

SCOPE OF WORK:
INTERIOR ALTERATION OF AN EXISTING TWO STOREY
HOUSE.
SECONDARY STOREY ADDITION ABOVE GARAGE AND
FRONT YARD ADDITION

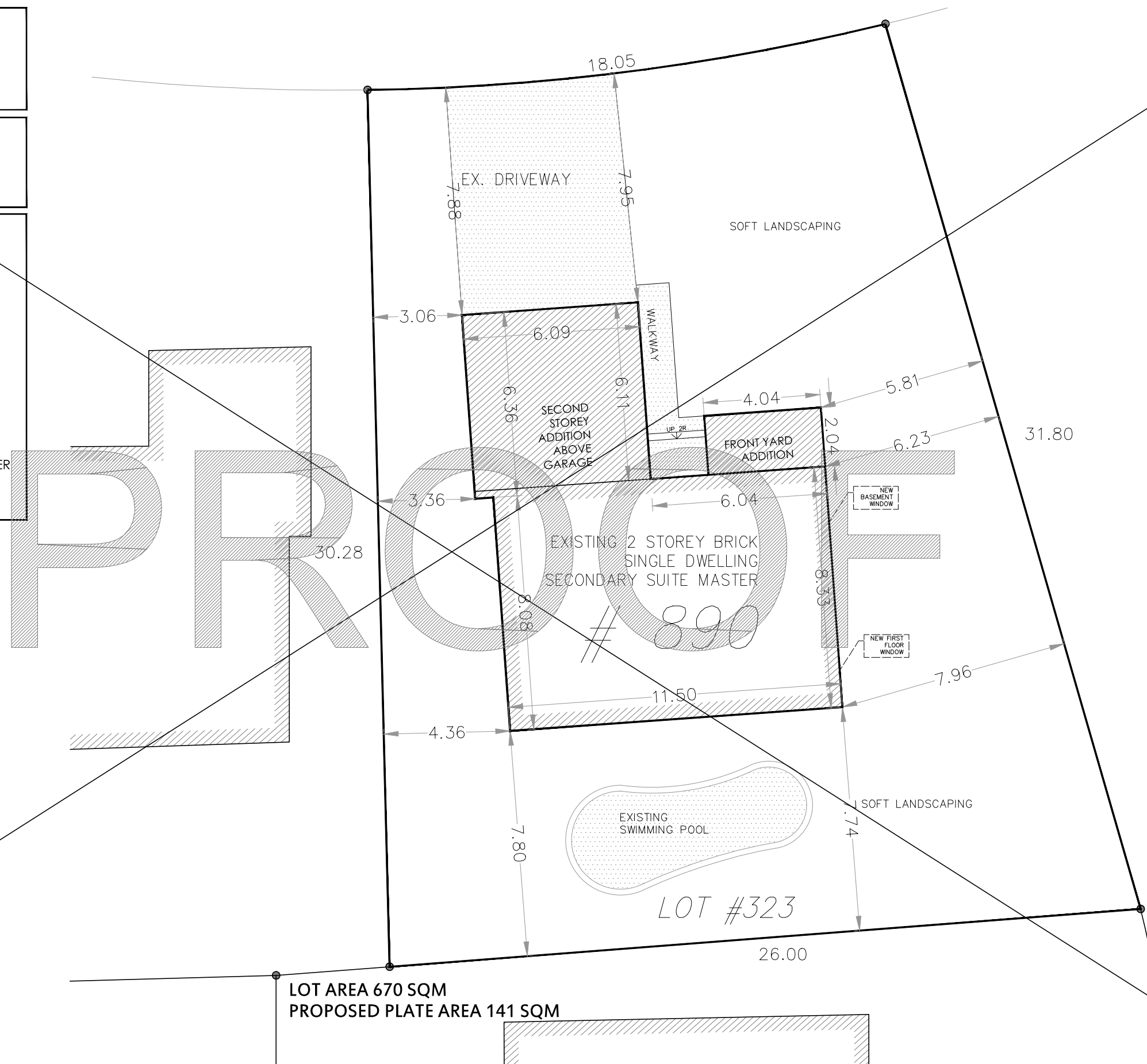
GENERAL NOTES

1. CONTRACTOR MUST VISIT SITE TO FAMILIARIZE WITH EXISTING CONDITIONS BEFORE QUOTING FOR THE JOB.
2. VERIFY ALL EXISTING MEMBER SIZES, ELEVATIONS, AND DIMENSIONS ON SITE PRIOR TO COMMENCING ANY WORKS. REPORT ANY DISCREPANCIES TO ENGINEER IMMEDIATELY FOR ADVISE.
3. CONTRACTOR TO SUBMIT DETAIL SHOP DRAWINGS PRIOR TO FABRICATION.
4. DIMENSIONS MARKED ON STRUCTURAL DRAWINGS ARE FOR DESIGN ONLY. CONTRACTOR IS REQUIRED TO FOLLOW MEASURE ALL DIMENSIONS, LEVELS & CONDITIONS ON SITE. DISCREPANCY BETWEEN STRUCTURAL & ON SITE CONDITIONS MUST BE BROUGHT TO THE ATTENTION OF ENGINEER & OWNER PRIOR TO COMMENCING ANY CONSTRUCTION AND FABRICATION.

		Metric		Imperial	
Lot Area		670	sqm	7,212	sqft
Frontage		18.05	m	59.22	ft
Coverage	33%	221	sqm	2,380	sqft
FAR	-	-	sqm	-	sqm
SETBACKS	Front	9.2	m	30.18	ft
	Side - Wit	1.52	m	4.99	ft
	Back	8.66	m	28.41	ft
Depth		19	m	62.34	ft
Height Max		9	m	29.53	ft
Front wall maximum hight		7	m	22.97	ft


Proposed				
First Floor	108.8	sqm	1,171	sqft
Second Floor	135.72	sqm	1,461	sqft
Basement	94.6	sqm	1,018	sqft
Total	339	sqm	3,650	sqft
Total GFA	244.5	sqm	2,632	sqft
Proposed Coverage				
FAR	36.5%	244.5	sqm	2,632 sqft
Coverage	21.5%	144.04	sqm	1,550 sqft

Landscape Area Calculations			
Zone / Units	SQM	SQFT	%
Front Yard Area	222	2,390	100.00%
Driveway Area	46.87	505	21.11%
Soft Landscaping Area	172.49	1,857	77.70%
Walkway Area	6.2	67	3.59%
Soft Area	166.29	1,790	96.41%



SITE PLAN SCALE 1:150

REVISIONS		DATE



NORTH

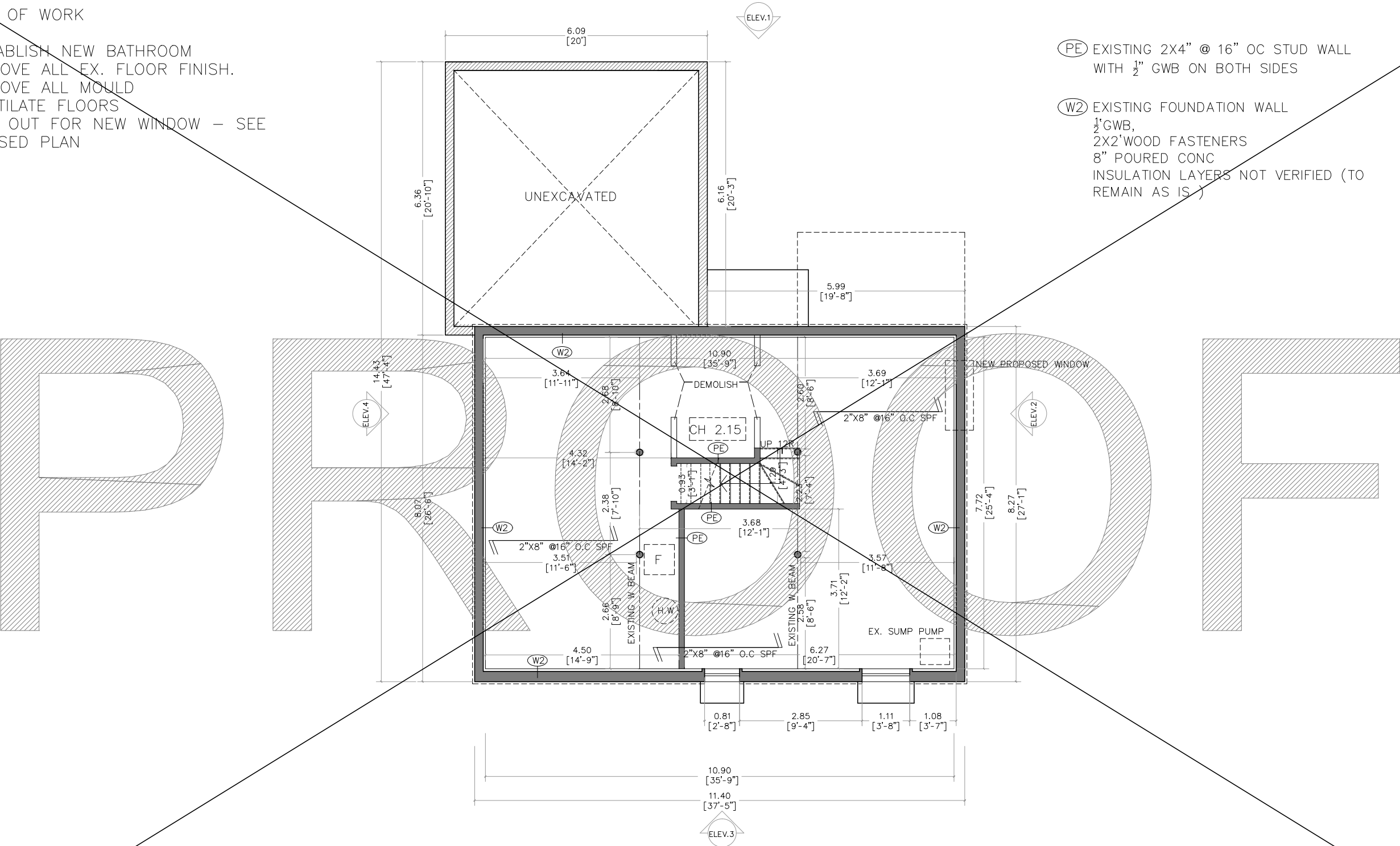
TO	ISSUED	DATE

PROJECT	
SAMPLE SAMPLE	

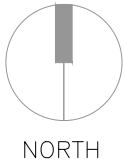
DRAWING	
DRAWN A.S.T.	PROJECT NO.
PLOTTED DATE SEPT 19, 2014	DRAWING NO. A1
SCALE 1:150	

SCOPE OF WORK

- ESTABLISH NEW BATHROOM
- REMOVE ALL EX. FLOOR FINISH.
- REMOVE ALL MOULD
- VENTILATE FLOORS
- CUT OUT FOR NEW WINDOW - SEE PROPOSED PLAN



- (PE) EXISTING 2X4" @ 16" OC STUD WALL WITH 1/2" GWB ON BOTH SIDES
- (W2) EXISTING FOUNDATION WALL 1/2" GWB, 2X2" WOOD FASTENERS 8" POURED CONC INSULATION LAYERS NOT VERIFIED (TO REMAIN AS IS)



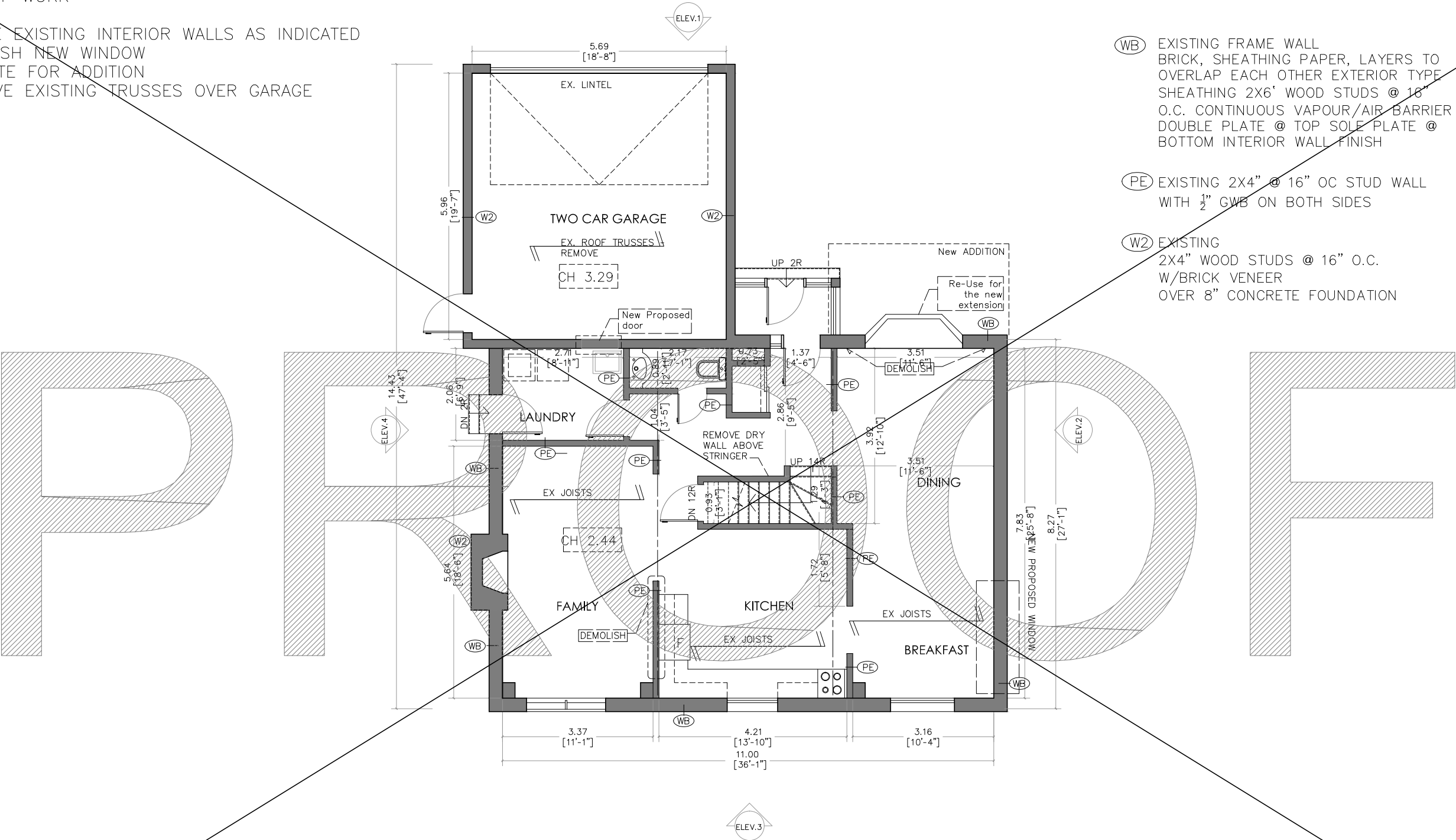
EXISTING BASEMENT FLOOR PLAN
AREA = 94.60 SQM

PROJECT SAMPLE SAMPLE	
DRAWING	
DRAWN A.S.T	PROJECT NO
PLOTTED DATE SEP. 4.2014	DRAWING NO
SCALE 1:100	A2
CHECKED	

SCORE OF WORK

- REMOVE EXISTING INTERIOR WALLS AS INDICATED
- ESTABLISH NEW WINDOW
- EXCAVATE FOR ADDITION
- REMOVE EXISTING TRUSSES OVER GARAGE

- (WB) EXISTING FRAME WALL
BRICK, SHEATHING PAPER, LAYERS TO
OVERLAP EACH OTHER EXTERIOR TYPE
SHEATHING 2X6' WOOD STUDS @ 16"
O.C. CONTINUOUS VAPOUR/AIR BARRIER
DOUBLE PLATE @ TOP SOLE PLATE @
BOTTOM INTERIOR WALL FINISH
- (PE) EXISTING 2X4" @ 16" OC STUD WALL
WITH 1/2" GWB ON BOTH SIDES
- (W2) EXISTING
2X4" WOOD STUDS @ 16" O.C.
W/BRICK VENEER
OVER 8" CONCRETE FOUNDATION

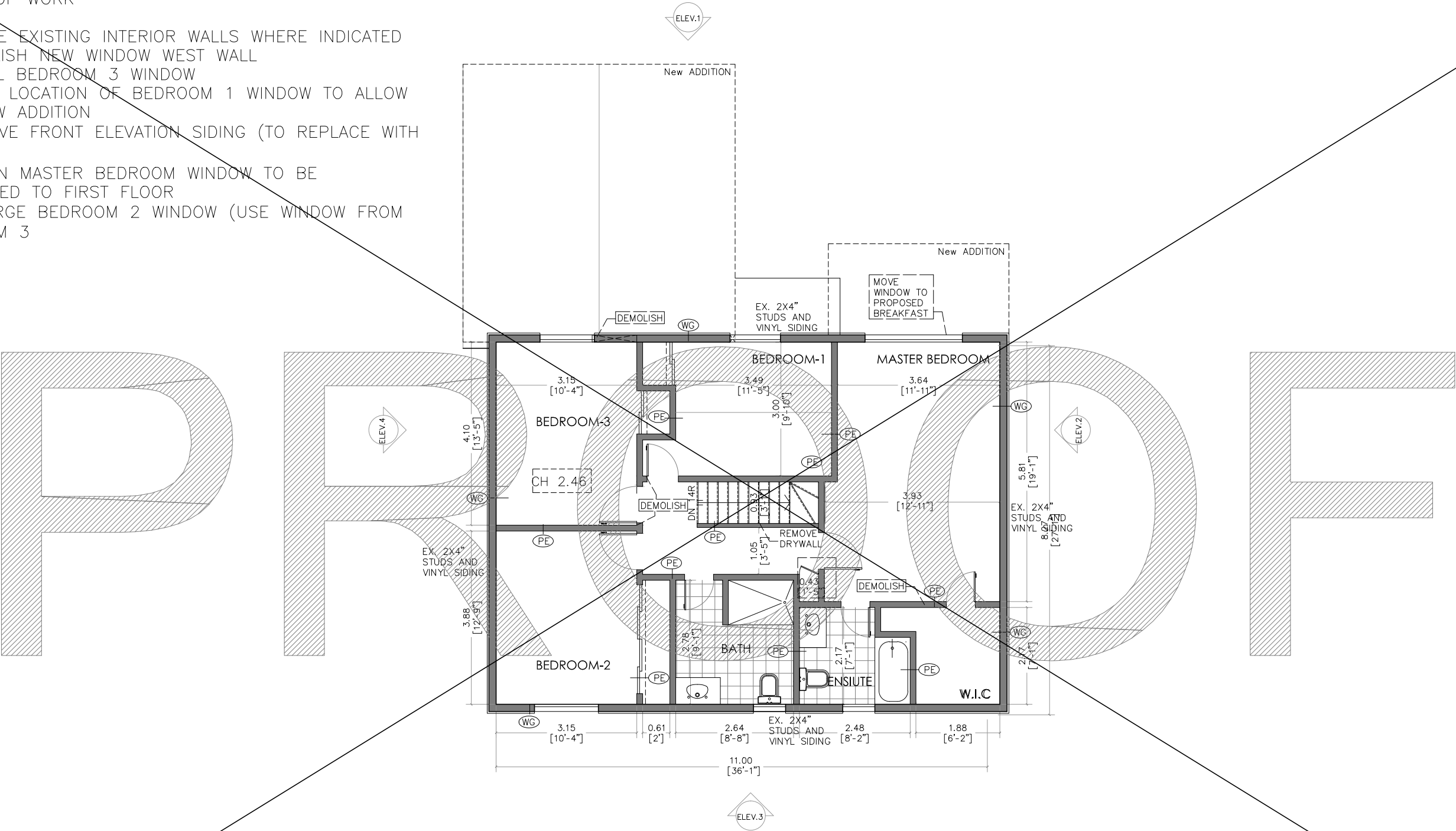


EXISTING FIRST FLOOR PLAN
AREA = 100.95 SQM

PROJECT SAMPLE SAMPLE	
DRAWING	
DRAWN A.S.T.	PROJECT NO.
PLOTTED DATE SEP. 4.2014	DRAWING NO.
SCALE 1:100	A3
CHECKED	

SCOPE OF WORK

- REMOVE EXISTING INTERIOR WALLS WHERE INDICATED
- ESTABLISH NEW WINDOW WEST WALL
- CANCEL BEDROOM 3 WINDOW
- SHIFT LOCATION OF BEDROOM 1 WINDOW TO ALLOW FOR NEW ADDITION
- REMOVE FRONT ELEVATION SIDING (TO REPLACE WITH EIFS)
- RETAIN MASTER BEDROOM WINDOW TO BE RELOCATED TO FIRST FLOOR
- ENLARGE BEDROOM 2 WINDOW (USE WINDOW FROM BEDROOM 3



EXISTING SECOND FLOOR PLAN
AREA = 99.40 SQM

- (PE) EXISTING 2X4" @ 16" OC STUD WALL WITH 1/2" GWB ON BOTH SIDES
- (W2) EXISTING 1/2" GWB 2X2" WOOD FASTENERS 8" CONC BLOCK BRICK FINISH INSULATION LAYERS NOT VERIFIED
- (WG) EXISTING FRAME WALL VINYL SIDING, SHEATHING PAPER, LAYERS TO OVERLAP EACH OTHER EXTERIOR TYPE SHEATHING 2X6" WOOD STUDS @ 16" O.C. CONTINUOUS VAPOUR/AIR BARRIER DOUBLE PLATE @ TOP SOLE PLATE @ BOTTOM INTERIOR WALL FINISH

PROJECT SAMPLE SAMPLE	
DRAWING	
DRAWN A.S.T	PROJECT NO
PLOTTED DATE SEP. 4.2014	DRAWING NO
SCALE 1:100	A4

- SCOPE OF WORK
- REMOVE ALL EXISTING FLOOR FINISHES
 - REMOVE ALL MOULD (IF ANY), AND LET FLOOR SLAB BREATHE FOR 2 DAYS
 - RE-FINISH FLOORS (LAMINATE / CARPET)
 - BUILD NEW INTERIOR WALLS AS INDICATED
 - SEAL AND PAINT WALLS AS REQUIRED
 - NEW WINDOW EAST WALL
 - NEW DRYWALL CEILINGS TO BE FASTENED TO EXISTING JOISTS
 - BUILD NEW X-TYPE $\frac{5}{8}$ " DRYWALL AROUND EXISTING SEWER DRAINS FOR ADDITIONAL SOUND INSULATION WHERE NECESSARY

- ELECTRICAL:
- PLACE NEW POD LIGHTING IN RECREATION AREA
 - INSTALL NEW EXHAUST FAN FOR NEW POWDER ROOM

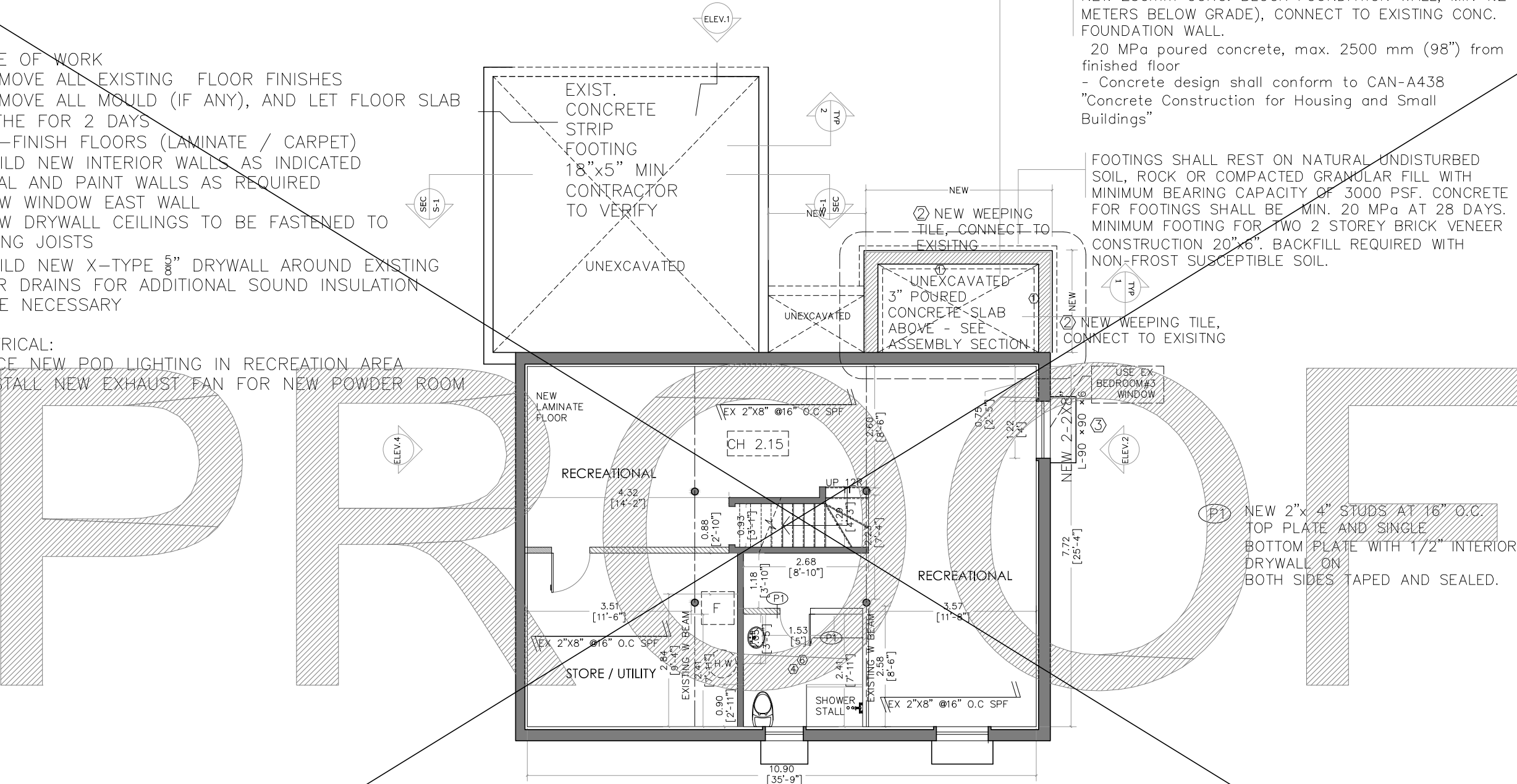
NEW FOUNDATION WALL
NEW 250mm CONC. BLOCK FOUNDATION WALL, MIN 1.2 METERS BELOW GRADE), CONNECT TO EXISTING CONC. FOUNDATION WALL.
20 MPa poured concrete, max. 2500 mm (98") from finished floor
- Concrete design shall conform to CAN-A438 "Concrete Construction for Housing and Small Buildings"

FOOTINGS SHALL REST ON NATURAL UNDISTURBED SOIL, ROCK OR COMPACTED GRANULAR FILL WITH MINIMUM BEARING CAPACITY OF 3000 PSF. CONCRETE FOR FOOTINGS SHALL BE MIN. 20 MPa AT 28 DAYS. MINIMUM FOOTING FOR TWO 2 STOREY BRICK VENEER CONSTRUCTION 20"x6". BACKFILL REQUIRED WITH NON-FROST SUSCEPTIBLE SOIL.

NEW WEeping TILE, CONNECT TO EXISTING

USE EX BEDROOM #3 WINDOW

NEW 2"x4" STUDS AT 16" O.C. TOP PLATE AND SINGLE BOTTOM PLATE WITH 1/2" INTERIOR DRYWALL ON BOTH SIDES TAPED AND SEALED.



NEW WALLS
EXISTING WALLS

PROPOSED BASEMENT FLOOR PLAN
AREA = 94.60 SQM SCOPE AREA = 6.60 SQM

- INTERIOR WOOD LINTELS
- Interior Door Lintels:
 - Up to 4' 2-2"x8"
 - Up to 5' 2-2"x10"
 - Up to 6' 2-2"x12"
 - Design loads are:
 - Live Load = 41 PSF,
 - Dead Load = 20 PSF

PROJECT SAMPLE SAMPLE	
DRAWING	
DRAWN A.S.T.	PROJECT NO.
PLOTTED DATE SEP. 4.2014	DRAWING NO.
SCALE 1:100	A6

- RE-FINISH FLOORS (ALL HARDWOOD) FOR ALL ROOM AND KITCHEN EXCEPT FOR ENTRANCE FOYER, POWDER ROOM AND LAUNDRY (CERAMIC)
- BUILD NEW INTERIOR WALLS AS INDICATED
- ESTABLISH NEW WINDOW - BREAKFAST
- GAS PROOF GARAGE CEILING
- SEAL AND PAINT WALLS AS REQUIRED
- NEW HARDWOOD FINISH FOR STAIRS
- OPEN UP EXISTING STAIRS WALL TO FIRST FLOOR (NON-LOAD BEARING), AND REPLACE WITH NEW RAILING
- INSTALL NEW BULKHEAD, POD LIGHTS AND CROWN MOLDING FOR LIVING, DINING AND SITTING AREAS
- NEW DRYWALL CEILING FOR KITCHEN WITH NEW SUSPENDED LIGHTS
- REPAINT ALL WALLS

- INSTALL NEW INTERIOR DOORS (REPLACE ALL EXISTING)
- INSTALL NEW KITCHEN,
- NEW PLUMBING FOR DISHWASHER
- CANCEL EXISTING LAUNDRY TUB IF SPACE DOES'T ALLOW DUE TO THE NEW GARAGE DOOR

- NEW POD LIGHTING FOR LIVING, FAMILY AND DINING
- NEW SUSPENDED LIGHTING FOR NEW KITCHEN CEILING
- NEW EXTERIOR LIGHT SCONSES FOR ENTRANCE
- NEW EXTERIOR LIGHTING FOR FRONT TREE
- REPLACE ALL EXISTING SWITCH COVERS AND SWITCHES WITH NEW WHITE COVERS AND BUTTON SWITCH
- INSTALL/ WIRE NEW GFI'S FOR POWDER ROOM AND KITCHEN
- REPLACE EXISTING ELECTRIC PANEL WITH NEW 200AMP PANEL
- NEW WIRING FOR NEW BUILT IN OVEN, MICROWAVE ON NORTH KITCHEN WALL



(WS) 3 1/2" FACE BRICK OR STONE FACING
W/ 3/8" Dia.
WEEP HOLES AT 24" O.C. AT STARTER
COURSE AND OVER OPENINGS (TO BE
LEFT CLEAN).
BASE FLASHING TO BE CARRIED MIN.
6" UP BEHIND WALL SHEATHING
PAPER. GALVANIZED METAL TIES 1"x
7"x 0.03" AT 16" O.C. HOR. &
24" O.C. VERT.
ALL MASONRY VENEER TIES SHALL BE
MIN. 0.03" THICK AND 7/8" WIDE
CORROSION-RESISTANT STRAPS AND
SHALL CONFORM TO CAN3-A370-MBA
"CONNECTORS FOR MASONRY".
1" AIR SPACE. BUILDING PAPER LAYERS
TO OVERLAP 1/2" 1/2" DENSGLASS
SHEATHING ON 2" X 6" (OR AS
SHOWN) SPRUCE STUDS AT 16" O.C.
NON-COMBUSTIBLE BATT INSULATION
AND VAPOR BARRIER CONTINUOUS AIR
BARRIER AS PER O.B.C. 9.25.5 (OR
AS SPECIFIED ON WALL ASSEMBLY
SECTION AND ENERGY EFFICIENCY
FORM). GIRTS AT 4'-0" FOR STUD
HEIGHTS GREATER THAN 8'-0". DOUBLE
TOP PLATE AND SINGLE BOTTOM (SILL)
PLATE. VAPOUR BARRIER ON WARM
SIDE. 1/2" INTERIOR DRYWALL TAPED
AND SANDED.

(WX) INSTALL NEW 2X6" STUDS ON EXISTING FRAME, AND INSTALL LIGHTWEIGHT STONE VENEER OVER SHEATHING, USE SAME TEXTURE AS STONE USED ON NEW EXTENSION

☐ NEW EXHAUST FAN

(W2) EXISTING
2X4" WOOD STUDS @ 16" O.C.
W/BRICK VENEER
OVER 8" CONCRETE
FOUNDATION

~~(P1) NEW 2"x 4" STUDS AT 16"
O.C.
TOP PLATE AND SINGLE
BOTTOM PLATE WITH 1/2"
INTERIOR DRYWALL ON
BOTH SIDES TAPED AND
SEALED.~~



TO	ISSUED	DATE

PROJECT SAMPLE SAMPLE	
DRAWING	
DRAWN A.S.T	PROJECT NO
PLOTTED DATE SEP. 4.2014	DRAWING NO <div style="font-size: 4em; font-weight: bold; margin-top: 10px;">A7</div>
SCALE 1:100	

SCORE OF WORK

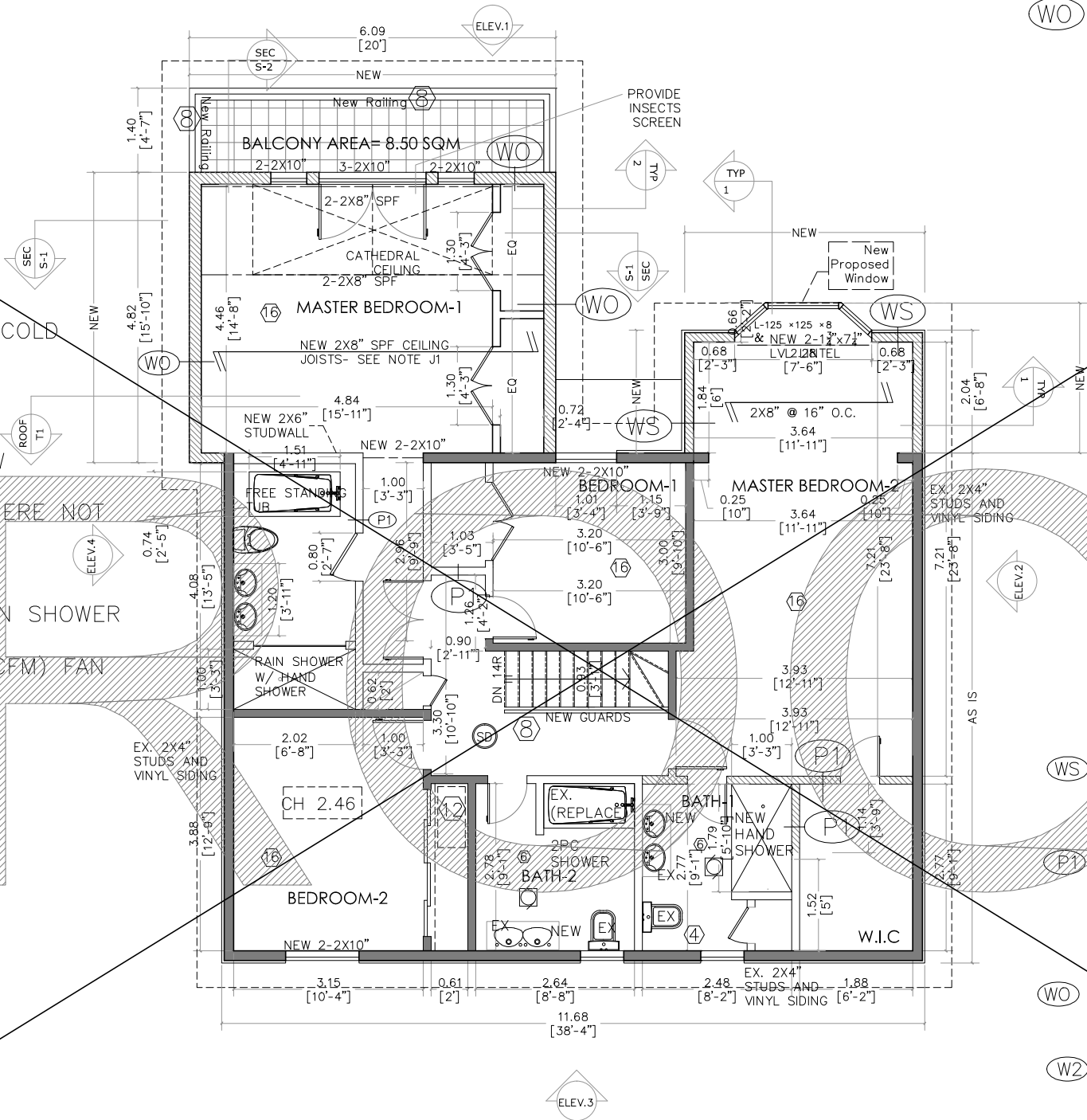
- RE-FINISH FLOORS - HARDWOOD
- BUILD ADDITION ABOVE GARAGE
- BUILD NEW INTERIOR WALLS AS INDICATED
- SHIFT BEDROOM 2 WINDOW LOCATION
- ESTABLISH NEW BALCONY
- SEAL AND PAINT WALLS AS REQUIRED
- BUILD NEW GABLES AND ROOFS

PLUMBING:

- ROUT HOT WATER LINES, IN ADDITION TO COLD
- FOR ALL WATER CLOSETS (WATER CABINETS)

ELECTRIC:

- INSTALL NEW SOFFIT LIGHTING IN ALL NEW SOFFITS
- NEW LIGHTS IN ALL BEDROOM CEILING WHERE NOT EXISTING
- POD LIGHTS IN NEW MASTER BEDROOM
- NEW EXHAUST FANS IN ALL RESTROOMS
- INSURE INSTALLATION OF SHOWER LIGHT IN SHOWER STALLS
- INSTALL HIGH VELOCITY (MORE THAN 50 CFM) FAN IN CENTRAL BATHROOM



(WO) WOOD FRAME WALL WITH STUCCO
STUCCO FINISH EIFS
STUCCO FINISH COAT, BASECOAT W
REINFORCING MESH OR REINFORCING
METAL LATH/MESH, INSULATION BOARD,
ADHESIVE/ ATTACHMENT ON EXTERNAL
WALLS, AIR BARRIER, LAYERS TO
OVERLAP EACH OTHER, 3/8" EXTERIOR
TYPE SHEATHING, 38 X 140 (2x6")
WOOD STUDS @ 400mm (14") O.C.,
BATT INSULATION IN CONTINUOUS
CONTACT WITH EXTERIOR SHEATHING,
CONTINUOUS AIR / VAPOR BARRIER
12.7MM (1/2") GYPSUM BOARD, JOINTS
TAPED AND SEALED. DOUBLE PLATE AT
TOP, SOLE PLATE AT BOTTOM

J1:
IF WOOD JOISTS (MEMBERS) USED FOR
CEILING JOISTS ARE SHORTER IN SPAN
THAN PROPOSED SPAN, USE 2 WOOD
MEMBERS OF THE SAME SPECIFIED SIZE
WITH MINIMUM OVERLAPPING OF 1.4
METER, [JOIST SPLICE] ALTERNATE
JOINT LOCATION ON EVERY JOIST
(FIRST JOIST PLACE JOINT ON EAST
SIDE, SECOND JOISTS, PLACE JOINT ON
WEST SIDE, THIRD JOIST ON EAST
..ETC.)
USE MIN 2-76mm NAIL ON EVERY
250mm OF OVERLAPPING FOR SPLICING

(WS) STONE FRAME WALL CONSTRUCTION
SHEATHING PAPER, LAYERS TO 2X6"
STUDS ON 10" CONCRETE BLOCK

(P1) NEW 2"x 4" STUDS AT 16" O.C.
TOP PLATE AND SINGLE
BOTTOM PLATE WITH 1/2" INTERIOR
DRYWALL ON
BOTH SIDES TAPED AND SEALED.

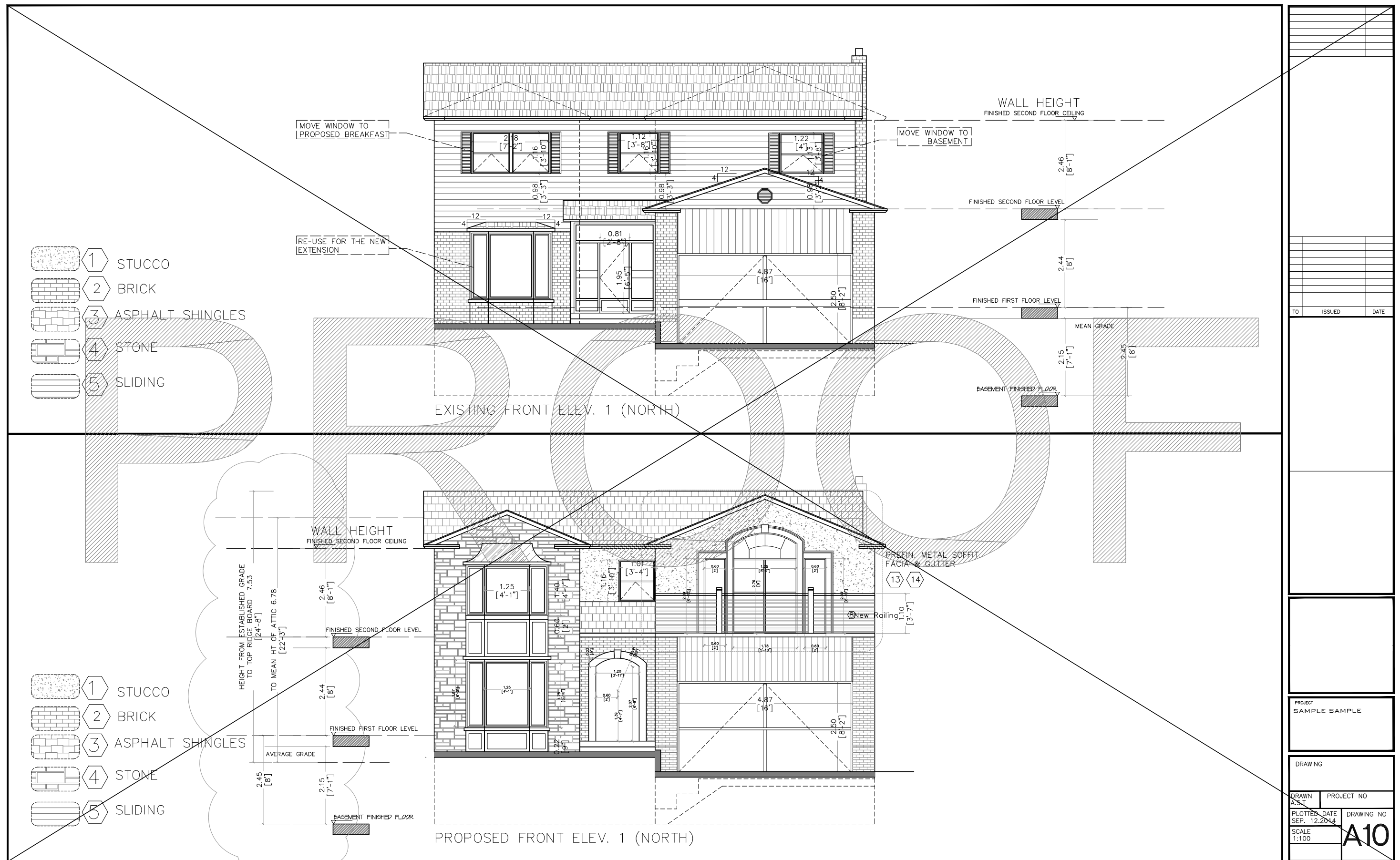
(WO) STUCCO FINISH EIFS OR ALUMINUM
SIDING LAYERS TO 2X6" STUDS @
16" O.C.

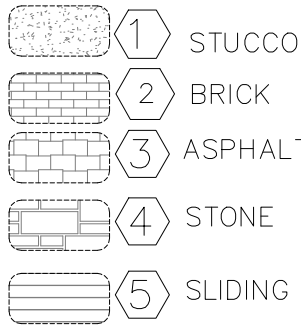
(W2) EXISTING
1" GWB
2X2" WOOD FASTENERS
8" CONC BLOCK
BRICK FINISH
INSULATION LAYERS NOT VERIFIED

(NEW EXHAUST FAN)

PROPOSED SECOND FLOOR PLAN
NEW AREA = 135.72 SQM
ADDITION AREA = 36.32 SQM

PROJECT SAMPLE SAMPLE	
DRAWING	
DRAWN A.S.T	PROJECT NO
PLOTTED DATE SEP. 4.2014	DRAWING NO
SCALE 1:100	A8



[illegible]

NOTES:

① FOUNDATION INSULATION:

1/2" GYP. BD. ON 6 MIL. VAPOR BARRIER ON 2"x4" WOOD STRAPPING WITH MIN. R-12 FIBRE INSULATION [SEE WALL ASSEMBLY SECTION FOR R VALUES] ON CONCRETE FOUNDATION WALL DAMP-PROOFED WITH 0.05 mm POLY OR NO. 15 ASPHALT - SATURATED FELT OR PAPER LAPPED 4" AT JOINTS. DAMP-PROOFING SHALL EXTEND FROM THE LOWEST LEVEL OF FOUNDATION INSULATION AND SHALL TERMINATE AT GRADE LEVEL. NO MEMBRANE SHALL BE APPLIED ABOVE GRADE LEVEL BETWEEN THE INSULATION AND THE FOUNDATION WALL. FOUNDATION INSULATION TO EXTEND FROM CEILING TO MINIMUM 2'-0" BELOW FINISHED GRADE LEVEL EXCEPT AT COLD STORAGE (IF ANY) WHERE INSULATION SHALL EXTEND FROM CEILING TO FINISHED BASEMENT FLOOR.

② WEEPING TILE:

4" Dia. WEEPING TILE AROUND ALL FOOTINGS INCLUDING GARAGE FOOTINGS. WEEPING TILE TO BE COVERED WITH 6" OF CRUSHED STONE.

③ WINDOW WELLS ON BASEMENT

PROVIDE WINDOW WELL AS REQUIRED DUE TO GRADING, IF BOTTOM OF WINDOW IS LESS THAN 100mm ABOVE GRADE LEVEL A WINDOW WELL MUST BE BUILT

④ INTERIOR WASHROOM VENTS:

INTERIOR WASHROOM TO BE MECHANICALLY VENTED , REFER TO MECHANICAL DRAWINGS

⑤ CAPPED DRYER VENTS:

CLOTHES DRYER TO BE VENTED DIRECTLY TO THE OUTSIDE THROUGH EXTERIOR WALL.

⑥ CERAMIC FINISHED FLOORS:

CERAMIC FLOOR TILES ON 1 1/2" MORTAR BASE REINFORCED WITH WIRE MESH ON 5/8" SUBFLOOR- ALL EDGES SUPPORTED BY MINIMUM 2"x 2" BLOCKING (OPTIONAL), MAY BE REPLACED WITH OTHER APPROVED FINISH

⑦ INTERIOR STAIRS: - EXISTING - AS IS

MAIN STAIR (MIN. REQUIREMENTS) DIMENSIONS SHOWN ON SECTIONS TO RULE.

MAX. RISE	= 7 7/8"	RAIL AT LANDING	= 3'-0"
MAX. RUN	= 8 1/4"	RAIL AT STAIR	= 2'-8"
MIN. TREAD	= 9 1/4"	MIN.MIN. WIDTH	= 2'-10"
NOSING	= 1" MIN.	FOR CURVED STAIRS:	
HEADROOM	= 6'-5"	MIN. RUN	= 8" MIN.
		AVG. RUN	= 8"

⑧ EXTERIOR/INTERIOR HAND RAIL AND GUARDS:

FINISHED NATURAL WOOD HANDRAIL ON WOOD OR METAL PICKETS (UNLESS OTHERWISE SHOWN) MAX. 4" O.C. SPACING. IF HANDRAIL IS USED AGAINST AN INTERIOR WALL THE GAP FROM WALL MUST BE 2" (5CM) HANDRAIL / GUARD HEIGHT = 950 mm [37.5"] MEASURED VERTICALLY FROM OUTSIDE EDGE OF STAIR NOSING GUARDS AT LANDINGS. REFER TO OBC 3.4.6.4. FOR LOADS ON HANDRAIL, ALL INSTALLATION MUST COMPLY WITH 3.4.6.4.(9). ANY OTHER INTERIOR AREAS REQUIRING GUARDS SHALL BE MINIMUM 36" [900mm] EXTERIOR HANDRAILS/ GUARDS SHALL BE MINIMUM 42" UNLESS OTHERWISE SHOWN. CONTINUOUS BEAM ON RAILING AND GUARDS IS 38X140MM ON ALL EXTERIOR STAIRS AND DECKS UNLESS SHOWN OTHERWISE.

All loads and specs to comply with OBC 9.4.1.1 and OBC 4.1.5.15

⑨ GAS-PROOFING:

GASPROOFED WALLS (2X6" STUDS) AND CEILING OF GARAGE ADJACENT TO INTERIOR SPACE: 1/2" GYPSUM BOARD, TAPED AND SEAL ALL JOINTS GAS TIGHT. R-20 INSULATION IN WALLS. R-25 IN CEILINGS WITH 6 MIL VAPOUR BARRIER ON THE WARM SIDE. CONTINUOUS AIR BARRIER AS PER O.B.C. 9.25.5. ALL DUCTWORK IN CEILING TO BE INSULATED MIN. R-12 AND GASPROOFED. DOOR FROM GARAGE TO HOUSE EQUIPPED WITH SELF CLOSER AND WEATHERSTRIPPING.

⑩ ROOF VENTILATION:

FOR TYPICAL ROOF - 1: 300 OF INSULATED CEILING AREA WITH 50 % AT EAVES. FOR CATHEDRAL ROOF - 1: 150 OF INSULATED CEILING AREA WITH 50 % AT EAVES.

⑪ EAVE PROTECTION:

TYPE "S" ROLLED ROOFING (SMOOTH SURFACE) EAVES PROTECTION TO EXTEND MINIMUM OF 12" FROM INNER FACE OF EXTERIOR WALL AND MINIMUM 3'-0" UP THE ROOF SLOPE.

⑫ ATTIC ACCESS HATCH:

20"X28" ATTIC ACCESS HATCH WITH MIN. R-31 INSULATION AND WEATHER STRIPPING.

⑬ FASCIA AND SOFFIT:

FASCIA AND SOFFIT TO BE PRE-FINISHED ALUMINUM. (UNLESS SHOWN OTHERWISE) SOFFIT TO BE VENTED.

⑭ EAVESTROUGH AND RAINWATER LEADER:

ALUMINUM OR PAINTED GALVANIZED METAL EAVESTROUGH ON PRE-FINISHED ALUMINUM FASCIA.

⑮ ROOF CONSTRUCTION:

SLOPED SHINGLE WHERE APPLICABLE
NO. 210 ASPHALT SHINGLES (SELF-SEALING)
ASTME - 108-58 CLASS "C" ON 3/8" PLYWOOD SHEATHING ON PRE ENGINEERED WOOD TRUSSES
ROOF INSULATION [SEE WALL ASSEMBLY SECTION FOR R VALUES] AND VAPOR BARRIER.
CONTINUOUS AIR BARRIER AS PER O.B.C. 9.25.5.
1/2" INTERIOR DRYWALL FINISH.
PRE-FINISHED ALUMINUM OR PAINTED GALVANIZED METAL EAVESTROUGH ON PRE-FINISHED ALUMINUM FASCIA.
PREFINISHED ALUMINUM VENTED SOFFIT.

⑯ FLOOR FINISH ON 5/8" TONGUE & GROOVE SUBFLOOR ON FLOOR JOISTS AS NOTED ON PLANS - ALL JOISTS TO BE BRIDGED A CONTINUOUS 2" SOLD BLOCKING AT 10'-0" O.C. REFER TO STRUCTURAL DRAWINGS FOR JOIST SPECS

⑰ GARAGE SLAB (EXISTING) - IF REDONE:

5" SLAB ON GROUND POURED CONCRETE 32mpa W/5-8% AIR ENTRAPMENT. REINFORCED WITH 6x6x6 W.W.MESH NEAR MID DEPTH OF SLAB, PROVIDE 5" CRUSHED STONE IF SOIL CONDITION REQUIRES. SLOPED TO FRONT OF GARAGE, MIN DEPTH OF SLAB ON EDGED 8"

INTERIOR WOOD LINTELS

- Interior Door Lintels:
Up to 4' 2-2"x8"
Up to 5' 2-2"x10"
Up to 6' 2-2"x12"
- Design loads are:
Live Load = 41 PSF,
Dead Load = 20 PSF

STEEL LINTELS

LINTEL SIZE	WIDTH OF OPENING
L1 3 1/2" x 3 1/2" x 1/4"	(4'-0" Max.)
L2 4" x 3 1/2" x 3/8"	(6'-0" Max.)

* BOLT STEEL LINTEL TO WOOD LINTEL AT 24" o/c. PROVIDE A MINIMUM OF 8" BEARING AT ENDS.

L V L L I N T E L S
LV1: 1 3/4" x 11 7/8" LVL

RIM: 1-1 1/8" X 11 7/8" RIM BOARD

CONCRETE:

CONCRETE DESIGN SHALL CONFORM TO CAN-A438 "CONCRETE CONSTRUCTION FOR HOUSING AND SMALL BUILDINGS".

STEEL:

STRUCTURAL STEEL SHALL CONFORM CAN/C.S.A. G40.20/G40.21 GRADE 350W ALL STEEL TO BE SHOP PAINTED (PRIMED). ALL STEEL BEAMS TO BE NEW STOCK. ALL STEEL REINFORCING RODS MIN. YIELD STRENGTH 60,000 P.S.I.

NON-PRESSURE TREATED WOOD:

WOOD FRAMING MEMBERS THAT ARE NOT PRESSURE TREATED WITH WOOD PRESERVATIVE AND WHICH ARE SUPPORTED ON CONCRETE IN CONTACT WITH THE GROUND OR FILL SHALL BE SEPARATED FROM THE CONCRETE BY AT LEAST 2 MIL POLYETHYLENE FILM NO.50 (45 LB) ROLL ROOFING OR OTHER DAMPPROOFING MATERIAL. SUCH DAMPPROOFING IS NOT REQUIRED WHERE THE WOOD MEMBER IS AT LEAST 6" ABOVE THE GROUND.

FIRE STOPS/FLAME SPREAD LIMITS:

CONCEALED SPACES IN INTERIOR WALLS, CEILINGS AND CRAWL SPACES SHALL BE SEPARATED BY FIRE STOPS FROM CONCEALED SPACES IN EXTERIOR WALLS. ATTIC OR ROOF SPACES AS PER SUBSECTION 9.10.15. OF THE ONTARIO BUILDING CODE. FOR FLAME SPREAD LIMITS SUBSECTION 9.10.16. OF O.B.C. SHALL APPLY.

DOORS:

ALL DOORS SHALL COMPLY WITH SECTION 9.6 OF THE ONTARIO BUILDING CODE. ALL EXTERNAL DOORS TO OFFER 1.8 U VALUE

SMOKE ALARMS:

SMOKE ALARMS SHALL BE PROVIDED AS PER SECTION 9.10.18 OF THE ONTARIO BUILDING CODE. SMOKE ALARMS SHALL BE PROVIDED ON EACH FLOOR LEVEL 9.10.18.2(1).

DUCTS:

SUPPLY DUCTS AND RETURN DUCTS IN EXTERIOR WALLS SHALL BE INSULATED WITH MIN. R-4 FIBERGLASS INSULATION TO PREVENT MOISTURE CONDENSATION IN THE DUCT. DUCT SPACES SHALL BE FURRED OUT WITH 1/2" DRYWALL ON 2"x2" WOOD STRAPPING. SUPPLY DUCTS AND RETURN DUCTS IN UNHEATED SPACES SHALL BE INSULATED WITH MIN. R7 INSULATION VALUE. ALL JOINTS IN DUCTS TO BE SECURELY RIVETED AND TAPED.

TO	ISSUED	DATE
----	--------	------

PROJECT

SAMPLE
SAMPLE

DRAWING

FLOOR PLANS

DRAWN
1.8

PROJECT NO
2012-07

PLOTTED DATE
SEP 4.2012

DRAWING NO

SCALE
1:100 @11X17

A14

WINDOWS AND SKYLIGHTS:

ALL WINDOWS AND SKYLIGHTS TO COMPLY WITH SECTION 9.7 OF THE ONTARIO BUILDING CODE. ALL WINDOWS TO BE DOUBLE GLAZED OR THERMOPANE. EVERY FLOOR LEVEL CONTAINING BEDROOMS SHALL BE PROVIDED WITH AT LEAST ONE OUTSIDE WINDOW THAT CAN BE OPENED FROM THE INSIDE WITHOUT THE USE OF TOOLS. EACH SUCH WINDOW SHALL PROVIDE AN INDIVIDUAL UNOBSTRUCTED OPEN PORTION HAVING A MINIMUM AREA OF 3.8 SQ. FT. WITH NO DIMENSION LESS THAN 15". ALL WINDOWS WITHIN 6'-7" OF ADJACENT GROUND LEVEL SHALL CONFORM TO THE REQUIREMENTS FOR RESISTANCE TO FORCED ENTRY AS DESCRIBED IN CLAUSE 10.13 OF CAN3-A440, "WINDOWS". ALL WINDOWS SHOULD OFFER 1.8 U VALUE

SMOKE ALARMS:

SMOKE ALARMS SHALL BE PROVIDED AS PER SECTION 9.10.18 OF THE ONTARIO BUILDING CODE. SMOKE ALARMS SHALL BE PROVIDED ON EACH FLOOR LEVEL 9.10.18.2(1). WHERE MORE THAN ONE SMOKE ALARM IS REQUIRED IN THE DWELLING UNIT, THE SMOKE ALARMS SHALL BE WIRED SO THAT THE SOUND OF THE ALARM WILL CAUSE ALL ALARMS WITHIN THE DWELLING UNIT TO SOUND.

MISCELLANEOUS ITEMS:

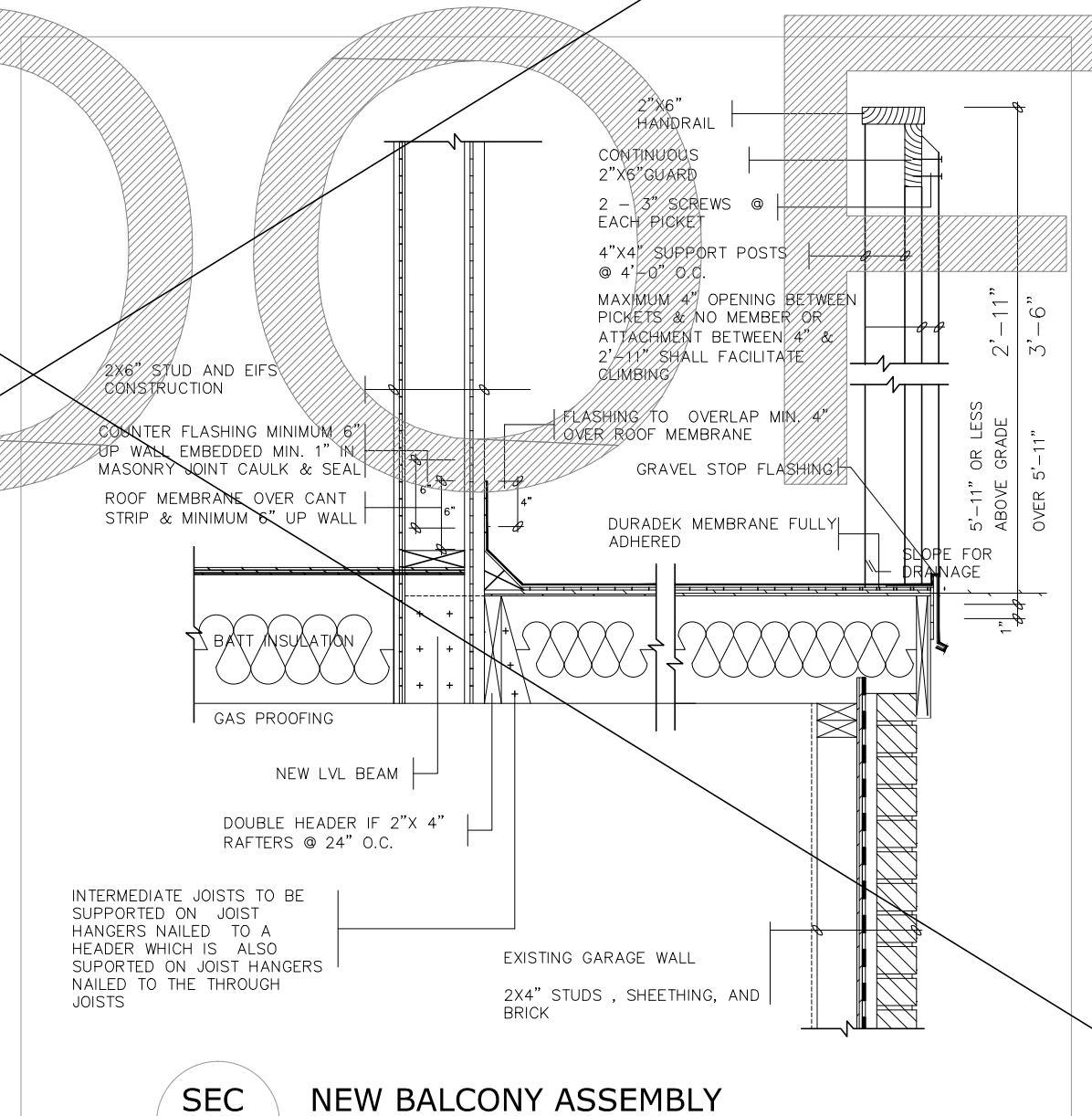
ALL CLOSETS TO HAVE A METAL ROD WITH WOOD SHELF MIN.14" DEEP.
MAIN BATHROOMS TO HAVE A RECESSED MEDICINE CABINET, MIRROR
AND VANITY. ALL WASHROOMS / POWDER ROOMS TO HAVE A MIRROR
AND VANITY (OR PEDESTAL SINK). ALL SLIDING CLOSET DOORS OR
MIRROR DOORS TO BE 6'-8" HIGH.

GENERAL NOTES:

ALL CONSTRUCTION TO CONFORM TO THE CONSTRUCTION REQUIREMENTS OF THE ONTARIO BUILDING CODE REGULATION (413/90), PART 9. DRAWINGS MUST NOT BE SCALED. HANDWRITTEN NOTES WHICH APPEAR ON THE DRAWINGS HAVE PRECEDENCE. MANUFACTURED ITEMS, MATERIALS AND CONSTRUCTION MUST COMPLY WITH ALL REQUIREMENTS OF THE MORTGAGE AND HOUSING CORPORATION (C.M.H.C.). ALL REFERENCES TO AND FINISHED GRADE LINES AS INDICATED ON THE ARCHITECTURAL WORKING DRAWINGS ARE FOR REFERENCE ONLY AND DO NOT NECESSARILY DEPICT FINISHED GRADING CONDITIONS OF ANY PARTICULAR LOT. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR OR BUILDER TO CHECK AND VERIFY ALL DIMENSIONS AND CHECK ALL JOB CONDITIONS ON THE JOB SITE BEFORE PROCEEDING WITH THE WORK. ARCHITECT/ ENGINEER IS TO BE NOTIFIED PROMPTLY OF ANY DISCREPANCIES AT LEAST ONE WEEK BEFORE ORDERING OR PLACEMENT OF MATERIALS AND UNITS FOR CONSTRUCTION REGARDING SUCH DISCREPANCIES. FAILURE TO OBSERVE THESE CONDITIONS WHICH MAY REQUIRE EXPENSIVE REMEDIAL ACTION SHALL NOT BECOME THE RESPONSIBILITY OF OR COST TO DIMENSIONS ARE TAKEN TO ROUGH STUD OR MASONRY SURFACES, GIVEN AS NOMINAL DIMENSIONS. EXTERIOR WALL DIMENSIONS DO NOT ALLOW FOR BRICK PROJECTION THEY ARE TAKEN FROM OUTSIDE FACE OF FOUNDATION WALL TO INSIDE FACE OF STUD.

NON-PRESSURE ~~TREATED~~ WOOD:

WOOD FRAMING MEMBERS THAT ARE NOT PRESSURE TREATED WITH WOOD PRESERVATIVE AND WHICH ARE SUPPORTED ON CONCRETE IN CONTACT WITH THE GROUND OR FILL SHALL BE SEPARATED FROM THE CONCRETE BY AT LEAST 2 MIL POLYETHYLENE FILM NO.50 (45 LB) ROLL ROOFING OR OTHER DAMPROOFING MATERIAL. SUCH DAMPROOFING IS NOT REQUIRED WHERE THE WOOD MEMBER IS AT LEAST 6" ABOVE THE GROUND.

SEC
S-2

NEW BALCONY ASSEMBLY

[illegible]



DRAWN A.S.T	PROJECT NO
PLOTTED DATE	DRAWING NO
SCALE 1:25	A17



--

11 of 11

— 10 —

[illegible]

11 of 11

PROJECT

DRAWING

A.S.T	
PLOTTED DATE NOV 2 .2014	DRAWING NO 11/1
2015	

~~DIMENSIONS MUST BE
VERIFIED ON SITE~~

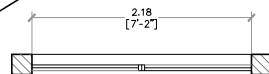


ON STUCCO (EIFS) OVER
2X6" STUD WALL



DOORS EITHER SWINGING
OR SLIDING (DEPENDS ON
PRICE), MOST PROBABLY
SLIDING TO ALLOW SCREEN

1X	1ST FLOOR, DINING ROOM
----	------------------------

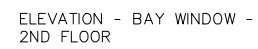


ON BRICK VENEER OVER 2X4
STUD WALL

ONE OR TWO FIXED PANELS
SIZE CAN BE CHANGED AS
THE FRAMING HAS NOT BEEN
DONE YET

THIS WINDOW SIZE IS
SOMEWHAT FLEXIBLE.

DIMENSIONS MUST BE
VERIFIED ON SITE



~~ON STONE OVER 2X6" STUD WALL~~



DIMENSIONS MUST BE VERIFIED ON LOCATION
THIS NEW BAY WINDOW IS TO MATCH DIMENSIONS OF EXISTING
BAY WINDOW INSTALLED ON FIRST FLOOR LEVEL -BELOW IT

1X	BASEMENT	WIN#8
----	---------------------	------------------



ALSO FLEXIBLE

ON 8" CONC FOUNDATION
WALL

2X BASEMENT - WIN#B2 AND B3

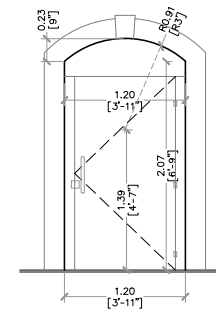
TO REPLACE EXISTING
SIZE TO BE VERIFIED
LOCATION



1X	FRONT PORCH
----	-------------

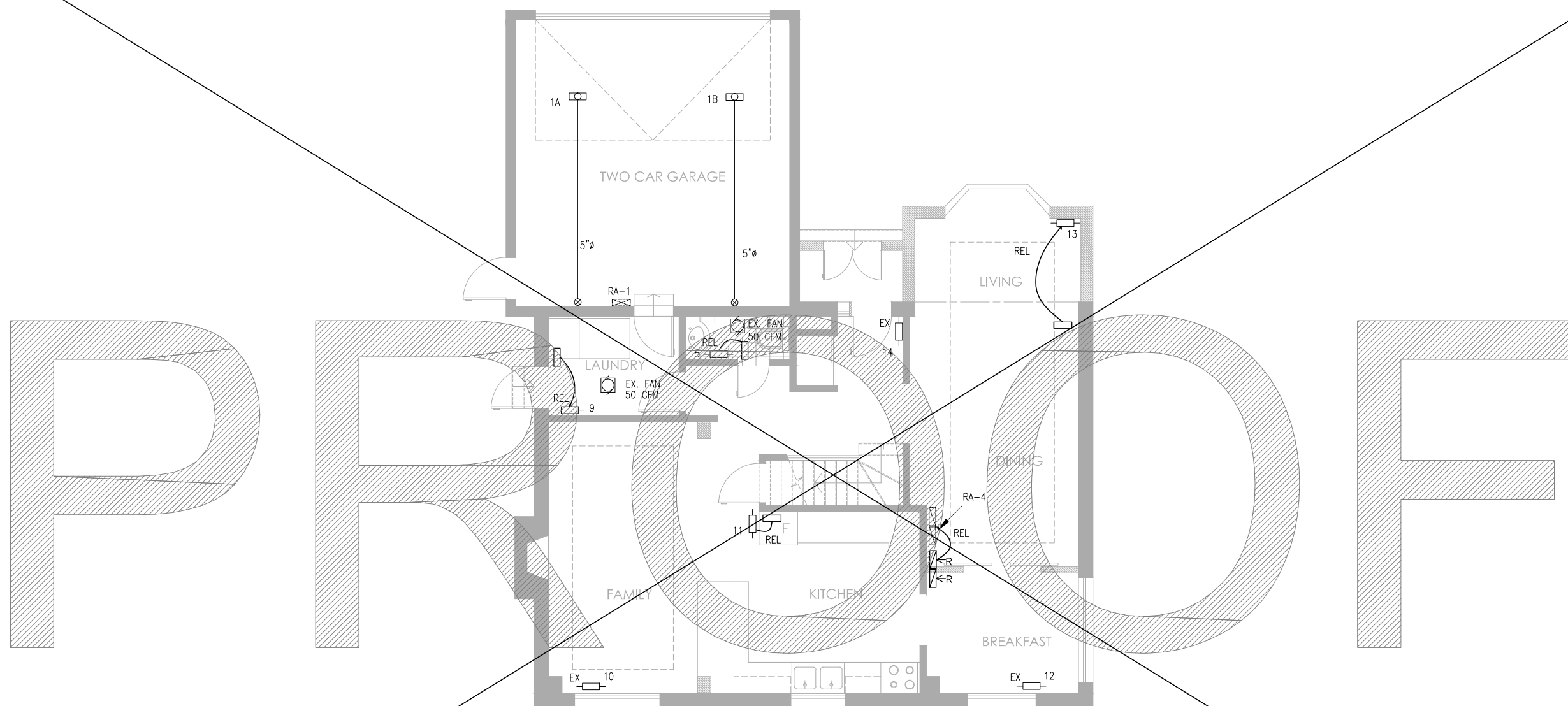
IF YOU ALSO PROVIDE
FRAMELESS GLASS WINDOWS
I NEED TO INSTALL A SINGLE
PANEL ENTRY DOOR ON THIS
ARCH

OTHERWISE, PLEASE OFFER A
FRAME DOOR OPTION HERE



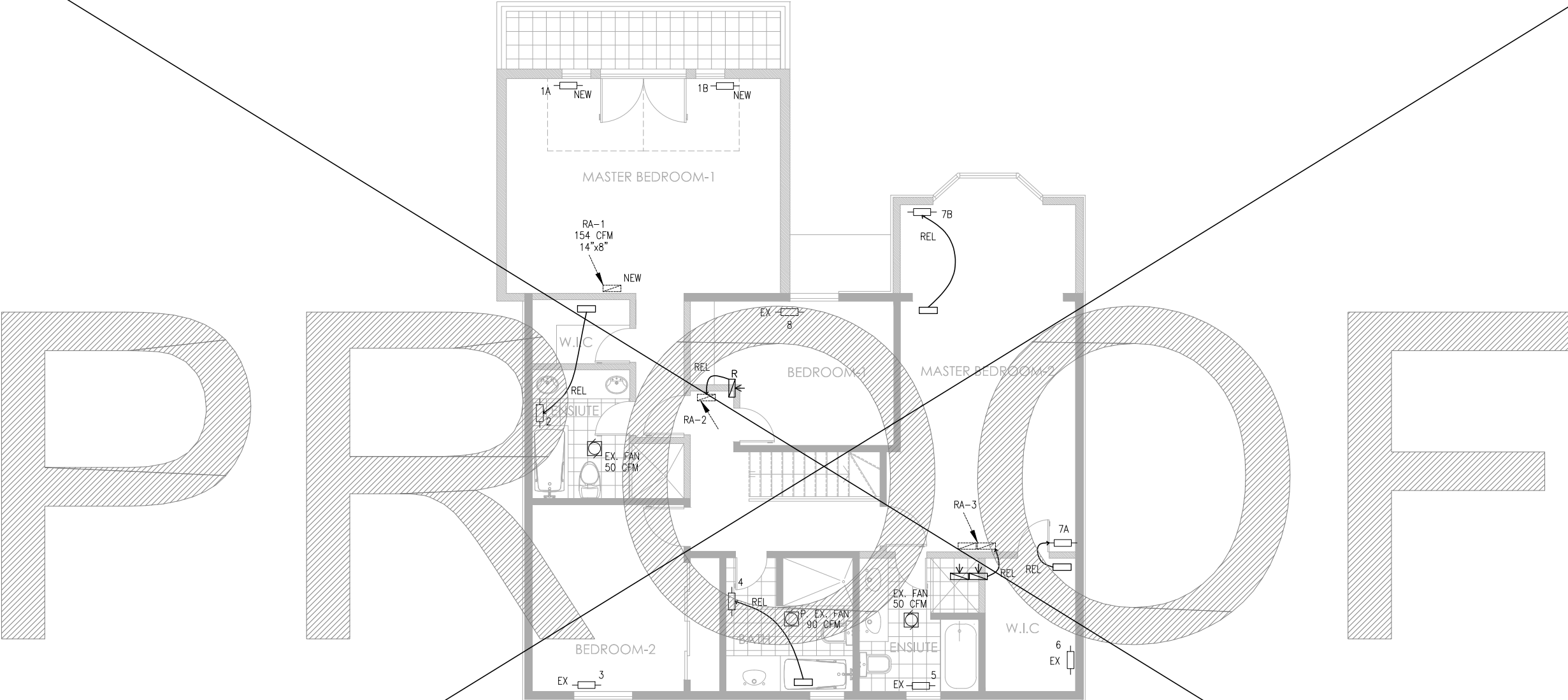
ON STONE DBL WALL

1



PROPOSED FIRST FLOOR PLAN

[illegible]



EXISTING SECOND FLOOR PLAN

NORTH		
TO	ISSUED	DATE
PROJECT SAMPLE SAMPLE		
DRAWING		
DRAWN A.S.T	PROJECT NO	
PLOTTED	DATE	DRAWING NO
SCALE 1:100	M3	