



Cedar Lane

AT CHERRY CREEK

• DESIGN PRINCIPLES •

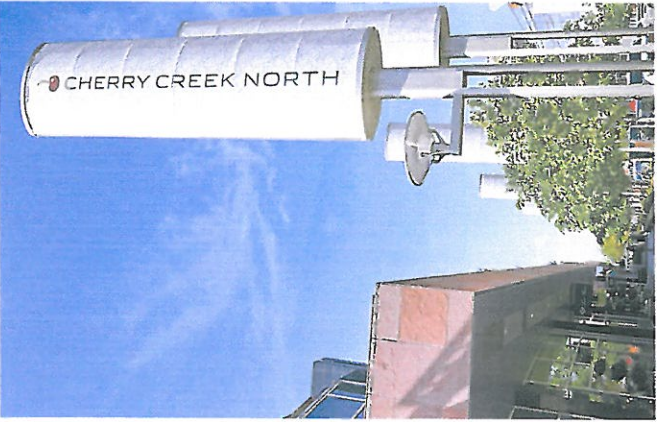


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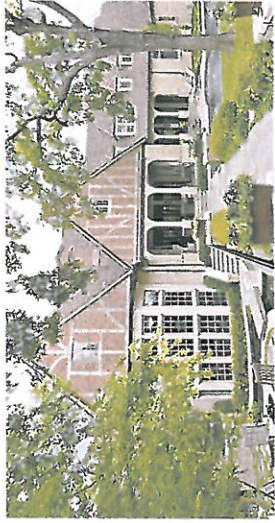
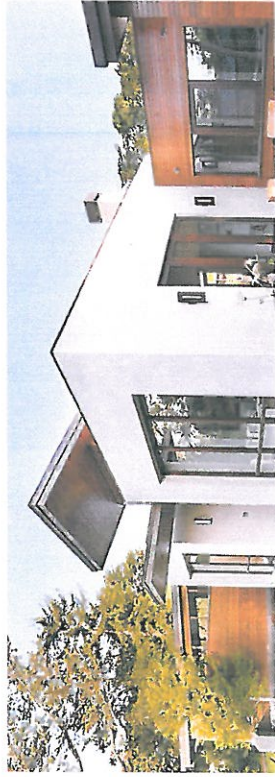
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THE VISION

Nestled within the highly desirable Cherry Creek district of Denver, Colorado, Cedar Lane at Cherry Creek will comprise a neighborhood of 23 custom lots on a prime infill location. Serving as the main access to the neighborhood, the picturesque Cedar Lane will offer entry to the project. Within its gates, a large specimen tree will accent a centrally-located roundabout and create a sense of establishment for the newly developed community. To further establish the neighborhood, a variety of lot sizes, garage configurations, and architectural styles will be implemented to create a truly dynamic custom feel for the community. The homes will present front doors to the street, while garages will take a secondary position, avoiding garage dominated streets. Drawing inspiration from its surroundings—and the Country Club architectural vernacular—Cedar Lane at Cherry Creek's homes will consist of Classical, English, French, and Modern Colorado aesthetics and will set the stage for Denver's newest enclave of luxury homes. All aspects of the neighborhood will be carefully considered to ensure each individual lot and home respects the adjoining home and does not overpower the homes located at the development's entry.

Overall, Cedar Lane at Cherry Creek presents a unique design opportunity and a choice real estate location within the Cherry Creek district. Its homes—though new—will resonate stylistically within the historic context of Cherry Creek and will present a fresh, elegant statement within the well established neighborhood.



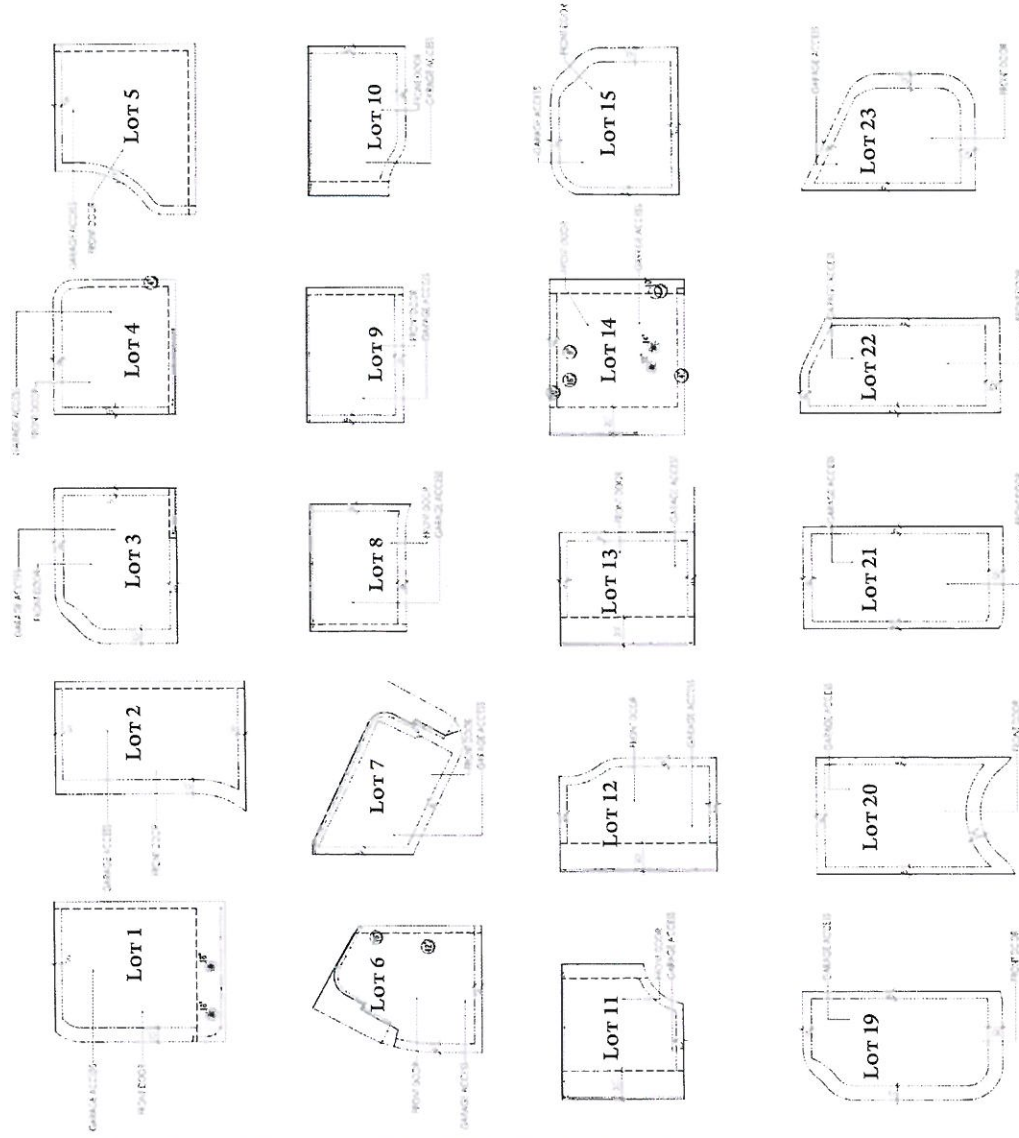
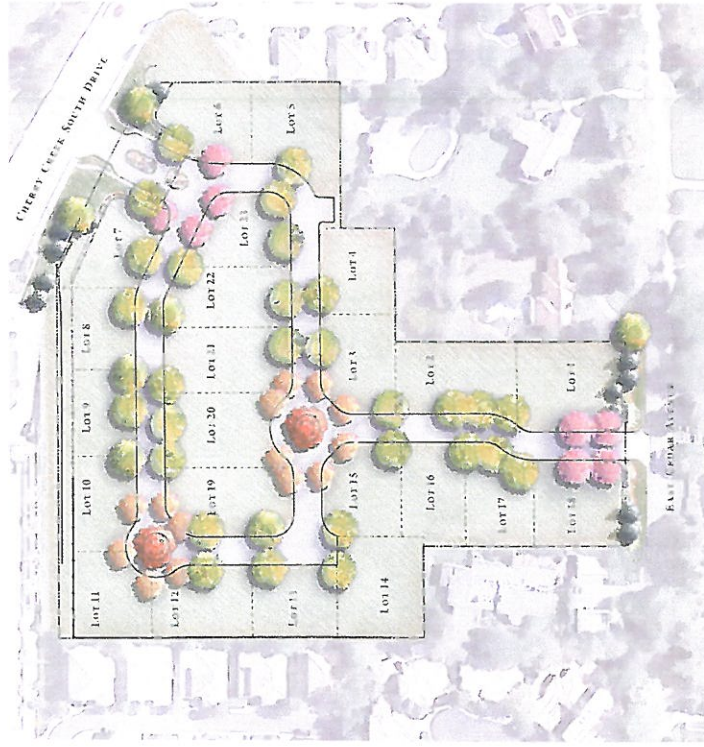


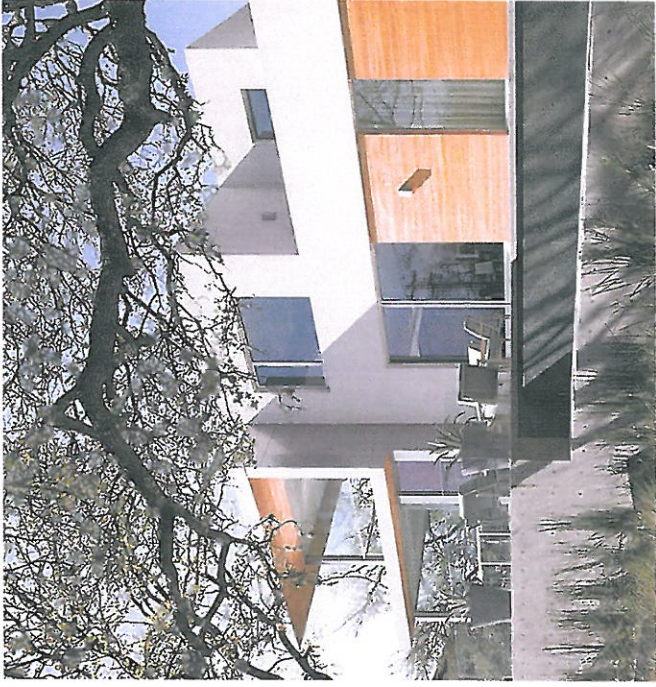
SITE PLANNING

To *carefully articulate the street*, each lot has a preferred garage and front door orientation. These designations are detailed in the subsequent lot detail illustrations and thoroughly depict ideal garage and front door locations (see page 4). Setbacks show the minimum requirements instituted by the Design Review Committee (after hereto mentioned as the DRC); however, city qualifications will take precedence if larger setbacks are required. Additional solutions may be considered regarding garage locations, but they must meet the garage standards as dictated by the Design Principles. Each design shall express the site constraints of each lot; additionally, a preliminary landscape site diagram is required prior to final design.

PLOTING

Individualized Lots | Each lot illustration depicts the suggested minimums for lot setbacks, front door locations, and recommendations for garage access. Lot designs will be submitted to the DRC and will be approved on a case-by-case basis.



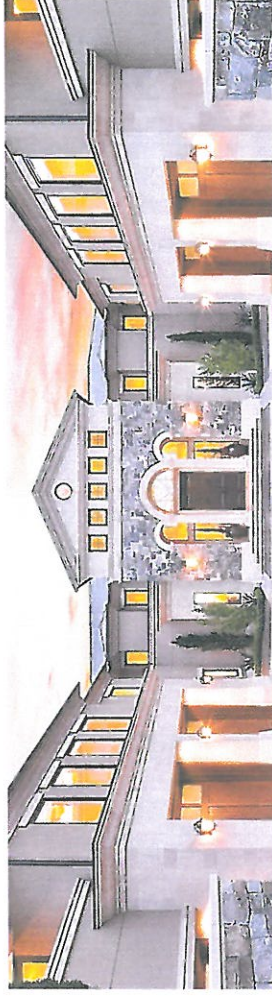


THE ARCHITECTURAL STYLES OF CEDAR LANE

Inspired by the diverse array of architectural styles within the surrounding neighborhoods, Cedar Lane at Cherry Creek will reflect its context through a mixture of styles. Recalling rich architectural traditions through emphasizing Cherry Creek's historic Country Club aesthetic, Cedar Lane at Cherry Creek will revitalize past styles with fresh interpretations in its execution of modern estate homes. Elegant European architectural styles such as Classical, English, and French will imbue the community with a sense of establishment. Additionally, the neighborhood will incorporate a Modern Colorado style, drawing from Colorado's urban contemporary vernacular that is gradually re-gentrifying Colorado's urban core. Combined, the classic European vernaculars will blend with the Modern Colorado, creating a truly custom feel to the neighborhood. To further articulate the neighborhood's grand ambiance, all of Cedar Lane at Cherry Creek's architectural styles will incorporate vertical simplistic stacking forms.

The following pages (pages 6-9) outline each style and its unique elements—providing a structured framework for continuity within the community—while maintaining the diversity offered by each specified style of Cedar Lane at Cherry Creek.

This elegant, formal style is carefully articulated with simplistic stacking forms and disciplined fenestrations. Rooted in southern European-style vernaculars, the Classical style will interject a distinctly Mediterranean feel to its homes. Borrowing from Italian styles (not Spanish), the vernacular is expressed through limited arches, iron detailing, shutters, and balconies. Lower pitched hip roofs, eaves, and corbel details further emphasize strong horizontal orientations. Predominantly stucco facades with minimally textured stone and brick applications are typical. Recessed or precast trim surrounds on doors and windows are necessary components for this style. Light color palettes with concrete roof tiles (flat is preferred) and a select few constraints to masonry and stucco colors will be reinforced by the DRC. Drawing from the mansion and estate homes surrounding the project, the Classical style is perfect for Cedar Lane at Cherry Creek's lots and neighborhood.

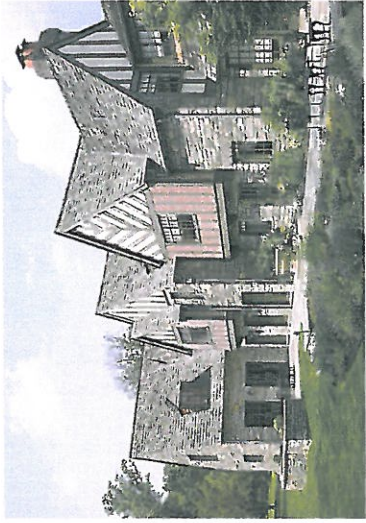
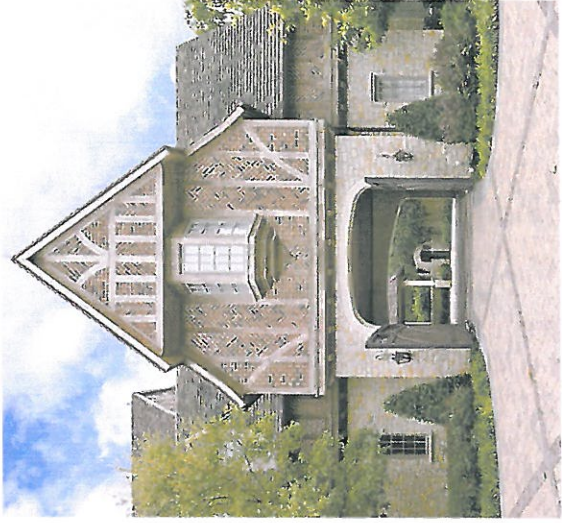
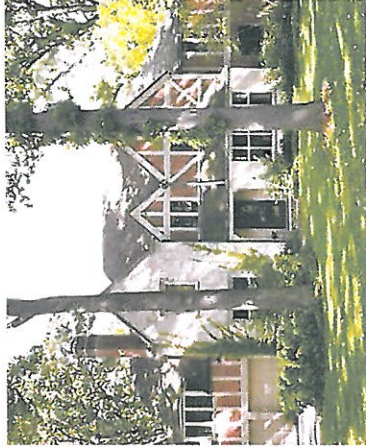
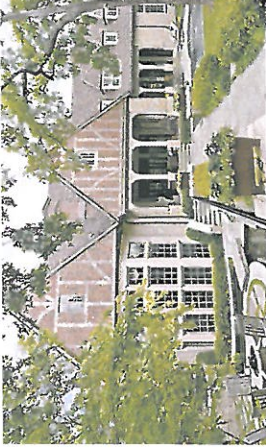


THE CLASSICAL STYLE OF CEDAR LANE

ESSENTIAL ELEMENTS

- » Low pitched, hip roofs and eaves
- » Flat; concrete roof tile
- » Co-detailing
- » Limited use of arched windows or doorways
- » Recessed, precast, or trim surrounds on windows and doors
- » Balconies with wrought iron detail
- » Minimally textured stone
- » Light color palette

Quintessentially representative of historic Denver, the English style still remains highly popular today. Timeless and dignified, this mansion-estate aesthetic is characterized by simple gable roof forms, which are then accented by steep roof pitches. Uncomplicated forms, embellished details and materials are essential for this style. A well-composed mixture of gable and hip roofs offer an element of informal playfulness to the aesthetic while careful, composed massing is employed when necessary to fully articulate the vernacular. Gable detailing, defined second-floor elements, porches, and balconies offer human scale to the overall look. Half timbering, wooden posts and fascia further delineate the structure. Dormers and other similar details around windows are crucial for well-defined openings. Additionally, the color and material palette should consist of rich earth tones and concrete slate or concrete shake roof tiles. The English style recalls affluent old Denver and its popularity has endured, making it a favored style among Colorado's elite.

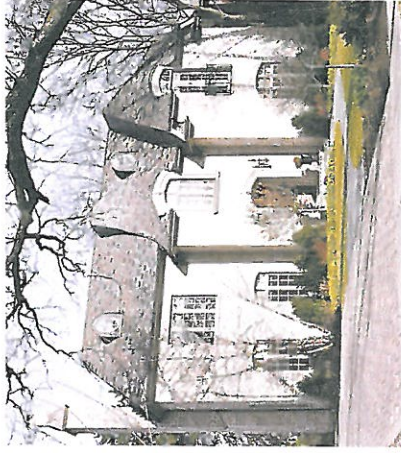


THE ENGLISH STYLE OF CEDAR LANE

ESSENTIAL ELEMENTS

- » Embellished gable detailing
- » Simple gable roof forms with steep roof pitched accents
- » Half timbering, wooden posts, & fascia detailing
- » Concrete slate or concrete shake roof tiles
- » Well-defined fenestrations
- » Rich, earth toned color palettes

Upscale and refined, this style boasts in sophistication, drawing from the Parisian estate aesthetic (not those of Normandy or southern French vernaculars), the French style of Cedar Lane presents a polished urban feel for the community. Formal in structure and massing, the style is expressed through simple, stately roof forms and controlled fenestrations. Dispersed throughout Denver's historic neighborhoods, the French vernacular has served as the hallmark style of mansion-estate homes for decades. Softly arched, recessed windows articulated with precast surrounds, balconies, and tall shutters are quintessential components of the aesthetic. Gable and hip roofs with a minimum 8:12 pitch are common. Light stone, painted brick, and stucco comprise the primary exterior materials. Overall, the French vernacular blends with Cedar Lane at Cherry Creek's historic, European-derived styles and provides a formal elegance for the custom community.



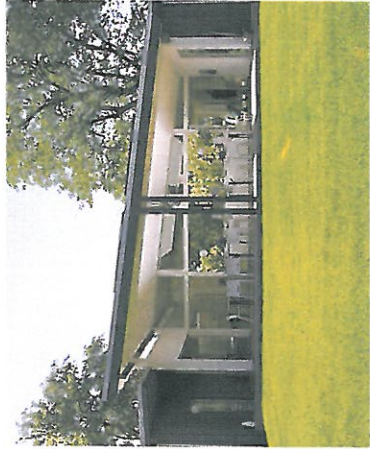
THE FRENCH STYLE OF CEDAR LANE

ESSENTIAL ELEMENTS

- » Gable & hip roofs - 8:12 min. pitch
- » Controlled fenestrations
- » Softly arched recessed windows
- » Precast surrounds
- » Balconies
- » Tall window shutters
- » Comprised of lightly colored stone, painted brick, & stucco

Surfacing throughout Colorado, a new urban aesthetic is emerging. Distinctly different than the Mountain Modern vernacular prevalent throughout Colorado's Front Range, the Modern Colorado style is more refined in its appearance. By comparison to the Mountain Modern, the Modern Colorado's forms are purer, less rustic and its massing more disciplined. Borrowing components from Mid-Century architecture, the style carefully composes its windows in groupings; solid and void elements are also utilized further illustrating form and space. Streamlined material palettes integrating stone and stucco provide texture en masse while avoiding ornamentation.

Overall, the forms should be simple, yet elegant. The Modern Colorado vernacular will offer a fresh aesthetic for the neighborhood and provide a welcome alternative to the neighborhood's European-inspired styles.

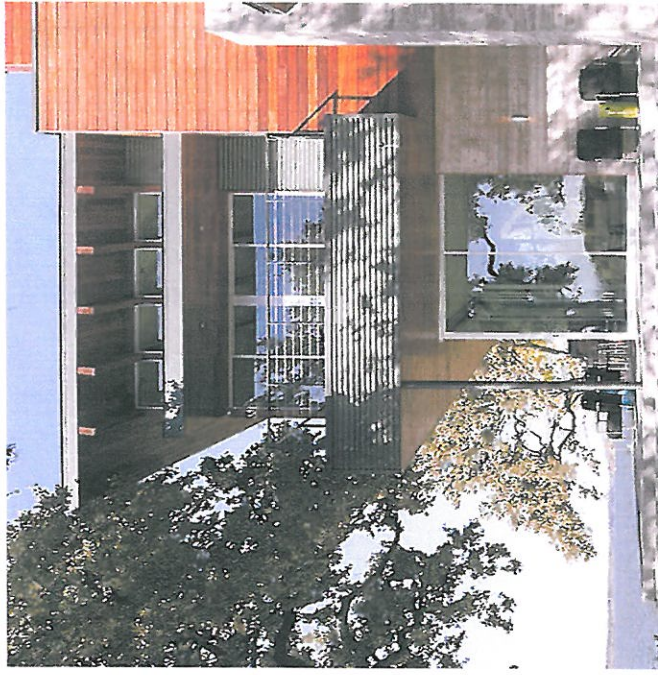


THE MODERN COLORADO STYLE OF CEDAR LANE

ESSENTIAL ELEMENTS

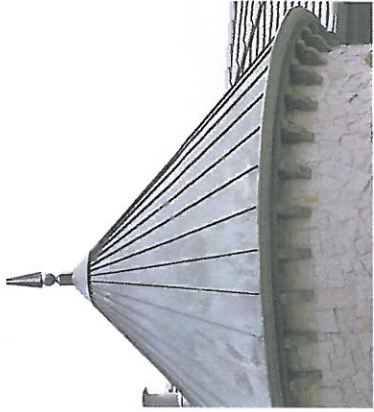
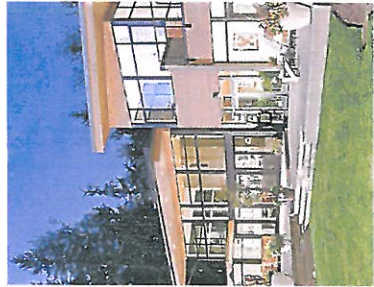
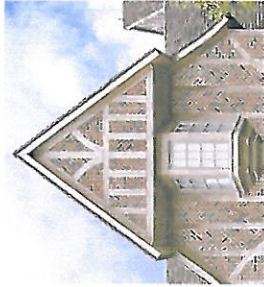
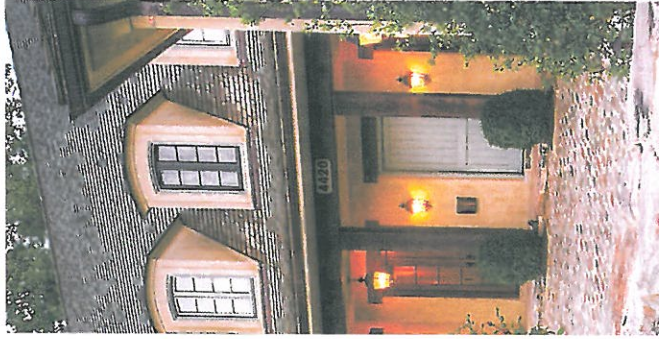
- » Pure, simplistic forms & massing
- » Well-composed window groupings
- » Flat & angular roof forms
- » Flat concrete roof tile, or flat composition roof tile

- » Streamlined, total material palettes
- » Masonry & stucco utilized for texture variations
- » Steel & glass structural elements



MASSING & SCALE

Representing an urban interpretation of the Country Club style, the homes of Cedar Lane at Cherry Creek should be vertical and stacking in their execution. The massing shall be simple. Complex, cluttered compositions are strongly discouraged. Care should be taken to produce well-balanced massing; formal and controlled volumetrics are desired. The scale may be vertical, even up to the setback. Detailing should provide the pedestrian scale to the street. While vertical massing is encouraged, flat facades are allowable provided that elements articulating shade, shadow, and texture are utilized to further establish horizontally oriented compositions. Recessed windows, shutters, four plane breaks, and other appropriate details are required to facilitate massing and scale as determined by the DRC.



ROOF FORMS

All roof forms are allowed given that they correspond directly with the four architectural styles of Cedar Lane at Cherry Creek. Roof forms should be simple and unified in their design and execution. Complex, complicated roofs are strongly discouraged. Combining roof forms is permitted—provided it is necessitated by the home's architectural aesthetic. Eave details should complement the overall style as well. Depending on the style, overhangs may vary from 0" to 2'-0". Materials may vary: slate, concrete tile, and parapets with built up roofing are all acceptable as long as they are in keeping with their specific style vernacular. Composition roof tile shall not be used, except on Modern Colorado architectural style.



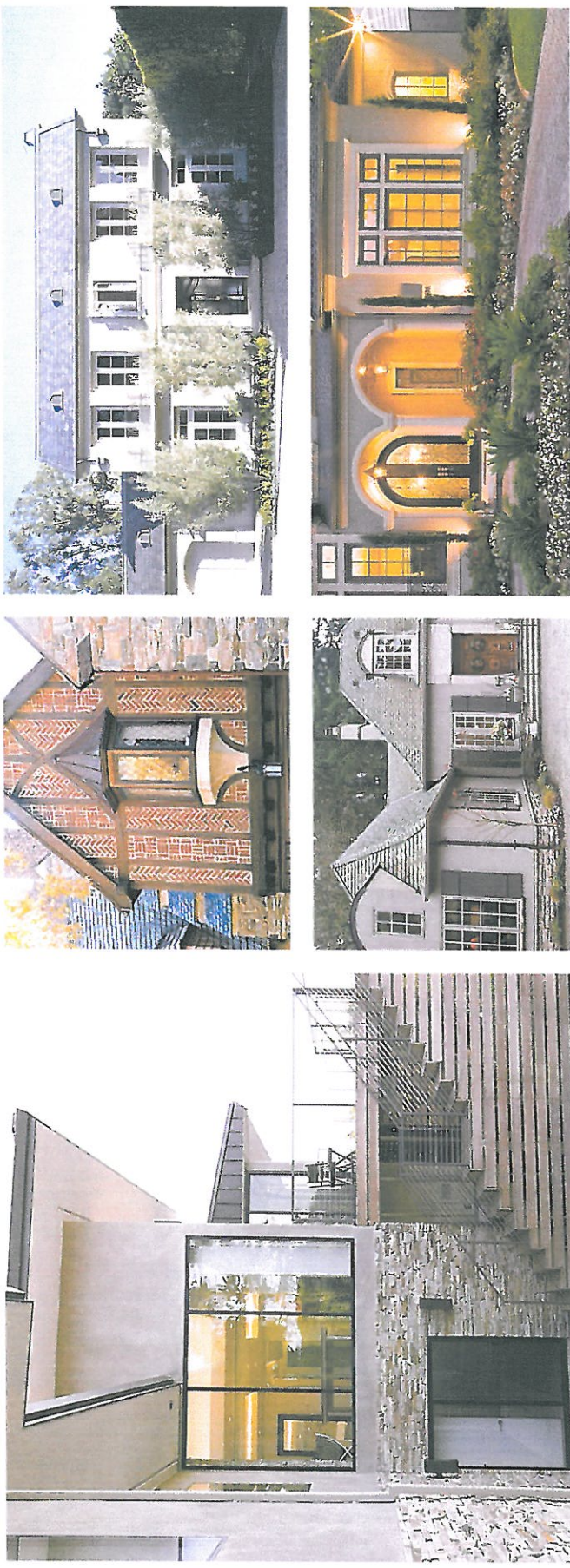
COLORS & MATERIALS

To thoroughly articulate the respective architectural styles of Cedar Lane at Cherry Creek, a variety of materials shall be accepted. The materials shall be consistent with the style. Wood, wood composite, masonry of all kinds, and stucco are permitted. Composition roof will only be permissible on Modern Colorado elevations; all other styles necessitate concrete roof tile. Metal incorporated to further illustrate the architectural style will be reviewed to ensure that the material does not dominate the façade. Additionally, colors shall reflect the aesthetic; subtle color schemes and palettes containing tonal variations are strongly encouraged and will allow the four Country Club styles to blend. Bright, radical colors will be reviewed for their compatibility. Color and material boards will be required for each home and will be carefully examined to ensure that their composition within the overall character of the neighborhood.



GARAGE CONFIGURATIONS

Preferred garage locations are indicated on the individual lot site plans for each lot, specified on page 4. Individual lot plans may be revised as per the DRC's approval. A variety of garage configurations are admissible; however garage dominated streets shall not be permitted. Three-car, front-loaded garages facing the street are discouraged. Split garage with doors facing each other are desired as this configuration will mitigate garage dominated elevations and street patterns. Additionally, garage doors should reflect the overall style of the elevation.



DOORS & WINDOWS

Doors and windows should be organized on the elevation. A strong hierarchy in the layout of doors and windows is required on all elevations. Recessed windows and other such detailing on flat facades are desired to provide shade, shadow, and texture. The window style should be consistent on all four sides and should correspond to the aesthetic of the home. Furthermore, the size and scale of the windows should enhance the home's overall feel; arbitrary window shapes and sizes are not permissible. Overall, well-composed, structured fenestrations are preferred.

LANDSCAPING

The urban nature of Cedar Lane at Cherry Creek is reinforced by the small yard landscapes and spaces associated with each lot. This will require careful attention to individual plant placement and utilization. Deliberate plant selection will be required to account for aesthetic and micro climate-related conditions. Individual lot landscape shall complement the architectural elevations of each home facade. Utilization of accent plant material should be used to draw attention to front entries, rear yard, or side yard entry gates. Foundation planting shall cover 100% of all foundations. Plant selection should account for exposure, drainage and canopy versus understory conditions. Each lot will be required to install street trees per the street tree overlay plan.

REQUIRED STANDARDS AND MINIMUMS ARE AS FOLLOWS:

- » All plant material shall be of specimen quality.
- » All plant material shall be appropriate in size when mature for the space located.
- » Lot landscapes shall have a minimum 25% evergreen plant material.
- » Additional tree plantings for shade are encouraged when feasible.
- » Canopy trees shall be 4" minimum caliper in size.
- » Ornamental trees shall be 2" minimum caliper.
- » Evergreen trees shall be 12' minimum in height.
- » Shrubs shall be #5 minimums.
- » Perennials shall be #1 minimums.
- » Street trees shall be located no less than 4' from back of curb.
- » All mulch areas shall use cedar or rock mulches less than 1" or less in diameter over weed control fabric.
- » Cobble will be permitted if used for accents. Cobble shall not be used for standard mulch treatments.
- » All shrub beds shall be edged with minimum 14 gauge role top steel edge, or a masonry edge.
- » All landscape areas shall be irrigated with a 100%, underground supplied automatic irrigation system.



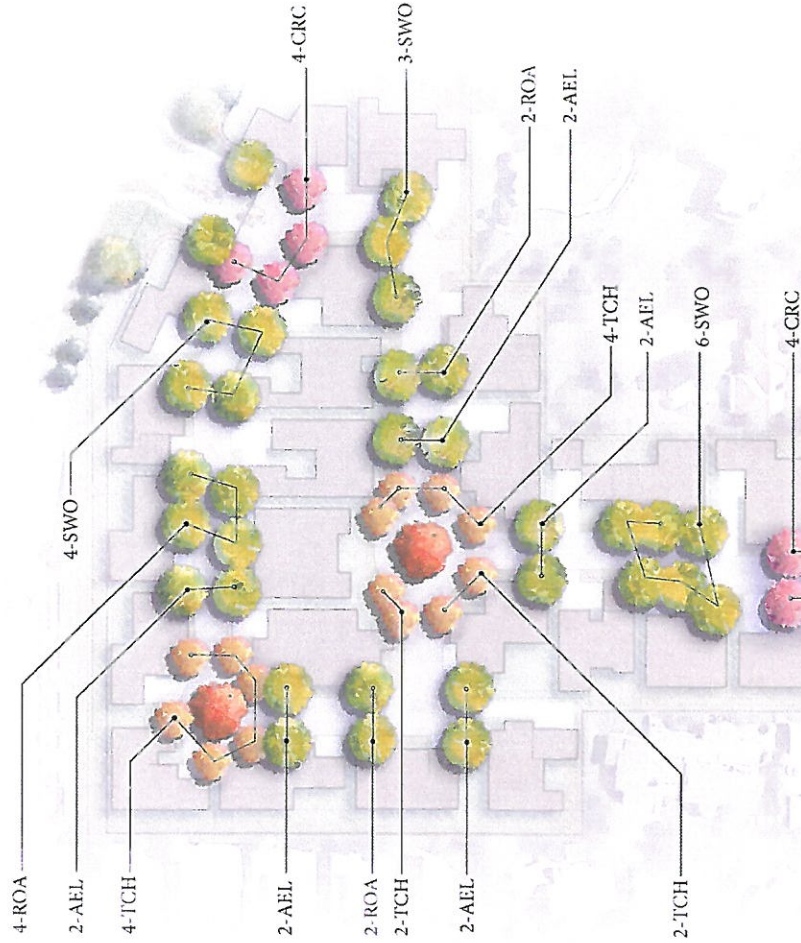
Note: Site plan is intended for illustrative purposes only; it is not prescriptive of lot orientation.

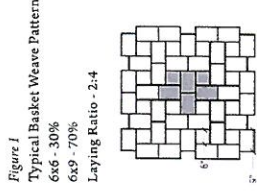
STREET TREES

Street tree patterns will define key components of the community's design. Once within the gates, the streetscape will emphasize entry areas and roundabouts. The entries will be flanked by a common ornamental species. Roundabouts will feature centrally located specimen canopy trees with shorter ornamental trees on the sides to accent the shape, size and color of the roundabout trees. The remaining street trees will create an arching canopy over the street to complete the lane affect. Refer to the street tree overlay plan for the planting schema.

STREET TREE LEGEND

AEL	Accolade Elm
CRC	Canadian Red Cherry Single Stem
ROA	Red Oak
SWO	Swamp White Oak
TCH	Thornless Cockspur Hawthorn Single Stem





HARDSCAPE

Cedar Lane at Cherry Creek represents a custom community utilizing high quality materials and products throughout the community and its home sites. Community streets will present with fine quality pavers, which will continue into driveways, walks, porches, and patios (see product specifications and patterns for driveways). Walkways, porches, and patios shall not utilize concrete paving. Paving materials shall complement masonry used on homes.

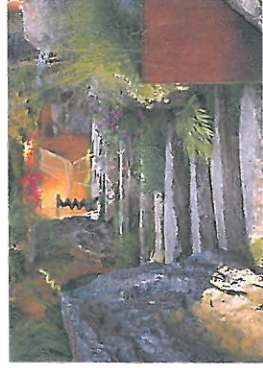
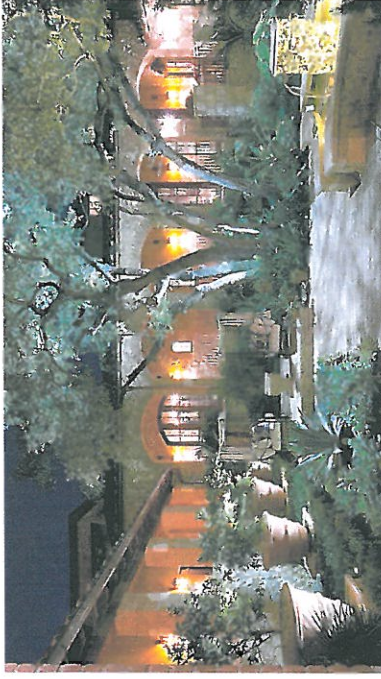
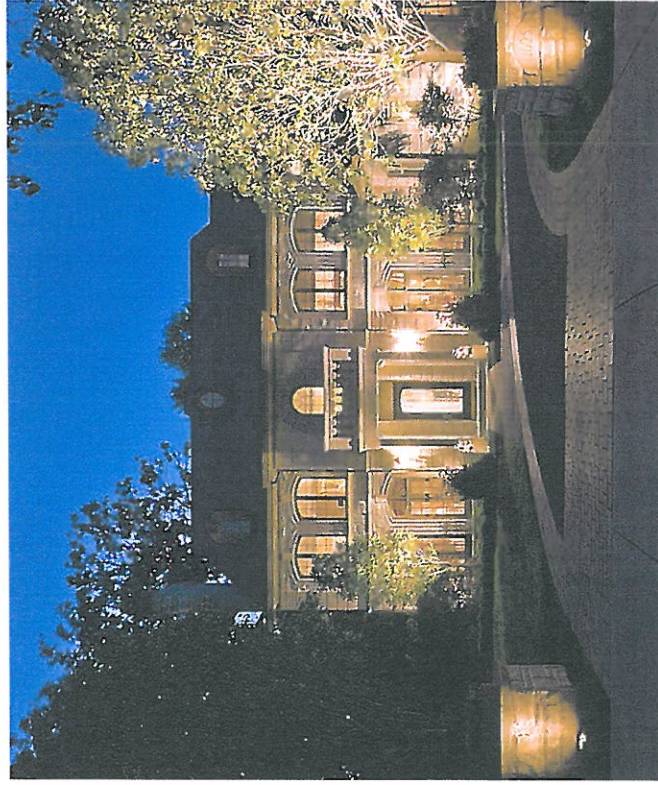
DRIVEWAY PAVING SPECIFICATIONS

Driveway edges shall be edges with 2 courses of Borgert untumbled *Cobble Series* with 6' x 9' charcoal colored concrete paving stone in a running bond pattern. Driveway infill areas shall be paved with Borgert untumbled *Cobble Series* with 30% 6' x 6' and 70% 6' x 9' Minnesota River colored concrete paving stone (see *Figure 1*).



PRIVACY WALLS & FENCING

Architectural styles and standards for Cedar Lane at Cherry Creek dictate that high-quality materials will be utilized throughout the individual lots. Privacy screening will offer additional architectural elements to the community landscape. Use of materials that complement the architecture of the homes will reinforce the character of the home sites. All materials shall utilize masonry materials utilized in the architecture of the homes. Privacy walls shall not exceed 6' in height. Gates in privacy walls shall utilize metal materials. Generally, wood fencing is not permitted, however it may be considered on a case-by-case basis.



LIGHTING

Landscape and exterior home lighting is highly encouraged for the homes in Cedar Lane at Cherry Creek. Pathway, landscape, and lighting of exterior facades and features of the homes will complement the atmosphere of the neighborhood. The close proximity of homes to each other and the street will require careful attention to lighting design to prevent uncomfortable lighting situations. With exception of holiday string and rope lighting, all lighting is required to have shielding, hoods, and be inwardly pointed to prevent visibility of the bulb and lenses from the street or neighbors. Holiday lighting will be permitted between December 1st and February 1st.

DESIGN REVIEW

The Design Review Process—outlined in this section—is intended to manage and enforce the design standards contained herein to achieve the maximum aesthetic benefits for the community while enhancing property values. All submittals shall comply with the following procedural requirements to assure a timely process and gain approval from the Design Review Committee (DRC). The DRC will provide a written response within 14 days after receiving each review phase's required submittal documents.

I. Pre-Design Meeting

Prior to preparing preliminary plans, it is required for the owners and/or owners representative meet with the DRC to discuss ideas of the design as well as concerns of the DRC and site constraints of the individual site. These items will include the following:

1. Front door orientation
2. Garage orientation
3. Proposed style of residence
4. City requirements
5. Easements, setbacks and drainage with adjacent site

II. Concept Design Submittal

Following the Pre-Design meeting, the owners and/or owners representative may develop preliminary architectural design concepts for submittal to the DRC. The submittal shall include the following in scaled, dated drawings at minimum 24" x 36" in size:

1. Site plan including lot number or address including preliminary grading. Draining and grading plans shall be provided from a licensed civil engineer.
2. Floor plans, 1/4" per foot including any accessory structures
3. Elevations at same scale as floor plans
4. Roof plans showing drainage
5. Color boards can be submitted if selections have been made at this time.

III. Final Plan Submittal

Following Concept Design Submittal, the owners and/or owners representative may develop final architectural and site plans suitable for construction for submittal to the DRC. The submittal shall include the following in scaled, dated, 24" x 36" drawings:

1. Site plan including lot number or address including final grading from a licensed civil engineer. Final site plan shall include final proposed grade lines, top of finish floors including walkouts, all site improvements, retaining walls, easements and setbacks.

2. Detailed floor and roof plans, 1/4" per foot including any accessory structures.

3. Elevations at same scale as floor plans, accurately depicting actual and proposed grading. Elevations shall also show maximum roof height as calculated by Denver zoning.

4. Wall, building sections and exterior details.

5. Color board—samples of all finished exterior materials and colors presented on 24" x 36" board. Sample board must include a front elevation for the purposes of clearly identifying where colors and materials are to be applied. In addition, a typed schedule of all finish samples shall also accompany the material board.

3. A Lighting Plan identifying lighting locations, types, and schematic wiring and control. The lighting plan shall include a schedule of products keyed to the lighting plan identifying bulb type and wattage.
4. The applicant shall provide product submittals of all hardscape, landscape and lighting materials to be used. These may be product cut sheets or physical samples.
5. Two or more plans may be combined as part of the same plan if legible.

VI. Review Fees

The DRC will charge a one time review fee of \$2,500, which will serve as compensation for both the architectural and landscape Design Review Committee boards. Payment shall be made to the Cedar Lane HOA.

After preparing the final plans, the owners, or owners' representative, shall submit one set to the DRC for record copy. The DRC will then review the plans and will provide a written response no later than 14 days after submittal. If the final plans are approved, the owners and/or owners representative may apply for the appropriate permits to begin construction.

IV. Final Inspections

Prior to final sign off from the city of Denver for the certificate of Occupancy the DRC will review the final built product to determine that the home was built to the approved plans. Any changes at this point will need to be completed prior to the city reviews or before the Certificate of Occupancy can be issued. The owners and/or owners representative will notify the DRC of substantial completion 7 days prior to final inspections.

V. Landscape Review

As part of the Final Plan Submittal, the applicant shall submit a landscape and exterior plan for review and approval. The submittal shall include the following in scaled, dated, 24" x 36" drawings:

1. An expanded site plan of exterior materials. This shall include lot number and/or address, including final grading from a licensed civil engineer. Final site plan shall include final proposed grade lines, top of finish floors including walkouts, easements and setbacks, all site improvements, retaining walls, screen walls, paving materials, installation details and notes.
2. A landscape plan identifying plant material locations and types. The landscape plan shall include a plant legend keyed to the plan identifying plant species with size and condition of planting. The plan shall include notes and details identifying, soil prep, mulch type and all products used for edging, weed fabric, etc.





Created for *Richmond American Homes* | Designed and provided by *Woodley Architectural Group, Inc.* | Landscape designs and illustrations by *Norris Design* | Community Illustrations and Renderings by *Simutis Illustrations, LLC*.