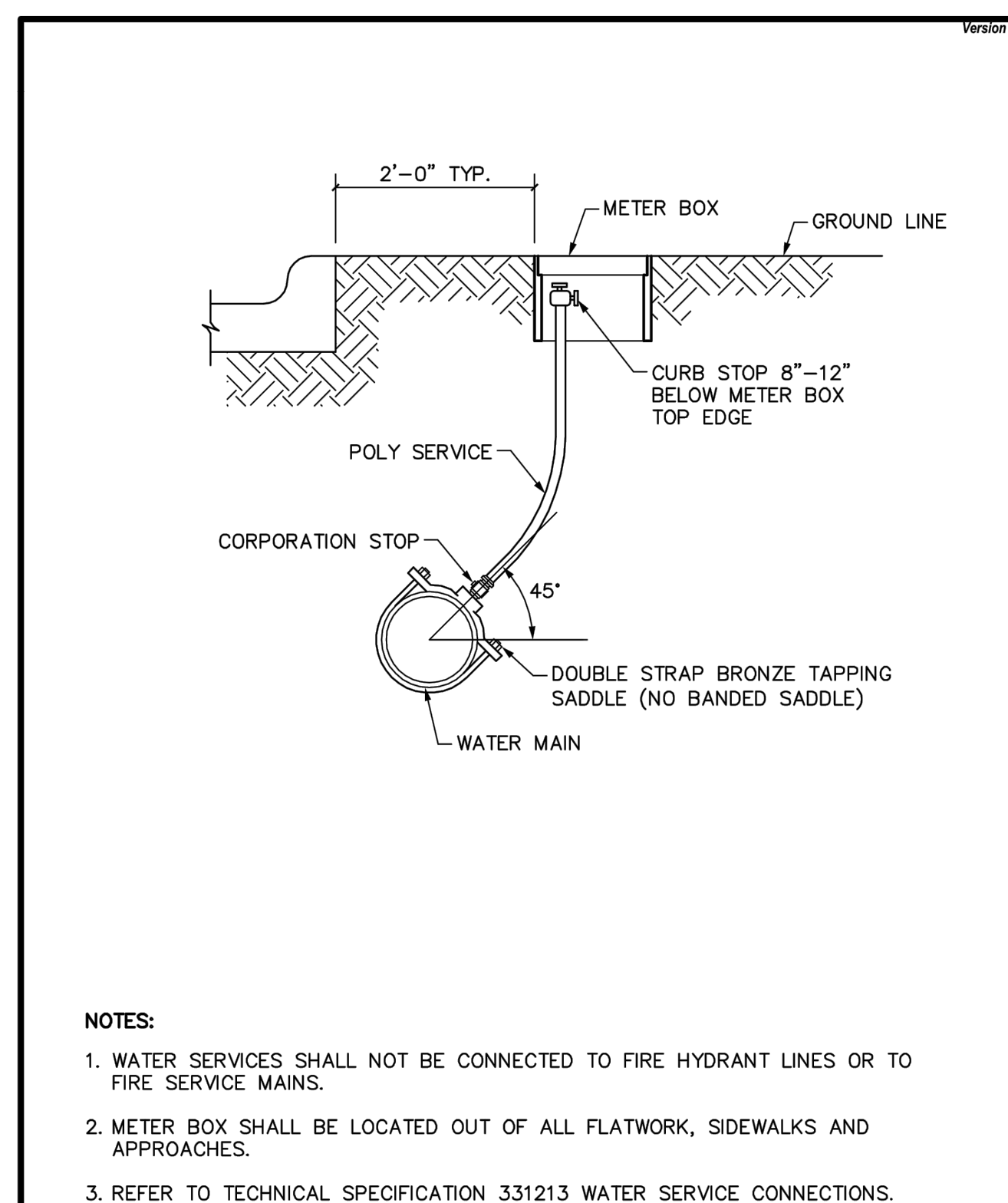
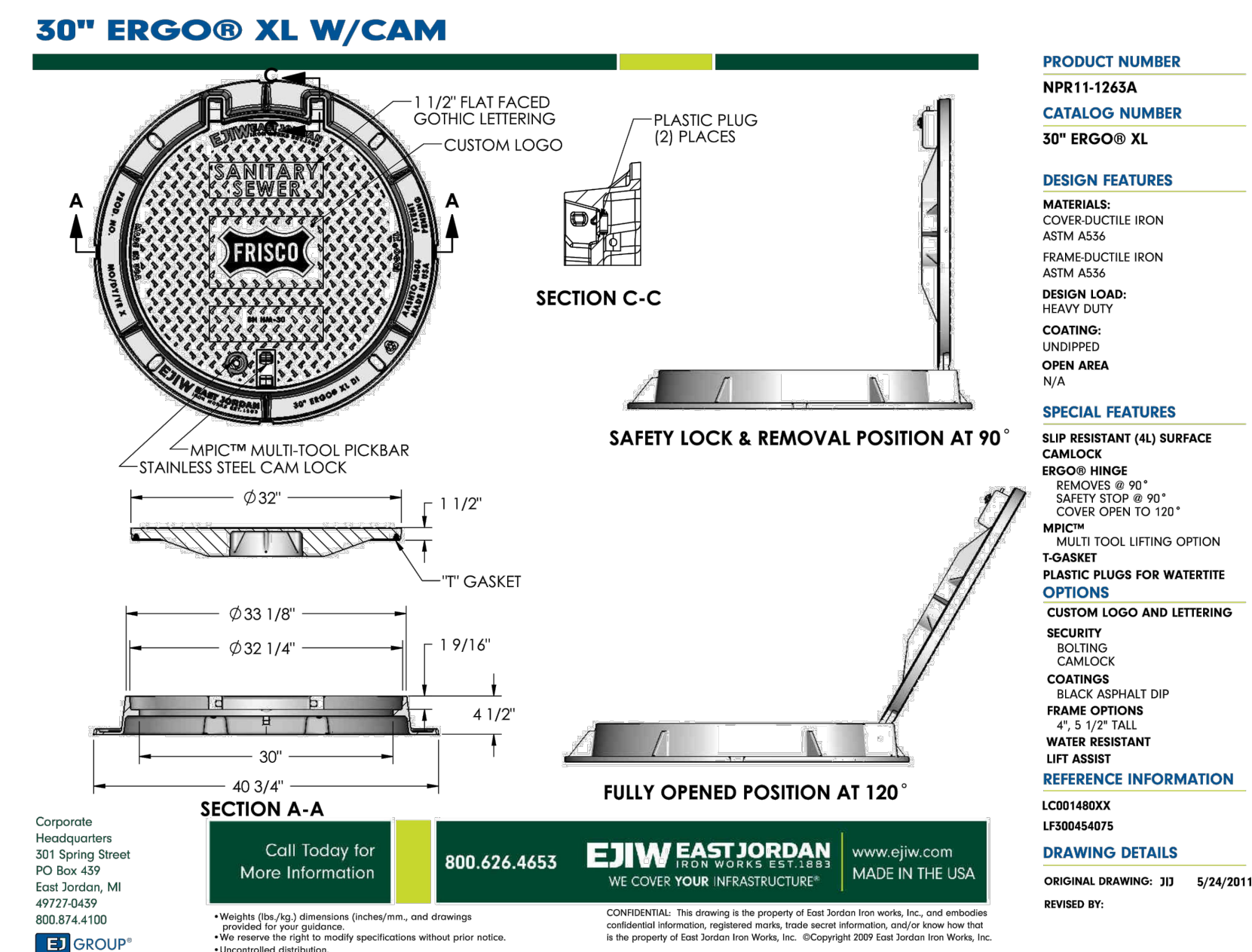
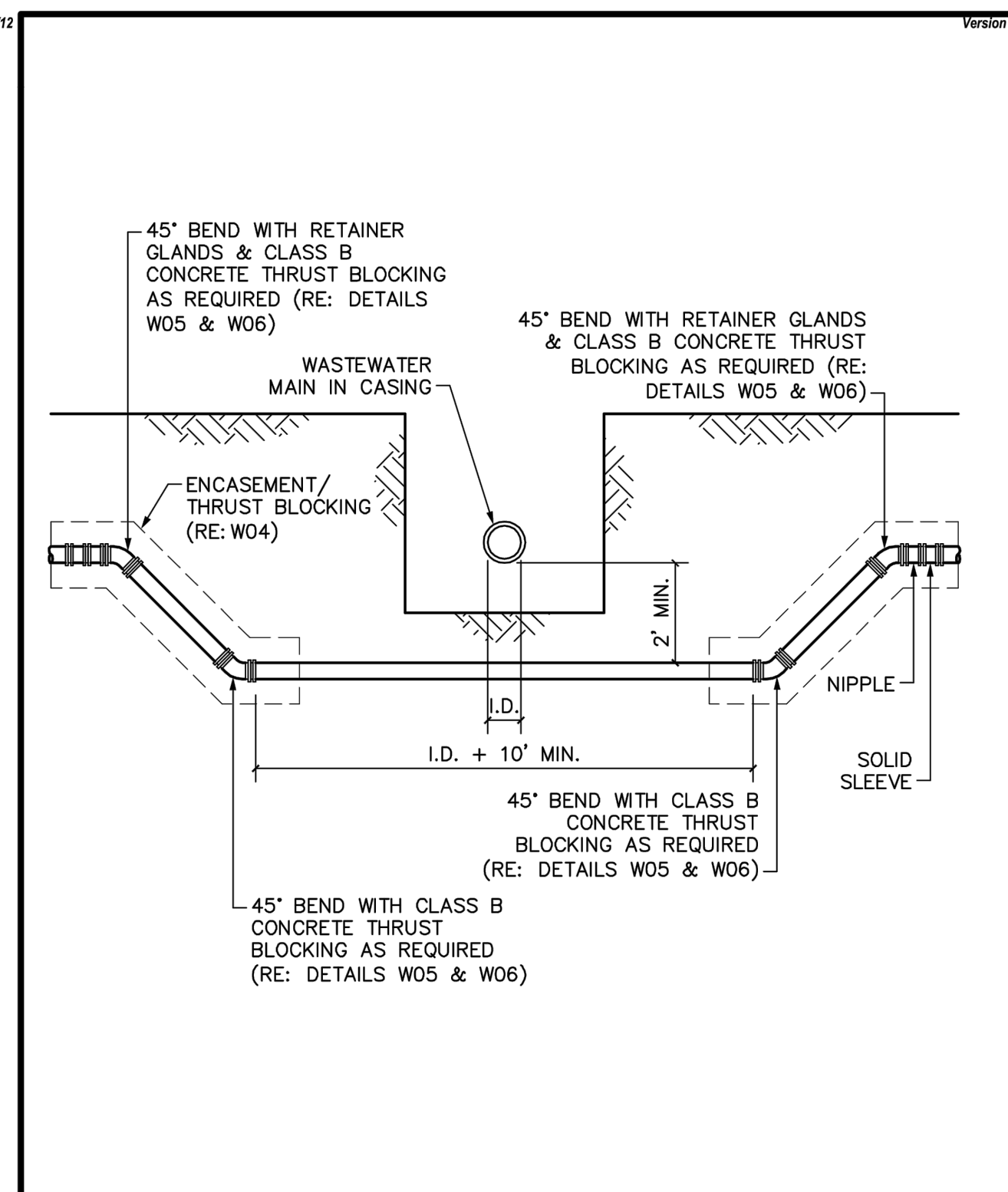
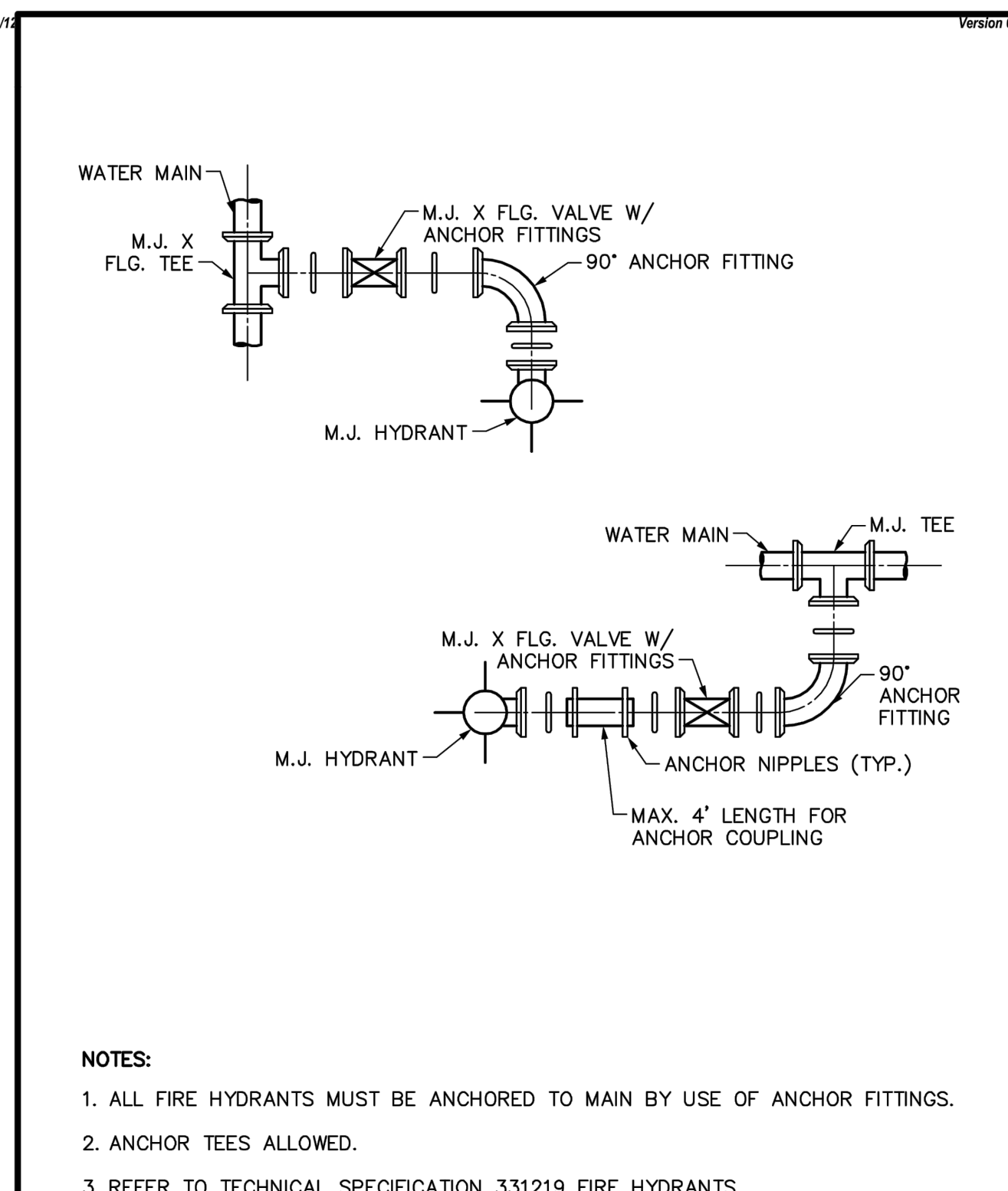
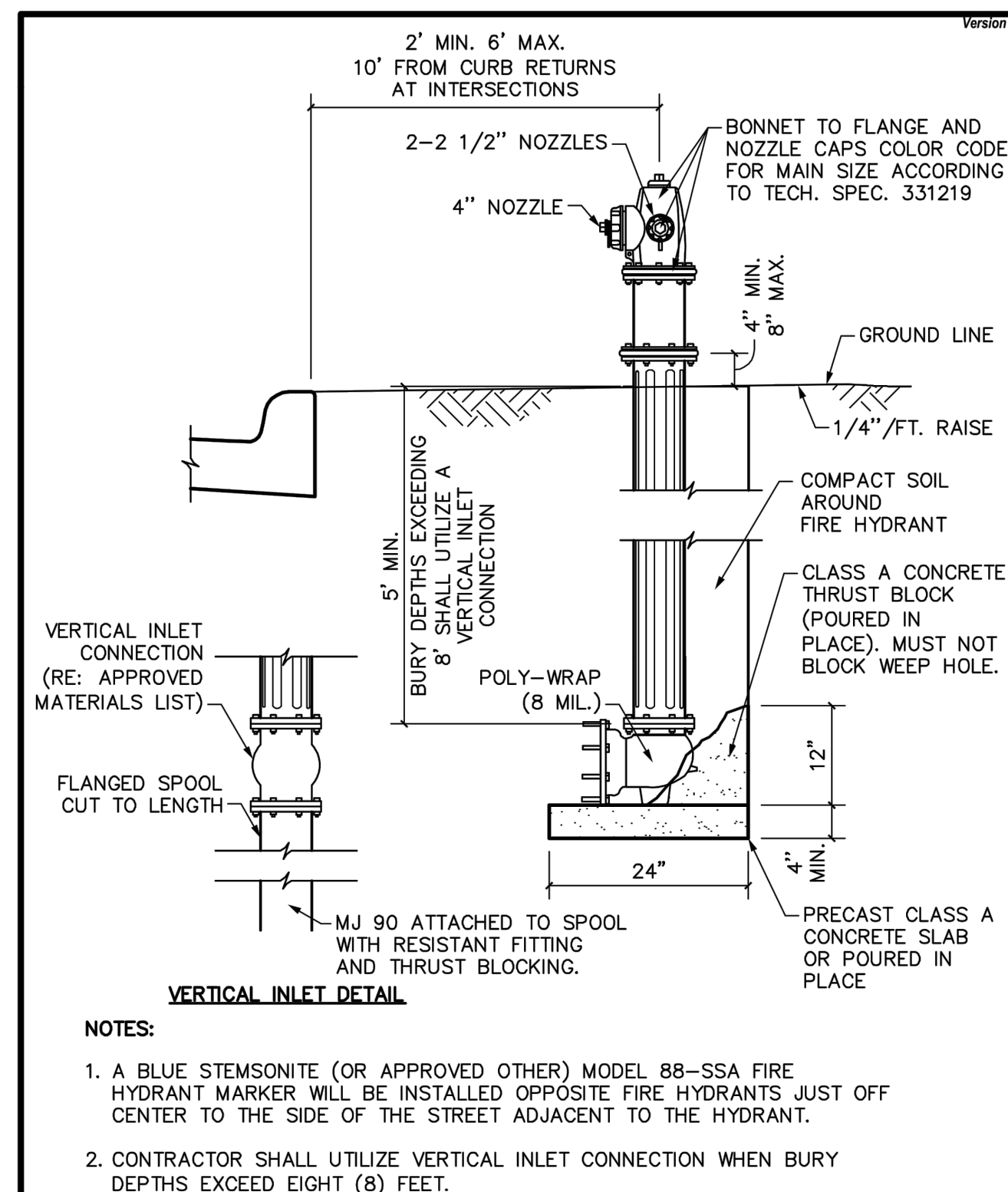
STATE OF TEXAS  
 MATT MOORE  
 95813  
 LICENSED PROFESSIONAL ENGINEER  
 05/19/2016

TEEL CROSSING  
 MAIN STREET  
 FRISCO, TX

CONSTRUCTION DETAILS

DESIGN: BJK  
 DRAWN: BJK  
 CHECKED: MAM  
 DATE: 05/19/2016  
 SHEET  
**C-14**  
 File No.





This drawing has been revised to show those changes during the construction process reported by the contractor to ClayMoore Engineering, Inc. and considered to be significant. This drawing is not guaranteed to be "As Built" but is based on the information made available.

By: Matt U Date: 07/27/2016