

NY Deerfield Apartments

13 Unit MultiFamily

1974 & 1980 NE 5th St Deerfield Beach, FL 33441



FRONT CONCEPT



SIDE CONCEPT



REAR CONCEPT

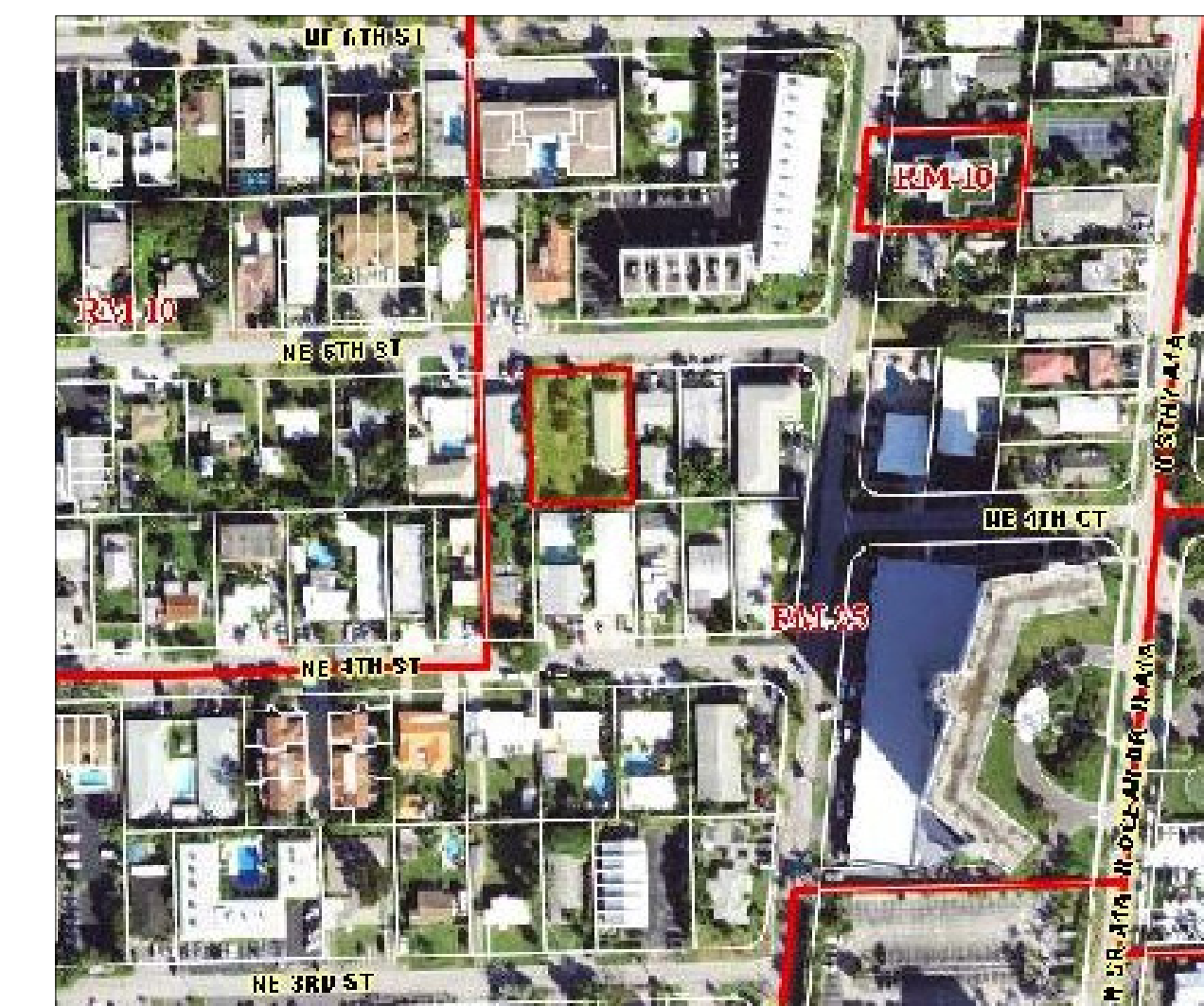


SIDE CONCEPT

SCHEDULE OF DRAWINGS:

REVISIONS	
DRC COMMENTS	P-DATE

SURVEY	
A0.1	SITE PLAN
A1.1	1ST FLOOR PLAN
A1.2	2ND, 3RD & 4TH FLOOR PLANS
A1.3	5TH FLOOR PLAN
A1.4	ROOF PLAN
A2.1	ELEVATIONS
A2.2	ELEVATIONS
A3.1	BUILDING SECTIONS
A3.2	BUILDING SECTIONS
L0	SITE PHOTOMETRICS
L-1	LANDSCAPE PLAN
L-2	EXISTING TREE DISPOSITION PLAN
L-3	LANDSCAPE DETAILS AND SPECIFICATIONS
IR-1	IRRIGATION PLAN
IR-2	IRRIGATION DETAILS AND SPECIFICATIONS



LOCATION MAP

LEGAL DESCRIPTION:

Lot 3, 4, & 5, Block 9, Ocean Vue
Plat Book 3, Page 34, Broward County, Florida.
Folio Number: 484305021440 & 484305021450

CONTACT INFORMATION

APPLICANT/ARCHITECT: STEPHEN H BRANDT S H BRANDT & ASSOC 5010 N FEDERAL HIGHWAY LIGHTHOUSE POINT, FL 33064 954-564-2111 STEVE@SHBRANDT.COM	OWNER: FRANCHINE CANNIZZO 1974 NE 5TH STREET DEERFIELD BEACH, FL 33441 917-586-5744 MACCANNIZZO@GMAIL.COM
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S H BRANDT
& ASSOCIATES
AA 0003241

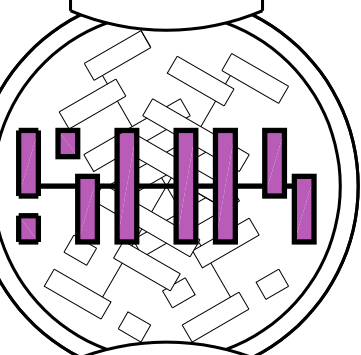
5010 N FEDERAL HIGHWAY
LIGHTHOUSE POINT, FL 33064

phone: (954) 564-2111

website: SHBrandt.com
Email: info@shbrandt.com

ARCHITECTURE
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STEPHEN H BRANDT

07/07/23
FLORIDA AR 0013352

COVER SHEET

NY Deerfield Apartments
1974 & 1980 NE 5th St
Deerfield Bch, FL 33441

DATE
07/07/23
JOB NUMBER
220573

SHEET
CS

NOTE: CLOSEST FIRE HYDRANT AT SE CORNER OF NE 20TH AVE AND NE 5TH STREET - APPROX 155 DRIVEN FEET AWAY

SITE NOTES AND CALCULATIONS:

ZONING DESIGNATION	RM-25 MULTI-FAMILY < 1 ACRE
LOT AREA	20,250 SF = 0.46 ACRES
GROSS ACREAGE	24,000 SF = 0.55 ACRES
LAND USE DESIGNATION	RESIDENTIAL HIGH (25 DU/AC)
MAXIMUM DENSITY (DU/S)	13.8 DWELLING UNITS
SPECIAL ARCHITECTURAL DISTRICT	COASTAL COMMUNITY ARCHITECTURAL DISTRICT
MINIMUM LOT WIDTH	REQUIRED 100' PROVIDED 150'
SETBACKS:	
FRONT YARD	25' 25' 55' 25'
SIDE YARD 10' + 1/2 FT HEIGHT OVER 20'	10' 28' 55' 27.5'
REAR YARD 15' + 1/2 FT HEIGHT OVER 20'	15' 33' 55' 32.5'
MIN FLOOR AREA:	
EFFICIENCY	400 SF N/A
ONE BEDROOM	700 SF 1,173 SF
TWO BEDROOM	900 SF 1,326 SF
THREE BEDROOMS	1,050 SF 1,436 SF
FOUR BEDROOMS OR MORE	1,050 + 150/ROOM 2,441 SF
HOTEL OR MOTEL ROOMS	400 SF N/A
MAXIMUM FLOOR AREA RATIO (FAR)	24000 x 0.80 = 19200 19,196 SF
MAXIMUM LOT COVERAGE	20250 x 0.4 = 8100 7,115 SF
MINIMUM LANDSCAPED AREA	30% = 6075 SF 14,036 SF
TOTAL IMPERVIOUS AREAS	6,212 SF
MAXIMUM HEIGHT	55' 55'
FEMA FLOOD PANEL	NAVD
ELEVATIONS IN NAVD OR NGVD	X
FLOOD ZONE DESIGNATION	X
BASE FLOOD ELEVATION (BFE)	18" - 24" ABOVE COR NAVD88
DESIGN FLOOD ELEVATION (DFE=COR+1.5)	10.78 NAVD88
NEW FINISHED FLOOR ELEVATIONS	11.00 NAVD88
PARKING: 10'X20' STANDARD, 9'X18' COMPACT	
EFFICIENCY	1.5
ONE BEDROOM	1.5 3 4.5
TWO BEDROOM	2.0 6 12
THREE BEDROOMS	2.5 3 7.5
FOUR BEDROOMS OR MORE	3.0 1 3
HOTEL OR MOTEL ROOMS	
	UNITS PROVIDED 13 27 28 2
	PARKING REQUIRED 21 21
	PARKING PROVIDED 21 21
	ACCESSIBLE SPACES REQUIRED 2
BICYCLE PARKING	N/A
BUILDING AREA:	
	GROUND FLOOR 2ND FLOOR 3RD FLOOR 4TH FLOOR 5TH FLOOR
STAIRS AND ELEVATOR	238 SF 180 SF 180 SF 180 SF 180 SF
ONE BEDROOM	1,173 SF 1,173 SF 1,173 SF 1,173 SF 1,173 SF
TWO BEDROOM	2,464 SF 2,464 SF 2,464 SF 2,464 SF 2,464 SF
THREE BEDROOMS	1,436 SF 1,436 SF 1,436 SF 1,436 SF 1,436 SF
FOUR BEDROOMS OR MORE	238 SF 5,455 SF 5,441 SF 5,441 SF 2,441 SF = 19196 SF

REVISIONS	DATE
DRC COMMENTS	7-23
DRC COMMENTS	9-23

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STEPHEN H BRANDT

09/26/23
FLORIDA AR 0013352

Site Plan

NY Deerfield
Apartments

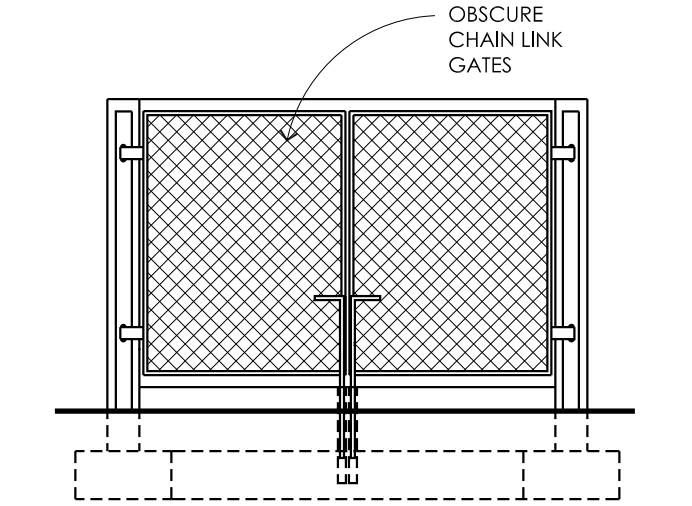
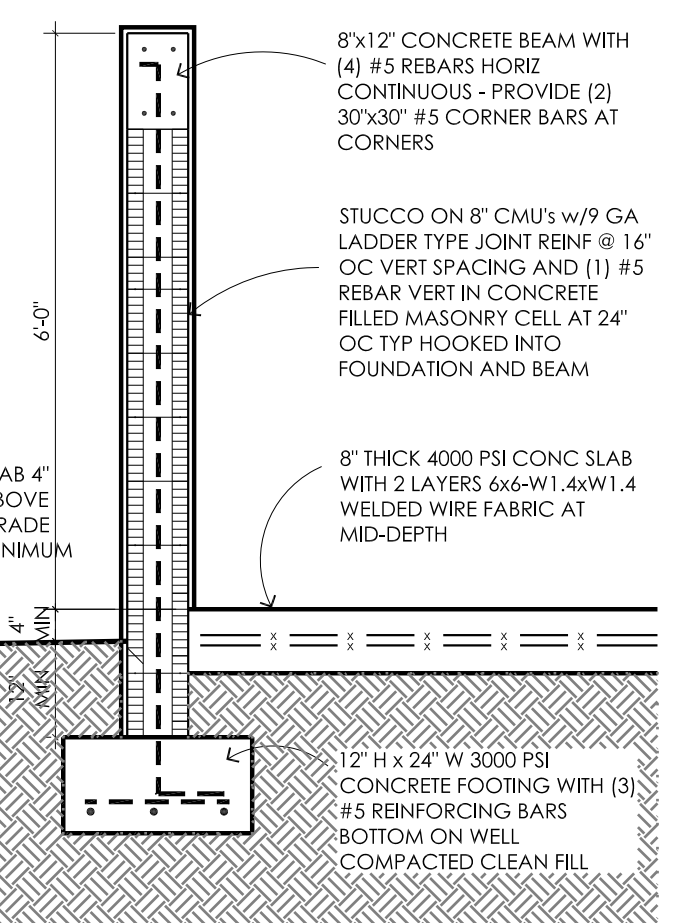
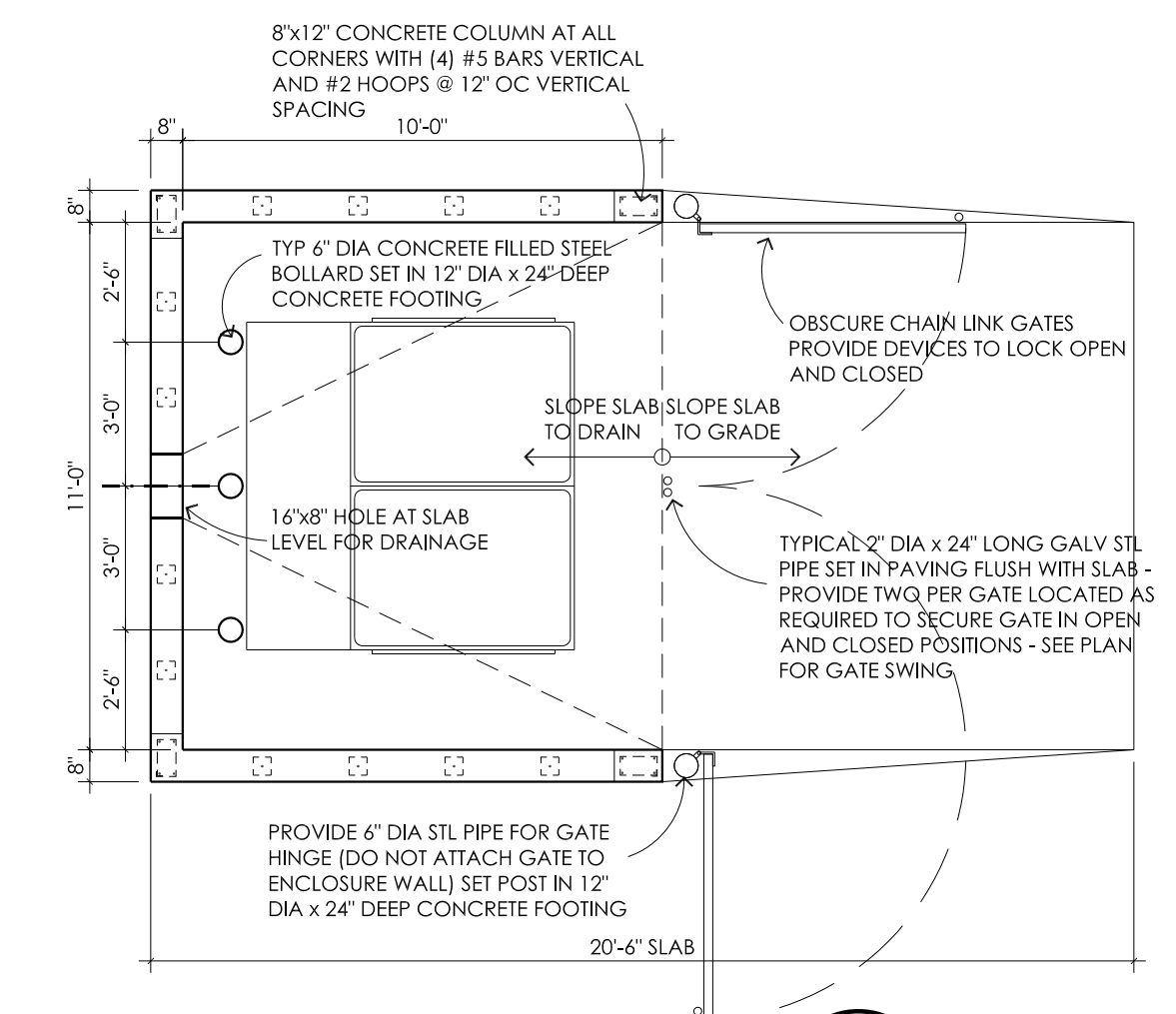
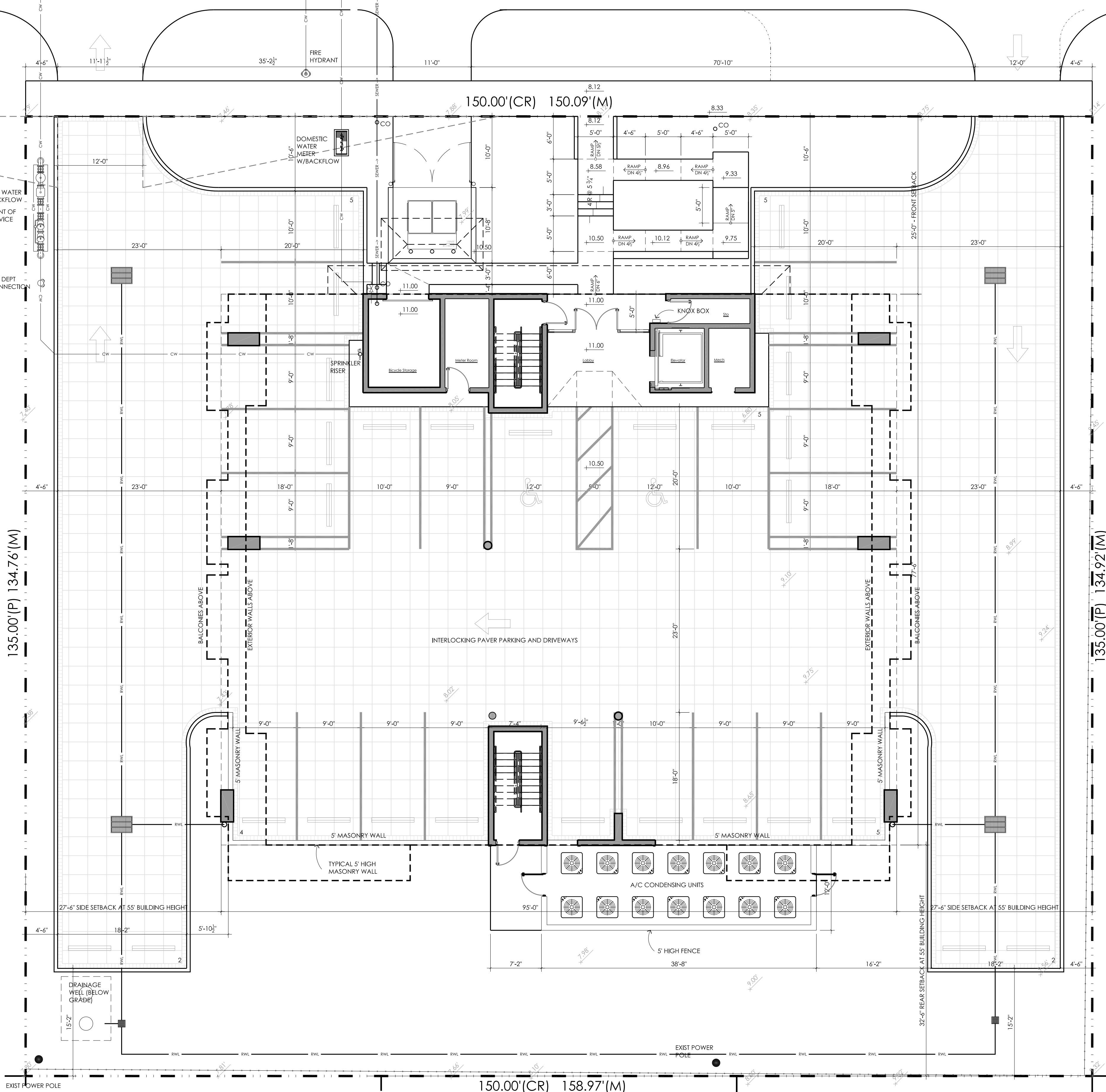
1974 & 1980 NE 5th St
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SHEET

A0.1

OF SHEETS

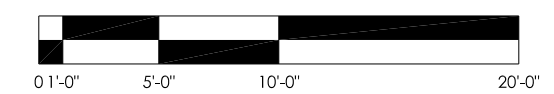


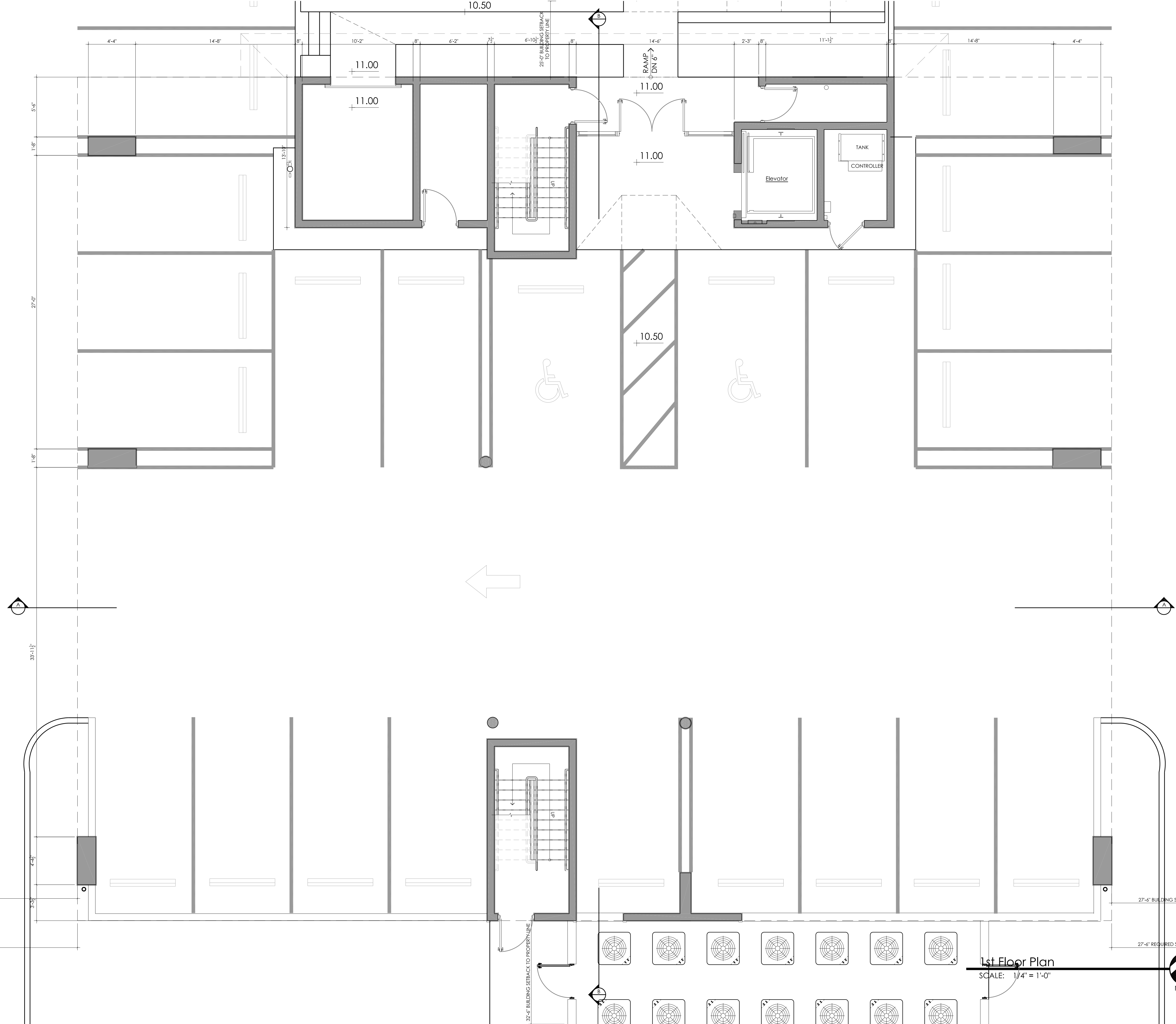
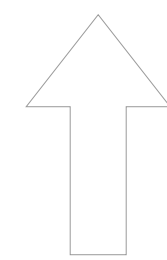
Site Plan
SCALE: 1/8" = 1'-0"

Section
SCALE: 3/4" = 1'-0"

Elevation
SCALE: 1/2" = 1'-0"

Dumpster Enclosure Detail
SCALE: 1/2" = 1'-0"





REVISIONS	DRC COMMENTS	DATE
1		7-7-23
2		
3		
4		

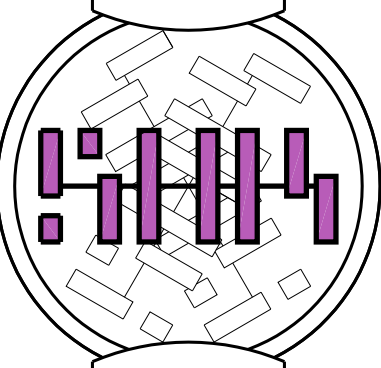
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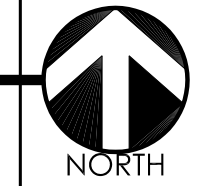
1st Floor Plan

NY Deerfield Apartments
1974 & 1980 NE 5th St
Deerfield Bch, FL 33441

DATE 07/07/23
JOB NUMBER 220573

SHEET
A1.1
OF
SHEETS

1st Floor Plan
SCALE: 1/4" = 1'-0"



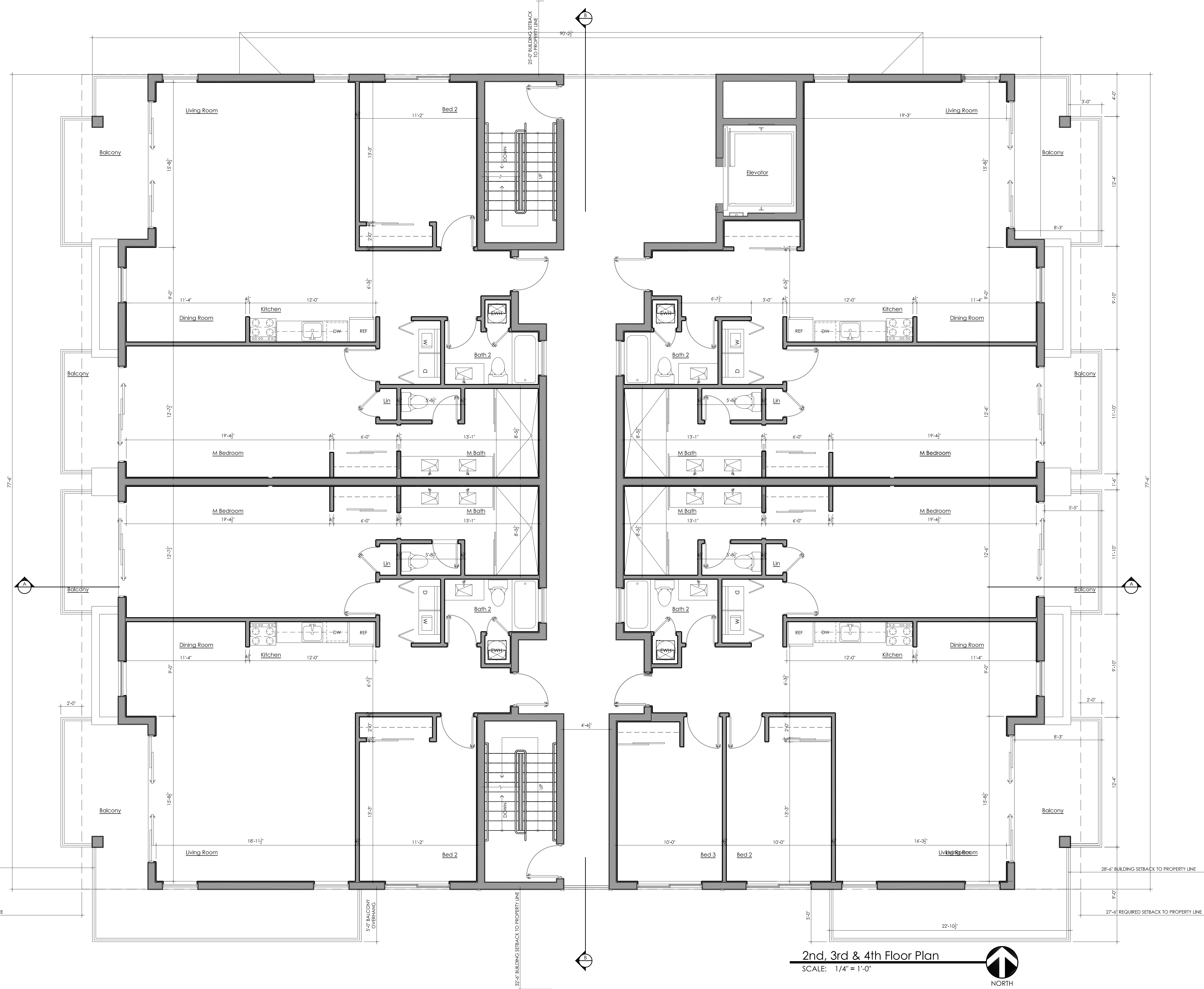
27'-6" BUILDING SETBACK TO PROPERTY LINE

27'-6" REQUIRED SETBACK TO PROPERTY LINE

27'-6" BUILDING SETBACK TO PROPERTY LINE

27'-6" REQUIRED SETBACK TO PROPERTY LINE

32'-6" BUILDING SETBACK TO PROPERTY LINE



REVISIONS	
DRC COMMENTS	7-23

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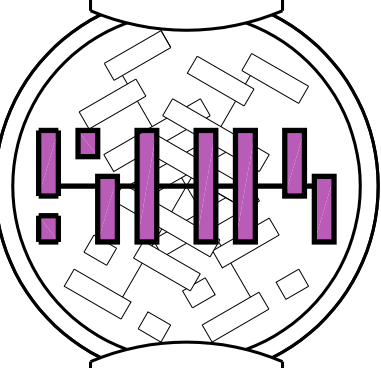
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FLORIDA AR 0013352

2nd, 3rd
and 4th
Floor Plan

**NY Deerfield
Apartments**

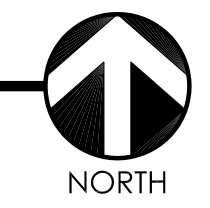
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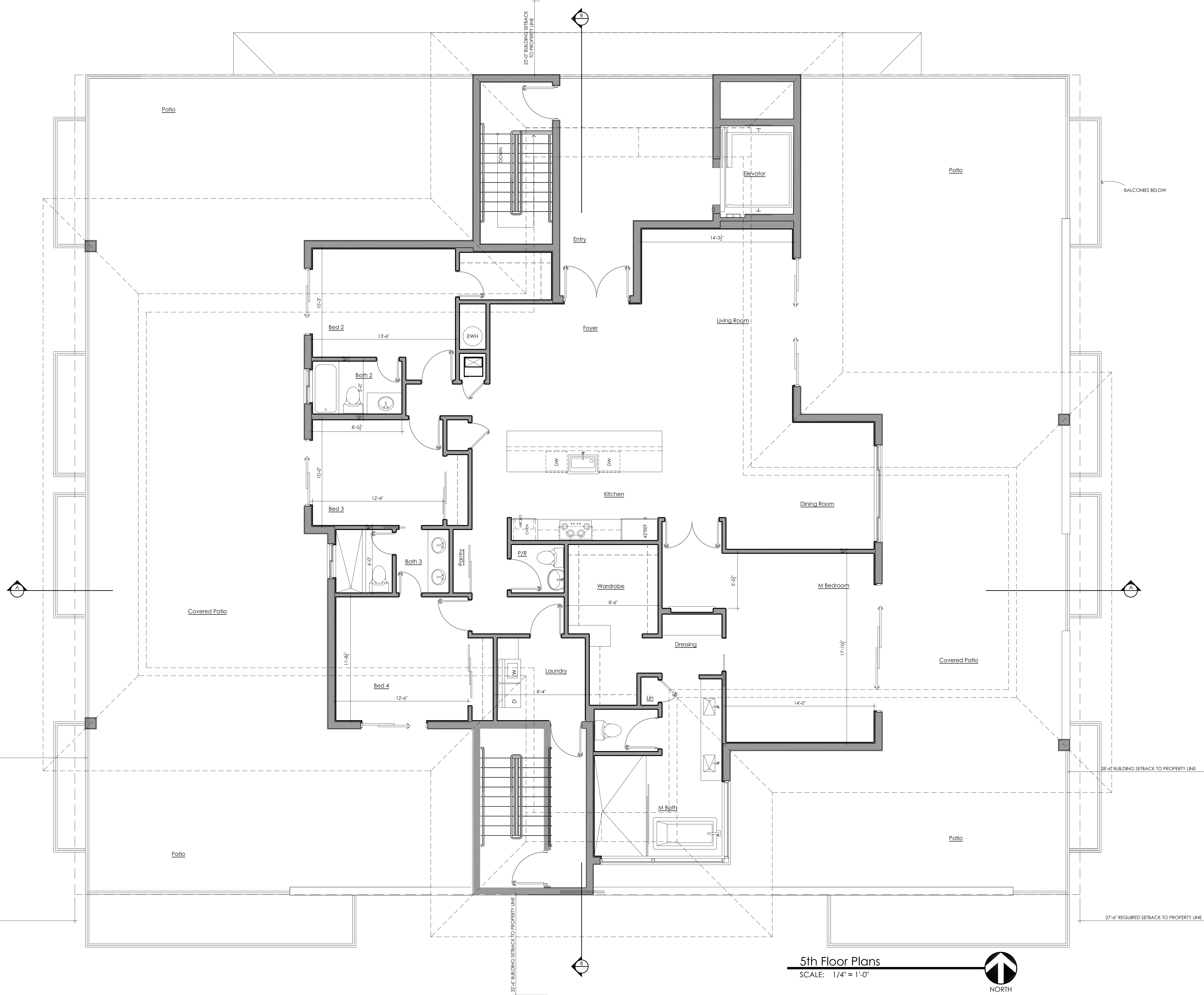
DATE
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JOB NUMBER
220573

SHEET

A1.2
OF
SHEETS

2nd, 3rd & 4th Floor Plan
SCALE: 1/4" = 1'-0"





REVISIONS	DRC COMMENTS	DATE
1		7-9-23
2		
3		
4		

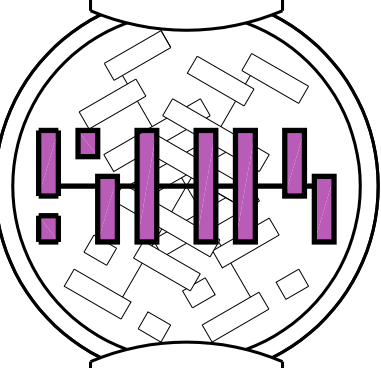
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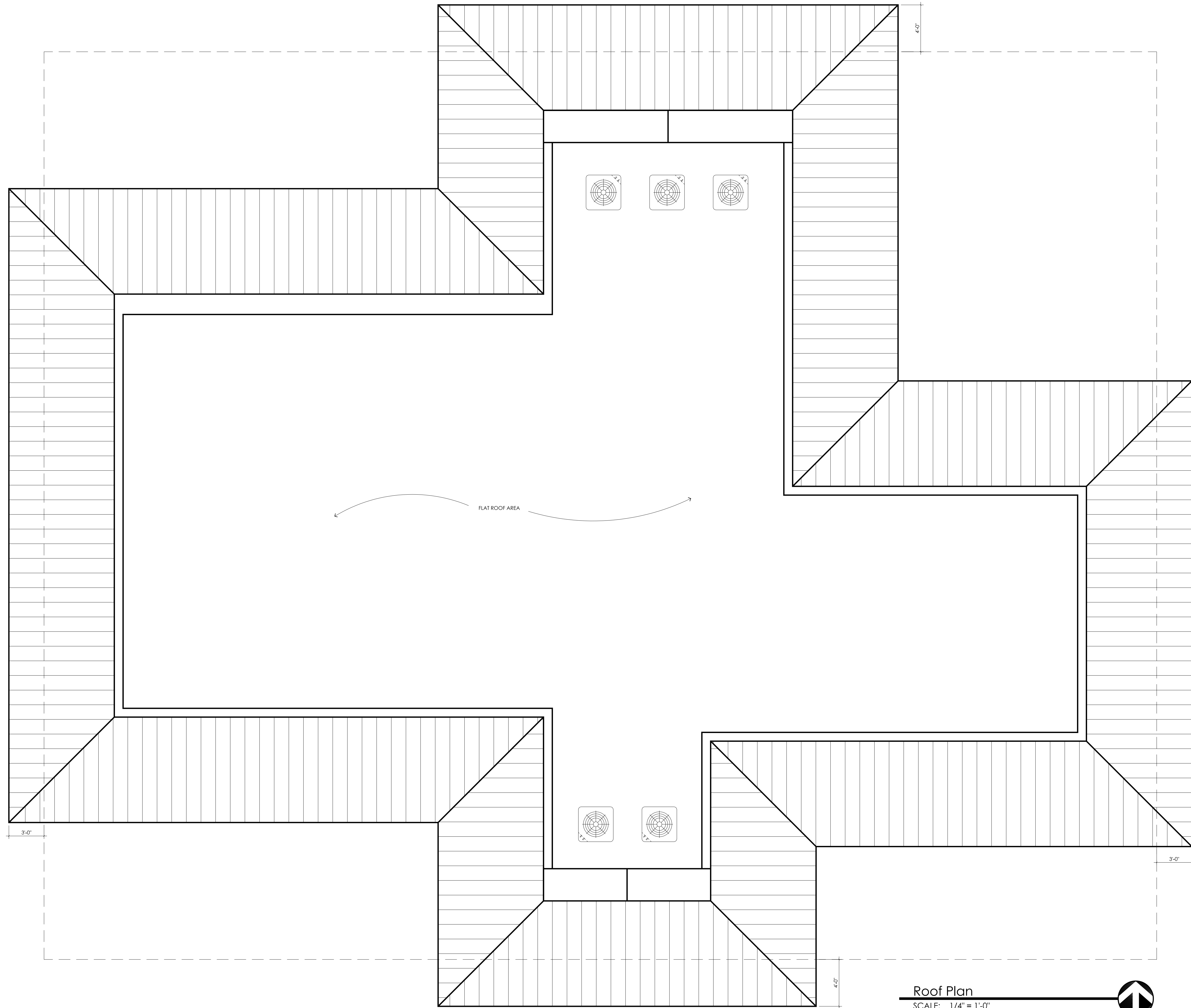
**5th Floor
Plan**

**NY Deerfield
Apartments**
1974 & 1980 NE 5th St
Deerfield Bch, FL 33441

DATE
07/07/23
JOB NUMBER
220573

SHEET
A1.3
OF
SHEETS

5th Floor Plans
SCALE: 1/4" = 1'-0"
NORTH



REVISIONS

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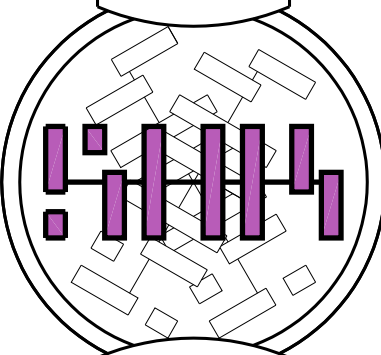
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Roof Plan

NY Deerfield
Apartments

1974 & 1980 NE 5th St
Deerfield Bch, FL 33441

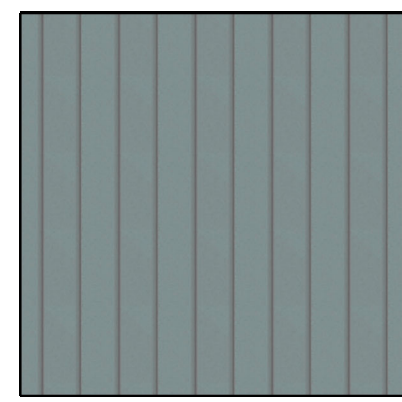
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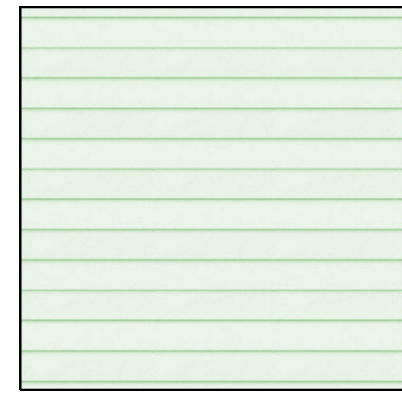
A1.4
OF
SHEETS

Roof Plan
SCALE: 1/4" = 1'-0"

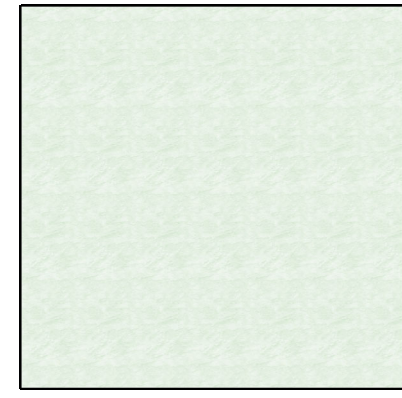




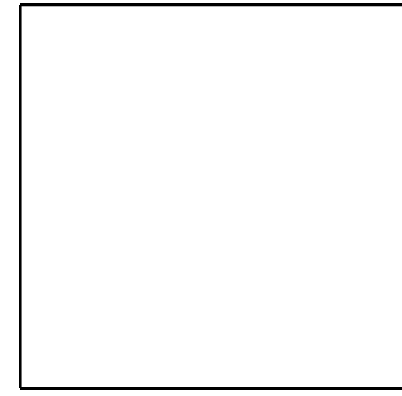
Roof Material
Standing Seam Metal Roof
Berridge Mfg Co
ZINC-COTE



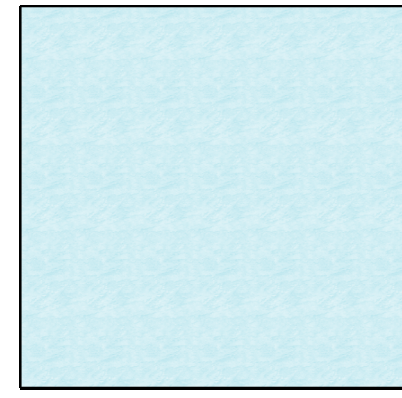
Siding Color
Sherwin-Williams
6932 Spirited Green



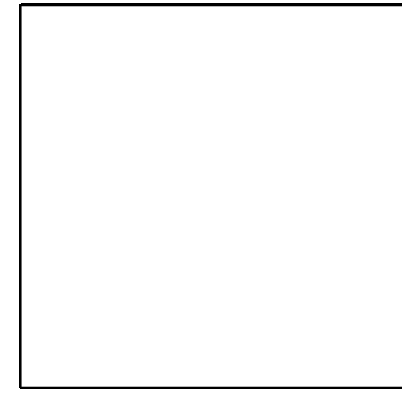
Body Color 1
Sherwin-Williams
6932 Spirited Green



Body Color 2
Sherwin-Williams
7014 EIDER WHITE



Accent Color
Sherwin-Williams
6785 Quench Blue



Trim Color
Sherwin-Williams
7006 EXTRA WHITE

ELEVATION MATERIALS:

MARK	DESCRIPTION	COLOR
1	TEXTURED STUCCO (SKIP TROWEL)	BODY 1
2	TEXTURED STUCCO (SKIP TROWEL)	BODY 2
3	TEXTURED STUCCO (SKIP TROWEL)	ACCENT
4	STUCCO LAP SIDING FLOAT FINISH	SIDING
5	FLOAT STUCCO BANDING	TRIM
6	WINDOW/DOOR	BRONZE FRAME/CLEAR LOW E
7	OPAQUE DOOR	MATCH WINDOW/DOOR FRAME
8	METAL ROOF	ROOF
9	GARAGE DOOR	MATCH WINDOW/DOOR FRAME
10	ALUMINUM RAILING	BRONZE
11	DECORATIVE	TRIM
12	TRIM	TRIM
13	5' HIGH MANSONRY WALL	
14	DUMPSTER ENCLOSURE	



West Elevation
1/8" = 1'-0"



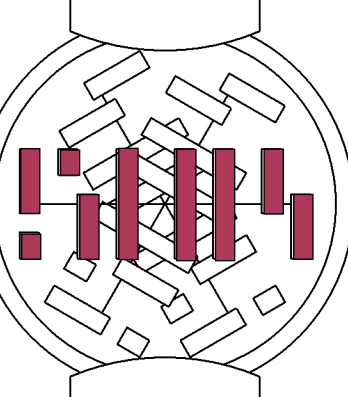
North Elevation
1/8" = 1'-0"

DRC Comments	7.7.23
DRC Comments	9.7.23

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FLORIDA AR013352

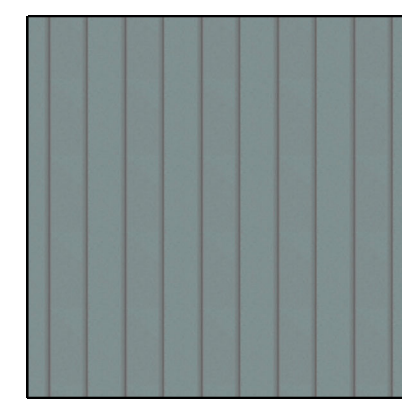
Elevations

NY Deerfield Holdings LLC
Apartments

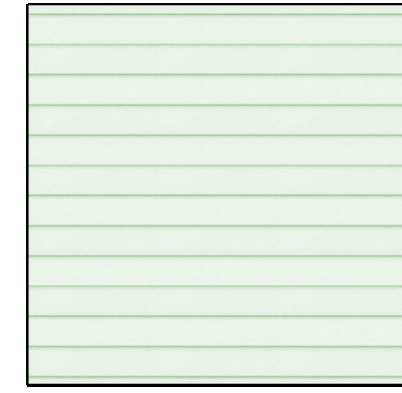
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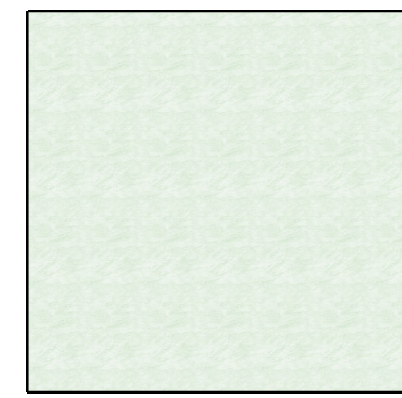
SHEET
A2.1
OF NINE SHEETS



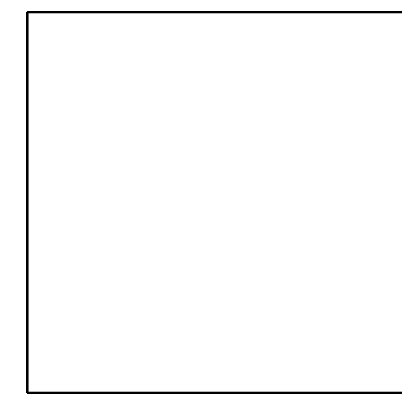
Roof Material
Standing Seam Metal Roof
Berridge Mfg Co
ZINC-COTE



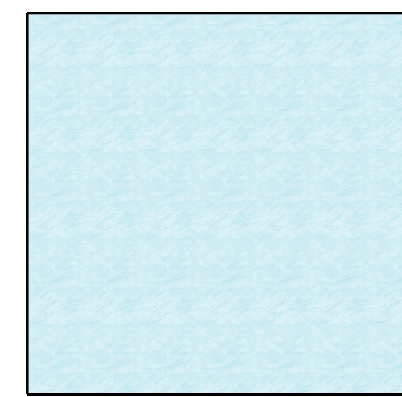
Siding Color
Sherwin-Williams
6735 Minted



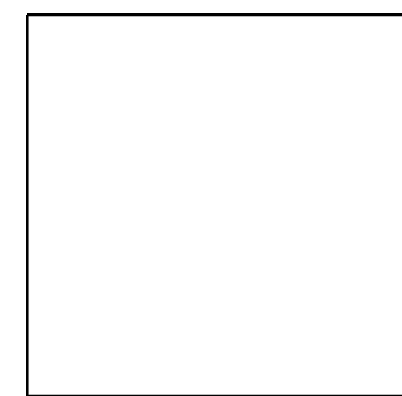
Body Color 1
Sherwin-Williams
6735 Minted



Body Color 2
Sherwin-Williams
7014 EIDER WHITE



Accent Color
Sherwin-Williams
6770 Bubble



Trim Color
Sherwin-Williams
7006 EXTRA WHITE

ELEVATION MATERIALS:

MARK	DESCRIPTION	COLOR
1	TEXTURED STUCCO (SKIP TROWEL)	BODY 1
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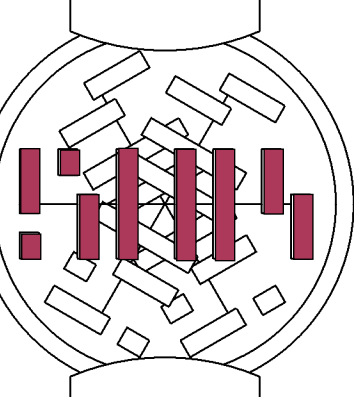


DRC Comments	Date
	9-7-23

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DATE: 09/07/23
JOB NUMBER: 220573

SHEET
A2.2
OF NINE SHEETS

REVISIONS	

**S H BRANDT
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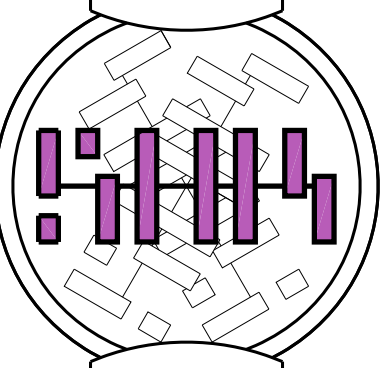
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02/09/23
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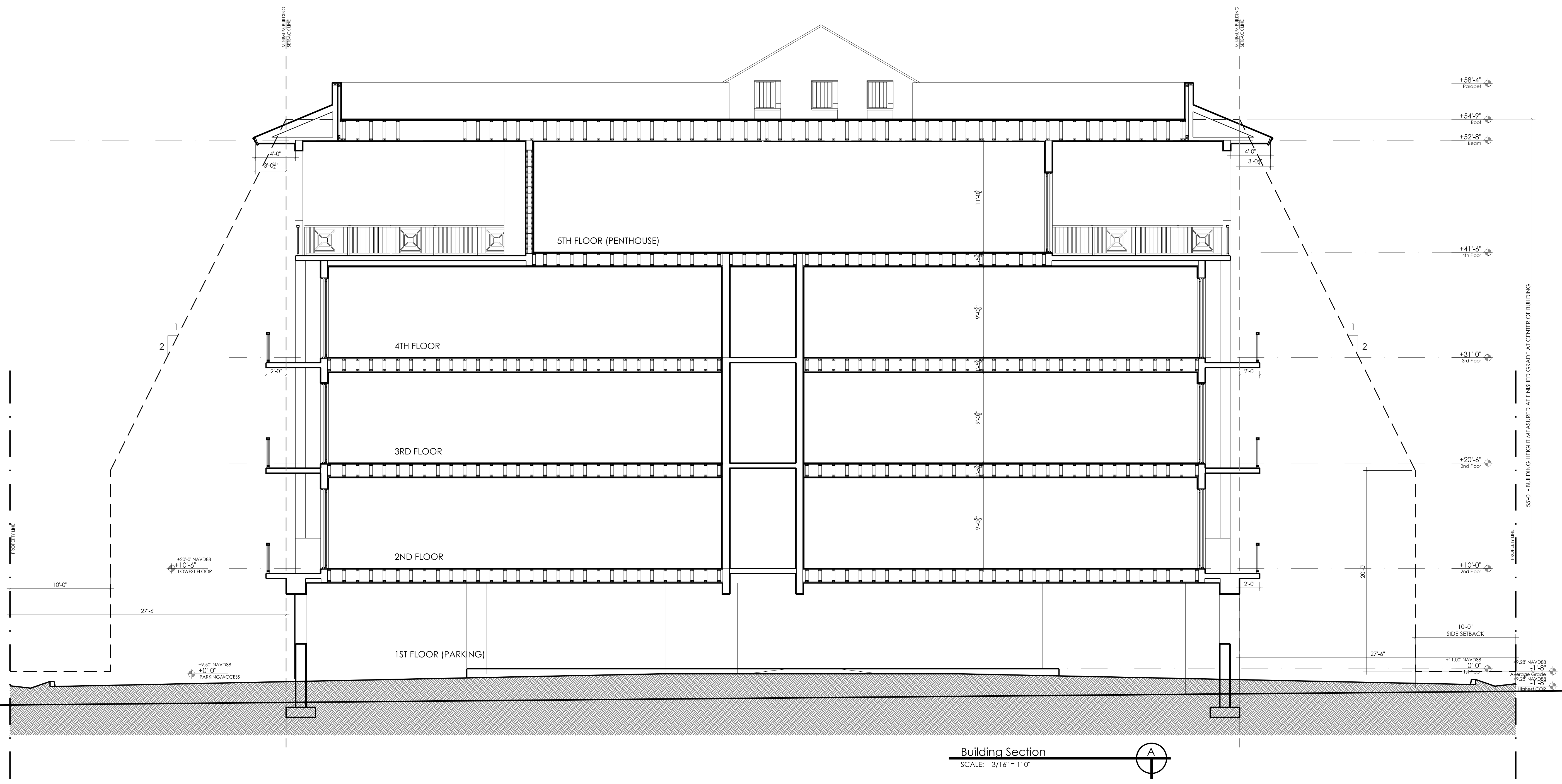
**Building
Sections**

**NY Deerfield
Apartments**
1974 & 1980 NE 5th St
Deerfield Bch, FL 33441

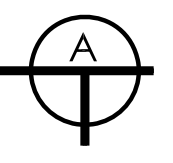
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A3.1
OF
SHEETS



Building Section
SCALE: 3/16" = 1'-0"



REVISIONS	

**S H BRANDT
AND ASSOCIATES**
AA 0003241

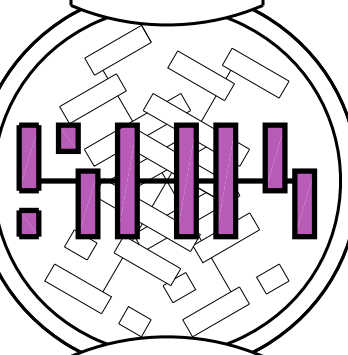
5010 N FEDERAL HIGHWAY
LIGHTHOUSE POINT, FL 33064

phone: (954) 564-2111

website: SHBrandt.com
Email: info@shbrandt.com

**ARCHITECTURE
INTERIOR DESIGN**

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STEPHEN H BRANDT

02/09/23
FLORIDA AR 0013352

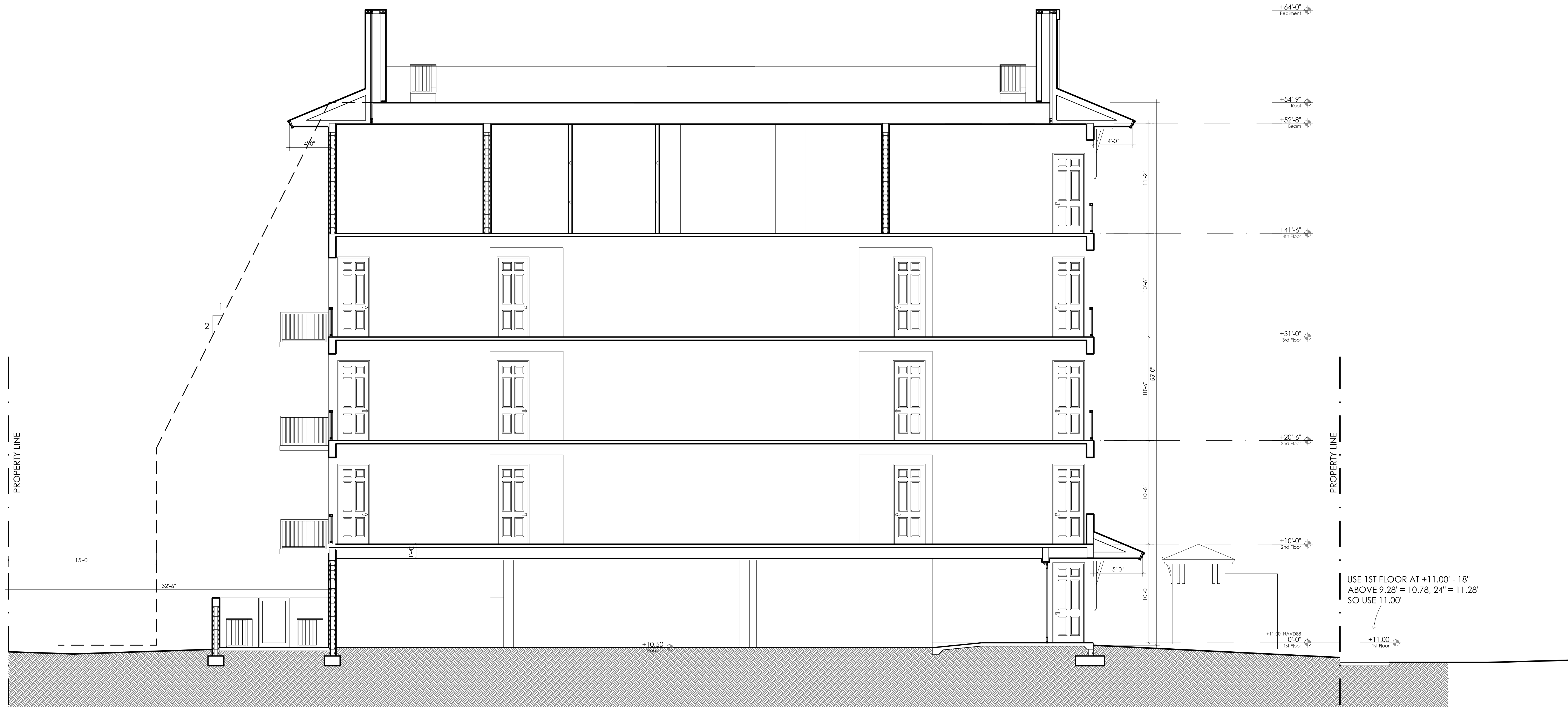
Building
Sections

NY Deerfield
Apartments

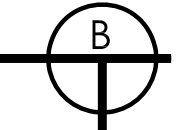
1974 & 1980 NE 5th St
Deerfield Bch, FL 33441

DATE
02/09/23
JOB NUMBER
220573

SHEET
A3.2
OF
SHEETS



Building Section
SCALE: 3/16" = 1'-0"





Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine applicability of the layout to existing or future field conditions. This lighting pattern represents illumination levels calculated from laboratory data taken under controlled conditions utilizing current industry standard lamp ratings in accordance with Illuminating Engineering Society approved methods. Actual performance of any manufacturer's luminaire may vary due to variation in electrical voltage, tolerance in lamps and other variable field conditions.

NOTES:

3	PHOTOMETRIC STUDY	06/01/23
2	PHOTOMETRIC STUDY	12/28/22
1	PHOTOMETRIC STUDY	07/11/22
No.	New	Date

LIGHTING DYNAMICS, INC.
 7835 West Commercial Blvd.
 Tamarac, FL 33351
 (954) 944-0286
www.lightingdynamics.com

Project Name and Address
NY Deerfield Beach
LIGHTING STUDY - SITE
DEERFIELD BEACH, FL

FILE P:\PROJECTS\2022\JUNE
 CLIENT S H BRANDT

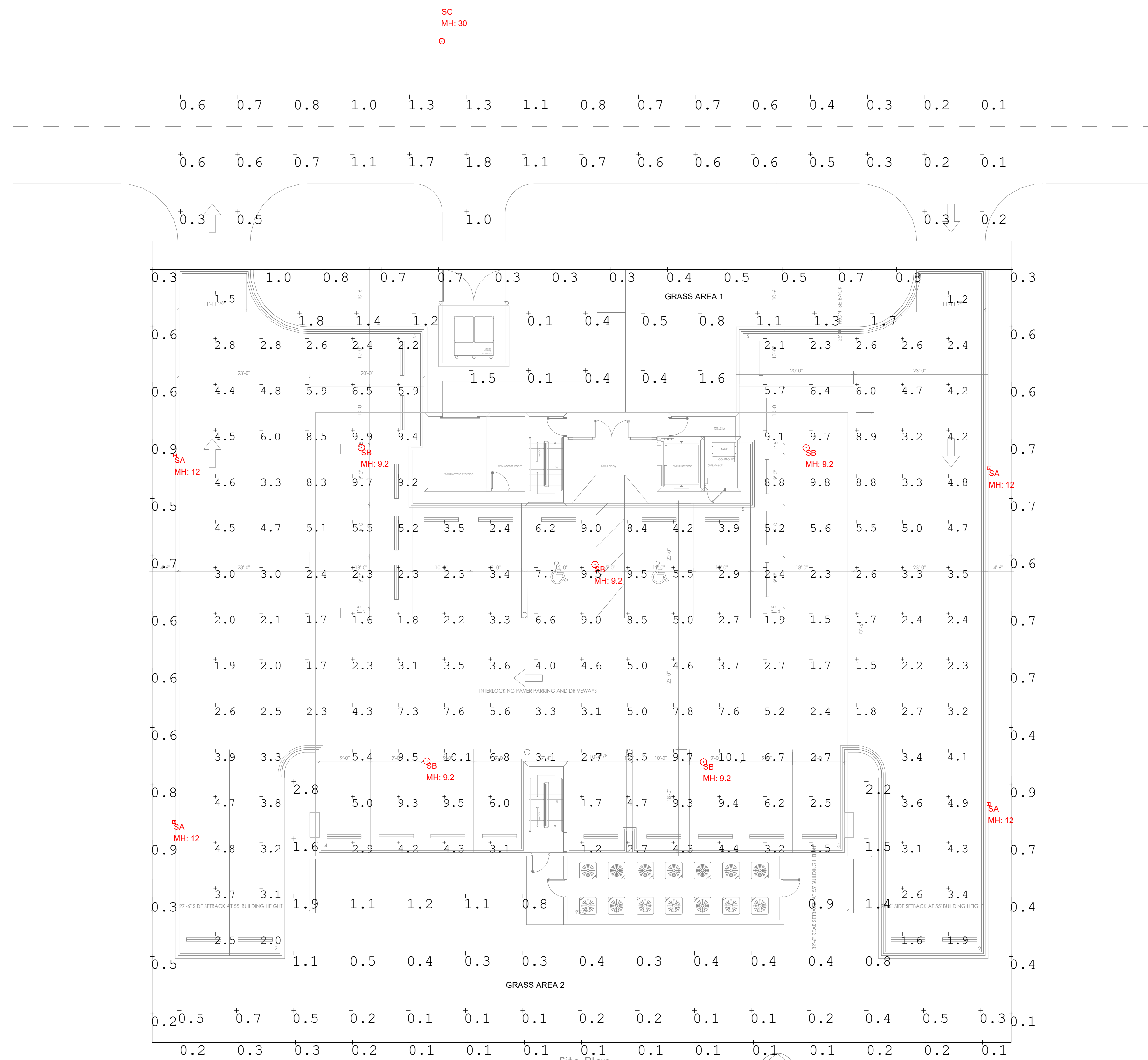
Project
 NY Deerfield Beach

Date
 06/01/2023

Scale
 3/32" = 1'

Sheet
LO

DRAWN BY
 IG



Site Plan
 SCALE: 1/8" = 1'-0"
 NORTH

Symbol	Qty	Label	Arrangement	Lum. Lumens	Arr. Lum. Lumens	LLF	Lum. Watts	Arr. Watts
SA	4	SA	Single	4799	4799	0.900	66	66
SB	5	SB	Single	11161	11161	0.900	105.2	105.2
SC	1	SC	Single	5394	5394	0.900	47	47

Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
GRASS AREA 1	Illuminance	Fc	0.95	1.8	0.1	9.50	18.00
GRASS AREA 2	Illuminance	Fc	0.70	2.8	0.1	7.00	28.00
PROPERTY LINE	Illuminance	Fc	0.46	1.0	0.1	4.60	10.00
SITE	Illuminance	Fc	4.49	10.1	1.2	3.74	8.42
STREET	Illuminance	Fc	0.69	1.8	0.1	6.90	18.00

TYPE	SPECS	DESCRIPTION	MFR	CATALOG NUMBER	VOLTS	LAMPS	WATTS	MOUNTING	REMARKS
SA	LED AREA LUMINAIRE	MCGRAW-EDISON	GPC-SA1D-830-U-T3-QM-HSS		UNV	LED	66	12' POLE	NOTE 1, 2
SB	PARKING GARAGE LUMINAIRE	MCGRAW-EDISON	TT-D6-830-U-WO		UNV	LED	105.2	SURFACE	NOTE 1
SC	ROADWAY LED LUMINAIRE	AEL	ATBS-P10-MVOLT-R2		UNV	LED	47	EXISTING POLE	NOTE 3

FIXTURE SCHEDULE NOTES

NOTE 1: ADVISE ALL FINISHES

NOTE 2: FIXTURES MOUNTED ON 12' ALUMINUM VALMONT POLE # R-110040454-P2-COOPER FINISH

NOTE 3: FIXTURE MOUNTED ON 30' EXISTING POLE

FOR QUESTIONS PERTAINING TO THIS FIXTURE SCHEDULE PLEASE CONTACT LKARAJ@LIGHTINGDYNAMICS.COM - 786-801-7622