

COMMUNICATING WITH
CONSTRUCTION DRAWINGS

PART THREE

3D RENDERINGS

Architects & Builders make it happen

Architects design homes & buildings. Builders built the home from the architect's blueprints.

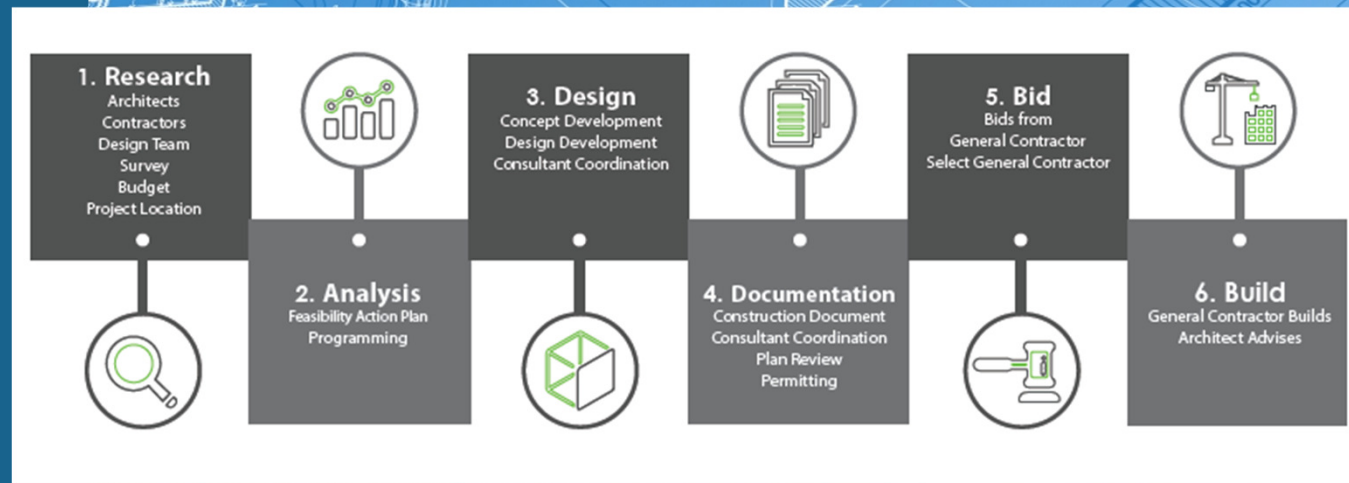
Architects have a unique 4-step process:

A. Architects first LISTEN carefully to their Clients to document their desired LIFESTYLES and FUNCTIONAL NEEDS.

B. Architects also ANALYZE THE LAND on which a project is to be built, to understand its characteristics and opportunities.

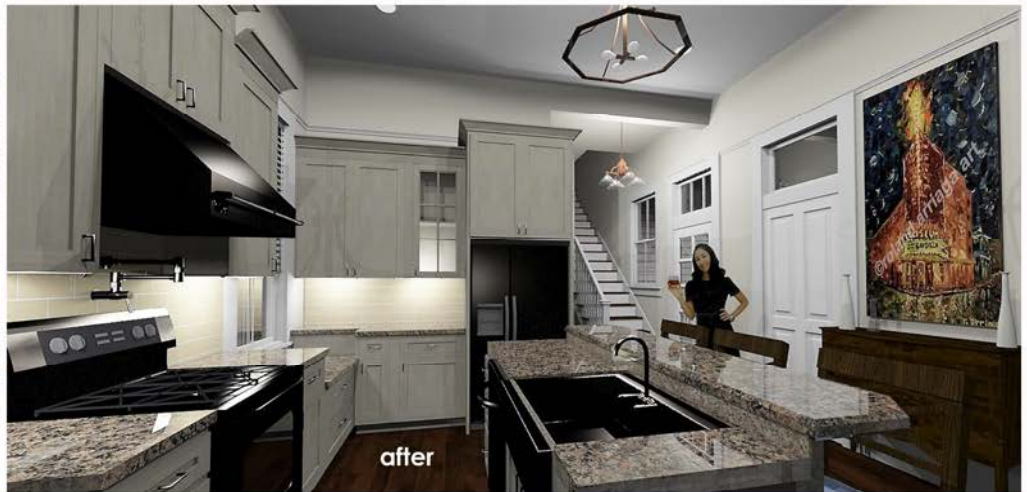
C. Architects then INVENT A CONCEPT(s) for the project that is/are suggested by your Lifestyle, Functions & Land. This Concept(s) has architectural implications that are artistic, inspirational and technical.

D. Architects then DESIGN homes, buildings, spaces, materials and energies that recall imagery of the Project Concept(s) and that perform in an outstanding Functional manner for you and your Lifestyle, integrating well with your Land.





before



after



before



after

A·D
ARCHITECTS, L.L.C.



proposed design for private home
pan american hwy.1 Santiago, Veraguas Province, Panama
mr. & mrs. rafael young virzi

A·D
ARCHITECTS, LLC





15M²

1300 840

1100
840
1800
1500
840

650







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Before



After



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After



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FEASIBILITY / NEEDS & ASSESMENT STUDIES

When a design is started without an answer to specific questions that establish proper groundwork for any project, it means significant design changes later, with time and cost overruns during construction because of insufficient information and discrepancies in the plans.



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HOUSTON NEW ORLEANS

The Needs and Assessment Report

helps clients, building owners & facility managers, and developers achieve positive results by establishing solid starting points and putting all the technical and regulatory aspects of a project together into an understandable order of importance resulting in constructible architectural designs and well-coordinated construction documents that will save time and money and prevent disappointments later.



ComNet LLC





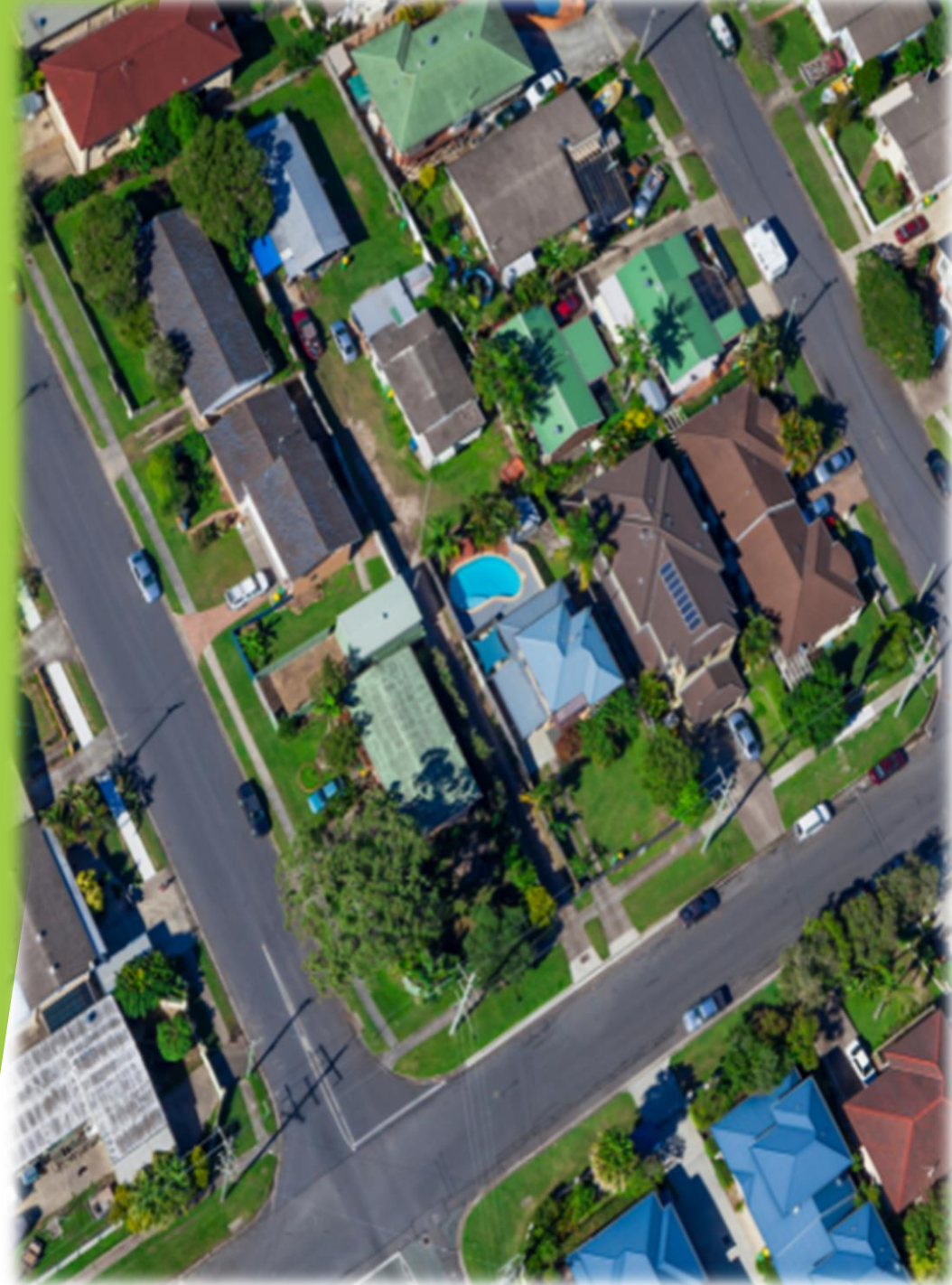
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HOUSTON NEW ORLEANS

The background is a detailed architectural floor plan in white lines on a blue background. It shows various rooms, corridors, and furniture layouts. Several rooms are labeled with their areas: 15m², 8m², 4m², 18m², 10m², 44m², and 10m². Dimensions are given in millimeters, such as 3000, 1500, 840, 1500, 940, 1800, 1650, 3600, 1500, 940, 940, 6700, and 650. The text 'End of Presentation' is centered in the upper half, and 'Question & Answer' is centered in the lower half. A thick black horizontal line is drawn across the middle of the plan, passing through the 18m² room and the 10m² room below it.

End of Presentation

Question & Answer



CLEM JR DEVELOPMENT

**CREATING NEIGHBORHOOD DEVELOPERS
PROJECT DEVELOPMENT & CONSTRUCTION**

KNOW YOUR MARKET AREA

- ▶ 1. WHO ARE BUYING THE HOMES
- ▶ 2. IS THERE A SHORTAGE OF AFFORDABLE HOMES IN THIS MARKET
- ▶ 3. IS IT FEASIBLE TO BUILD IN THIS MARKET
- ▶ 4. WHAT TYPE OF HOUSE/S CAN I BUILD
- ▶ 5. WILL I GET THE REVENUE I AM EXPECTING

BUILDING RELATIONSHIP WITH THE RIGHT PLAYERS:

1. BUILD A RELATIONSHIP WITH YOUR BANK
2. KNOW YOUR BANK DECISION MAKING PROCESS
3. NEVER BRING YOUR BANK A BAD DEAL



FINANCIAL STATEMENTS

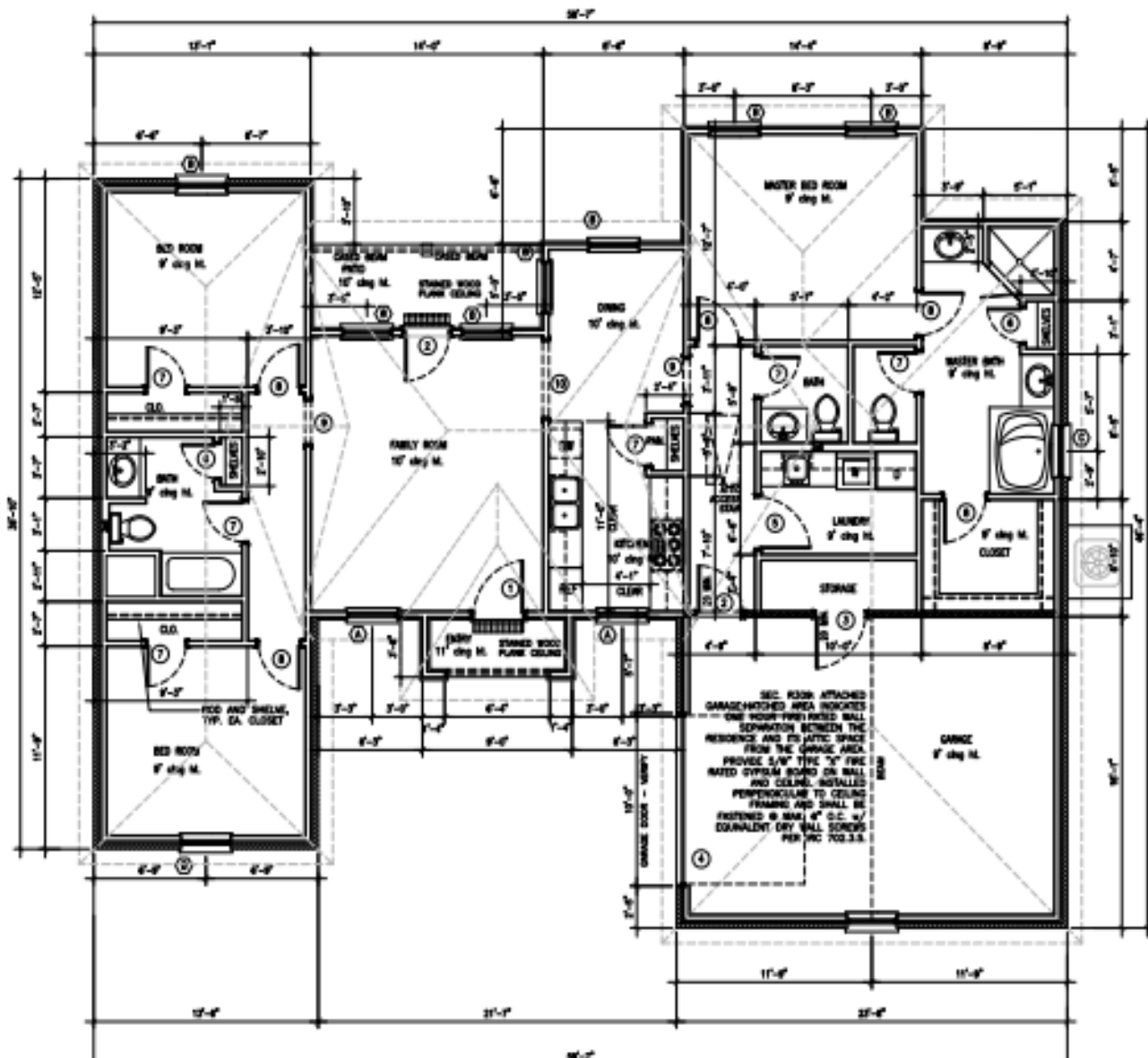
1. YOU HAVE TO HAVE A BALANCE SHEET
2. YOU HAVE TO HAVE A PROFIT & LOSS SHEET
3. PROVIDE THE LAST THREE YEAR TAX RETURNS



LOCAL ECONOMIC DEVELOPMENT OFFICERS - DIRECTORS - MANAGERS

- ▶ **1. DOES THE CITY OR PARISH HAVE MONEY TO DISPERSE?**
- ▶ **2. HOW MUCH LIQUIDITY DO YOU HAVE TO PLEDGE TO THE PROJECT**
- ▶ **3. MAKE SURE YOU MAKE A PROFIT**

BLUEPRINTS



NOTES

- G.C. TO COORDINATE GAS SERVICE REQUIREMENTS WITH THE OWNER.
 G.C. TO CONSULT AND COORDINATE WITH OWNER AND THE PLANS FOR ALL BUILT IN REQUIREMENTS INCLUDING SHELVING, CLOSETS, PANTRY, BOOKCASES, ETC.
- G.C. TO CONSULT AND COORDINATE WITH OWNER CONCERNING REQUIREMENTS FOR SECURITY SYSTEMS AND ANY AUDIO, COMPUTER OR TELEVISION (INCLUDING SATELLITE) SYSTEMS.
- G.C. TO VERIFY EXISTING TOPOGRAPHIC GRADE LEVELS, LOCATION OF TREES AND THE PROPOSED HOUSE LOCATION. G.C. TO COMMUNICATE TO OWNER ANY RECOMMENDED CHANGES BEFORE THE START OF WORK.
- G.C. TO LOCATE ALL UTILITY SERVICES I.E. WATER, SEWER, GAS, ELECTRIC, TELEPHONE, CABLE TV AND COORDINATE THE EXTENSIONS TO THE HOUSE WITH THE APPROPRIATE INSTALLER. ALL CONNECTIONS, METERS, CLEAN OUTS, ETC. TO BE LOCATED AWAY FROM THE PROMINENT VIEW.
- G.C. TO COORDINATE FINISH TOPOGRAPHIC GRADING AND PAVING OF WALKS, DRIVEWAYS, PATIOS, ETC., AS REQUIRED FOR POSITIVE DRAINAGE AWAY FROM HOUSE.
- G.C. TO COORDINATE ALL LANDSCAPING WITH THE OWNER AND DETERMINE WHETHER THE LANDSCAPING PACKAGE IS TO BE PROVIDED BY GENERAL CONTRACTOR OR BY OWNER.
- GENERAL CONTRACTOR TO INSPECT THE JOB SITE AND EXAMINED CONDITIONS PRIOR TO STARTING CONSTRUCTION G.C. TO COMMUNICATE WITH OWNER ANY CONDITIONS REGARDING SOILS, GROUND WATER OR ANY OTHER ISSUE WHICH MAY REQUIRE ADDITIONAL OR SPECIAL ENGINEERING DESIGN BY A LICENSED STRUCTURAL ENGINEER.
- G.C. TO ENSURE THAT FINISH FIREPLACE CONSTRUCTION MEETS OR EXCEEDS ALL APPLICABLE CODES. PROVIDE COMBUSTIBLE AIR VENTS, WITH SCREENS AND BACK DAMPERS, FOR FIREPLACES, WOOD STOVES AND ANY APPLIANCE WITH AN OPEN FLAME. ALL FIREPLACE CHASE WALLS TO BE INSULATED INSIDE AND OUTSIDE. PROVIDE HORIZONTAL DRAFT STOPS AT EACH FLOOR LEVEL, BY PACKING R" (8-12) INSULATION BETWEEN JOIST.
- G.C. TO VERIFY FOOTING DEPTHS WITH LOCAL FROST REQUIREMENTS OR EXISTING SOIL CONDITIONS, WHICHEVER IS MORE RESTRICTIVE.
- G.C. TO VIEW ALL FINISH FLOOR MATERIALS, ALL FINISH FLOORS TO BE INSTALLED TO BE FLUSH WITH ADJACENT FLOORS OF SIMILAR OR SUPERIOR MATERIALS, G.C. TO ADJUST THE FOUNDATION AS REQUIRED TO ENSURE THAT ALL FLOORS ARE FLUSH.
- G.C. IS RESPONSIBLE FOR CONSULTING WITH LOCAL CODE OFFICIALS PRIOR TO USING THE FRAMING MATERIALS PROVIDED TO INSURE COMPLIANCE WITH CODES AND STRUCTURAL INTEGRITY. DUE TO VARIATIONS IN LOCAL CODES AND GEOLOGICAL CONDITIONS, REVISIONS MAY BE REQUIRED TO THESE PLANS.
- ALL WOOD FRAMING IN CONTACT WITH CONCRETE OR MASONRY TO BE PRESURE TREATED.
- FLOOR FRAMING LAYOUT TO BE COORDINATED WITH THE GENERAL AND HVAC CONTRACTORS TO PROVIDE ACCESS CHANGES AND UNOBSTRUCTED RUNS FOR HVAC DUCTWORK.
- PROVIDE R-12 BATT INSULATION IN 2nd WALLS AND R13 IN 2nd WALLS, WINDOW R-30 INSULATION IN FLAT CEILING AND R-15 IN VAULTED CEILING. ALLOW 1/2" MIN. AIRSPACE BETWEEN SHEATHING AND INSULATION. INSTALL INSULATION WITH BARRIER TO MOIST SIDE.
- ALL BATH AND TOILET AREA WALLS AND CEILINGS ADJACENT TO NET AREAS TO HAVE WATER RESISTANT GYPSON BOARD.
- BATHROOMS AND UTILITY ROOMS TO BE VENTED TO THE OUTSIDE WITH A MIN. OF 90 CFM FAN. RANGE HOODS TO BE VENTED TO OUTSIDE.
- ALL GLASS LOCATED WITHIN 18" OF FLOOR, 34" OF A DOOR OR 84" OF FLOOR AT BATHUBS, WHIRLPOOLS, SHOWERS, SAUNAS, STEAM ROOMS OR HOT TUBS TO BE TEMPLER.
- PROVIDE TEMPERE TREATMENT PRIOR TO POURING SLAB.

OPENING SCHEDULE

NO.	SIZE (W x H)	THICK	DESCRIPTION
1	2'-0" x 7'-0"	1 3/4"	EXTERIOR GRADE, 90 WOOD, FULL LITE
2	2'-0" x 6'-0"	1 3/4"	EXTERIOR GRADE, 90 WOOD, FULL LITE
3	2'-0" x 6'-0"	1 3/4"	EXTERIOR GRADE, INSULATED, METAL
4	10'-0" x 7'-0"	ETC.	GRADE DOOR W/ DOOR OPENER
5	2'-0" x 6'-0"	1 3/4"	INTERIOR GRADE, SMOOTH MASONRY
6	2'-0" x 6'-0"	1 3/4"	INTERIOR GRADE, SMOOTH MASONRY
7	2'-0" x 6'-0"	1 3/4"	INTERIOR GRADE, SMOOTH MASONRY
8	2'-0" x 6'-0"	1 3/4"	INTERIOR GRADE, SMOOTH MASONRY
9	2'-0" x 7'-0"		CEILING OPENING
10	2'-0" x 7'-0"		CEILING OPENING

ALL WINDOWS TO BE INSULATED UN 1" ALL WINDOWS TO BE COORDINATED WITH OWNER BEFORE INSTALLATION

NO.	SIZE (W x H)	DESCRIPTION
A	2'-0" x 6'-0"	SINGLE HUNG, WHITE ALUMINUM, INSULATED
B	2'-0" x 6'-0"	SINGLE HUNG, WHITE ALUMINUM, INSULATED
C	2'-0" x 2'-0"	GLASS BLOCK

DOOR AND WINDOW HEADER SPANS

UP TO 2'-0"	2 - 2 x 4
2'-0" TO 4'-0"	2 - 2 x 6
4'-0" TO 6'-0"	2 - 2 x 8
6'-0" TO 8'-0"	2 - 2 x 10
8'-0" TO 10'-0"	2 - 2 x 12
10'-0" TO 12'-0"	2 - 2 x 12 WITH 1/2" FLANGED PLATE
12'-0" TO 14'-0"	2 - 11-1/2" MICRO-LAM

BRICK LINTEL STEEL ANGLE SIZES

FOR OPENING WITH BRICK ABOVE WINDOW 4" SPACING AT EACH END	
UP TO 4'-0"	3-1/2" x 3-1/2" x 1/4"
4'-0" TO 6'-0"	4" x 3" x 3/8"
6'-0" TO 10'-0"	6" x 4" x 3/8"
10'-0" TO 14'-0"	6" x 4" x 1/2"
14'-0" TO 20'-0"	(2) 6" x 4" x 1/2"

- CONTRACTOR TO COORDINATE ALL APPLIANCES WITH PRIOR TO INSTALLATION.
 - CONTRACTOR TO COORDINATE ALL COUNTER, TOPS, CABINETS, SHELVES AND MILLWORK WITH OWNER PRIOR TO INSTALLATION.
- NOTE:
 LOCAL VARIATIONS MAY REQUIRE CHANGES BUILDING CODE REQUIREMENTS VARY WITH LOCATION AND CHANGE FROM TIME TO TIME. BEFORE STARTING CONSTRUCTION, THE BUILDER MUST REVIEW AND BE RESPONSIBLE TO INSURE THAT THE RESIDENCE TO BUILT TO MEET ALL CURRENT GOVERNMENT REQUIREMENTS AND CODES IN THE PARTICULAR AREA.
- COORDINATE ALL FLOOR FINISHES WITH OWNER BEFORE INSTALLATION.
 COORDINATE ALL MILLWORK WITH OWNER BEFORE INSTALLATION.
 EACH CRAFT SHALL BE RESPONSIBLE FOR CLEANING THEIR PORTION OF WORK.



FINAL MOLDING TYPES) AND QUANTITY TO BE APPROVED BY THE OWNER PRIOR TO INSTALLATION.

AREA CALCULATIONS

LIVING	= 1,496 SQ.FT
GARAGE/STORAGE	= 459 SQ.FT
PORCH/PATIO	= 102 SQ.FT
TOTAL SQ.FT	= 2,057 SQ.FT

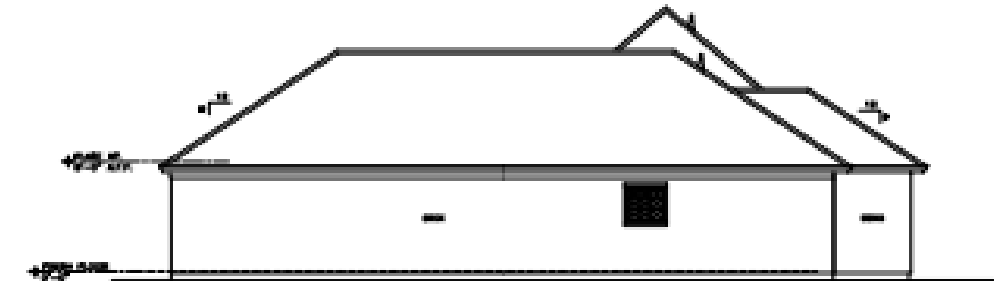
DESIGNER:
 EDWARD SMITH
 5180 HARDING ST., BAKER, LA.
 (225) 804-6448

NEW RESIDENCE FOR
CLEM JR. DEVELOPMENT, LLC
 RUE MAURY STREET
 TRACT D
 VILLE PLATTE, LA 70088

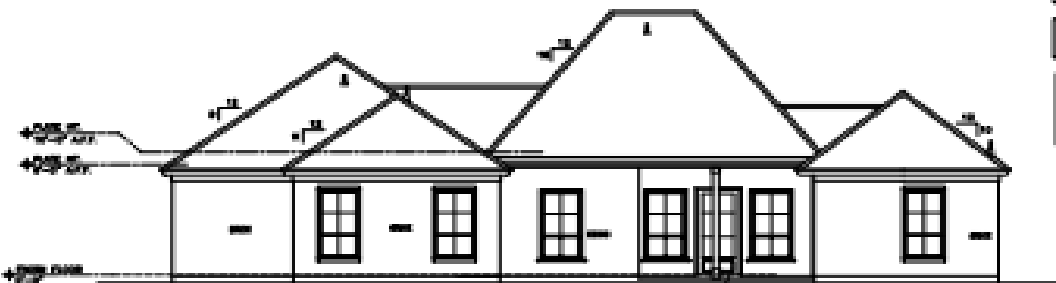
THE DESIGNER STANDS NO LIABILITY FOR



1 ENTRY ELEVATION
SCALE: 1/4" = 1'-0"



2 SIDE ELEVATION
SCALE: 1/4" = 1'-0"



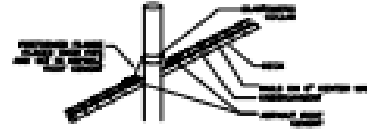
3 REAR ELEVATION
SCALE: 1/4" = 1'-0"

REAR ELEVATION SHALL BE APPROVED BY A LICENSED ARCHITECTURAL FIRM AT THE OWNER'S RISK AND EXPENSE.

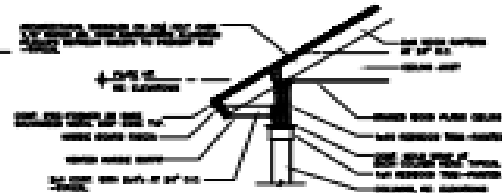
ALL ROOF FLASHINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND SHALL BE PROTECTED BY A MINIMUM OF 2" OF FINISH MATERIAL OVER THE FLASHING.

ALL ROOF FLASHINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND SHALL BE PROTECTED BY A MINIMUM OF 2" OF FINISH MATERIAL OVER THE FLASHING.

REAR ELEVATION SHALL BE APPROVED BY A LICENSED ARCHITECTURAL FIRM AT THE OWNER'S RISK AND EXPENSE.



9 ROOF VENT DETAIL
SCALE: 1/4" = 1'-0"



7 EXTERIOR WALL SECTION
SCALE: 1/4" = 1'-0"



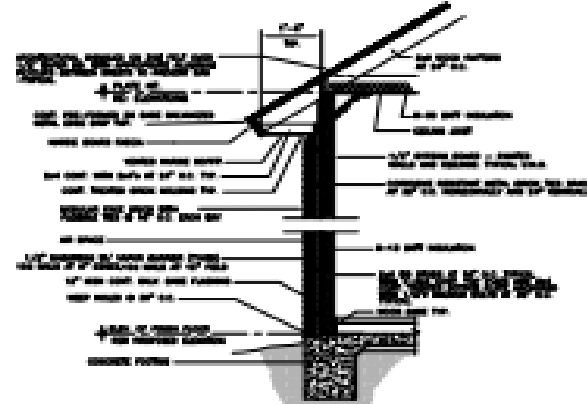
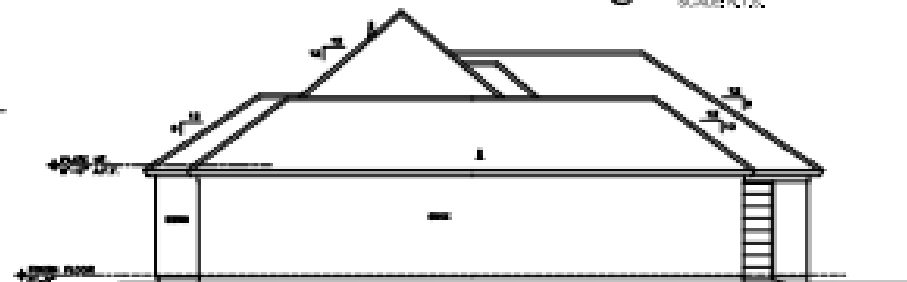
6 ROOF DETAIL
SCALE: 1/4" = 1'-0"

ALL EXTERIOR WALLS SHALL BE APPROVED BY A LICENSED ARCHITECTURAL FIRM AT THE OWNER'S RISK AND EXPENSE.

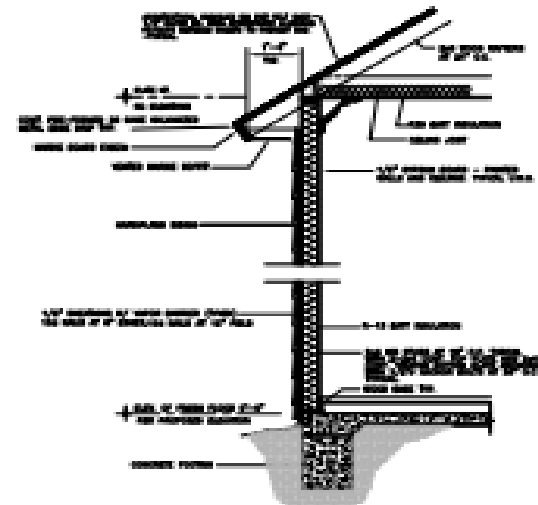
ROOF FLASHING SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS AND SHALL BE PROTECTED BY A MINIMUM OF 2" OF FINISH MATERIAL OVER THE FLASHING.

REAR ELEVATION SHALL BE APPROVED BY A LICENSED ARCHITECTURAL FIRM AT THE OWNER'S RISK AND EXPENSE.

4 SIDE ELEVATION
SCALE: 1/4" = 1'-0"



8 EXTERIOR WALL SECTION
SCALE: 1/4" = 1'-0"



5 EXTERIOR WALL SECTION
SCALE: 1/4" = 1'-0"

GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL RESIDENTIAL CODE BOOKS AND ALL APPLICABLE LOCAL ORDINANCES.
2. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS.
3. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE LOCAL JURISDICTIONS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS.
5. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

ELEVATION NOTES

1. ALL ELEVATIONS SHALL BE APPROVED BY A LICENSED ARCHITECTURAL FIRM AT THE OWNER'S RISK AND EXPENSE.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS.
3. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE LOCAL JURISDICTIONS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS.
5. ALL WORK SHALL BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.

DESIGNED BY
DRAWN BY
CHECKED BY

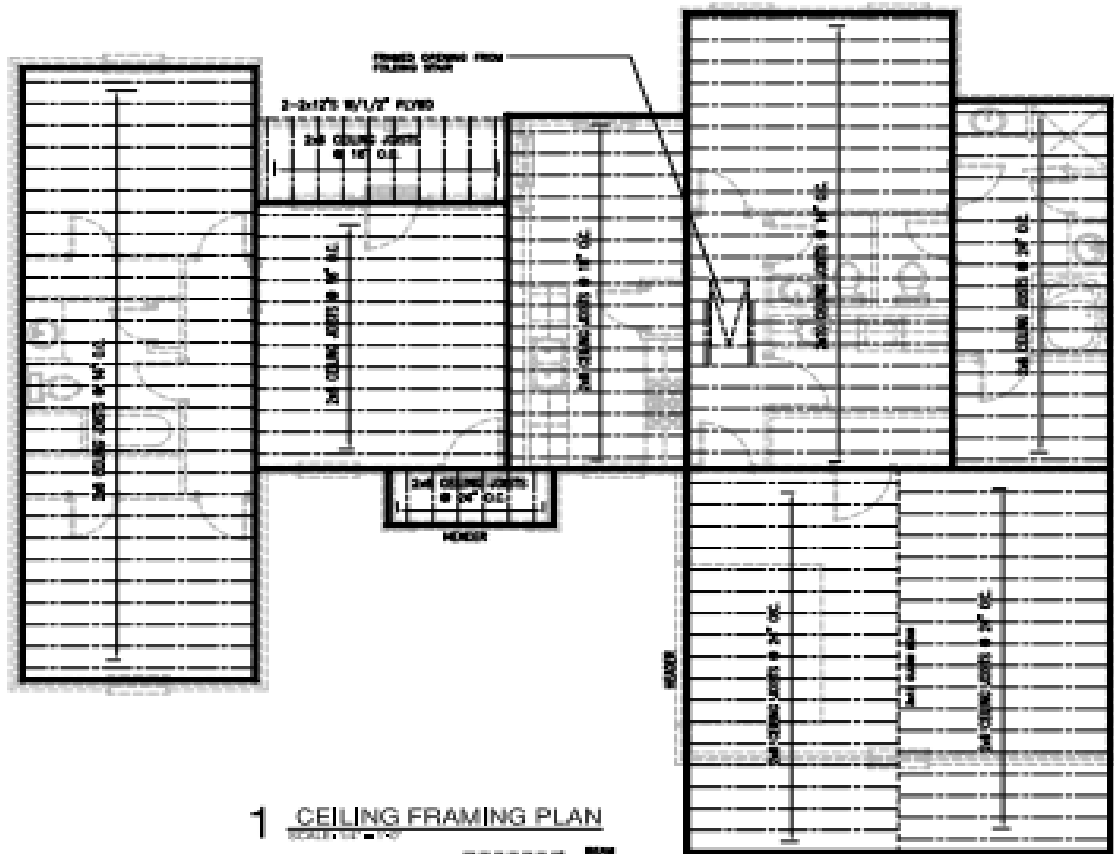
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CLEM JR. DEVELOPMENT, LLC
RUE HENRY STREET
TRACT 10
BELL PLATTE, LA 70808

THE DESIGNER ASSUMES NO LIABILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON AND DOES NOT WARRANT THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL JURISDICTIONS.

NO.	REVISIONS	DATE

PROJECT NO.
DRAWN BY
DATE: **Jul 16, 2024**

SHEET NO.
A2

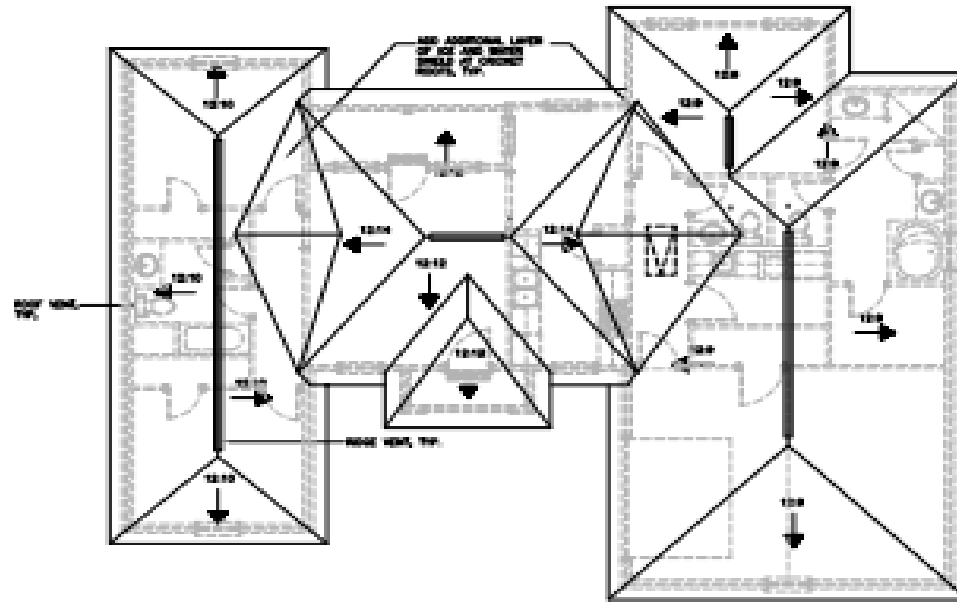


1 CEILING FRAMING PLAN
SCALE: 3/16" = 1'-0"

----- JOIST
 _____ TRUSS
 DASHED LINE: HANGING WALL
 SOLID LINE: ROOF AND FLOOR BRACING PER CODE.

Hurricane Strapping & Bracing

- Exterior PT sole plates to conc. foundation - use Simpson MAS @ 24" O.C. (or approved equal)
- Truss/Rafter Ties - use Simpson HG 18 gauge strap ties @ 24" o.c. (see truss)(or approved equal).
- Shear Walls/Wall Bracing: 1/2" plywood sheathing @ 12" and 6" O.C. to tie with 1/2" nail penetration into studs @ all exterior walls.

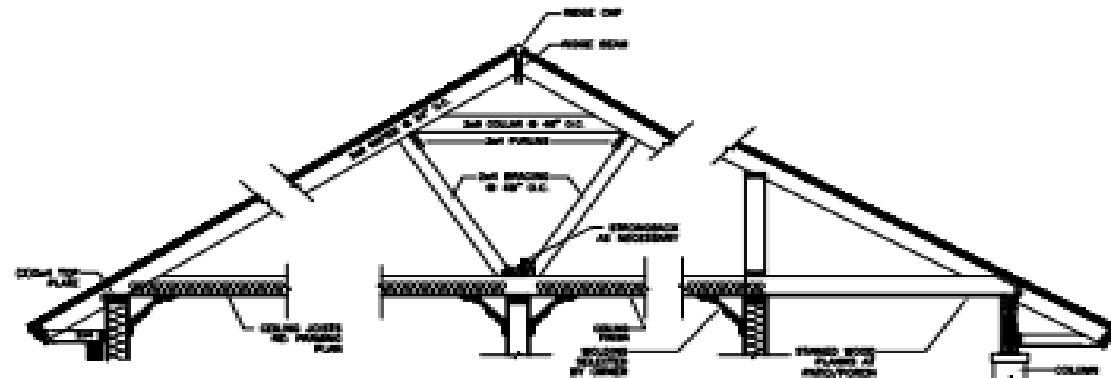


2 ROOF PLAN
SCALE: 3/16" = 1'-0"

NOTE: CONTRACTOR TO VERIFY ALL ROOF SLOPES FROM TO CORRELATION.

ALL TRUSS JOIST MEMBERS, STUDS AND ROOF PILES SHALL BE SET A MINIMUM FROM SEA-LEVEL WITH THE EXISTING FINISH OF THE EXTERIOR.

ALL MEMBERS OF ROOFING SHALL BE AS SHOWN UNLESS NOTED OTHERWISE. ALL JOISTS SHALL BE 2x4x12 1/2 1/2\"/>



3 TYPICAL ROOF DETAIL
SCALE: 3/16" = 1'-0"

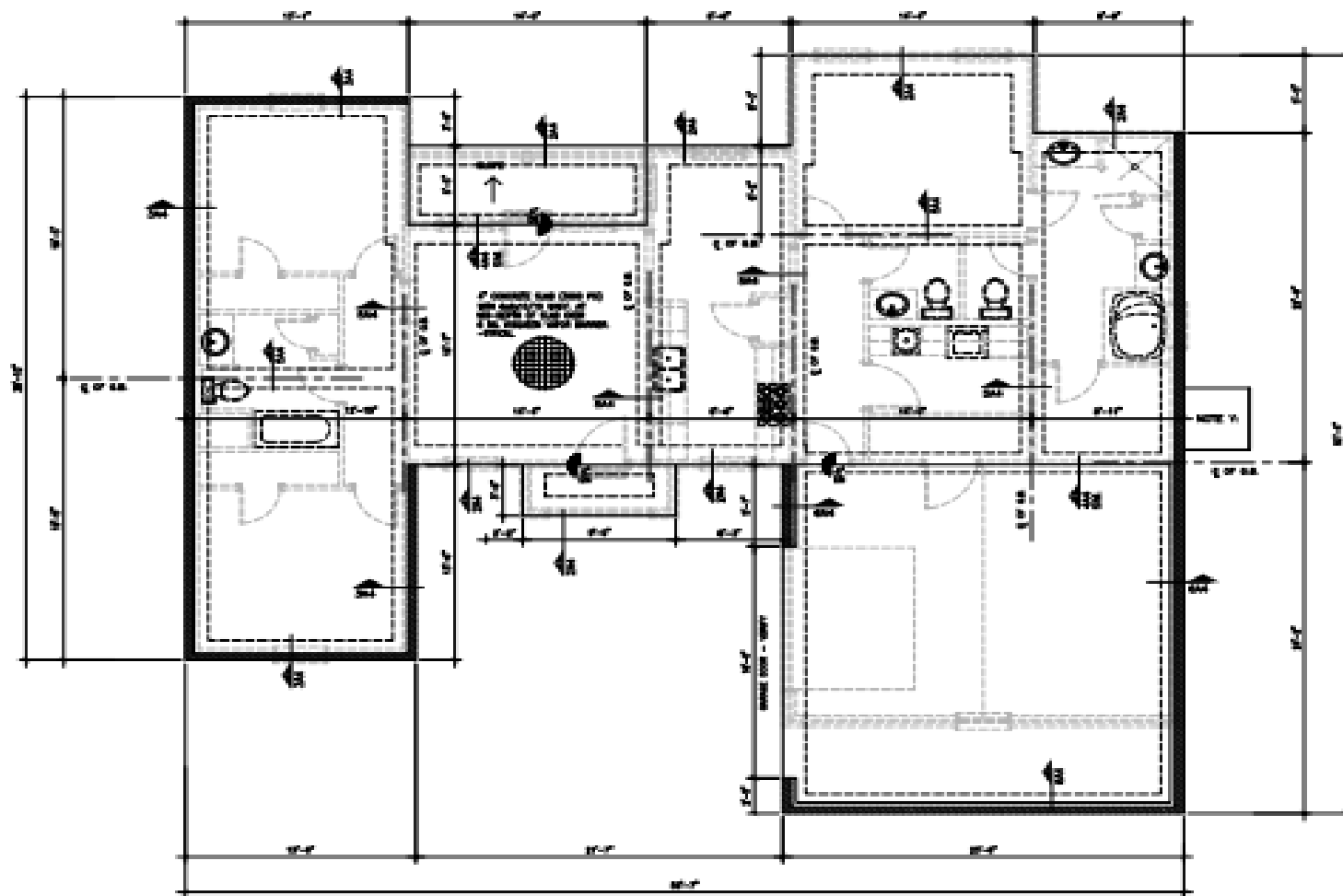
DESIGNER:
 SCOTT W. SMITH
 1101 HARBOR BLVD., SUITE 100, LA.
 MOBILE, AL 36688

NEW RESIDENCE FOR
CLEM JR. DEVELOPMENT, LLC
 100 GALAXY STREET
 TRACT D
 HALE PLATTE, LA 70000

THE DRAWING SHALL BE VALID FOR THE PROJECT ONLY. ANY CHANGES TO THE PROJECT SHALL BE MADE BY THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED HEREON. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY OTHERS.

NO.	REVISION	DATE

PROJECT NO. DRAWING NO. DRAWING CHECKED	SHEET NO. A3 JUN. 18, 2021
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1 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

GENERAL NOTES

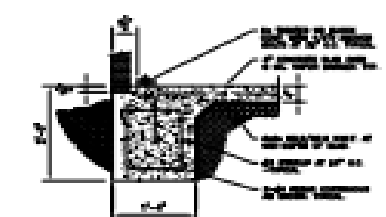
FOUNDATION EXISTENCE:
 1. EXISTING FOUNDATION SHALL BE REMOVED AND RECONSTRUCTED AS SHOWN ON THIS PLAN.
 2. EXISTING FOUNDATION SHALL BE REMOVED AND RECONSTRUCTED AS SHOWN ON THIS PLAN.
 3. EXISTING FOUNDATION SHALL BE REMOVED AND RECONSTRUCTED AS SHOWN ON THIS PLAN.

- A. APPLICABLE DESIGN CODES & MISCELLANEOUS**
 2015 INTERNATIONAL RESIDENTIAL CODE
 ACI 308 CONCRETE REPAIRS
 AMERICAN INSTITUTE OF STEEL CONSTRUCTION
- B. CONCRETE AND GROUT**
 CONCRETE MIXING, HANDLING, PLACING AND CURING SHALL BE IN ACCORDANCE WITH ACI 308.
 GENERAL CONTRACTOR TO VERIFY SOIL COMPACTION OF 95% PROCTOR OR BETTER PRIOR TO CONSTRUCTION.
 ALL CONCRETE SHALL BE NORMAL WEIGHT AND SHALL DEVELOP A MINIMUM COMPRESSIVE TENSION OF 2800 PSI IN 28 DAYS WITH A MINIMUM PORTLAND CEMENT CONTENT OF 0.15 BARS PER CUBIC YARD.
 ALL CONCRETE SHALL CONTAIN A MINIMUM SLAB OF 4" THICK REINFORCED WITH A SUPERPLASTICIZER ADJUSTER.
 ALL JOINTS SHALL BE NOTED ON THIS JOB.

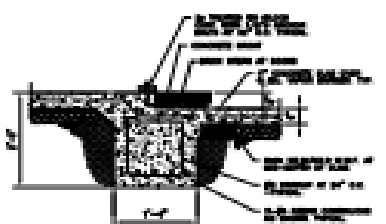
- C. GROUT REINFORCEMENT**
 ALL GROUT SHALL BE NON-SHrink GROUT.
 ALL FLOOR DRAINS, DROPP CURBS, ETC. SHALL BE CONCRETE WITH REINFORCEMENT AND BEGRINDING COMBUSTIBLE.
 ALL EXPOSED SURFACES OF BRICK, MORTAR, STUCCO AND PLASTER SHALL BE POLYURETHANE FORMED AND COATED WITH A WATER RESISTANT MEMBRANE.
 ALL REBAR SHALL BE GRADE 60 (FY = 60,000 PSI MINIMUM).
 REBAR BARS AT GROUND FLOOR SLAB TO BE #4 REINFORCEMENT.
 REINFORCE ALL GROUND BEAM TOP BARS AT THE END OF THE GRADE BEAM.

- D. ROOFING**
 PROVIDE 2" MIN. OF 1/2" INS. TOP AND ONE BOTTOM AT THE CORNER JOINT OF ALL WALL BEAM CORNERS.
 PROVIDE 4" MIN. OF 1/2" INS. TOP AND TWO BOTTOM AT ALL CORNER JOINT INTERSECTIONS.
 ALL ROOF JOINT MEMBRANE, STUDS AND ROOF FLOOR SHALL BE 1/2" GYPSUM BOARD JOINT-TREATED WITH THE MANUFACTURER'S INSTRUCTIONS AT TIME OF ORDERING.
 ALL FIELD TYPING SHALL BE IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE DATED 1994.
 THE ROOFING SHALL BE TO BE PROVIDED WITH 1/2" CONCRETE ON 1/2" BRICK BOARD AND APPROXIMATE ALUMINUM ROOF CURB BETWEEN SHEETS TO PREVENT LEAKS.
 PROVIDE DOUBLE 2x10 MEMBERS ABOVE ALL DOORS AND WINDOWS.

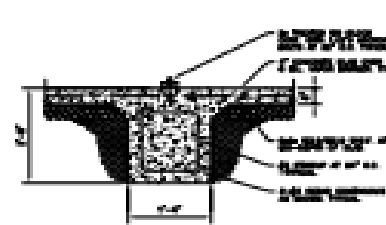
2 FOUNDATION DETAIL
SCALE: 1/4" = 1'-0"



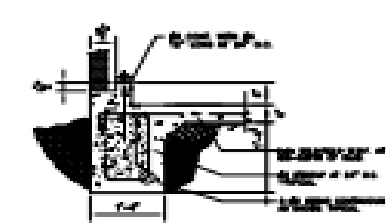
3 FOUNDATION DETAIL
SCALE: 1/4" = 1'-0"



4 FOUNDATION DETAIL
SCALE: 1/4" = 1'-0"



5 FOUNDATION DETAIL
SCALE: 1/4" = 1'-0"



6 FOUNDATION DETAIL
SCALE: 1/4" = 1'-0"

NOTE 1:
 PROVIDE 4" CONCRETE SLAB AT ALL LEVELS.

FOUNDATION EXISTENCE:

- EXISTING FOUNDATION SHALL BE REMOVED AND RECONSTRUCTED AS SHOWN ON THIS PLAN.
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- EXISTING FOUNDATION SHALL BE REMOVED AND RECONSTRUCTED AS SHOWN ON THIS PLAN.

DESIGNED BY:
 EDWARD GURTY
 1101 HARVEST DR. SUITE 110
 DALLAS, TEXAS 75242

NEW RESIDENCE FOR
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 TRACT 0
 BLUE PLATTE, LA 70060

THE CONTRACTOR SHALL VERIFY THE EXISTING FOUNDATION SHALL BE REMOVED AND RECONSTRUCTED AS SHOWN ON THIS PLAN. THE CONTRACTOR SHALL VERIFY THE EXISTING FOUNDATION SHALL BE REMOVED AND RECONSTRUCTED AS SHOWN ON THIS PLAN. THE CONTRACTOR SHALL VERIFY THE EXISTING FOUNDATION SHALL BE REMOVED AND RECONSTRUCTED AS SHOWN ON THIS PLAN.

NO.	REVISIONS	DATE

PROJECT NO. _____ SHEET NO. _____
 DRAWN BY _____
 CHECKED BY _____
 DATE: 06.16.2023

A4

PLUMBING LEGEND

PLUMBING FIXTURE SCHEDULE					
SYMBOL	DESCRIPTION	QTY	SIZE	WALL	CEILING
(Symbol)	WASH URINALS	100"	1 1/2"	W"	W"
(Symbol)	WASH SINKS	100"	1 1/2"	W"	W"
(Symbol)	TOILETS	100"	1 1/2"	W"	W"
(Symbol)	BATHS	100"	1 1/2"	W"	W"
(Symbol)	SINKS	100"	1 1/2"	W"	W"
(Symbol)	SHOWERS	100"	1 1/2"	W"	W"

WATER PIPE SIZED TABLE		
NUMBER OF FIXTURES	PIPE SIZE (IN)	
1 TO 100	1/2"	
101 TO 200	3/4"	
201 TO 300	1"	
301 TO 400	1 1/4"	

ALL PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSPECTIONS. THE PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE PLUMBING CODES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSPECTIONS. THE PLUMBING SHALL BE INSTALLED IN ACCORDANCE WITH THE PLUMBING CODES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSPECTIONS.

TRAC DUCT SCHEDULING

TRAC DUCT TYPE	SCHEDULE	WALL	CEILING
(Symbol)	100"	W"	W"
(Symbol)	100"	W"	W"
(Symbol)	100"	W"	W"
(Symbol)	100"	W"	W"
(Symbol)	100"	W"	W"
(Symbol)	100"	W"	W"
(Symbol)	100"	W"	W"
(Symbol)	100"	W"	W"
(Symbol)	100"	W"	W"
(Symbol)	100"	W"	W"
(Symbol)	100"	W"	W"
(Symbol)	100"	W"	W"

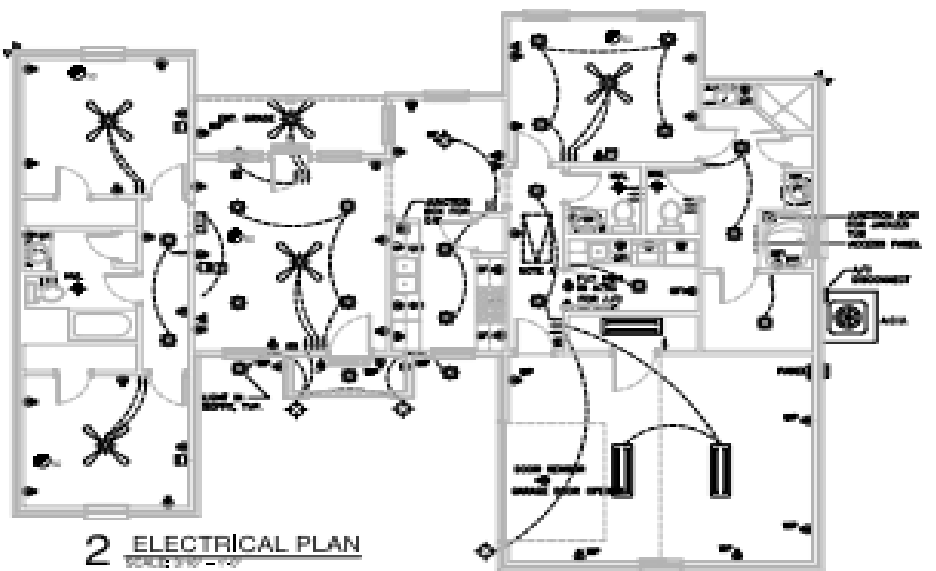
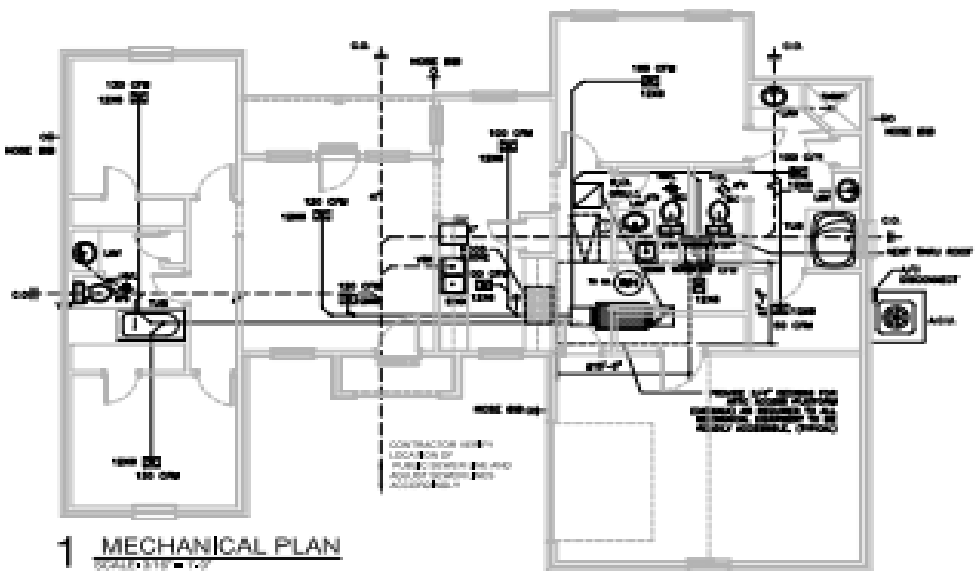
ELECTRICAL INFORMATION

ALL ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSPECTIONS. THE ELECTRICAL SHALL BE INSTALLED IN ACCORDANCE WITH THE ELECTRICAL CODES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSPECTIONS. THE ELECTRICAL SHALL BE INSTALLED IN ACCORDANCE WITH THE ELECTRICAL CODES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSPECTIONS.

ELECTRICAL LEGEND

(Symbol) SINGLE OUTLET
 (Symbol) VENTURE OUTLET
 (Symbol) SINGLE POLE SWITCH
 (Symbol) TELEPHONE
 (Symbol) SMOKE VENT
 (Symbol) RECYCLE AIR UNIT
 (Symbol) RECYCLE AIR UNIT
 (Symbol) RECYCLE AIR UNIT

COORDINATE ALL ELECTRICAL WORK WITH THE MECHANICAL CONTRACTOR. THE ELECTRICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE CODES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSPECTIONS. THE ELECTRICAL SHALL BE INSTALLED IN ACCORDANCE WITH THE ELECTRICAL CODES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSPECTIONS.

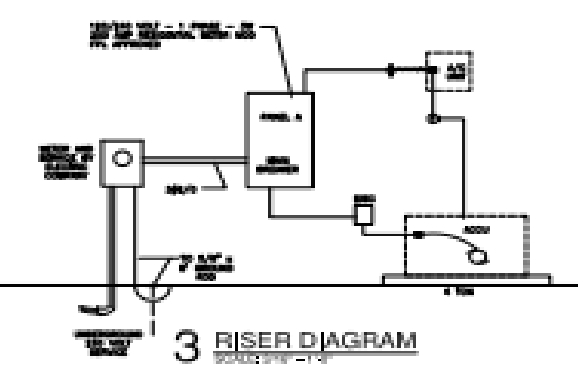
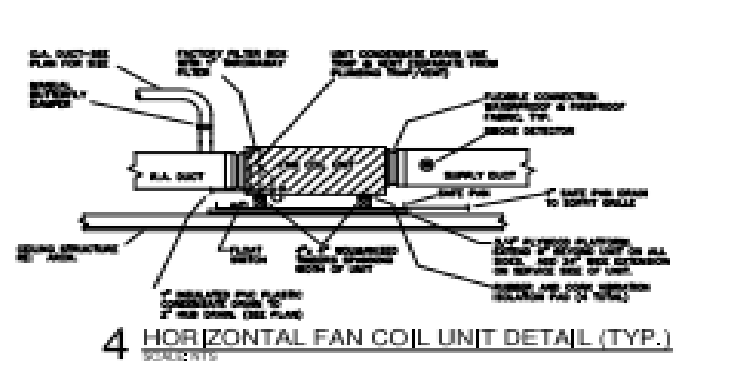
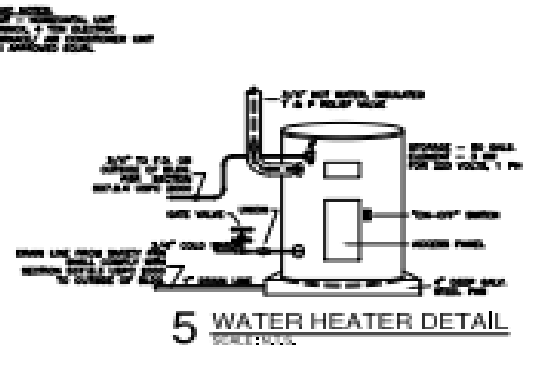


PLUMBING FIXTURE SCHEDULE

- 100" WASH URINALS
- 100" WASH SINKS
- 100" TOILETS
- 100" BATHS
- 100" SINKS
- 100" SHOWERS

GENERAL NOTES

1. ALL ELECTRICAL OUTLETS IN THE KITCHEN, BATHROOMS, UTILITY ROOMS, GARAGE AND EXTERIOR ARE TO BE GROUND-FULT CIRCUIT-INTERCEPT GRID TYPE.
2. GARAGE IS TO BE PRE-WIRED FOR ELECTRIC GARAGE DOOR OPENER.
3. GARAGE OUTLETS INSTALLED AT 48 IN ABOVE FINISH FLOOR.
4. REFERENCED TO BE PRE-WIRED FOR SECURITY SYSTEM.
5. PROVIDE EQUIPMENT FOR FRESH AIR AND EXHAUST FROM THE BUILDING.
6. PROVIDE FRESH AIR IN ALL ROOMS.
7. COORDINATE ALL ELECTRICAL FIXTURES AND LOCATIONS UNDER FLOOR TO DETAILIZATION.
8. PROVIDE LIGHT IN ATTIC AT ATTIC STAIR.

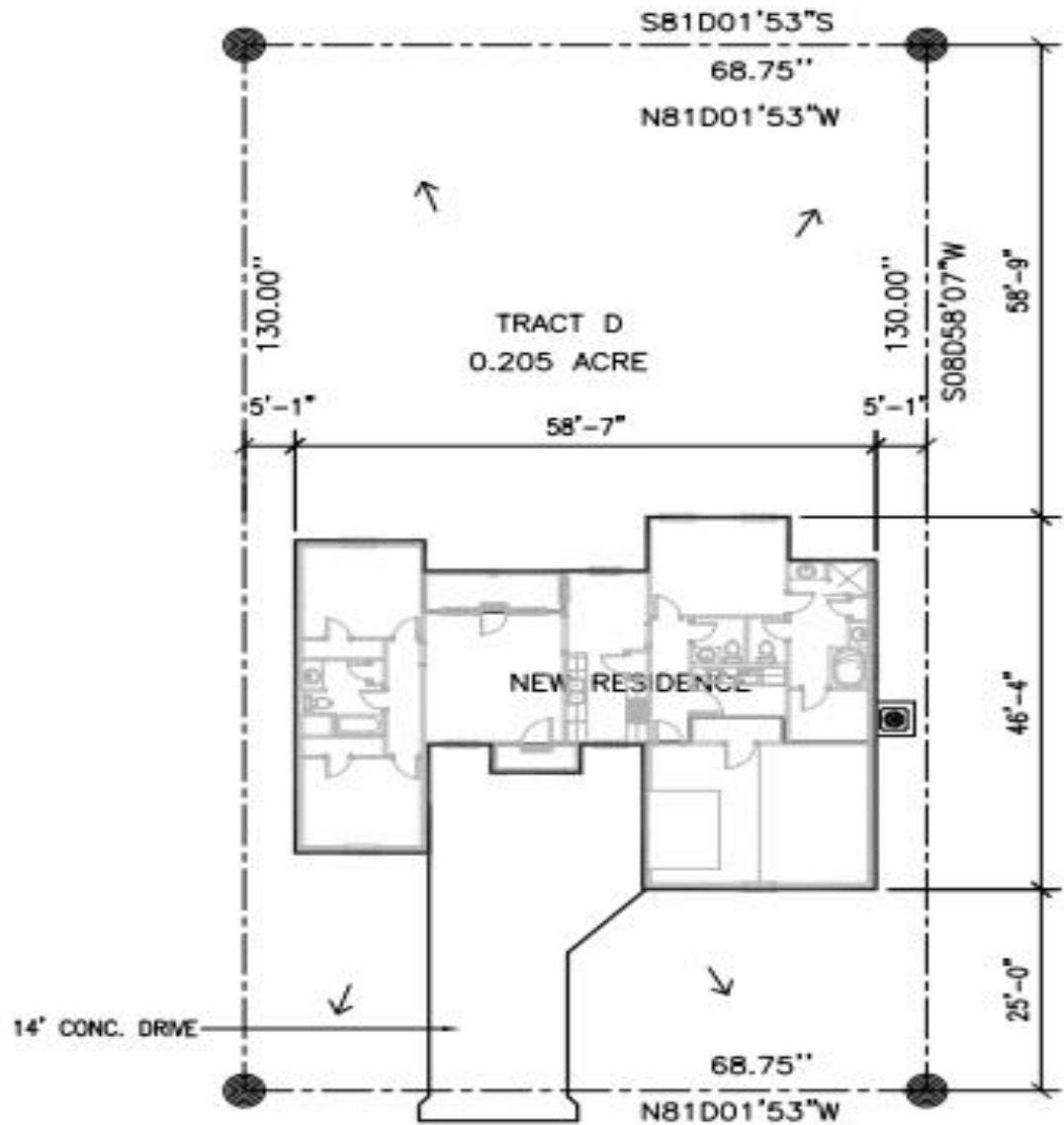


DESIGNED BY:
 ENGINEER: 1000
 1400 HAVENWAY ST. SUITE 101, LA. 70001
 (504) 885-2444

NEW REQUIREMENT FOR:
 CLEM, JR. DEVELOPMENT, LLC
 100 HAVENWAY STREET
 TRACT D
 HAUL PLATTE, LA 70066

THE DESIGNER MAKES NO WARRANTY FOR THE DESIGN OR CONSTRUCTION OF THE WORK. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSPECTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSPECTIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSPECTIONS.

NO.	REVISIONS	DATE



RUE MAURY STREET

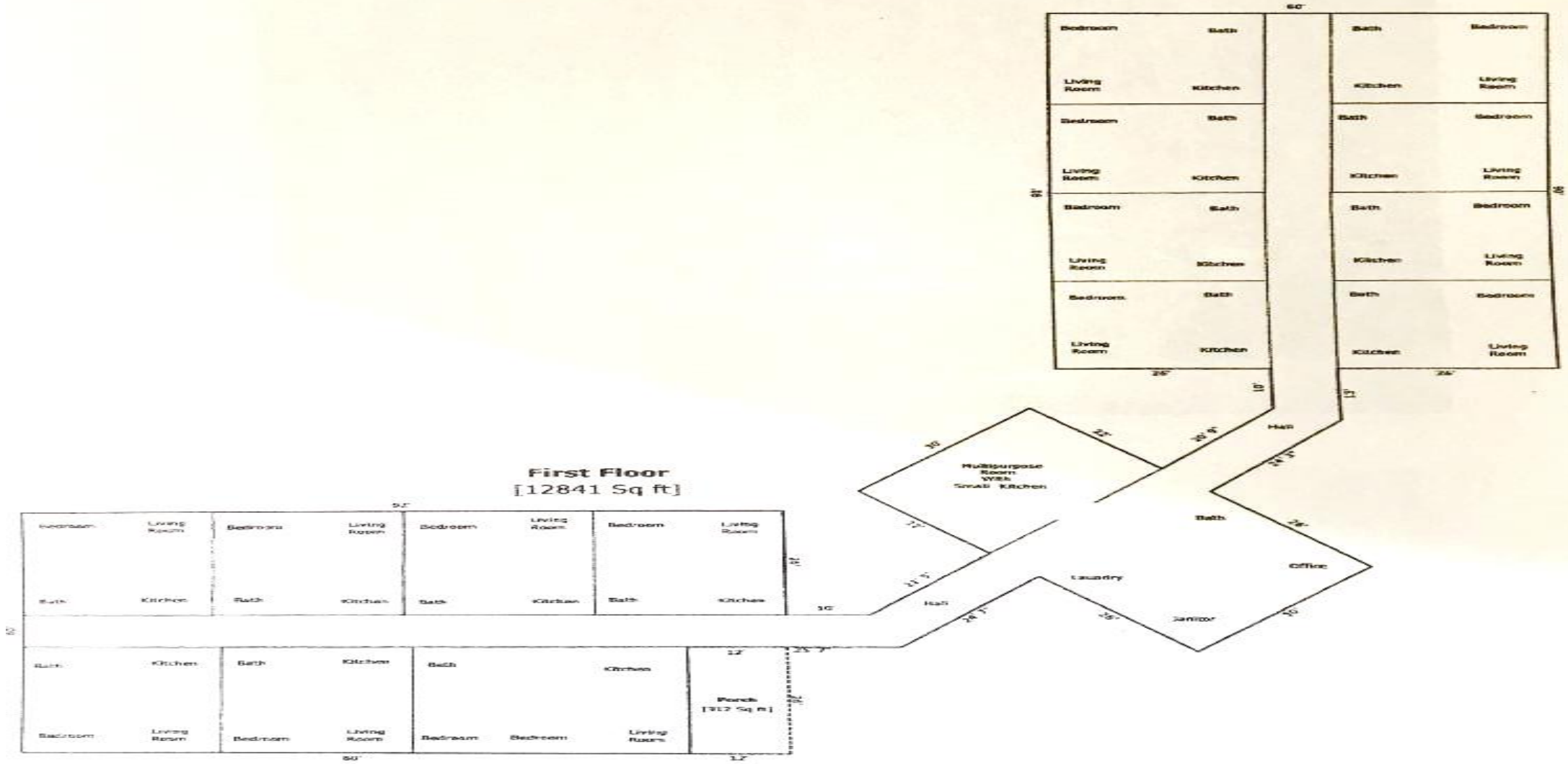
1 SITE PLAN
SCALE: 1" = 20'-0"

↑ WATER FLOW

1. CONCRETE DRIVE SHALL BE 6" WITH 6x6x10 GAUGE WELDED WIRE MESH REINFORCING INCLUDING WALKWAYS EXPANSION JOINTS MUST BE AT MINIMUM OF 8' LIGHT BROOM FINISH ON DRIVEWAY WALKWAY TO HAVE EXPOSED AGGREGATE FINISH
2. SLOPE AS NECESSARY TO DIVERT WATER AWAY FROM RESIDENCE.
3. CONTRACTOR SHALL VERIFY ALL UTILITY CONNECTIONS.
4. CONTRACTOR SHALL COORDINATE POWER FOR SPRINKLER SYSTEM AND LANDSCAPE LIGHTING.
5. CONTRACTOR SHALL COORDINATE ANY FENCING (LOCATION AND TYPE) WITH OWNER.

FLOOR PLAN

First Floor
[12841 Sq ft]





CLEM JR DEVELOPMENT

RENOVATION CONSTRUCTION



RENOVATION CONSTRUCTION



CLEM JR DEVELOPMENT



CLEM JR DEVELOPMENT

NEW CONSTRUCTION



NEW CONSTRUCTION



CLEM JR DEVELOPMENT



CLEM JR DEVELOPMENT



CLEM JR DEVELOPMENT



CLEM JR DEVELOPMENT
VILLE PLATTE, LA

CONTACT: CLEM LAFLEUR - DEVELOPER

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EMAIL: CLEMLAFLEUR@CENTURYTEL.NET