



**GENERAL NOTES**

Drawings are intended to be printed on 24"x36" paper. Printing these drawings at a different size will impact the scale. The recipient of these Drawings shall be responsible for any errors resulting from incorrect copying or printing or any other alteration that causes a change of scale.

General Contractor shall refer to all applicable construction procedures as provided in these drawings or as stated below.

Before performing any work or ordering any materials, the General Contractor and all Subcontractors shall be responsible for verifying all conditions and dimensions of the work.

Written dimensions shall take precedence over scaled dimensions.

As a minimum standard, all work and materials installed shall be in strict accordance with all applicable codes, regulations and ordinances having jurisdiction.

Install all Manufacturer's items, materials and equipment in strict accordance with the Manufacturer's recommended instructions, methods and specifications.

The General Contractor must maintain a current, complete set of Construction Drawings at the site for review by Subcontractors and others on the Construction Site through all phases of construction.

Dimensions indicated are from finished wall surface to finished wall surface unless otherwise indicated.

Owner to coordinate with General Contractor for location of project materials staging, temporary office facilities, temporary restroom facilities, and/or temporary utilities for this project, if applicable.

Construction shall comply with the accessibility requirements, if applicable, per the Building Code and the Americans with Disabilities Act Accessibility Guidelines.

Size, placement and orientation of framing members on Structural Details override size, placement and orientation of framing members shown on the Construction Drawings.

Plumbing, Mechanical, and Electrical Contractors shall not penetrate or cut structural members without written authorization from a licensed Professional Structural Engineer.

Provide solid 2x wood blocking within wood stud walls at the anchorage locations of cabinets, door stops, toilet room accessories, mantels, ADA Handbars, TV stands or any other wall anchorage point. Anchorage through gypsum board on new walls is not acceptable.

Contractor to obtain any and all required building and construction permits associated with the work included in these Construction Drawings.

Contractor to verify that site conditions are similar to the plans. Any discrepancies that arise from varying site conditions shall be reported to the Owner prior to construction. Contractor assumes all liability for construction of project and results of construction using Construction Drawings.

**DESIGN CRITERIA**

CODE: 2012 International Residential Code (2012 IRC)

BUILDING TYPE: Pre-engineered Steel

LOADS:  
 Dead Loads:  
 Roof- 22 PSF

Live Loads:  
 Roof- 20 PSF  
 First Floor & Stairs- 100 PSF

Snow Loads:  
 Ground Snow Load (Pg)- 10 PSF  
 Roof Snow Load (Ps)- 10 PSF  
 Snow Roof Slope Factor (Cs)- 1.0  
 Importance Factor (Is)- 1.0

Wind Loads: (ASCE 7-05)  
 Basic Wind Speed (3 sec gusts)- 110 MPH  
 Exposure- C  
 Importance Factor (Iw)- 1.0

Seismic Load: (ASCE 7-05)  
 Importance Factor (Ie)- 1.0  
 Seismic Use Group- II - Normal  
 Basic Seismic Force Resisting System Rigid Steel Frame  
 Analysis Procedure Used- Equivalent Lateral Force

Soils:  
 Undisturbed Earth- 2,500 PSI  
 Bedrock- 25,000 PSI

FIRE SPRINKLER: No

FIRE ALARM SYSTEM: Yes



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SAMPLE PLANS  
Not For Construction

SAMPLE PLANS  
RIGID STEEL BUILDING  
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COVER SHEET

Sheet#:

A.0

**CONTENTS:**

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| A.0: Cover Sheet          | S.1: Foundation Plan    |
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| A.2: Main Level Floorplan | E.1: Electrical Plan    |
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| A.6: Roof Plan            |                         |



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UTILITY LOCATE

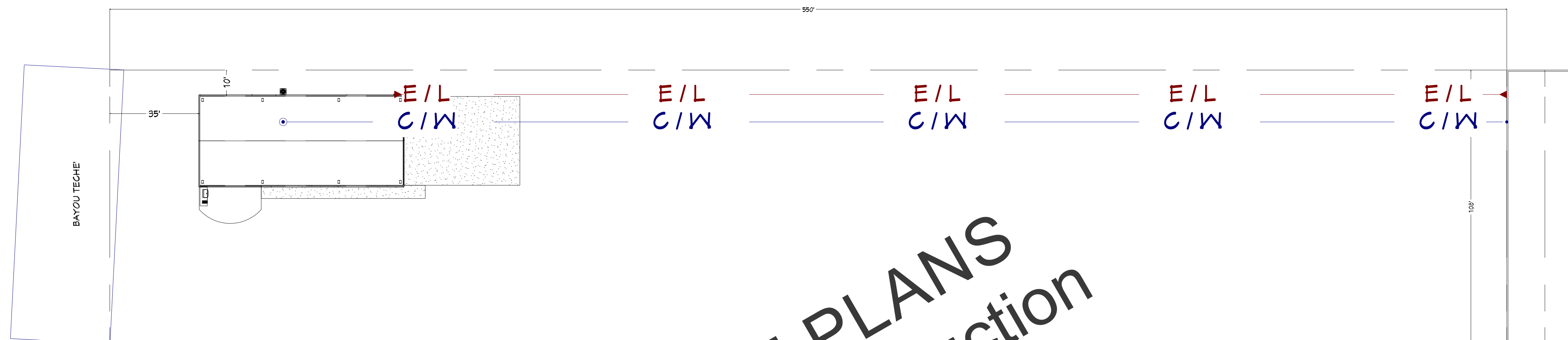
Prior to excavation Contractor to schedule a utility locate.  
Phone number: 811 or 1-800-522-6543

Erosion Control Notes:

1. Install silt fence prior to any excavation or construction.
2. Minimize site disturbance by tight control of excavation limits.
3. All exposed soil shall be mulched with straw or wood chips to minimize soil erosion. No soil shall be left in an exposed condition. It is recommended that the contractor maintain a stock pile of this material on site for quick application.
4. Hydroseed with a wood cellulose fiber mulch applied at a rate of 2,000#/acre. Use an organic tackifier at no less than 150 #/acre or per manufacturer's recommendation if higher. Application of tackifier shall be heavier at edges, in valleys and at crests of banks and other areas where seed can be moved by wind or water.
5. Dispersion trenches shall overflow onto native undisturbed ground. No site disturbance below trenches.

Grading Notes:

1. Contractor to verify location of all existing utilities.
2. Provide positive drainage away from building.
3. Final grade to convey surface drainage toward rock channels and dispersion trenches.
4. Areas to be filled shall be cleared, grubbed to remove trees, vegetation, roots and other objectionable material and stripped of topsoil.
5. Place fill slopes with a gradient steeper than 3:1 in lifts not to exceed 8 inches, and make sure each lift is properly compacted.



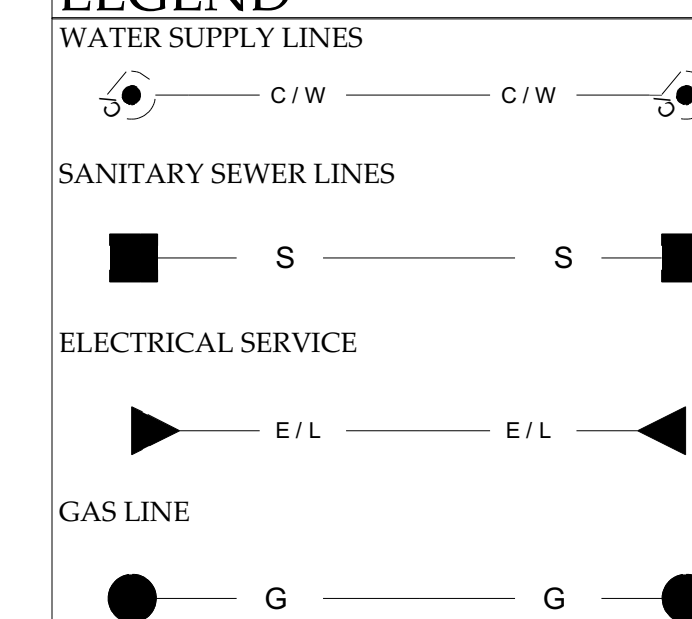
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Site Plan  
Scale: 1"=25'

SHEET NOTES:

- Final grade to slope 1" per 10'-0" away from the house for the first 10'-0".
- All concrete pads to slope at 2% or 1/4" per 1' away from building.
- General Contractor responsible for all utility locates and subsurface utility engineering for this project.
- General Contractor responsible for contacting Site Wise prior to digging for utility locate service. Call 811 or 1-800-522-6543
- General Contractor to immediately notify Site Wise if un-located utilities are encountered.
- 3/4" Domestic water line to be type 'K' copper.
- Drives and walks to be 4" concrete, minimum 3,000 psi at 28 days.
- The General Contractor shall be responsible for repairing any trenches or excavations that settle for a minimum of 1 year.
- The General Contractor shall prevent sediment, debris and all other pollutants from entering the storm sewer system during all construction operations.

LEGEND



**SAMPLE PLANS**  
**RIGID STEEL BUILDING**  
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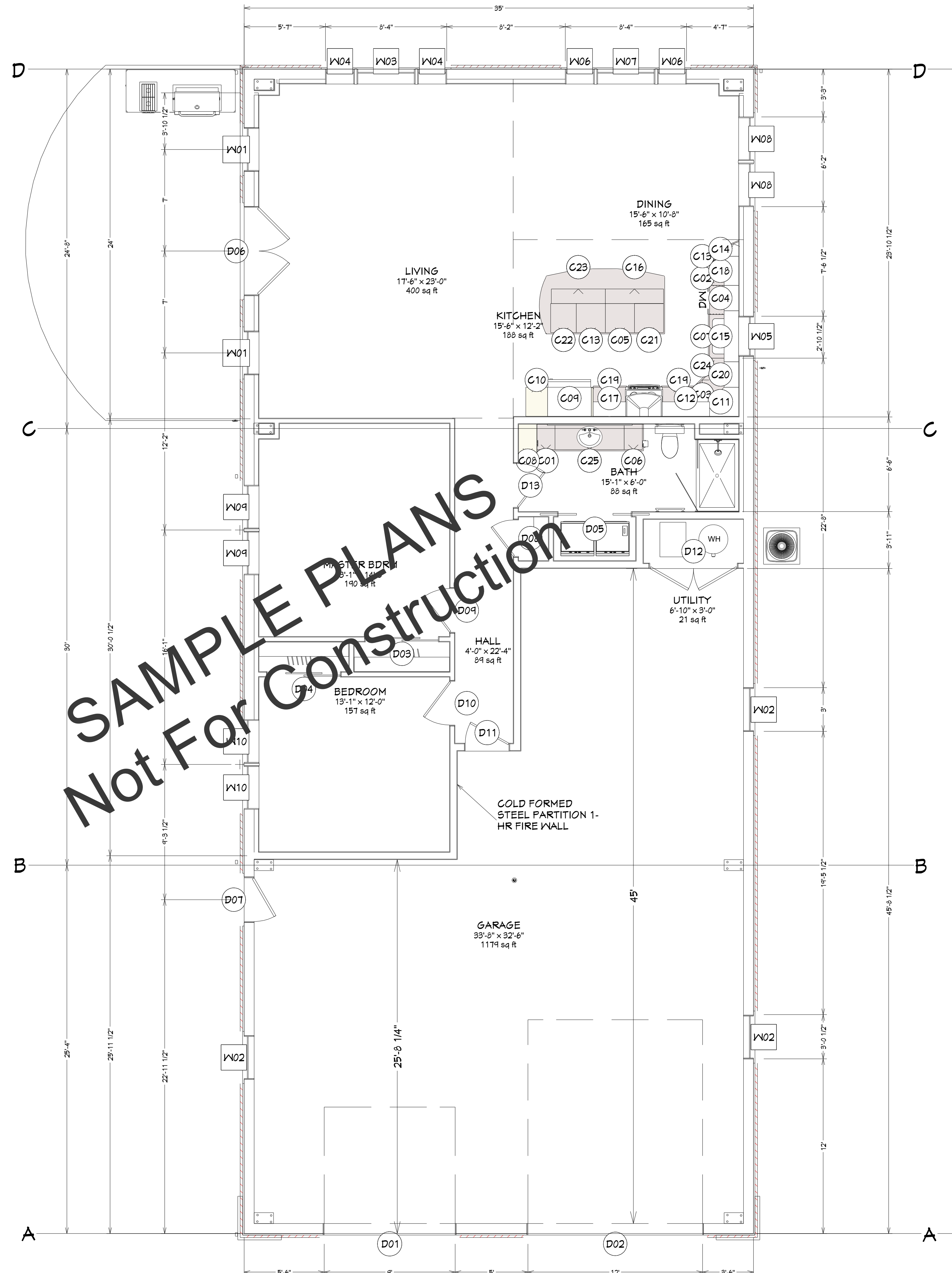
SITE PLAN

Sheet#:

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**PROJECT NOTES:**

- Foundation**
- Perimeter Footing: 24"x21" cont. min. 3,500 psi @28 days
  - Interior Footing: 24"x16", min. 3,500 psi @ 28 days
  - Concrete Slab: 6" concrete slab, min. 3,000 psi @ 28 days
  - Drives/Walks: 4" concrete slab, min. 3,000 psi @ 28 days
- Framing**
- Interior partition walls to be framed with 2"x4" Steel Studs 16" OC.
  - Ceiling joist framing to be 2"x6" Steel Joists 16" OC.
- Exterior Veneer**
- Wall Veneer: Masonry
- Roofing**
- Fasten Down Steel Roofing
  - Gutters to be 5" (6" ok) seamless metal gutters.
- Electrical**
- All electrical fixtures to be Energy Star rated.
  - All ceiling fans to be Energy Star rated.
  - All bath fans to be Energy Star rated.
  - All recessed light fixtures to have compact fluorescent bulbs.
  - All switches to be toggle switches.
- Insulation**
- Wall insulation to be min. 6" VBB faced batt insulation.
  - Rafter Insulation to be min 12" VBB faced batt insulation
- Drywall**
- Install 1/2" on new framed interior partition walls, to be screwed, mud, taped and textured.
  - Install 5/8" Type-C ceiling rock on ceiling surfaces. mud, taped and finished.
  - Install 1/2" moisture board in shower area, as required by building code.
  - Install 5/8" Type-X fire rock on Garage, Utility and under stair wall and ceiling surfaces. mud, taped and finished.
  - All corners to be 'radius' edging.
  - Drywall to wrap to windows.
  - All walls and ceilings to have finished texture.
- Flooring**
- Install tile flooring in all Bath, Entry and Kitchen areas.
  - Install carpet in Bedroom 1 and Bedroom2.
  - Install hardwood flooring in Dining and Living room.
  - Utility Room areas to have unfinished concrete floor.
- Windows**
- Install Andersen 100 Composite, Energy Star compliant, windows on all floors.
  - Bedroom windows to meet egress requirements.
  - All windows to be sealed with minimum expansion foam.
- Doors**
- Install Energy Star compliant exterior Entry and rear doors.
  - Front and rear doors keyed alike.
  - All doors to be sealed with minimum expansion foam.
  - Utility Room walk doors to be self-closing with spring loaded hinges.
- Cabinetry**
- Install adult height vanity cabinets in all Bathrooms.
  - Kitchen cabinets to be installed as shown in details.
- Countertops**
- Install 3-cm granite with 4"/6" backsplash, under-mount sink in all Kitchens and Baths, as shown.
  - Granite to have 'eased edge' and bullnose edging.
- Appliances**
- All appliances to meet or exceed Energy Star standards.
  - Appliances to be installed per Manufacturer's installation instructions.
- Interior Millwork**
- All base molding to be 5-1/2" paint grade wood molding.
  - All casing to be 3-1/2" paint grade wood molding.
  - Install paint-grade wood closet shelves w/ heavy duty hangar rods, as shown.
  - Install new 2-panel solid-core, paint grade interior doors throughout, as shown.
- Paint**
- All Kitchens, Baths to be painted with semi-gloss paint. One coat primer, two coats paint.
  - All Living, Dining, Hall, Entry, Closet and Bedrooms to be painted with satin/eggshell paint. One coat primer, two coats paint.
  - All trim moldings and doors to be painted with gloss or semi-gloss stain. One coat primer, two coats paint.
- Hardware**
- Install new door hardware on all interior doors.
  - Install new towel bars, TP holders and other bath accessories in Bathrooms, fixture location to be verified with Owner.
  - Install new beveled vanity mirror in Baths.



**Main Level Floor Plan**  
Scale: 1/4"=1'

Building Contractor/Home Owner  
To review and verify all dimensions,  
Specs, and connections before  
Construction begins.

Electrical system code: sec.2701  
Mechanical system code: sec.2801  
Plumbing system code: sec.2901

**SHEET NOTES:**

All wall lumber and posts shall be treated where comes in contact with concrete.

No roof penetrations allowed on street facing roof planes. All roof penetrations to be located in rear of home where possible.

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**RIGID STEEL BUILDING**  
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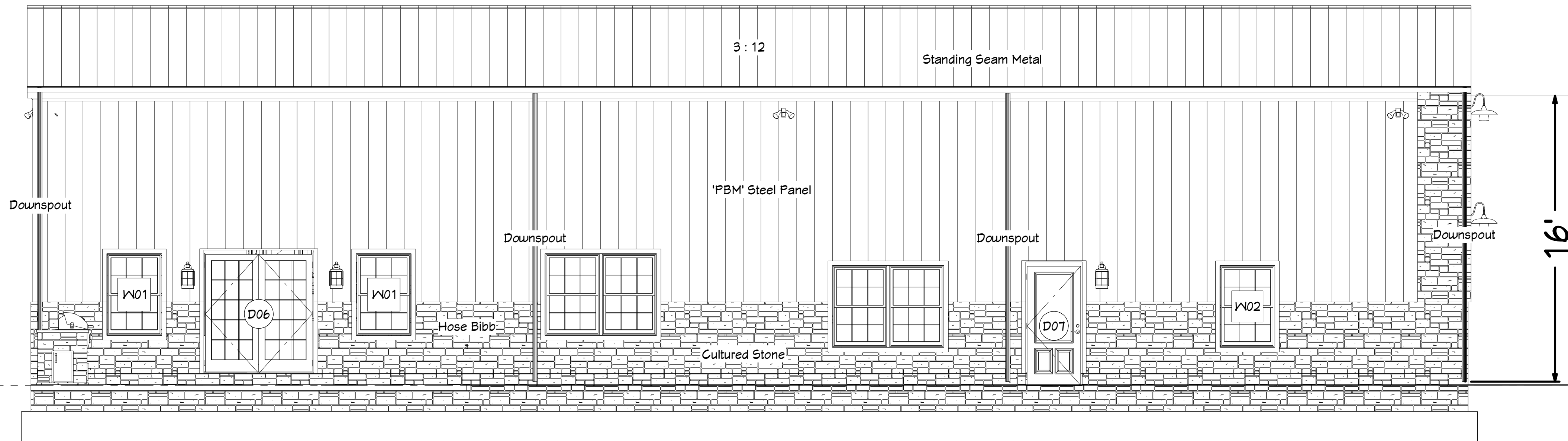
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FLOOR PLAN

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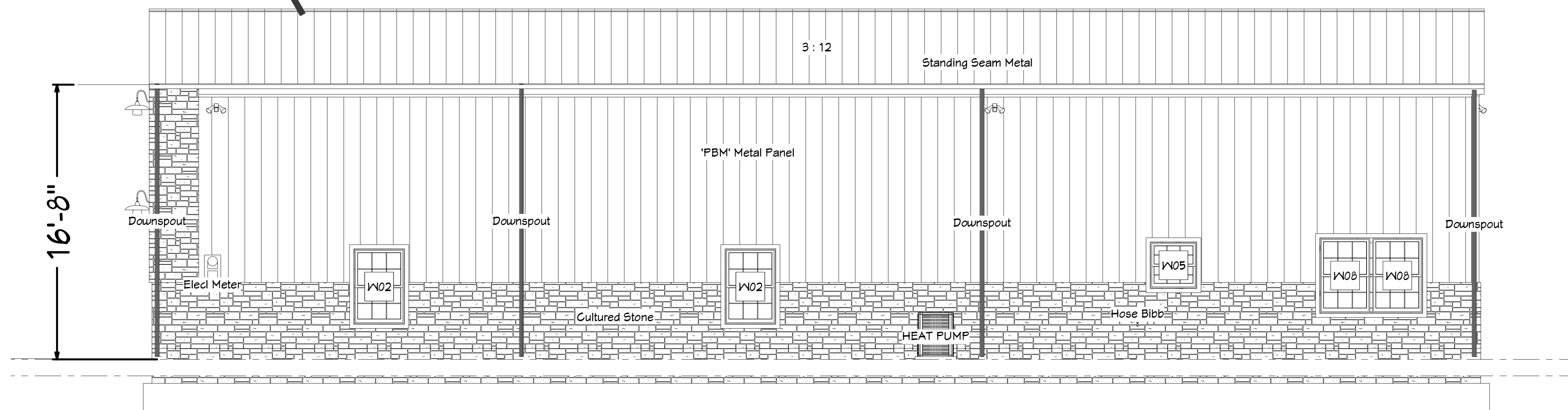
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**SAMPLE PLANS**  
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EL1 North Elevation  
A.4 Scale: 1" = 5'



EL2 South Elevation  
A.4 Scale: 1" = 5'

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EXTERIOR  
ELEVATIONS

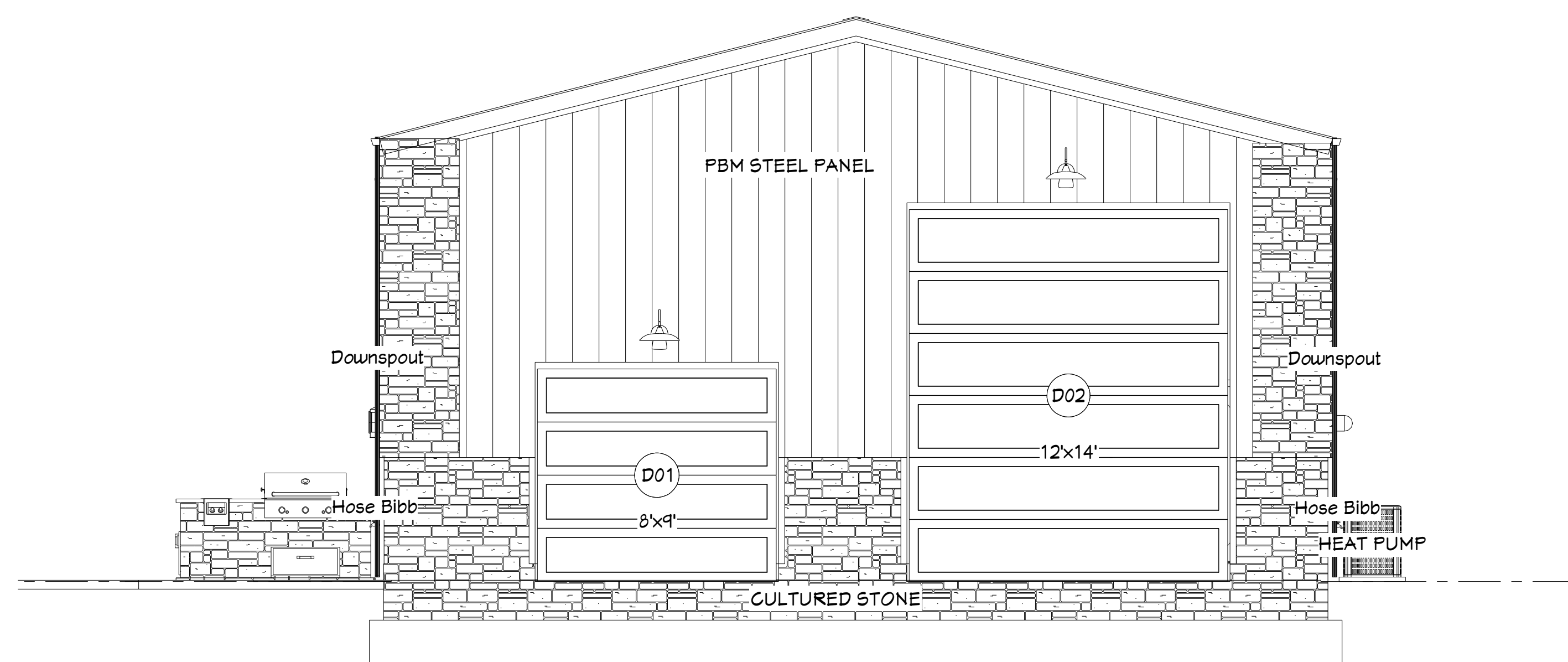
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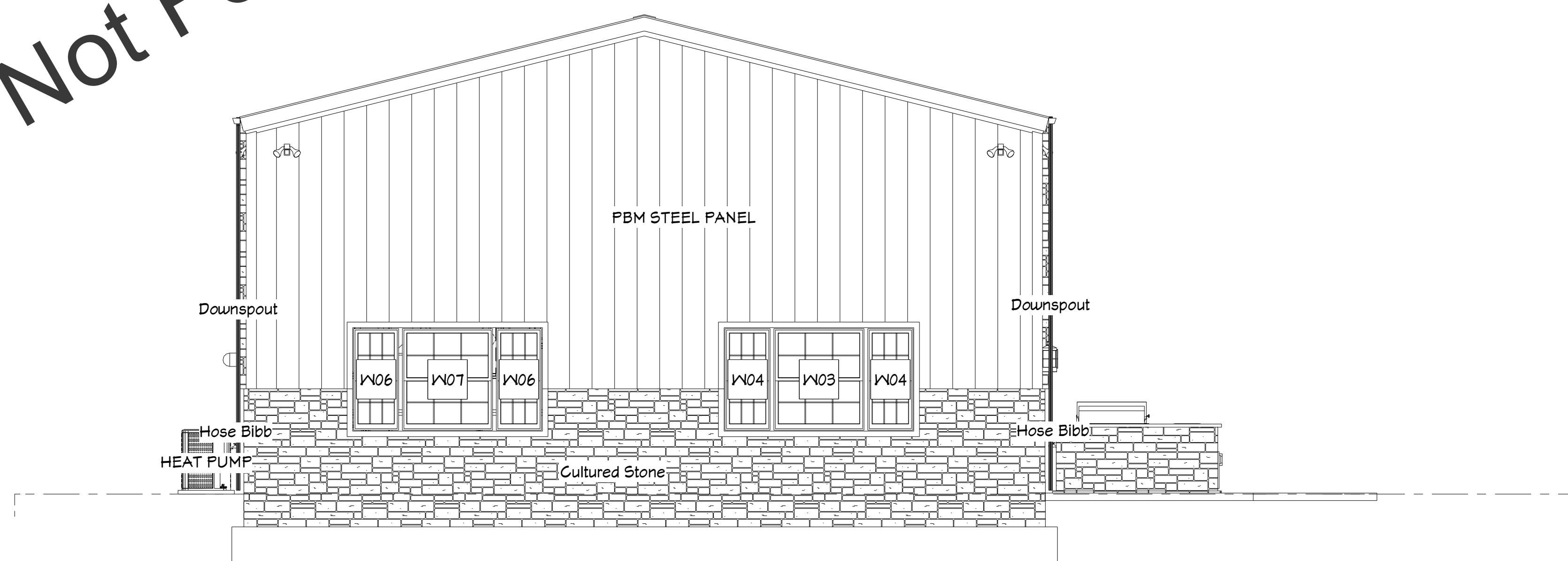
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EL3 West Elevation  
A.5 Scale: 1/4" = 1'



EL4 East Elevation  
A.5 Scale: 1/4" = 1'

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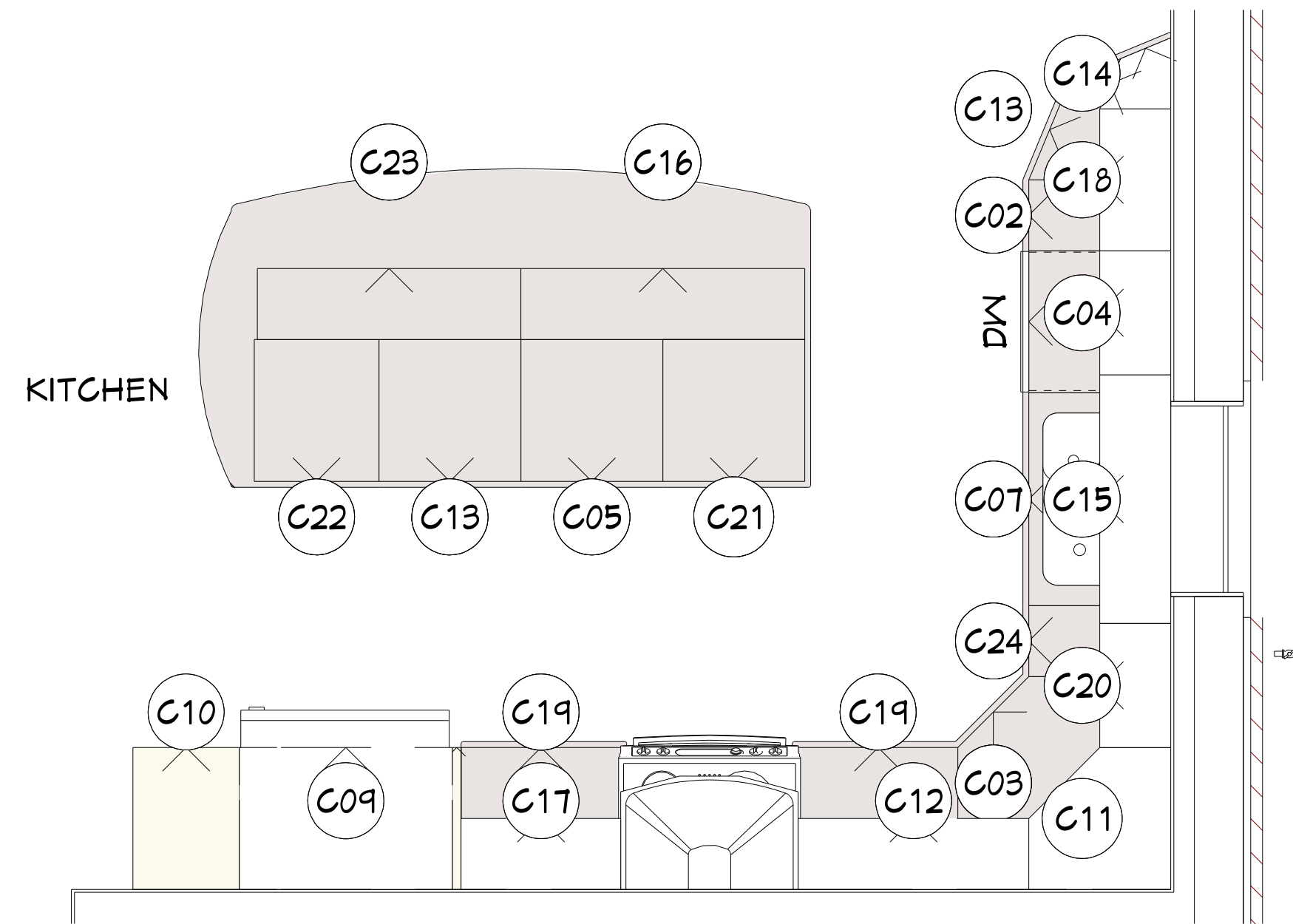
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ELEVATIONS

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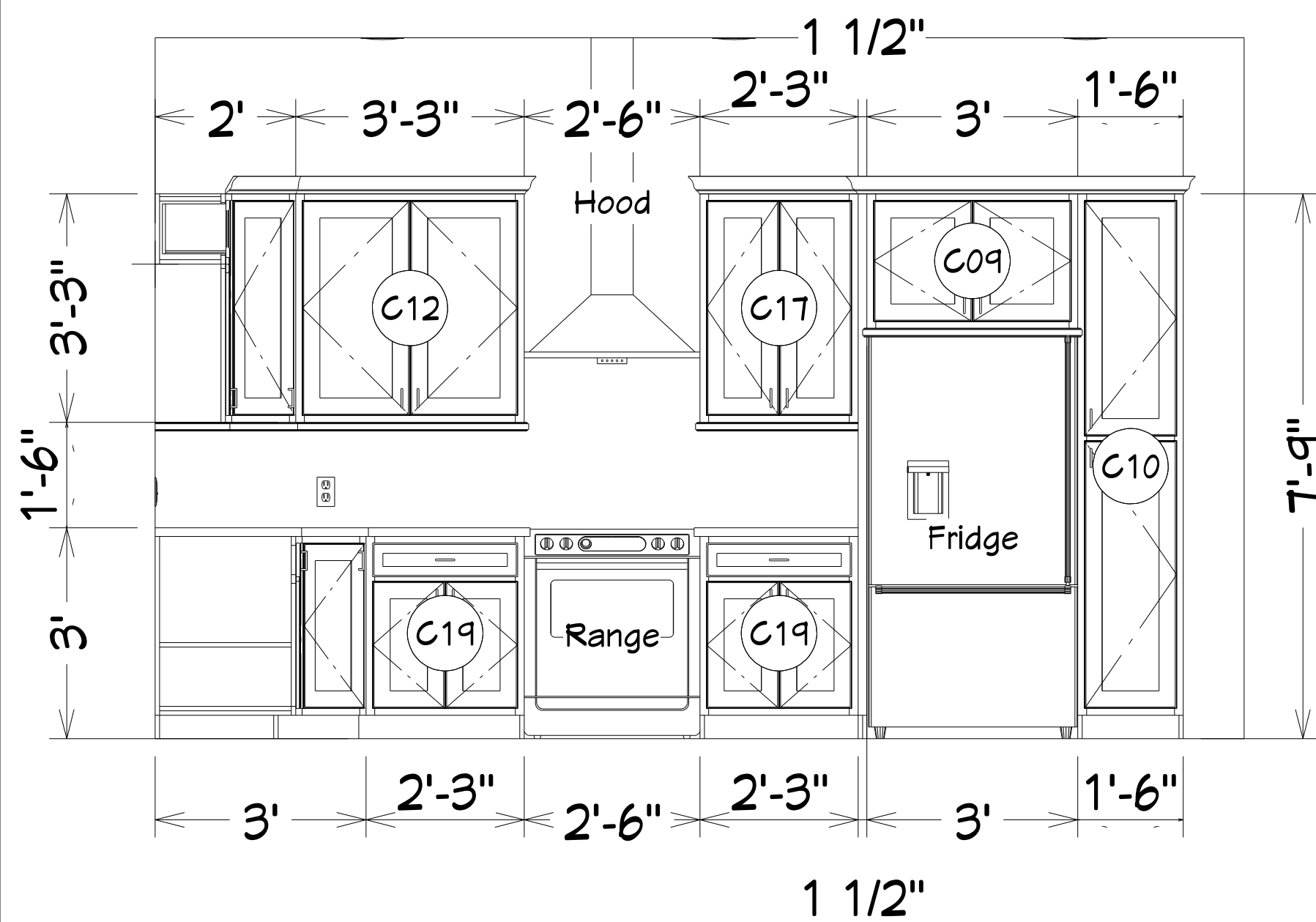
**CABINET NOTES:**

1. Confirm color with Owner prior to ordering.
2. Confirm door & drawer styles with Owner prior to ordering.
3. Install hardware on site.
4. Install crown molding on site; match cabinet color; confirm profile and dimension with Owner.
5. Cut all openings on site, see manufacturer appliance specifications.
6. Install hood and all appliances per manufacturer specifications.
7. All appliances to be on dedicated circuits.
8. Use min 6" duct for hood.
9. Confirm final materials for backsplash and countertop with Owner prior to ordering

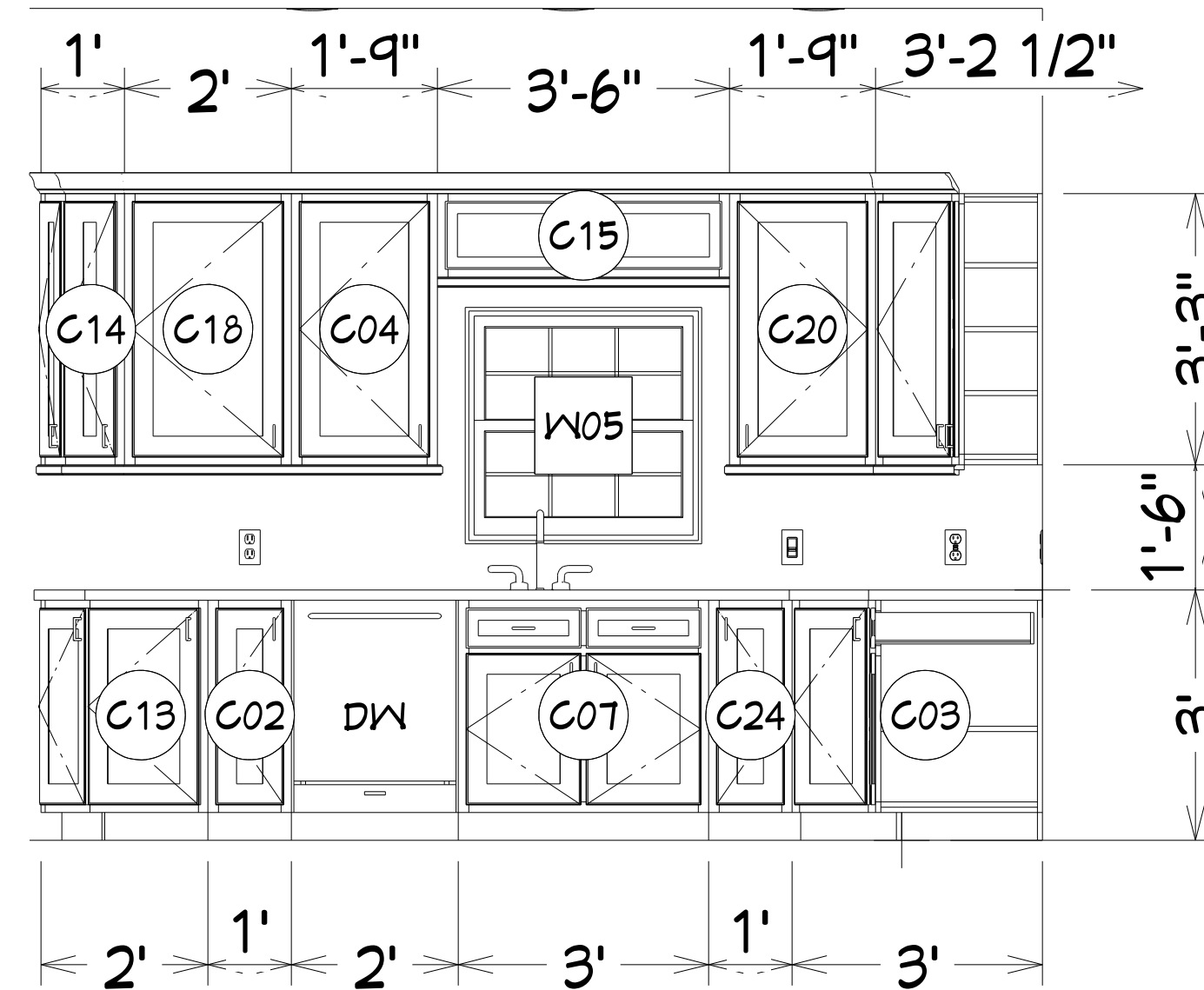


Kitchen Floorplan  
Scale: 1/2" = 1'

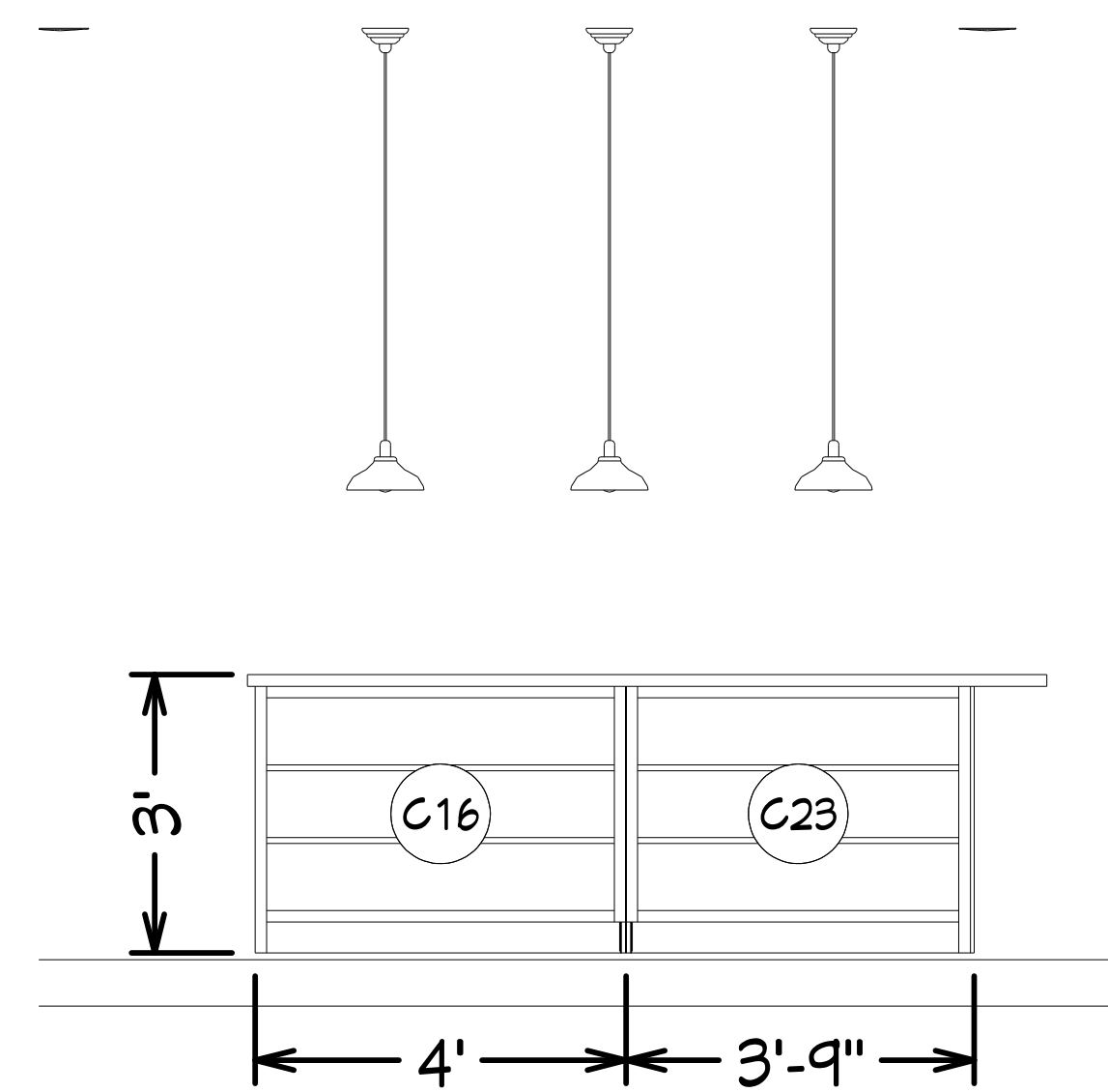
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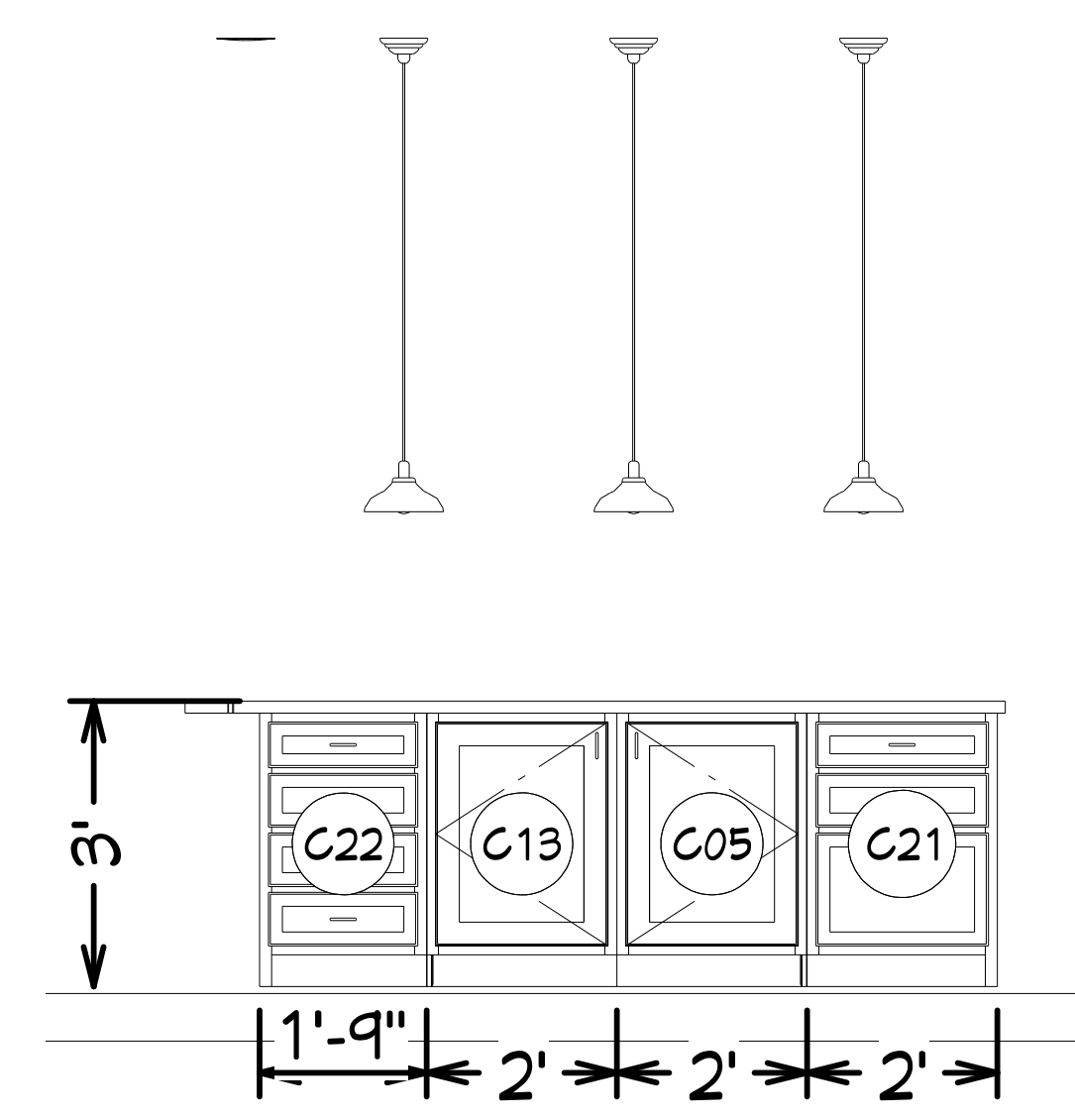
Kitchen Wall  
Elevation



Kitchen Wall  
Elevation



Kitchen Island  
Elevation



Kitchen Island  
Elevation



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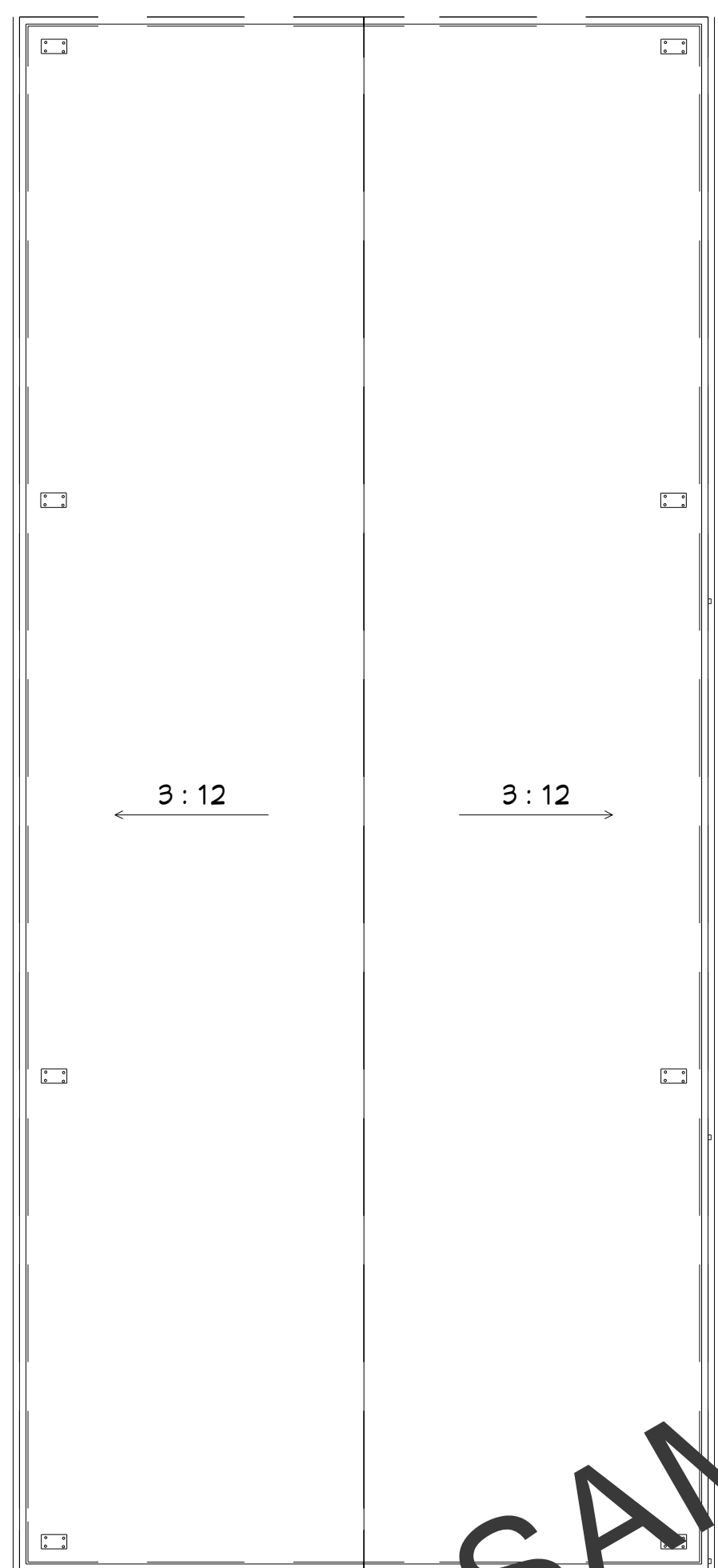
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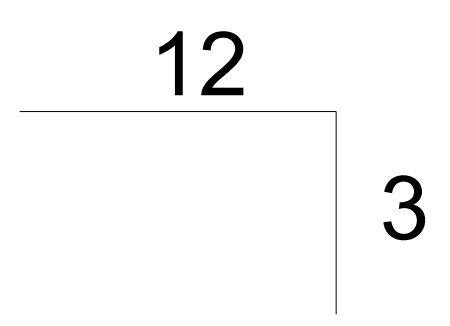
KITCHEN  
ELEVATIONS

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**A.5**



**SAMPLE PLANS**  
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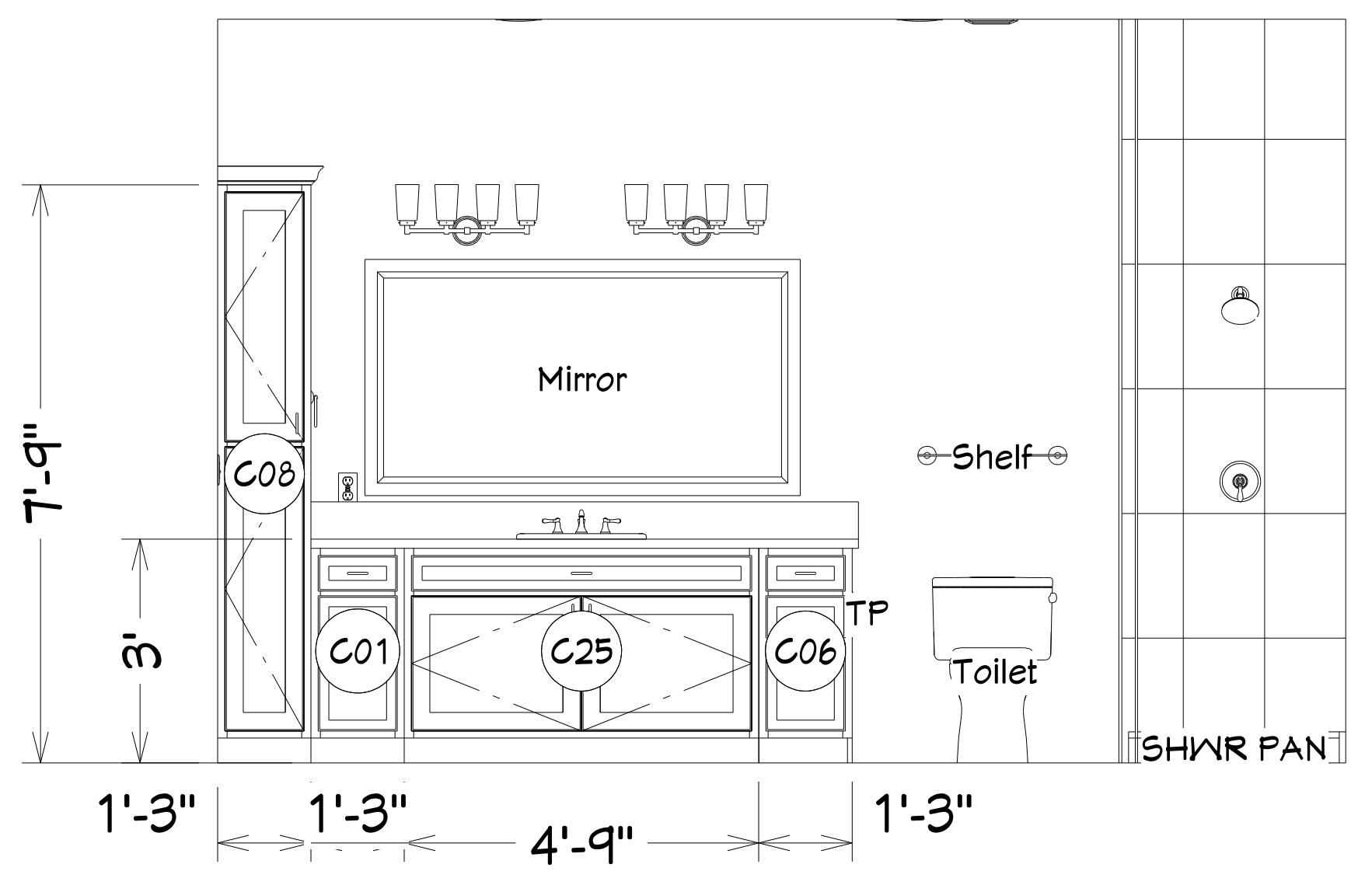


Roof Plan  
Scale: 1/8"=1'

DOOR SCHEDULE													
NUMBER	FLOOR	ROOM NAME	QTY	LABEL	SWING SIDE	SIZE	WIDTH	HEIGHT	R/O	THICKNESS	JAMB SIZE	TEMPERED	COMMENTS
D01	1	GARAGE	1	9080		9080	108"	96"	110"x99"	1 3/4"	3/4"x9 1/2"		
D02	1	GARAGE	1	120140		120140	144"	168"	146"x171"	1 3/4"	3/4"x9 1/2"		
D03	1	MASTER BDRM/CLOSET	1	5068		5068	60"	80"	62"x82 1/2"	1 3/8"	3/4"x4 1/2"		
D04	1	CLOSET/BEDROOM	1	5068		5068	60"	80"	62"x82 1/2"	1 3/8"	3/4"x4 1/2"		
D05	1	LAUNDRY/BATH	1	5068		5068	60"	80"	122"x82 1/2"	1 3/8"	3/4"x4 1/2"		
D06	1	LIVING	1	6068	IN	6068	72"	80"	74"x83"	1 3/4"	3/4"x12 1/4"	YES	
D07	1	GARAGE	1	3068	IN	3068	36"	80"	38"x83"	1 3/4"	3/4"x8 1/4"	YES	
D08	1	CLOSET/HALL	1	2668	OUT	2668	30"	80"	32"x82 1/2"	1 3/8"	3/4"x4 1/2"		
D09	1	HALL/MASTER BDRM	1	3068	OUT	3068	36"	80"	38"x82 1/2"	1 3/8"	3/4"x4 1/2"		
D10	1	HALL/BEDROOM	1	3068	OUT	3068	36"	80"	38"x82 1/2"	1 3/8"	3/4"x4 1/2"		
D11	1	HALL/GARAGE	1	3068	IN	3068	36"	80"	38"x83"	1 3/8"	3/4"x6 1/2"		
D12	1	GARAGE/UTILITY	1	6068	OUT	6068	72"	80"	74"x83"	1 3/4"	3/4"x4 1/2"	YES	
D13	1	BATH/HALL	1	3068	IN	3068	36"	80"	38"x82 1/2"	1 3/8"	3/4"x4 1/2"		

WINDOW SCHEDULE												
NUMBER	FLOOR	ROOM NAME	QTY	LABEL	SIZE	R/O	WIDTH	HEIGHT	EGRESS	TEMPERED	COMMENTS	
W01	1	LIVING	2	3046DH	3046DH	37"x55"	36"	54"				
W02	1	GARAGE	3	3046DH	3046DH	37"x55"	36"	54"				
W03	1	LIVING	1	4046DH	4046DH	49"x55"	48"	54"				
W04	1	LIVING	2	2046DH	2046DH	25"x55"	24"	54"				
W05	1	KITCHEN	1	2424DH	2424DH	34"x34"	33"	33"				
W06	1	DINING	2	2046DH	2046DH	25"x55"	24"	54"				
W07	1	DINING	1	4046DH	4046DH	49"x55"	48"	54"				
W08	1	DINING	2	3046DH	3046DH	37"x55"	36"	54"				
W09	1	MASTER BDRM	2	3046DH	3046DH	37"x55"	36"	54"	YES			
W10	1	BEDROOM	2	3046DH	3046DH	37"x55"	36"	54"	YES			

CABINET SCHEDULE												
NUMBER	FLOOR	ROOM NAME	QTY	LABEL	HINGE	WIDTH	DEPTH	HEIGHT	LEFT SIDE	RIGHT SIDE	BACK SIDE	COMMENTS
C01	1	BATH	1	3DB1521		15"	21"	36"	UNFINISHED	UNFINISHED	UNFINISHED	
C02	1	KITCHEN	1	FHB12L	HIDDEN HINGE (2)	12"	24"	36"	UNFINISHED	UNFINISHED	UNFINISHED	
C03	1	KITCHEN	1	DCB36L	HIDDEN HINGE (2)	36"	36"	36"	UNFINISHED	UNFINISHED	UNFINISHED	
C04	1	KITCHEN	1	W2139L	HIDDEN HINGE (2)	21"	12"	39"	UNFINISHED	UNFINISHED	UNFINISHED	
C05	1	KITCHEN	1	FHB24R	HIDDEN HINGE (2)	24"	24"	36"	UNFINISHED	UNFINISHED	UNFINISHED	
C06	1	BATH	1	3DB1521		15"	21"	36"	UNFINISHED	FINISHED	UNFINISHED	
C07	1	KITCHEN	1	5B36	HIDDEN HINGE (4)	36"	24"	36"	UNFINISHED	UNFINISHED	UNFINISHED	
C08	1	BATH	1	U152493L	HIDDEN HINGE (6)	15"	24"	43"	UNFINISHED	FINISHED	UNFINISHED	
C09	1	KITCHEN	1	W362324	HIDDEN HINGE (4)	36"	24"	22 15/16"	UNFINISHED	UNFINISHED	UNFINISHED	
C10	1	KITCHEN	1	U182493R	HIDDEN HINGE (6)	18"	24"	43"	UNFINISHED	FINISHED	UNFINISHED	
C11	1	KITCHEN	1	DCW2439L	HIDDEN HINGE (2)	24"	24"	39"	UNFINISHED	UNFINISHED	UNFINISHED	
C12	1	KITCHEN	1	W3939	HIDDEN HINGE (4)	39"	12"	39"	UNFINISHED	UNFINISHED	UNFINISHED	
C13	1	KITCHEN	2	FHB24L	HIDDEN HINGE (2)	24"	24"	36"	UNFINISHED	UNFINISHED	UNFINISHED	
C14	1	KITCHEN	1	EW1239L	HIDDEN HINGE (2)	12"	12"	39"	UNFINISHED	UNFINISHED	UNFINISHED	
C15	1	KITCHEN	1	W2D4212		42"	12"	12"	UNFINISHED	UNFINISHED	UNFINISHED	
C16	1	KITCHEN	1	B4312		48"	12"	36"	PANELED	UNFINISHED	UNFINISHED	
C17	1	KITCHEN	1	W2736	HIDDEN HINGE (4)	27"	12"	39"	UNFINISHED	UNFINISHED	UNFINISHED	
C18	1	KITCHEN	1	W2439L	HIDDEN HINGE (2)	24"	12"	39"	UNFINISHED	UNFINISHED	UNFINISHED	
C19	1	KITCHEN	2	B27	HIDDEN HINGE (4)	27"	24"	36"	UNFINISHED	UNFINISHED	UNFINISHED	
C20	1	KITCHEN	1	W2139R	HIDDEN HINGE (2)	21"	12"	39"	UNFINISHED	UNFINISHED	UNFINISHED	
C21	1	KITCHEN	1	3DB24		24"	24"	36"	UNFINISHED	PANELED	UNFINISHED	
C22	1	KITCHEN	1	4DB21		21 1/16"	24"	36"	PANELED	UNFINISHED	UNFINISHED	
C23	1	KITCHEN	1	B4512		44 9/16"	12"	36"	UNFINISHED	PANELED	UNFINISHED	
C24	1	KITCHEN	1	FHB12R	HIDDEN HINGE (2)	12"	24"	36"	UNFINISHED	UNFINISHED	UNFINISHED	
C25	1	BATH	1	5B5721	HIDDEN HINGE (4)	57"	21"	36"	UNFINISHED	UNFINISHED	UNFINISHED	



Master Bath  
Elevation



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ROOF PLAN

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**FOUNDATION NOTES:**

Foundation Contractor to follow all recommendations given in soil Geotechnical Report.

All site work, footing excavations, grading, site preparation, fill, compaction, waterproofing and all foundation work shall be performed in compliance with the requirements set forth in the Geotechnical Report. Alternate methods not prescribed shall be presented to the Geotechnical testing company and approved prior to commencement of foundation work.

Foundations may be earth formed if soil conditions and Geotechnical report permit.

Bottom of perimeter footings shall bear a minimum of 24" below grade or at published Frost Line, whichever is deeper.

Do not place concrete in excavations containing free standing water, frost or ice.

Center all footings under stem walls, framed walls or posts unless otherwise noted in Drawings.

All footings to be placed on native soils or properly compacted structural backfill, approved by Structural Engineer.

Cast-in-place concrete shall be made with type-I Portland cement, stone aggregate and shall develop to min. 3,500 psi at 28 days.

Core filled CMU's to be filled with concrete made with type-I Portland cement, stone aggregate and shall develop to a minimum 4,000 psi. at 28 days. Each core to be vibrated to remove all air pockets, care to be taken not to over-settle stone aggregate.

J-bolts to be installed in every fifth CMU core, max 48" apart, min. 12" from each corner/window/door edge.

All concrete work to be in accordance with governing Building Code.

All reinforcing shall be high strength deformed bars conforming to ASTM A815 Grade 50 except ties, stirrups, and plate anchors.

Welded wire fabric shall conform to ASTM A185 and shall be lapped one full mesh at side and end splices and wired together.

All locations where a pipe is installed through a stem wall or footing shall have a schedule 40 steel pipe sleeve one pipe size larger in diameter extending 12" beyond both sides of footer/wall. No extension required for water on interior side where pipe rises next to wall.

Piping shown schematically for clarity. Actual pipe routing to be coordinated in the field with all trades.

Footer drainage tile to drain to drywell.

All concrete work shall be in accordance with ACI 301, ACI 318, ACI 336, ATSM A184, ASTM A185 and the Design and Construction Specifications for Cast-in-place Concrete.

Reinforcing steel shall conform to ASTM A615, Grade 60, deformed unless noted otherwise. Welded wire fabric shall conform to ASTM A185 Welded Steel Fabric unless otherwise noted, welded wire hooks shall be standard, U.N.O.

All reinforcement to have min 3" clear of earth as located in concrete.

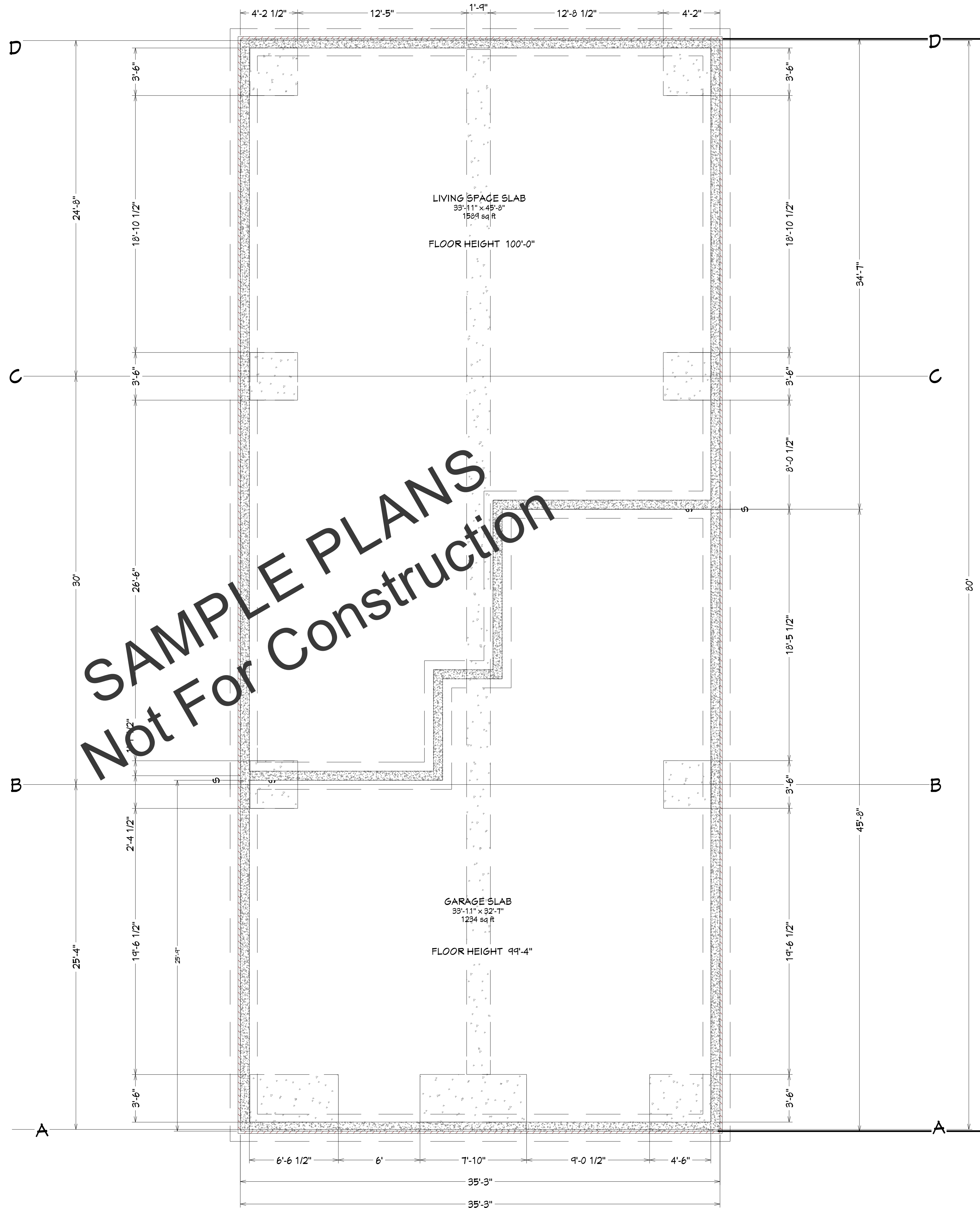
A chamfer 3/4" shall be provided at all exposed edges of concrete, U.N.O. In Accordance with ACI 301 Section 4.2.4

**CONCRETE NOTES:**

Concrete:  
 Footers: 3,500 psi. @ 28 days  
 Concrete Slab: min 3,000 psi. @ 28 days  
 Max Aggregate: 3/4"  
 Max Water-Cement Ratio: 0.55 for Foundations  
 Max Water-Cement Ratio: 0.45 for Slabs  
 Slump- Foundations: 3"-4"  
 Slump- Slabs: 5" Max.

Reinforcement:  
 Footers: 6# #5 (5/8") cont. rebar  
 Slab: Wire Mesh w. #4 24" OC

All Slabs to be sloped to outside 1/8":1' away from structure.



Foundation Plan  
 Scale: 1/4"=1'



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**SAMPLE PLANS  
 RIGID STEEL BUILDING  
 NOT FOT CONSTRUCTION**

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**Revisions:**

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- 3.
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- 5.
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- 7.

**Print Scale:**

24"x36"

**Date:**

**Title:**

FOUNDATION PLAN

**Sheet#:**

**S.1**





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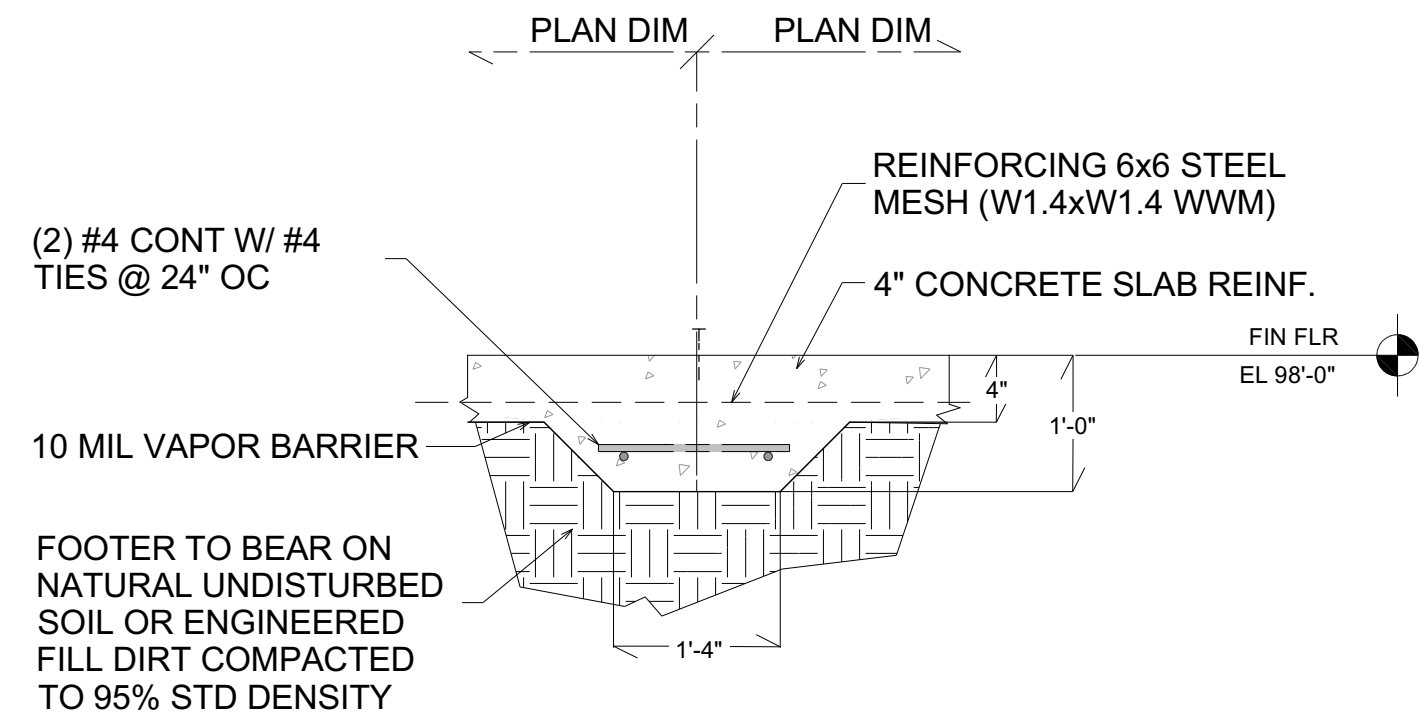
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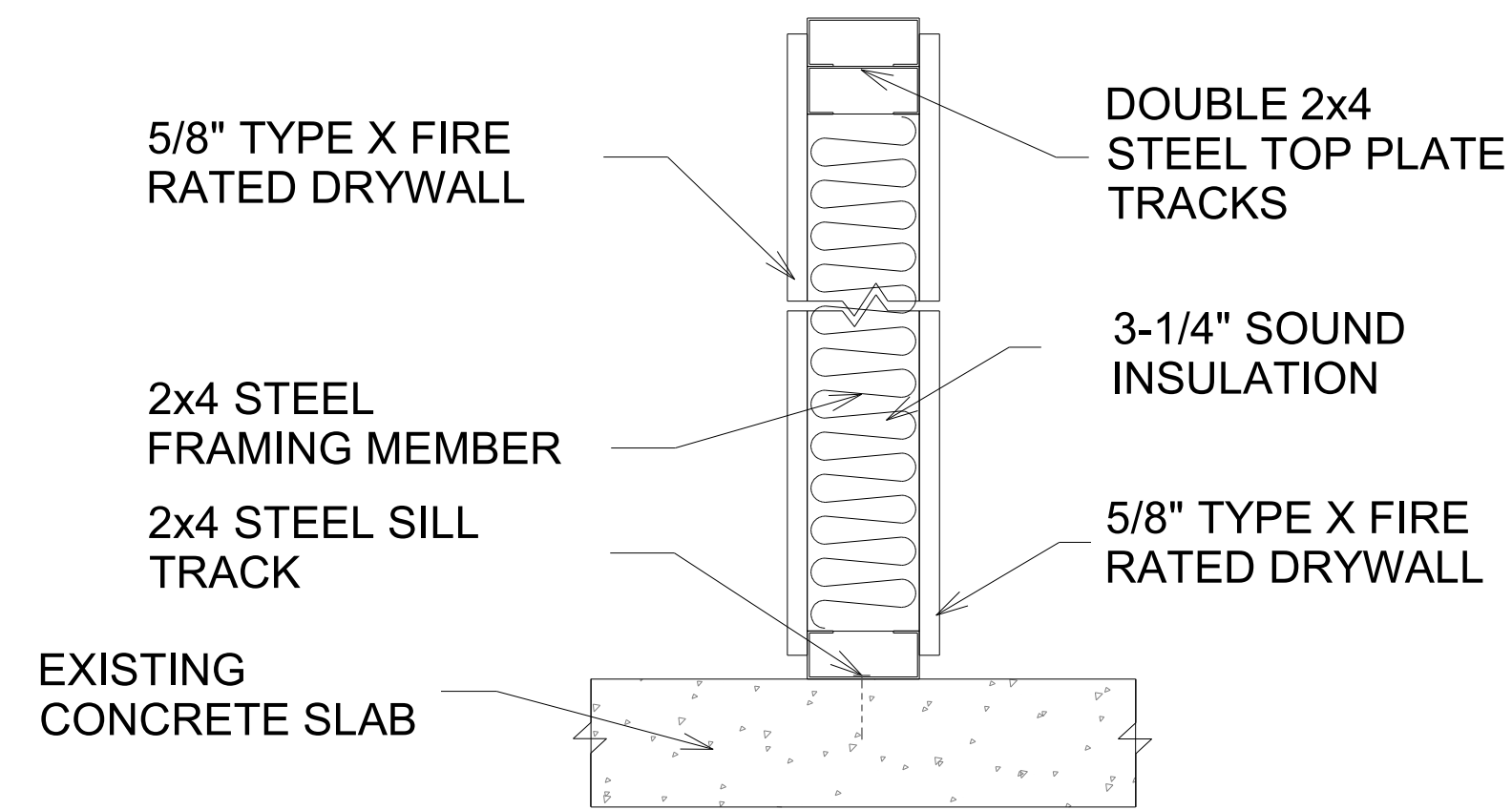
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DETAILS

Sheet#:

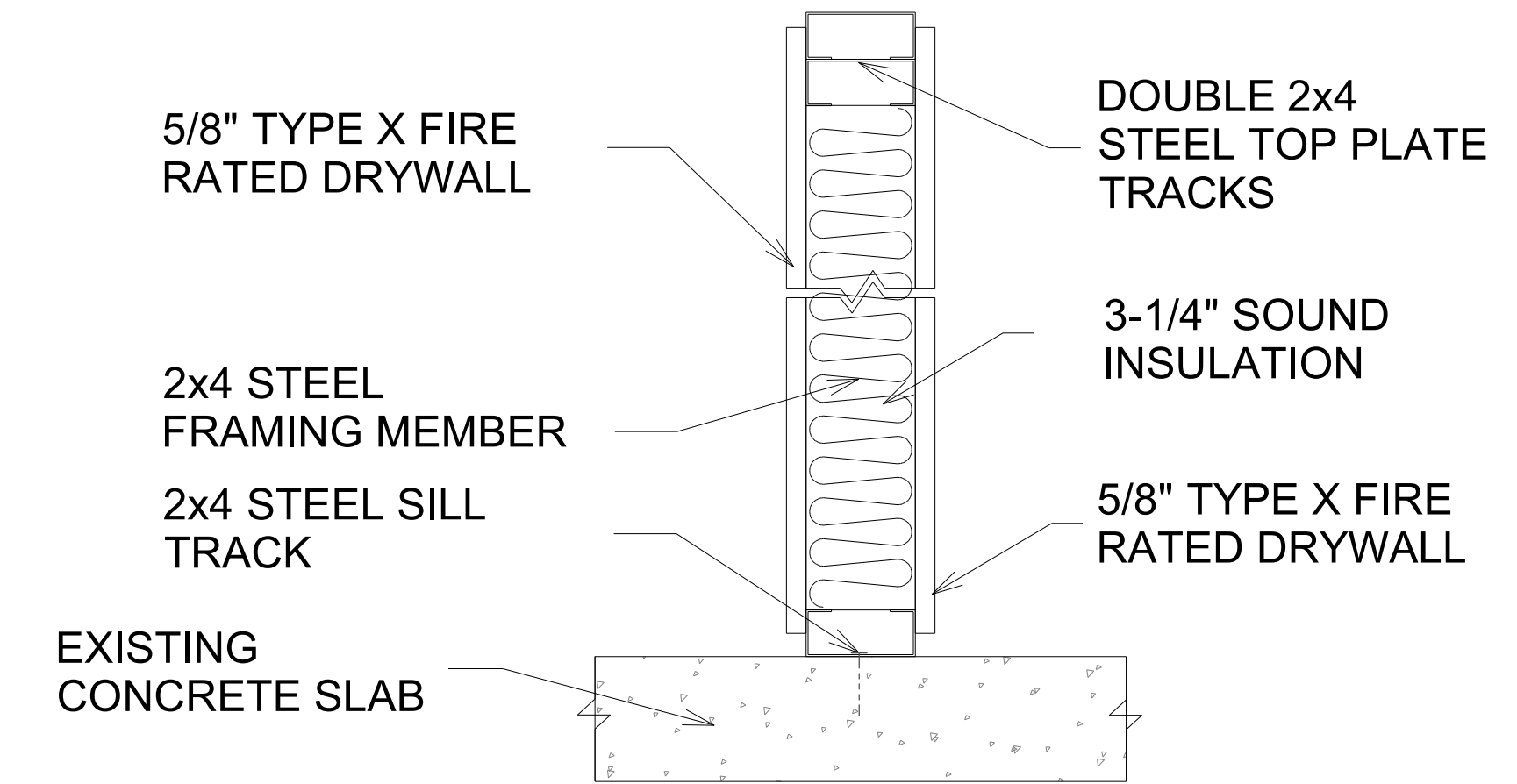
**S.2**



**FD1**  
S.2 Interior Footer Detail

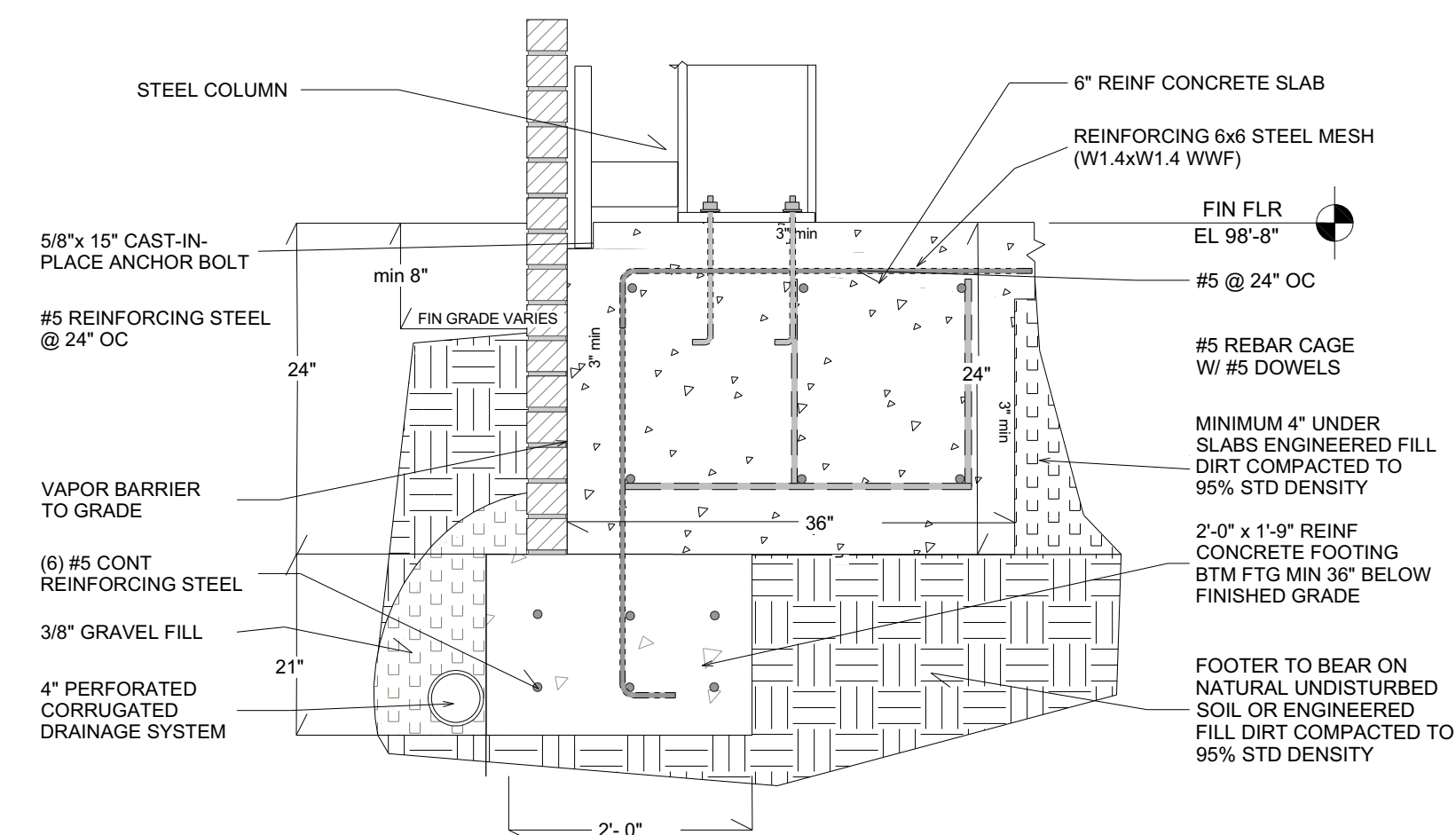


**FD2**  
S.2 Firewall Detail

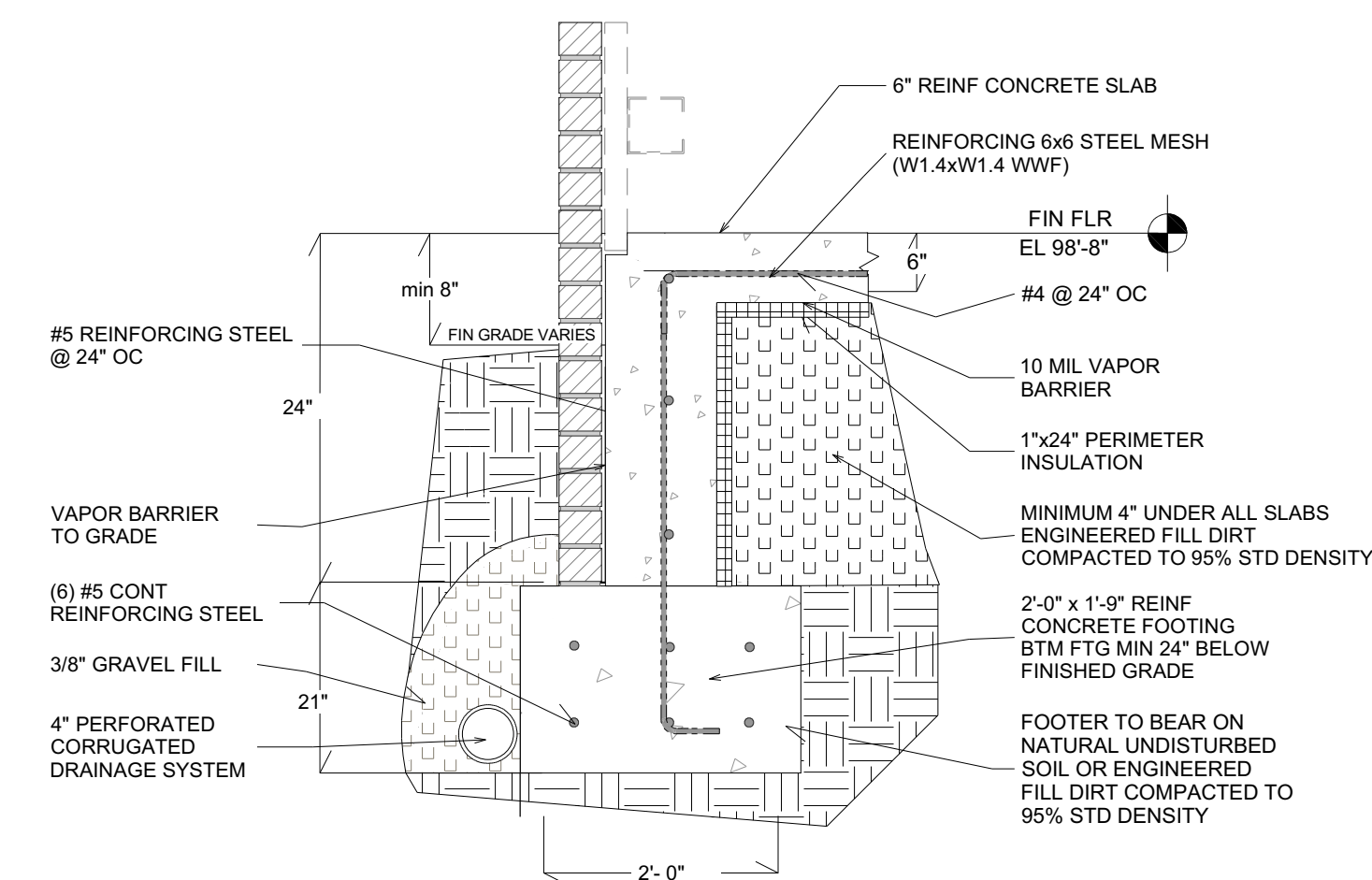


**FD3**  
S.2 Interior Wall Detail

**SAMPLE PLANS  
Not For Construction**



**FD5**  
S.2 Stem wall w/ Stone  
Masonry Detail



**FD6**  
S.2 Stem Wall Detail

**ELECTRICAL NOTES:**

Owner shall do a walk-thru with Contractor and relevant installers to verify the exact location for outlets, lights, switches, cable, data, phone, audio, etc. upon completion of dry-in.

- Electrical notes:
1. Electrical receptacles in bathrooms, kitchens and garages shall be GFCI protected, per national electrical code requirements.
  2. Provide one smoke detector in each room and one in each corridor accessing bedrooms. Connect smoke detectors to house power and inter-connect smoke detectors. Provide battery backup for all units.
  3. Circuits shall be verified with Owner prior to wire installation.
  4. Final switches for timers and dimmers shall be verified with Owner.
  5. Fixtures to be selected by Owner.

- Audio:
1. Locate speakers and audio controls as indicated in the plan; run circuit of speaker wiring to audio home panel specified by floor;
  2. Audio speakers to be approved by Home Owner;
  3. Locate jacks as indicated in the plan; install data / cable panel similar to "on q". System to be approved by Home Owner.

Locate security panels as indicated in the plan; system to be approved by Owner.

All electrical work shall be in accordance with NREL construction and safety guidelines, policies, procedures and the latest edition of the National Electric Code, NEC.

Electrical Contractor shall reference Manufacturer specifications and instructions for all fixture and appliance installations.

These Drawings are diagrammatic in nature and do not necessarily show all materials needed for a complete installation. Electrical contractor to confirm final fixture, appliance and outlet/switch locations with Owner and General Contractor prior to final installation.

Locations and information for existing electrical devices, equipment and circuitry is approximate. Actual location may vary from actual field conditions. Electrical Contractor to verify actual field conditions and notify General Contractor if and discrepancies become present.

All panel boards to be completely de-energized when all covers are removed.

Electrical Contractor to place copy of updated panel schedule in panel door and provide General Contractor with any redlines for as-built drawing updates.

Electrical Contractor to review all architectural, structural and mechanical drawings and specifications for conditions that might affect the electrical design intent.

Do not scale drawings. Verify dimensions on Construction Drawings and in field conditions prior to commencement of work.

All electrical penetrations through fire-rated assemblies shall be sleeved and sealed with code-approved fire barrier materials.

Install fire-stopping putty pads on outlet/switch boxes in fire rated walls or use fire-rated boxes if permitted.

Circuits shown schematically for clarity. Actual circuit routing to be coordinated in field with Plumbing, Mechanical and Framing Contractors.

Electrical Contractor to make all final connections to equipment. Final connections to equipment shall be in accordance with Manufacturers approved wiring diagram/ instructions.

Coordinate equipment sizes with room sizes. Electrical Contractor to verify that all electrical equipment ordered can be installed while maintaining code required clearances.

Lighting fixtures, panels, fused switches, circuit breakers, fire alarm equipment and etc. shall become the property of the Owner.

All systems shall be tested for proper operation. All defective equipment shall be replaced by Electrical Contractor at no expense to owner.

Electrical Contractor to coordinate with local telecommunications Contractor for raceway requirements and locations for phone and television outlets and junctions.

Do not install heat pump shut-off throws directly behind unit.

Multiple light switches shall be located in multiple gang box with single cover plate.

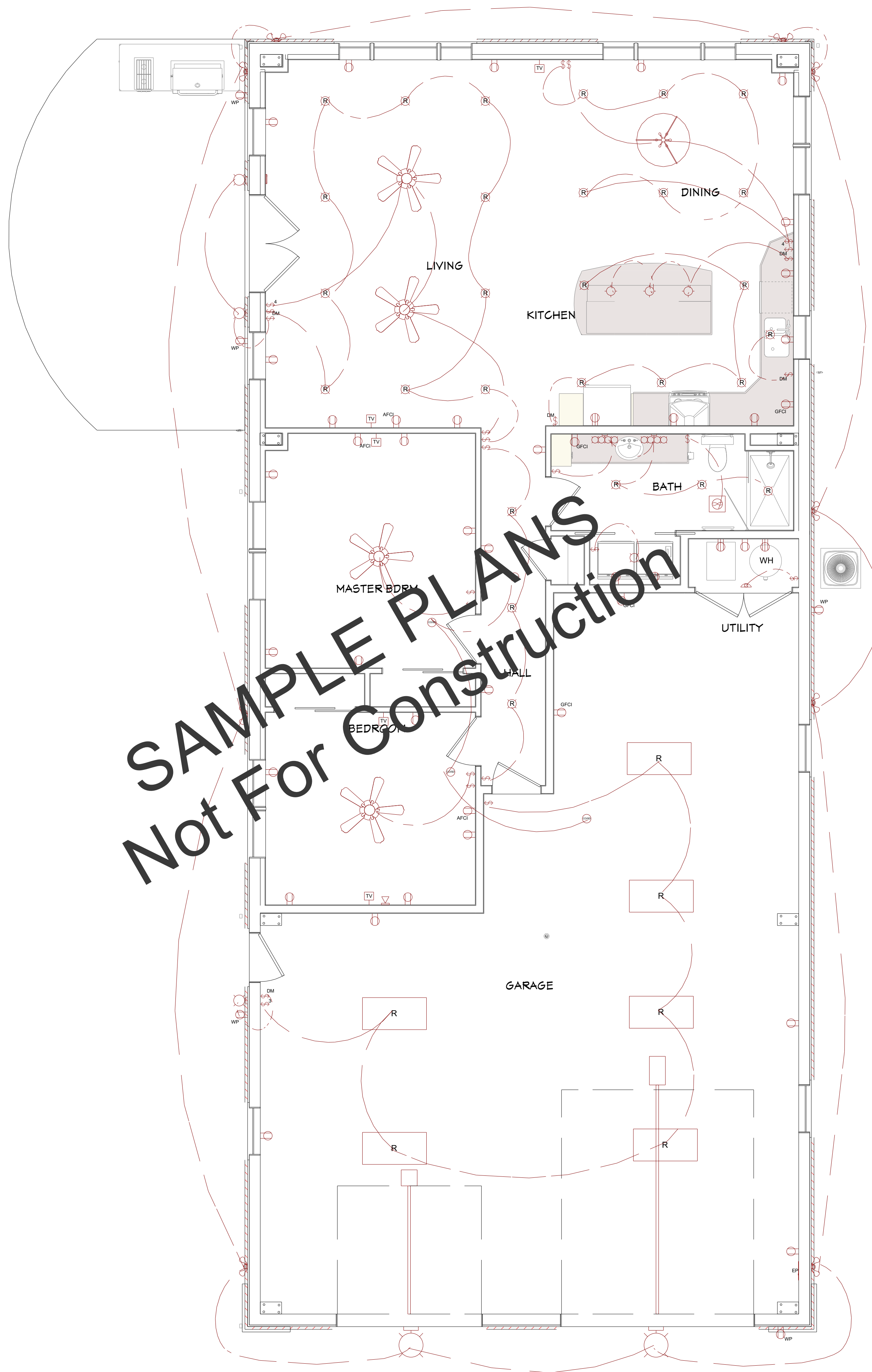
All bedrooms circuits, including lights, to be arc-fault protected.

Mount wall switches 48" OC above finished floor.

Mount Outlets 15" OC above finished floor.

Above counter outlets to be mounted at 43" OC above finished floor.

Max Breaker panel height: 6'-8" above floor.



Main Level  
Electrical Plan  
Scale: 1/4"=1'

**SHEET NOTES:**

- New service to be 150 amp metered panel.
- Service to be buried from nearest utility to meter.
- Meter to be located outside fencing and mounted to exterior wall.
- Corresponding breaker panel to be located in garage.
- All electrical fixtures to meet or exceed Energy Star.
- All ceiling fans to meet or exceed Energy Star.
- All bath fans to meet or exceed Energy Star.
- Vanity height 36" plus 4" backsplash.
- All recessed light fixtures to have compact fluorescent spot bulb.
- All appliances to meet or exceed Energy Star.
- All recessed light fixtures to be switched with dimmer switches.
- All ceiling fan light fixtures to be switched separately from fan.
- Bath fan installation to be coordinated with Mechanical Contractor.
- New independent security system. Security system to be chosen by Owner.
- Security system installation to be coordinated between General Contractor, Electrical Contractor, Security Contractor and Owner.
- Security system to include window and door sensors, glass break sensors, motion sensors and one control panel per unit.
- All electrical outlets and switches to be at standard heights.
- All electrical outlets and switches located in bar half-wall to be install horizontally, 38-1/4" to center.
- Electrical Contractor to install doorbell & chime for front door on main level.

ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel



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**E.1**