



# COUNCIL STAFF REPORT

CITY COUNCIL of SALT LAKE CITY

**TO:** City Council

**FROM:** Russell Weeks, Senior Public Policy Analyst

**DATE:** June 3, 2016 1:13 PM

**RE:** Sugar House Streetcar Corridor Master Plan and Zoning Amendmen  
PLNPCM2012-00576 and PLNPCM2012-00577

**PROJECT TIMELINE:**  
**Briefing: Tuesday, May 3, 2016 and Tuesday, June 7, 2016**  
**SetDate: 05/3/ 2016 7:00 PM**  
**Public Hearing: Tuesday, May 24, 2016 and Tuesday, June 7, 2016 at 7:00 PM**  
**Potential Action: 06/7/2016**  
**Clearline**

Legislative Sponsor: **Not Required - Council Initiated**

## NEW INFORMATION

The City Council held a briefing on the proposed amendments at its May 3, 2016, work session and forwarded the matter for a public hearing at the Council's formal meeting May 24.

A motion sheet pertaining to the public hearing is attached to this report. The motions pertain to closing the public hearing and referring the issue for formal consideration on a later date, or continuing the public hearing.

***Information below this line has appeared in previous staff reports.***

## ISSUE AT-A-GLANCE

**Goal of the briefing:** *To determine if the City Council is ready to set a date for a public hearing on the proposed ordinance that would enact – among other things – form-based zoning in an area served by the “S” Streetcar Line, and in areas along 2100 South and 700 East streets. The proposed ordinance also would amend the Sugar House Master Plan.*

- At an October 6, 2015, work session, the City Council conducted informal polls on about a half-dozen issues involving the proposed ordinance. The polls were designed

to give Planning Division staff a final direction to address the issues before resuming the public process to adopt the ordinance.

- Mayor Ralph Becker's Administration originally submitted a petition in August 2012, and the City Council Office received the original proposed ordinance on November 25, 2013.
- The Planning Division has forwarded a revised draft of the ordinance that includes responses to the City Council's direction from last year. According to the Administration transmittal letter, the Division recommends that the City Council review the proposed ordinance and schedule it for future meetings this year.
- The proposed ordinance appears to follow City Council direction from the October 2015 work session.
- The briefing session might be a good time to review the proposed policies that would amend parts of the *Sugar House Master Plan*.

### **POLICY QUESTIONS**

1. The proposed ordinance has gone through significant public discussion since the idea first was raised at a November 15, 2011, presentation titled, *Sugar House Streetcar Land Use Design and Recommendations*, to the Redevelopment Agency Board of Directors. The Planning Commission held a public hearing on May 23, 2013 and continued to take public comment at its July 10 and July 31 meetings. The commission adopted a motion to forward a favorable recommendation to the City Council at the July 31, 2013, meeting. The City Council first held a briefing on the issue on February 18, 2014, and held a second briefing on March 21, 2014. The City Council held a public hearing on April 22, 2014, and adopted a motion to continue the public hearing until a future date. The Council then held a subsequent briefing on May 6, 2014, and then made a walking tour with City and RDA staff on June 24, 2014, along the length of the corridor to discuss land use and zoning. The Council then held a work sessions on February 3 and October 6, 2015, to discuss issues involving the proposed ordinance. The May 3 briefing is the result to the two previous discussions. Council staff can find no point in the public record where the City Council closed the April 22, 2014, public hearing. If the City Council determines to move ahead with formal consideration of the proposed amendments, what kind of public outreach program would it like staff to pursue?
2. One of the policies that the proposed ordinance would include as part of amending the Sugar House Master Plan reads: "Redevelop the City-owned open space property located at the southeast corner of 900 East and Sugarmont Drive into a transit supportive development. Redevelopment of the property should include sidewalk improvements that support a walkable and active development."<sup>i</sup> The Planning Division has recommended removing the language because future use of the southeast corner of 900 East and Sugarmont Drive will be treated as a separate issue later. Does the City Council support the recommendation?
3. Are there any other policies listed in the section titled *Policies* below that the City Council would like to address?

### **ADDITIONAL & BACKGROUND INFORMATION**

At its October 6, 2015, work session, the City Council held informal polls on the following items to give the Planning Division Direction on revisions to the proposed ordinance pertaining to the *Sugar House Street Car Corridor Master Plan*. The Council's direction included:

- a. Limiting building height in the Sugar House Formed-Based Special Corridor Core District to a maximum height of 75 feet with an allowance to build to 105 feet high if the building units include 20 percent affordable housing. Maximum building height in the Sugar House Formed-Based Special Corridor Edge districts would remain at 45 feet.
- b. Affirming that the maximum horizontal length of buildings in the Sugar House Formed-Based Special Corridor Core would be 200 feet.
- c. Affirming the Planning Division's introduction of Form-Based Urban Neighborhood 1 zoning designation along Green Street and two areas south of Green Street. The intent of the decision was to limit building heights to 30 feet in those areas.
- d. Providing alternatives to upper story setbacks above 30 feet to in an effort to avoid a series of building shoulders where every building higher than 30 feet would have a 15-foot setback after the first 30 feet of height.
- e. Affirming that balconies and patios: 1.) on residential buildings be 4-feet-deep so they can be used. 2.) commercial buildings facing the Sugar House Corridor Greenway may have second-floor balconies or patios – as long as the patios fall within the 45-foot height limit for Corridor Edge Districts.
- f. Prohibiting hotels and motels in Corridor Edge Districts. Bed and breakfast businesses would be allowed.
- g. Limiting taverns, brewpubs and social clubs to 2,500 square feet of floor space – including patios – in Corridor Edge Districts, and making taverns and social clubs conditional uses in the same districts.

According to the Administration transmittal, "Staff feels that all the items desired by the City Council have been addressed and that the item should be set for a public hearing at a future date."<sup>ii</sup>

To recap, although the proposed ordinance is titled *Sugar House Streetcar Corridor Master Plan* a considerable amount of the proposed area is located between 600 East Street, both sides of 2100 South street, 800 East Street, and Simpson Avenue. Both sides of 700 East Street in particular would be affected by the proposed zoning designation. The southwest and southeast corners of the intersection of 700 East 2100 South, and a portion of land bordered by Wilmington Avenue, 700 East Street, and the Sugar House Corridor Greenway would be designated Form-based Special Corridor Core. The designation would allow the most intense development in terms of height and density.

The northwest and northeast corners of 700 East Street and the north side of 2100 South Street between 600 East and 900 East, the south side of 2100 South Street roughly bordered by 900 East Street and a line parallel to Elm Avenue would be designated as Form-based Special Corridor Edge. Parcels roughly on both sides of 900 East Street between Commonwealth and Simpson avenues, and parcels along 700 East Street north of Simpson Avenue, and both sides of the Greenway between 500 East and 700 East streets also would be designated Form-based Corridor Edge. Parcels on the east side of Green Street between 2100 South and a line parallel to Elm Avenue, nine parcels south of Green Street and east of 600 East Street, and seven parcels south of Simpson Avenue between 600 East and 700 East would receive the Form-based Urban Neighborhood 1 designation.

The proposed zoning designations include a hierarchy of streets in which 700 East and 2100 South streets are designated boulevards; 500 East, 600 East, Green, Lake north of 2100 South, 800 East, and Commonwealth, Wilmington east of 800 East, and Simpson avenues are designated neighborhood streets; and Wilmington Avenue west of 700 East Street, and 900 East Street are designated as avenues.

The intent of the proposed zoning is fourfold. The proposed zoning would build on three public assets – Fairmont Park, the “S” streetcar line, and the greenway next to the line. The proposed zoning would provide a pattern for future increased residential and commercial density while preserving residential neighborhoods next to the higher density. The proposed zoning potentially would provide a place where some of the anticipated 37,000 new Salt Lake City residents in the next 15 years could live and work.<sup>iii</sup> The proposed zoning would foster future economic development along the streetcar corridor and 700 East and 2100 South streets.

## **Policies**

The following is a list of policies taken from the proposed ordinance. The policies would be adopted as amendments to the text of the Sugar House Master Plan:

### **Community Transit District**

The Community Transit District supports the development of a localized urban center that capitalizes on close proximity to the Sugar House Streetcar corridor and arterial streets. Uses include a mix of residential, retail, commercial, and office with buildings oriented to the pedestrian environment. Building height and density is concentrated along arterial streets and is similar to the height, density, and design in the Sugar House Business District which would create two active destinations linked by transit. While being a high density area, development in the Community Transit District also respects and is compatible with the surrounding residential neighborhoods. Future public improvements should be focused on creating an interconnected and cohesive district that caters to all modes of transportation including pedestrians and cyclists.

### **Sugar House Streetcar and Greenway Corridor**

The Sugar House community has long envisioned the transformation of the Denver Rio Grande rail right-of-way into a public transit and multi-use trail corridor. In 2012, this vision came to fruition as construction began on the Sugar House Streetcar and Greenway, a two mile long transit and active transportation corridor that connects the Sugar House Business District with the north-south TRAX light rail line at 2100 South in South Salt Lake City. ...

### **Policies**

- Work with Utah Transit Authority (UTA) to add a neighborhood serving streetcar stop near 800 East Street.
- Where easements exist for automobile access within the corridor, the City should work with property owners to eliminate the easements. In the event of redevelopment of a property with an automobile access easement, all options must be explored to relocate and remove automobile access from the corridor.
- Restore the original rail line right-of-way boundaries by removing existing encroachments (structures, fences, parking, etc.).
- Streets that cross the corridor (500 East, 600 East, 700 East, 800 East, and 900 East) connect the corridor to adjacent neighborhoods; therefore, they should be developed as complete streets where feasible.
- Development along the streetcar and greenway should encourage transit and trail usage, and provide eyes on the corridor. All buildings should have entrances from the corridor, windows

along the corridor, and should minimize blank walls. Seating, dining areas, and active accessory functions should be encouraged.

- Development should not overpower the corridor. Building heights should be sensitive to the open space characteristic of the corridor and allow sufficient sunlight.
- Improve the public right-of-way near the streetcar stations to enhance pedestrian and bicycle circulation. Specific projects include:
  - Work with Utah Department of Transportation (UDOT) to eliminate the right hand travel lanes along 700 East between 2100 South and the 700 East streetcar station and replace the travel lanes with on-street parking and a bike lane.
  - Widen the sidewalks within the Community Transit District and near the 500 East, 900 East, and McClelland streetcar stations to allow for a wider pedestrian thoroughfare, as well as additional space for furnishing and planting areas. One approach is to require additional front building setbacks with hard-scaped front yard areas.
  - Connect Green Street to Wilmington Avenue to eliminate the dead end at the south end of Green Street.
- Analyze the feasibility of creating a beautification district within the Community Transit District to develop a program for the installation of and maintenance of street lighting, paving material, and landscaping with a common theme or pattern.
- Redevelop the City-owned open space property located at the southeast corner of 900 East and Sugarmont Drive into a transit supportive development. Redevelopment of the property should include sidewalk improvements that support a walkable and active development.

File Location: Sugar House Streetcar Corridor, Planning, Economic Development

Cc: Cindy Gust-Jenson, Patrick Leary, David Litvack, Margaret Plane, Jennifer Bruno, Mike Reberg, Mary De La Mare-Schaefer, Nora Shepard, Nick Norris, Maryann Pickering, Nick Norris.

#### **ATTACHMENTS:**

- c1 - Motions Sheet for June 7, 2016 Meeting (DOCX)
- c2 - Alternate ordinance (legislative version) (DOCX)
- c3 - Alternate ordinance (clean version) (DOCX)
- Administrative Transmittal - Sugar House Streetcar Corridor Master Plan and Zoning Amendment (PDF)
- a1 Ordinance(PDF)
- a2 Legislative Ordinance (PDF)

<sup>i</sup> Proposed ordinance, legislative version, Page 4.

<sup>ii</sup> Transmittal Letter, Mike Reberg, April 18, 2016, pages 1 and 2.

<sup>iii</sup> *Life, the Universe, and Sugar House*, David Everitt, May 6 2014, Page 3.



# MOTION SHEET

CITY COUNCIL of SALT LAKE CITY

**TO:** City Council Members

**FROM:** Russell Weeks  
Senior Policy Analyst

**DATE:** June 2, 2016

**RE: MOTION SHEET – Sugar House Streetcar Corridor Master Plan and Zoning Amendments**

Council Sponsor: Not Required – Petition from Applicant

## PERTAINING TO THE PUBLIC HEARING

### **MOTION 1 (Close the Public Hearing)**

I move that the Council close the public hearing.

### **MOTION 2 (Continue the Public Hearing)**

I move that the Council continue the public hearing pertaining to the ordinance described in the agenda to a later date.

## PERTAINING TO THE PROPOSED ORDINANCE

### **MOTION 1 (Adopt Amended Alternate Ordinance)**

I move that the City Council adopt the **alternate ordinance** amending the *Sugar House Master Plan*, amending the zoning ordinance to create the FB-SC and FB-SE Form Based Special Purpose Corridor Zoning districts, and amending the zoning map to establish FB-SC and FB-SE Form Based Special Purpose Corridor zoning districts pursuant to Petition Nos. PLNPCM2012-00576 and PLNPCM2012-00577.

The alternate ordinance contains the following amendments:



**Building Height:** In Table 21A.27.040.C, titled *FB-SC Building Form Standards*, the Box H titled *Maximum Building Height* is changed to read: “Maximum building height in the FB-SC is **60** feet. An additional **15** feet in height (for a total height of **75** feet) may be permitted for residential uses if a minimum of **10** percent of the units are affordable housing.”

**Master Plan Policies:** Section 1 Paragraph b titled *Amending the Text of the Sugar House Master Plan*, under *Policies*, the sentence that reads, “Specific projects include:” is amended to read, “Specific projects **may** include:”

In the same section under *Policies* the following sentences are omitted:

- a. Work with the Utah Department of Transportation (UDOT) to eliminate the right hand travel lanes along 700 East between 2100 South and the 700 East streetcar station and replace the travel lanes with on-street parking and a bike lane.
- b. Connect Green Street to Wilmington Avenue to eliminate the dead end at the south end of Green Street.
- c. Redevelop the City-owned open space property located at the southeast corner of 900 East and Sugarmont Drive into a transit supportive development. Redevelopment of the property should include sidewalk improvements that support a walkable and active development.

**MOTION 2 (Adopt Original Proposed Ordinance)**

I move that the City Council adopt the ordinance **originally proposed in the Administration’s transmittal** amending the *Sugar House Master Plan*, amending the zoning ordinance to create the FB-SC and FB-SE Form Based Special Purpose Corridor Zoning districts, and amending the zoning map to establish FB-SC and FB-SE Form Based Special Purpose Corridor zoning districts pursuant to Petition Nos. PLNPCM2012-00576 and PLNPCM2012-00577.

**MOTION 3 (Not Adopt Proposed Ordinance)**

I move that the City Council **not** adopt the ordinance, **deny** Petition Nos. PLNPCM2012-00576 and PLNPCM2012-00577, and **consider** the next item on the agenda.

**PERTAINING TO A LEGISLATIVE INTENT**

It is the City Council’s intent that a petition be initiated to amend the Form Based Urban Neighborhood 2 zone in the Zoning Ordinance so that interior side yard and rear yard setback requirements, and upper level step back requirements are not dependent on adjacency to areas zoned as Form Based Urban Neighborhood 1 zones.

SALT LAKE CITY ORDINANCE

No. \_\_\_\_\_ of 2016

(Amending the Sugar House Master Plan, amending the zoning ordinance to create the FB-SC and FB-SE Form Based Special Purpose Corridor districts, and amending the zoning map to apply FB-SC and FB-SE Form Based Special Purpose Corridor zoning districts)

An ordinance amending the Sugar House Master Plan, amending the zoning ordinance to create the FB-SC and FB-SE Form Based Special Purpose Corridor zoning districts, and amending the zoning map to establish FB-SC and FB-SE Form Based Special Purpose Corridor zoning districts pursuant to Petition Nos. PLNPCM2012-00576 and PLNPCM2012-00577.

WHEREAS, the Salt Lake City Planning Commission held public hearings on May 22, 2013 and July 10, 2013 on applications submitted by the Salt Lake City Mayor (“Applicant”) to amend the Sugar House Master Plan (PLNPCM2012-00577), and to amend the zoning ordinance and zoning map to create and apply the FB-SC and FB-SE Form Based Special Purpose Corridor zoning districts (PLNPCM2012-00576); and

WHEREAS, at its July 31, 2013 meeting, the planning commission voted in favor of forwarding a positive recommendation to the Salt Lake City Council on said applications; and

WHEREAS, after a public hearing on this matter the city council has determined that adopting this ordinance is in the city’s best interests; and

NOW, THEREFORE, be it ordained by the City Council of Salt Lake City, Utah:

SECTION 1. Amending the Sugar House Master Plan. That the Sugar House Master Plan shall be and hereby is amended as follows:

- a. Amending the Text of the Sugar House Master Plan. That the text of the Sugar House Master Plan, as adopted in 2001 and subsequently amended, shall be and hereby is amended to add the “Community Transit District” land use category to the “Sugar House Development

Objectives” subsection of the Sugar House Future Land Use Plan section of that master plan, which appears on Page 2 thereof. The following text shall be inserted on Page 2 of the master plan following the “High-Intensity Mixed Use” category paragraph:

**Community Transit District**

The Community Transit District supports the development of a localized urban center that capitalizes on close proximity to the Sugar House Streetcar corridor and arterial streets. Uses include a mix of residential, retail, commercial, and office with buildings oriented to the pedestrian environment. Building height and density is concentrated along arterial streets and is similar to the height, density, and design in the Sugar House Business District which would create two active destinations linked by transit. While being a high density area, development in the Community Transit District also respects and is compatible with the surrounding residential neighborhoods. Future public improvements should be focused on creating an interconnected and cohesive district that caters to all modes of transportation including pedestrians and cyclists.

b. Amending the Text of the Sugar House Master Plan. That the text of the Sugar House Master Plan shall be and hereby is amended to add the following language to the Mobility, Access & the Pedestrian Experience section of the master plan (to be inserted at the end of that section):

**Sugar House Streetcar and Greenway Corridor**

The Sugar House community has long envisioned the transformation of the Denver Rio Grande rail right-of-way into a public transit and multi-use trail corridor. In 2012, this vision came to fruition as construction began on the Sugar House Streetcar and Greenway, a two mile long transit and active transportation corridor that connects the Sugar House Business District with the north-south TRAX light rail line at 2100 South in South Salt Lake City.

In 2011, the Redevelopment Agency of Salt Lake City funded an effort to create a vision for the streetcar corridor and surrounding area. This resulted in a set of recommendations put into a report titled Sugar House Streetcar Land Use and Urban Design Recommendations. As a result of this process, the City of Salt Lake City has funded improvements to transform the streetcar corridor into a greenway that includes dedicated multi-use pathways and amenities.

Many of the recommendations stated in the Land Use and Urban Design Recommendations report that are related to the streetcar and greenway corridor itself have been implemented. There are still improvements that should be considered in

the future to activate the corridor, support existing neighborhoods, and create vibrant transit oriented districts near the streetcar stops.

### **Policies**

- Work with Utah Transit Authority (UTA) to add a neighborhood serving streetcar stop near 800 East.
- Where easements exist for automobile access within the corridor, the City should work with property owners to eliminate the easements. In the event of redevelopment of a property with an automobile access easement, all options must be explored to relocate and remove automobile access from the corridor.
- Restore the original rail line right-of-way boundaries by removing existing encroachments (structures, fences, parking, etc.).
- Streets that cross the corridor (500 East, 600 East, 700 East, 800 East, and 900 East) connect the corridor to adjacent neighborhoods; therefore, they should be developed as complete streets where feasible.
- Development along the streetcar and greenway should encourage transit and trail usage, and provide eyes on the corridor. All buildings should have entrances from the corridor, windows along the corridor, and should minimize blank walls. Seating, dining areas, and active accessory functions should be encouraged.
- Development should not overpower the corridor. Building heights should be sensitive to the open space characteristic of the corridor and allow sufficient sunlight.
- Improve the public right-of-way near the streetcar stations to enhance pedestrian and bicycle circulation. Specific projects may include:
  - Widen the sidewalks within the Community Transit District and near the 500 East, 900 East, and McClelland streetcar stations to allow for a wider pedestrian thoroughfare, as well as additional space for furnishing and planting areas. One approach is to require additional front building setbacks with hardscaped front yard areas.
- Analyze the feasibility of creating a beautification district within the Community Transit District to develop a program for the installation of and maintenance of street lighting, paving material, and landscaping with a common theme or pattern.

c. Amending the Future Land Use Map of the Sugar House Master Plan. That the Future Land Use Map of the Sugar House Master Plan is amended to designate the areas shown respectively in the map attached hereto as Exhibit “A” as Mixed Use - High Intensity and Community Transit District. The attached exhibit only shows the areas to be re-designated and does not replace the future land use designations of those areas not highlighted.

SECTION 2. Amending Chapter 21A.27 of Salt Lake City Code. That Chapter 21A.27 of the *Salt Lake City Code* (Zoning: Form Based Districts), shall be, and hereby is, amended to read as follows:

**Chapter 21A.27  
FORM BASED DISTRICTS**

**21A.27.010: PURPOSE STATEMENT AND GENERAL PROVISIONS:**

**21A.27.020: ~~RESERVED BUILDING TYPES AND FORMS ESTABLISHED:~~**

**21A.27.030: ~~RESERVED BUILDING CONFIGURATION AND DESIGN~~**

**STANDARDS:**

**21A.27.040: ~~RESERVED FB-SC AND FB-SE FORM BASED SPECIAL PURPOSE CORRIDOR DISTRICT:~~**

**21A.27.050: FB-UN1 AND FB-UN2 FORM BASED URBAN NEIGHBORHOOD DISTRICT:**

A. Purpose Statement: The purpose of the form based districts is to create urban neighborhoods that provide the following:

1. People oriented places;
2. Options for housing types;
3. Options in terms of shopping, dining, and fulfilling daily needs within walking distance or conveniently located near mass transit;
4. Transportation options;
5. Access to employment opportunities within walking distance or close to mass transit;
6. Appropriately scaled buildings that respect the existing character of the neighborhood;
7. Safe, accessible, and interconnected networks for people to move around in; and
8. Increased desirability as a place to work, live, play, and invest through higher quality form and design.

B. Context Description: The form based districts are intended to be utilized in areas with the following characteristics:

1. Street, Block, and Access Patterns: A regular pattern of blocks surrounded by a traditional grid of streets that provide mobility options and connections for pedestrians, bicyclists, and automobiles. Blocks include sidewalks separated from vehicle travel lanes by a landscaped park strip. Front yards are landscaped or include active, outdoor uses.
2. Building Placement and Location: Residential buildings are generally located close to the sidewalk with a small, transitional, semipublic space, such as a landscaped front yard, that is consistent along the block face. Buildings along arterials are located close to the sidewalk with parking to the side or rear of building.
3. Building Height: Building heights on local streets are relatively low and consistent with existing building heights with little variation. Buildings located on arterial streets are generally taller.
4. Mobility: A balance between pedestrians, bicyclists, transit riders, and motorists exist in the area, and residents are well connected to other parts of the city.

C. Intent of Form Based Districts:

A1. Statement of Intent: Form based districts are intended to provide zoning regulations that focus on the form of development, the manner in which buildings are oriented toward public spaces, the scale of development, and the interaction of uses within the city. Form based districts provide places for people to live, work, and play within a close proximity. Regulations within form based districts place emphasis on the built environment over land use.

B2. How To Use This Chapter: Form based districts emphasize the form, scale, placement, and orientation of buildings. Each subdistrict includes a table of permitted building forms and specific development regulations for each building form. The first step is to identify which subdistrict the property is located in, and then identify what building forms are permitted, and finally what standards apply to the specific building form. ~~Any use listed as permitted is allowed in any building form that is permitted in that subdistrict.~~ All new developments and additions to existing buildings shall comply with the specific requirements of this chapter.

**21A.27.020: RESERVED BUILDING TYPES AND FORMS ESTABLISHED:**

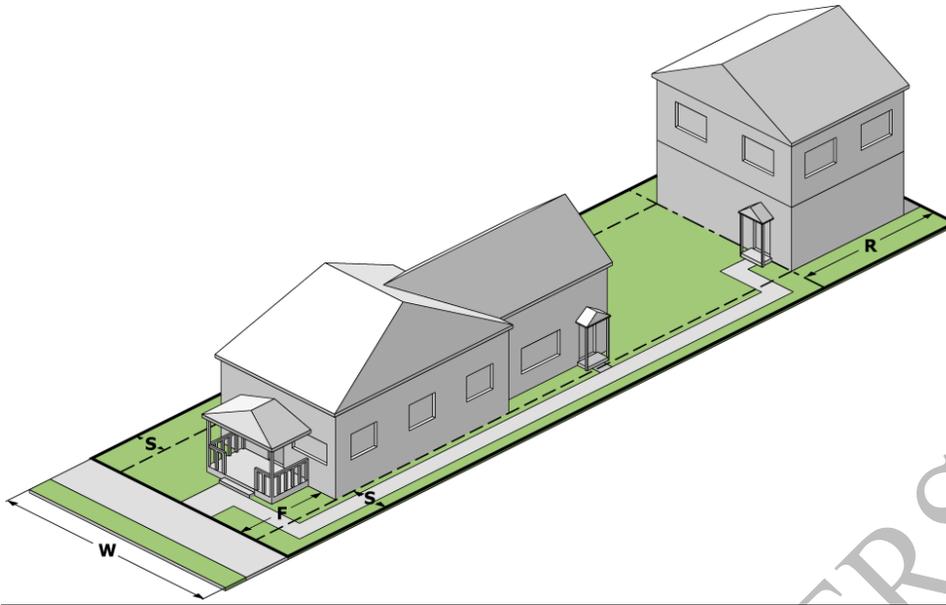
A. Building Types and Form Standards:

1. Encourage building forms that are compatible with the neighborhood and the future vision for the neighborhood by acknowledging there will be different scaled buildings in the area;

2. Arrange building heights and scale to provide appropriate transitions between buildings of different scales and adjacent areas, especially between different subdistricts;
3. Guide building orientation through setbacks and other requirements to create a consistent street edge, enhance walkability by addressing the relationship between public and private spaces, and ensure architectural design will contribute to the character of the neighborhood;
4. Use building form, placement, and orientation to identify the private, semiprivate, and public spaces;
5. Minimize the visual impact of parking areas; and
6. Minimize conflicts between pedestrians, bicyclists, and vehicles.

B. Building Types and Forms:

1. Description: The permitted building forms are described in this subsection. Each building form includes a general description and definition, as well as images of what the building form may look like. Building form images are for informational purposes only and not intended to demonstrate exactly what shall be built. The description and images should be used to classify existing and proposed buildings in order to determine what development regulations apply. The drawings are not to scale. They should not be used to dictate a specific architectural style as both traditional and contemporary styles can be used.
  - a. Urban House: A residential structure with the approximate scale of a single dwelling unit, as viewed from the street, but may contain up to two (2) dwelling units. The structure has a single entry facing the street, a front porch or stoop, and a small front yard. Second units may be arranged vertically (up and down) or horizontally (front and back), but the entry to the second unit is from the side, rear, or interior of structure. A third unit may also be located along an alley as a stand alone unit or as a dwelling unit located in an accessory building. All units are on a single lot.



Urban House with Detached Dwelling



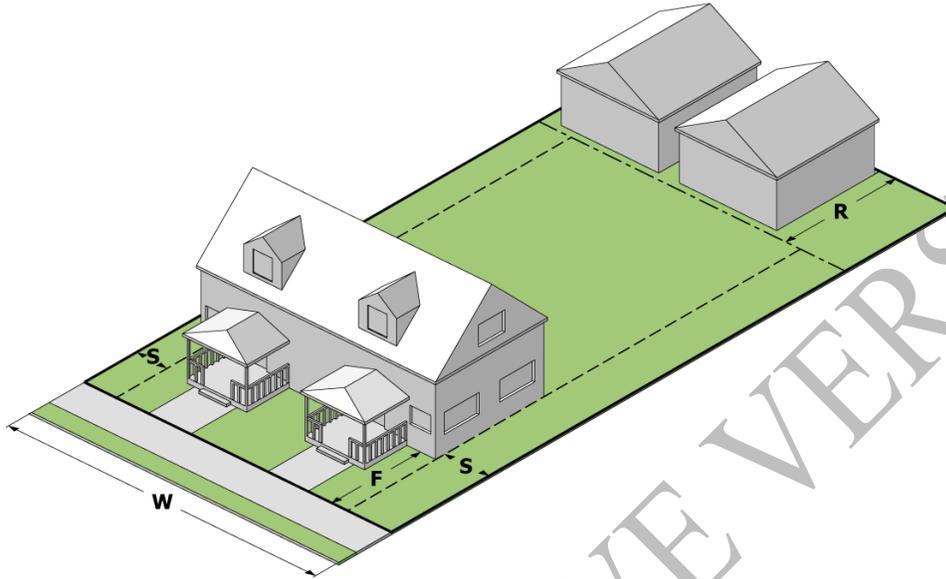
Modern and Traditional Forms



Two-Story Contemporary Form

LEGISLATIVE VERSION

b. Two-Family Dwelling: A residential structure that contains two (2) dwelling units in a single building. The units may be arranged side by side, up and down, or front and back. Each unit has its own separate entry directly to the outside. Dwellings may be located on separate lots or grouped on one lot. A third unit may also be located along an alley as a stand alone unit or as a dwelling unit located in an accessory building, but may not be located on a separate lot.



Two-Family Dwelling with Garages

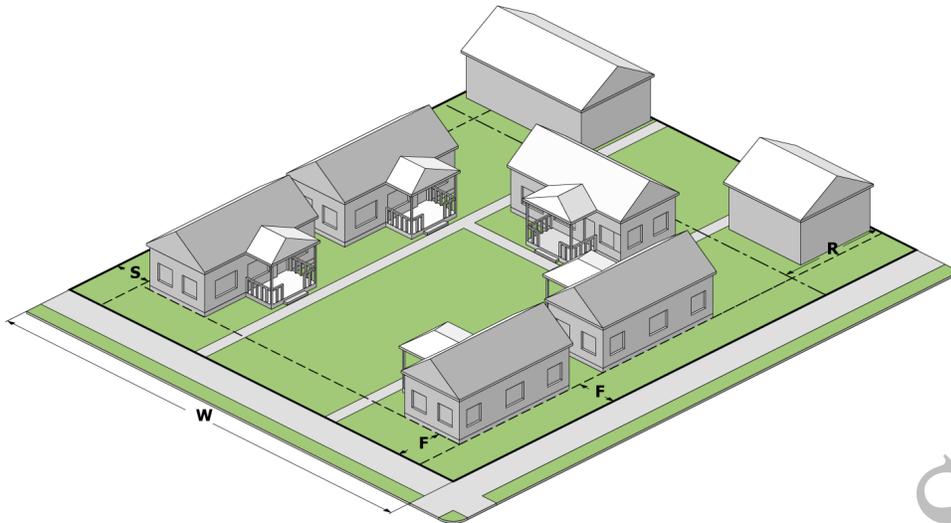


Traditional Two-Family Dwelling



Modern Two-Family Dwelling

- c. Cottage Development: A unified development that contains two (2) or more detached dwelling units with each unit appearing to be a small single-family dwelling with a common green or open space. Dwellings may be located on separate lots or grouped on one lot.
  
- d. Additional Development Standards for Cottage Building Forms:
  - (1) Setbacks between individual cottages: All cottages shall have a minimum setback of eight feet (8') from another cottage.
  - (2) Footprint: No cottage shall have a footprint in excess of eight hundred fifty (850) square feet.
  - (3) Building Entrance: All building entrances shall face a public street or a common open space.
  - (4) Open Space: A minimum of two hundred fifty (250) square feet of common, open space is required per cottage up to a maximum of one thousand (1,000) square feet. At least fifty percent (50%) of the open space shall be contiguous and include landscaping, walkways or other amenities intended to serve the residents of the development.

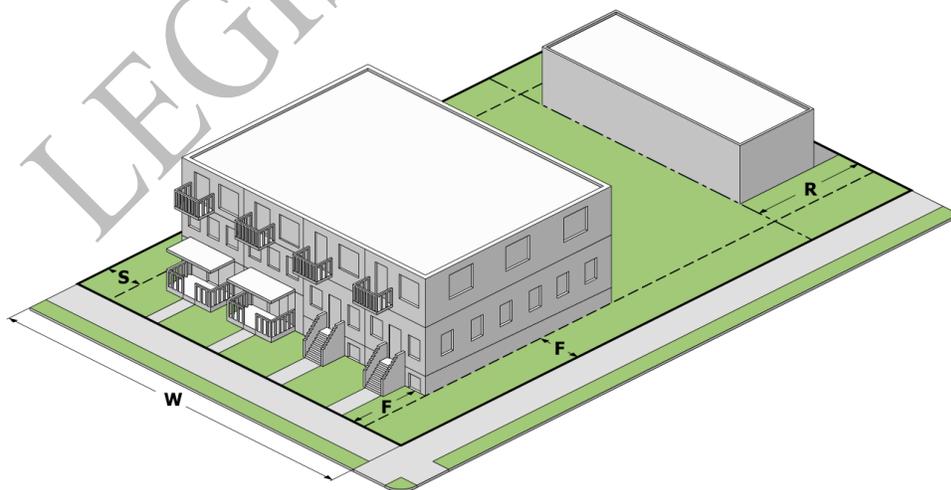


*Cottage Development on Single Parcel*



*Cottage Development*

- e. Row House: A series of attached single-family dwellings that share at least one common wall with an adjacent dwelling unit. A row house contains a minimum of three (3) residential dwelling units. Each unit may be on its own lot. If possible, off street parking is accessed from an alley.



*Row House on Single Parcel*

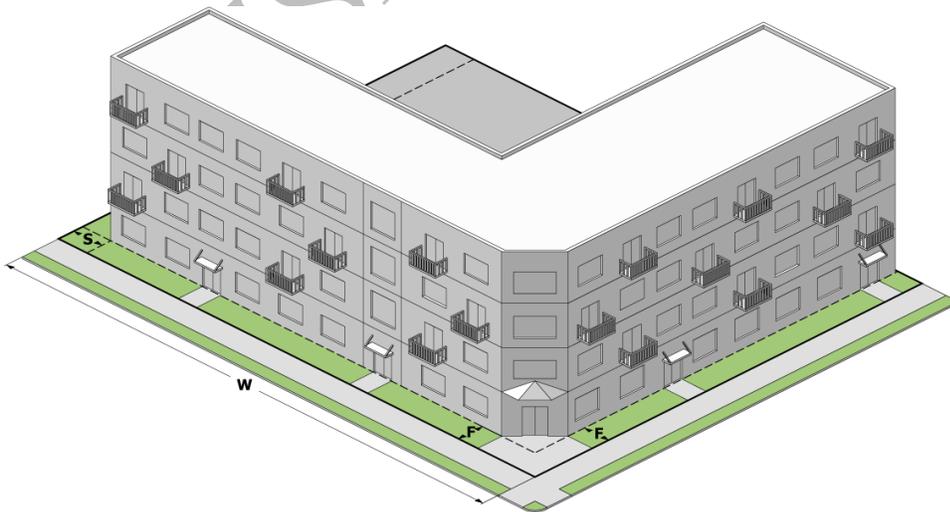


*Modern Row House Form*



*Traditional Row House Form*

- f. Multi-Family Residential: A multi-family residential structure containing three (3) or more dwelling units that may be arranged in a number of configurations.



Multi-Family Residential Form

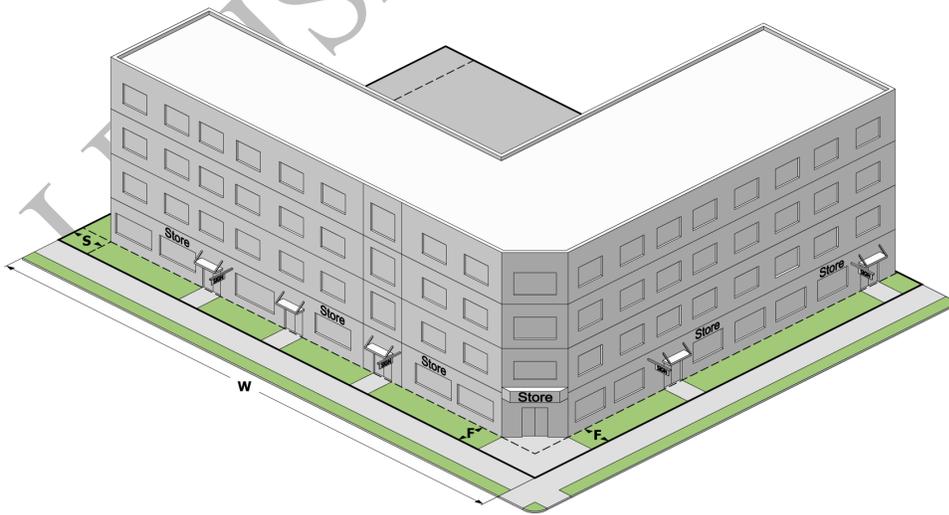


Multi-Family Modern Form



Multi-Family Traditional Form

- g. Storefront: A commercial structure that may have multiple stories and contain a variety of commercial uses that are allowed in the district that permits this building type. All buildings, regardless of the specific use, have a ground floor that looks like a storefront.



*Store Front Form*



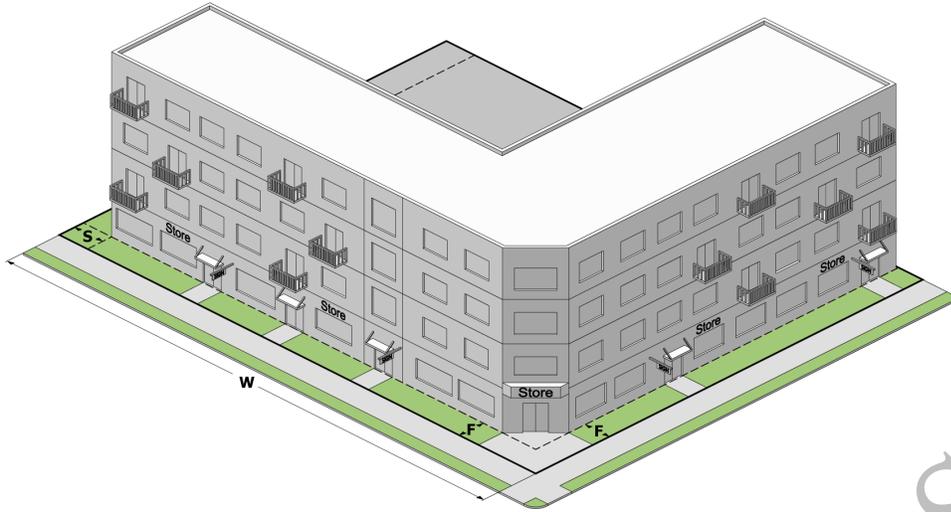
*Contemporary Store Front*



*Traditional Store Front*

- h. Vertical Mixed Use: A multi-story building that contains a mix of commercial and/or office with residential uses.

LEGISLATIVE VERSION



*Vertical Mixed Use Multi-Story Form*



*Modern Materials*



*Traditional Materials*

C. Building Form Standards:

1. The provisions of this section shall apply to all properties located within the form based districts as indicated on the maps in each form based district.

2. Building form and street type standards apply to all new buildings and additions when the new construction related to the addition is greater than twenty-five percent (25%) of the footprint of the structure or one-thousand (1,000) square feet, whichever is less. Refer to section the Building Configuration Standards for more information on how to comply with the standards. The graphics included provide a visual representation of the standards as a guide and are not meant to supersede the standards in the tables. Only building forms identified in the table are permitted.

**21A.27.030: RESERVED BUILDING CONFIGURATION AND DESIGN STANDARDS:**

A. Specific Intent of Configuration and Design Standards:

1. Design Related Standards: The design related standards are intended to do the following:
  - a. Implement applicable master plans;
  - b. Continue the existing physical character of residential streets while allowing an increase in building scale along arterials and near transit stations;
  - c. Focus development and future growth in the city along arterials and near transit stations;
  - d. Arrange buildings so they are oriented toward the street in a manner that promotes pedestrian activity, safety, and community;
  - e. Provide human scaled buildings that emphasize design and placement of the main entrance/exit on street facing facades;
  - f. Provide connections to transit through public walkways;
  - g. Provide areas for appropriate land uses that encourage use of public transit and are compatible with the neighborhood;
  - h. Promote pedestrian and bicycle amenities near transit facilities to maximize alternative forms of transportation; and
  - i. Rehabilitate and reuse existing residential structures in the form based zoning districts when possible to efficiently use infrastructure and natural resources, and preserve neighborhood character.

B. Building Configuration Standards Defined: The building configuration standards are defined in this section. The defined standards in this section are intended to identify how to comply with the building configuration standards tables located in this chapter.

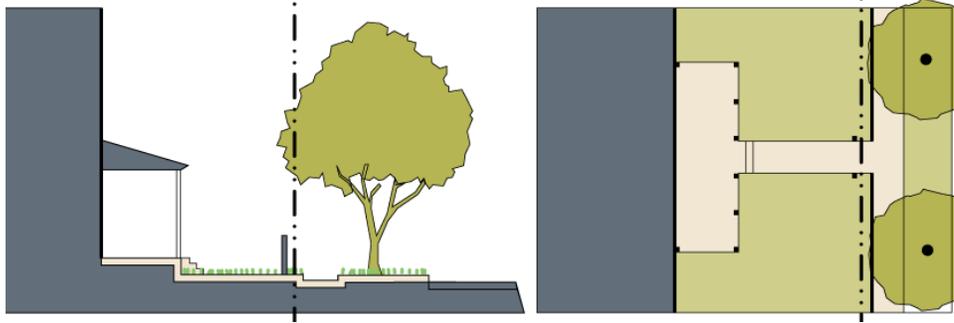
C. Building configuration standards apply to all new buildings and additions when the new construction related to the addition is greater than twenty-five percent (25%) of the footprint of the structure or one-thousand (1,000) square feet, whichever is less. The graphics included provide a visual representation of the standards as a guide and are not meant to supersede the standards in the tables. This standard applies to all form based zoning districts unless otherwise indicated.

1. Building Entry: A minimum of one main entry with an entry feature facing a public street or walkway, excluding alleys, is required. The main entry is the primary pedestrian entrance into a building. Two-family dwelling buildings shall have a minimum of one main entry with porch or stoop for at least one of the dwelling units facing a street. The main entry for the second dwelling unit may face the street or side yard, but must also have a porch or stoop entrance. Where required, the building entry must be one of the following:
  - a. Front entrance: Door on the same plane as street facing facade;
  - b. Recessed entrance: Inset behind the plane of the building no more than ten feet (10'). If inset, then the sidewalls of the inset must be lined with clear glass. Opaque, smoked, or darkened glass is not permitted; or
  - c. Corner entrance: Entry that is angled or an inside corner located at the corner of two (2) intersecting streets.
  - d. Every building shall have at least one (1) entry for every seventy-five feet (75') of building façade along a public or private street, alley or greenway.
2. Encroachments: A permitted entry feature may encroach into a required yard provided no portion of the porch is closer than five feet (5') to the front property line.
3. Entry Feature: The following building entries are permitted as indicated:

**TABLE 21A.27.030.B**  
**ENTRY FEATURE STANDARDS**

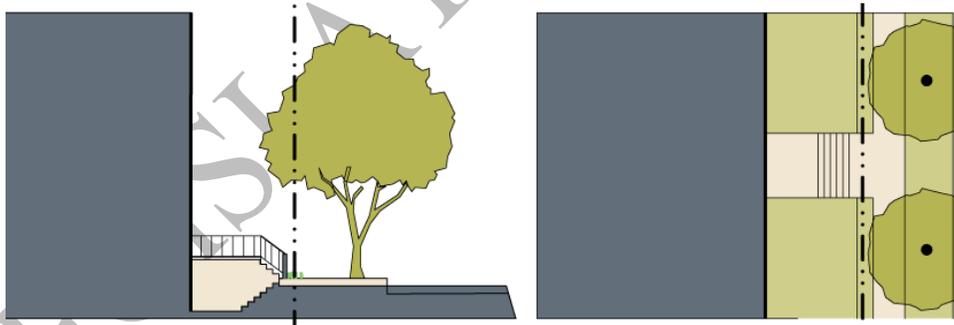
<b>Entry Feature Permitted Based On Building Form Type</b>	<b>Urban House</b>	<b>Cottage Development</b>	<b>Two-Family Dwelling</b>	<b>Row House</b>	<b>Multi-Family</b>	<b>Store front</b>	<b>Vertical Mixed Use</b>
<b><u>Porch and fence: A planted front yard where the street facing building facade is set back from the front property line with an attached porch that is permitted to encroach into the required yard. The porch shall be a minimum of six (6) feet in depth. The front yard may include a fence no taller than three (3) feet in height.</u></b>	<b>P</b>	<b>P</b>	<b>P</b>	<b>P</b>	<b>P</b>		

Reference Illustration - Porch and Fence



<u>Entry Feature Permitted Based On Building Form Type</u>	<u>Urban House</u>	<u>Cottage Development</u>	<u>Two-Family Dwelling</u>	<u>Row House</u>	<u>Multi-Family</u>	<u>Store front</u>	<u>Vertical Mixed Use</u>
<b><u>Terrace or lightwell:</u></b> <b><u>An entry feature where the street facing facade is set back from the front property line by an elevated terrace or sunken lightwell.</u></b> <b><u>May include a canopy or roof.</u></b>			<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>

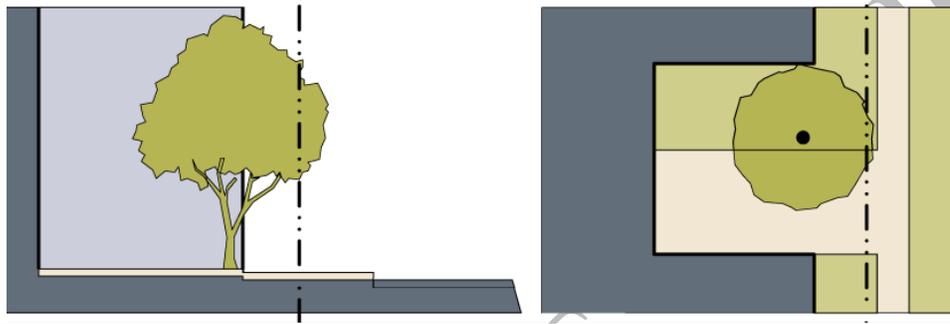
Reference Illustration – Terrace or Lightwell



<u>Entry Feature Permitted Based On Building Form Type</u>	<u>Urban House</u>	<u>Cottage Development</u>	<u>Two-Family Dwelling</u>	<u>Row House</u>	<u>Multi-Family</u>	<u>Store front</u>	<u>Vertical Mixed Use</u>
<b><u>Forecourt:</u></b> <b><u>An entry feature wherein a portion of the street facing facade is close to the property line and the central</u></b>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>

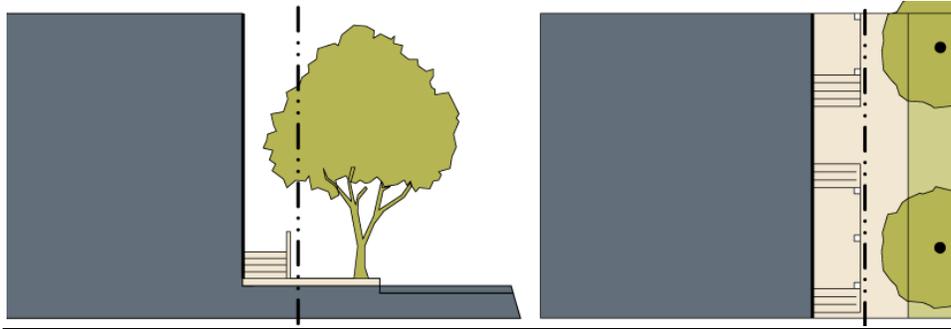
<b><u>portion is set back. The court created must be landscaped, contain outdoor plazas, outdoor dining areas, private yards, or other similar features that encourage use and seating</u></b>							
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Reference Illustration – Forecourt



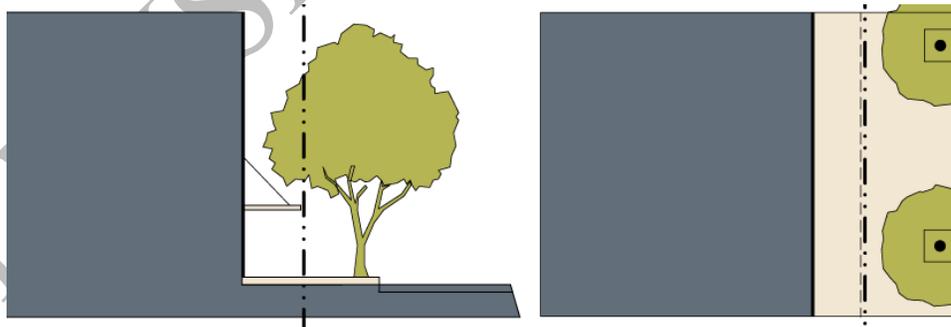
<b><u>Entry Feature Permitted Based On Building Form Type</u></b>	<b><u>Urban House</u></b>	<b><u>Cottage Development</u></b>	<b><u>Two-Family Dwelling</u></b>	<b><u>Row House</u></b>	<b><u>Multi-Family</u></b>	<b><u>Store front</u></b>	<b><u>Vertical Mixed Use</u></b>
<b><u>Stoop: An entry feature wherein the street facing facade is close to the front property line and the first story is elevated from the sidewalk sufficiently to secure privacy for the windows. The entrance contains an exterior stair and landing that is either parallel or perpendicular to the street. Recommended for ground floor residential uses.</u></b>	<b><u>P</u></b>	<b><u>P</u></b>	<b><u>P</u></b>	<b><u>P</u></b>	<b><u>P</u></b>	<b><u>P</u></b>	<b><u>P</u></b>

Reference Illustration – Stoop



<u>Entry Feature Permitted Based On Building Form Type</u>	<u>Urban House</u>	<u>Cottage Development</u>	<u>Two-Family Dwelling</u>	<u>Row House</u>	<u>Multi-Family</u>	<u>Store front</u>	<u>Vertical Mixed Use</u>
<u>Shopfront: An entry feature where the street facing facade is close to the property line and building entrance is at sidewalk grade. Building entry is covered with an awning, canopy, or is recessed from the front building facade, which defines the entry and provides protection for customers.</u>					<u>P</u>	<u>P</u>	<u>P</u>

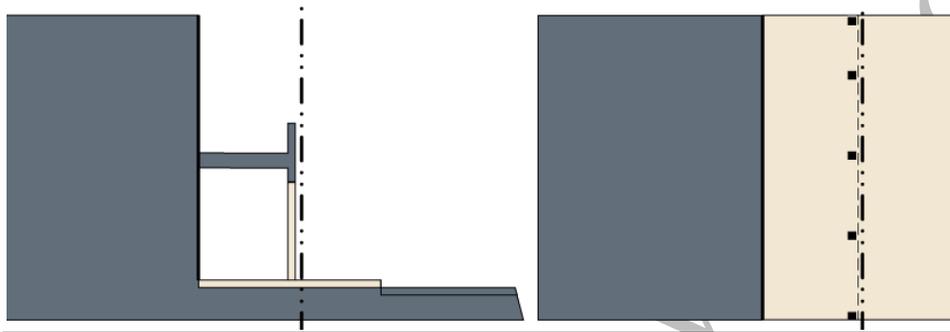
Reference Illustration – Shopfront



<u>Entry Feature Permitted Based On Building Form Type</u>	<u>Urban House</u>	<u>Cottage Development</u>	<u>Two-Family Dwelling</u>	<u>Row House</u>	<u>Multi-Family</u>	<u>Store front</u>	<u>Vertical Mixed Use</u>
<u>Gallery: A building entry where the ground floor is no</u>					<u>P</u>	<u>P</u>	<u>P</u>

<u>more than 10 feet from the front property line and the upper levels or roofline cantilevers from the ground floor facade up to the front property line.</u>							
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Reference Illustration – Gallery



4. Pedestrian Connections: Where required, the following pedestrian connection standards apply:

- a. The connection shall provide direct access from any building entry to the public sidewalk or walkway.
- b. The connection shall comply with the Americans with Disabilities Act (ADA) standards for accessibility.
- c. The connection shall be fully paved and have a minimum width of four feet (4’).
- d. The connection shall be separated from vehicle drive approaches and drive lanes by a change in grade and a wheel stop if the walkway is less than eight feet (8’) wide.
- e. Pedestrian connections that lead directly from the sidewalk to the primary building entrance may contain wing walls, no taller than two feet (2’) in height for seating, landscaping, etc.

5. Ground Floor Transparency: Where required, the ground floor transparency standards apply:

- a. Minimum of sixty percent (60%) of street facing façade, located between two (2) and eight (8) feet above the grade of the sidewalk, shall be transparent glass. This may be reduced to twenty percent (20%) if the ground floor is within one of the following building types: urban house, two-family, cottage, and row house.

- b. There must be visual clearance behind the glass for a minimum of six feet (6'). Three-dimensional display windows at least six feet (6') deep are permitted and may be counted toward the sixty percent (60%) glass requirement.
  - c. Ground floor windows of commercial uses shall be kept clear at night, free from any window covering, with internal illumination. When ground floor glass conflicts with the internal function of the building, other means shall be used to activate the sidewalk, such as display windows, public art, architectural ornamentation or detailing or other similar treatment.
  - d. The first floor elevation facing a street of all new buildings, or buildings in which the property owner is modifying the size of windows on the front facade, shall comply with these standards.
6. Building Materials: A minimum of seventy percent (70%) of any street facing building façade shall be clad in high quality, durable, natural materials, such as stone, brick, wood lap siding, fiber cement board siding, shingled or panel sided, and glass. Other materials may count up to thirty percent (30%) of the street facing building façade. Exterior insulation and finishing systems (EIFS) is permitted for trim only.
7. Open Space: A minimum of ten percent (10%) of the lot area shall be provided for open space. Open space may include landscaped yards, patio, dining areas, common balconies, rooftop gardens, and other similar outdoor living spaces. Private balconies shall not be counted towards the minimum open space requirement. Required parking lot landscaping or perimeter parking lot landscaping shall also not count towards the minimum open space requirement.
8. Building Fenestration: No building wall that faces onto a street shall exceed more than thirty feet (30') in length without being interrupted by windows, doors, or change of building wall plane that results in an offset of at least twelve inches (12").



*Illustration of Building Fenestration*

9. Residential Balconies: All street facing residential units above the ground floor or level shall contain a usable balcony that is a minimum of four feet (4') in depth. Balconies may overhang any required yard.

10. Design Standards Alternatives:

a. Alternatives to Required Build-To Line: Where a “required build-to” standard applies, the following alternatives may count toward the minimum build-to requirement as indicated:

(1) Landscaping Walls: Landscaping walls between twenty four inches (24”) and forty two inches (42”) high may count up to twenty five percent (25%) toward the minimum requirement provided the following:

(A) The wall incorporates seating areas.

(B) The wall is constructed of masonry, concrete, stone or ornamental metal.

(C) The wall maintains clear view sightlines where sidewalks and pedestrian connections intersect vehicle drive aisles or streets.

(2) Pergolas and Trellises: Pergolas and trellises may count up to twenty five percent (25%) toward the minimum build-to requirement provided the following:

(A) The structure is at least forty eight inches (48”) deep as measured perpendicular to the property line.

(B) A vertical clearance of at least eight feet (8’) is maintained above the walking path of pedestrians.

(C) Vertical supports are constructed of wood, stone, concrete or metal with a minimum of six inches by six inches (6”x6”) or a radius of at least four inches (4”).

(D) The structure maintains clear view sightlines where sidewalks and pedestrian connections intersect vehicle drive aisles or streets.

(3) Arcades: Arcades may count up to one hundred percent (100%) toward the minimum requirement provided the following:

(A) The arcade extends no more than two (2) stories in height.

(B) No portion of the arcade structure encroaches onto public property.

(C) The arcade maintains a minimum pedestrian walkway of five feet (5’).

(D) The interior wall of the arcade complies with the building configuration standards.

(4) Plazas And Outdoor Dining: Plazas and outdoor dining areas may count up to fifty percent (50%) toward the minimum requirement, and have a maximum front setback of up to fifteen feet (15’) provided the following:

(A) The plaza or outdoor dining is between the property line adjacent to the street and the street facing building facade.

(B) Shall be within two feet (2’) of grade with the public sidewalk.

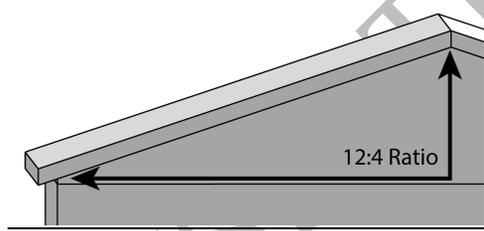
(C) The building entry shall be clearly visible through the courtyard or plaza.

(D) The building facades along the courtyard or plaza shall comply with the ground floor transparency requirement.

- b. Alternatives to Ground Floor Transparency Requirement: The planning director may modify the ground floor transparency requirement in the following instances:
  1. The requirement would negatively impact the historical character of a building within the H historic preservation overlay district; or
  2. The requirement conflicts with the structural integrity of the building and the structure would comply with the standard to the extent possible.

11. Permitted Encroachments and Height Exceptions: Obstructions and height exceptions are permitted as listed in this section or in Section 21A.36.020 of this title or as indicated in this subsection.

- a. Canopies: Canopies covering the primary entrance or entrances to a structure may extend into the right of way provided all city processes and requirements for right of way encroachments are complied with. No commercial signs are allowed on entrance canopies if the canopy encroaches into the public right of way.
- b. Building Height: In order to promote a varied skyline and other roof shapes in the area, structures with a sloped roof may exceed the maximum building height in the form based districts by five feet (5') provided:
  1. The additional height does not include additional living space. Vaulted ceilings, storage spaces, and utility spaces are permitted.
  2. The slope of the roof is a minimum of a twelve-four (12:4) pitch or a quarter barrel shape.



Minimum Slope of Pitched Roof



Minimum Slope of Quarter Barrel Roof

D. Other Applicable Development Standards:

1. Landscaping. Any applicable standard listed in Chapter 21A.48 Landscaping shall be complied with.
2. Signs. All signs shall comply with the standards found in Section 21A.46.096.
3. Accessory Uses, Building and Structures. All accessory uses, buildings and structures shall comply with the applicable standards in Chapter 21A.40, except as noted below:
  - a. Form Based Urban Neighborhood District Specific Standards for Detached Dwelling Units:
    - (1) Detached dwelling units may be built in a required yard as a stand alone unit or attached to an accessory building, such as a garage.
    - (2) Detached dwelling units are only permitted with the urban house, two-family dwelling, and cottage development building forms.
    - (3) No accessory structure containing a detached dwelling unit shall exceed twenty five feet (25') in height.
    - (4) If a detached dwelling unit is built as a second level, the minimum setback from property line shall be a minimum of four feet (4').
    - (5) All building configuration standards that apply to the primary building form shall also apply to the detached dwelling unit, with the exceptions listed below:
      - (A) The detached dwelling unit shall have an entry feature that faces or is accessible from a public alley when present;
      - (B) The entry feature may be a stoop that has a minimum dimension of four feet by four feet (4' x 4'); and
      - (C) The ground floor transparency requirement does not apply to detached dwelling units located on the second floor of an accessory structure.
  - b. Form Based Special Purpose Corridor District Specific Standards for Detached or Accessory Parking Garages or Structures:
    - (1) Detached or accessory multi-level parking garages or structures shall have the same setback requirements for principal structures.
    - (2) The minimum setback required shall be landscaped to provide a buffer to the abutting residential district. No structure (primary or accessory) shall be permitted within this landscaped buffer.
4. Parking Regulations. All parking regulations shall comply with the requirements of Chapter 21A.44.
5. Permitted Land Use. All uses allowed in the form based districts can be found in Chapter 21A.33.

**21A.27.040: RESERVED FB-SC AND FB-SE FORM BASED SPECIAL PURPOSE CORRIDOR DISTRICT:**

A. Subdistricts:

1. Named: The following subdistricts can be found in the form based special purpose corridor form based districts:
  - a. FB-SC Special Purpose Corridor Core Subdistrict: The FB-SC special purpose corridor core subdistrict contains the most intensive level of development in the vicinity of special purpose corridors. Buildings are generally six (6) to seven (7) stories in height and are supported by multiple street types so that pedestrians, bicyclists and drivers have access to the properties within the area. Development standards are based on building type.
  - b. FB-SE Special Purpose Corridor Edge Subdistrict: The FB-SE special purpose corridor edge subdistrict is intended to provide an appropriate transition in building size and scale between existing neighborhoods and the Core area. Buildings may be up to four (4) stories in height, with appropriate setbacks when adjacent to lower scale residential neighborhoods. Development regulations are based on building type, with the overall scale, form and orientation as the primary focus.
2. Applicability of Subdistricts: The regulations of the subdistricts shall apply as indicated in the regulating plan map.

FIGURE 21A.27.040.A  
REGULATING PLAN MAP –SUGAR HOUSE STREETCAR FORM BASED SPECIAL  
PURPOSE CORRIDOR AREA



**B. Street Types**

1. Street Types Intent: The intent of identifying specific types of streets in the special purpose corridor districts is to:

- a. Ensure that a hierarchy of transportation is established;
- b. Guarantee access to private property; and
- c. Determine the appropriate manner in which buildings address streets.

2. Street Types Established: The following types of streets are hereby established. The location and applicability of street type regulations are shown on Figure 21A.27.040.A Regulating Plan Map – Sugar House Streetcar Form Based Special Purpose Corridor Area.

- a. Greenway Street: Streets that contain a streetcar line and stops and various types of multi-use trails. Greenway streets may provide access for pedestrians and bicycles. Automobiles are not permitted on Greenway streets.
- b. Neighborhood Street: Neighborhood streets are intended to serve the adjacent neighborhoods and are generally considered local streets. Automobile access may

be provided to each individual lot. Access to certain building forms is not permitted from a Neighborhood street unless the property only has frontage on a Neighborhood street.

- c. Avenue Street: Avenue streets are those streets that are designed to accommodate a high number of pedestrians. Automobiles access to private property may be permitted. Pedestrians are the priority.
- d. Boulevard Street: Boulevard streets are designed to provide automobile and service access in a manner that balances the needs of automobiles and pedestrians.

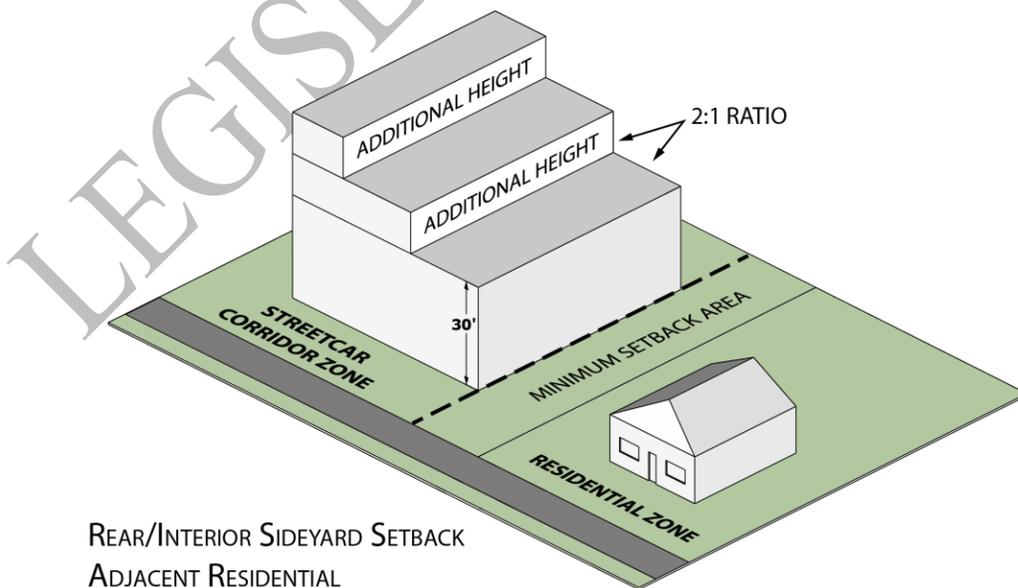
C. FB-SC Building Form Standards. Building form standards are listed below in Table 21A.27.040.C.

TABLE 21A.27.040.C  
FB-SC BUILDING FORM STANDARDS

<b><u>Permitted Building Forms</u></b> <b><u>Multi-Family and Store Front</u></b>										
<u>H</u>	<u>Maximum Building Height</u>	<u>Maximum building height in the FB-SC is 60 feet. An additional 15 feet in height (for a total height of 75 feet) may be permitted for residential uses if a minimum of 10% of the units are affordable housing.</u>								
	<u>Limitation on Commercial Uses</u>	<u>Commercial or nonresidential uses are limited to the first 3 stories and a height of 45 feet. This limitation does not apply to hotel/motel uses, which are limited to the maximum height of 75 feet.</u>								
<u>F</u>	<u>Front and Corner Side Yard Setback</u>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td style="text-align: center;"><u>Greenway</u></td> <td><u>Minimum of 5 feet. Maximum of 15 feet.</u></td> </tr> <tr> <td style="text-align: center;"><u>Neighborhood</u></td> <td><u>Minimum of 15 feet. Maximum of 25 feet.</u></td> </tr> <tr> <td style="text-align: center;"><u>Avenue</u></td> <td><u>Minimum of 5 feet. Maximum of 10 feet.</u></td> </tr> <tr> <td style="text-align: center;"><u>Boulevard</u></td> <td><u>Minimum of 15 feet. Maximum of 25 feet.</u></td> </tr> </table>	<u>Greenway</u>	<u>Minimum of 5 feet. Maximum of 15 feet.</u>	<u>Neighborhood</u>	<u>Minimum of 15 feet. Maximum of 25 feet.</u>	<u>Avenue</u>	<u>Minimum of 5 feet. Maximum of 10 feet.</u>	<u>Boulevard</u>	<u>Minimum of 15 feet. Maximum of 25 feet.</u>
<u>Greenway</u>	<u>Minimum of 5 feet. Maximum of 15 feet.</u>									
<u>Neighborhood</u>	<u>Minimum of 15 feet. Maximum of 25 feet.</u>									
<u>Avenue</u>	<u>Minimum of 5 feet. Maximum of 10 feet.</u>									
<u>Boulevard</u>	<u>Minimum of 15 feet. Maximum of 25 feet.</u>									
<u>B</u>	<u>Required Build-To</u>	<u>Minimum of 50% of any street facing façade shall be built to the minimum setback line. At least 10% of any street facing façade shall be building the maximum setback line.</u>								

<u>S</u>	<u>Interior Side Yard</u>	<u>When adjacent to a residential district, a minimum setback of 25% of the lot width, up to 25 feet, is required. Any portion of the building taller than 30 feet must be stepped back two feet from the required building setback line for every one foot of height over 30 feet. When adjacent to other zoning districts, no minimum setback is required. See illustration below.</u>
<u>R</u>	<u>Rear Yard</u>	<u>When adjacent to a residential district, a minimum setback of 25% of the lot width, up to 25 feet, is required. Any portion of the building taller than 30 feet must be stepped back two feet from the required building setback line for every one foot of height over 30 feet. When adjacent to other zoning districts, no minimum setback is required. See illustration below.</u>
<u>L</u>	<u>Minimum Lot Size</u>	<u>4,000 square feet; not to be used to calculate density.</u>
<u>W</u>	<u>Minimum Lot Width</u>	<u>50 feet</u>
<u>DU</u>	<u>Dwelling Units per Building Form</u>	<u>No minimum or maximum.</u>
<u>BF</u>	<u>Number of Building Forms per Lot</u>	<u>One building form permitted for every 4,000 square feet of lot area provided all building forms have frontage on a street.</u>

Interior Side Yard and Rear Yard Illustration

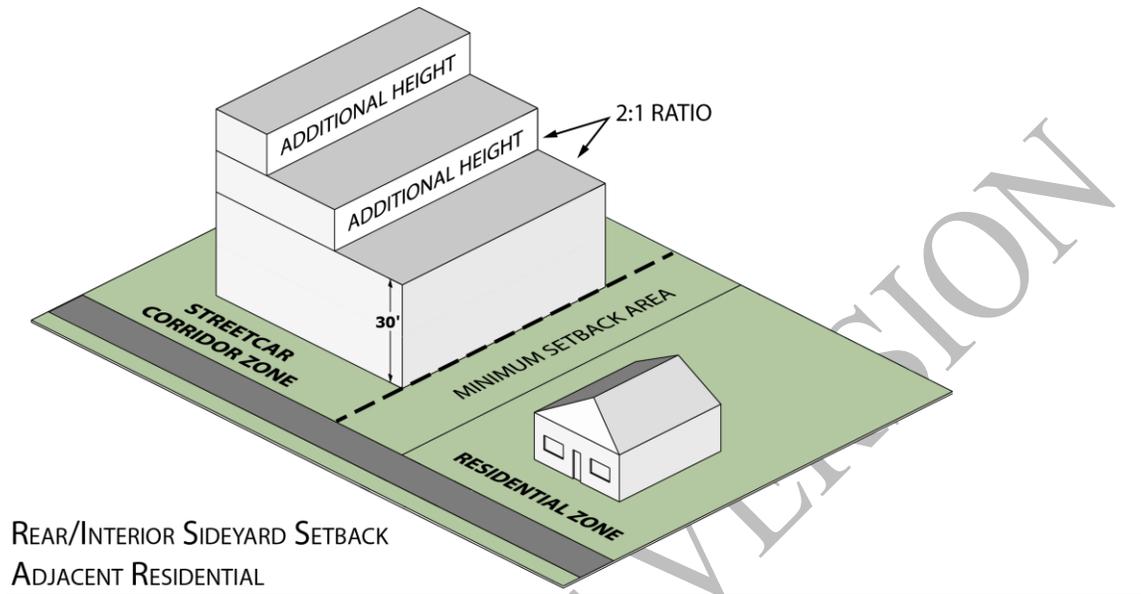


D. FB-SE Building Form Standards. Building form standards are listed below in Table 21A.27.040.D

TABLE 21A.27.040.D  
FB-SE BUILDING FORM STANDARDS

<b><u>Permitted Building Forms</u></b> <b><u>Cottage, Row House, Multi-Family and Store Front</u></b>		
H	<u>Maximum Building Height</u>	<u>Maximum building height in the FB-SE is 45 feet.</u>
	<u>Limitation on Commercial Uses</u>	<u>Commercial or nonresidential uses are limited to the first 2 stories and a height of 30 feet.</u>
F	<u>Front and Corner Side Yard Setback</u>	<u>Greenway</u>
		<u>Neighborhood</u>
		<u>Avenue</u>
		<u>Boulevard</u>
		<u>Minimum of 5 feet. Maximum of 15 feet.</u>
		<u>Minimum of 15 feet. Maximum of 25 feet.</u>
		<u>Minimum of 5 feet. Maximum of 10 feet.</u>
		<u>Minimum of 15 feet. Maximum of 25 feet.</u>
B	<u>Required Build-To</u>	<u>Minimum of 50% of street facing façade shall be built to the minimum setback line.</u>
S	<u>Interior Side Yard</u>	<u>When adjacent to a residential district, a minimum setback of 25% of the lot width, up to 25 feet, is required. Any portion of the building taller than 30 feet must be stepped back two feet from the required building setback line for every one foot of height over 30 feet. When adjacent to other zoning districts, no minimum setback is required. See illustration below.</u>
R	<u>Rear Yard</u>	<u>When adjacent to a residential district, a minimum setback of 25% of the lot width, up to 25 feet, is required. Any portion of the building taller than 30 feet must be stepped back two feet from the required building setback line for every one foot of height over 30 feet. When adjacent to other zoning districts, no minimum setback is required. See illustration below.</u>
L	<u>Minimum Lot Size</u>	<u>4,000 square feet; not to be used to calculate density.</u>
W	<u>Minimum Lot Width</u>	<u>50 feet</u>
DU	<u>Dwelling Units per Building Form</u>	<u>No minimum or maximum.</u>

BF	<u>Number of Building Forms per Lot</u>	<u>One building form permitted for every 4,000 square feet of lot area provided all building forms have frontage on a street.</u>
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**21A.27.050: FB-UN1 AND FB-UN2 FORM BASED URBAN NEIGHBORHOOD DISTRICT STANDARDS:**

~~A. Purpose Statement: The purpose of the FB-UN form based urban neighborhood district is to create an urban neighborhood that provides the following:~~

- ~~1. Options for housing types;~~
- ~~2. Options in terms of shopping, dining, and fulfilling daily needs within walking distance or conveniently located near mass transit;~~
- ~~3. Transportation options;~~
- ~~4. Access to employment opportunities within walking distance or close to mass transit;~~
- ~~5. Appropriately scaled buildings that respect the existing character of the neighborhood;~~
- ~~6. Safe, accessible, and interconnected networks for people to move around in; and~~
- ~~7. Increased desirability as a place to work, live, play, and invest through higher quality form and design.~~

~~B. Context Description: The form based urban neighborhood district is intended to be utilized on the edges of dense, urban centers, such as downtown Salt Lake City. It is appropriate in areas with the following characteristics:~~

- ~~1. Street, Block, And Access Patterns: A regular pattern of blocks surrounded by a traditional grid of streets that provide mobility options and connections for pedestrians, bicyclists, and automobiles. Blocks include sidewalks separated from vehicle travel lanes by a landscaped park strip. Front yards are landscaped or include active, outdoor uses.~~
- ~~2. Building Placement And Location: Residential buildings are generally located close to the sidewalk with a small, transitional, semipublic space, such as a landscaped front yard, that is consistent along the block face. Buildings along arterials are located close to the sidewalk with parking to the side or rear of building.~~
- ~~3. Building Height: Building heights on local streets are relatively low and consistent with existing building heights with little variation. Buildings located on arterial streets are generally taller, but may not exceed five (5) stories or sixty five feet (65').~~
- ~~4. Mobility: A balance between pedestrians, bicyclists, transit riders, and motorists exist in the area, and residents are well connected to other parts of the city.~~

~~CA. Subdistricts:~~

- ~~1. Named: The following subdistricts can be found in the urban neighborhood form based districts:
  - ~~a. FB-UN1 Urban Neighborhood 1 Subdistrict: Generally includes small scale structures, up to two and one-half (2.5) stories in height, on relatively small lots with up to four (4) dwelling units per lot depending on building type. Reuse of existing residential structures is encouraged. Development regulations are based on the building type.~~
  - ~~b. FB-UN2 Urban Neighborhood 2 Subdistrict: Generally includes buildings up to four (4) stories in height, with taller buildings located on street corner parcels, which may contain a single use or a mix of commercial, office, and residential uses. Development regulations are based on building type, with the overall scale, form, and orientation of buildings as the primary focus.~~~~
- ~~2. Applicability of Subdistricts: The regulations of the subdistricts shall apply as indicated in the regulating plan map.~~

**FIGURE 21A.27.050.CA**

**REGULATING PLAN MAP – WEST TEMPLE GATEWAY AREA**



**D. Specific Intent Of Regulations:**

- ~~1. Design Related Standards: The design related standards are intended to do the following:
 
  - ~~a. Implement applicable master plans;~~
  - ~~b. Continue the existing physical character of residential streets while allowing an increase in building scale along arterials and near transit stations;~~~~

- ~~e. Focus development and future growth in the city along arterials and near transit stations;~~
  - ~~d. Arrange buildings so they are oriented toward the street in a manner that promotes pedestrian activity, safety, and community;~~
  - ~~e. Provide human scaled buildings that emphasize design and placement of the main entrance/exit on street facing facades;~~
  - ~~f. Provide connections to transit through public walkways;~~
  - ~~g. Provide areas for appropriate land uses that encourage use of public transit and are compatible with the neighborhood;~~
  - ~~h. Promote pedestrian and bicycle amenities near transit facilities to maximize alternative forms of transportation; and~~
  - ~~i. Rehabilitate and reuse existing residential structures in the FB-UN1 zone when possible to efficiently use infrastructure and natural resources, and preserve neighborhood character.~~
- ~~2. Building Form Standards:~~
- ~~a. Encourage building forms that are compatible with the neighborhood and the future vision for the neighborhood by acknowledging there will be different scaled buildings in the area;~~
  - ~~b. Arrange building heights and scale to provide appropriate transitions between buildings of different scales and adjacent areas, especially between different subdistricts;~~
  - ~~c. Guide building orientation through setbacks and other requirements to create a consistent street edge, enhance walkability by addressing the relationship between public and private spaces, and ensure architectural design will contribute to the character of the neighborhood;~~
  - ~~d. Use building form, placement, and orientation to identify the private, semiprivate, and public spaces;~~
  - ~~e. Minimize the visual impact of parking areas; and~~
  - ~~f. Minimize conflicts between pedestrians, bicyclists, and vehicles.~~

~~E. Building Forms:~~

1. Description: The permitted building forms are described in this subsection. Each building form includes a general description and definition, as well as images of what the building form may look like. Building form images are for informational purposes only and not intended to demonstrate exactly what shall be built. The description and images should be used to classify existing and proposed buildings in order to determine what development regulations apply. The drawings are not to scale. They should not be used to dictate a specific architectural style as both traditional and contemporary styles can be used.
  - a. Urban House: A residential structure with the approximate scale of a single dwelling unit, as viewed from the street, but may contain up to two (2) dwelling units. The structure has a single entry facing the street, a front porch or stoop, and a small front yard. Second units may be arranged vertically (up and down) or horizontally (front and back), but the entry to the second unit is from the side, rear, or interior of structure. A third unit may also be located along an alley as a stand-alone unit or as a dwelling unit located in an accessory building. All units are on a single lot.



*Urban House With Detached Dwelling*

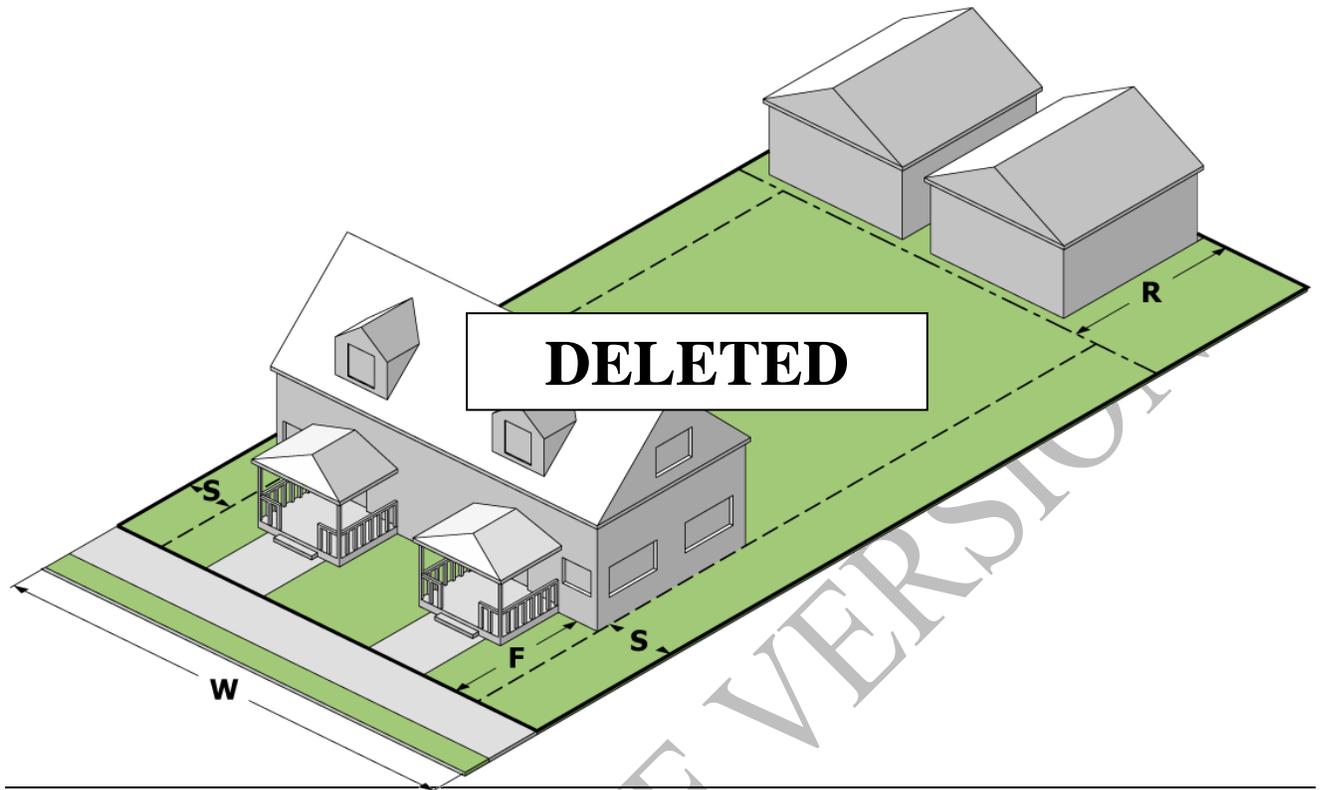


*Modern And Traditional Forms*



*Two Story Contemporary Form*

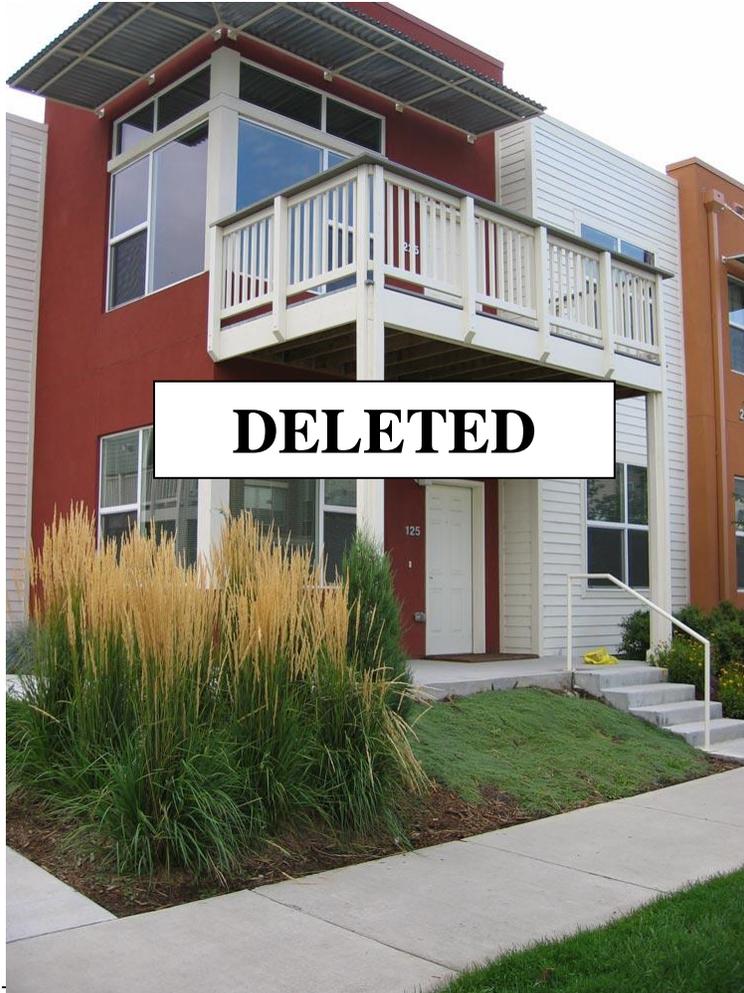
- ~~b. Two Family Dwelling: A residential structure that contains two (2) dwelling units in a single building. The units may be arranged side by side, up and down, or front and back. Each unit has its own separate entry directly to the outside. Dwellings may be located on separate lots or grouped on one lot. A third unit may also be located along an alley as a stand alone unit or as a dwelling unit located in an accessory building, but may not be located on a separate lot.~~



*Two-Family Dwelling With Garages*



*Traditional Two-Family Dwelling*



*Modern Two-Family Dwelling*

- e. ~~Cottage Development: A unified development that contains two (2) or more detached dwelling units with each unit appearing to be a small single-family dwelling with a common green or open space. Dwellings may be located on separate lots or grouped on one lot.~~



*Cottage Development On Single Parcel*



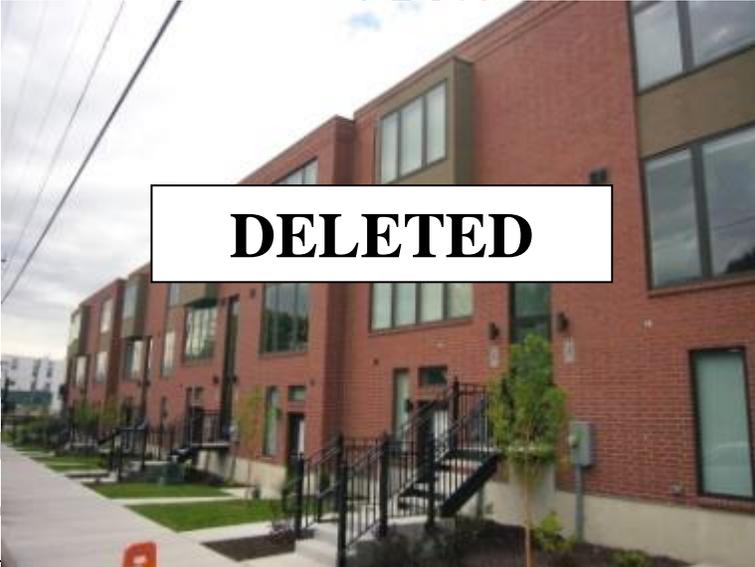
*Cottage Development*

- d. ~~Row House: A series of attached single-family dwellings that share at least one common wall with an adjacent dwelling unit. A row house contains a minimum of three (3) residential dwelling units. Each unit may be on its own lot. If possible,~~

off street parking is accessed from an alley.



*Row House On Single Parcel*

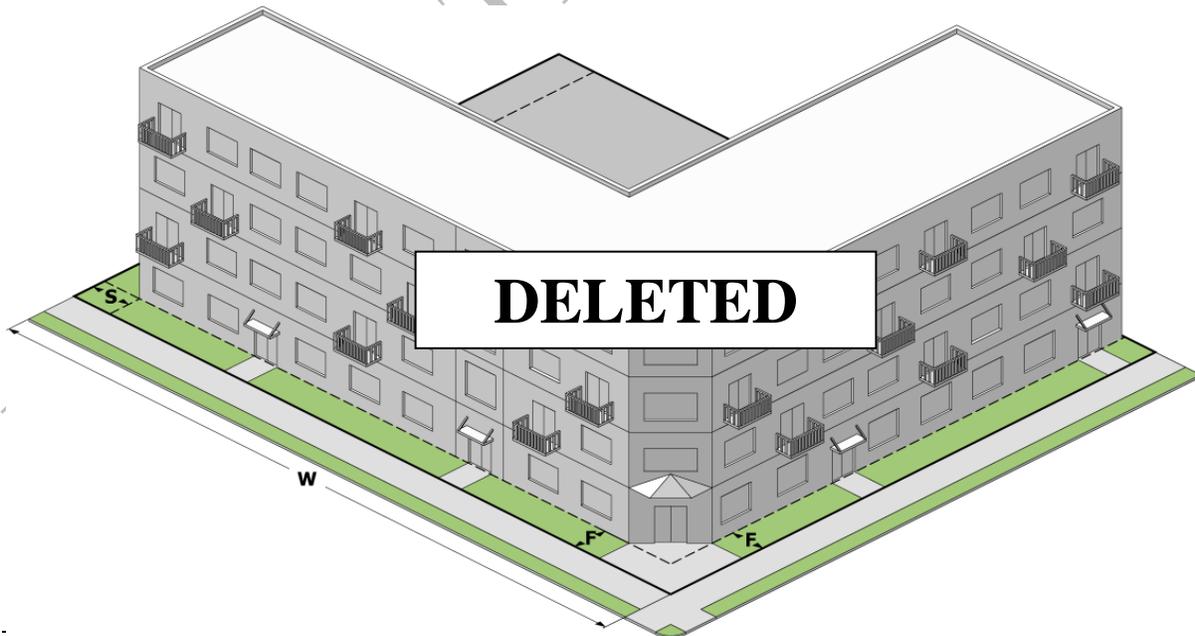


*Modern Row House Form*



*Traditional Row House Form*

- e. ~~Multi Family Residential: A multi-family residential structure containing three (3) or more dwelling units that may be arranged in a number of configurations.~~



*Multi Family Residential Form*

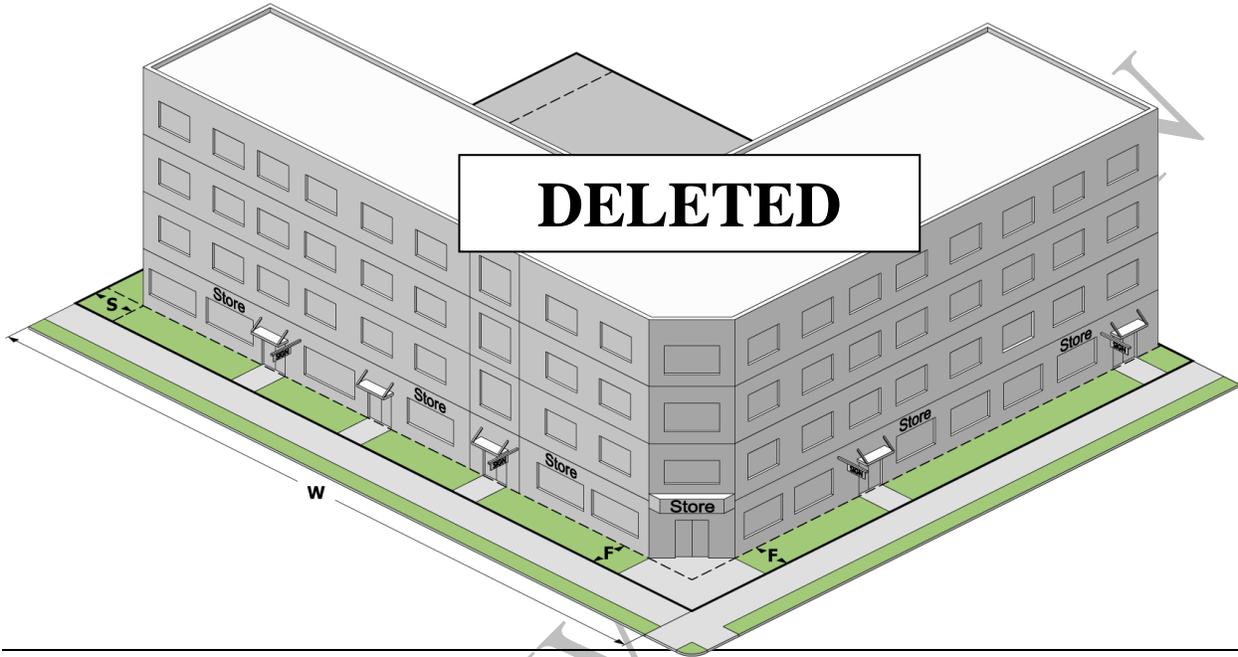


*Multi-Family Modern Form*



*Multi-Family Traditional Form*

f. ~~Storefront: A commercial structure that may have multiple stories and contain a variety of commercial uses that are allowed in the district that permits this building type. All buildings, regardless of the specific use, have a ground floor that looks like a storefront.~~

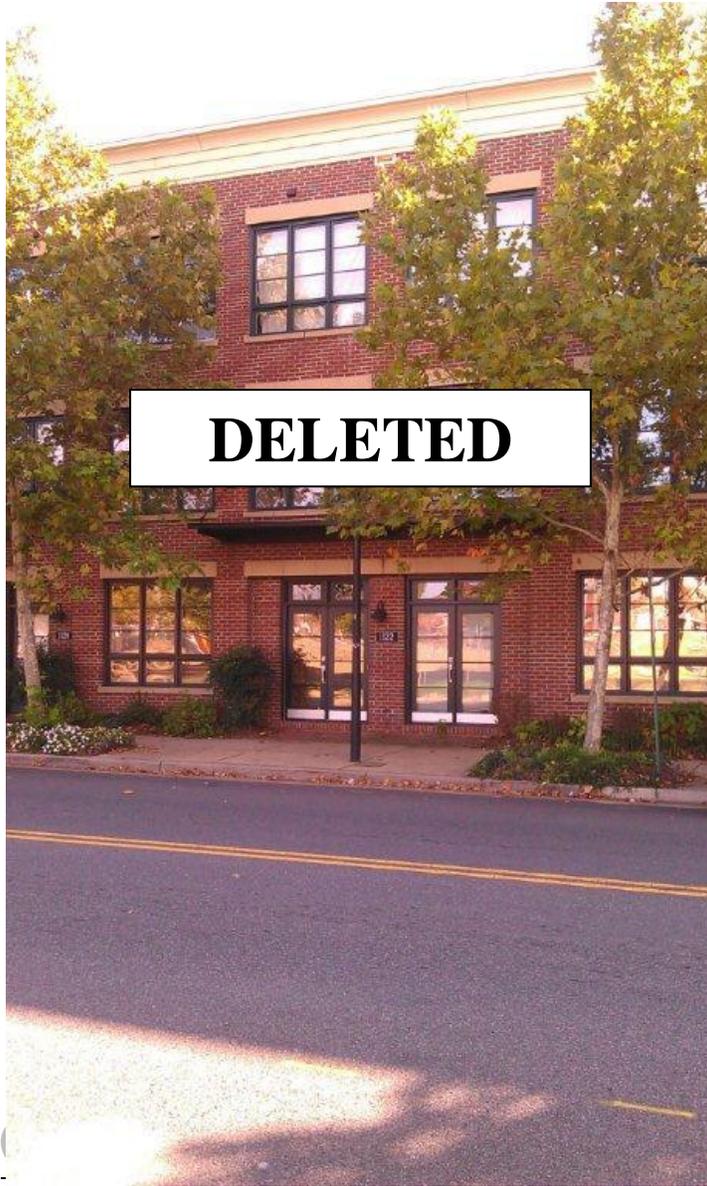


*Store Front Form*



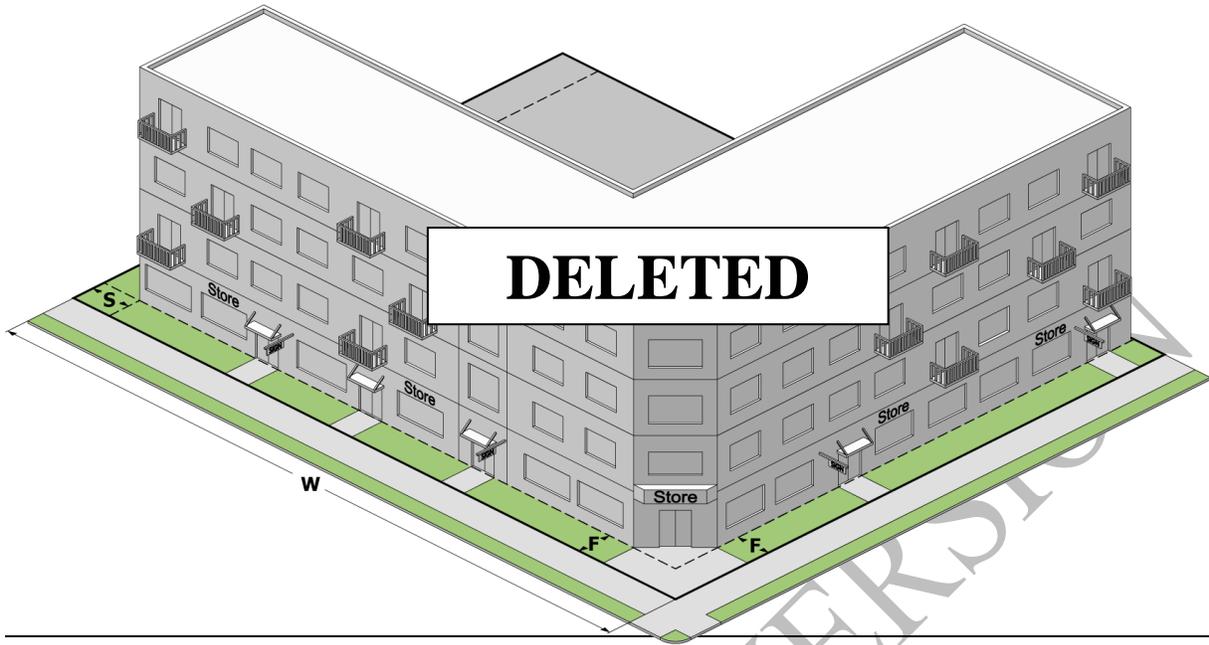
*Contemporary Store Front*

LEGISLATIVE VERSION

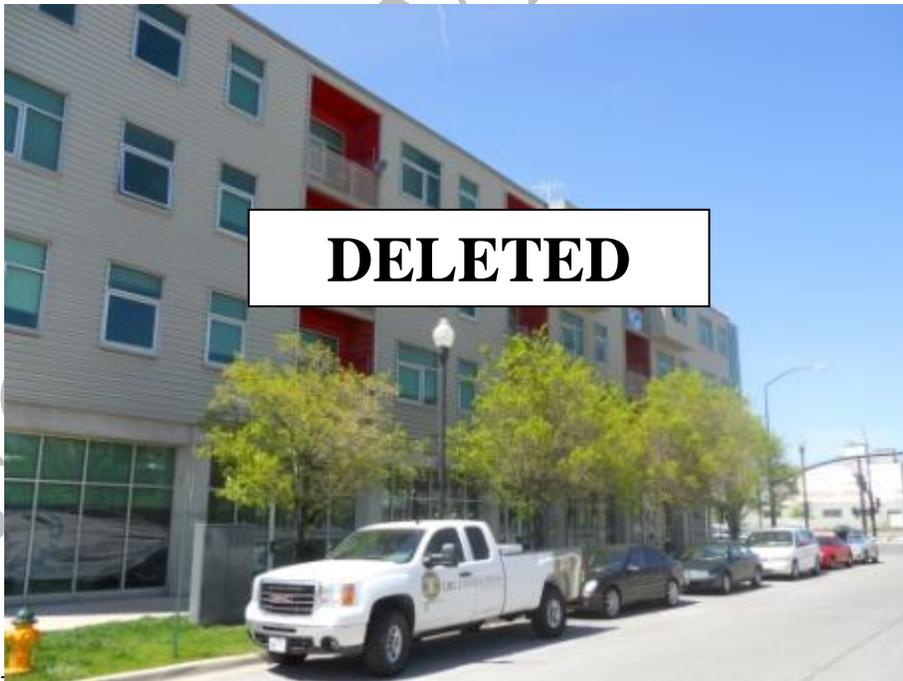


*Traditional Store Front*

- ~~g. Vertical Mixed Use: A multi-story building that contains a mix of commercial and/or office with residential uses.~~



*Vertical Mixed Use Multi-Story Form*



*Modern Materials*



*Traditional Materials*

~~2. Form Regulations: The building form standards are listed in table 21A.27.050E1, "FB-UN1 Building Form Standards" and table 21A.27.050E2, "FB-UN2 Building Form Standards", of this section. Building form standards apply to all new buildings and additions that are greater than twenty five percent (25%) of the footprint of the structure or one thousand (1,000) square feet, whichever is less. Refer to subsection F of this section for more information on how to comply with the building configuration standards. The graphics included provide a visual representation of the standards as a guide and are not meant to supersede the standards in the tables. TABLE 21A.27.050E1~~

B. FB-UN1 Building Form Standards. Building form standards are listed below in Table 21A.27.050.B

TABLE 21A.27.050.B  
FB-UN1 BUILDING FORM STANDARDS

		Building Form			
Building Regulation		Urban House	Two-Family Dwelling	Cottage Development <sup>1</sup>	Row House
<b>Building Height and Placement:</b>					
H	Height	2.5 stories, maximum of 30', measured from established grade			

F	Front and corner side yard setback	Equal to average setback of block face, where applicable, otherwise minimum of 10' and maximum of 20'			
S	Interior side yard	Minimum 4'			
R	Rear yard	Minimum of 20% lot depth up to 25'	4' minimum		Minimum of 20% lot depth up to 25'
L	Minimum lot size	3,000 sq. ft.; not to be used to calculate density	1,500 sq. ft.; not to be used to calculate density	1,500 sq. ft.; not to be used to calculate density	
W	Minimum lot width	30'	15' per unit	15' per unit facing a street	15' per unit. Side orientation allowed provided building configuration standards are complied with
DU	Maximum dwelling units per building form	2 units plus 1 detached accessory unit	2 units plus 1 detached accessory unit	1 unit per cottage, multiple cottages per lot	Minimum of 3; maximum of 4
BF	Number of building forms per lot	1 building form permitted for every 3,000 sq. ft. of lot area	1 cottage for every 1,500 sq. ft. of lot area	1 building form permitted for every 1,500 square feet of lot area	
<b>Parking:</b>					
	Surface parking in front and corner side yards	Not permitted			
	Vehicle access	If off street parking is provided, vehicle access from an alley is required when property is served by a public or private alley with access rights. Vehicle access from street is only permitted when no alley access exists. If pull through parking is required by fire or other code, ingress shall be from street and egress onto alley.			
	Parking on separate lots	Not permitted	Parking may be provided on an adjacent lot or in a common area associated with the development		
	Building entry	Minimum of 1 entry facing public street. Two family dwellings shall have at least 1 entry facing a street. Side entries for building forms with 2 or more dwelling units are permitted provided a minimum of 1 building entry faces a street			
	Pedestrian connections	Pedestrian access to public walkways required	Pedestrian access to public walkways required for each dwelling unit		
	Ground floor transparency	Minimum of 20% of street facing facade			
	Attached garages and carports	Attached garages and carports are required to be <u>accessed from</u> the rear yard where the rear yard is accessible by an alley with access rights to the subject property. If			

	there is no access to the rear yard, an attached garage may be accessed from the front or corner side yard provided the garage door (or doors) is no wider than 50% of the front facade of the structure and set back at least 5 feet from the street facing building facade and at least 20 feet from the property line. Side loaded garages are permitted
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Note:

1. See subsection ~~G~~ 21A.27.020.B.1.d of this ~~section~~ chapter for additional standards.

**C. FB-UN2 Building Form Standards.** Building form standards are listed below in Table 21A.27.050.C

TABLE 21A.27.050.C ~~21A.27.050E2~~  
FB-UN2 BUILDING FORM STANDARDS

		Building Form				
Building Regulation		Cottage Development <sup>1</sup>	Row House	Multi-Family Residential	Mixed Use	Storefront
<b>Building Height and Placement:</b>						
H	Height	2.5 stories, 30' maximum from established grade	4 stories with a maximum of 50'. 5 stories with a maximum of 65' on parcels located on the corners of West Temple at 800 or 900 South, 200 West at 700, 800 or 900 South, 200 West at Fayette Avenue, and 300 West at 800 or 900 South. All heights measured from established grade			
F	Front and corner side yard setback	No minimum Maximum 10'				
B	Required build-to	Minimum of 50% of street facing facade shall be built to the minimum setback line				
S	Interior side yard	Minimum of 15' along a side property line adjacent to FB-UN1, otherwise 4' setback required. Parcels separated by an alley are not considered adjacent		Minimum of 15' along a side property line adjacent to FB-UN1, otherwise no setback required. Parcels separated by an alley are not considered adjacent		
R	Rear yard	Minimum of 25' when rear yard is adjacent to FB-UN1 otherwise no setback required. Parcels separated by an alley are not considered adjacent		Minimum of 20' when rear yard is adjacent to FB-UN1		
U	Upper level step back	When adjacent to lot in the FB-UN1, buildings shall be stepped back 1 additional foot for every foot of building height above 35'. When a parcel in the FB-UN2 district is separated from a parcel in the FB-UN1 district by an alley, the width of the alley may be counted toward the upper level step back				
L	Minimum lot size	4,000 sq. ft.; not to be used to	1,500 sq. ft.; not to	4,000 sq. ft.; not to be used to calculate density		

		calculate density	be used to calculate density	
W	Minimum lot width	15' per unit facing a street Side orientation allowed provided building configuration standards are complied with		30'
DU	Dwelling units per building form	1 per cottage	Minimum of 3; maximum of 5	No minimum or maximum
BF	Number of building forms per lot	1 cottage for every 1,000 square feet of lot area	1 building form permitted for every 1,000 square feet of lot area	1 building form permitted for every 4,000 square feet of lot area
<b>Parking:</b>				
	Surface parking in front and corner side yards	Not permitted		
	Vehicle access	If off street parking is provided, vehicle access from an alley is required when property is served by a public or private alley with access rights. Vehicle access from street is only permitted when no alley access exists. If pull through parking is required by fire or other code, ingress shall be from street and egress onto alley	If property is less than 30' wide, vehicle access from an alley is required when property is served by a public or private alley with access rights. If no alley access exists, only 1 vehicle access point from a street may be permitted  If property is 30' wide or more, only 1 vehicle access point from a street may be permitted. If property is served by a public or private alley, ingress shall be from street and egress onto alley unless otherwise permitted by this section  Corner lots with a minimum width of 120' may have 1 vehicle access point per street frontage. Vehicle access may be one-way or multi-directional	
	Vehicle access width at street	When a one-way vehicle drive is included in a development, no vehicle drive or curb cut may exceed 12' in width. When a multi-directional vehicle drive is included, a curb cut may not exceed 24' in width.		
	Vehicle access from street design standards	If vehicle access is from a street, the following additional design standards shall apply: garage entry shall have a minimum 20' setback from property line; garage entry may not exceed 50% of first floor building width; one-way garage entry may not exceed 14' in width; multiway garage entry may not exceed 26' in width; garage door or gate shall be constructed of durable building materials and compatible with building design.		
	Driveway location	The minimum distance between curb cuts shall be 12'. Driveways shall be at		

		<p>least 6' from abutting property lines for a depth of 10' unless shared. Driveways shall be at least 12' from property lines adjacent to a street corner or 5' from the point of tangency of the curb return, whichever is greater. Abandoned curb cuts shall be removed and replaced with city standard curb</p>		
	Vehicle access and parking compliance	<p>All new drive approaches, driveways, and parking lots shall comply with form based urban neighborhood regulations, and all other applicable sections of this code. Existing drive approaches, driveways, and parking lots shall be made compliant with form based urban neighborhood regulations upon change of use, increase in parking, or building additions greater than 25% of the footprint of the structure or 1,000 sq. ft., whichever is less</p>		
	Parking on separate lots	<p>Parking may be provided on an adjacent lot, or in a common area associated with the development, or within 500' of the property. If located on an adjacent parcel or on a parcel within 500', the proposed location of the parking shall contain a principal building and the parking shall be located behind a principal building</p>		
<b>Building Configuration:</b>				
	Building entry	<p>Minimum of 1 building entry per street frontage. An additional entry feature is required for every 75' of building wall adjacent to street. Side entries for multiple dwelling unit buildings are permitted provided there is at least 1 primary entrance facing a public street</p>		
	Pedestrian connections	<table border="1" style="width: 100%;"> <tr> <td style="width: 50%;">Pedestrian access to public walkway is required for each unit</td> <td style="width: 50%;">Pedestrian access to public walkway is required</td> </tr> </table>	Pedestrian access to public walkway is required for each unit	Pedestrian access to public walkway is required
Pedestrian access to public walkway is required for each unit	Pedestrian access to public walkway is required			
	Ground floor transparency	<p>Minimum of 60% of street facing facade, located between 2' and 8' above the grade of the sidewalk, shall be transparent glass. This may be reduced to 30% if ground floor is occupied by residential uses</p>		
	Building fenestration	<p>Required as per subsection F of this section</p>		
	Open space	<p>A minimum of 10% of lot area shall be provided for open space. Open space may include landscaped yards, patios, dining areas, balconies, rooftop gardens, and other similar outdoor living spaces. Required parking lot landscaping or perimeter parking lot landscaping shall not count toward the minimum open space requirement</p>		
	Upper level outdoor space	<p>All street facing residential units above the ground floor shall contain a usable balcony that is a minimum of 4' in depth. Balconies may overhang any required yard</p>		
	Building facade materials	<p>A minimum of 70% of any street facing building facade shall be clad in glass, brick, masonry, textured or patterned concrete, wood, or stone. Other materials may count up to 30% of the street facing building facade</p>		
	Attached garages and carports	<p>Attached garages and carports are required to be <u>accessed from</u> <del>in</del> the rear yard where the rear yard is accessible by an alley with access rights to the subject property. If there is no access to the rear yard, an attached garage may be accessed from the front or corner side yard provided that the garage door (or doors) is no wider than 50% of the front facade of the structure and the entry to the garage is set back at least 10' from the street facing building facade and at least 20' from a public sidewalk. Side loaded garages are permitted</p>		

Note:

1. See subsection G 21A.27.020.B.1.d of this section chapter for additional standards.

~~F. Building Configuration Standards Defined: The building configuration standards are defined in this section. The defined standards in this section are intended to identify how to comply with the building configuration standards listed in table 21A.27.050E1, "FB-UN1 Building Form Standards" and table 21A.27.050E2, "FB-UN2 Building Form Standards", of this section:~~

- ~~1. Building Entry: A minimum of one main entry with an entry feature facing a public street or walkway, excluding alleys, is required. The main entry is the primary pedestrian entrance into a building. Two family dwelling buildings shall have a minimum of one main entry with porch or stoop for at least one of the dwelling units facing a street. The main entry for the second dwelling unit may face the street or side yard, but must also have a porch or stoop entrance. Where required, the building entry must be one of the following:
 
  - ~~a. Front entrance: Door on the same plane as street facing facade;~~
  - ~~b. Recessed entrance: Inset behind the plane of the building no more than ten feet (10'). If inset, then the sidewalls of the inset must be lined with clear glass. Opaque, smoked, or darkened glass is not permitted; or~~
  - ~~c. Corner entrance: Entry that is angled or an inside corner located at the corner of two (2) intersecting streets.~~~~
- ~~2. Encroachments: A permitted entry feature may encroach into a required yard provided no portion of the porch is closer than five feet (5') to the front property line.~~
- ~~3. Entry Feature: The following building entries are permitted as indicated:~~

TABLE 21A.27.050F  
ENTRY FEATURE STANDARDS

Entry Feature Permitted Based On Building Form Type	Urban House	Cottage Development	Two-Family Dwelling	Row House	Multi-Family	Storefront	Vertical Mixed Use
Porch and fence: A planted front yard where the street facing building facade is set back from the front property line with an attached porch that is permitted to encroach into the required yard. The porch shall be a minimum of 6' in depth. The front yard may include a fence no taller than 3' in height	P	P	P	P	P		

Reference Illustration—Porch And Fence



Entry Feature Permitted Based On Building Form Type	Urban House	Cottage Development	Two-Family Dwelling	Row House	Multi-Family	Storefront	Vertical Mixed Use
Terrace or lightwell: An entry feature where the street facing facade is set back from the front property line by an elevated terrace or sunken lightwell. May include a canopy or roof			P	P	P	P	P

Reference Illustration—Terrace Or Lightwell



Entry Feature Permitted Based On Building Form Type	Urban House	Cottage Development	Two-Family Dwelling	Row House	Multi-Family	Storefront	Vertical Mixed Use

Forecourt: An entry feature wherein a portion of the street facing facade is close to the property line and the central portion is set back. The court created must be landscaped, contain outdoor plazas, outdoor dining areas, private yards, or other similar features that encourage use and seating	P	P	P	P	P	P	P
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Reference Illustration—Forecourt



Entry Feature Permitted Based On Building Form Type	Urban House	Cottage Development	Two-Family Dwelling	Row House	Multi-Family	Storefront	Vertical Mixed Use
Stoop: An entry feature wherein the street facing facade is close to the front property line and the first story is elevated from the sidewalk sufficiently to secure privacy for the windows. The entrance contains an exterior stair and landing that is either parallel or perpendicular to the street. Recommended for ground floor residential uses	P	P	P	P	P	P	P

Reference Illustration—Stoop



Entry Feature Permitted Based On Building Form Type	Urban House	Cottage Development	Two-Family Dwelling	Row House	Multi-Family	Storefront	Vertical Mixed Use
Shopfront: An entry feature where the street facing facade is close to the property line and building entrance is at sidewalk grade. Building entry is covered with an awning, canopy, or is recessed from the front building facade, which defines the entry and provides protection for customers					P	P	P

Reference Illustration – Shopfront



Entry Feature Permitted Based On Building Form Type	Urban House	Cottage Development	Two-Family Dwelling	Row House	Multi-Family	Storefront	Vertical Mixed Use
Gallery: A building entry where the ground floor is no more than 10' from the front property line and the upper levels or roofline cantilevers from the ground floor facade up to the front property line					P	P	P

Reference Illustration—Gallery



4. ~~Pedestrian Connections: Where required, the following pedestrian connection standards apply:~~
  - a. ~~The connection shall provide direct access from any building entry to the public sidewalk or walkway.~~
  - b. ~~The connection shall be separated from vehicle drive approaches and drive lanes by a change in grade and a wheel stop if the walkway is less than eight feet (8') wide.~~
  - c. ~~Pedestrian connections that lead directly from the sidewalk to the primary building entrance may contain wing walls, no taller than two feet (2') in height for seating, landscaping, etc.~~
5. ~~Ground Floor Transparency: Where required, the ground floor transparency standards apply:~~
  - a. ~~There must be visual clearance behind the glass for a minimum of six feet (6'). Three-dimensional display windows at least six feet (6') deep are permitted and may be counted toward the sixty percent (60%) glass requirement.~~
  - b. ~~When ground floor glass conflicts with the internal function of the building, other means shall be used to activate the sidewalk, such as display windows, public art, architectural ornamentation or detailing or other similar treatment.~~
  - c. ~~Windows and other glass surfaces shall have an outdoor visible light reflectivity value of no more than eighteen percent (18%) as defined and measured by American Society For Testing And Materials (ASTM) E308-90 or its successor.~~

- d. ~~The first floor elevation facing a street of all new buildings, or buildings in which the property owner is modifying the size of windows on the front facade, shall comply with these standards.~~
- 6. ~~Building Fenestration: No building wall that faces onto a street shall exceed more than thirty feet (30') in length without being interrupted by a change of building wall plane that results in an offset of at least twelve inches (12").~~



*Illustration Of Building Fenestration*

G. ~~Cottage Development Standards:~~

- 1. ~~Setbacks Between Individual Cottages: All cottages shall have a minimum setback of eight feet (8') from another cottage.~~
- 2. ~~Footprint: No cottage shall have a footprint in excess of eight hundred fifty (850) square feet.~~
- 3. ~~Building Entrance: All building entrances shall face a public street or a common open space.~~
- 4. ~~Open Space: A minimum of two hundred fifty (250) square feet of common, open space is required per cottage up to a maximum of one thousand (1,000) square feet. At least fifty percent (50%) of the open space shall be contiguous and include~~

landscaping, walkways or other amenities intended to serve the residents of the development.

~~H. Design Standards Alternatives:~~

~~1. Alternatives To Required Build To Line: Where a "required build to" standard applies, the following alternatives may count toward the minimum build to requirement as indicated:~~

~~a. Landscaping Walls: Landscaping walls between twenty four inches (24") and forty two inches (42") high may count up to twenty five percent (25%) toward the minimum requirement provided the following:~~

- ~~(1) The wall incorporates seating areas.~~
- ~~(2) The wall is constructed of masonry, concrete, stone or ornamental metal.~~
- ~~(3) The wall maintains clear view sightlines where sidewalks and pedestrian connections intersect vehicle drive aisles or streets.~~

~~b. Pergolas And Trellises: Pergolas and trellises may count up to twenty five percent (25%) toward the minimum build to requirement provided the following:~~

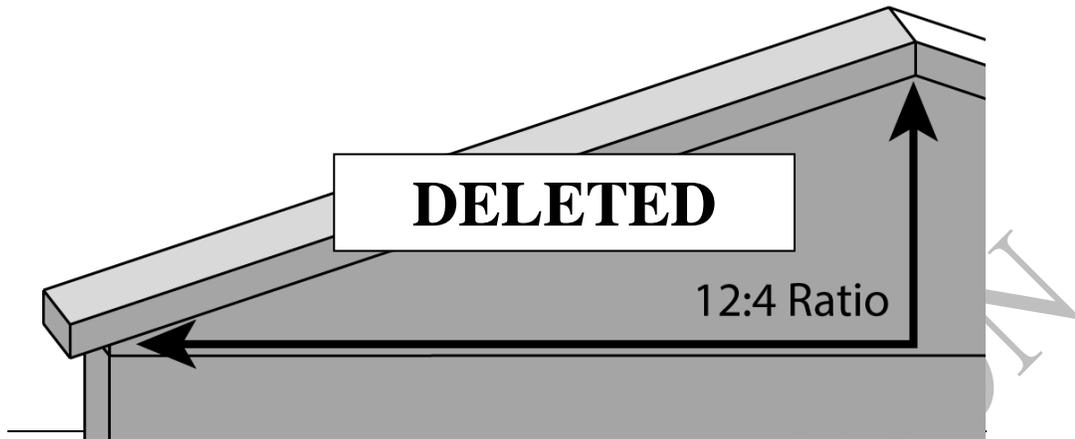
- ~~(1) The structure is at least forty eight inches (48") deep as measured perpendicular to the property line.~~
- ~~(2) A vertical clearance of at least eight feet (8') is maintained above the walking path of pedestrians.~~
- ~~(3) Vertical supports are constructed of wood, stone, concrete or metal with a minimum of six inches by six inches (6" x 6") or a radius of at least four inches (4").~~
- ~~(4) The structure maintains clear view sightlines where sidewalks and pedestrian connections intersect vehicle drive aisles or streets.~~

~~c. Arcades: Arcades may count up to one hundred percent (100%) toward the minimum requirement provided the following:~~

- ~~(1) The arcade extends no more than two (2) stories in height.~~
- ~~(2) No portion of the arcade structure encroaches onto public property.~~
- ~~(3) The arcade maintains a minimum pedestrian walkway of five feet (5').~~

- (4) ~~The interior wall of the arcade complies with the building configuration standards.~~
- d. ~~Plazas And Outdoor Dining: Plazas and outdoor dining areas may count up to fifty percent (50%) toward the minimum requirement, and have a maximum front setback of up to fifteen feet (15') provided the following:~~
  - (1) ~~The plaza or outdoor dining is between the property line adjacent to the street and the street facing building facade.~~
  - (2) ~~Shall be within two feet (2') of grade with the public sidewalk.~~
  - (3) ~~The building entry shall be clearly visible through the courtyard or plaza.~~
  - (4) ~~The building facades along the courtyard or plaza shall comply with the ground floor transparency requirement.~~
- 2. ~~Alternatives To Ground Floor Transparency Requirement: The planning director may modify the ground floor transparency requirement in the following instances:~~
  - a. ~~The requirement would negatively impact the historical character of a building within the H historic preservation overlay district; or~~
  - b. ~~The requirement conflicts with the structural integrity of the building and the structure would comply with the standard to the extent possible.~~
- i. ~~Landscaping: All required front yards or areas between a street facing building facade and a street shall be landscaped and maintained as landscaping. Plazas, courtyards, and other similar permitted features count toward the landscaping requirements.~~
  - 1. ~~Park Strip Landscaping: Park strip landscaping shall comply with section 21A.48.060 of this title. Outdoor dining, benches, art, and bicycle racks shall be permitted in the park strip subject to city approval.~~
  - 2. ~~Landscaping In Required Yards: Where a front yard or corner side yard is provided, the yard shall be landscaped and maintained in good condition. The following standards apply:~~
    - a. ~~At least one third ( $\frac{1}{3}$ ) of the yard area shall be covered by vegetation, which may include trees, shrubs, grasses, annuals, perennials, or vegetable plants. Planted containers may be included to satisfy this requirement.~~
    - b. ~~No vegetation shall block the clear view at any driveway or street intersection and shall not exceed thirty inches (30") in height.~~

- e. ~~Asphalt as paving material located in a front yard or corner side yard is prohibited.~~
- 3. ~~Parking Lot Landscaping: Surface parking lots with more than ten (10) parking spaces shall comply with the following requirements:~~
  - a. ~~Perimeter Landscaping Buffer: A six foot (6') wide perimeter landscaping buffer is required. The buffer shall be measured from the property line to the back of curb or edge of asphalt.~~
  - b. ~~Compliance: The landscaped buffer shall comply with table 21A.48.070G, "Required Perimeter Parking Lot Landscape Improvements", of this title.~~
- 4. ~~Standards Of This Section Take Precedent: Any applicable standard listed in chapter 21A.48, "Landscaping And Buffers", of this title shall be complied with. Where this section conflicts with chapter 21A.48 of this title, this section shall take precedent.~~
- J. ~~Permitted Encroachments And Height Exceptions: Obstructions and height exceptions are permitted as listed in this section or in section 21A.36.020 of this title.~~
  - 1. ~~Canopies: Canopies covering the primary entrance or entrances to a structure may extend into the right of way provided all city processes and requirements for right of way encroachments are complied with. No commercial signs are allowed on entrance canopies if the canopy encroaches into the public right of way.~~
  - 2. ~~Building Height: In order to promote a varied skyline and other roof shapes in the area, structures with a sloped roof may exceed the maximum building height in the FB UN1 district by five feet (5') and in the FB UN2 district by ten feet (10') provided:~~
    - a. ~~The additional height does not include additional living space. Vaulted ceilings, storage spaces, and utility spaces are permitted.~~
    - b. ~~The slope of the roof is a minimum of a four twelve (4-12) pitch or a quarter barrel shape.~~



*Minimum Slope Of Pitched Roof*

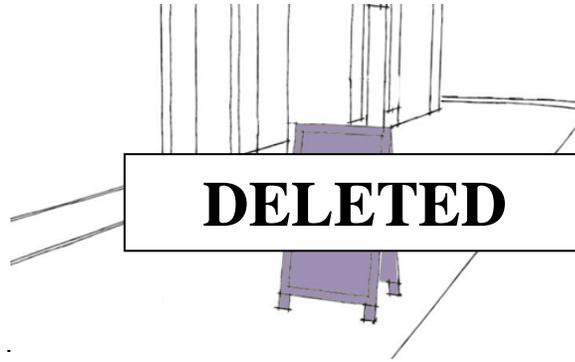


*Minimum Slope Of Quarter Barrel Roof*

**K. Signs:**

1. ~~Applicability: This subsection applies to all signs located within the FB-UN zoning districts. This subsection is intended to list all permitted signs in the zone. All other regulations in chapter 21A.46, "Signs", of this title shall apply.~~

~~TABLE 21A.27.050K~~  
**SIGNS**



*A-Frame Sign*

Sign Type	FB-UN1	FB-UN2	Specifications	
			A frame sign	
			Width	Maximum of 2'. Any portion of the frame (the support structure) may extend up to 6" in any direction beyond the sign face
			Height	Maximum of 3'. Any portion of the frame (the support structure) may extend up to 6" in any direction beyond the sign face
			Placement	On public sidewalk or private property



*Awning Or Canopy Sign*

Sign Type	FB-UN1	FB-UN2	Specifications	
Awning or canopy sign	P	P	Quantity	1 per window
			Width	Equal to the width of the window
			Projection	No maximum depth from building facade, however design subject to mitigation of rainfall and snowfall runoff, conflict avoidance with tree canopy, and issuance of encroachment permits where required
			Clearance	Minimum of 10' of vertical clearance
			Letters and logos	Allowed on vertical portions of sign only

Sign Type	FB-UN1	FB-UN2	Specifications	
Construction sign (see definition in chapter 21A.46 of this title)	P	P	Quantity	1 per construction site
			Height	Maximum of 8'
			Area	Maximum of 64 sq. ft.



*Flat Sign*

Sign Type	FB-UN1	FB-UN2	Specifications	
Flat sign		P	Quantity	1 per leasable space. Leasable spaces on corners may have 2

			Width	Maximum of 90% of width of leasable space
			Height	Maximum of 3'
			Area	1.5 sq. ft. per linear foot of store frontage
			Projection	Maximum of 1'



*Nameplate Sign*

Sign Type	FB-UN1	FB-UN2	Specifications	
Nameplate sign	P	P	Quantity	1 per leasable space. Leasable spaces on corners may have 2
			Area	Maximum of 3 sq. ft.

Sign Type	FB-UN1	FB-UN2	Specifications	
Political sign (see definition in chapter 21A.46 of this title)	P	P	Quantity	No limit
			Height	Maximum of 6'
			Area	Maximum 32 sq. ft.

Sign Type	FB-UN1	FB-UN2	Specifications	
Private directional sign (see definition in chapter 21A.46 of this title)	P	P	Quantity	No limit
			Height	Maximum of 5'
			Area	Maximum of 8 sq. ft.
			May not contain business name or	

			logo
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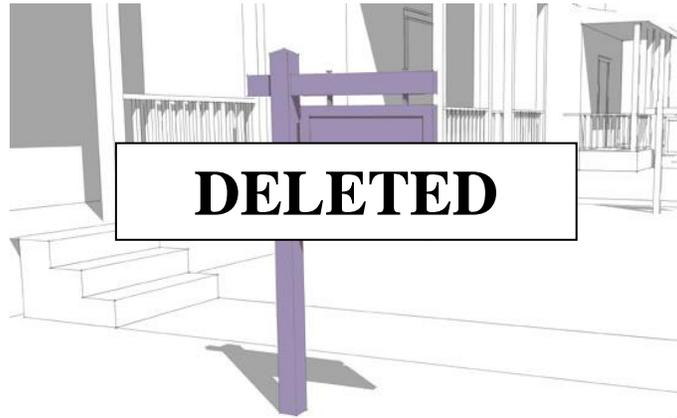
*Projecting Sign*

Sign Type	FB-UN1	FB-UN2	Specifications	
Projecting sign		P	Quantity	1 per leasable space. Leasable spaces on corners may have 2
			Clearance	Minimum of 10' above sidewalk/walkway
			Area	6 sq. ft. per side, 12 sq. ft. total
			Projection	Maximum of 4' from building facade

Sign Type	FB-UN1	FB-UN2	Specifications	
Projecting parking entry sign (see projecting sign graphic)		P	Quantity	1 per parking entry
			Clearance	Minimum of 10' above sidewalk/walkway
			Height	Maximum of 2'
			Area	4 sq. ft. per side, 8 sq. ft. total
			Projection	Maximum of 4' from building facade

Sign Type	FB-UN1	FB-UN2	Specifications	
Public safety sign (see definition in chapter 21A.46 of this title)	P	P	Quantity	No limit

			Height	Maximum of 6'
			Area	8 square feet
			Projection	Maximum of 1'



*Real Estate Sign*

Sign Type	FB-UN1	FB-UN2	Specifications	
Real estate sign	P	P	Quantity	1 per leasable space. Leasable spaces on corners may have 2
			Height	Maximum of 12'
			Area	32 sq. ft.



*Window Sign*

Sign Type	FB-UN1	FB-UN2	Specifications	
Window sign		P	Quantity	1 per window
			Height	Maximum of 3'
			Area	Maximum of 25% of window area

~~L. Detached Accessory Structures:~~

~~1. Applicability: The standards in this subsection apply to all accessory buildings in the FB-UN zoning districts.~~

~~2. General Standards:~~

~~a. Specifically allowed structures:~~

~~(1) Buildings: Garages, carports, sheds, garden structures, and other similar structures are permitted:~~

~~(A) Rear Yard Location: Accessory buildings are permitted in rear yards only. Buildings associated with community gardens and urban farms are permitted in the buildable area of any lot and any rear yard area.~~

~~(B) Size: No accessory structure shall exceed fifty percent (50%) of the footprint of the principal structure. Garages and carports may be built to a~~

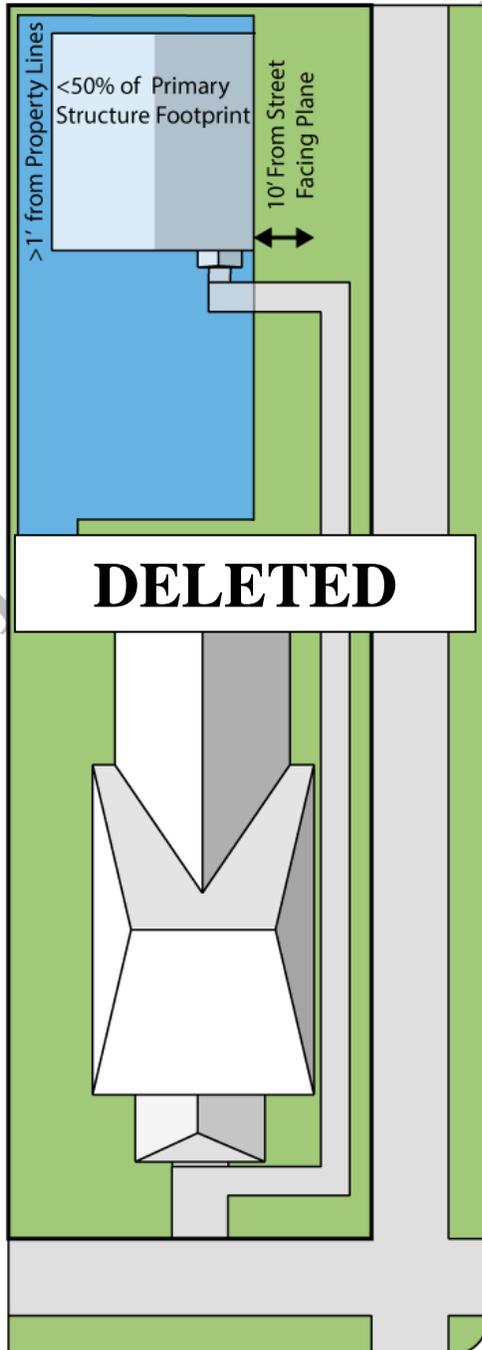
size necessary to cover parking spaces provided all other requirements in this chapter are complied with.

(C) ~~Building Height: No accessory structure shall exceed seventeen feet (17') in height unless otherwise authorized in this title.~~

(D) ~~Required Setbacks:~~

(i) ~~From any property line: A minimum of one foot (1').~~

(ii) ~~From the street facing plane of any principal building: A minimum of ten feet (10').~~

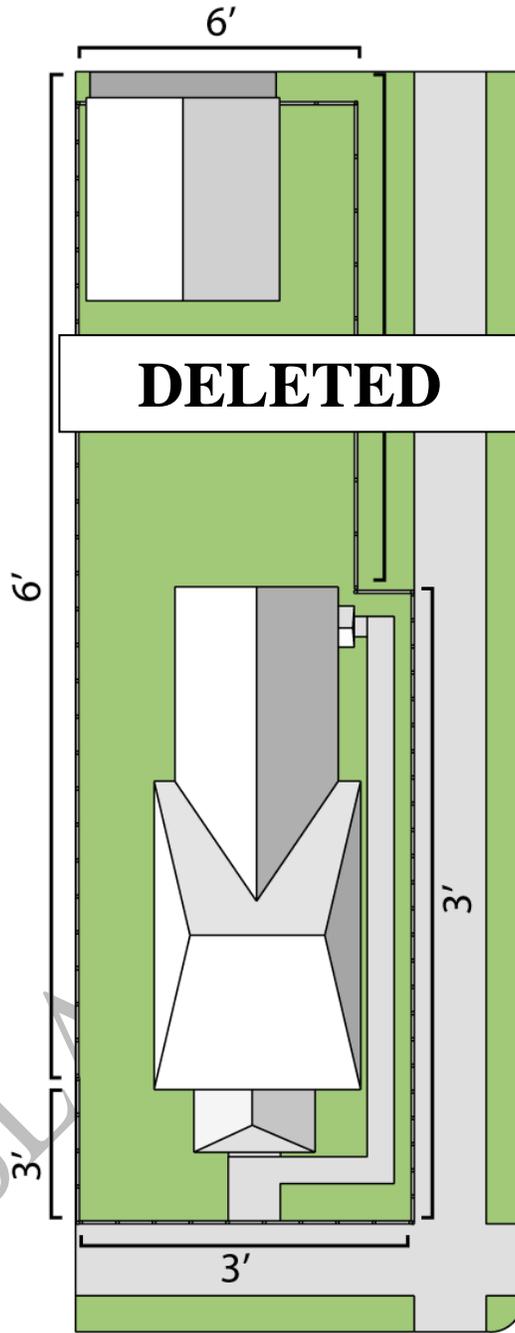


*Accessory Structure  
Regulations Diagram*

~~3. Fences, Walls, And Retaining Walls:~~

~~a. Fences: The following regulations of fences and walls shall apply:~~

- ~~(1) Fences In The Front Yard: No fence located in a required front yard may exceed three feet (3') in height.~~
- ~~(2) Fences In Corner Side Yards: No fence located in a corner side yard may exceed three feet (3') in height. Fences up to six feet (6') in height may be permitted if they are located between the rear property line and the building line of the rear facade of the building and located no closer to the corner side yard property line than the building facade.~~
- ~~(3) Fences In Side Yard And Rear Yards: No fence shall exceed six feet (6') in height.~~
- ~~(4) Permitted Materials: Fences and walls may be constructed of the following materials: wood, metal, stone or masonry. Vinyl and chainlink are permitted in the side and rear yards, but prohibited in the front and corner side yard. Barbed wire is prohibited.~~



*Fence Placement And  
Height Regulation Diagram*

4. ~~Structures Not Listed: Accessory structures not listed in this chapter may be allowed as a special exception pursuant to chapter 21A.52 of this title.~~
5. ~~District Specific Standards:~~

a. ~~Detached Dwelling Unit:~~

- ~~(1) Detached dwelling units may be built in a required yard as a stand-alone unit or attached to an accessory building, such as a garage.~~
- ~~(2) Detached dwelling units are only permitted with the urban house, two-family dwelling, and row house building forms.~~
- ~~(3) No accessory structure containing a detached dwelling unit shall exceed twenty five feet (25') in height.~~
- ~~(4) If a detached dwelling unit is built as a second level, the minimum setback from property line shall be a minimum of five feet (5').~~
- ~~(5) All building configuration standards that apply to the primary building form shall also apply to the detached dwelling unit, with the exceptions listed below:
  - ~~(A) The detached dwelling unit shall have an entry feature that faces a public alley;~~
  - ~~(B) The entry feature may be a stoop that has a minimum dimension of four feet by four feet (4' x 4'); and~~
  - ~~(C) The ground floor transparency requirement does not apply to detached dwelling units located on the second floor of an accessory structure.~~~~

M. ~~Parking Regulations:~~

- ~~1. Intent: The intent of parking regulations for the FB-UN zoning district is to provide necessary off street parking while limiting the amount of land dedicated to parking.~~
- ~~2. Minimum Parking Requirements: There are no minimum parking requirements for any use in the FB-UN zoning district.~~
- ~~3. Maximum Parking Requirements: The maximum parking requirements are equal to the minimum off street parking requirements found in section 21A.44.030, "Number Of Off Street Parking Spaces Required", of this title.~~
- ~~4. Parking Design Standards: Other than the parking standards identified in this section, all sections of chapter 21.44, "Off Street Parking, Mobility And Loading", of this title shall apply.~~
- ~~5. Bicycle Parking: Bicycle parking shall be as follows:~~

- a. ~~Residential Uses: One bicycle stall for every five (5) residential dwelling units. If four (4) or more bicycle stalls are provided, fifty percent (50%) of the stalls shall be located so they are available for public use.~~
- b. ~~Nonresidential Uses: One bicycle stall for every five hundred (500) square feet of usable floor area. At least fifty percent (50%) of bicycle parking stalls shall be located so they are available for public use.~~
- c. ~~Bicycle Stall Design Standards: All bicycle parking stalls shall comply with the following standards:
  - (1) ~~Each bicycle parking space shall be sufficient to accommodate a bicycle at least six feet (6') in length and two feet (2') wide.~~
  - (2) ~~Include some form of stable frame permanently anchored to a foundation to which a bicycle frame and both wheels may be secured using a locking device.~~
  - (3) ~~Bicycle parking for public use shall be located within twenty five feet (25') of a primary building entrance.~~
  - (4) ~~Bicycle parking for public use shall be located within twenty five feet (25') of a public sidewalk so parked bicycles can be seen from either a storefront window or street.~~
  - (5) ~~Bicycle parking shall be illuminated when located outside of enclosed building. Illumination may be provided by lights attached to the building, lights from inside the building or from other outdoor lighting.~~
  - (6) ~~A minimum five feet (5') of clear space shall be provided around the bicycle parking to allow for safe and convenient movement of bicycles.~~
  - (7) ~~Bicycle parking may be located inside of the principal building or an accessory structure that is legally located provided at least five percent (5%) of the required bicycle parking is located where it may be used by the public.~~~~

N. ~~Permitted Land Uses:~~

- 1. ~~Applicability: The table of permitted uses applies to all properties in the FB-UN zoning district:
  - a. ~~Permitted Uses: A use that contains a P in the specific subdistrict is permitted in that subdistrict. A use that is left blank in the specific subdistrict is not permitted.~~~~

- b. ~~Uses Not Listed: Uses not listed are prohibited unless the zoning administrator has made an administrative interpretation that a proposed use is more similar to a listed permitted use than any other defined use.~~
- c. ~~Other Uses: A use specifically listed in any other land use table in this title that is not listed in this section is prohibited.~~
- d. ~~Building Form: Uses that are included in the description of each building form are permitted in the subdistrict where the building form is permitted.~~

TABLE 21A.27.050N  
PERMITTED USES

Use	FB-UN1	FB-UN2
Accessory use, except those that are specifically regulated in this chapter, or elsewhere in this title	P	P
Alcohol:		
Liquor store		P
Microbrewery		P
Social club		P
Tavern or brewpub, 2,500 square feet or less in floor area		P
Animal, veterinary office		P
Antenna, communication tower		P
Art gallery		P
Bed and breakfast	P	P
Bed and breakfast inn	P	P
Bed and breakfast manor	P	P
Clinic (medical, dental)		P
Community garden	P	P
Community recreation center		P
Daycare center, adult		P
Daycare center, child		P
Dwelling:		

Assisted living facility (large)		P
Assisted living facility (small)	P	P
Group home (large)		P
Group home (small) when located above or below first story office, retail, or commercial use, or on the first story where the unit is not located adjacent to street frontage		P
Multi family		P
Residential substance abuse treatment home (large)		P
Residential substance abuse treatment home (small)		P
Rooming (boarding) house		P
Single family attached	P	P
Single family detached	P	P (If part of cottage development)
Single room occupancy		P
Transitional victim home (large)		P
Transitional victim home (small)		P
Two-family	P	
Eleemosynary facility		P
Farmers' market		P
Financial institution		P
Food processing		P
Funeral home		P
Health and fitness facility		P
Hotel/motel		P
House museum in landmark site	P	P
Laboratory (medical, dental, optical)		P
Library		P
Mixed use developments including residential and other uses		P

allowed in the zoning district		
Museum		P
Nursing care facility		P
Office		P
Office and/or reception center in landmark site		P
Open space	P	P
Park	P	P
Parking, off site	P <sup>+</sup>	P <sup>+</sup>
Place of worship		P
Plazas	P	P
Recreation (indoor)		P
Research and development facility		P
Research facility (medical/dental)		P
Restaurant		P
Retail goods establishment		P
Retail goods establishment, plant and garden shop with outdoor retail sales area		P
Retail service establishment		P
Sales and display (outdoor)		P
School:		
College or university		P
Music conservatory		P
Professional and vocational		P
Seminary and religious institute		P
Seasonal farm stand		P
Solar array		P
Store, specialty		P
Studio, art		P

Theater, movie		P
Urban farm	P	P
Utility, building or structure	P	P
Utility, transmission wire, line, pipe, or pole	P	P
Vending cart, private property		P
Wireless telecommunications facility (see section 21A.40.090, table 21A.40.090E of this title)		P

Note:

1. ~~Parking, off site is only permitted on parcels that contain a principal building and shall comply with the parking requirements identified in the building form standards section of this chapter. No principal building shall be demolished to accommodate off site parking.~~

SECTION 3. Adopting Section 21A.33.080. That Section 21A.33.080 of the *Salt Lake City Code* (Zoning: Land Use Tables: Table of Permitted and Conditional Uses in Form Based Districts), shall be, and hereby is adopted to read and appear as follows:

**21A.33.080 TABLE OF PERMITTED USES IN FORM BASED DISTRICTS**

*Note: Uses which are not listed in the following table are not permitted in any form based code zoning district.*

Legend:	P = Permitted	C = Conditional
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Use	Permitted Uses by District			
	FB-UN1	FB-UN2	FB-SC	FB-SE
<u>Accessory use, except those that are specifically regulated in this chapter, or elsewhere in this title</u>	P	P	P	P
<u>Alcohol:</u>				
<u>Brewpub</u>		P	P	C
<u>Liquor store</u>		P	P	P
<u>Social club</u>		P	P	C
<u>Tavern, 2,500 square feet or less in floor area</u>		P	P	C
<u>Animal, veterinary office</u>		P	P	P
<u>Antenna, communication tower</u>		P	P	P

<u>Art gallery</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Bed and breakfast</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>
<u>Bed and breakfast inn</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>
<u>Bed and breakfast manor</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>
<u>Clinic (medical, dental)</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Community garden</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>
<u>Community recreation center</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Daycare center, adult</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Daycare center, child</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Dwelling:</u>				
<u>Assisted living facility (limited capacity)</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>
<u>Assisted living facility (small)</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Group home (large)</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Group home (small) when located above or below first story office, retail, or commercial use, or on the first story where the unit is not located adjacent to street frontage</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Multi-family</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Residential support (large)</u>		<u>P</u>		
<u>Residential support (small)</u>		<u>P</u>		
<u>Rooming (boarding) house</u>		<u>P</u>		
<u>Single-family attached</u>	<u>P</u>	<u>P</u>		<u>P</u>
<u>Single-family detached</u>	<u>P</u>			
<u>Single-family detached (Cottage Development building form only)</u>		<u>P</u>		<u>P</u>
<u>Single room occupancy</u>		<u>P</u>		
<u>Two-family</u>	<u>P</u>			
<u>Eleemosynary facility</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Farmers' market</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Financial institution</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Food processing</u>		<u>P</u>		
<u>Funeral home</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Health and fitness facility</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Hotel/motel</u>		<u>P</u>	<u>P</u>	
<u>House museum in landmark site</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>
<u>Laboratory (medical, dental, optical)</u>		<u>P</u>	<u>P</u>	<u>P</u>

<u>Library</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Mixed use developments including residential and other uses allowed in the zoning district</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Museum</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Nursing care facility</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Office</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Office and/or reception center in landmark site</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Open space</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>
<u>Park</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>
<u>Parking, off site</u>	<u>P<sup>1</sup></u>	<u>P<sup>1</sup></u>	<u>P<sup>1</sup></u>	<u>P<sup>1</sup></u>
<u>Photo finishing lab</u>			<u>P</u>	<u>P</u>
<u>Place of worship</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Plazas</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>
<u>Recreation (indoor)</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Research and development facility</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Research facility (medical/dental)</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Restaurant</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Retail goods establishment</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Retail goods establishment, plant and garden shop with outdoor retail sales area</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Retail service establishment</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Sales and display (outdoor)</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>School:</u>				
	<u>College or university</u>		<u>P</u>	<u>P</u>
	<u>Music conservatory</u>		<u>P</u>	<u>P</u>
	<u>Professional and vocational</u>		<u>P</u>	<u>P</u>
	<u>Seminary and religious institute</u>		<u>P</u>	<u>P</u>
	<u>Seasonal farm stand</u>		<u>P</u>	<u>P</u>
	<u>Solar array</u>		<u>P</u>	<u>P</u>
	<u>Store, specialty</u>		<u>P</u>	<u>P</u>
	<u>Studio, art</u>		<u>P</u>	<u>P</u>
	<u>Studio, dance</u>		<u>P</u>	<u>P</u>
	<u>Theater, movie</u>		<u>P</u>	<u>P</u>
	<u>Urban farm</u>	<u>P</u>	<u>P</u>	<u>P</u>

Utility, building or structure	P	P	P	P
Utility, transmission wire, line, pipe, or pole	P	P	P	P
Vending cart, private property		P	P	P
Wireless telecommunications facility		P	P	P

SECTION 4. Adopting Section 21A.46.096. That Section 21A.46.096 of the *Salt Lake City Code* (Zoning: Signs: Sign Regulations for Form Based Districts), shall be, and hereby is adopted to read and appear as follows:

**21A.46.096: SIGN REGULATIONS FOR FORM BASED CODE DISTRICTS:**

The following regulations shall apply to signs permitted in the form based code zoning districts. Any sign not expressly permitted by these district regulations is prohibited.

A. Sign Regulations for the Form Based Code Districts:

1. Purpose: Sign regulations for the form based code zoning districts are intended to provide appropriate signage oriented primarily to pedestrian and mass transit traffic.
2. Applicability: This subsection applies to all signs located within the form based code zoning districts. This subsection is intended to list all permitted signs in the zone. All other regulations in chapter 21A.46, "Signs", of this title shall apply.

B. Sign Type, Size and Height Standards:



1. A-Frame Sign

<u>Sign Type</u>	<u>FB-UN1</u>	<u>FB-UN2</u>	<u>FB-SC</u>	<u>FB-SE</u>	<u>Specifications</u>	
<u>A-frame</u>		P	P	P	<u>Quantity</u>	<u>1 per leasable space. Leasable spaces on corners</u>

sign					may have 2.
	<u>Width</u>	<u>Maximum of 2 feet. Any portion of the frame (the support structure) may extend up to 6 inches in any direction beyond the sign face.</u>			
	<u>Height</u>	<u>Maximum of 3 feet. Any portion of the frame (the support structure) may extend up to 6 inches in any direction beyond the sign face.</u>			
	<u>Placement</u>	<u>On public sidewalk or private property.</u>			
	<u>Obstruction Free Area</u>	<u>Minimum of 8 feet must be maintained at all times for pedestrian passage.</u>			



2. Awning or Canopy Sign

<u>Sign Type</u>	<u>FB-UN1</u>	<u>FB-UN2</u>	<u>FB-SC</u>	<u>FB-SE</u>	<u>Specifications</u>	
<u>Awning or canopy sign</u>	P	P	P	P	<u>Quantity</u>	<u>1 per window.</u>
					<u>Width</u>	<u>Equal to the width of the window.</u>
					<u>Projection</u>	<u>No maximum depth from building facade, however design subject to mitigation of rainfall and snowfall runoff, conflict avoidance with tree canopy, and issuance of encroachment permits where required. The awning or canopy can project a maximum of 2 feet into a special purpose corridor.</u>
					<u>Clearance</u>	<u>Minimum of 10 feet of vertical clearance.</u>
					<u>Letters and logos</u>	<u>Allowed on vertical portions of sign only.</u>
					<u>Location Permitted</u>	<u>Private property or a public street. Signs can face a special purpose corridor but must be located on</u>

						private property. All signs are subject to the requirements of the revocable permitting process.
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### 3. Construction Sign

<u>Sign Type</u>	<u>FB-UN1</u>	<u>FB-UN2</u>	<u>FB-SC</u>	<u>FB-SE</u>	<u>Specifications</u>	
<u>Construction sign</u> (see definition in chapter 21A.46 of this title)	P	P	P	P	<u>Quantity</u>	1 per construction site
					<u>Height</u>	Maximum of 8 feet
					<u>Area</u>	Maximum of 64 square feet
					<u>Location Permitted</u>	Private property or a public street. Signs can face the special purpose corridor, but must be located on private property.



### 4. Flat Sign

<u>Sign Type</u>	<u>FB-UN1</u>	<u>FB-UN2</u>	<u>FB-SC</u>	<u>FB-SE</u>	<u>Specifications</u>	
<u>Flat sign</u>	P	P	P	P	<u>Quantity</u>	1 per leasable space. Leasable spaces on corners may have 2
					<u>Width</u>	Maximum of 90% of width of leasable space
					<u>Height</u>	Maximum of 3 feet
					<u>Area</u>	1½ square feet per linear foot of store frontage
					<u>Projection</u>	Maximum of 1 foot



5. Nameplate Sign

<u>Sign Type</u>	<u>FB-UN1</u>	<u>FB-UN2</u>	<u>FB-SC</u>	<u>FB-SE</u>	<u>Specifications</u>	
<u>Nameplate sign</u>	P	P	P	P	<u>Quantity</u>	<u>1 per leasable space. Leasable spaces on corners may have 2</u>
					<u>Area</u>	<u>Maximum of 3 square feet</u>

6. Private Directional Sign

<u>Sign Type</u>	<u>FB-UN1</u>	<u>FB-UN2</u>	<u>FB-SC</u>	<u>FB-SE</u>	<u>Specifications</u>	
<u>Private directional sign (see definition in chapter 21A.46 of this title)</u>	P	P	P	P	<u>Quantity</u>	<u>No limit</u>
					<u>Height</u>	<u>Maximum of 5 feet</u>
					<u>Area</u>	<u>Maximum of 8 square feet</u>
					<u>Restriction</u>	<u>May not contain business name or logo</u>
					<u>Location Permitted</u>	<u>Private property or public street. Signs can face the special purpose corridor but must be located on private property. All signs are subject to the requirements of the revocable permitting process.</u>



7. Projecting Sign

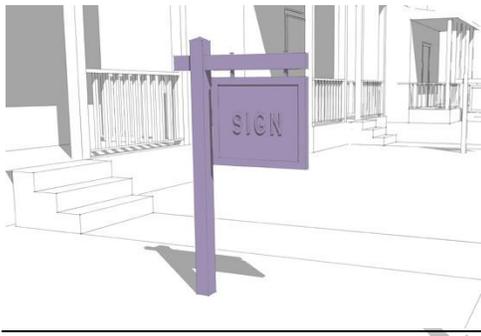
<u>Sign Type</u>	<u>FB-UN1</u>	<u>FB-UN2</u>	<u>FB-SC</u>	<u>FB-SE</u>	<u>Specifications</u>	
<u>Projecting sign</u>		P	P	P	<u>Quantity</u>	1 per leasable space. Leasable spaces on corners may have 2
					<u>Clearance</u>	Minimum of 10 feet above sidewalk/walkway
					<u>Area</u>	6 square feet per side, 12 square feet total
					<u>Projection</u>	Maximum of 4 feet from building façade
					<u>Location Permitted</u>	Private property or public street. Signs can face the special purpose corridor but must be located on private property. All signs are subject to the requirements of the revocable permitting process.

8. Projecting Parking Entry Sign

<u>Sign Type</u>	<u>FB-UN1</u>	<u>FB-UN2</u>	<u>FB-SC</u>	<u>FB-SE</u>	<u>Specifications</u>	
<u>Projecting sign (see project sign graphic)</u>		P	P	P	<u>Quantity</u>	One per parking entry.
					<u>Clearance</u>	Minimum of 10 feet above sidewalk/walkway
					<u>Height</u>	Maximum of 2 feet.
					<u>Area</u>	4 square feet per side, 8 square feet total
					<u>Projection</u>	Maximum of 4 feet from building façade for public and private streets. Maximum of two feet within the special purpose corridor.
					<u>Location Permitted</u>	Private property or public street. Signs can face the special purpose corridor but must be located on private property. All signs are subject to the requirements of the revocable permitting process.

9. Public Safety Sign

<u>Sign Type</u>	<u>FB-UN1</u>	<u>FB-UN2</u>	<u>FB-SC</u>	<u>FB-SE</u>	<u>Specifications</u>	
Public safety sign (see <u>definition in chapter 21A.46 of this title</u> )	P	P	P	P	<u>Quantity</u>	<u>No limit</u>
					<u>Height</u>	<u>Maximum of 6 feet</u>
					<u>Area</u>	<u>8 square feet</u>
					<u>Projection</u>	<u>Maximum of 1 foot</u>
					<u>Location Permitted</u>	<u>Private property or public street. Signs can face the special purpose corridor but must be located on private property. All signs are subject to the requirements of the revocable permitting process.</u>



10. Real Estate Sign

<u>Sign Type</u>	<u>FB-UN1</u>	<u>FB-UN2</u>	<u>FB-SC</u>	<u>FB-SE</u>	<u>Specifications</u>	
Real estate sign	P	P			<u>Quantity</u>	<u>1 per leasable space. Leasable spaces on corners may have 2</u>
					<u>Height</u>	<u>Maximum of 12 feet</u>
					<u>Area</u>	<u>32 square feet</u>
					<u>Location Permitted</u>	<u>Private property or public street. Signs can face the special purpose corridor but must be located on private property. All signs are subject to the requirements of the revocable permitting process.</u>



**11. Window Sign**

<u>Sign Type</u>	<u>FB-UN1</u>	<u>FB-UN2</u>	<u>FB-SC</u>	<u>FB-SE</u>	<u>Specifications</u>	
<u>Window sign</u>		P	P	P	<u>Quantity</u>	<u>1 per window</u>
					<u>Height</u>	<u>Maximum of 3 feet</u>
					<u>Area</u>	<u>Maximum of 25% of window area</u>

SECTION 5. Amending the Zoning Map. That the Salt Lake City Zoning Map, as adopted by the Salt Lake City Code, relating to the fixing of boundaries and zoning districts, shall be and hereby is amended to rezone the properties shown respectively in the map attached hereto as Exhibit “B” from their current designations to Form Based Special Purpose Corridor District (FB-SC and FB-SE).

SECTION 6. Amending Subsection 21A.44.030.G.2 of Salt Lake City Code. That Table 21A.44.030.G.2 of the *Salt Lake City Code* (Zoning: Table of District Specific Minimum Off Street Parking Requirements), shall be, and hereby is, amended to include the following in the table, which shall read and appear as follows:

2. District Specific Minimum Requirements:

**TABLE OF DISTRICT SPECIFIC MINIMUM OFF STREET PARKING REQUIREMENTS**

District	Land Use	Minimum
D-1, D-2, D-4	Residential	1/2 space per dwelling unit
	Nonresidential	No spaces required up to 25,000 square feet usable floor area. One space per 1,000 usable square feet over 25,000 square feet thereafter.
D-3, GMU	Residential	1/2 space per dwelling unit. 1 space per single family, two family and twin home dwellings.
	Nonresidential	No spaces required up to 10,000 square feet usable floor area. One space per 1,000 usable square feet over 10,000 square feet thereafter.
TSA Core	All uses	No spaces required.
TSA Transition	All uses	50% of required in table 21A.44.030 minimum requirements.
<u>FB-SC</u>	<u>All uses</u>	<u>No spaces required.</u>
<u>FB-SE</u>	<u>All uses</u>	<u>50% of required in table 21A.44.030 minimum requirements.</u>
<u>FB-UN</u>	<u>All uses</u>	<u>No spaces required.</u>
MU, RMU	Residential	1/2 space per multifamily dwelling unit. 1 space per single family, two family and twin home dwellings.
RMU-35	Residential	1 space per dwelling unit.
RMU-45	Residential	1 space per dwelling unit.
CB	Residential	1 space per dwelling unit.
CN	Residential	1 space per dwelling unit.
SR-3	Residential	1 space per dwelling unit

Note: Any use or district not listed in this subsection 21A.44.030.G.2, “Table of District Specific Off Street Parking Requirements”, will refer to the minimum requirement in Table 21A.44.030.

SECTION 7. Amending Subsection 21A.44.030.H.2 of Salt Lake City Code. That Section 21A.44.030.H.2 of the *Salt Lake City Code* (Zoning: Maximum Off Street Parking Allowance), shall be, and hereby is, amended to include the following in the table, which shall read and appear as follows:

2. District Specific Maximum Allowance:

TABLE OF DISTRICT SPECIFIC MAXIMUM PARKING ALLOWANCE

District	Land Use	Maximum
D-1, D-2, D-4	Residential	Equivalent to minimum
	Nonresidential	Up to 25 spaces for first 25,000 square feet. No more than 1 space per 1,000 square feet thereafter.
D-3, GMU	Residential	Equivalent to minimum
	Nonresidential	Up to 10 spaces for first 10,000 square feet. No more than 1 space per 1,000 square feet thereafter.
TSA Core	Residential	1 space per dwelling unit.
	Nonresidential	3 spaces for every 1,000 usable square feet.
TSA Transition	Residential	1½ spaces per dwelling unit.
	Nonresidential	3 spaces for every 1,000 usable square feet.
<u>FB-SC, FB-SE <sup>1</sup></u>	<u>All uses</u>	<u>The maximum parking allowance is equal to the minimum off street parking requirements found in section 21A.44.030, "Number of Off Street Parking Spaces"</u>

		<u>Required", of this title.</u>
<u>FB-UN</u>	<u>All uses</u>	<u>The maximum parking allowance is equal to the minimum off street parking requirements found in section 21A.44.030, "Number of Off Street Parking Spaces Required", of this title.</u>
M-1, M-2, BP, AIRPORT	All uses	No maximum for any property located West of the centerline of Redwood Road

Note:

With the exception of the zones listed above in subsection 21A.44.030.H.2, "Table of District Specific Maximum Parking Allowance", single-family and two-family residential uses are limited to four (4) outdoor off street parking spaces, including parking for recreational vehicles as identified in Section 21A.44.020.G.

Qualifying provisions:

- 1 Parking in excess of the maximum allowed may be granted as a special exception subject to the special exception standards in Chapter 21A.52. The maximum parking requirement does not apply to parking structures or garages that serve multiple parcels or uses or structures that provide off site parking.

SECTION 8. Effective Date. This ordinance shall become effective on the date of its first publication.

Passed by the City Council of Salt Lake City, Utah, this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
CHAIRPERSON

ATTEST AND COUNTERSIGN:

\_\_\_\_\_  
CITY RECORDER

Transmitted to Mayor on \_\_\_\_\_.

Mayor's Action: \_\_\_\_\_Approved. \_\_\_\_\_Vetoed.

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CITY RECORDER  
(SEAL)

Bill No. \_\_\_\_\_ of 2016.  
Published: \_\_\_\_\_.

HB\_ATTYY-#32667-v12-Ordinance\_Streetcar\_Corridor\_Zoning\_and\_MP.DOCX

LEGISLATIVE VERSION

SALT LAKE CITY ORDINANCE  
No. \_\_\_\_\_ of 2016

(Amending the Sugar House Master Plan, amending the zoning ordinance to create the FB-SC and FB-SE Form Based Special Purpose Corridor districts, and amending the zoning map to apply FB-SC and FB-SE Form Based Special Purpose Corridor zoning districts)

An ordinance amending the Sugar House Master Plan, amending the zoning ordinance to create the FB-SC and FB-SE Form Based Special Purpose Corridor zoning districts, and amending the zoning map to establish FB-SC and FB-SE Form Based Special Purpose Corridor zoning districts pursuant to Petition Nos. PLNPCM2012-00576 and PLNPCM2012-00577.

WHEREAS, the Salt Lake City Planning Commission held public hearings on May 22, 2013 and July 10, 2013 on applications submitted by the Salt Lake City Mayor (“Applicant”) to amend the Sugar House Master Plan (PLNPCM2012-00577), and to amend the zoning ordinance and zoning map to create and apply the FB-SC and FB-SE Form Based Special Purpose Corridor zoning districts (PLNPCM2012-00576); and

WHEREAS, at its July 31, 2013 meeting, the planning commission voted in favor of forwarding a positive recommendation to the Salt Lake City Council on said applications; and

WHEREAS, after a public hearing on this matter the city council has determined that adopting this ordinance is in the city’s best interests; and

NOW, THEREFORE, be it ordained by the City Council of Salt Lake City, Utah:

SECTION 1. Amending the Sugar House Master Plan. That the Sugar House Master Plan shall be and hereby is amended as follows:

- a. Amending the Text of the Sugar House Master Plan. That the text of the Sugar House Master Plan, as adopted in 2001 and subsequently amended, shall be and hereby is amended to add the “Community Transit District” land use category to the “Sugar House Development

Objectives” subsection of the Sugar House Future Land Use Plan section of that master plan, which appears on Page 2 thereof. The following text shall be inserted on Page 2 of the master plan following the “High-Intensity Mixed Use” category paragraph:

***Community Transit District***

The Community Transit District supports the development of a localized urban center that capitalizes on close proximity to the Sugar House Streetcar corridor and arterial streets. Uses include a mix of residential, retail, commercial, and office with buildings oriented to the pedestrian environment. Building height and density is concentrated along arterial streets and is similar to the height, density, and design in the Sugar House Business District which would create two active destinations linked by transit. While being a high density area, development in the Community Transit District also respects and is compatible with the surrounding residential neighborhoods. Future public improvements should be focused on creating an interconnected and cohesive district that caters to all modes of transportation including pedestrians and cyclists.

b. Amending the Text of the Sugar House Master Plan. That the text of the Sugar House Master Plan shall be and hereby is amended to add the following language to the Mobility, Access & the Pedestrian Experience section of the master plan (to be inserted at the end of that section):

**Sugar House Streetcar and Greenway Corridor**

The Sugar House community has long envisioned the transformation of the Denver Rio Grande rail right-of-way into a public transit and multi-use trail corridor. In 2012, this vision came to fruition as construction began on the Sugar House Streetcar and Greenway, a two mile long transit and active transportation corridor that connects the Sugar House Business District with the north-south TRAX light rail line at 2100 South in South Salt Lake City.

In 2011, the Redevelopment Agency of Salt Lake City funded an effort to create a vision for the streetcar corridor and surrounding area. This resulted in a set of recommendations put into a report titled Sugar House Streetcar Land Use and Urban Design Recommendations. As a result of this process, the City of Salt Lake City has funded improvements to transform the streetcar corridor into a greenway that includes dedicated multi-use pathways and amenities.

Many of the recommendations stated in the Land Use and Urban Design Recommendations report that are related to the streetcar and greenway corridor itself have been implemented. There are still improvements that should be considered in

the future to activate the corridor, support existing neighborhoods, and create vibrant transit oriented districts near the streetcar stops.

### **Policies**

- Work with Utah Transit Authority (UTA) to add a neighborhood serving streetcar stop near 800 East.
- Where easements exist for automobile access within the corridor, the City should work with property owners to eliminate the easements. In the event of redevelopment of a property with an automobile access easement, all options must be explored to relocate and remove automobile access from the corridor.
- Restore the original rail line right-of-way boundaries by removing existing encroachments (structures, fences, parking, etc.).
- Streets that cross the corridor (500 East, 600 East, 700 East, 800 East, and 900 East) connect the corridor to adjacent neighborhoods; therefore, they should be developed as complete streets where feasible.
- Development along the streetcar and greenway should encourage transit and trail usage, and provide eyes on the corridor. All buildings should have entrances from the corridor, windows along the corridor, and should minimize blank walls. Seating, dining areas, and active accessory functions should be encouraged.
- Development should not overpower the corridor. Building heights should be sensitive to the open space characteristic of the corridor and allow sufficient sunlight.
- Improve the public right-of-way near the streetcar stations to enhance pedestrian and bicycle circulation. Specific projects may include:
  - Widen the sidewalks within the Community Transit District and near the 500 East, 900 East, and McClelland streetcar stations to allow for a wider pedestrian thoroughfare, as well as additional space for furnishing and planting areas. One approach is to require additional front building setbacks with hardscaped front yard areas.
- Analyze the feasibility of creating a beautification district within the Community Transit District to develop a program for the installation of and maintenance of street lighting, paving material, and landscaping with a common theme or pattern.

c. Amending the Future Land Use Map of the Sugar House Master Plan. That the Future Land Use Map of the Sugar House Master Plan is amended to designate the areas shown respectively in the map attached hereto as Exhibit “A” as Mixed Use - High Intensity and Community Transit District. The attached exhibit only shows the areas to be re-designated and does not replace the future land use designations of those areas not highlighted.

SECTION 2. Amending Chapter 21A.27 of Salt Lake City Code. That Chapter 21A.27 of the *Salt Lake City Code* (Zoning: Form Based Districts), shall be, and hereby is, amended to read as follows:

**Chapter 21A.27  
FORM BASED DISTRICTS**

- 21A.27.010: PURPOSE STATEMENT AND GENERAL PROVISIONS:**
- 21A.27.020: BUILDING TYPES AND FORMS ESTABLISHED:**
- 21A.27.030: BUILDING CONFIGURATION AND DESIGN STANDARDS:**
- 21A.27.040: FB-SC AND FB-SE FORM BASED SPECIAL PURPOSE CORRIDOR DISTRICT:**
- 21A.27.050: FB-UN1 AND FB-UN2 FORM BASED URBAN NEIGHBORHOOD DISTRICT:**

- A. Purpose Statement: The purpose of the form based districts is to create urban neighborhoods that provide the following:
  - 1. People oriented places;
  - 2. Options for housing types;
  - 3. Options in terms of shopping, dining, and fulfilling daily needs within walking distance or conveniently located near mass transit;
  - 4. Transportation options;
  - 5. Access to employment opportunities within walking distance or close to mass transit;
  - 6. Appropriately scaled buildings that respect the existing character of the neighborhood;
  - 7. Safe, accessible, and interconnected networks for people to move around in; and
  - 8. Increased desirability as a place to work, live, play, and invest through higher quality form and design.
- B. Context Description: The form based districts are intended to be utilized in areas with the following characteristics:

1. **Street, Block, and Access Patterns:** A regular pattern of blocks surrounded by a traditional grid of streets that provide mobility options and connections for pedestrians, bicyclists, and automobiles. Blocks include sidewalks separated from vehicle travel lanes by a landscaped park strip. Front yards are landscaped or include active, outdoor uses.
2. **Building Placement and Location:** Residential buildings are generally located close to the sidewalk with a small, transitional, semipublic space, such as a landscaped front yard, that is consistent along the block face. Buildings along arterials are located close to the sidewalk with parking to the side or rear of building.
3. **Building Height:** Building heights on local streets are relatively low and consistent with existing building heights with little variation. Buildings located on arterial streets are generally taller.
4. **Mobility:** A balance between pedestrians, bicyclists, transit riders, and motorists exist in the area, and residents are well connected to other parts of the city.

C. Intent of Form Based Districts:

1. **Statement of Intent:** Form based districts are intended to provide zoning regulations that focus on the form of development, the manner in which buildings are oriented toward public spaces, the scale of development, and the interaction of uses within the city. Form based districts provide places for people to live, work, and play within a close proximity. Regulations within form based districts place emphasis on the built environment over land use.
2. **How to use this Chapter:** Form based districts emphasize the form, scale, placement, and orientation of buildings. Each subdistrict includes a table of permitted building forms and specific development regulations for each building form. The first step is to identify which subdistrict the property is located in, and then identify what building forms are permitted, and finally what standards apply to the specific building form. All new developments and additions to existing buildings shall comply with the specific requirements of this chapter.

**21A.27.020: BUILDING TYPES AND FORMS ESTABLISHED:**

A. Building Types and Form Standards:

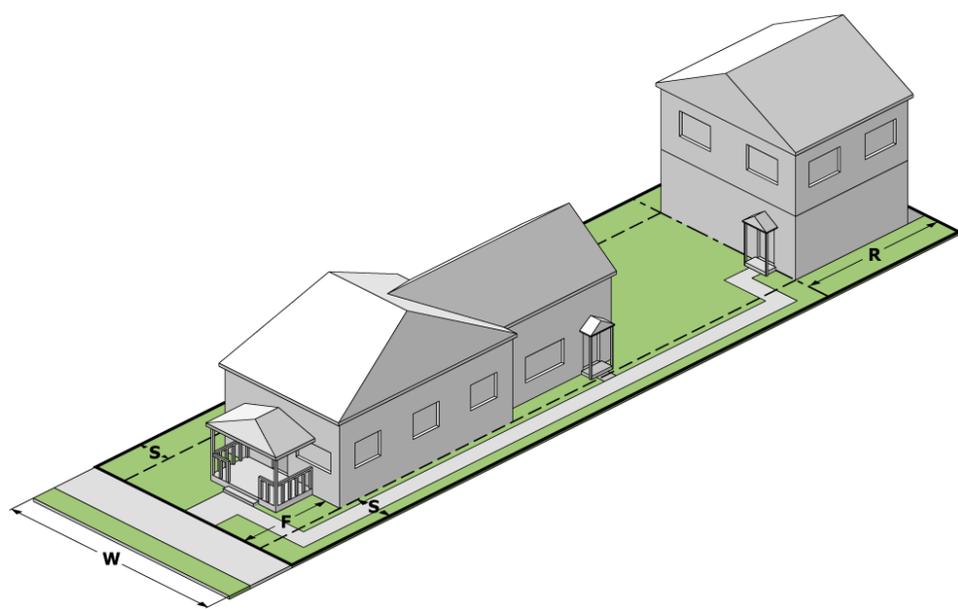
1. Encourage building forms that are compatible with the neighborhood and the future vision for the neighborhood by acknowledging there will be different scaled buildings in the area;
2. Arrange building heights and scale to provide appropriate transitions between buildings of different scales and adjacent areas, especially between different subdistricts;
3. Guide building orientation through setbacks and other requirements to create a consistent street edge, enhance walkability by addressing the relationship between

public and private spaces, and ensure architectural design will contribute to the character of the neighborhood;

- 4. Use building form, placement, and orientation to identify the private, semiprivate, and public spaces;
- 5. Minimize the visual impact of parking areas; and
- 6. Minimize conflicts between pedestrians, bicyclists, and vehicles.

B. Building Types and Forms:

- 1. Description: The permitted building forms are described in this subsection. Each building form includes a general description and definition, as well as images of what the building form may look like. Building form images are for informational purposes only and not intended to demonstrate exactly what shall be built. The description and images should be used to classify existing and proposed buildings in order to determine what development regulations apply. The drawings are not to scale. They should not be used to dictate a specific architectural style as both traditional and contemporary styles can be used.
  - a. Urban House: A residential structure with the approximate scale of a single dwelling unit, as viewed from the street, but may contain up to two (2) dwelling units. The structure has a single entry facing the street, a front porch or stoop, and a small front yard. Second units may be arranged vertically (up and down) or horizontally (front and back), but the entry to the second unit is from the side, rear, or interior of structure. A third unit may also be located along an alley as a stand alone unit or as a dwelling unit located in an accessory building. All units are on a single lot.



*Urban House with Detached Dwelling*

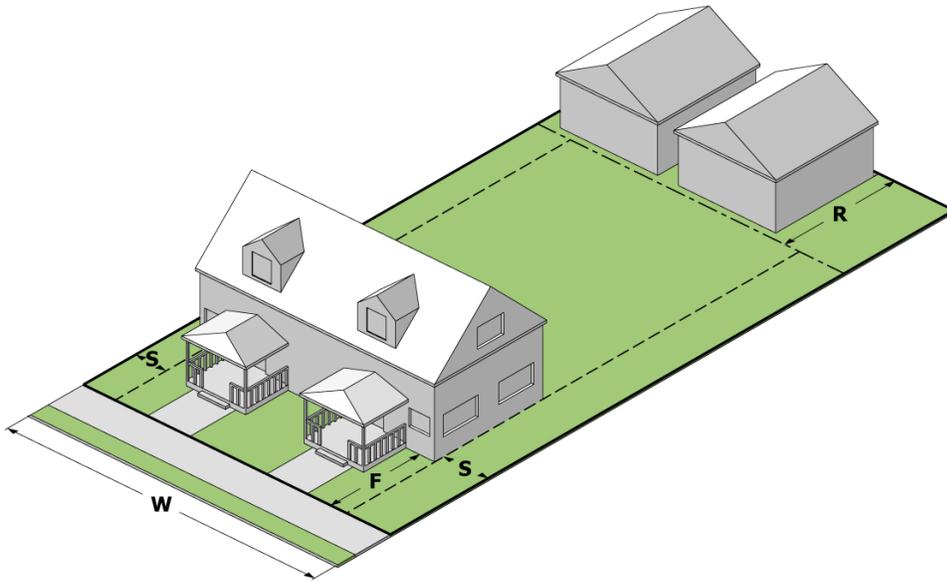


*Modern and Traditional Forms*



*Two-Story Contemporary Form*

- b. Two-Family Dwelling: A residential structure that contains two (2) dwelling units in a single building. The units may be arranged side by side, up and down, or front and back. Each unit has its own separate entry directly to the outside. Dwellings may be located on separate lots or grouped on one lot. A third unit may also be located along an alley as a stand alone unit or as a dwelling unit located in an accessory building, but may not be located on a separate lot.



*Two-Family Dwelling with Garages*

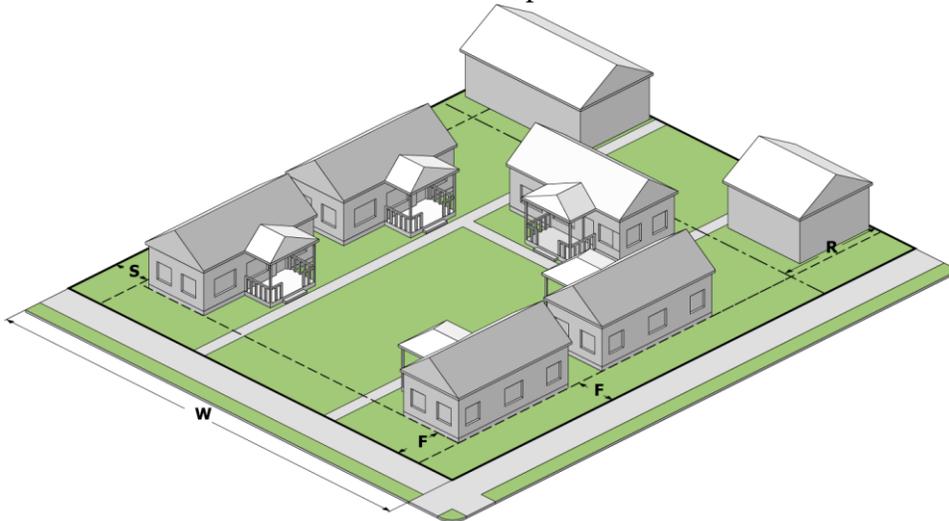


*Traditional Two-Family Dwelling*



*Modern Two-Family Dwelling*

- c. Cottage Development: A unified development that contains two (2) or more detached dwelling units with each unit appearing to be a small single-family dwelling with a common green or open space. Dwellings may be located on separate lots or grouped on one lot.
- d. Additional Development Standards for Cottage Building Forms:
  - (1) Setbacks between individual cottages: All cottages shall have a minimum setback of eight feet (8') from another cottage.
  - (2) Footprint: No cottage shall have a footprint in excess of eight hundred fifty (850) square feet.
  - (3) Building Entrance: All building entrances shall face a public street or a common open space.
  - (4) Open Space: A minimum of two hundred fifty (250) square feet of common, open space is required per cottage up to a maximum of one thousand (1,000) square feet. At least fifty percent (50%) of the open space shall be contiguous and include landscaping, walkways or other amenities intended to serve the residents of the development.

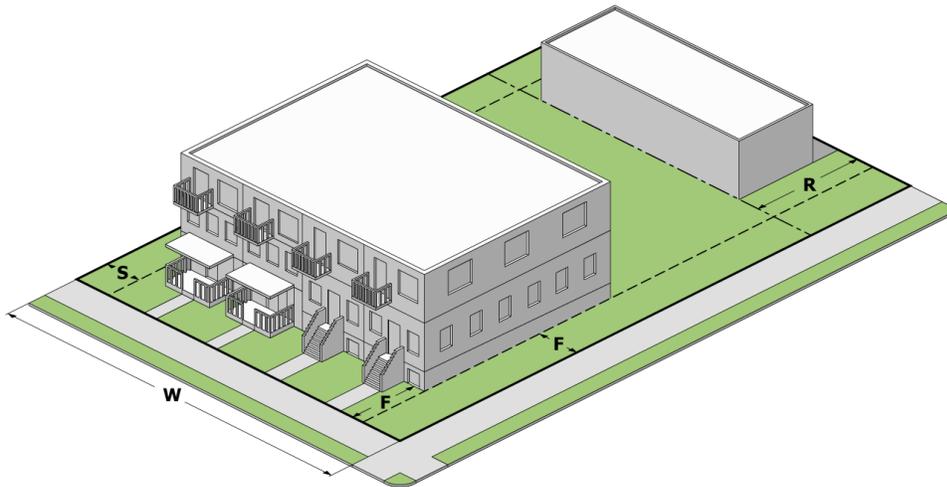


*Cottage Development on Single Parcel*



*Cottage Development*

- e. Row House: A series of attached single-family dwellings that share at least one common wall with an adjacent dwelling unit. A row house contains a minimum of three (3) residential dwelling units. Each unit may be on its own lot. If possible, off street parking is accessed from an alley.



*Row House on Single Parcel*

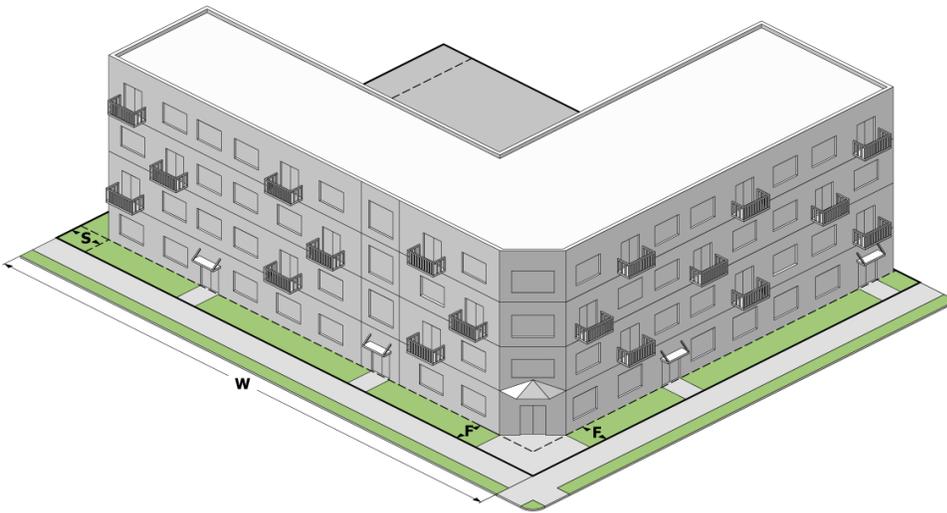


*Modern Row House Form*



*Traditional Row House Form*

- f. Multi-Family Residential: A multi-family residential structure containing three (3) or more dwelling units that may be arranged in a number of configurations.



*Multi-Family Residential Form*

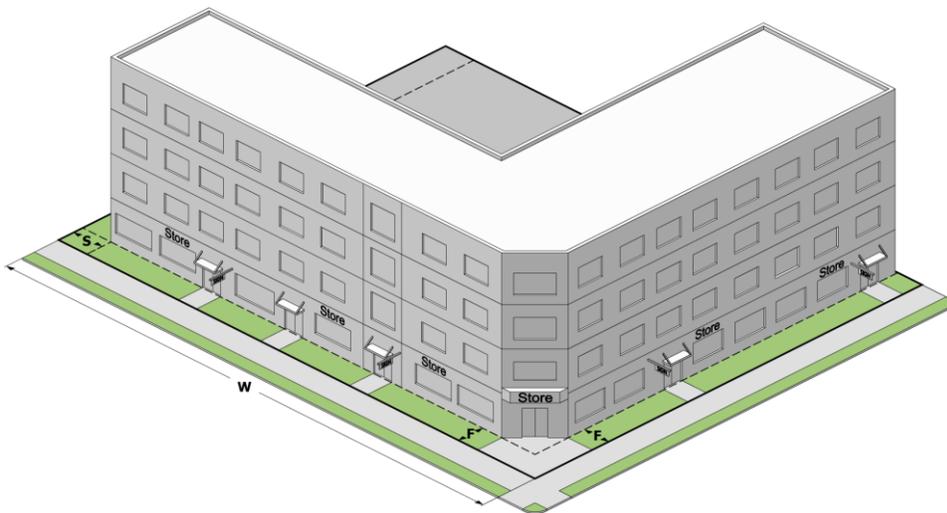


*Multi-Family Modern Form*



*Multi-Family Traditional Form*

- g. Storefront: A commercial structure that may have multiple stories and contain a variety of commercial uses that are allowed in the district that permits this building type. All buildings, regardless of the specific use, have a ground floor that looks like a storefront.



*Store Front Form*

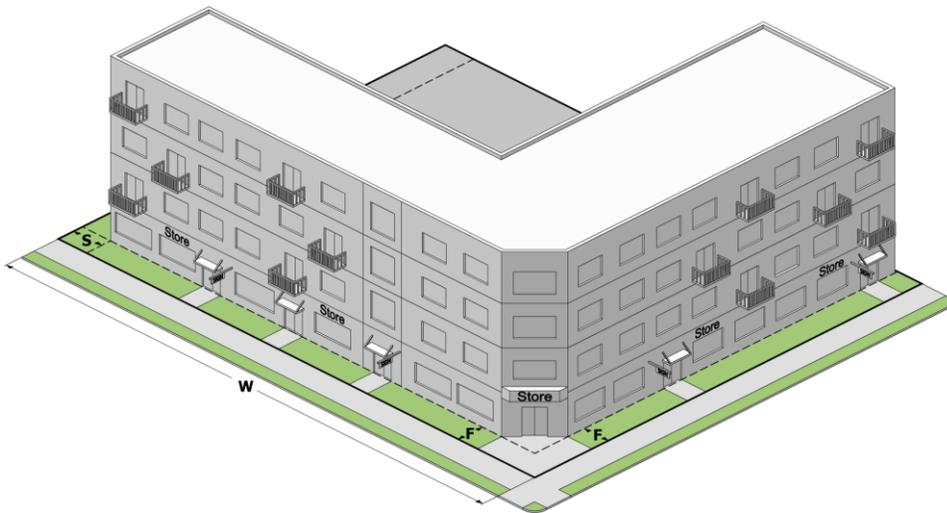


*Contemporary Store Front*



*Traditional Store Front*

- h. Vertical Mixed Use: A multi-story building that contains a mix of commercial and/or office with residential uses.



*Vertical Mixed Use Multi-Story Form*



*Modern Materials*



*Traditional Materials*

C. Building Form Standards:

1. The provisions of this section shall apply to all properties located within the form based districts as indicated on the maps in each form based district.
2. Building form and street type standards apply to all new buildings and additions when the new construction related to the addition is greater than twenty-five percent (25%) of the footprint of the structure or one-thousand (1,000) square feet, whichever is less. Refer to section the Building Configuration Standards for more information on how to comply with the standards. The graphics included provide a visual representation of the standards as a guide and are not meant to supersede the standards in the tables. Only building forms identified in the table are permitted.

**21A.27.030: BUILDING CONFIGURATION AND DESIGN STANDARDS:**

A. Specific Intent of Configuration and Design Standards:

1. Design Related Standards: The design related standards are intended to do the following:

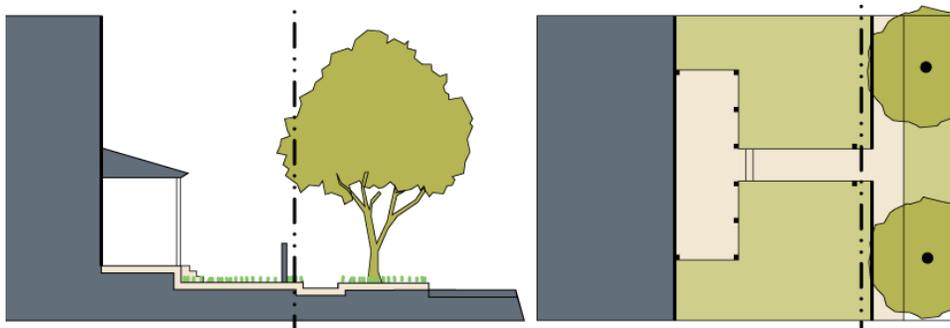
- a. Implement applicable master plans;
  - b. Continue the existing physical character of residential streets while allowing an increase in building scale along arterials and near transit stations;
  - c. Focus development and future growth in the city along arterials and near transit stations;
  - d. Arrange buildings so they are oriented toward the street in a manner that promotes pedestrian activity, safety, and community;
  - e. Provide human scaled buildings that emphasize design and placement of the main entrance/exit on street facing facades;
  - f. Provide connections to transit through public walkways;
  - g. Provide areas for appropriate land uses that encourage use of public transit and are compatible with the neighborhood;
  - h. Promote pedestrian and bicycle amenities near transit facilities to maximize alternative forms of transportation; and
  - i. Rehabilitate and reuse existing residential structures in the form based zoning districts when possible to efficiently use infrastructure and natural resources, and preserve neighborhood character.
- B. Building Configuration Standards Defined: The building configuration standards are defined in this section. The defined standards in this section are intended to identify how to comply with the building configuration standards tables located in this chapter.
- C. Building configuration standards apply to all new buildings and additions when the new construction related to the addition is greater than twenty-five percent (25%) of the footprint of the structure or one-thousand (1,000) square feet, whichever is less. The graphics included provide a visual representation of the standards as a guide and are not meant to supersede the standards in the tables. This standard applies to all form based zoning districts unless otherwise indicated.
1. Building Entry: A minimum of one main entry with an entry feature facing a public street or walkway, excluding alleys, is required. The main entry is the primary pedestrian entrance into a building. Two-family dwelling buildings shall have a minimum of one main entry with porch or stoop for at least one of the dwelling units facing a street. The main entry for the second dwelling unit may face the street or side yard, but must also have a porch or stoop entrance. Where required, the building entry must be one of the following:
    - a. Front entrance: Door on the same plane as street facing facade;
    - b. Recessed entrance: Inset behind the plane of the building no more than ten feet (10'). If inset, then the sidewalls of the inset must be lined with clear glass. Opaque, smoked, or darkened glass is not permitted; or
    - c. Corner entrance: Entry that is angled or an inside corner located at the corner of two (2) intersecting streets.
    - d. Every building shall have at least one (1) entry for every seventy-five feet (75') of building façade along a public or private street, alley or greenway.

2. Encroachments: A permitted entry feature may encroach into a required yard provided no portion of the porch is closer than five feet (5') to the front property line.
3. Entry Feature: The following building entries are permitted as indicated:

TABLE 21A.27.030.B  
ENTRY FEATURE STANDARDS

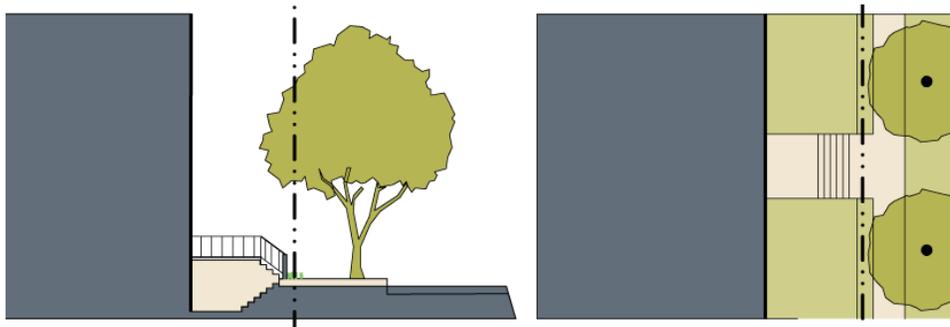
Entry Feature Permitted Based On Building Form Type	Urban House	Cottage Development	Two-Family Dwelling	Row House	Multi-Family	Store front	Vertical Mixed Use
Porch and fence: A planted front yard where the street facing building facade is set back from the front property line with an attached porch that is permitted to encroach into the required yard. The porch shall be a minimum of six (6) feet in depth. The front yard may include a fence no taller than three (3) feet in height.	P	P	P	P	P		

Reference Illustration - Porch and Fence



Entry Feature Permitted Based On Building Form Type	Urban House	Cottage Development	Two-Family Dwelling	Row House	Multi-Family	Store front	Vertical Mixed Use
Terrace or lightwell: An entry feature where the street facing facade is set back from the front property line by an elevated terrace or sunken lightwell. May include a canopy or roof.			P	P	P	P	P

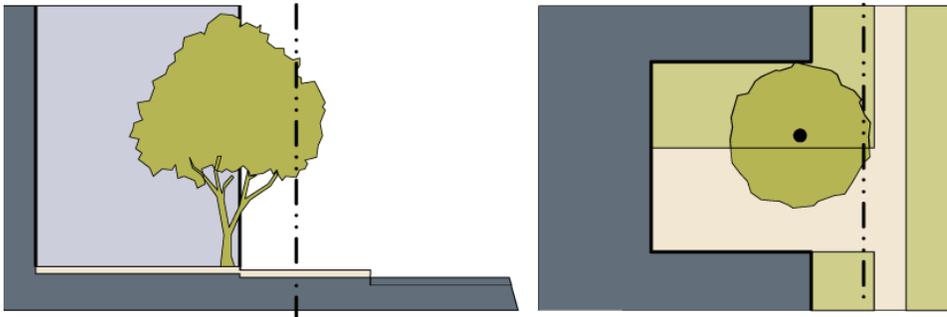
Reference Illustration – Terrace or Lightwell



Entry Feature Permitted Based On Building Form Type	Urban House	Cottage Development	Two-Family Dwelling	Row House	Multi-Family	Store front	Vertical Mixed Use
Forecourt: An entry feature wherein a portion of the street facing facade is close to the property line and the	P	P	P	P	P	P	P

central portion is set back. The court created must be landscaped, contain outdoor plazas, outdoor dining areas, private yards, or other similar features that encourage use and seating							
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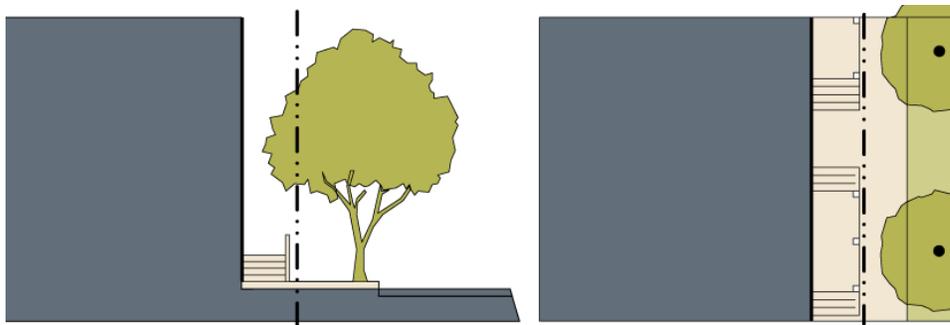
Reference Illustration – Forecourt



<b>Entry Feature Permitted Based On Building Form Type</b>	<b>Urban House</b>	<b>Cottage Development</b>	<b>Two-Family Dwelling</b>	<b>Row House</b>	<b>Multi-Family</b>	<b>Store front</b>	<b>Vertical Mixed Use</b>
Stoop: An entry feature wherein the street facing facade is close to the front property line and the first story is elevated from the sidewalk sufficiently to secure privacy for the windows. The	P	P	P	P	P	P	P

entrance contains an exterior stair and landing that is either parallel or perpendicular to the street. Recommended for ground floor residential uses.							
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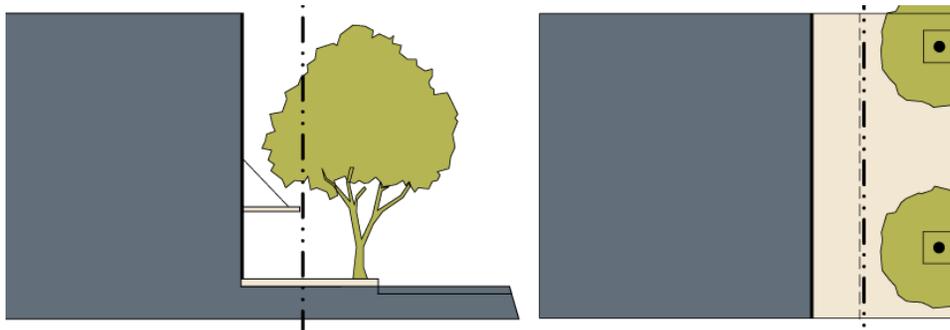
Reference Illustration – Stoop



<b>Entry Feature Permitted Based On Building Form Type</b>	<b>Urban House</b>	<b>Cottage Development</b>	<b>Two-Family Dwelling</b>	<b>Row House</b>	<b>Multi-Family</b>	<b>Store front</b>	<b>Vertical Mixed Use</b>
Shopfront: An entry feature where the street facing facade is close to the property line and building entrance is at sidewalk grade. Building entry is covered with an awning, canopy, or is recessed from the front building					P	P	P

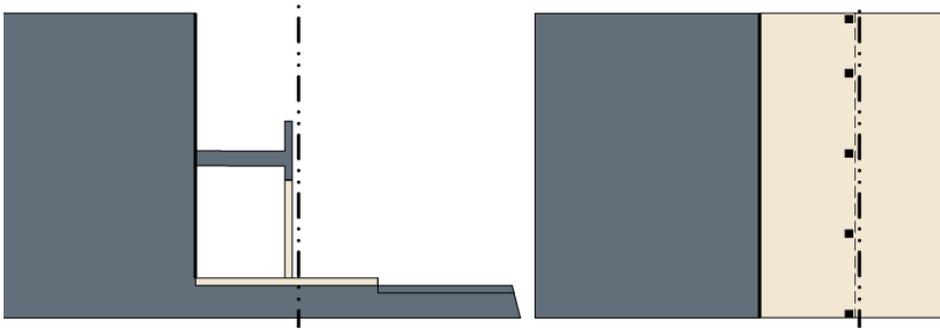
facade, which defines the entry and provides protection for customers.							
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Reference Illustration – Shopfront



Entry Feature Permitted Based On Building Form Type	Urban House	Cottage Development	Two-Family Dwelling	Row House	Multi-Family	Store front	Vertical Mixed Use
Gallery: A building entry where the ground floor is no more than 10 feet from the front property line and the upper levels or roofline cantilevers from the ground floor facade up to the front property line.					P	P	P

Reference Illustration – Gallery



4. Pedestrian Connections: Where required, the following pedestrian connection standards apply:
  - a. The connection shall provide direct access from any building entry to the public sidewalk or walkway.
  - b. The connection shall comply with the Americans with Disabilities Act (ADA) standards for accessibility.
  - c. The connection shall be fully paved and have a minimum width of four feet (4').
  - d. The connection shall be separated from vehicle drive approaches and drive lanes by a change in grade and a wheel stop if the walkway is less than eight feet (8') wide.
  - e. Pedestrian connections that lead directly from the sidewalk to the primary building entrance may contain wing walls, no taller than two feet (2') in height for seating, landscaping, etc.
  
5. Ground Floor Transparency: Where required, the ground floor transparency standards apply:
  - a. Minimum of sixty percent (60%) of street facing façade, located between two (2) and eight (8) feet above the grade of the sidewalk, shall be transparent glass. This may be reduced to twenty percent (20%) if the ground floor is within one of the following building types: urban house, two-family, cottage, and row house.
  - b. There must be visual clearance behind the glass for a minimum of six feet (6'). Three-dimensional display windows at least six feet (6') deep are permitted and may be counted toward the sixty percent (60%) glass requirement.
  - c. Ground floor windows of commercial uses shall be kept clear at night, free from any window covering, with internal illumination. When ground floor glass conflicts with the internal function of the building, other means shall be used to activate the sidewalk, such as display windows, public art, architectural ornamentation or detailing or other similar treatment.
  - d. The first floor elevation facing a street of all new buildings, or buildings in which the property owner is modifying the size of windows on the front facade, shall comply with these standards.

6. **Building Materials:** A minimum of seventy percent (70%) of any street facing building façade shall be clad in high quality, durable, natural materials, such as stone, brick, wood lap siding, fiber cement board siding, shingled or panel sided, and glass. Other materials may count up to thirty percent (30%) of the street facing building façade. Exterior insulation and finishing systems (EIFS) is permitted for trim only.
7. **Open Space:** A minimum of ten percent (10%) of the lot area shall be provided for open space. Open space may include landscaped yards, patio, dining areas, common balconies, rooftop gardens, and other similar outdoor living spaces. Private balconies shall not be counted towards the minimum open space requirement. Required parking lot landscaping or perimeter parking lot landscaping shall also not count towards the minimum open space requirement.
8. **Building Fenestration:** No building wall that faces onto a street shall exceed more than thirty feet (30') in length without being interrupted by windows, doors, or change of building wall plane that results in an offset of at least twelve inches (12").

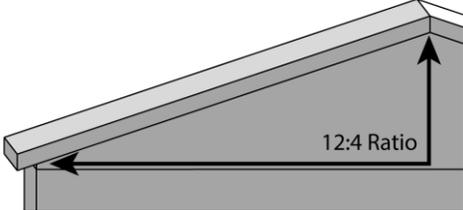


*Illustration of Building Fenestration*

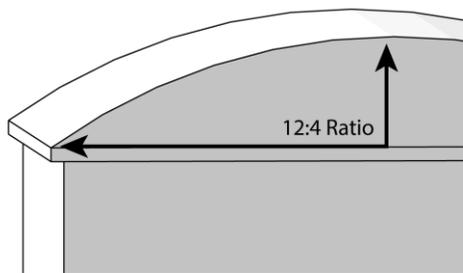
9. **Residential Balconies:** All street facing residential units above the ground floor or level shall contain a usable balcony that is a minimum of four feet (4') in depth. Balconies may overhang any required yard.
10. **Design Standards Alternatives:**
  - a. **Alternatives to Required Build-To Line:** Where a “required build-to” standard applies, the following alternatives may count toward the minimum build-to requirement as indicated:
    - (1) **Landscaping Walls:** Landscaping walls between twenty four inches (24”) and forty two inches (42”) high may count up to twenty five percent (25%) toward the minimum requirement provided the following:
      - (A) The wall incorporates seating areas.

- (B) The wall is constructed of masonry, concrete, stone or ornamental metal.
  - (C) The wall maintains clear view sightlines where sidewalks and pedestrian connections intersect vehicle drive aisles or streets.
- (2) Pergolas and Trellises: Pergolas and trellises may count up to twenty five percent (25%) toward the minimum build-to requirement provided the following:
- (A) The structure is at least forty eight inches (48”) deep as measured perpendicular to the property line.
  - (B) A vertical clearance of at least eight feet (8’) is maintained above the walking path of pedestrians.
  - (C) Vertical supports are constructed of wood, stone, concrete or metal with a minimum of six inches by six inches (6”x6”) or a radius of at least four inches (4”).
  - (D) The structure maintains clear view sightlines where sidewalks and pedestrian connections intersect vehicle drive aisles or streets.
- (3) Arcades: Arcades may count up to one hundred percent (100%) toward the minimum requirement provided the following:
- (A) The arcade extends no more than two (2) stories in height.
  - (B) No portion of the arcade structure encroaches onto public property.
  - (C) The arcade maintains a minimum pedestrian walkway of five feet (5’).
  - (D) The interior wall of the arcade complies with the building configuration standards.
- (4) Plazas And Outdoor Dining: Plazas and outdoor dining areas may count up to fifty percent (50%) toward the minimum requirement, and have a maximum front setback of up to fifteen feet (15’) provided the following:
- (A) The plaza or outdoor dining is between the property line adjacent to the street and the street facing building facade.
  - (B) Shall be within two feet (2’) of grade with the public sidewalk.
  - (C) The building entry shall be clearly visible through the courtyard or plaza.
  - (D) The building facades along the courtyard or plaza shall comply with the ground floor transparency requirement.
- b. Alternatives to Ground Floor Transparency Requirement: The planning director may modify the ground floor transparency requirement in the following instances:
1. The requirement would negatively impact the historical character of a building within the H historic preservation overlay district; or
  2. The requirement conflicts with the structural integrity of the building and the structure would comply with the standard to the extent possible.
11. Permitted Encroachments and Height Exceptions: Obstructions and height exceptions are permitted as listed in this section or in Section 21A.36.020 of this title or as indicated in this subsection.

- a. Canopies: Canopies covering the primary entrance or entrances to a structure may extend into the right of way provided all city processes and requirements for right of way encroachments are complied with. No commercial signs are allowed on entrance canopies if the canopy encroaches into the public right of way.
  
- b. Building Height: In order to promote a varied skyline and other roof shapes in the area, structures with a sloped roof may exceed the maximum building height in the form based districts by five feet (5') provided:
  - 1. The additional height does not include additional living space. Vaulted ceilings, storage spaces, and utility spaces are permitted.
  - 2. The slope of the roof is a minimum of a twelve-four (12:4) pitch or a quarter barrel shape.



*Minimum Slope of Pitched Roof*



*Minimum Slope of Quarter Barrel Roof*

D. Other Applicable Development Standards:

- 1. Landscaping. Any applicable standard listed in Chapter 21A.48 Landscaping shall be complied with.
  
- 2. Signs. All signs shall comply with the standards found in Section 21A.46.096.
  
- 3. Accessory Uses, Building and Structures. All accessory uses, buildings and structures shall comply with the applicable standards in Chapter 21A.40, except as noted below:
  - a. Form Based Urban Neighborhood District Specific Standards for Detached Dwelling Units:

- (1) Detached dwelling units may be built in a required yard as a stand alone unit or attached to an accessory building, such as a garage.
- (2) Detached dwelling units are only permitted with the urban house, two-family dwelling, and cottage development building forms.
- (3) No accessory structure containing a detached dwelling unit shall exceed twenty five feet (25') in height.
- (4) If a detached dwelling unit is built as a second level, the minimum setback from property line shall be a minimum of four feet (4').
- (5) All building configuration standards that apply to the primary building form shall also apply to the detached dwelling unit, with the exceptions listed below:
  - (A) The detached dwelling unit shall have an entry feature that faces or is accessible from a public alley when present;
  - (B) The entry feature may be a stoop that has a minimum dimension of four feet by four feet (4' x 4'); and
  - (C) The ground floor transparency requirement does not apply to detached dwelling units located on the second floor of an accessory structure.

b. Form Based Special Purpose Corridor District Specific Standards for Detached or Accessory Parking Garages or Structures:

- (1) Detached or accessory multi-level parking garages or structures shall have the same setback requirements for principal structures.
- (2) The minimum setback required shall be landscaped to provide a buffer to the abutting residential district. No structure (primary or accessory) shall be permitted within this landscaped buffer.

- 4. Parking Regulations. All parking regulations shall comply with the requirements of Chapter 21A.44.
- 5. Permitted Land Use. All uses allowed in the form based districts can be found in Chapter 21A.33.

**21A.27.040: FB-SC AND FB-SE FORM BASED SPECIAL PURPOSE CORRIDOR DISTRICT:**

A. Subdistricts:

- 1. Named: The following subdistricts can be found in the form based special purpose corridor form based districts:
  - a. FB-SC Special Purpose Corridor Core Subdistrict: The FB-SC special purpose corridor core subdistrict contains the most intensive level of development in the

vicinity of special purpose corridors. Buildings are generally six (6) to seven (7) stories in height and are supported by multiple street types so that pedestrians, bicyclists and drivers have access to the properties within the area. Development standards are based on building type.

- b. FB-SE Special Purpose Corridor Edge Subdistrict: The FB-SE special purpose corridor edge subdistrict is intended to provide an appropriate transition in building size and scale between existing neighborhoods and the Core area. Buildings may be up to four (4) stories in height, with appropriate setbacks when adjacent to lower scale residential neighborhoods. Development regulations are based on building type, with the overall scale, form and orientation as the primary focus.
2. Applicability of Subdistricts: The regulations of the subdistricts shall apply as indicated in the regulating plan map.

FIGURE 21A.27.040.A  
 REGULATING PLAN MAP –SUGAR HOUSE STREETCAR FORM BASED SPECIAL  
 PURPOSE CORRIDOR AREA



**B. Street Types**

1. Street Types Intent: The intent of identifying specific types of streets in the special purpose corridor districts is to:
  - a. Ensure that a hierarchy of transportation is established;
  - b. Guarantee access to private property; and
  - c. Determine the appropriate manner in which buildings address streets.
  
2. Street Types Established: The following types of streets are hereby established. The location and applicability of street type regulations are shown on Figure 21A.27.040.A Regulating Plan Map – Sugar House Streetcar Form Based Special Purpose Corridor Area.
  - a. Greenway Street: Streets that contain a streetcar line and stops and various types

of multi-use trails. Greenway streets may provide access for pedestrians and bicycles. Automobiles are not permitted on Greenway streets.

- b. Neighborhood Street: Neighborhood streets are intended to serve the adjacent neighborhoods and are generally considered local streets. Automobile access may be provided to each individual lot. Access to certain building forms is not permitted from a Neighborhood street unless the property only has frontage on a Neighborhood street.
- c. Avenue Street: Avenue streets are those streets that are designed to accommodate a high number of pedestrians. Automobile access to private property may be permitted. Pedestrians are the priority.
- d. Boulevard Street: Boulevard streets are designed to provide automobile and service access in a manner that balances the needs of automobiles and pedestrians.

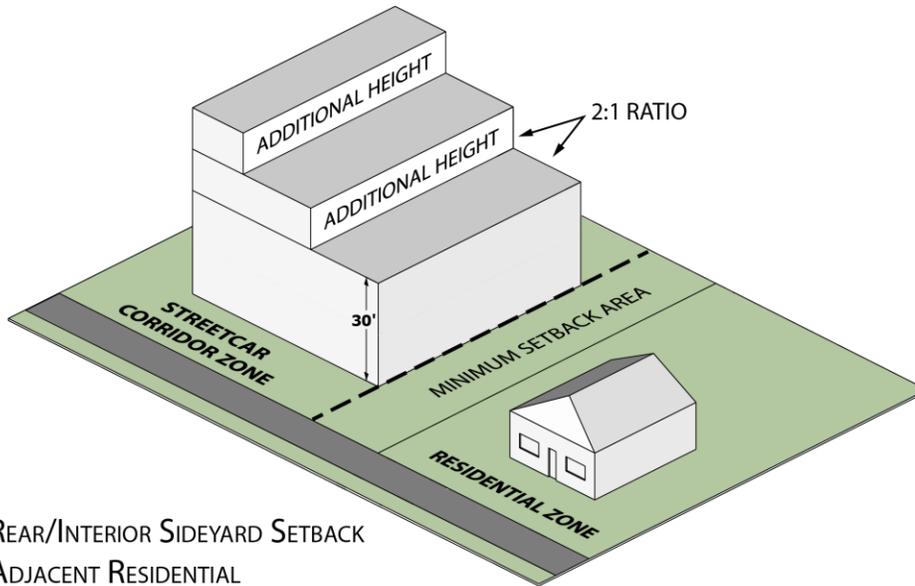
C. FB-SC Building Form Standards. Building form standards are listed below in Table 21A.27.040.C.

TABLE 21A.27.040.C  
FB-SC BUILDING FORM STANDARDS

Permitted Building Forms Multi-Family and Store Front			
H	Maximum Building Height	Maximum building height in the FB-SC is 60 feet. An additional 15 feet in height (for a total height of 75 feet) may be permitted for residential uses if a minimum of 10% of the units are affordable housing.	
	Limitation on Commercial Uses	Commercial or nonresidential uses are limited to the first 3 stories and a height of 45 feet. This limitation does not apply to hotel/motel uses, which are limited to the maximum height of 75 feet.	
F	Front and Corner Side Yard Setback	Greenway	Minimum of 5 feet. Maximum of 15 feet.
		Neighborhood	Minimum of 15 feet. Maximum of 25 feet.
		Avenue	Minimum of 5 feet. Maximum of 10 feet.
		Boulevard	Minimum of 15 feet. Maximum of 25 feet.
B	Required Build-To	Minimum of 50% of any street facing façade shall be built to the minimum setback line. At least 10% of any street facing façade shall be building the maximum setback line.	

S	Interior Side Yard	When adjacent to a residential district, a minimum setback of 25% of the lot width, up to 25 feet, is required. Any portion of the building taller than 30 feet must be stepped back two feet from the required building setback line for every one foot of height over 30 feet. When adjacent to other zoning districts, no minimum setback is required. See illustration below.
R	Rear Yard	When adjacent to a residential district, a minimum setback of 25% of the lot width, up to 25 feet, is required. Any portion of the building taller than 30 feet must be stepped back two feet from the required building setback line for every one foot of height over 30 feet. When adjacent to other zoning districts, no minimum setback is required. See illustration below.
L	Minimum Lot Size	4,000 square feet; not to be used to calculate density.
W	Minimum Lot Width	50 feet
DU	Dwelling Units per Building Form	No minimum or maximum.
BF	Number of Building Forms per Lot	One building form permitted for every 4,000 square feet of lot area provided all building forms have frontage on a street.

Interior Side Yard and Rear Yard Illustration



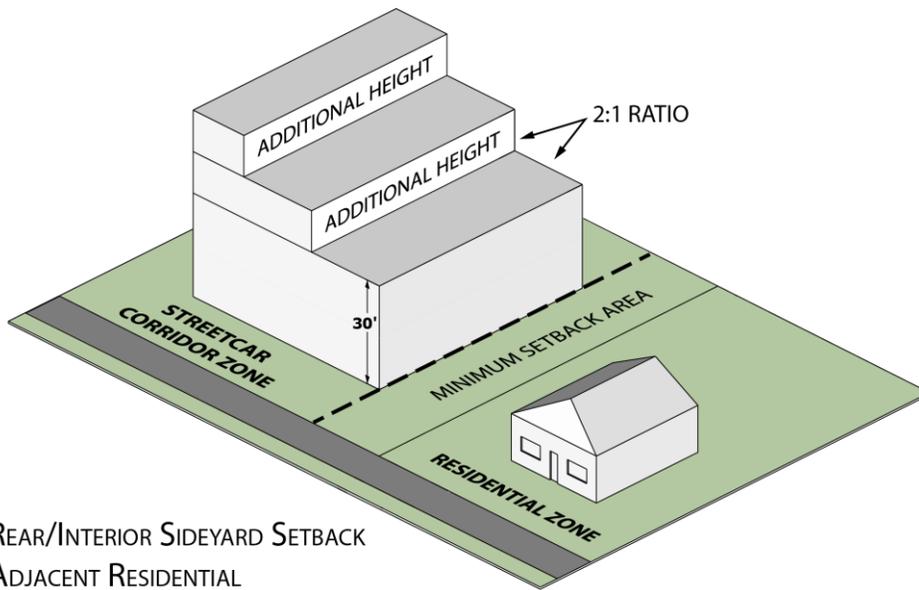
REAR/INTERIOR SIDEYARD SETBACK  
ADJACENT RESIDENTIAL

D. FB-SE Building Form Standards. Building form standards are listed below in Table 21A.27.040.D

TABLE 21A.27.040.D  
FB-SE BUILDING FORM STANDARDS

Permitted Building Forms Cottage, Row House, Multi-Family and Store Front			
H	Maximum Building Height	Maximum building height in the FB-SE is 45 feet.	
	Limitation on Commercial Uses	Commercial or nonresidential uses are limited to the first 2 stories and a height of 30 feet.	
F	Front and Corner Side Yard Setback	Greenway	Minimum of 5 feet. Maximum of 15 feet.
		Neighborhood	Minimum of 15 feet. Maximum of 25 feet.
		Avenue	Minimum of 5 feet. Maximum of 10 feet.
		Boulevard	Minimum of 15 feet. Maximum of 25 feet.
B	Required Build-To	Minimum of 50% of street facing façade shall be built to the minimum setback line.	
S	Interior Side Yard	When adjacent to a residential district, a minimum setback of 25% of the lot width, up to 25 feet, is required. Any portion of the building taller than 30 feet must be stepped back two feet from the required building setback line for every one foot of height over 30 feet. When adjacent to other zoning districts, no minimum setback is required. See illustration below.	

R	Rear Yard	When adjacent to a residential district, a minimum setback of 25% of the lot width, up to 25 feet, is required. Any portion of the building taller than 30 feet must be stepped back two feet from the required building setback line for every one foot of height over 30 feet. When adjacent to other zoning districts, no minimum setback is required. See illustration below.
L	Minimum Lot Size	4,000 square feet; not to be used to calculate density.
W	Minimum Lot Width	50 feet
DU	Dwelling Units per Building Form	No minimum or maximum.
BF	Number of Building Forms per Lot	One building form permitted for every 4,000 square feet of lot area provided all building forms have frontage on a street.



**21A.27.050: FB-UN1 AND FB-UN2 FORM BASED URBAN NEIGHBORHOOD STANDARDS:**

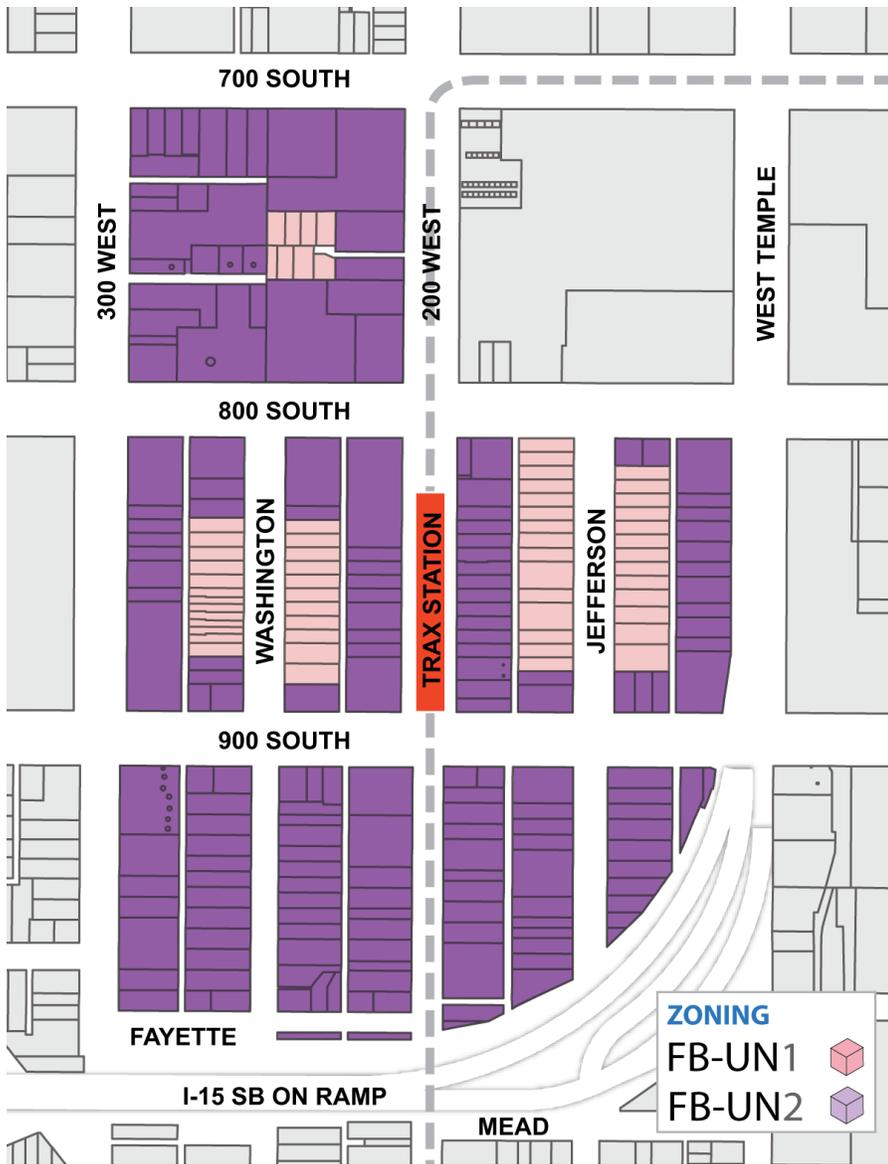
**A. Subdistricts:**

1. Named: The following subdistricts can be found in the urban neighborhood form based districts:
  - a. FB-UN1 Urban Neighborhood 1 Subdistrict: Generally includes small scale structures, up to two and one-half (2.5) stories in height, on relatively small lots with up to four (4) dwelling units per lot depending on building type. Reuse of

existing residential structures is encouraged. Development regulations are based on the building type.

- b. FB-UN2 Urban Neighborhood 2 Subdistrict: Generally includes buildings up to four (4) stories in height, with taller buildings located on street corner parcels, which may contain a single use or a mix of commercial, office, and residential uses. Development regulations are based on building type, with the overall scale, form, and orientation of buildings as the primary focus.
2. Applicability of Subdistricts: The regulations of the subdistricts shall apply as indicated in the regulating plan map.

**FIGURE 21A.27.050.A**  
**REGULATING PLAN MAP – WEST TEMPLE GATEWAY AREA**



B. FB-UN1 Building Form Standards. Building form standards are listed below in Table 21A.27.050.B

TABLE 21A.27.050.B  
 FB-UN1 BUILDING FORM STANDARDS

Building Regulation		Building Form			
		Urban House	Two-Family Dwelling	Cottage Development <sup>1</sup>	Row House
<b>Building Height and Placement:</b>					
H	Height	2.5 stories, maximum of 30', measured from established grade			
F	Front and corner side yard setback	Equal to average setback of block face, where applicable, otherwise minimum of 10' and maximum of 20'			
S	Interior side yard	Minimum 4'			
R	Rear yard	Minimum of 20% lot depth up to 25'	4' minimum	Minimum of 20% lot depth up to 25'	
L	Minimum lot size	3,000 sq. ft.; not to be used to calculate density	1,500 sq. ft.; not to be used to calculate density	1,500 sq. ft.; not to be used to calculate density	
W	Minimum lot width	30'	15' per unit	15' per unit facing a street	15' per unit. Side orientation allowed provided building configuration standards are complied with
DU	Maximum dwelling units per building form	2 units plus 1 detached accessory unit	2 units plus 1 detached accessory unit	1 unit per cottage, multiple cottages per lot	Minimum of 3; maximum of 4
BF	Number of building forms per lot	1 building form permitted for every 3,000 sq. ft. of lot area	1 cottage for every 1,500 sq. ft. of lot area	1 building form permitted for every 1,500 square feet of lot area	
<b>Parking:</b>					
	Surface parking in front and corner side yards	Not permitted			
	Vehicle access	If off street parking is provided, vehicle access from an alley is required when property is served by a public or private alley with access rights. Vehicle access from street is only permitted when no alley access exists. If pull through parking is required by fire or other code, ingress shall be from street and egress onto alley.			
	Parking on separate lots	Not permitted		Parking may be provided on an adjacent lot or in a common area associated with the development	

	Attached garages and carports	Attached garages and carports are required to be accessed from the rear yard where the rear yard is accessible by an alley with access rights to the subject property. If there is no access to the rear yard, an attached garage may be accessed from the front or corner side yard provided the garage door (or doors) is no wider than 50% of the front facade of the structure and set back at least 5 feet from the street facing building facade and at least 20 feet from the property line. Side loaded garages are permitted
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Note:

1. See subsection 21A.27.020.B.1.d of this chapter for additional standards.

C. FB-UN2 Building Form Standards. Building form standards are listed below in Table 21A.27.050.C

TABLE 21A.27.050.C  
FB-UN2 BUILDING FORM STANDARDS

		Building Form				
Building Regulation		Cottage Development <sup>1</sup>	Row House	Multi-Family Residential	Mixed Use	Storefront
<b>Building Height and Placement:</b>						
H	Height	2.5 stories, 30' maximum from established grade	4 stories with a maximum of 50'. 5 stories with a maximum of 65' on parcels located on the corners of West Temple at 800 or 900 South, 200 West at 700, 800 or 900 South, 200 West at Fayette Avenue, and 300 West at 800 or 900 South. All heights measured from established grade			
F	Front and corner side yard setback	No minimum Maximum 10'				
B	Required build-to	Minimum of 50% of street facing facade shall be built to the minimum setback line				
S	Interior side yard	Minimum of 15' along a side property line adjacent to FB-UN1, otherwise 4' setback required. Parcels separated by an alley are not considered adjacent	Minimum of 15' along a side property line adjacent to FB-UN1, otherwise no setback required. Parcels separated by an alley are not considered adjacent			
R	Rear yard	Minimum of 25' when rear yard is adjacent to FB-UN1 otherwise no setback required. Parcels separated by an alley are not considered adjacent	Minimum of 20' when rear yard is adjacent to FB-UN1			
U	Upper level step back	When adjacent to lot in the FB-UN1, buildings shall be stepped back 1 additional foot for every foot of building height above 35'. When a parcel in the FB-UN2 district is separated from a parcel in the FB-UN1 district by an alley, the width of the alley may be counted toward the upper level step back				

L	Minimum lot size	4,000 sq. ft.; not to be used to calculate density	1,500 sq. ft.; not to be used to calculate density	4,000 sq. ft.; not to be used to calculate density
W	Minimum lot width	15' per unit facing a street Side orientation allowed provided building configuration standards are complied with		30'
DU	Dwelling units per building form	1 per cottage	Minimum of 3; maximum of 5	No minimum or maximum
BF	Number of building forms per lot	1 cottage for every 1,000 square feet of lot area	1 building form permitted for every 1,000 square feet of lot area	1 building form permitted for every 4,000 square feet of lot area
<b>Parking:</b>				
	Surface parking in front and corner side yards	Not permitted		
	Vehicle access	If off street parking is provided, vehicle access from an alley is required when property is served by a public or private alley with access rights. Vehicle access from street is only permitted when no alley access exists. If pull through parking is required by fire or other code, ingress shall be from street and egress onto alley	<p>If property is less than 30' wide, vehicle access from an alley is required when property is served by a public or private alley with access rights. If no alley access exists, only 1 vehicle access point from a street may be permitted</p> <p>If property is 30' wide or more, only 1 vehicle access point from a street may be permitted. If property is served by a public or private alley, ingress shall be from street and egress onto alley unless otherwise permitted by this section</p> <p>Corner lots with a minimum width of 120' may have 1 vehicle access point per street frontage. Vehicle access may be one-way or multi-directional</p>	
	Vehicle access width at street	When a one-way vehicle drive is included in a development, no vehicle drive or curb cut may exceed 12' in width. When a multi-directional vehicle drive is included, a curb cut may not exceed 24' in width.		
	Vehicle access from street design standards	If vehicle access is from a street, the following additional design standards shall apply: garage entry shall have a minimum 20' setback from property line; garage entry may not exceed 50% of first floor building width; one-way garage entry may not exceed 14' in width; multiway garage entry may not exceed 26' in width; garage door or gate shall be constructed of durable building materials and compatible with building design.		

	Driveway location	The minimum distance between curb cuts shall be 12'. Driveways shall be at least 6' from abutting property lines for a depth of 10' unless shared. Driveways shall be at least 12' from property lines adjacent to a street corner or 5' from the point of tangency of the curb return, whichever is greater. Abandoned curb cuts shall be removed and replaced with city standard curb
	Vehicle access and parking compliance	All new drive approaches, driveways, and parking lots shall comply with form based urban neighborhood regulations, and all other applicable sections of this code. Existing drive approaches, driveways, and parking lots shall be made compliant with form based urban neighborhood regulations upon change of use, increase in parking, or building additions greater than 25% of the footprint of the structure or 1,000 sq. ft., whichever is less
	Parking on separate lots	Parking may be provided on an adjacent lot, or in a common area associated with the development, or within 500' of the property. If located on an adjacent parcel or on a parcel within 500', the proposed location of the parking shall contain a principal building and the parking shall be located behind a principal building
	Attached garages and carports	Attached garages and carports are required to be accessed from the rear yard where the rear yard is accessible by an alley with access rights to the subject property. If there is no access to the rear yard, an attached garage may be accessed from the front or corner side yard provided that the garage door (or doors) is no wider than 50% of the front facade of the structure and the entry to the garage is set back at least 10' from the street facing building facade and at least 20' from a public sidewalk. Side loaded garages are permitted

Note:

1. See subsection 21A.27.020.B.1.d of this chapter for additional standards.

SECTION 3. Adopting Section 21A.33.080. That Section 21A.33.080 of the *Salt Lake City Code* (Zoning: Land Use Tables: Table of Permitted and Conditional Uses in Form Based Districts), shall be, and hereby is adopted to read and appear as follows:

**21A.33.080 TABLE OF PERMITTED USES IN FORM BASED CODE DISTRICTS**

*Note: Uses which are not listed in the following table are not permitted in any form based code zoning district.*

Legend:	P = Permitted	C = Conditional
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Use	Permitted Uses by District			
	FB-UN1	FB-UN2	FB-SC	FB-SE
Accessory use, except those that are specifically regulated in this chapter, or elsewhere in this title	P	P	P	P
Alcohol:				

	Brewpub		P	P	C
	Social club		P	P	C
	Tavern, 2,500 square feet or less in floor area		P	P	C
Animal, veterinary office			P	P	P
Antenna, communication tower			P	P	P
Art gallery			P	P	P
	Bed and breakfast	P	P	P	P
	Bed and breakfast inn	P	P	P	P
	Bed and breakfast manor	P	P	P	P
Clinic (medical, dental)			P	P	P
	Community garden	P	P	P	P
Community recreation center			P	P	P
Daycare center, adult			P	P	P
Daycare center, child			P	P	P
Dwelling:					
	Assisted living facility (limited capacity)	P	P	P	P
	Assisted living facility (small)		P	P	P
	Group home (large)		P	P	P
	Group home (small) when located above or below first story office, retail, or commercial use, or on the first story where the unit is not located adjacent to street frontage		P	P	P
	Multi-family		P	P	P
	Residential support (large)		P		
	Residential support (small)		P		
	Rooming (boarding) house		P		
	Single-family attached	P	P		P
	Single-family detached	P			
	Single-family detached (Cottage Development building form only)		P		P
	Single room occupancy		P		
	Two-family	P			
Eleemosynary facility			P	P	P
Farmers' market			P	P	P
Financial institution			P	P	P
Food processing			P		

Funeral home		P	P	P	
Health and fitness facility		P	P	P	
Hotel/motel		P	P		
House museum in landmark site	P	P	P	P	
Laboratory (medical, dental, optical)		P	P	P	
Library		P	P	P	
Mixed use developments including residential and other uses allowed in the zoning district		P	P	P	
Museum		P	P	P	
Nursing care facility		P	P	P	
Office		P	P	P	
Office and/or reception center in landmark site		P	P	P	
Open space	P	P	P	P	
Park	P	P	P	P	
Parking, off site	P <sup>1</sup>	P <sup>1</sup>	P <sup>1</sup>	P <sup>1</sup>	
Photo finishing lab			P	P	
Place of worship		P	P	P	
Plazas	P	P	P	P	
Recreation (indoor)		P	P	P	
Research and development facility		P	P	P	
Research facility (medical/dental)		P	P	P	
Restaurant		P	P	P	
Retail goods establishment		P	P	P	
Retail goods establishment, plant and garden shop with outdoor retail sales area		P	P	P	
Retail service establishment		P	P	P	
Sales and display (outdoor)		P	P	P	
School:					
	College or university		P	P	P
	Music conservatory		P	P	P
	Professional and vocational		P	P	P
	Seminary and religious institute		P	P	P
Seasonal farm stand			P	P	P
Solar array			P	P	P

Store, specialty		P	P	P
Studio, art		P	P	P
Studio, dance		P	P	P
Theater, movie		P	P	P
Urban farm	P	P	P	P
Utility, building or structure	P	P	P	P
Utility, transmission wire, line, pipe, or pole	P	P	P	P
Vending cart, private property		P	P	P
Wireless telecommunications facility		P	P	P

SECTION 4. Adopting Section 21A.46.096. That Section 21A.46.096 of the *Salt Lake City Code* (Zoning: Signs: Sign Regulations for Form Based Districts), shall be, and hereby is adopted to read and appear as follows:

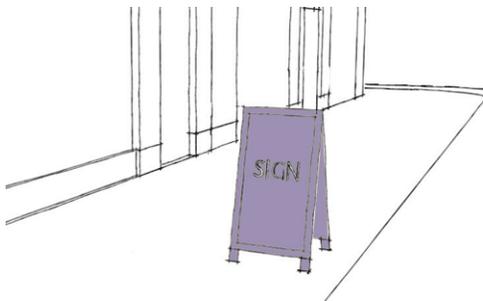
**21A.46.096: SIGN REGULATIONS FOR FORM BASED CODE DISTRICTS:**

The following regulations shall apply to signs permitted in the form based code zoning districts. Any sign not expressly permitted by these district regulations is prohibited.

**A. Sign Regulations for the Form Based Code Districts:**

1. Purpose: Sign regulations for the form based code zoning districts are intended to provide appropriate signage oriented primarily to pedestrian and mass transit traffic.
2. Applicability: This subsection applies to all signs located within the form based code zoning districts. This subsection is intended to list all permitted signs in the zone. All other regulations in chapter 21A.46, “Signs”, of this title shall apply.

**B. Sign Type, Size and Height Standards:**



## 1. A-Frame Sign

Sign Type	FB-UN1	FB-UN2	FB-SC	FB-SE	Specifications	
A-frame sign		P	P	P	Quantity	1 per leasable space. Leasable spaces on corners may have 2.
					Width	Maximum of 2 feet. Any portion of the frame (the support structure) may extend up to 6 inches in any direction beyond the sign face.
					Height	Maximum of 3 feet. Any portion of the frame (the support structure) may extend up to 6 inches in any direction beyond the sign face.
					Placement	On public sidewalk or private property.
					Obstruction Free Area	Minimum of 8 feet must be maintained at all times for pedestrian passage.



## 2. Awning or Canopy Sign

Sign Type	FB-UN1	FB-UN2	FB-SC	FB-SE	Specifications	
Awning or canopy sign	P	P	P	P	Quantity	1 per window.
					Width	Equal to the width of the window.
					Projection	No maximum depth from building facade, however design subject to mitigation of rainfall and snowfall runoff, conflict avoidance with tree canopy, and issuance of encroachment permits where required. The awning or canopy can project a maximum of 2 feet into a special purpose corridor.

					Clearance	Minimum of 10 feet of vertical clearance.
					Letters and logos	Allowed on vertical portions of sign only.
					Location Permitted	Private property or a public street. Signs can face a special purpose corridor but must be located on private property. All signs are subject to the requirements of the revocable permitting process.

### 3. Construction Sign

Sign Type	FB-UN1	FB-UN2	FB-SC	FB-SE	Specifications	
Construction sign (see definition in chapter 21A.46 of this title)	P	P	P	P	Quantity	1 per construction site
					Height	Maximum of 8 feet
					Area	Maximum of 64 square feet
					Location Permitted	Private property or a public street. Signs can face the special purpose corridor, but must be located on private property.



### 4. Flat Sign

Sign Type	FB-UN1	FB-UN2	FB-SC	FB-SE	Specifications	
Flat sign		P	P	P	Quantity	1 per leasable space. Leasable spaces on corners may have 2
					Width	Maximum of 90% of width of leasable space
					Height	Maximum of 3 feet
					Area	1½ square feet per linear foot of store frontage

					Projection	Maximum of 1 foot
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### 5. Nameplate Sign

Sign Type	FB-UN1	FB-UN2	FB-SC	FB-SE	Specifications	
					Nameplate sign	P
Area	Maximum of 3 square feet					

### 6. Private Directional Sign

Sign Type	FB-UN1	FB-UN2	FB-SC	FB-SE	Specifications	
					Private directional sign (see definition in chapter 21A.46 of this title)	P
Height	Maximum of 5 feet					
Area	Maximum of 8 square feet					
Restriction	May not contain business name or logo					
Location Permitted	Private property or public street. Signs can face the special purpose corridor but must be located on private property. All signs are subject to the requirements of the revocable permitting process.					



### 7. Projecting Sign

Sign Type	FB-UN1	FB-UN2	FB-SC	FB-SE	Specifications	
					Quantity	1 per leasable space. Leasable spaces on corners may have 2
Projecting sign		P	P	P	Clearance	Minimum of 10 feet above sidewalk/walkway
					Area	6 square feet per side, 12 square feet total
					Projection	Maximum of 4 feet from building façade
					Location Permitted	Private property or public street. Signs can face the special purpose corridor but must be located on private property. All signs are subject to the requirements of the revocable permitting process.

### 8. Projecting Parking Entry Sign

Sign Type	FB-UN1	FB-UN2	FB-SC	FB-SE	Specifications	
					Quantity	One per parking entry.
Projecting sign (see project sign graphic)			P	P	Clearance	Minimum of 10 feet above sidewalk/walkway
					Height	Maximum of 2 feet.
					Area	4 square feet per side, 8 square feet total
					Projection	Maximum of 4 feet from building façade for public and private streets. Maximum of two feet within the special purpose corridor.
					Location Permitted	Private property or public street. Signs can face the special purpose corridor but must be located on private property. All signs are subject to the requirements of the revocable permitting process.

### 9. Public Safety Sign

Sign Type	FB-UN1	FB-UN2	FB-SC	FB-SE	Specifications	
					Public safety sign (see definition in chapter 21A.46 of this title)	P
					Height	Maximum of 6 feet
					Area	8 square feet
					Projection	Maximum of 1 foot
					Location Permitted	Private property or public street. Signs can face the special purpose corridor but must be located on private property. All signs are subject to the requirements of the revocable permitting process.



### 10. Real Estate Sign

Sign Type	FB-UN1	FB-UN2	FB-SC	FB-SE	Specifications	
					Real estate sign	P
					Height	Maximum of 12 feet
					Area	32 square feet
					Location Permitted	Private property or public street. Signs can face the special purpose corridor but must be located on private property. All signs are subject to the requirements of the revocable permitting process.



11. Window Sign

Sign Type	FB-UN1	FB-UN2	FB-SC	FB-SE	Specifications	
					Window sign	P
					Height	Maximum of 3 feet
					Area	Maximum of 25% of window area

SECTION 5. Amending the Zoning Map. That the Salt Lake City Zoning Map, as adopted by the Salt Lake City Code, relating to the fixing of boundaries and zoning districts, shall be and hereby is amended to rezone the properties shown respectively in the map attached hereto as Exhibit “B” from their current designations to Form Based Special Purpose Corridor District (FB-SC and FB-SE).

SECTION 6. Amending Subsection 21A.44.030.G.2 of Salt Lake City Code. That Table 21A.44.030.G.2 of the *Salt Lake City Code* (Zoning: Off Street Parking, Mobility and Loading: Number of Off Street Parking Spaces Required: Table of District Specific Minimum Off Street Parking Requirements), shall be, and hereby is, amended to include the following in the table, which shall read and appear as follows:

2. District Specific Minimum Requirements:

TABLE OF DISTRICT SPECIFIC MINIMUM OFF STREET PARKING REQUIREMENTS

District	Land Use	Minimum
D-1, D-2, D-4	Residential	1/2 space per dwelling unit
	Nonresidential	No spaces required up to 25,000 square feet usable floor area. One space per 1,000 usable square feet over 25,000 square feet thereafter.
D-3, GMU	Residential	1/2 space per dwelling unit. 1 space per single family, two family and twin home dwellings.
	Nonresidential	No spaces required up to 10,000 square feet usable floor area. One space per 1,000 usable square feet over 10,000 square feet thereafter.
TSA Core	All uses	No spaces required.
TSA Transition	All uses	50% of required in table 21A.44.030 minimum requirements.
FB-SC	All uses	No spaces required.
FB-SE	All uses	50% of required in table 21A.44.030 minimum requirements.
FB-UN	All uses	No spaces required.
MU, RMU	Residential	1/2 space per multifamily dwelling unit. 1 space per single family, two family and twin home dwellings.
RMU-35	Residential	1 space per dwelling unit.
RMU-45	Residential	1 space per dwelling unit.
CB	Residential	1 space per dwelling unit.
CN	Residential	1 space per dwelling unit.
SR-3	Residential	1 space per dwelling unit

Note: Any use or district not listed in this subsection 21A.44.030.G.2, “Table of District Specific Off Street Parking Requirements”, will refer to the minimum requirement in Table 21A.44.030.

SECTION 7. Amending Subsection 21A.44.030.H.2 of Salt Lake City Code. That Section 21A.44.030.H.2 of the *Salt Lake City Code* (Zoning: Off Street Parking, Mobility and Loading: Number of Off Street Parking Spaces Required: Maximum Off Street Parking Allowance), shall be, and hereby is, amended to include the following in the table, which shall read and appear as follows:

2. District Specific Maximum Allowance:

TABLE OF DISTRICT SPECIFIC MAXIMUM PARKING ALLOWANCE

District	Land Use	Maximum
D-1, D-2, D-4	Residential	Equivalent to minimum
	Nonresidential	Up to 25 spaces for first 25,000 square feet. No more than 1 space per 1,000 square feet thereafter.
D-3, GMU	Residential	Equivalent to minimum
	Nonresidential	Up to 10 spaces for first 10,000 square feet. No more than 1 space per 1,000 square feet thereafter.
TSA Core	Residential	1 space per dwelling unit.
	Nonresidential	3 spaces for every 1,000 usable square feet.
TSA Transition	Residential	1 <sup>1/2</sup> spaces per dwelling unit.
	Nonresidential	3 spaces for every 1,000 usable square feet.
FB-SC, FB-SE <sup>1</sup>	All uses	The maximum parking allowance is equal to the minimum off street parking requirements found in section

		21A.44.030, “Number of Off Street Parking Spaces Required”, of this title.
FB-UN	All uses	The maximum parking allowance is equal to the minimum off street parking requirements found in section 21A.44.030, “Number of Off Street Parking Spaces Required”, of this title.
M-1, M-2, BP, AIRPORT	All uses	No maximum for any property located West of the centerline of Redwood Road

Note:

With the exception of the zones listed above in subsection 21A.44.030.H.2, “Table of District Specific Maximum Parking Allowance”, single-family and two-family residential uses are limited to four (4) outdoor off street parking spaces, including parking for recreational vehicles as identified in Section 21A.44.020.G.

Qualifying provisions:

- <sup>1</sup> Parking in excess of the maximum allowed may be granted as a special exception subject to the special exception standards in Chapter 21A.52. The maximum parking requirement does not apply to parking structures or garages that serve multiple parcels or uses or structures that provide off site parking.

SECTION 8. Effective Date. This ordinance shall become effective on the date of its first publication.

Passed by the City Council of Salt Lake City, Utah, this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
CHAIRPERSON

ATTEST AND COUNTERSIGN:  
  
\_\_\_\_\_  
CITY RECORDER

Transmitted to Mayor on \_\_\_\_\_.

Mayor's Action: \_\_\_\_\_Approved. \_\_\_\_\_Vetoed.

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CITY RECORDER

(SEAL)

Bill No. \_\_\_\_\_ of 2016.

Published: \_\_\_\_\_.

HB\_ATTYY-#32667-v13-Ordinance\_Streetcar\_Corridor\_Zoning\_and\_MP.DOCX

<p><b>APPROVED AS TO FORM</b> Salt Lake City Attorney's Office</p> <p>Date: _____</p> <p>By: _____ Paul C. Nielson, <i>Senior City Attorney</i></p>
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**SALT LAKE CITY CORPORATION**  
Community and Economic Development  
City Council Transmittal

  
Patrick Leary, Chief of Staff 4/18/2016

Date Received: 4/12/2016  
Date Sent to Council: 4/18/2016

**TO:** City Council  
James Rogers - Chair

**FROM:**



Mike Reberg, Director of Community and Economic Development 4/12/2016

**SUBJECT:** Sugar House Streetcar Corridor Master Plan and Zoning Amend  
PLNPCM2012-00576 and PLNPCM2012-00578

**STAFF CONTACT:** Maryann Pickering, Principal Planner  
Maryann.Pickering@slcgov.com

**COUNCIL SPONSOR: Not Required - Council Initiated**

**DOCUMENT TYPE:** Ordinance

**RECOMMENDATION:** That the City Council review the attached ordinance and schedule the item for future Council meetings.

**BUDGET IMPACT:** None

**BACKGROUND/DISCUSSION:** At the last briefing with City Council on October 6, 2015, Planning staff had a discussion with the City Council on the proposed changes to the Sugar House Streetcar Zoning petition. At the briefing, staffing received some additional direction as to what the City Council wanted in the ordinance.

We have gone through all of the items from that briefing and have incorporated the changes into a revised ordinance. Staff feels that all the items desired by the City Council have been

Attachment: Administrative Transmittal - Sugar House Streetcar Corridor Master Plan and Zoning Amendment (1683) : Sugar House Streetcar

addressed and that the item should be set for a public hearing at a future date. Some of the changes made after the last briefing include:

- Building height was limited to 65 feet in the FB-FC (Core) district. One story of additional height can be obtained by a developer if a minimum of 20% of the units in the building are affordable.
- If a building is less than 45 feet in height, an exterior balcony can be used instead of the setback to break up the façade of the building.
- Social clubs and taverns are conditional uses in the FB-SE (Edge) district.
- Hotel and motels will only be permitted in the Core district. Not allowed in the SE district.

### **PETITION HISTORY:**

Planning for the Sugar House Streetcar began in 2006 with the study of alternatives for transit through South Salt Lake City and Salt Lake City. The results of this first study determined that a streetcar within the existing Utah Transit Authority right of way (approximately 2230 South between the Central Pointe TRAX station and Highland Drive) would best serve the community goals of mobility and economic development. The project has been a high priority for South Salt Lake City, Salt Lake City, and the Utah Transit Authority, which have collaborated on grant applications for federal funding. The project envisioned a modern streetcar line that connects a thriving regional commercial center (Sugar House Business District) to the regional TRAX light rail system.

### **Master Plan Amendments**

In considering an amendment to the Sugar House Master Plan as part of the Sugar House Streetcar Zoning and Master Plan Amendment project, Planning staff considered the following documents related to land use:

- Salt Lake City Futures Commission Report (1998)
- Salt Lake City Urban Design Element (1990)
- Salt Lake City Community Housing Plan (2012)
- Salt Lake City Transportation Plan (1996)
- Sugar House Master Plan (2005)
- Wasatch Choices 2040 (2011)

### **Zoning Map and Text Amendments**

The Sugar House Streetcar Corridor has some unique features that create challenges to administering development regulations. The corridor is located along a former railroad right-of-way and has little access along a street. In fact, a majority of the corridor is located on the side or rear of various residential and commercial properties. In many cases, the adjacent properties have frontage on two streets and along the street car corridor. A number of lots are uniquely shaped with challenging dimensions. The existing land uses are either auto oriented or old industrial types of developments that used to require freight service. The unique characteristics of the parcels, development patterns and other characteristics make it difficult to apply any of the existing Salt Lake City zoning districts to the areas along the street car corridor. Due to these facts, the Planning Division recommended to the community, the Mayor and the Planning Commission that a form based zoning approach be used to implement the Community's vision along the corridor. The goal of the zoning for the area was to allow development that is transit oriented in nature, yet respectful to the existing community, especially the existing single-family residential properties.

**PUBLIC PROCESS:**

Several public meetings and open houses were held prior to the Planning Commission hearings. The Planning Commission had a total of three public hearings on the item before forwarding a positive recommendation to the City Council in 2013. Since the project was forwarded to the City Council, a total of five briefings have been held with the City Council. At this point, staff feels that all outstanding issues have been resolved and that the item is ready for a the public hearing process.

RE: Petitions PLNPCM2012-00576 and PLNPCM2012-00578 – Sugar House Streetcar Master Plan and Zoning Amendments

Links:

References: : 1327

**ATTACHMENTS:**

- a1 Ordinance(PDF)
- a2 Legislative Ordinance (PDF)

SALT LAKE CITY ORDINANCE  
No. \_\_\_\_\_ of 2016

(Amending the Sugar House Master Plan, amending the zoning ordinance to create the FB-SC and FB-SE Form Based Special Purpose Corridor districts, and amending the zoning map to apply FB-SC and FB-SE Form Based Special Purpose Corridor zoning districts)

An ordinance amending the Sugar House Master Plan, amending the zoning ordinance to create the FB-SC and FB-SE Form Based Special Purpose Corridor zoning districts, and amending the zoning map to establish FB-SC and FB-SE Form Based Special Purpose Corridor zoning districts pursuant to Petition Nos. PLNPCM2012-00576 and PLNPCM2012-00577.

WHEREAS, the Salt Lake City Planning Commission held public hearings on May 22, 2013 and July 10, 2013 on applications submitted by the Salt Lake City Mayor (“Applicant”) to amend the Sugar House Master Plan (PLNPCM2012-00577), and to amend the zoning ordinance and zoning map to create and apply the FB-SC and FB-SE Form Based Special Purpose Corridor zoning districts (PLNPCM2012-00576); and

WHEREAS, at its July 31, 2013 meeting, the planning commission voted in favor of forwarding a positive recommendation to the Salt Lake City Council on said applications; and

WHEREAS, after a public hearing on this matter the city council has determined that adopting this ordinance is in the city’s best interests; and

NOW, THEREFORE, be it ordained by the City Council of Salt Lake City, Utah:

SECTION 1. Amending the Sugar House Master Plan. That the Sugar House Master Plan shall be and hereby is amended as follows:

- a. Amending the Text of the Sugar House Master Plan. That the text of the Sugar House Master Plan, as adopted in 2001 and subsequently amended, shall be and hereby is amended to add the “Community Transit District” land use category to the “Sugar House Development

Objectives” subsection of the Sugar House Future Land Use Plan section of that master plan, which appears on Page 2 thereof. The following text shall be inserted on Page 2 of the master plan following the “High-Intensity Mixed Use” category paragraph:

***Community Transit District***

The Community Transit District supports the development of a localized urban center that capitalizes on close proximity to the Sugar House Streetcar corridor and arterial streets. Uses include a mix of residential, retail, commercial, and office with buildings oriented to the pedestrian environment. Building height and density is concentrated along arterial streets and is similar to the height, density, and design in the Sugar House Business District which would create two active destinations linked by transit. While being a high density area, development in the Community Transit District also respects and is compatible with the surrounding residential neighborhoods. Future public improvements should be focused on creating an interconnected and cohesive district that caters to all modes of transportation including pedestrians and cyclists.

b. Amending the Text of the Sugar House Master Plan. That the text of the Sugar House Master Plan shall be and hereby is amended to add the following language to the Mobility, Access & the Pedestrian Experience section of the master plan (to be inserted at the end of that section):

**Sugar House Streetcar and Greenway Corridor**

The Sugar House community has long envisioned the transformation of the Denver Rio Grande rail right-of-way into a public transit and multi-use trail corridor. In 2012, this vision came to fruition as construction began on the Sugar House Streetcar and Greenway, a two mile long transit and active transportation corridor that connects the Sugar House Business District with the north-south TRAX light rail line at 2100 South in South Salt Lake City.

In 2011, the Redevelopment Agency of Salt Lake City funded an effort to create a vision for the streetcar corridor and surrounding area. This resulted in a set of recommendations put into a report titled Sugar House Streetcar Land Use and Urban Design Recommendations. As a result of this process, the City of Salt Lake City has funded improvements to transform the streetcar corridor into a greenway that includes dedicated multi-use pathways and amenities.

Many of the recommendations stated in the Land Use and Urban Design Recommendations report that are related to the streetcar and greenway corridor itself have been implemented. There are still improvements that should be considered in

the future to activate the corridor, support existing neighborhoods, and create vibrant transit oriented districts near the streetcar stops.

### **Policies**

- Work with Utah Transit Authority (UTA) to add a neighborhood serving streetcar stop near 800 East.
- Where easements exist for automobile access within the corridor, the City should work with property owners to eliminate the easements. In the event of redevelopment of a property with an automobile access easement, all options must be explored to relocate and remove automobile access from the corridor.
- Restore the original rail line right-of-way boundaries by removing existing encroachments (structures, fences, parking, etc.).
- Streets that cross the corridor (500 East, 600 East, 700 East, 800 East, and 900 East) connect the corridor to adjacent neighborhoods; therefore, they should be developed as complete streets where feasible.
- Development along the streetcar and greenway should encourage transit and trail usage, and provide eyes on the corridor. All buildings should have entrances from the corridor, windows along the corridor, and should minimize blank walls. Seating, dining areas, and active accessory functions should be encouraged.
- Development should not overpower the corridor. Building heights should be sensitive to the open space characteristic of the corridor and allow sufficient sunlight.
- Improve the public right-of-way near the streetcar stations to enhance pedestrian and bicycle circulation. Specific projects include:
  - Work with Utah Department of Transportation (UDOT) to eliminate the right hand travel lanes along 700 East between 2100 South and the 700 East streetcar station and replace the travel lanes with on-street parking and a bike lane.
  - Widen the sidewalks within the Community Transit District and near the 500 East, 900 East, and McClelland streetcar stations to allow for a wider pedestrian thoroughfare, as well as additional space for furnishing and planting areas. One approach is to require additional front building setbacks with hardscaped front yard areas.
  - Connect Green Street to Wilmington Avenue to eliminate the dead end at the south end of Green Street.

- Analyze the feasibility of creating a beautification district within the Community Transit District to develop a program for the installation of and maintenance of street lighting, paving material, and landscaping with a common theme or pattern.
- Redevelop the City-owned open space property located at the southeast corner of 900 East and Sugarmont Drive into a transit supportive development. Redevelopment of the property should include sidewalk improvements that support a walkable and active development.

c. Amending the Future Land Use Map of the Sugar House Master Plan. That the Future Land Use Map of the Sugar House Master Plan is amended to designate the areas shown respectively in the map attached hereto as Exhibit “A” as Mixed Use - High Intensity and Community Transit District. The attached exhibit only shows the areas to be re-designated and does not replace the future land use designations of those areas not highlighted.

SECTION 2. Amending Chapter 21A.27 of Salt Lake City Code. That Chapter 21A.27 of the *Salt Lake City Code* (Zoning: Form Based Districts), shall be, and hereby is, amended to read as follows:

**Chapter 21A.27  
FORM BASED DISTRICTS**

- 21A.27.010: PURPOSE STATEMENT AND GENERAL PROVISIONS:**
- 21A.27.020: BUILDING TYPES AND FORMS ESTABLISHED:**
- 21A.27.030: BUILDING CONFIGURATION AND DESIGN STANDARDS:**
- 21A.27.040: FB-SC AND FB-SE FORM BASED SPECIAL PURPOSE CORRIDOR DISTRICT:**
- 21A.27.050: FB-UN1 AND FB-UN2 FORM BASED URBAN NEIGHBORHOOD DISTRICT:**
- 21A.27.010: PURPOSE STATEMENT AND GENERAL PROVISIONS**

- A. Purpose Statement: The purpose of the form based districts is to create urban neighborhoods that provide the following:
1. People oriented places;
  2. Options for housing types;
  3. Options in terms of shopping, dining, and fulfilling daily needs within walking distance or conveniently located near mass transit;

4. Transportation options;
5. Access to employment opportunities within walking distance or close to mass transit;
6. Appropriately scaled buildings that respect the existing character of the neighborhood;
7. Safe, accessible, and interconnected networks for people to move around in; and
8. Increased desirability as a place to work, live, play, and invest through higher quality form and design.

B. Context Description: The form based districts are intended to be utilized in areas with the following characteristics:

1. Street, Block, and Access Patterns: A regular pattern of blocks surrounded by a traditional grid of streets that provide mobility options and connections for pedestrians, bicyclists, and automobiles. Blocks include sidewalks separated from vehicle travel lanes by a landscaped park strip. Front yards are landscaped or include active, outdoor uses.
2. Building Placement and Location: Residential buildings are generally located close to the sidewalk with a small, transitional, semipublic space, such as a landscaped front yard, that is consistent along the block face. Buildings along arterials are located close to the sidewalk with parking to the side or rear of building.
3. Building Height: Building heights on local streets are relatively low and consistent with existing building heights with little variation. Buildings located on arterial streets are generally taller.
4. Mobility: A balance between pedestrians, bicyclists, transit riders, and motorists exist in the area, and residents are well connected to other parts of the city.

C. Intent of Form Based Districts:

1. Statement of Intent: Form based districts are intended to provide zoning regulations that focus on the form of development, the manner in which buildings are oriented toward public spaces, the scale of development, and the interaction of uses within the city. Form based districts provide places for people to live, work, and play within a close proximity. Regulations within form based districts place emphasis on the built environment over land use.
2. How to use this Chapter: Form based districts emphasize the form, scale, placement, and orientation of buildings. Each subdistrict includes a table of permitted building forms and specific development regulations for each building form. The first step is to identify which subdistrict the property is located in, and then identify what building forms are permitted, and finally what standards apply to the specific building form. All new developments and additions to existing buildings shall comply with the specific requirements of this chapter.

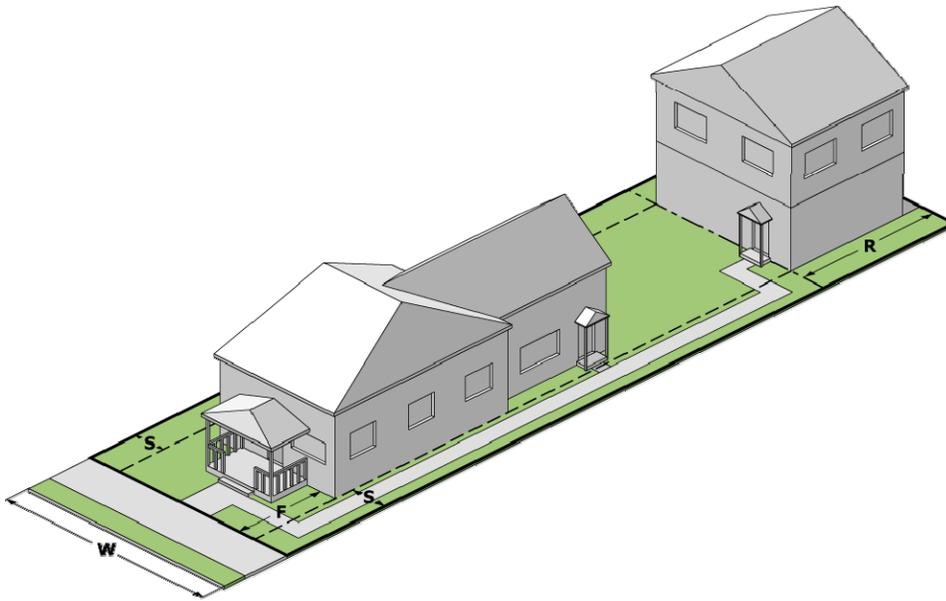
**21A.27.020: BUILDING TYPES AND FORMS ESTABLISHED:**

A. Building Types and Form Standards:

1. Encourage building forms that are compatible with the neighborhood and the future vision for the neighborhood by acknowledging there will be different scaled buildings in the area;
2. Arrange building heights and scale to provide appropriate transitions between buildings of different scales and adjacent areas, especially between different subdistricts;
3. Guide building orientation through setbacks and other requirements to create a consistent street edge, enhance walkability by addressing the relationship between public and private spaces, and ensure architectural design will contribute to the character of the neighborhood;
4. Use building form, placement, and orientation to identify the private, semiprivate, and public spaces;
5. Minimize the visual impact of parking areas; and
6. Minimize conflicts between pedestrians, bicyclists, and vehicles.

B. Building Types and Forms:

1. Description: The permitted building forms are described in this subsection. Each building form includes a general description and definition, as well as images of what the building form may look like. Building form images are for informational purposes only and not intended to demonstrate exactly what shall be built. The description and images should be used to classify existing and proposed buildings in order to determine what development regulations apply. The drawings are not to scale. They should not be used to dictate a specific architectural style as both traditional and contemporary styles can be used.
  - a. Urban House: A residential structure with the approximate scale of a single dwelling unit, as viewed from the street, but may contain up to two (2) dwelling units. The structure has a single entry facing the street, a front porch or stoop, and a small front yard. Second units may be arranged vertically (up and down) or horizontally (front and back), but the entry to the second unit is from the side, rear, or interior of structure. A third unit may also be located along an alley as a stand alone unit or as a dwelling unit located in an accessory building. All units are on a single lot.



*Urban House with Detached Dwelling*

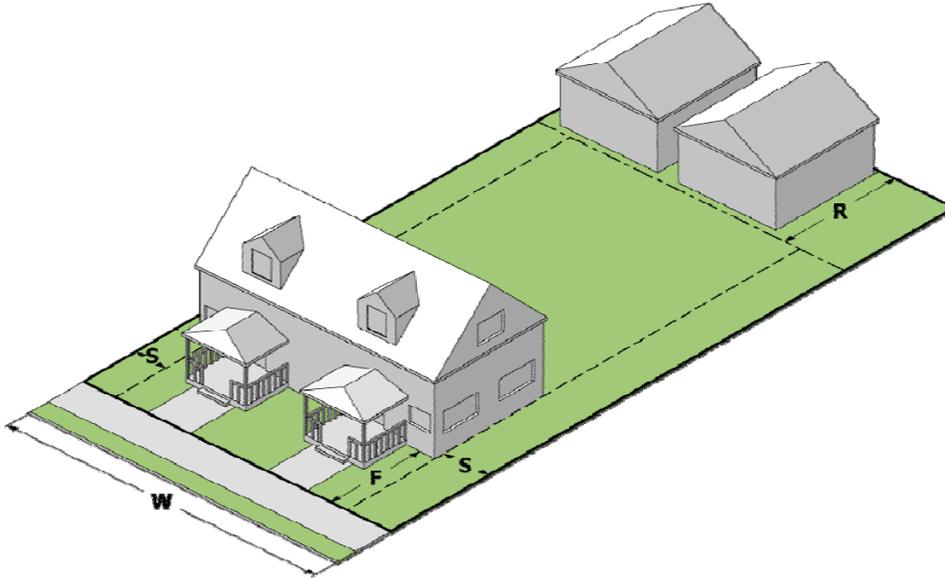


*Modern and Traditional Forms*



*Two-Story Contemporary Form*

- b. Two-Family Dwelling: A residential structure that contains two (2) dwelling units in a single building. The units may be arranged side by side, up and down, or front and back. Each unit has its own separate entry directly to the outside. Dwellings may be located on separate lots or grouped on one lot. A third unit may also be located along an alley as a stand alone unit or as a dwelling unit located in an accessory building, but may not be located on a separate lot.



*Two-Family Dwelling with Garages*

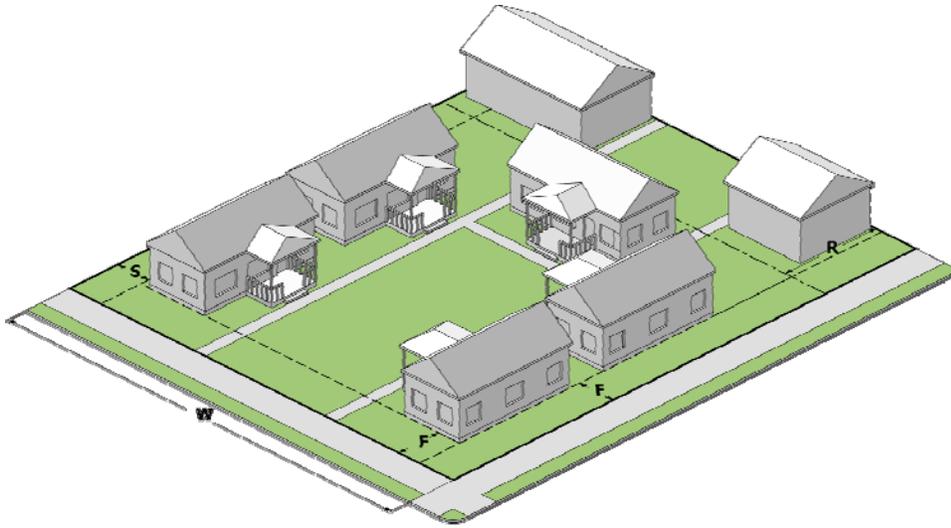


*Traditional Two-Family Dwelling*



*Modern Two-Family Dwelling*

- c. Cottage Development: A unified development that contains two (2) or more detached dwelling units with each unit appearing to be a small single-family dwelling with a common green or open space. Dwellings may be located on separate lots or grouped on one lot.
- d. Additional Development Standards for Cottage Building Forms:
  - (1) Setbacks between individual cottages: All cottages shall have a minimum setback of eight feet (8') from another cottage.
  - (2) Footprint: No cottage shall have a footprint in excess of eight hundred fifty (850) square feet.
  - (3) Building Entrance: All building entrances shall face a public street or a common open space.
  - (4) Open Space: A minimum of two hundred fifty (250) square feet of common, open space is required per cottage up to a maximum of one thousand (1,000) square feet. At least fifty percent (50%) of the open space shall be contiguous and include landscaping, walkways or other amenities intended to serve the residents of the development.

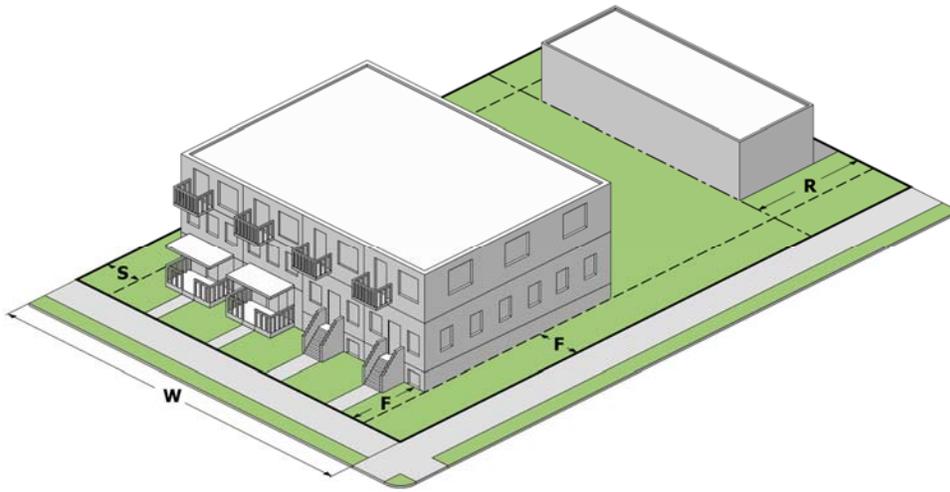


*Cottage Development on Single Parcel*



*Cottage Development*

- e. Row House: A series of attached single-family dwellings that share at least one common wall with an adjacent dwelling unit. A row house contains a minimum of three (3) residential dwelling units. Each unit may be on its own lot. If possible, off street parking is accessed from an alley.



*Row House on Single Parcel*

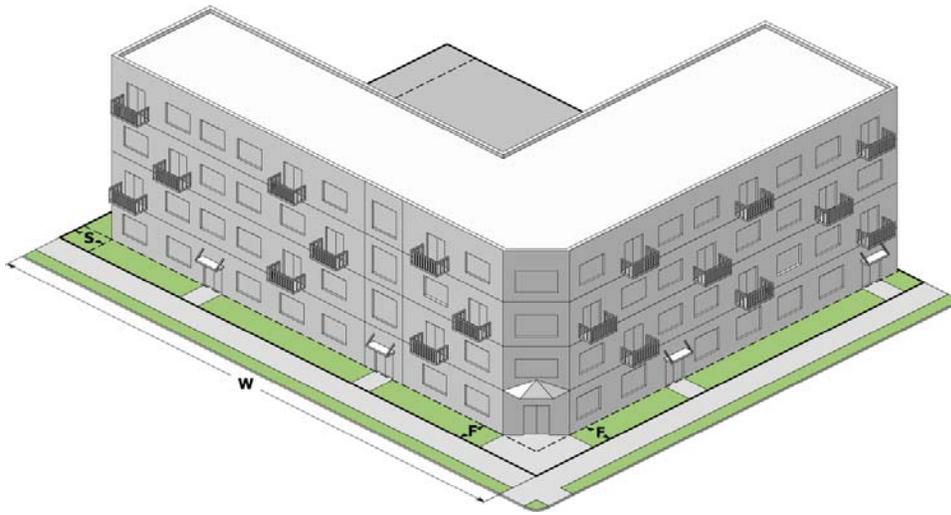


*Modern Row House Form*



*Traditional Row House Form*

- f. Multi-Family Residential: A multi-family residential structure containing three (3) or more dwelling units that may be arranged in a number of configurations.



*Multi-Family Residential Form*



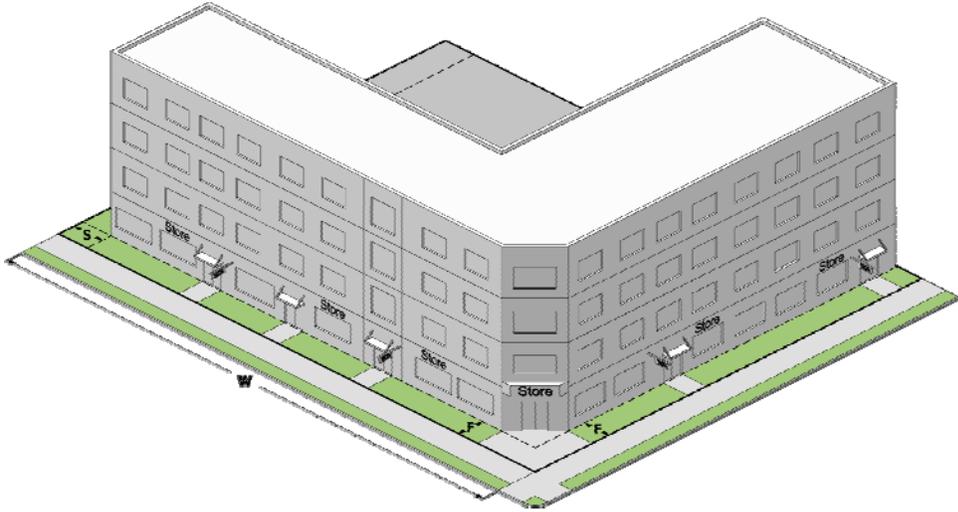
*Multi-Family Modern Form*



*Multi-Family Traditional Form*

- g. Storefront: A commercial structure that may have multiple stories and contain a variety of commercial uses that are allowed in the district that permits this

building type. All buildings, regardless of the specific use, have a ground floor that looks like a storefront.



*Store Front Form*

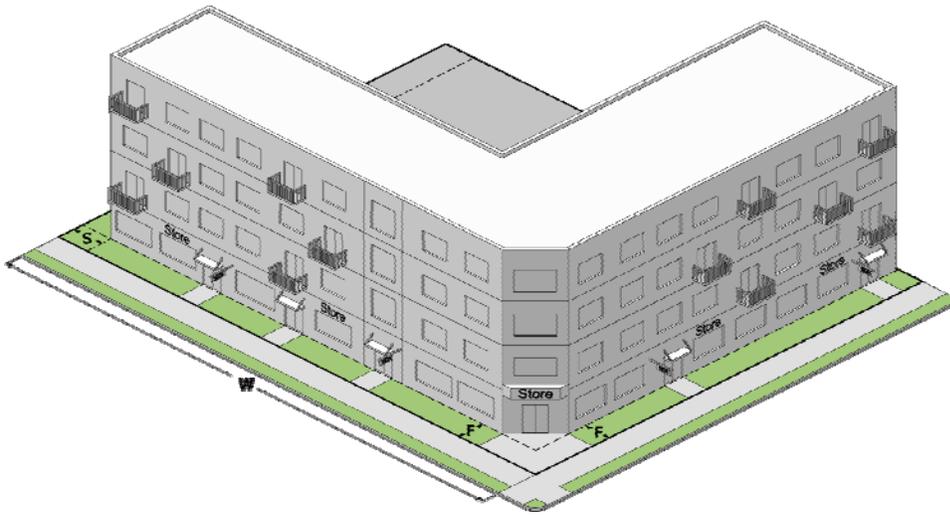


*Contemporary Store Front*



*Traditional Store Front*

- h. Vertical Mixed Use: A multi-story building that contains a mix of commercial and/or office with residential uses.



*Vertical Mixed Use Multi-Story Form*



*Modern Materials*



*Traditional Materials*

C. Building Form Standards:

1. The provisions of this section shall apply to all properties located within the form based districts as indicated on the maps in each form based district.
2. Building form and street type standards apply to all new buildings and additions when the new construction related to the addition is greater than twenty-five percent (25%) of the footprint of the structure or one-thousand (1,000) square feet, whichever is less. Refer to section the Building Configuration Standards for more information on how to comply with the standards. The graphics included provide a visual representation of the standards as a guide and are not meant to supersede the standards in the tables. Only building forms identified in the table are permitted.

**21A.27.030: BUILDING CONFIGURATION AND DESIGN STANDARDS:**

A. Specific Intent of Configuration and Design Standards:

1. Design Related Standards: The design related standards are intended to do the following:

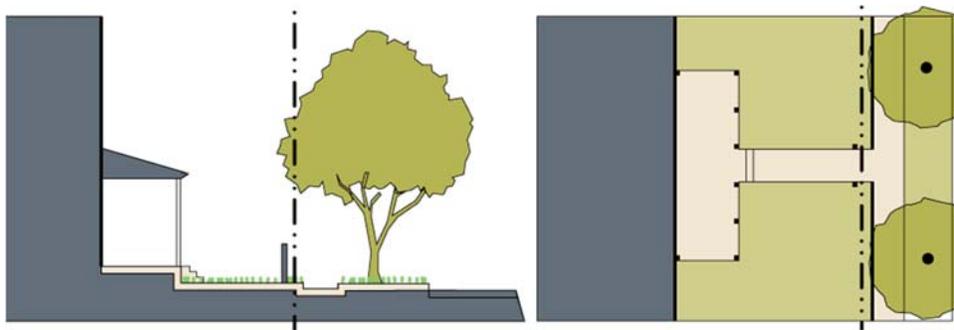
- a. Implement applicable master plans;
  - b. Continue the existing physical character of residential streets while allowing an increase in building scale along arterials and near transit stations;
  - c. Focus development and future growth in the city along arterials and near transit stations;
  - d. Arrange buildings so they are oriented toward the street in a manner that promotes pedestrian activity, safety, and community;
  - e. Provide human scaled buildings that emphasize design and placement of the main entrance/exit on street facing facades;
  - f. Provide connections to transit through public walkways;
  - g. Provide areas for appropriate land uses that encourage use of public transit and are compatible with the neighborhood;
  - h. Promote pedestrian and bicycle amenities near transit facilities to maximize alternative forms of transportation; and
  - i. Rehabilitate and reuse existing residential structures in the form based zoning districts when possible to efficiently use infrastructure and natural resources, and preserve neighborhood character.
- B. Building Configuration Standards Defined: The building configuration standards are defined in this section. The defined standards in this section are intended to identify how to comply with the building configuration standards tables located in this chapter.
- C. Building configuration standards apply to all new buildings and additions when the new construction related to the addition is greater than twenty-five percent (25%) of the footprint of the structure or one-thousand (1,000) square feet, whichever is less. The graphics included provide a visual representation of the standards as a guide and are not meant to supersede the standards in the tables. This standard applies to all form based zoning codes unless otherwise indicated.
1. Building Entry: A minimum of one main entry with an entry feature facing a public street or walkway, excluding alleys, is required. The main entry is the primary pedestrian entrance into a building. Two-family dwelling buildings shall have a minimum of one main entry with porch or stoop for at least one of the dwelling units facing a street. The main entry for the second dwelling unit may face the street or side yard, but must also have a porch or stoop entrance. Where required, the building entry must be one of the following:
    - a. Front entrance: Door on the same plane as street facing facade;
    - b. Recessed entrance: Inset behind the plane of the building no more than ten feet (10'). If inset, then the sidewalls of the inset must be lined with clear glass. Opaque, smoked, or darkened glass is not permitted; or
    - c. Corner entrance: Entry that is angled or an inside corner located at the corner of two (2) intersecting streets.
    - d. Every building shall have at least one (1) entry for every seventy-five feet (75') of building façade along a public or private street, alley or greenway.

2. Encroachments: A permitted entry feature may encroach into a required yard provided no portion of the porch is closer than five feet (5') to the front property line.
3. Entry Feature: The following building entries are permitted as indicated:

TABLE 21A.27.030.B  
ENTRY FEATURE STANDARDS

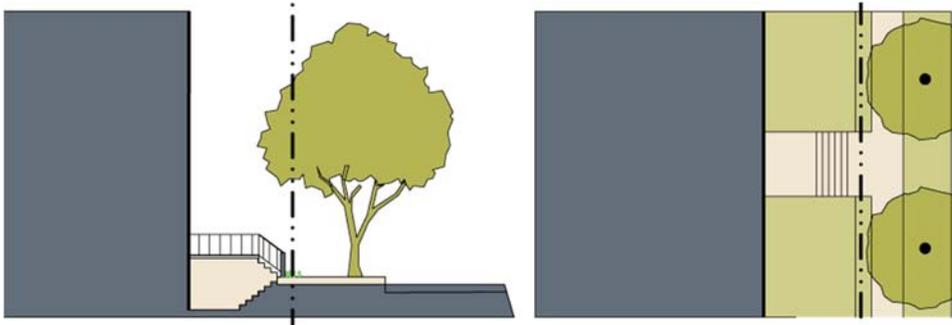
Entry Feature Permitted Based On Building Form Type	Urban House	Cottage Development	Two-Family Dwelling	Row House	Multi-Family	Store front	Vertical Mixed Use
Porch and fence: A planted front yard where the street facing building facade is set back from the front property line with an attached porch that is permitted to encroach into the required yard. The porch shall be a minimum of six (6) feet in depth. The front yard may include a fence no taller than three (3) feet in height.	P	P	P	P	P		

Reference Illustration - Porch and Fence



Entry Feature Permitted Based On Building Form Type	Urban House	Cottage Development	Two-Family Dwelling	Row House	Multi-Family	Store front	Vertical Mixed Use
Terrace or lightwell: An entry feature where the street facing facade is set back from the front property line by an elevated terrace or sunken lightwell. May include a canopy or roof.			P	P	P	P	P

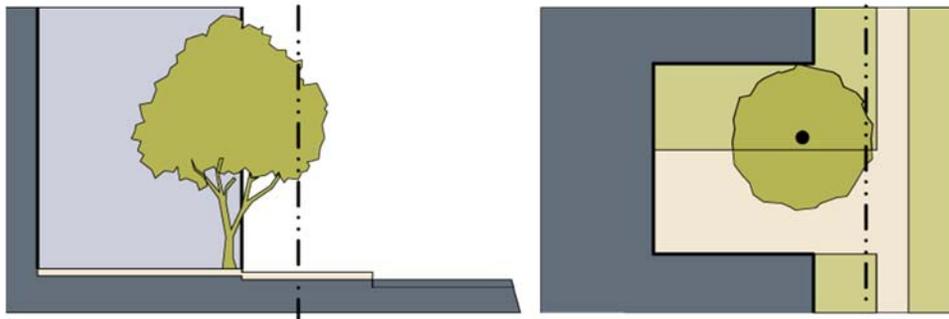
Reference Illustration – Terrace or Lightwell



Entry Feature Permitted Based On Building Form Type	Urban House	Cottage Development	Two-Family Dwelling	Row House	Multi-Family	Store front	Vertical Mixed Use
Forecourt: An entry feature wherein a portion of the street facing facade is close to the property line and the	P	P	P	P	P	P	P

central portion is set back. The court created must be landscaped, contain outdoor plazas, outdoor dining areas, private yards, or other similar features that encourage use and seating							
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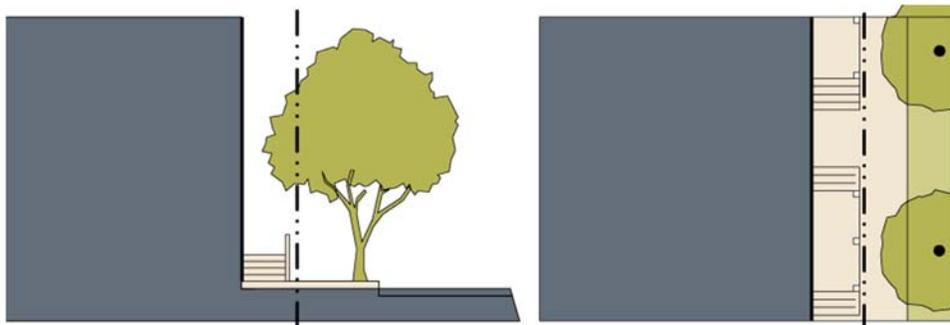
Reference Illustration – Forecourt



<b>Entry Feature Permitted Based On Building Form Type</b>	<b>Urban House</b>	<b>Cottage Development</b>	<b>Two-Family Dwelling</b>	<b>Row House</b>	<b>Multi-Family</b>	<b>Store front</b>	<b>Vertical Mixed Use</b>
Stoop: An entry feature wherein the street facing facade is close to the front property line and the first story is elevated from the sidewalk sufficiently to secure privacy for the windows. The	P	P	P	P	P	P	P

entrance contains an exterior stair and landing that is either parallel or perpendicular to the street. Recommended for ground floor residential uses.							
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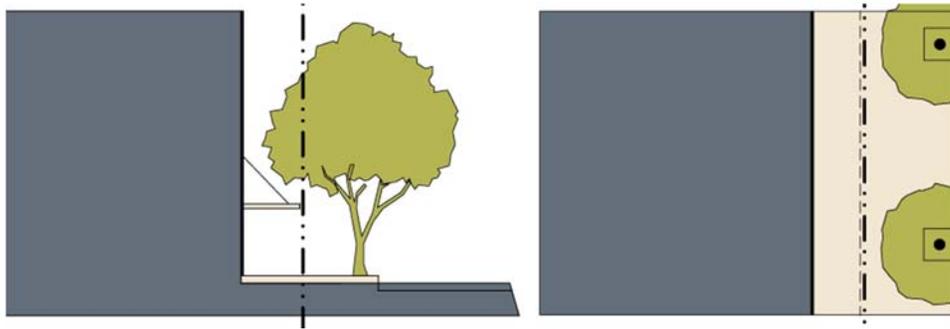
Reference Illustration – Stoop



<b>Entry Feature Permitted Based On Building Form Type</b>	<b>Urban House</b>	<b>Cottage Development</b>	<b>Two-Family Dwelling</b>	<b>Row House</b>	<b>Multi-Family</b>	<b>Store front</b>	<b>Vertical Mixed Use</b>
Shopfront: An entry feature where the street facing facade is close to the property line and building entrance is at sidewalk grade. Building entry is covered with an awning, canopy, or is recessed from the front building					P	P	P

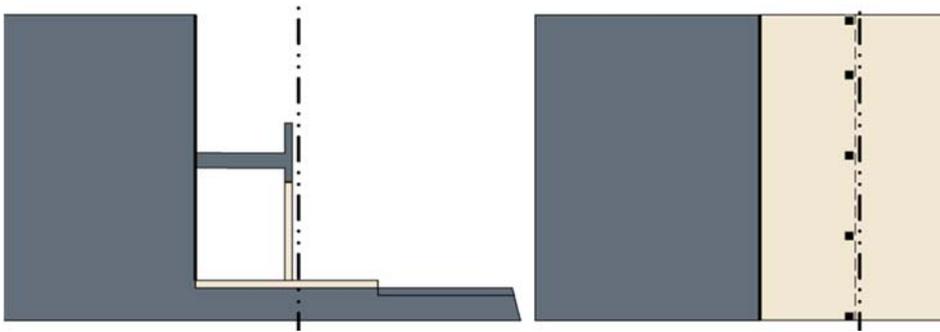
facade, which defines the entry and provides protection for customers.							
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Reference Illustration – Shopfront



Entry Feature Permitted Based On Building Form Type	Urban House	Cottage Development	Two-Family Dwelling	Row House	Multi-Family	Store front	Vertical Mixed Use
Gallery: A building entry where the ground floor is no more than 10 feet from the front property line and the upper levels or roofline cantilevers from the ground floor facade up to the front property line.					P	P	P

Reference Illustration – Gallery



4. Pedestrian Connections: Where required, the following pedestrian connection standards apply:
  - a. The connection shall provide direct access from any building entry to the public sidewalk or walkway.
  - b. The connection shall comply with the Americans with Disabilities Act (ADA) standards for accessibility.
  - c. The connection shall be fully paved and have a minimum width of four feet (4').
  - d. The connection shall be separated from vehicle drive approaches and drive lanes by a change in grade and a wheel stop if the walkway is less than eight feet (8') wide.
  - e. Pedestrian connections that lead directly from the sidewalk to the primary building entrance may contain wing walls, no taller than two feet (2') in height for seating, landscaping, etc.
  
5. Ground Floor Transparency: Where required, the ground floor transparency standards apply:
  - a. Minimum of sixty percent (60%) of street facing façade, located between two (2) and eight (8) feet above the grade of the sidewalk, shall be transparent glass. This may be reduced for twenty percent (20%) if the ground floor is within one of the following building types: urban house, two-family, cottage, and row house.
  - b. There must be visual clearance behind the glass for a minimum of six feet (6'). Three-dimensional display windows at least six feet (6') deep are permitted and may be counted toward the sixty percent (60%) glass requirement.
  - c. Ground floor windows of commercial uses shall be kept clear at night, free from any window covering, with internal illumination. When ground floor glass conflicts with the internal function of the building, other means shall be used to activate the sidewalk, such as display windows, public art, architectural ornamentation or detailing or other similar treatment.
  - d. The first floor elevation facing a street of all new buildings, or buildings in which the property owner is modifying the size of windows on the front facade, shall comply with these standards.

6. **Building Materials:** A minimum of seventy percent (70%) of any street facing building façade shall be clad in high quality, durable, natural materials, such as stone, brick, wood lap siding, fiber cement board siding, shingled or panel sided, and glass. Other materials may count up to thirty percent (30%) of the street facing building façade. Exterior insulation and finishing systems (EIFS) is permitted for trim only.
7. **Open Space:** A minimum of ten percent (10%) of the lot area shall be provided for open space. Open space may include landscaped yards, patio, dining areas, common balconies, rooftop gardens, and other similar outdoor living spaces. Private balconies shall not be counted towards the minimum open space requirement. Required parking lot landscaping or perimeter parking lot landscaping shall also not count towards the minimum open space requirement.
8. **Building Fenestration:** No building wall that faces onto a street shall exceed more than thirty feet (30') in length without being interrupted by windows, doors, or change of building wall plane that results in an offset of at least twelve inches (12").

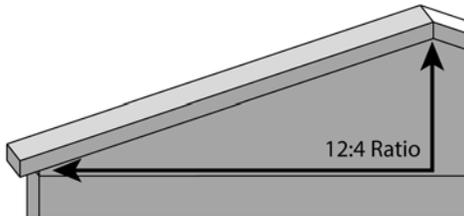


*Illustration of Building Fenestration*

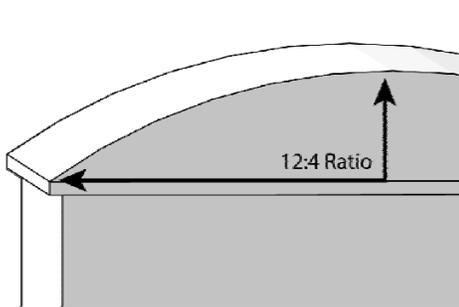
9. **Residential Balconies:** All street facing residential units above the ground floor or level shall contain a usable balcony that is a minimum of four feet (4') in depth. Balconies may overhang any required yard.
10. **Design Standards Alternatives:**
  - a. **Alternatives to Required Build-To Line:** Where a “required build-to” standard applies, the following alternatives may count toward the minimum build-to requirement as indicated:
    - (1) **Landscaping Walls:** Landscaping walls between twenty four inches (24”) and forty two inches (42”) high may count up to twenty five percent (25%) toward the minimum requirement provided the following:
      - (A) The wall incorporates seating areas.

- (B) The wall is constructed of masonry, concrete, stone or ornamental metal.
- (C) The wall maintains clear view sightlines where sidewalks and pedestrian connections intersect vehicle drive aisles or streets.
- (2) Pergolas and Trellises: Pergolas and trellises may count up to twenty five percent (25%) toward the minimum build-to requirement provided the following:
- (A) The structure is at least forty eight inches (48") deep as measured perpendicular to the property line.
- (B) A vertical clearance of at least eight feet (8') is maintained above the walking path of pedestrians.
- (C) Vertical supports are constructed of wood, stone, concrete or metal with a minimum of six inches by six inches (6"x6") or a radius of at least four inches (4").
- (D) The structure maintains clear view sightlines where sidewalks and pedestrian connections intersect vehicle drive aisles or streets.
- (3) Arcades: Arcades may count up to one hundred percent (100%) toward the minimum requirement provided the following:
- (A) The arcade extends no more than two (2) stories in height.
- (B) No portion of the arcade structure encroaches onto public property.
- (C) The arcade maintains a minimum pedestrian walkway of five feet (5').
- (D) The interior wall of the arcade complies with the building configuration standards.
- (4) Plazas And Outdoor Dining: Plazas and outdoor dining areas may count up to fifty percent (50%) toward the minimum requirement, and have a maximum front setback of up to fifteen feet (15') provided the following:
- (A) The plaza or outdoor dining is between the property line adjacent to the street and the street facing building facade.
- (B) Shall be within two feet (2') of grade with the public sidewalk.
- (C) The building entry shall be clearly visible through the courtyard or plaza.
- (D) The building facades along the courtyard or plaza shall comply with the ground floor transparency requirement.
- b. Alternatives to Ground Floor Transparency Requirement: The planning director may modify the ground floor transparency requirement in the following instances:
1. The requirement would negatively impact the historical character of a building within the H historic preservation overlay district; or
  2. The requirement conflicts with the structural integrity of the building and the structure would comply with the standard to the extent possible.
11. Permitted Encroachments and Height Exceptions: Obstructions and height exceptions are permitted as listed in this section or in Section 21A.36.020 of this title or as indicated in this subsection.

- a. Canopies: Canopies covering the primary entrance or entrances to a structure may extend into the right of way provided all city processes and requirements for right of way encroachments are complied with. No commercial signs are allowed on entrance canopies if the canopy encroaches into the public right of way.
- b. Building Height: In order to promote a varied skyline and other roof shapes in the area, structures with a sloped roof may exceed the maximum building height in the form based districts by five feet (5') provided:
  1. The additional height does not include additional living space. Vaulted ceilings, storage spaces, and utility spaces are permitted.
  2. The slope of the roof is a minimum of a twelve-four (12:4) pitch or a quarter barrel shape.



*Minimum Slope of Pitched Roof*



*Minimum Slope of Quarter Barrel Roof*

**D. Other Applicable Development Standards:**

1. Landscaping. Any applicable standard listed in Chapter 21A.48 Landscaping shall be complied with.
2. Signs. All signs shall comply with the standards found in Section 21A.46.096.
3. Accessory Uses, Building and Structures. All accessory uses, buildings and structures shall comply with the applicable standards in Chapter 21A.40, except as noted below:
  - a. Form Based Urban Neighborhood District Specific Standards for Detached Dwelling Units:

- (1) Detached dwelling units may be built in a required yard as a stand alone unit or attached to an accessory building, such as a garage.
- (2) Detached dwelling units are only permitted with the urban house, two-family dwelling, and row house building forms.
- (3) No accessory structure containing a detached dwelling unit shall exceed twenty five feet (25') in height.
- (4) If a detached dwelling unit is built as a second level, the minimum setback from property line shall be a minimum of four feet (4').
- (5) All building configuration standards that apply to the primary building form shall also apply to the detached dwelling unit, with the exceptions listed below:

- (A) The detached dwelling unit shall have an entry feature that faces or is accessible from a public alley when present;
- (B) The entry feature may be a stoop that has a minimum dimension of four feet by four feet (4' x 4'); and
- (C) The ground floor transparency requirement does not apply to detached dwelling units located on the second floor of an accessory structure.

b. Form Based Special Purpose Corridor District Specific Standards for Detached or Accessory Parking Garages or Structures:

- (1) Detached or accessory multi-level parking garages or structures shall have the same setback requirements for principal structures.
- (2) The minimum setback required shall be landscaped to provide a buffer to the abutting residential district. No structure (primary or accessory) shall be permitted within this landscaped buffer.

4. Parking Regulations. All parking regulations shall comply with the requirements of Chapter 21A.44.
5. Permitted Land Use. All uses allowed in the form based districts can be found in Chapter 21A.33.

**21A.27.040: FB-SC AND FB-SE FORM BASED SPECIAL PURPOSE CORRIDOR DISTRICT:**

A. Subdistricts:

1. Named: The following subdistricts can be found in the form based special purpose corridor form based districts:
  - a. FB-SC Special Purpose Corridor Core Subdistrict: The FB-SC special purpose corridor core subdistrict contains the most intensive level of development in the

vicinity of special purpose corridors. Buildings are generally six (6) to seven (7) stories in height and are supported by multiple street types so that they pedestrians, bicyclists and drivers have access to the properties within the area. Development standards are based on building type.

- b. FB-SE Special Purpose Corridor Edge Subdistrict: The FB-SE special purpose corridor edge subdistrict is intended to provide an appropriate transition in building size and scale between existing neighborhoods and the Core area. Buildings may be up to four (4) stories in height, with appropriate setbacks when adjacent to lower scale residential neighborhoods. Development regulations are based on building type, with the overall scale, form and orientation as the primary focus.
2. Applicability of Subdistricts: The regulations of the subdistricts shall apply as indicated in the regulating plan map.

FIGURE 21A.27.040.A  
 REGULATING PLAN MAP –SUGAR HOUSE STREETCAR FORM BASED SPECIAL  
 PURPOSE CORRIDOR AREA



B. Street Types

1. Street Types Intent: The intent of identifying specific types of streets in the special purpose corridor districts is to:
  - a. Ensure that a hierarchy of transportation is established;
  - b. Guarantee access to private property; and
  - c. Determine the appropriate manner in which buildings address streets.
2. Street Types Established: The following types of streets are hereby established. The location and applicability of street type regulations are shown on Figure 21A.27.040.A Regulating Plan Map – Sugar House Streetcar Form Based Special Purpose Corridor Area.
  - a. Greenway Street: Streets that contain a streetcar line and stops and various types

of multi-use trails. Greenway streets may provide access for pedestrians and bicycles. Automobiles are not permitted on Greenway streets.

- b. Neighborhood Street: Neighborhood streets are intended to serve the adjacent neighborhoods and are generally considered local streets. Automobile access may be provided to each individual lot. Access to certain building forms is not permitted from a Neighborhood street unless the property only has frontage on a Neighborhood street.
- c. Avenue Street: Avenue streets are those streets that are designed to accommodate a high number of pedestrians. Automobile access to private property may be permitted. Pedestrians are the priority.
- d. Boulevard Street: Boulevard streets are designed to provide automobile and service access in a manner that balances the needs of automobiles and pedestrians.

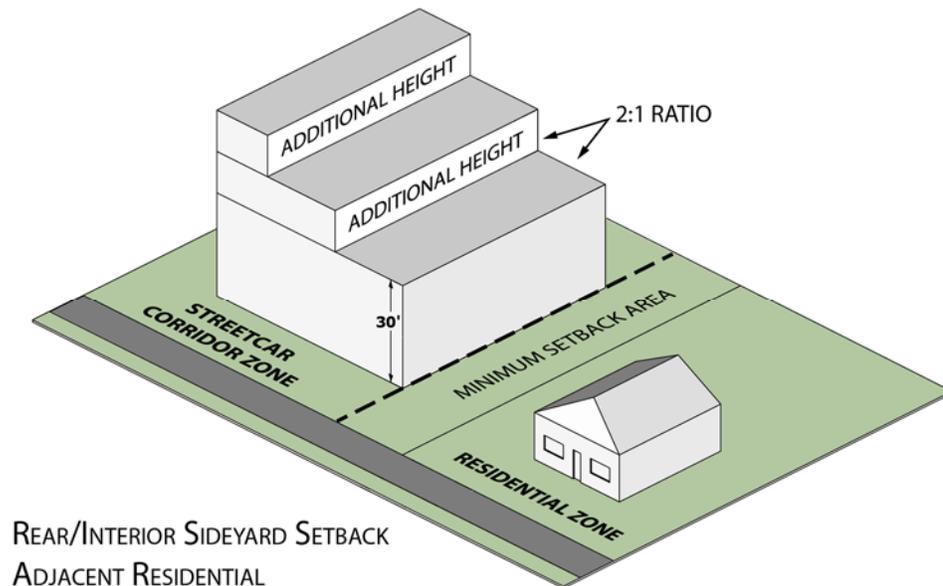
C. FB-SC Building Form Standards. Building form standards are listed below in Table 21A.27.040.C.

TABLE 21A.27.040.C  
FB-SC BUILDING FORM STANDARDS

<b>Permitted Building Forms Multi-Family and Store Front</b>			
H	Maximum Building Height	Maximum building height in the FB-SC is 75 feet. An additional 40 feet in height (for a total height of 105 feet) may be permitted for residential uses if a minimum of 20% of the units are affordable housing.	
	Limitation on Commercial Uses	Commercial or nonresidential uses are limited to the first 3 stories and a height of 45 feet. This limitation does not apply to hotel/motel uses, which are limited to the maximum height of 75 feet.	
F	Front and Corner Side Yard Setback	Greenway	Minimum of 5 feet. Maximum of 15 feet.
		Neighborhood	Minimum of 15 feet. Maximum of 25 feet.
		Avenue	Minimum of 5 feet. Maximum of 10 feet.
		Boulevard	Minimum of 15 feet. Maximum of 25 feet.
B	Required Build-To	Minimum of 50% of any street facing façade shall be built to the minimum setback line. At least 10% of any street facing façade shall be building the maximum setback line.	

S	Interior Side Yard	When adjacent to a residential district, a minimum setback of 25% of the lot width, up to 25 feet, is required. Any portion of the building taller than 30 feet must be stepped back two feet from the required building setback line for every one foot of height over 30 feet. When adjacent to other zoning districts, no minimum setback is required. See illustration below.
R	Rear Yard	When adjacent to a residential district, a minimum setback of 25% of the lot width, up to 25 feet, is required. Any portion of the building taller than 30 feet must be stepped back two feet from the required building setback line for every one foot of height over 30 feet. When adjacent to other zoning districts, no minimum setback is required. See illustration below.
L	Minimum Lot Size	4,000 square feet; not to be used to calculate density.
W	Minimum Lot Width	50 feet
DU	Dwelling Units per Building Form	No minimum or maximum.
BF	Number of Building Forms per Lot	One building form permitted for every 4,000 square feet of lot area provided all building forms have frontage on a street.

Interior Side Yard and Rear Yard Illustration

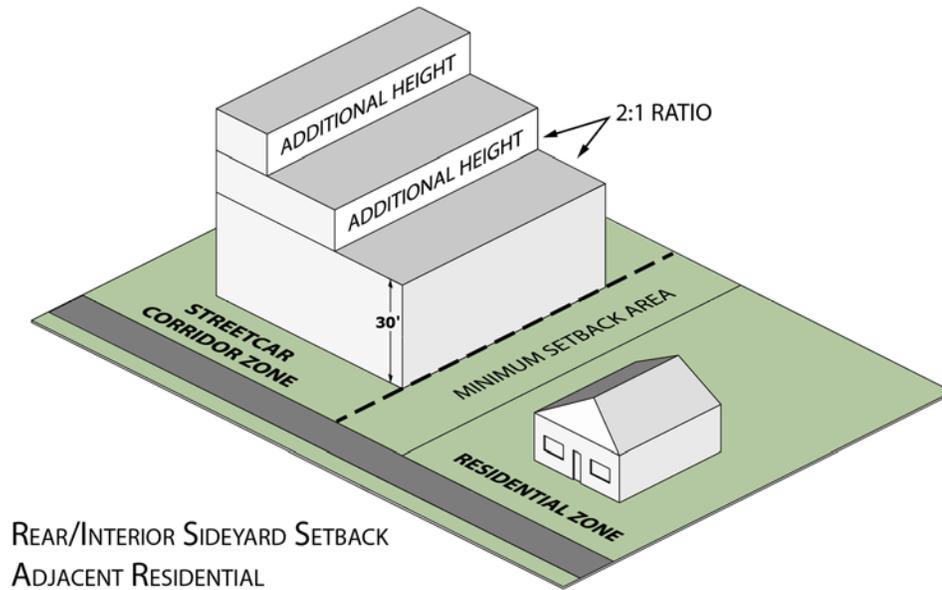


D. FB-SE Building Form Standards. Building form standards are listed below in Table 21A.27.040.D

TABLE 21A.27.040.D  
FB-SE BUILDING FORM STANDARDS

Permitted Building Forms Cottage, Row House, Multi-Family and Store Front			
H	Maximum Building Height	Maximum building height in the FB-SE is 45 feet.	
	Limitation on Commercial Uses	Commercial or nonresidential uses are limited to the first 2 stories and a height of 30 feet.	
F	Front and Corner Side Yard Setback	Greenway	Minimum of 5 feet. Maximum of 15 feet.
		Neighborhood	Minimum of 15 feet. Maximum of 25 feet.
		Avenue	Minimum of 5 feet. Maximum of 10 feet.
		Boulevard	Minimum of 15 feet. Maximum of 25 feet.
B	Required Build-To	Minimum of 50% of street facing façade shall be built to the minimum setback line.	
S	Interior Side Yard	When adjacent to a residential district, a minimum setback of 25% of the lot width, up to 25 feet, is required. Any portion of the building taller than 30 feet must be stepped back two feet from the required building setback line for every one foot of height over 30 feet. When adjacent to other zoning districts, no minimum setback is required. See illustration below.	
R	Rear Yard	When adjacent to a residential district, a minimum setback of 25% of the lot width, up to 25 feet, is required. Any portion of the building taller than 30 feet must be stepped back two feet from the required building setback line for every one foot of height over 30 feet. When adjacent to other zoning districts, no minimum setback is required. See illustration below.	
L	Minimum Lot Size	4,000 square feet; not to be used to calculate density.	
W	Minimum Lot Width	50 feet	
DU	Dwelling Units per Building Form	No minimum or maximum.	

BF	Number of Building Forms per Lot	One building form permitted for every 4,000 square feet of lot area provided all building forms have frontage on a street.
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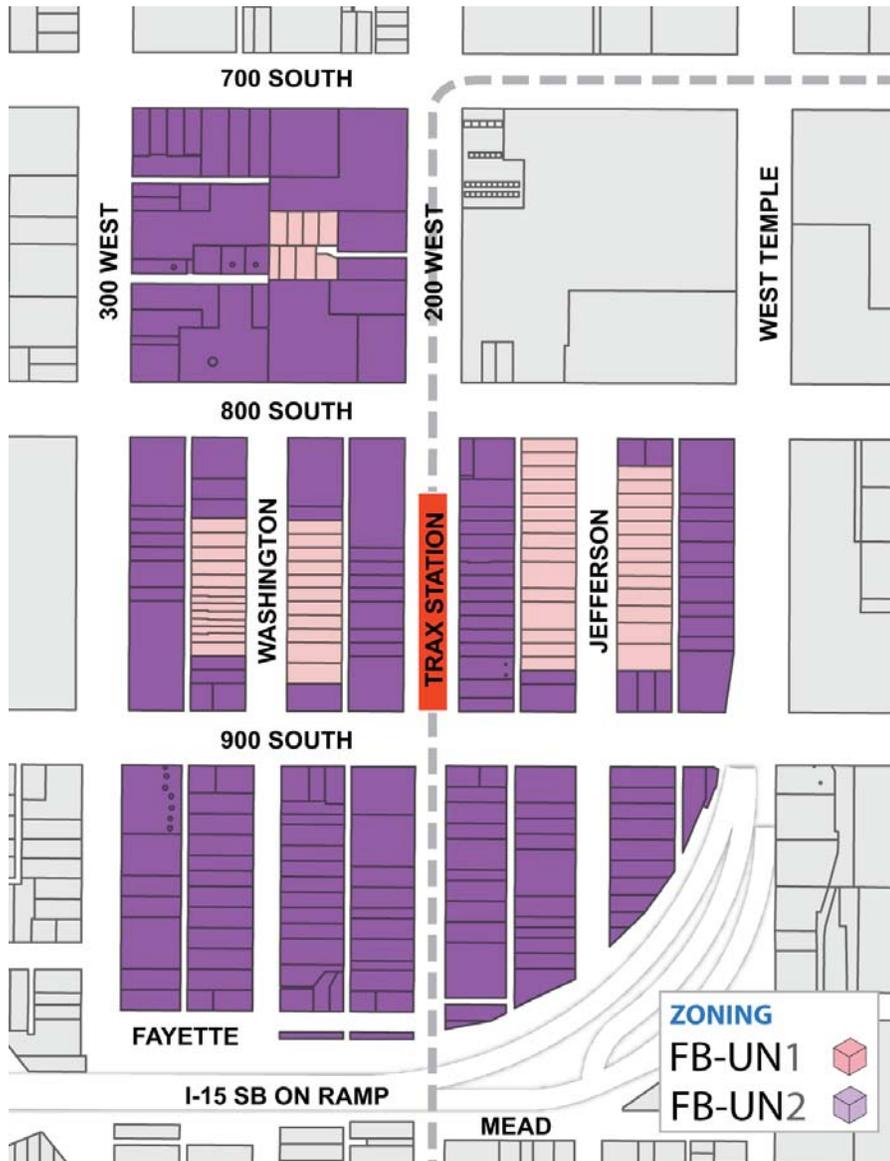


**21A.27.050: FB-UN1 AND FB-UN2 FORM BASED URBAN NEIGHBORHOOD STANDARDS:**

A. Subdistricts:

1. Named: The following subdistricts can be found in the urban neighborhood form based districts:
  - a. FB-UN1 Urban Neighborhood 1 Subdistrict: Generally includes small scale structures, up to two and one-half (2.5) stories in height, on relatively small lots with up to four (4) dwelling units per lot depending on building type. Reuse of existing residential structures is encouraged. Development regulations are based on the building type.
  - b. FB-UN2 Urban Neighborhood 2 Subdistrict: Generally includes buildings up to four (4) stories in height, with taller buildings located on street corner parcels, which may contain a single use or a mix of commercial, office, and residential uses. Development regulations are based on building type, with the overall scale, form, and orientation of buildings as the primary focus.
2. Applicability of Subdistricts: The regulations of the subdistricts shall apply as indicated in the regulating plan map.

**FIGURE 21A.27.050.A  
REGULATING PLAN MAP – WEST TEMPLE GATEWAY AREA**



B. FB-UN1 Building Form Standards. Building form standards are listed below in Table 21A.27.050.B

TABLE 21A.27.050.B  
 FB-UN1 BUILDING FORM STANDARDS

Building Regulation		Building Form			
		Urban House	Two-Family Dwelling	Cottage Development <sup>1</sup>	Row House
<b>Building Height and Placement:</b>					
H	Height	2.5 stories, maximum of 30', measured from established grade			
F	Front and corner side yard setback	Equal to average setback of block face, where applicable, otherwise minimum of 10' and maximum of 20'			
S	Interior side yard	Minimum 4'			
R	Rear yard	Minimum of 20% lot depth up to 25'	4' minimum	Minimum of 20% lot depth up to 25'	
L	Minimum lot size	3,000 sq. ft.; not to be used to calculate density	1,500 sq. ft.; not to be used to calculate density	1,500 sq. ft.; not to be used to calculate density	
W	Minimum lot width	30'	15' per unit	15' per unit facing a street	15' per unit. Side orientation allowed provided building configuration standards are complied with
DU	Maximum dwelling units per building form	2 units plus 1 detached accessory unit	2 units plus 1 detached accessory unit	1 unit per cottage, multiple cottages per lot	Minimum of 3; maximum of 4
BF	Number of building forms per lot	1 building form permitted for every 3,000 sq. ft. of lot area	1 cottage for every 1,500 sq. ft. of lot area	1 building form permitted for every 1,500 square feet of lot area	
<b>Parking:</b>					
	Surface parking in front and corner side yards	Not permitted			
	Vehicle access	If off street parking is provided, vehicle access from an alley is required when property is served by a public or private alley with access rights. Vehicle access from street is only permitted when no alley access exists. If pull through parking is required by fire or other code, ingress shall be from street and egress onto alley.			
	Parking on separate lots	Not permitted		Parking may be provided on an adjacent lot or in a common area associated with the development	

	Attached garages and carports	Attached garages and carports are required to be accessed from the rear yard where the rear yard is accessible by an alley with access rights to the subject property. If there is no access to the rear yard, an attached garage may be accessed from the front or corner side yard provided the garage door (or doors) is no wider than 50% of the front facade of the structure and set back at least 5 feet from the street facing building facade and at least 20 feet from the property line. Side loaded garages are permitted
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Note:

1. See subsection 21A.27.020.B.1.d of this chapter for additional standards.

C. FB-UN2 Building Form Standards. Building form standards are listed below in Table 21A.27.050.C

TABLE 21A.27.050.C  
FB-UN2 BUILDING FORM STANDARDS

		Building Form				
Building Regulation		Cottage Development <sup>1</sup>	Row House	Multi-Family Residential	Mixed Use	Storefront
<b>Building Height and Placement:</b>						
H	Height	2.5 stories, 30' maximum from established grade	4 stories with a maximum of 50'. 5 stories with a maximum of 65' on parcels located on the corners of West Temple at 800 or 900 South, 200 West at 700, 800 or 900 South, 200 West at Fayette Avenue, and 300 West at 800 or 900 South. All heights measured from established grade			
F	Front and corner side yard setback	No minimum Maximum 10'				
B	Required build-to	Minimum of 50% of street facing facade shall be built to the minimum setback line				
S	Interior side yard	Minimum of 15' along a side property line adjacent to FB-UN1, otherwise 4' setback required. Parcels separated by an alley are not considered adjacent	Minimum of 15' along a side property line adjacent to FB-UN1, otherwise no setback required. Parcels separated by an alley are not considered adjacent			
R	Rear yard	Minimum of 25' when rear yard is adjacent to FB-UN1 otherwise no setback required. Parcels separated by an alley are not considered adjacent	Minimum of 20' when rear yard is adjacent to FB-UN1			
U	Upper level step back	When adjacent to lot in the FB-UN1, buildings shall be stepped back 1 additional foot for every foot of building height above 35'. When a parcel in the FB-UN2 district is separated from a parcel in the FB-UN1 district by an alley, the width of the alley may be counted toward the upper level step back				

L	Minimum lot size	4,000 sq. ft.; not to be used to calculate density	1,500 sq. ft.; not to be used to calculate density	4,000 sq. ft.; not to be used to calculate density
W	Minimum lot width	15' per unit facing a street Side orientation allowed provided building configuration standards are complied with		30'
DU	Dwelling units per building form	1 per cottage	Minimum of 3; maximum of 5	No minimum or maximum
BF	Number of building forms per lot	1 cottage for every 1,000 square feet of lot area	1 building form permitted for every 1,000 square feet of lot area	1 building form permitted for every 4,000 square feet of lot area
<b>Parking:</b>				
	Surface parking in front and corner side yards	Not permitted		
	Vehicle access	If off street parking is provided, vehicle access from an alley is required when property is served by a public or private alley with access rights. Vehicle access from street is only permitted when no alley access exists. If pull through parking is required by fire or other code, ingress shall be from street and egress onto alley	<p>If property is less than 30' wide, vehicle access from an alley is required when property is served by a public or private alley with access rights. If no alley access exists, only 1 vehicle access point from a street may be permitted</p> <p>If property is 30' wide or more, only 1 vehicle access point from a street may be permitted. If property is served by a public or private alley, ingress shall be from street and egress onto alley unless otherwise permitted by this section</p> <p>Corner lots with a minimum width of 120' may have 1 vehicle access point per street frontage. Vehicle access may be one-way or multi-directional</p>	
	Vehicle access width at street	When a one-way vehicle drive is included in a development, no vehicle drive or curb cut may exceed 12' in width. When a multi-directional vehicle drive is included, a curb cut may not exceed 24' in width.		
	Vehicle access from street design standards	If vehicle access is from a street, the following additional design standards shall apply: garage entry shall have a minimum 20' setback from property line; garage entry may not exceed 50% of first floor building width; one-way garage entry may not exceed 14' in width; multiway garage entry may not exceed 26' in width; garage door or gate shall be constructed of durable building materials and compatible with building design.		

	Driveway location	The minimum distance between curb cuts shall be 12'. Driveways shall be at least 6' from abutting property lines for a depth of 10' unless shared. Driveways shall be at least 12' from property lines adjacent to a street corner or 5' from the point of tangency of the curb return, whichever is greater. Abandoned curb cuts shall be removed and replaced with city standard curb
	Vehicle access and parking compliance	All new drive approaches, driveways, and parking lots shall comply with form based urban neighborhood regulations, and all other applicable sections of this code. Existing drive approaches, driveways, and parking lots shall be made compliant with form based urban neighborhood regulations upon change of use, increase in parking, or building additions greater than 25% of the footprint of the structure or 1,000 sq. ft., whichever is less
	Parking on separate lots	Parking may be provided on an adjacent lot, or in a common area associated with the development, or within 500' of the property. If located on an adjacent parcel or on a parcel within 500', the proposed location of the parking shall contain a principal building and the parking shall be located behind a principal building
	Attached garages and carports	Attached garages and carports are required to be accessed from the rear yard where the rear yard is accessible by an alley with access rights to the subject property. If there is no access to the rear yard, an attached garage may be accessed from the front or corner side yard provided that the garage door (or doors) is no wider than 50% of the front facade of the structure and the entry to the garage is set back at least 10' from the street facing building facade and at least 20' from a public sidewalk. Side loaded garages are permitted

Note:

1. See subsection 21A.27.020.B.1.d of this chapter for additional standards.

SECTION 3. Adopting Section 21A.33.080. That Section 21A.33.080 of the *Salt Lake City Code* (Zoning: Land Use Tables: Table of Permitted and Conditional Uses in Form Based Districts), shall be, and hereby is adopted to read and appear as follows:

**21A.33.080 TABLE OF PERMITTED USES IN FORM BASED CODE DISTRICTS**

*Note: Uses which are not listed in the following table are not permitted in any form based code zoning district.*

Legend:	P = Permitted	C = Conditional
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Use	Permitted Uses by District			
	FB-UN1	FB-UN2	FB-SC	FB-SE
Accessory use, except those that are specifically regulated in this chapter, or elsewhere in this title	P	P	P	P
Alcohol:				

	Liquor store		P	P	P
	Microbrewery		P	P	P
	Social club		P	P	C
	Tavern or brewpub, 2,500 square feet or less in floor area		P	P	C
Animal, veterinary office			P	P	P
Antenna, communication tower			P	P	P
Art gallery			P	P	P
	Bed and breakfast	P	P	P	P
	Bed and breakfast inn	P	P	P	P
	Bed and breakfast manor	P	P	P	P
Clinic (medical, dental)			P	P	P
	Community garden	P	P	P	P
Community recreation center			P	P	P
Daycare center, adult			P	P	P
Daycare center, child			P	P	P
Dwelling:					
	Assisted living facility (limited capacity)	P	P	P	P
	Assisted living facility (small)		P	P	P
	Group home (large)		P	P	P
	Group home (small) when located above or below first story office, retail, or commercial use, or on the first story where the unit is not located adjacent to street frontage		P	P	P
	Multi-family		P	P	P
	Residential substance abuse treatment home (large)		P	P	P
	Residential substance abuse treatment home (small)		P	P	P
	Residential support (large)		P		
	Residential support (small)		P		
	Rooming (boarding) house		P		
	Single-family attached	P	P		P
	Single-family detached	P			
	Single-family detached (Cottage Development building form only)		P		P
	Single room occupancy		P		
	Transitional victim home (large)		P	P	P
	Transitional victim home (small)		P	P	P

	Two-family	P			
Eleemosynary facility			P	P	P
Farmers' market			P	P	P
Financial institution			P	P	P
Food processing			P		
Funeral home			P	P	P
Health and fitness facility			P	P	P
Hotel/motel			P	P	
House museum in landmark site		P	P	P	P
Laboratory (medical, dental, optical)			P	P	P
Library			P	P	P
Mixed use developments including residential and other uses allowed in the zoning district			P	P	P
Museum			P	P	P
Nursing care facility			P	P	P
Office			P	P	P
Office and/or reception center in landmark site			P	P	P
Open space		P	P	P	P
Park		P	P	P	P
Parking, off site		P <sup>1</sup>	P <sup>1</sup>	P <sup>1</sup>	P <sup>1</sup>
Photo finishing lab				P	P
Place of worship			P	P	P
Plazas		P	P	P	P
Recreation (indoor)			P	P	P
Research and development facility			P	P	P
Research facility (medical/dental)			P	P	P
Restaurant			P	P	P
Retail goods establishment			P	P	P
Retail goods establishment, plant and garden shop with outdoor retail sales area			P	P	P
Retail service establishment			P	P	P
Sales and display (outdoor)			P	P	P
School:					
	College or university		P	P	P

	Music conservatory		P	P	P
	Professional and vocational		P	P	P
	Seminary and religious institute		P	P	P
	Seasonal farm stand		P	P	P
	Solar array		P	P	P
	Store, specialty		P	P	P
	Studio, art		P	P	P
	Studio, dance		P	P	P
	Theater, movie		P	P	P
	Urban farm	P	P	P	P
	Utility, building or structure	P	P	P	P
	Utility, transmission wire, line, pipe, or pole	P	P	P	P
	Vending cart, private property		P	P	P
	Wireless telecommunications facility (see Section 21A.40.090, Table 21A.40.090.E of this title)		P	P	P

SECTION 4. Adopting Section 21A.46.096. That Section 21A.46.096 of the *Salt Lake City Code* (Zoning: Signs: Sign Regulations for Form Based Districts), shall be, and hereby is adopted to read and appear as follows:

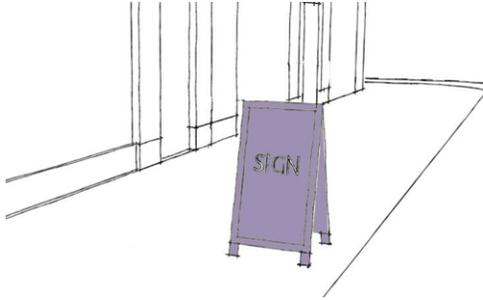
**21A.46.096: SIGN REGULATIONS FOR FORM BASED CODE DISTRICTS:**

The following regulations shall apply to signs permitted in the form based code zoning districts. Any sign not expressly permitted by these district regulations is prohibited.

A. Sign Regulations for the Form Based Code Districts:

1. Purpose: Sign regulations for the form based code zoning districts are intended to provide appropriate signage oriented primarily to pedestrian and mass transit traffic.
2. Applicability: This subsection applies to all signs located within the form based code zoning districts. This subsection is intended to list all permitted signs in the zone. All other regulations in chapter 21A.46, “Signs”, of this title shall apply.

B. Sign Type, Size and Height Standards:



1. A-Frame Sign

Sign Type	FB-UN1	FB-UN2	FB-SC	FB-SE	Specifications	
					Quantity	
A-frame sign		P	P	P	Quantity	1 per leasable space. Leasable spaces on corners may have 2.
					Width	Maximum of 2 feet. Any portion of the frame (the support structure) may extend up to 6 inches in any direction beyond the sign face.
					Height	Maximum of 3 feet. Any portion of the frame (the support structure) may extend up to 6 inches in any direction beyond the sign face.
					Placement	On public sidewalk or private property.
					Obstruction Free Area	Minimum of 8 feet must be maintained at all times for pedestrian passage.



2. Awning or Canopy Sign

Sign Type	FB-UN1	FB-UN2	FB-SC	FB-SE	Specifications	
					Quantity	
Awning	P	P	P	P	Quantity	1 per window.

or canopy sign					Width	Equal to the width of the window.
					Projection	No maximum depth from building facade, however design subject to mitigation of rainfall and snowfall runoff, conflict avoidance with tree canopy, and issuance of encroachment permits where required. The awning or canopy can project a maximum of 2 feet into a special purpose corridor.
					Clearance	Minimum of 10 feet of vertical clearance.
					Letters and logos	Allowed on vertical portions of sign only.
					Location Permitted	Private property or a public street. Signs can face a special purpose corridor but must be located on private property. All signs are subject to the requirements of the revocable lease permitted process.

### 3. Construction Sign

Sign Type	FB-UN1	FB-UN2	FB-SC	FB-SE	Specifications	
Construction sign (see definition in chapter 21A.46 of this title)	P	P	P	P	Quantity	1 per construction site
					Height	Maximum of 8 feet
					Area	Maximum of 64 square feet
					Location Permitted	Private property or a public street. Signs can face the special purpose corridor, but must be located on private property.



### 4. Flat Sign

Sign Type	FB-UN1	FB-UN2	FB-SC	FB-SE	Specifications	
Flat sign		P	P	P	Quantity	1 per leasable space. Leasable spaces on corners may have 2
					Width	Maximum of 90% of width of leasable space
					Height	Maximum of 3 feet
					Area	1½ square feet per linear foot of store frontage
					Projection	Maximum of 1 foot



5. Nameplate Sign

Sign Type	FB-UN1	FB-UN2	FB-SC	FB-SE	Specifications	
Nameplate sign	P	P	P	P	Quantity	1 per leasable space. Leasable spaces on corners may have 2
					Area	Maximum of 3 square feet

6. Private Directional Sign

Sign Type	FB-UN1	FB-UN2	FB-SC	FB-SE	Specifications	
Private directional sign (see definition in chapter 21A.46 of this title)	P	P	P	P	Quantity	No limit
					Height	Maximum of 5 feet
					Area	Maximum of 8 square feet
					Restriction	May not contain business name or logo
					Location Permitted	Private property or public street. Signs can face the special purpose corridor but must be located on private property. All signs are subject to the

						requirements of the revocable lease permitting process.
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7. Projecting Sign

Sign Type	FB-UN1	FB-UN2	FB-SC	FB-SE	Specifications	
Projecting sign		P	P	P	Quantity	1 per leasable space. Leasable spaces on corners may have 2
					Clearance	Minimum of 10 feet above sidewalk/walkway
					Area	6 square feet per side, 12 square feet total
					Projection	Maximum of 4 feet from building façade
					Location Permitted	Private property or public street. Signs can face the special purpose corridor but must be located on private property. All signs are subject to the requirements of the revocable lease permitting process.

8. Projecting Parking Entry Sign

Sign Type	FB-UN1	FB-UN2	FB-SC	FB-SE	Specifications	
Projecting sign (see project sign graphic)			P	P	Quantity	One per parking entry.
					Clearance	Minimum of 10 feet above sidewalk/walkway
					Height	Maximum of 2 feet.
					Area	4 square feet per side, 8 square feet total
					Projection	Maximum of 4 feet from building façade for public and private streets. Maximum of two feet within the special purpose corridor.

					Location Permitted	Private property or public street. Signs can face the special purpose corridor but must be located on private property. All signs are subject to the requirements of the revocable lease permitting process.
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### 9. Public Safety Sign

Sign Type	FB-UN1	FB-UN2	FB-SC	FB-SE	Specifications	
					Public safety sign (see definition in chapter 21A.46 of this title)	P
					Height	Maximum of 6 feet
					Area	8 square feet
					Projection	Maximum of 1 foot
					Location Permitted	Private property or public street. Signs can face the special purpose corridor but must be located on private property. All signs are subject to the requirements of the revocable lease permitting process.



### 10. Real Estate Sign

Sign Type	FB-UN1	FB-UN2	FB-SC	FB-SE	Specifications	
					Real estate sign	P
					Height	Maximum of 12 feet
					Area	32 square feet

					Location Permitted	Private property or public street. Signs can face the special purpose corridor but must be located on private property. All signs are subject to the requirements of the revocable lease permitting process.
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11. Window Sign

Sign Type	FB-UN1	FB-UN2	FB-SC	FB-SE	Specifications	
					Window sign	P
					Height	Maximum of 3 feet
					Area	Maximum of 25% of window area

SECTION 5. Amending the Zoning Map. That the Salt Lake City Zoning Map, as adopted by the Salt Lake City Code, relating to the fixing of boundaries and zoning districts, shall be and hereby is amended to rezone the properties shown respectively in the map attached hereto as Exhibit “B” from their current designations to Form Based Special Purpose Corridor District (FB-SC and FB-SE).

SECTION 6. Amending Subsection 21A.44.030.G.2 of Salt Lake City Code. That Table 21A.44.030.G.2 of the *Salt Lake City Code* (Zoning: Off Street Parking, Mobility and Loading: Number of Off Street Parking Spaces Required: Table of District Specific Minimum

Off Street Parking Requirements), shall be, and hereby is, amended to include the following in the table, which shall read and appear as follows:

2. District Specific Minimum Requirements:

TABLE OF DISTRICT SPECIFIC MINIMUM OFF STREET PARKING REQUIREMENTS

District	Land Use	Minimum
D-1, D-2, D-4	Residential	1/2 space per dwelling unit
	Nonresidential	No spaces required up to 25,000 square feet usable floor area. One space per 1,000 usable square feet over 25,000 square feet thereafter.
D-3, GMU	Residential	1/2 space per dwelling unit. 1 space per single family, two family and twin home dwellings.
	Nonresidential	No spaces required up to 10,000 square feet usable floor area. One space per 1,000 usable square feet over 10,000 square feet thereafter.
TSA Core	All uses	No spaces required.
TSA Transition	All uses	50% of required in table 21A.44.030 minimum requirements.
FB-SC	All uses	No spaces required.
FB-SE	All uses	50% of required in table 21A.44.030 minimum requirements.
FB-UN	All uses	No spaces required.
MU, RMU	Residential	1/2 space per multifamily dwelling unit. 1 space per single family, two family and twin home dwellings.

RMU-35	Residential	1 space per dwelling unit.
RMU-45	Residential	1 space per dwelling unit.
CB	Residential	1 space per dwelling unit.
CN	Residential	1 space per dwelling unit.
SR-3	Residential	1 space per dwelling unit

Note: Any use or district not listed in this subsection 21A.44.030.G.2, “Table of District Specific Off Street Parking Requirements”, will refer to the minimum requirement in Table 21A.44.030.

SECTION 7. Amending Subsection 21A.44.030.H.2 of Salt Lake City Code. That Section 21A.44.030.H.2 of the *Salt Lake City Code* (Zoning: Off Street Parking, Mobility and Loading: Number of Off Street Parking Spaces Required: Maximum Off Street Parking Allowance), shall be, and hereby is, amended to include the following in the table, which shall read and appear as follows:

2. District Specific Maximum Allowance:

TABLE OF DISTRICT SPECIFIC MAXIMUM PARKING ALLOWANCE

District	Land Use	Maximum
D-1, D-2, D-4	Residential	Equivalent to minimum
	Nonresidential	Up to 25 spaces for first 25,000 square feet. No more than 1 space per 1,000 square feet thereafter.
D-3, GMU	Residential	Equivalent to minimum
	Nonresidential	Up to 10 spaces for first 10,000 square feet. No more than 1 space per 1,000 square feet thereafter.
TSA Core	Residential	1 space per dwelling unit.

	Nonresidential	3 spaces for every 1,000 usable square feet.
TSA Transition	Residential	1 1/2 spaces per dwelling unit.
	Nonresidential	3 spaces for every 1,000 usable square feet.
FB-SC, FB-SE <sup>1</sup>	All uses	The maximum parking requirements are equal to the minimum off street parking requirements found in section 21A.44.030, “Number of Off Street Parking Spaces Required”, of this title.
FB-UN	All uses	The maximum parking requirements are equal to the minimum off street parking requirements found in section 21A.44.030, “Number of Off Street Parking Spaces Required”, of this title.
M-1, M-2, BP, AIRPORT	All uses	No maximum for any property located West of the centerline of Redwood Road

Note:

With the exception of the zones listed above in subsection 21A.44.030.H.2, “Table of District Specific Maximum Parking Allowance”, single-family and two-family residential uses are limited to four (4) outdoor off street parking spaces, including parking for recreational vehicles as identified in Section 21A.44.020.G.

Qualifying provisions:

<sup>1</sup> Parking in excess of the maximum allowed may be granted as a special exception subject to the special exception standards in Chapter 21A.52. The maximum parking requirement does not apply to parking structures or garages that are serve multiple parcels or uses or structures that provide off site parking.

SECTION 8. Effective Date. This ordinance shall become effective on the date of its first publication.

Passed by the City Council of Salt Lake City, Utah, this \_\_\_\_\_ day of \_\_\_\_\_,  
2016.

\_\_\_\_\_  
CHAIRPERSON

ATTEST AND COUNTERSIGN:

\_\_\_\_\_  
CITY RECORDER

Transmitted to Mayor on \_\_\_\_\_.

Mayor's Action: \_\_\_\_\_ Approved. \_\_\_\_\_ Vetoed.

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CITY RECORDER

(SEAL)

Bill No. \_\_\_\_\_ of 2016.  
Published: \_\_\_\_\_.

HB\_ATT#32667-v9-Ordinance\_Streetcar\_Corridor\_Zoning\_and\_MP.DOCX

**APPROVED AS TO FORM**  
Salt Lake City Attorney's Office  
Date: \_\_\_\_\_  
By: \_\_\_\_\_  
Paul C. Nielson, *Senior City Attorney*

SALT LAKE CITY ORDINANCE  
No. \_\_\_\_\_ of 2016

(Amending the Sugar House Master Plan, amending the zoning ordinance to create the FB-SC and FB-SE Form Based Special Purpose Corridor districts, and amending the zoning map to apply FB-SC and FB-SE Form Based Special Purpose Corridor zoning districts)

An ordinance amending the Sugar House Master Plan, amending the zoning ordinance to create the FB-SC and FB-SE Form Based Special Purpose Corridor zoning districts, and amending the zoning map to establish FB-SC and FB-SE Form Based Special Purpose Corridor zoning districts pursuant to Petition Nos. PLNPCM2012-00576 and PLNPCM2012-00577.

WHEREAS, the Salt Lake City Planning Commission held public hearings on May 22, 2013 and July 10, 2013 on applications submitted by the Salt Lake City Mayor (“Applicant”) to amend the Sugar House Master Plan (PLNPCM2012-00577), and to amend the zoning ordinance and zoning map to create and apply the FB-SC and FB-SE Form Based Special Purpose Corridor zoning districts (PLNPCM2012-00576); and

WHEREAS, at its July 31, 2013 meeting, the planning commission voted in favor of forwarding a positive recommendation to the Salt Lake City Council on said applications; and

WHEREAS, after a public hearing on this matter the city council has determined that adopting this ordinance is in the city’s best interests; and

NOW, THEREFORE, be it ordained by the City Council of Salt Lake City, Utah:

SECTION 1. Amending the Sugar House Master Plan. That the Sugar House Master Plan shall be and hereby is amended as follows:

- a. Amending the Text of the Sugar House Master Plan. That the text of the Sugar House Master Plan, as adopted in 2001 and subsequently amended, shall be and hereby is amended to add the “Community Transit District” land use category to the “Sugar House Development

Objectives” subsection of the Sugar House Future Land Use Plan section of that master plan, which appears on Page 2 thereof. The following text shall be inserted on Page 2 of the master plan following the “High-Intensity Mixed Use” category paragraph:

**Community Transit District**

The Community Transit District supports the development of a localized urban center that capitalizes on close proximity to the Sugar House Streetcar corridor and arterial streets. Uses include a mix of residential, retail, commercial, and office with buildings oriented to the pedestrian environment. Building height and density is concentrated along arterial streets and is similar to the height, density, and design in the Sugar House Business District which would create two active destinations linked by transit. While being a high density area, development in the Community Transit District also respects and is compatible with the surrounding residential neighborhoods. Future public improvements should be focused on creating an interconnected and cohesive district that caters to all modes of transportation including pedestrians and cyclists.

b. Amending the Text of the Sugar House Master Plan. That the text of the Sugar House Master Plan shall be and hereby is amended to add the following language to the Mobility, Access & the Pedestrian Experience section of the master plan (to be inserted at the end of that section):

**Sugar House Streetcar and Greenway Corridor**

The Sugar House community has long envisioned the transformation of the Denver Rio Grande rail right-of-way into a public transit and multi-use trail corridor. In 2012, this vision came to fruition as construction began on the Sugar House Streetcar and Greenway, a two mile long transit and active transportation corridor that connects the Sugar House Business District with the north-south TRAX light rail line at 2100 South in South Salt Lake City.

In 2011, the Redevelopment Agency of Salt Lake City funded an effort to create a vision for the streetcar corridor and surrounding area. This resulted in a set of recommendations put into a report titled Sugar House Streetcar Land Use and Urban Design Recommendations. As a result of this process, the City of Salt Lake City has funded improvements to transform the streetcar corridor into a greenway that includes dedicated multi-use pathways and amenities.

Many of the recommendations stated in the Land Use and Urban Design Recommendations report that are related to the streetcar and greenway corridor itself have been implemented. There are still improvements that should be considered in

the future to activate the corridor, support existing neighborhoods, and create vibrant transit oriented districts near the streetcar stops.

### **Policies**

- Work with Utah Transit Authority (UTA) to add a neighborhood serving streetcar stop near 800 East.
- Where easements exist for automobile access within the corridor, the City should work with property owners to eliminate the easements. In the event of redevelopment of a property with an automobile access easement, all options must be explored to relocate and remove automobile access from the corridor.
- Restore the original rail line right-of-way boundaries by removing existing encroachments (structures, fences, parking, etc.).
- Streets that cross the corridor (500 East, 600 East, 700 East, 800 East, and 900 East) connect the corridor to adjacent neighborhoods; therefore, they should be developed as complete streets where feasible.
- Development along the streetcar and greenway should encourage transit and trail usage, and provide eyes on the corridor. All buildings should have entrances from the corridor, windows along the corridor, and should minimize blank walls. Seating, dining areas, and active accessory functions should be encouraged.
- Development should not overpower the corridor. Building heights should be sensitive to the open space characteristic of the corridor and allow sufficient sunlight.
- Improve the public right-of-way near the streetcar stations to enhance pedestrian and bicycle circulation. Specific projects include:
  - Work with Utah Department of Transportation (UDOT) to eliminate the right hand travel lanes along 700 East between 2100 South and the 700 East streetcar station and replace the travel lanes with on-street parking and a bike lane.
  - Widen the sidewalks within the Community Transit District and near the 500 East, 900 East, and McClelland streetcar stations to allow for a wider pedestrian thoroughfare, as well as additional space for furnishing and planting areas. One approach is to require additional front building setbacks with hardscaped front yard areas.
  - Connect Green Street to Wilmington Avenue to eliminate the dead end at the south end of Green Street.

- Analyze the feasibility of creating a beautification district within the Community Transit District to develop a program for the installation of and maintenance of street lighting, paving material, and landscaping with a common theme or pattern.
- Redevelop the City-owned open space property located at the southeast corner of 900 East and Sugarmont Drive into a transit supportive development. Redevelopment of the property should include sidewalk improvements that support a walkable and active development.

c. Amending the Future Land Use Map of the Sugar House Master Plan. That the Future Land Use Map of the Sugar House Master Plan is amended to designate the areas shown respectively in the map attached hereto as Exhibit “A” as Mixed Use - High Intensity and Community Transit District. The attached exhibit only shows the areas to be re-designated and does not replace the future land use designations of those areas not highlighted.

SECTION 2. Amending Chapter 21A.27 of Salt Lake City Code. That Chapter 21A.27 of the *Salt Lake City Code* (Zoning: Form Based Districts), shall be, and hereby is, amended to read as follows:

**Chapter 21A.27  
FORM BASED DISTRICTS**

**21A.27.010: PURPOSE STATEMENT AND GENERAL PROVISIONS:**

**21A.27.020: ~~RESERVED~~ BUILDING TYPES AND FORMS ESTABLISHED:**

**21A.27.030: ~~RESERVED~~ BUILDING CONFIGURATION AND DESIGN STANDARDS:**

**21A.27.040: ~~RESERVED~~ FB-SC AND FB-SE FORM BASED SPECIAL PURPOSE CORRIDOR DISTRICT:**

**21A.27.050: FB-UN1 AND FB-UN2 FORM BASED URBAN NEIGHBORHOOD DISTRICT:**

**21A.27.010: PURPOSE STATEMENT AND GENERAL PROVISIONS**

A. Purpose Statement: The purpose of the form based districts is to create urban neighborhoods that provide the following:

1. People oriented places;

2. Options for housing types;
3. Options in terms of shopping, dining, and fulfilling daily needs within walking distance or conveniently located near mass transit;
4. Transportation options;
5. Access to employment opportunities within walking distance or close to mass transit;
6. Appropriately scaled buildings that respect the existing character of the neighborhood;
7. Safe, accessible, and interconnected networks for people to move around in; and
8. Increased desirability as a place to work, live, play, and invest through higher quality form and design.

B. Context Description: The form based districts are intended to be utilized in areas with the following characteristics:

1. Street, Block, and Access Patterns: A regular pattern of blocks surrounded by a traditional grid of streets that provide mobility options and connections for pedestrians, bicyclists, and automobiles. Blocks include sidewalks separated from vehicle travel lanes by a landscaped park strip. Front yards are landscaped or include active, outdoor uses.
2. Building Placement and Location: Residential buildings are generally located close to the sidewalk with a small, transitional, semipublic space, such as a landscaped front yard, that is consistent along the block face. Buildings along arterials are located close to the sidewalk with parking to the side or rear of building.
3. Building Height: Building heights on local streets are relatively low and consistent with existing building heights with little variation. Buildings located on arterial streets are generally taller.
4. Mobility: A balance between pedestrians, bicyclists, transit riders, and motorists exist in the area, and residents are well connected to other parts of the city.

C. Intent of Form Based Districts:

A1. Statement Of Intent: Form based districts are intended to provide zoning regulations that focus on the form of development, the manner in which buildings are oriented toward public spaces, the scale of development, and the interaction of uses within the city. Form based districts provide places for people to live, work, and play within a close proximity. Regulations within form based districts place emphasis on the built environment over land use.

B2. How To Use This Chapter: Form based districts emphasize the form, scale, placement, and orientation of buildings. Each subdistrict includes a table of permitted building forms and specific development regulations for each building form. The first step is to identify which subdistrict the property is located in, and then identify what building forms are permitted, and finally what standards apply to the specific building form. ~~Any use listed as permitted is allowed in any building form that is permitted in that subdistrict.~~ All new developments and additions to existing buildings shall comply with the specific requirements of this chapter.

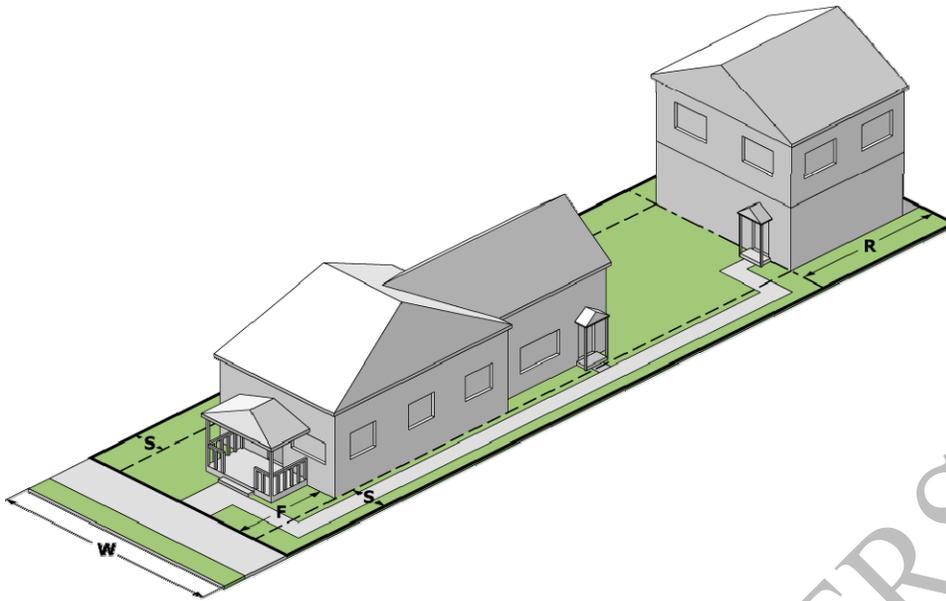
**21A.27.020: ~~RESERVED~~ BUILDING TYPES AND FORMS ESTABLISHED:**

A. Building Types and Form Standards:

1. Encourage building forms that are compatible with the neighborhood and the future vision for the neighborhood by acknowledging there will be different scaled buildings in the area;
2. Arrange building heights and scale to provide appropriate transitions between buildings of different scales and adjacent areas, especially between different subdistricts;
3. Guide building orientation through setbacks and other requirements to create a consistent street edge, enhance walkability by addressing the relationship between public and private spaces, and ensure architectural design will contribute to the character of the neighborhood;
4. Use building form, placement, and orientation to identify the private, semiprivate, and public spaces;
5. Minimize the visual impact of parking areas; and
6. Minimize conflicts between pedestrians, bicyclists, and vehicles.

B. Building Types and Forms:

1. Description: The permitted building forms are described in this subsection. Each building form includes a general description and definition, as well as images of what the building form may look like. Building form images are for informational purposes only and not intended to demonstrate exactly what shall be built. The description and images should be used to classify existing and proposed buildings in order to determine what development regulations apply. The drawings are not to scale. They should not be used to dictate a specific architectural style as both traditional and contemporary styles can be used.
  - a. Urban House: A residential structure with the approximate scale of a single dwelling unit, as viewed from the street, but may contain up to two (2) dwelling units. The structure has a single entry facing the street, a front porch or stoop, and a small front yard. Second units may be arranged vertically (up and down) or horizontally (front and back), but the entry to the second unit is from the side, rear, or interior of structure. A third unit may also be located along an alley as a stand alone unit or as a dwelling unit located in an accessory building. All units are on a single lot.



*Urban House with Detached Dwelling*

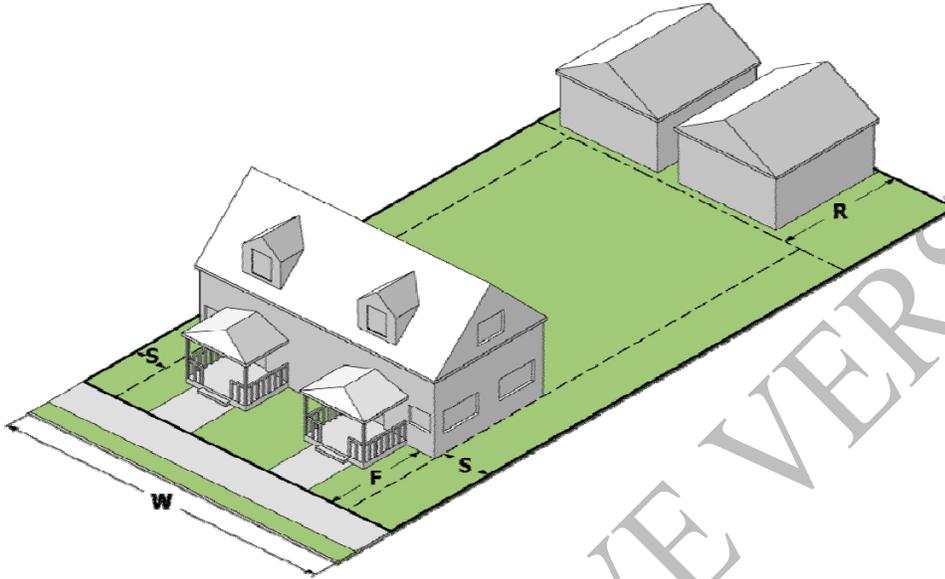


*Modern and Traditional Forms*



*Two-Story Contemporary Form*

- b. Two-Family Dwelling: A residential structure that contains two (2) dwelling units in a single building. The units may be arranged side by side, up and down, or front and back. Each unit has its own separate entry directly to the outside. Dwellings may be located on separate lots or grouped on one lot. A third unit may also be located along an alley as a stand alone unit or as a dwelling unit located in an accessory building, but may not be located on a separate lot.



Two-Family Dwelling with Garages

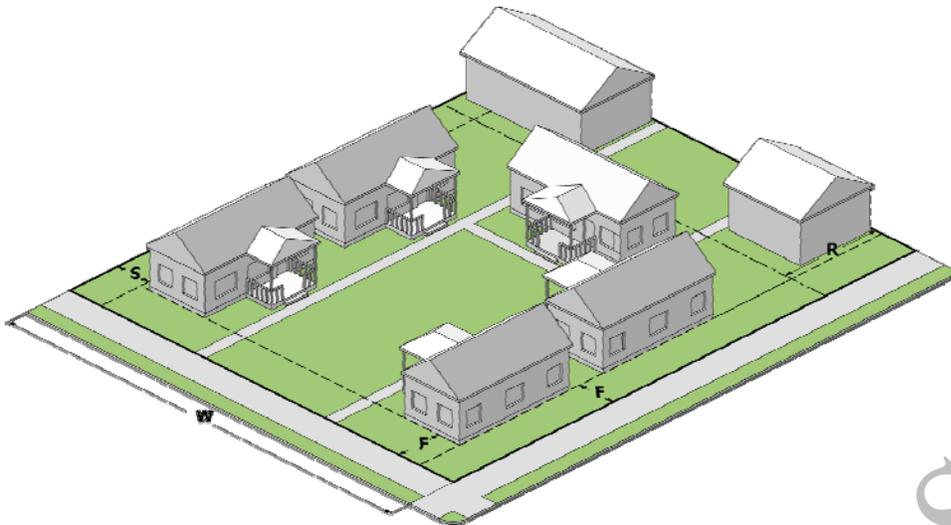


Traditional Two-Family Dwelling



*Modern Two-Family Dwelling*

- c. Cottage Development: A unified development that contains two (2) or more detached dwelling units with each unit appearing to be a small single-family dwelling with a common green or open space. Dwellings may be located on separate lots or grouped on one lot.
  
- d. Additional Development Standards for Cottage Building Forms:
  - (1) Setbacks between individual cottages: All cottages shall have a minimum setback of eight feet (8') from another cottage.
  - (2) Footprint: No cottage shall have a footprint in excess of eight hundred fifty (850) square feet.
  - (3) Building Entrance: All building entrances shall face a public street or a common open space.
  - (4) Open Space: A minimum of two hundred fifty (250) square feet of common, open space is required per cottage up to a maximum of one thousand (1,000) square feet. At least fifty percent (50%) of the open space shall be contiguous and include landscaping, walkways or other amenities intended to serve the residents of the development.

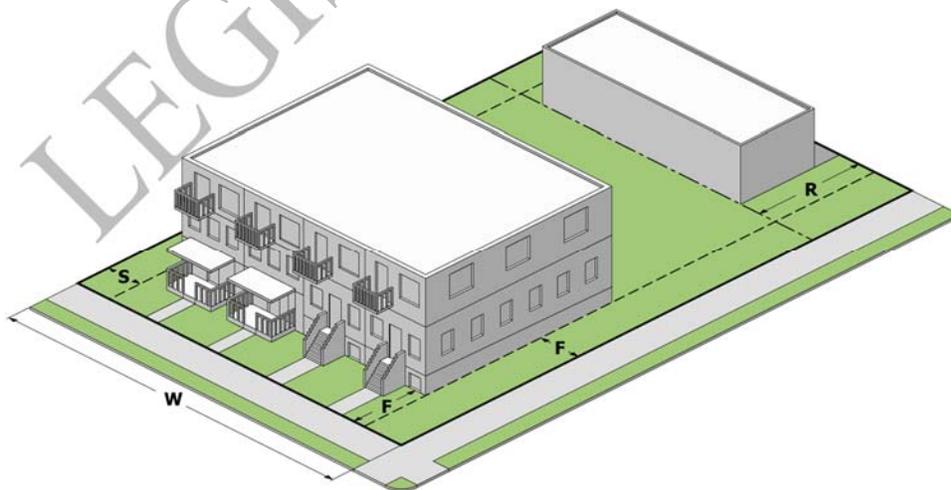


*Cottage Development on Single Parcel*



*Cottage Development*

- e. Row House: A series of attached single-family dwellings that share at least one common wall with an adjacent dwelling unit. A row house contains a minimum of three (3) residential dwelling units. Each unit may be on its own lot. If possible, off street parking is accessed from an alley.



Row House on Single Parcel

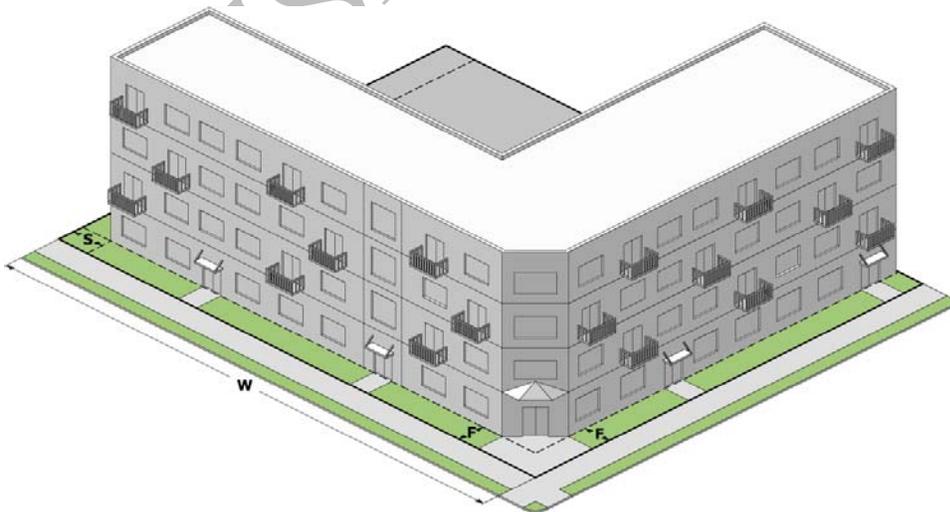


Modern Row House Form



Traditional Row House Form

- f. Multi-Family Residential: A multi-family residential structure containing three (3) or more dwelling units that may be arranged in a number of configurations.



Multi-Family Residential Form

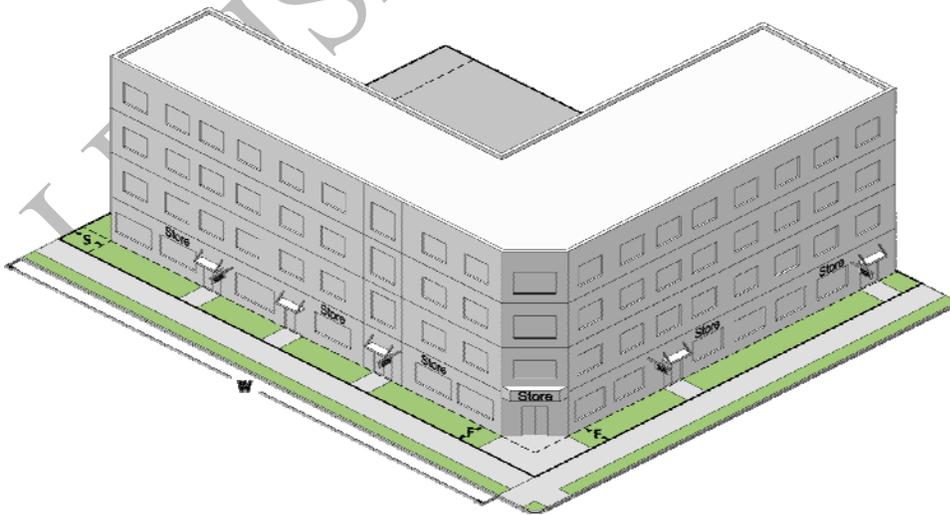


Multi-Family Modern Form



Multi-Family Traditional Form

- g. Storefront: A commercial structure that may have multiple stories and contain a variety of commercial uses that are allowed in the district that permits this building type. All buildings, regardless of the specific use, have a ground floor that looks like a storefront.



Store Front Form

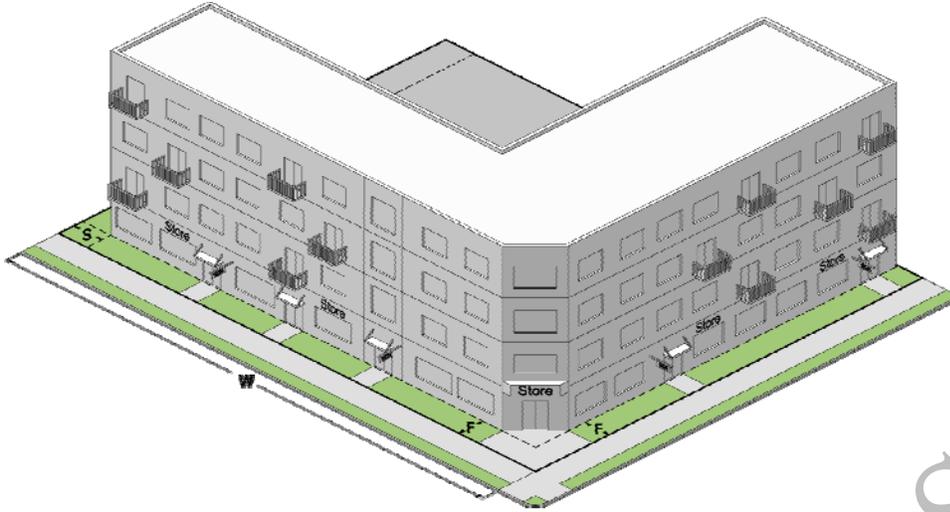


Contemporary Store Front



Traditional Store Front

- h. Vertical Mixed Use: A multi-story building that contains a mix of commercial and/or office with residential uses.



*Vertical Mixed Use Multi-Story Form*



*Modern Materials*



*Traditional Materials*

C. Building Form Standards:

1. The provisions of this section shall apply to all properties located within the form based districts as indicated on the maps in each form based district.

2. Building form and street type standards apply to all new buildings and additions when the new construction related to the addition is greater than twenty-five percent (25%) of the footprint of the structure or one-thousand (1,000) square feet, whichever is less. Refer to section the Building Configuration Standards for more information on how to comply with the standards. The graphics included provide a visual representation of the standards as a guide and are not meant to supersede the standards in the tables. Only building forms identified in the table are permitted.

**21A.27.030: RESERVED BUILDING CONFIGURATION AND DESIGN STANDARDS:**

A. Specific Intent of Configuration and Design Standards:

1. Design Related Standards: The design related standards are intended to do the following:
  - a. Implement applicable master plans;
  - b. Continue the existing physical character of residential streets while allowing an increase in building scale along arterials and near transit stations;
  - c. Focus development and future growth in the city along arterials and near transit stations;
  - d. Arrange buildings so they are oriented toward the street in a manner that promotes pedestrian activity, safety, and community;
  - e. Provide human scaled buildings that emphasize design and placement of the main entrance/exit on street facing facades;
  - f. Provide connections to transit through public walkways;
  - g. Provide areas for appropriate land uses that encourage use of public transit and are compatible with the neighborhood;
  - h. Promote pedestrian and bicycle amenities near transit facilities to maximize alternative forms of transportation; and
  - i. Rehabilitate and reuse existing residential structures in the form based zoning districts when possible to efficiently use infrastructure and natural resources, and preserve neighborhood character.

B. Building Configuration Standards Defined: The building configuration standards are defined in this section. The defined standards in this section are intended to identify how to comply with the building configuration standards tables located in this chapter.

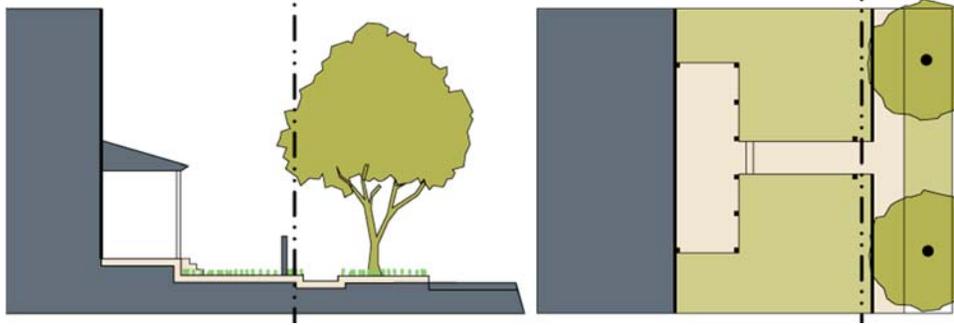
C. Building configuration standards apply to all new buildings and additions when the new construction related to the addition is greater than twenty-five percent (25%) of the footprint of the structure or one-thousand (1,000) square feet, whichever is less. The graphics included provide a visual representation of the standards as a guide and are not meant to supersede the standards in the tables. This standard applies to all form based zoning codes unless otherwise indicated.

1. Building Entry: A minimum of one main entry with an entry feature facing a public street or walkway, excluding alleys, is required. The main entry is the primary pedestrian entrance into a building. Two-family dwelling buildings shall have a minimum of one main entry with porch or stoop for at least one of the dwelling units facing a street. The main entry for the second dwelling unit may face the street or side yard, but must also have a porch or stoop entrance. Where required, the building entry must be one of the following:
  - a. Front entrance: Door on the same plane as street facing facade;
  - b. Recessed entrance: Inset behind the plane of the building no more than ten feet (10'). If inset, then the sidewalls of the inset must be lined with clear glass. Opaque, smoked, or darkened glass is not permitted; or
  - c. Corner entrance: Entry that is angled or an inside corner located at the corner of two (2) intersecting streets.
  - d. Every building shall have at least one (1) entry for every seventy-five feet (75') of building façade along a public or private street, alley or greenway.
2. Encroachments: A permitted entry feature may encroach into a required yard provided no portion of the porch is closer than five feet (5') to the front property line.
3. Entry Feature: The following building entries are permitted as indicated:

TABLE 21A.27.030.B  
ENTRY FEATURE STANDARDS

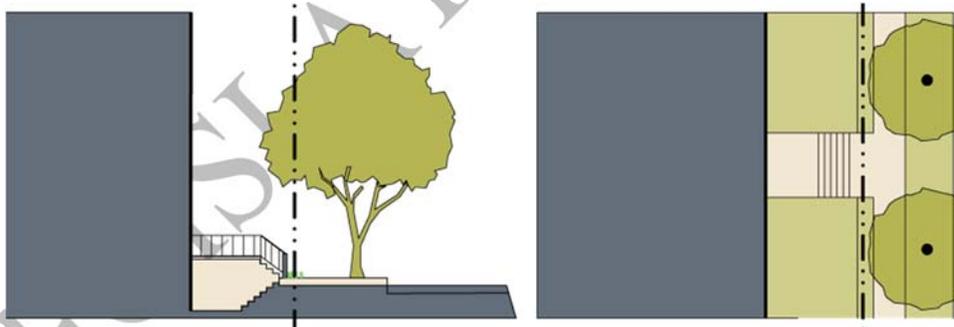
<u>Entry Feature Permitted Based On Building Form Type</u>	<u>Urban House</u>	<u>Cottage Development</u>	<u>Two-Family Dwelling</u>	<u>Row House</u>	<u>Multi-Family</u>	<u>Store front</u>	<u>Vertical Mixed Use</u>
<u>Porch and fence: A planted front yard where the street facing building facade is set back from the front property line with an attached porch that is permitted to encroach into the required yard. The porch shall be a minimum of six (6) feet in depth. The front yard may include a fence no taller than three (3) feet in height.</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>		

Reference Illustration - Porch and Fence



<u>Entry Feature Permitted Based On Building Form Type</u>	<u>Urban House</u>	<u>Cottage Development</u>	<u>Two-Family Dwelling</u>	<u>Row House</u>	<u>Multi-Family</u>	<u>Store front</u>	<u>Vertical Mixed Use</u>
<b><u>Terrace or lightwell: An entry feature where the street facing facade is set back from the front property line by an elevated terrace or sunken lightwell. May include a canopy or roof.</u></b>			<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>

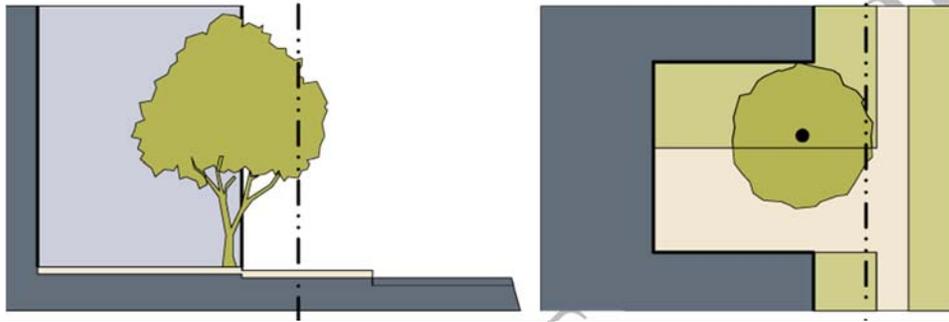
Reference Illustration – Terrace or Lightwell



<u>Entry Feature Permitted Based On Building Form Type</u>	<u>Urban House</u>	<u>Cottage Development</u>	<u>Two-Family Dwelling</u>	<u>Row House</u>	<u>Multi-Family</u>	<u>Store front</u>	<u>Vertical Mixed Use</u>
<b><u>Forecourt: An entry feature wherein a portion of the street facing facade is close to the property line and the central</u></b>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>

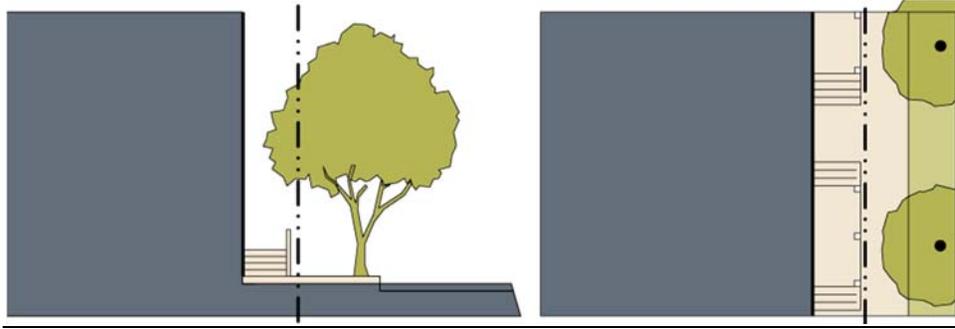
<u>portion is set back. The court created must be landscaped, contain outdoor plazas, outdoor dining areas, private yards, or other similar features that encourage use and seating</u>							
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Reference Illustration – Forecourt



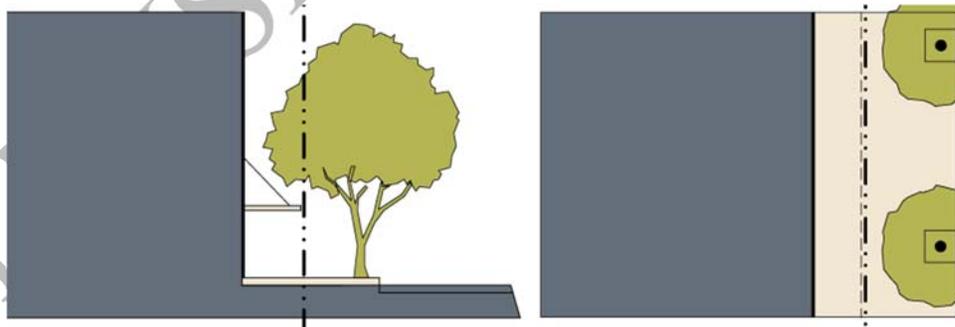
<u>Entry Feature Permitted Based On Building Form Type</u>	<u>Urban House</u>	<u>Cottage Development</u>	<u>Two-Family Dwelling</u>	<u>Row House</u>	<u>Multi-Family</u>	<u>Store front</u>	<u>Vertical Mixed Use</u>
<u>Stoop: An entry feature wherein the street facing facade is close to the front property line and the first story is elevated from the sidewalk sufficiently to secure privacy for the windows. The entrance contains an exterior stair and landing that is either parallel or perpendicular to the street. Recommended for ground floor residential uses.</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>

Reference Illustration – Stoop



<u>Entry Feature Permitted Based On Building Form Type</u>	<u>Urban House</u>	<u>Cottage Development</u>	<u>Two-Family Dwelling</u>	<u>Row House</u>	<u>Multi-Family</u>	<u>Store front</u>	<u>Vertical Mixed Use</u>
<b><u>Shopfront: An entry feature where the street facing facade is close to the property line and building entrance is at sidewalk grade. Building entry is covered with an awning, canopy, or is recessed from the front building facade, which defines the entry and provides protection for customers.</u></b>					<u>P</u>	<u>P</u>	<u>P</u>

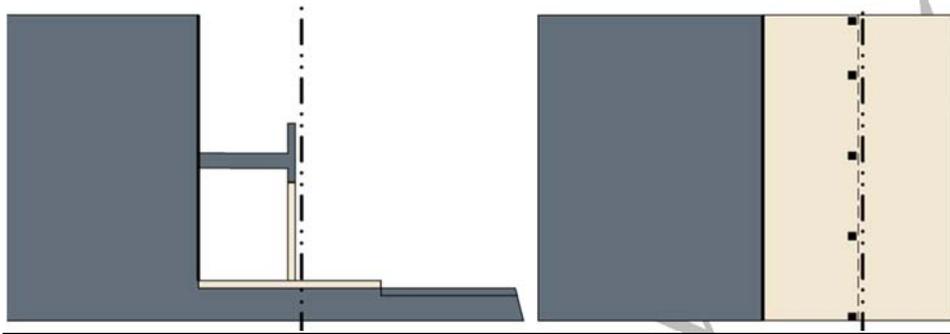
Reference Illustration – Shopfront



<u>Entry Feature Permitted Based On Building Form Type</u>	<u>Urban House</u>	<u>Cottage Development</u>	<u>Two-Family Dwelling</u>	<u>Row House</u>	<u>Multi-Family</u>	<u>Store front</u>	<u>Vertical Mixed Use</u>
<b><u>Gallery: A building entry where the ground floor is no</u></b>					<u>P</u>	<u>P</u>	<u>P</u>

<u>more than 10 feet from the front property line and the upper levels or roofline cantilevers from the ground floor facade up to the front property line.</u>							
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Reference Illustration – Gallery



4. Pedestrian Connections: Where required, the following pedestrian connection standards apply:

- a. The connection shall provide direct access from any building entry to the public sidewalk or walkway.
- b. The connection shall comply with the Americans with Disabilities Act (ADA) standards for accessibility.
- c. The connection shall be fully paved and have a minimum width of four feet (4').
- d. The connection shall be separated from vehicle drive approaches and drive lanes by a change in grade and a wheel stop if the walkway is less than eight feet (8') wide.
- e. Pedestrian connections that lead directly from the sidewalk to the primary building entrance may contain wing walls, no taller than two feet (2') in height for seating, landscaping, etc.

5. Ground Floor Transparency: Where required, the ground floor transparency standards apply:

- a. Minimum of sixty percent (60%) of street facing façade, located between two (2) and eight (8) feet above the grade of the sidewalk, shall be transparent glass. This may be reduced for twenty percent (20%) if the ground floor is within one of the following building types: urban house, two-family, cottage, and row house.

- b. There must be visual clearance behind the glass for a minimum of six feet (6'). Three-dimensional display windows at least six feet (6') deep are permitted and may be counted toward the sixty percent (60%) glass requirement.
  - c. Ground floor windows of commercial uses shall be kept clear at night, free from any window covering, with internal illumination. When ground floor glass conflicts with the internal function of the building, other means shall be used to activate the sidewalk, such as display windows, public art, architectural ornamentation or detailing or other similar treatment.
  - d. The first floor elevation facing a street of all new buildings, or buildings in which the property owner is modifying the size of windows on the front facade, shall comply with these standards.
6. Building Materials: A minimum of seventy percent (70%) of any street facing building façade shall be clad in high quality, durable, natural materials, such as stone, brick, wood lap siding, fiber cement board siding, shingled or panel sided, and glass. Other materials may count up to thirty percent (30%) of the street facing building façade. Exterior insulation and finishing systems (EIFS) is permitted for trim only.
7. Open Space: A minimum of ten percent (10%) of the lot area shall be provided for open space. Open space may include landscaped yards, patio, dining areas, common balconies, rooftop gardens, and other similar outdoor living spaces. Private balconies shall not be counted towards the minimum open space requirement. Required parking lot landscaping or perimeter parking lot landscaping shall also not count towards the minimum open space requirement.
8. Building Fenestration: No building wall that faces onto a street shall exceed more than thirty feet (30') in length without being interrupted by windows, doors, or change of building wall plane that results in an offset of at least twelve inches (12").



*Illustration of Building Fenestration*

9. Residential Balconies: All street facing residential units above the ground floor or level shall contain a usable balcony that is a minimum of four feet (4') in depth. Balconies may overhang any required yard.

10. Design Standards Alternatives:

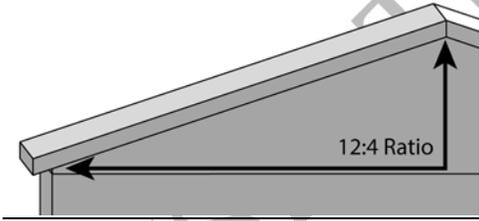
a. Alternatives to Required Build-To Line: Where a “required build-to” standard applies, the following alternatives may count toward the minimum build-to requirement as indicated:

- (1) Landscaping Walls: Landscaping walls between twenty four inches (24”) and forty two inches (42”) high may count up to twenty five percent (25%) toward the minimum requirement provided the following:
  - (A) The wall incorporates seating areas.
  - (B) The wall is constructed of masonry, concrete, stone or ornamental metal.
  - (C) The wall maintains clear view sightlines where sidewalks and pedestrian connections intersect vehicle drive aisles or streets.
  
- (2) Pergolas and Trellises: Pergolas and trellises may count up to twenty five percent (25%) toward the minimum build-to requirement provided the following:
  - (A) The structure is at least forty eight inches (48”) deep as measured perpendicular to the property line.
  - (B) A vertical clearance of at least eight feet (8’) is maintained above the walking path of pedestrians.
  - (C) Vertical supports are constructed of wood, stone, concrete or metal with a minimum of six inches by six inches (6”x6”) or a radius of at least four inches (4”).
  - (D) The structure maintains clear view sightlines where sidewalks and pedestrian connections intersect vehicle drive aisles or streets.
  
- (3) Arcades: Arcades may count up to one hundred percent (100%) toward the minimum requirement provided the following:
  - (A) The arcade extends no more than two (2) stories in height.
  - (B) No portion of the arcade structure encroaches onto public property.
  - (C) The arcade maintains a minimum pedestrian walkway of five feet (5’).
  - (D) The interior wall of the arcade complies with the building configuration standards.
  
- (4) Plazas And Outdoor Dining: Plazas and outdoor dining areas may count up to fifty percent (50%) toward the minimum requirement, and have a maximum front setback of up to fifteen feet (15’) provided the following:
  - (A) The plaza or outdoor dining is between the property line adjacent to the street and the street facing building facade.
  - (B) Shall be within two feet (2’) of grade with the public sidewalk.
  - (C) The building entry shall be clearly visible through the courtyard or plaza.
  - (D) The building facades along the courtyard or plaza shall comply with the ground floor transparency requirement.

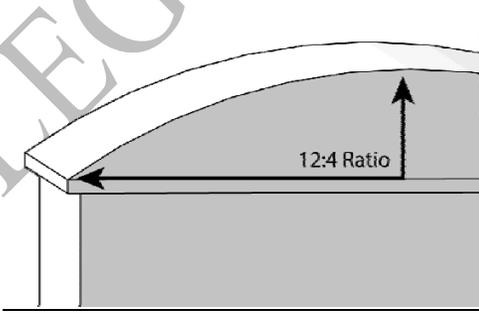
- b. Alternatives to Ground Floor Transparency Requirement: The planning director may modify the ground floor transparency requirement in the following instances:
  1. The requirement would negatively impact the historical character of a building within the H historic preservation overlay district; or
  2. The requirement conflicts with the structural integrity of the building and the structure would comply with the standard to the extent possible.

11. Permitted Encroachments and Height Exceptions: Obstructions and height exceptions are permitted as listed in this section or in Section 21A.36.020 of this title or as indicated in this subsection.

- a. Canopies: Canopies covering the primary entrance or entrances to a structure may extend into the right of way provided all city processes and requirements for right of way encroachments are complied with. No commercial signs are allowed on entrance canopies if the canopy encroaches into the public right of way.
- b. Building Height: In order to promote a varied skyline and other roof shapes in the area, structures with a sloped roof may exceed the maximum building height in the form based districts by five feet (5') provided:
  1. The additional height does not include additional living space. Vaulted ceilings, storage spaces, and utility spaces are permitted.
  2. The slope of the roof is a minimum of a twelve-four (12:4) pitch or a quarter barrel shape.



*Minimum Slope of Pitched Roof*



*Minimum Slope of Quarter Barrel Roof*

D. Other Applicable Development Standards:

1. Landscaping. Any applicable standard listed in Chapter 21A.48 Landscaping shall be complied with.
2. Signs. All signs shall comply with the standards found in Section 21A.46.096.
3. Accessory Uses, Building and Structures. All accessory uses, buildings and structures shall comply with the applicable standards in Chapter 21A.40, except as noted below:
  - a. Form Based Urban Neighborhood District Specific Standards for Detached Dwelling Units:
    - (1) Detached dwelling units may be built in a required yard as a stand alone unit or attached to an accessory building, such as a garage.
    - (2) Detached dwelling units are only permitted with the urban house, two-family dwelling, and row house building forms.
    - (3) No accessory structure containing a detached dwelling unit shall exceed twenty five feet (25') in height.
    - (4) If a detached dwelling unit is built as a second level, the minimum setback from property line shall be a minimum of four feet (4').
    - (5) All building configuration standards that apply to the primary building form shall also apply to the detached dwelling unit, with the exceptions listed below:
      - (A) The detached dwelling unit shall have an entry feature that faces or is accessible from a public alley when present;
      - (B) The entry feature may be a stoop that has a minimum dimension of four feet by four feet (4' x 4'); and
      - (C) The ground floor transparency requirement does not apply to detached dwelling units located on the second floor of an accessory structure.
  - b. Form Based Special Purpose Corridor District Specific Standards for Detached or Accessory Parking Garages or Structures:
    - (1) Detached or accessory multi-level parking garages or structures shall have the same setback requirements for principal structures.
    - (2) The minimum setback required shall be landscaped to provide a buffer to the abutting residential district. No structure (primary or accessory) shall be permitted within this landscaped buffer.
4. Parking Regulations. All parking regulations shall comply with the requirements of Chapter 21A.44.
5. Permitted Land Use. All uses allowed in the form based districts can be found in Chapter 21A.33.

**21A.27.040: RESERVED FB-SC AND FB-SE FORM BASED SPECIAL PURPOSE CORRIDOR DISTRICT:**

A. Subdistricts:

1. Named: The following subdistricts can be found in the form based special purpose corridor form based districts:
  - a. FB-SC Special Purpose Corridor Core Subdistrict: The FB-SC special purpose corridor core subdistrict contains the most intensive level of development in the vicinity of special purpose corridors. Buildings are generally six (6) to seven (7) stories in height and are supported by multiple street types so that they pedestrians, bicyclists and drivers have access to the properties within the area. Development standards are based on building type.
  - b. FB-SE Special Purpose Corridor Edge Subdistrict: The FB-SE special purpose corridor edge subdistrict is intended to provide an appropriate transition in building size and scale between existing neighborhoods and the Core area. Buildings may be up to four (4) stories in height, with appropriate setbacks when adjacent to lower scale residential neighborhoods. Development regulations are based on building type, with the overall scale, form and orientation as the primary focus.
2. Applicability of Subdistricts: The regulations of the subdistricts shall apply as indicated in the regulating plan map.

FIGURE 21A.27.040.A  
REGULATING PLAN MAP –SUGAR HOUSE STREETCAR FORM BASED SPECIAL  
PURPOSE CORRIDOR AREA



## B. Street Types

1. Street Types Intent: The intent of identifying specific types of streets in the special purpose corridor districts is to:

- Ensure that a hierarchy of transportation is established;
- Guarantee access to private property; and
- Determine the appropriate manner in which buildings address streets.

2. Street Types Established: The following types of streets are hereby established. The location and applicability of street type regulations are shown on Figure 21A.27.040.A Regulating Plan Map – Sugar House Streetcar Form Based Special Purpose Corridor Area.

- Greenway Street: Streets that contain a streetcar line and stops and various types of multi-use trails. Greenway streets may provide access for pedestrians and bicycles. Automobiles are not permitted on Greenway streets.
- Neighborhood Street: Neighborhood streets are intended to serve the adjacent neighborhoods and are generally considered local streets. Automobile access may

be provided to each individual lot. Access to certain building forms is not permitted from a Neighborhood street unless the property only has frontage on a Neighborhood street.

- c. Avenue Street: Avenue streets are those streets that are designed to accommodate a high number of pedestrians. Automobile access to private property may be permitted. Pedestrians are the priority.
- d. Boulevard Street: Boulevard streets are designed to provide automobile and service access in a manner that balances the needs of automobiles and pedestrians.

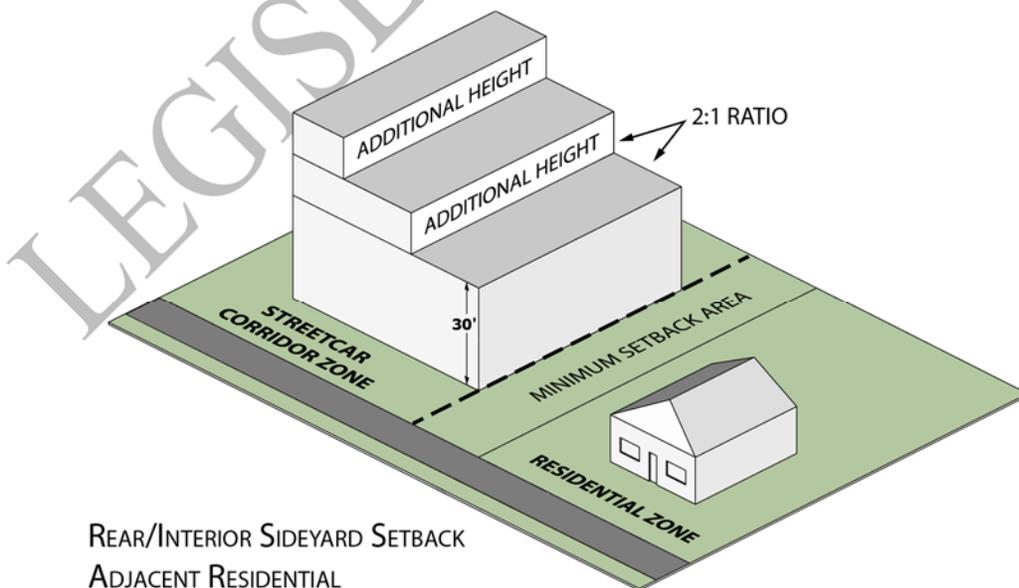
C. FB-SC Building Form Standards. Building form standards are listed below in Table 21A.27.040.C.

TABLE 21A.27.040.C  
FB-SC BUILDING FORM STANDARDS

<b><u>Permitted Building Forms</u></b> <b><u>Multi-Family and Store Front</u></b>			
<u>H</u>	<u>Maximum Building Height</u>	<u>Maximum building height in the FB-SC is 75 feet. An additional 40 feet in height (for a total height of 105 feet) may be permitted for residential uses if a minimum of 20% of the units are affordable housing.</u>	
	<u>Limitation on Commercial Uses</u>	<u>Commercial or nonresidential uses are limited to the first 3 stories and a height of 45 feet. This limitation does not apply to hotel/motel uses, which are limited to the maximum height of 75 feet.</u>	
<u>F</u>	<u>Front and Corner Side Yard Setback</u>	<u>Greenway</u>	<u>Minimum of 5 feet. Maximum of 15 feet.</u>
		<u>Neighborhood</u>	<u>Minimum of 15 feet. Maximum of 25 feet.</u>
		<u>Avenue</u>	<u>Minimum of 5 feet. Maximum of 10 feet.</u>
		<u>Boulevard</u>	<u>Minimum of 15 feet. Maximum of 25 feet.</u>
<u>B</u>	<u>Required Build-To</u>	<u>Minimum of 50% of any street facing façade shall be built to the minimum setback line. At least 10% of any street facing façade shall be building the maximum setback line.</u>	

S	<u>Interior Side Yard</u>	When adjacent to a residential district, a minimum setback of 25% of the lot width, up to 25 feet, is required. Any portion of the building taller than 30 feet must be stepped back two feet from the required building setback line for every one foot of height over 30 feet. When adjacent to other zoning districts, no minimum setback is required. See illustration below.
R	<u>Rear Yard</u>	When adjacent to a residential district, a minimum setback of 25% of the lot width, up to 25 feet, is required. Any portion of the building taller than 30 feet must be stepped back two feet from the required building setback line for every one foot of height over 30 feet. When adjacent to other zoning districts, no minimum setback is required. See illustration below.
L	<u>Minimum Lot Size</u>	4,000 square feet; not to be used to calculate density.
W	<u>Minimum Lot Width</u>	50 feet
DU	<u>Dwelling Units per Building Form</u>	No minimum or maximum.
BF	<u>Number of Building Forms per Lot</u>	One building form permitted for every 4,000 square feet of lot area provided all building forms have frontage on a street.

Interior Side Yard and Rear Yard Illustration

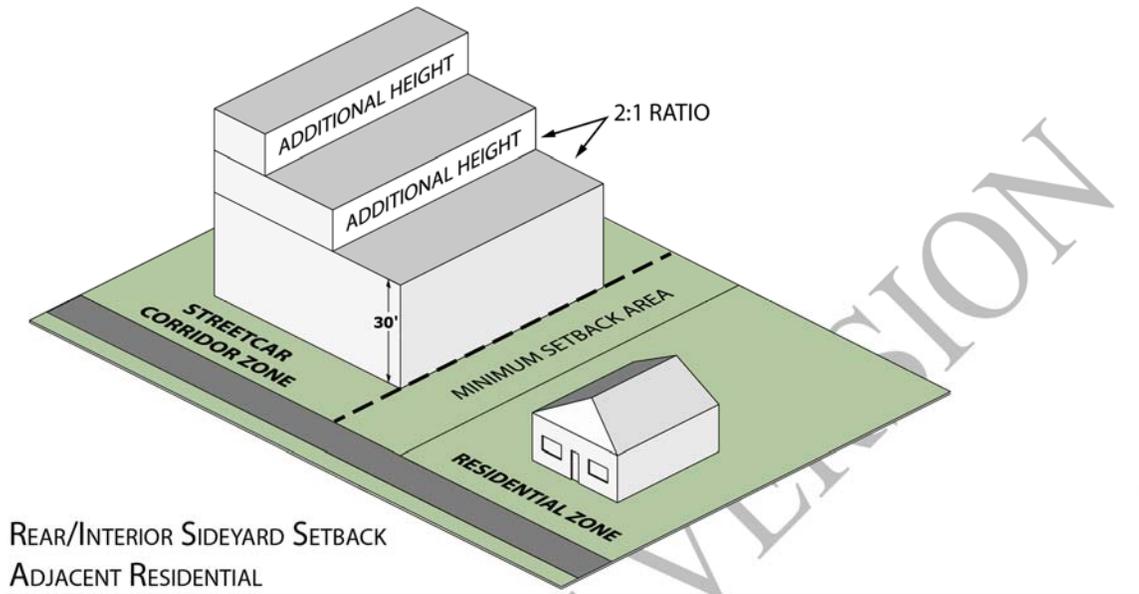


D. FB-SE Building Form Standards. Building form standards are listed below in Table 21A.27.040.D

TABLE 21A.27.040.D  
FB-SE BUILDING FORM STANDARDS

<b><u>Permitted Building Forms</u></b> <b><u>Cottage, Row House, Multi-Family and Store Front</u></b>		
H	<u>Maximum Building Height</u>	<u>Maximum building height in the FB-SE is 45 feet.</u>
	<u>Limitation on Commercial Uses</u>	<u>Commercial or nonresidential uses are limited to the first 2 stories and a height of 30 feet.</u>
F	<u>Front and Corner</u>	<u>Greenway</u> <u>Neighborhood</u>
	<u>Side Yard</u>	<u>Avenue</u>
		<u>Boulevard</u>
	<u>Setback</u>	
B	<u>Required Build-To</u>	<u>Minimum of 50% of street facing façade shall be built to the minimum setback line.</u>
S	<u>Interior Side Yard</u>	<u>When adjacent to a residential district, a minimum setback of 25% of the lot width, up to 25 feet, is required. Any portion of the building taller than 30 feet must be stepped back two feet from the required building setback line for every one foot of height over 30 feet. When adjacent to other zoning districts, no minimum setback is required. See illustration below.</u>
R	<u>Rear Yard</u>	<u>When adjacent to a residential district, a minimum setback of 25% of the lot width, up to 25 feet, is required. Any portion of the building taller than 30 feet must be stepped back two feet from the required building setback line for every one foot of height over 30 feet. When adjacent to other zoning districts, no minimum setback is required. See illustration below.</u>
L	<u>Minimum Lot Size</u>	<u>4,000 square feet; not to be used to calculate density.</u>
W	<u>Minimum Lot Width</u>	<u>50 feet</u>
DU	<u>Dwelling Units per Building Form</u>	<u>No minimum or maximum.</u>

BF	<u>Number of Building Forms per Lot</u>	<u>One building form permitted for every 4,000 square feet of lot area provided all building forms have frontage on a street.</u>
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**21A.27.050: FB-UN1 AND FB-UN2 FORM BASED URBAN NEIGHBORHOOD DISTRICT STANDARDS:**

~~A. Purpose Statement: The purpose of the FB-UN form based urban neighborhood district is to create an urban neighborhood that provides the following:~~

- ~~1. Options for housing types;~~
- ~~2. Options in terms of shopping, dining, and fulfilling daily needs within walking distance or conveniently located near mass transit;~~
- ~~3. Transportation options;~~
- ~~4. Access to employment opportunities within walking distance or close to mass transit;~~
- ~~5. Appropriately scaled buildings that respect the existing character of the neighborhood;~~
- ~~6. Safe, accessible, and interconnected networks for people to move around in; and~~
- ~~7. Increased desirability as a place to work, live, play, and invest through higher quality form and design.~~

~~B. Context Description: The form based urban neighborhood district is intended to be utilized on the edges of dense, urban centers, such as downtown Salt Lake City. It is appropriate in areas with the following characteristics:~~

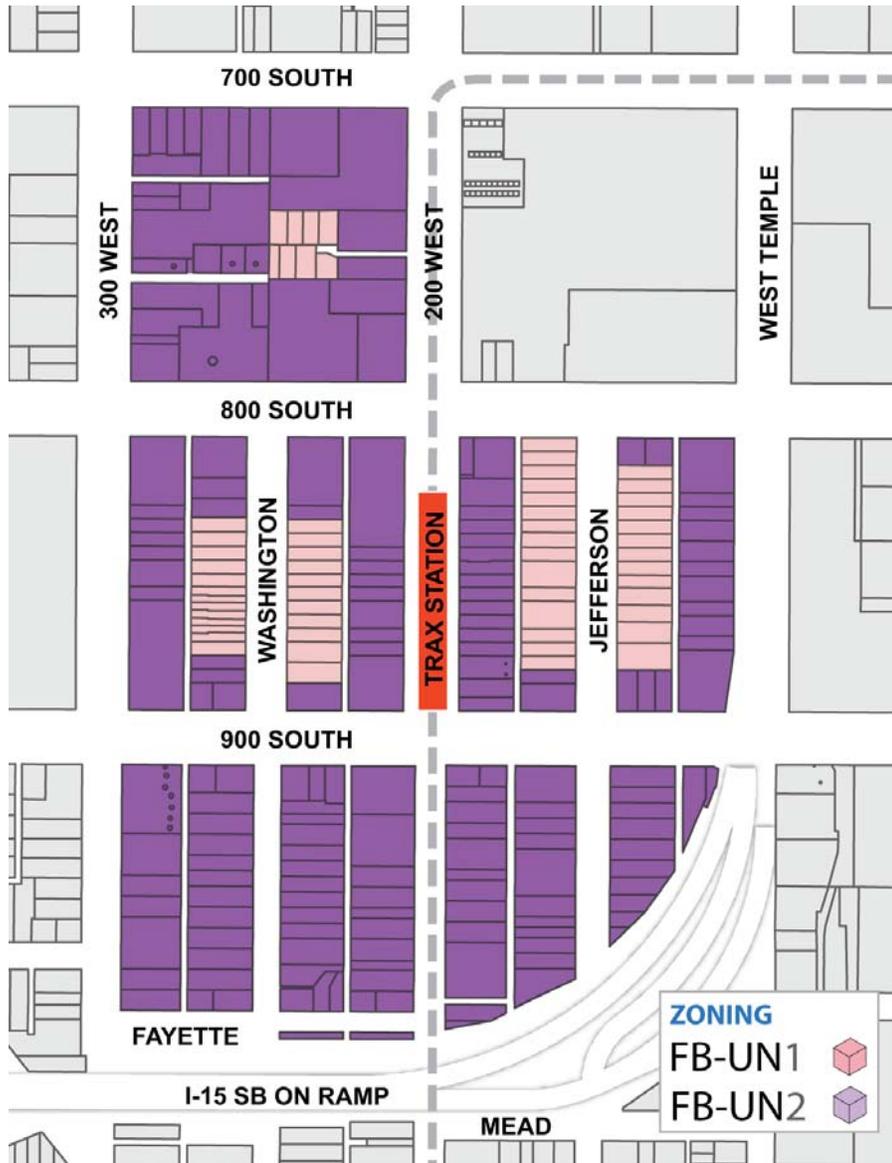
- ~~1. Street, Block, And Access Patterns: A regular pattern of blocks surrounded by a traditional grid of streets that provide mobility options and connections for pedestrians, bicyclists, and automobiles. Blocks include sidewalks separated from vehicle travel lanes by a landscaped park strip. Front yards are landscaped or include active, outdoor uses.~~
- ~~2. Building Placement And Location: Residential buildings are generally located close to the sidewalk with a small, transitional, semipublic space, such as a landscaped front yard, that is consistent along the block face. Buildings along arterials are located close to the sidewalk with parking to the side or rear of building.~~
- ~~3. Building Height: Building heights on local streets are relatively low and consistent with existing building heights with little variation. Buildings located on arterial streets are generally taller, but may not exceed five (5) stories or sixty five feet (65').~~
- ~~4. Mobility: A balance between pedestrians, bicyclists, transit riders, and motorists exist in the area, and residents are well connected to other parts of the city.~~

~~CA. Subdistricts:~~

- ~~1. Named: The following subdistricts can be found in the urban neighborhood form based districts:
  - ~~a. FB-UN1 Urban Neighborhood 1 Subdistrict: Generally includes small scale structures, up to two and one-half (2.5) stories in height, on relatively small lots with up to four (4) dwelling units per lot depending on building type. Reuse of existing residential structures is encouraged. Development regulations are based on the building type.~~
  - ~~b. FB-UN2 Urban Neighborhood 2 Subdistrict: Generally includes buildings up to four (4) stories in height, with taller buildings located on street corner parcels, which may contain a single use or a mix of commercial, office, and residential uses. Development regulations are based on building type, with the overall scale, form, and orientation of buildings as the primary focus.~~~~
- ~~2. Applicability of Subdistricts: The regulations of the subdistricts shall apply as indicated in the regulating plan map.~~

**FIGURE 21A.27.050.CA**

**REGULATING PLAN MAP – WEST TEMPLE GATEWAY AREA**



**D. Specific Intent Of Regulations:**

1. ~~Design Related Standards: The design related standards are intended to do the following:~~
  - a. ~~Implement applicable master plans;~~
  - b. ~~Continue the existing physical character of residential streets while allowing an increase in building scale along arterials and near transit stations;~~

- ~~c. Focus development and future growth in the city along arterials and near transit stations;~~
  - ~~d. Arrange buildings so they are oriented toward the street in a manner that promotes pedestrian activity, safety, and community;~~
  - ~~e. Provide human scaled buildings that emphasize design and placement of the main entrance/exit on street facing facades;~~
  - ~~f. Provide connections to transit through public walkways;~~
  - ~~g. Provide areas for appropriate land uses that encourage use of public transit and are compatible with the neighborhood;~~
  - ~~h. Promote pedestrian and bicycle amenities near transit facilities to maximize alternative forms of transportation; and~~
  - ~~i. Rehabilitate and reuse existing residential structures in the FB-UN1 zone when possible to efficiently use infrastructure and natural resources, and preserve neighborhood character.~~
- ~~2. Building Form Standards:~~
- ~~a. Encourage building forms that are compatible with the neighborhood and the future vision for the neighborhood by acknowledging there will be different scaled buildings in the area;~~
  - ~~b. Arrange building heights and scale to provide appropriate transitions between buildings of different scales and adjacent areas, especially between different subdistricts;~~
  - ~~c. Guide building orientation through setbacks and other requirements to create a consistent street edge, enhance walkability by addressing the relationship between public and private spaces, and ensure architectural design will contribute to the character of the neighborhood;~~
  - ~~d. Use building form, placement, and orientation to identify the private, semiprivate, and public spaces;~~
  - ~~e. Minimize the visual impact of parking areas; and~~
  - ~~f. Minimize conflicts between pedestrians, bicyclists, and vehicles.~~

~~E. Building Forms:~~

1. Description: The permitted building forms are described in this subsection. Each building form includes a general description and definition, as well as images of what the building form may look like. Building form images are for informational purposes only and not intended to demonstrate exactly what shall be built. The description and images should be used to classify existing and proposed buildings in order to determine what development regulations apply. The drawings are not to scale. They should not be used to dictate a specific architectural style as both traditional and contemporary styles can be used.
  - a. Urban House: A residential structure with the approximate scale of a single dwelling unit, as viewed from the street, but may contain up to two (2) dwelling units. The structure has a single entry facing the street, a front porch or stoop, and a small front yard. Second units may be arranged vertically (up and down) or horizontally (front and back), but the entry to the second unit is from the side, rear, or interior of structure. A third unit may also be located along an alley as a stand-alone unit or as a dwelling unit located in an accessory building. All units are on a single lot.



*Urban House With Detached Dwelling*

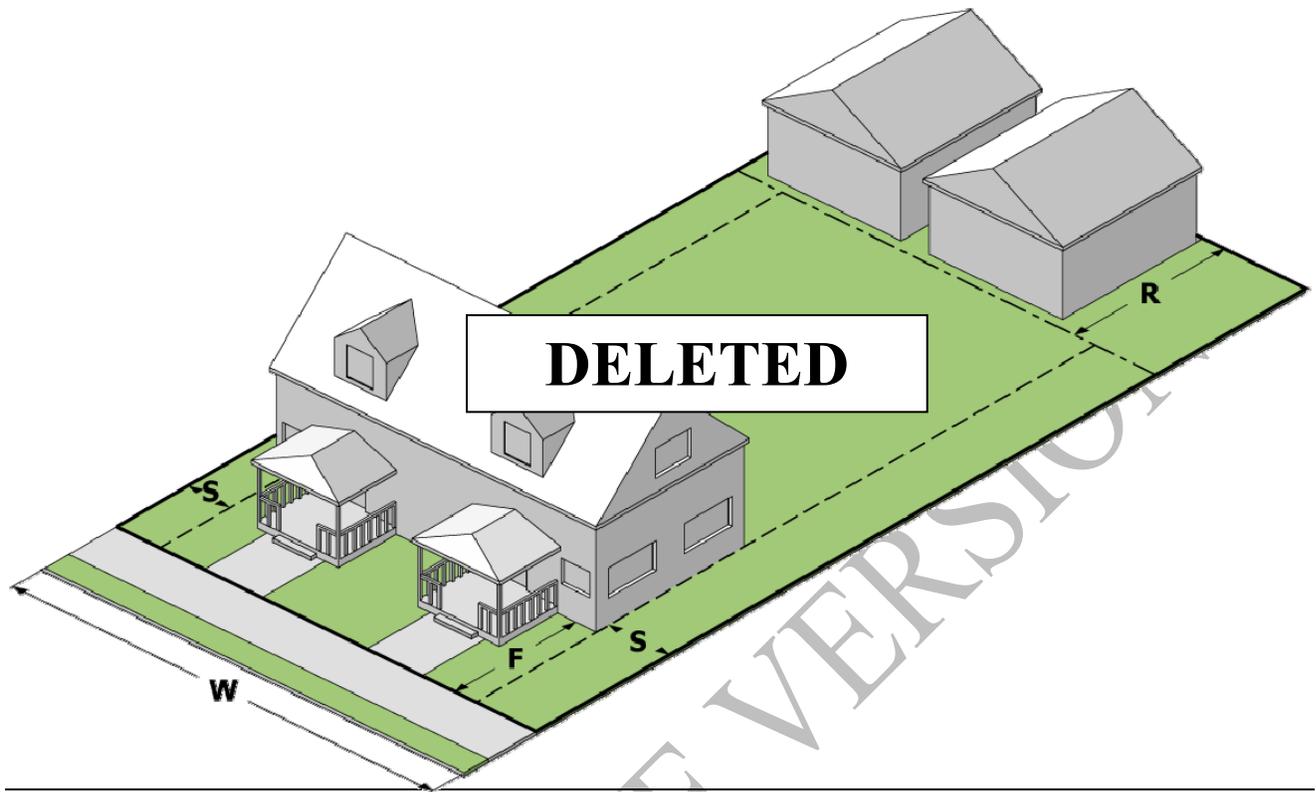


*Modern And Traditional Forms*



*Two-Story Contemporary Form*

- b. ~~Two Family Dwelling: A residential structure that contains two (2) dwelling units in a single building. The units may be arranged side by side, up and down, or front and back. Each unit has its own separate entry directly to the outside. Dwellings may be located on separate lots or grouped on one lot. A third unit may also be located along an alley as a stand alone unit or as a dwelling unit located in an accessory building, but may not be located on a separate lot.~~



*Two-Family Dwelling With Garages*

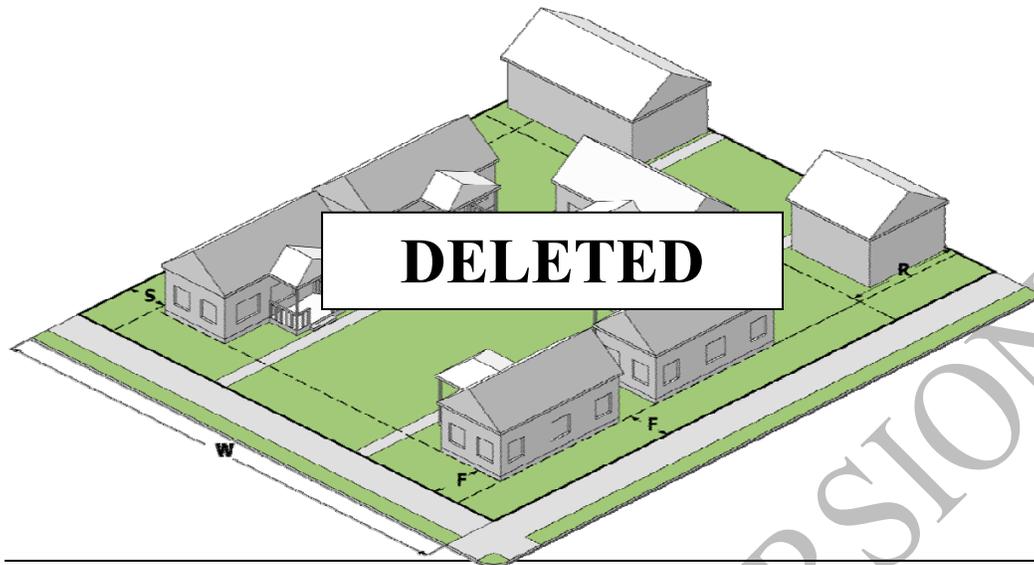


*Traditional Two-Family Dwelling*



*Modern Two-Family Dwelling*

- e. ~~Cottage Development: A unified development that contains two (2) or more detached dwelling units with each unit appearing to be a small single-family dwelling with a common green or open space. Dwellings may be located on separate lots or grouped on one lot.~~



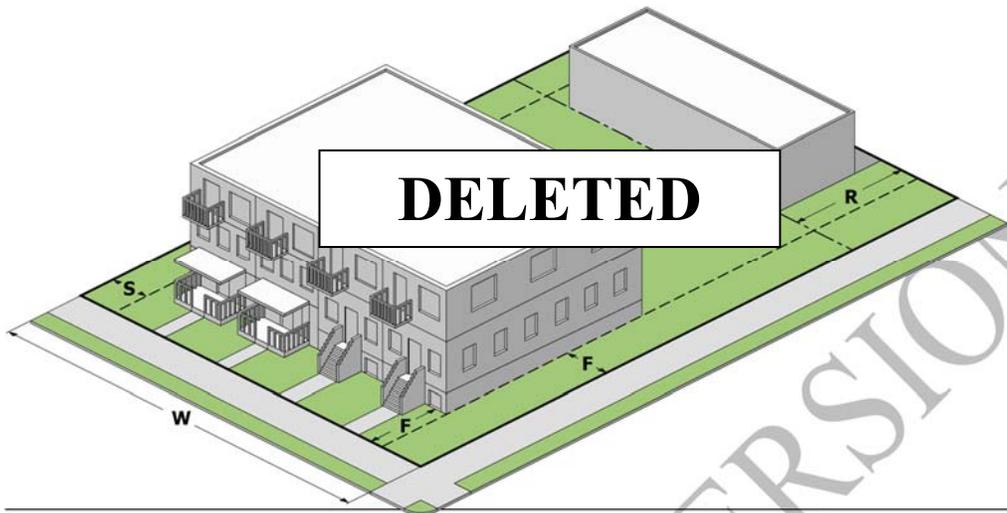
*Cottage Development On Single Parcel*



*Cottage Development*

- d. **Row House:** A series of attached single-family dwellings that share at least one common wall with an adjacent dwelling unit. A row house contains a minimum of three (3) residential dwelling units. Each unit may be on its own lot. If possible,

off street parking is accessed from an alley.



*Row House On Single Parcel*

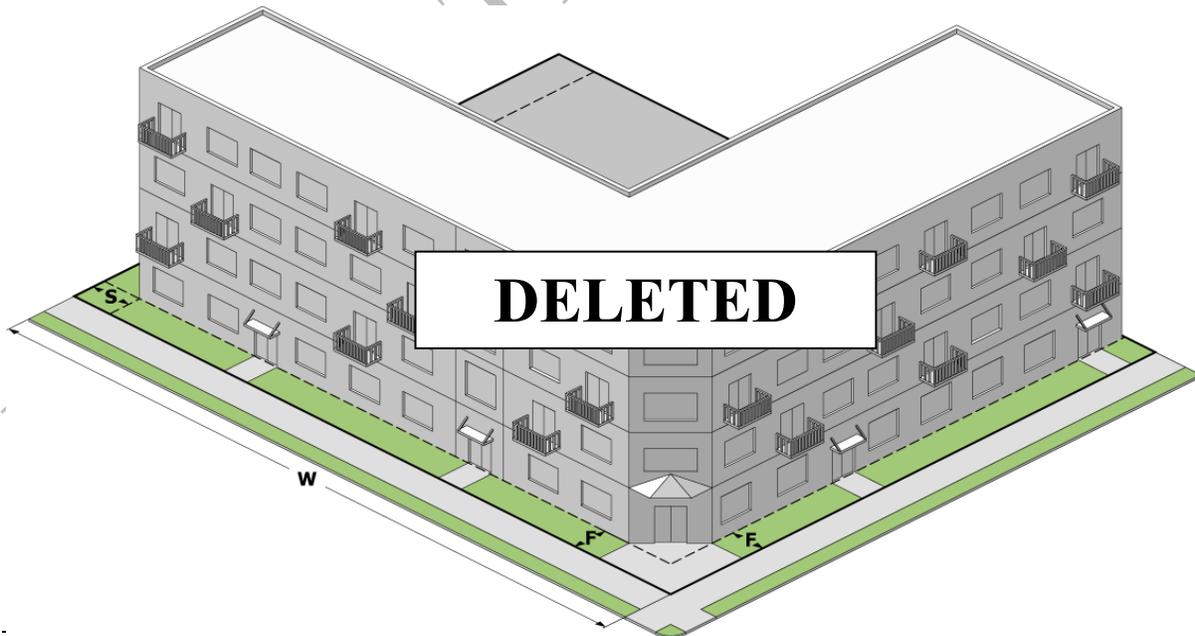


*Modern Row House Form*



*Traditional Row House Form*

- e. ~~Multi-Family Residential: A multi-family residential structure containing three (3) or more dwelling units that may be arranged in a number of configurations.~~



*Multi-Family Residential Form*

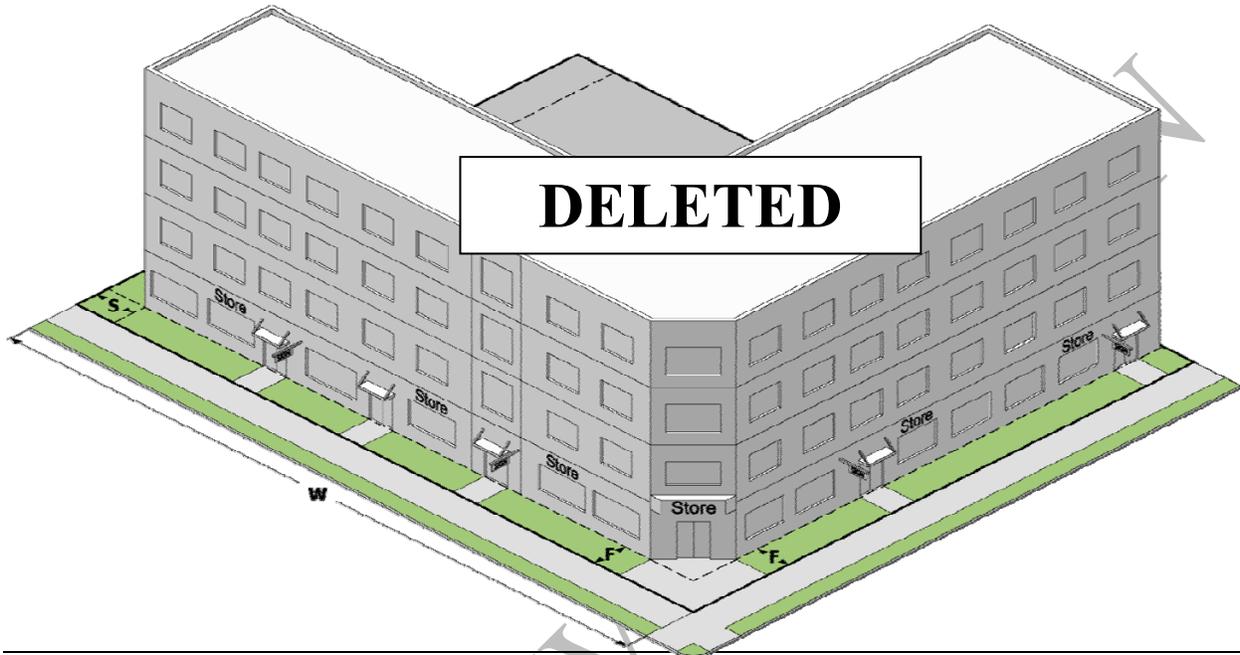


*Multi-Family Modern Form*



*Multi-Family Traditional Form*

- f. ~~Storefront: A commercial structure that may have multiple stories and contain a variety of commercial uses that are allowed in the district that permits this building type. All buildings, regardless of the specific use, have a ground floor that looks like a storefront.~~



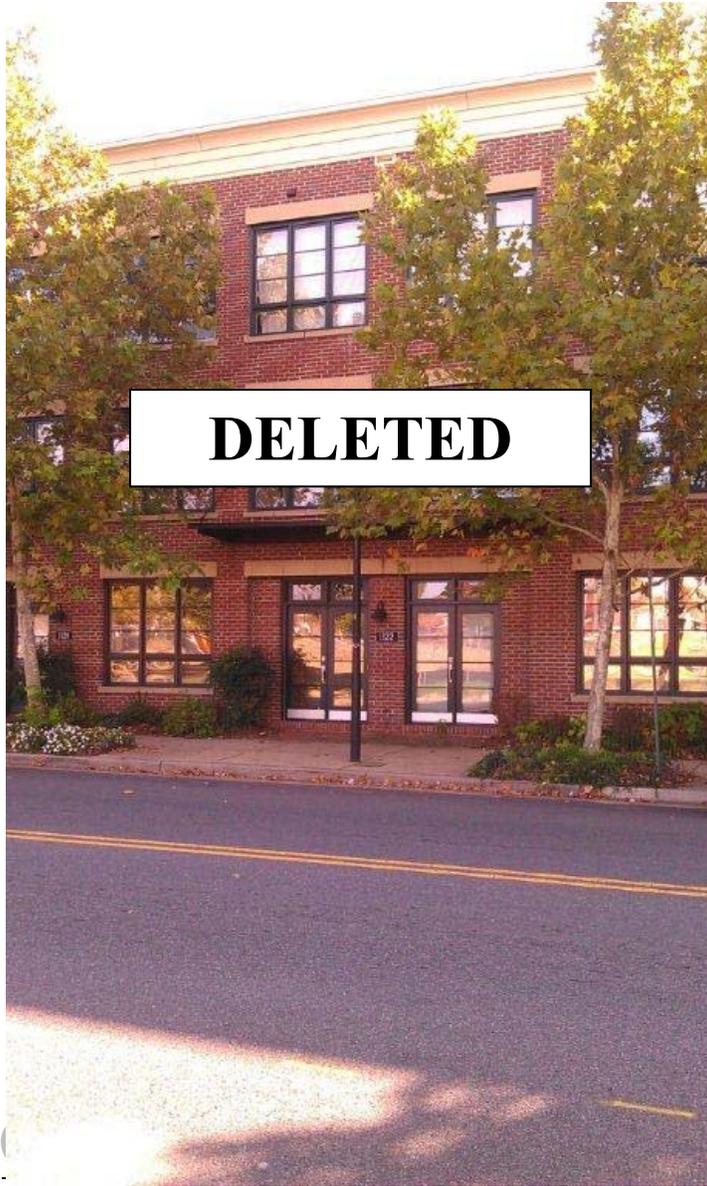
*Store Front Form*

LEGISLATIVE



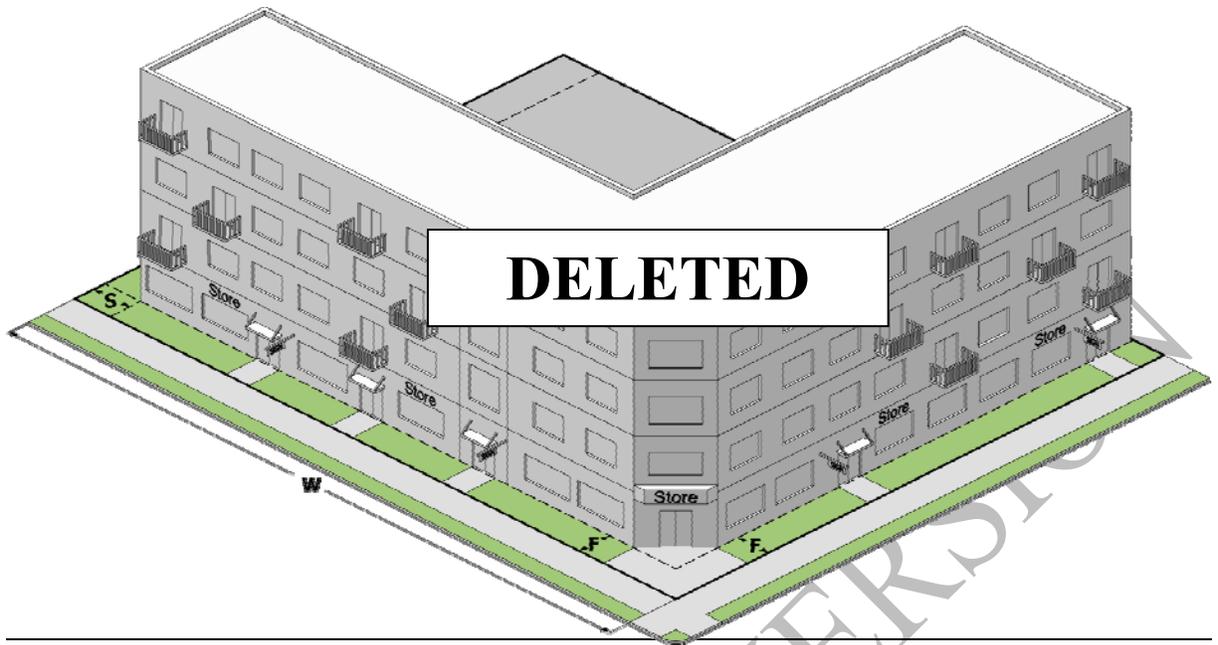
*Contemporary Store Front*

LEGISLATIVE VISION



*Traditional Store Front*

- ~~g. Vertical Mixed Use: A multi-story building that contains a mix of commercial and/or office with residential uses.~~



*Vertical Mixed Use Multi Story Form*



*Modern Materials*



*Traditional Materials*

2. ~~Form Regulations: The building form standards are listed in table 21A.27.050E1, "FB-UN1 Building Form Standards" and table 21A.27.050E2, "FB-UN2 Building Form Standards", of this section. Building form standards apply to all new buildings and additions that are greater than twenty five percent (25%) of the footprint of the structure or one thousand (1,000) square feet, whichever is less. Refer to subsection F of this section for more information on how to comply with the building configuration standards. The graphics included provide a visual representation of the standards as a guide and are not meant to supersede the standards in the tables.~~  
~~TABLE 21A.27.050E1~~

B. FB-UN1 Building Form Standards. Building form standards are listed below in Table 21A.27.050.B

TABLE 21A.27.050.B  
 FB-UN1 BUILDING FORM STANDARDS

		Building Form			
Building Regulation		Urban House	Two-Family Dwelling	Cottage Development <sup>1</sup>	Row House
<b>Building Height and Placement:</b>					
H	Height	2.5 stories, maximum of 30', measured from established grade			

F	Front and corner side yard setback	Equal to average setback of block face, where applicable, otherwise minimum of 10' and maximum of 20'			
S	Interior side yard	Minimum 4'			
R	Rear yard	Minimum of 20% lot depth up to 25'	4' minimum		Minimum of 20% lot depth up to 25'
L	Minimum lot size	3,000 sq. ft.; not to be used to calculate density	1,500 sq. ft.; not to be used to calculate density	1,500 sq. ft.; not to be used to calculate density	
W	Minimum lot width	30'	15' per unit	15' per unit facing a street	15' per unit. Side orientation allowed provided building configuration standards are complied with
DU	Maximum dwelling units per building form	2 units plus 1 detached accessory unit	2 units plus 1 detached accessory unit	1 unit per cottage, multiple cottages per lot	Minimum of 3; maximum of 4
BF	Number of building forms per lot	1 building form permitted for every 3,000 sq. ft. of lot area	1 cottage for every 1,500 sq. ft. of lot area	1 building form permitted for every 1,500 square feet of lot area	
<b>Parking:</b>					
	Surface parking in front and corner side yards	Not permitted			
	Vehicle access	If off street parking is provided, vehicle access from an alley is required when property is served by a public or private alley with access rights. Vehicle access from street is only permitted when no alley access exists. If pull through parking is required by fire or other code, ingress shall be from street and egress onto alley.			
	Parking on separate lots	Not permitted	Parking may be provided on an adjacent lot or in a common area associated with the development		
	Building entry	Minimum of 1 entry facing public street. Two family dwellings shall have at least 1 entry facing a street. Side entries for building forms with 2 or more dwelling units are permitted provided a minimum of 1 building entry faces a street			
	Pedestrian connections	Pedestrian access to public walkways required	Pedestrian access to public walkways required for each dwelling unit		
	Ground floor transparency	Minimum of 20% of street facing facade			
	Attached garages and carports	Attached garages and carports are required to be <u>accessed from</u> the rear yard where the rear yard is accessible by an alley with access rights to the subject property. If			

	there is no access to the rear yard, an attached garage may be accessed from the front or corner side yard provided the garage door (or doors) is no wider than 50% of the front facade of the structure and set back at least 5 feet from the street facing building facade and at least 20 feet from the property line. Side loaded garages are permitted
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Note:

1. See subsection ~~G~~ 21A.27.020.B.1.d of this ~~section~~ chapter for additional standards.

**C. FB-UN2 Building Form Standards.** Building form standards are listed below in Table 21A.27.050.C

TABLE 21A.27.050.C ~~21A.27.050E2~~  
FB-UN2 BUILDING FORM STANDARDS

		Building Form				
Building Regulation		Cottage Development <sup>1</sup>	Row House	Multi-Family Residential	Mixed Use	Storefront
<b>Building Height and Placement:</b>						
H	Height	2.5 stories, 30' maximum from established grade	4 stories with a maximum of 50'. 5 stories with a maximum of 65' on parcels located on the corners of West Temple at 800 or 900 South, 200 West at 700, 800 or 900 South, 200 West at Fayette Avenue, and 300 West at 800 or 900 South. All heights measured from established grade			
F	Front and corner side yard setback	No minimum Maximum 10'				
B	Required build-to	Minimum of 50% of street facing facade shall be built to the minimum setback line				
S	Interior side yard	Minimum of 15' along a side property line adjacent to FB-UN1, otherwise 4' setback required. Parcels separated by an alley are not considered adjacent		Minimum of 15' along a side property line adjacent to FB-UN1, otherwise no setback required. Parcels separated by an alley are not considered adjacent		
R	Rear yard	Minimum of 25' when rear yard is adjacent to FB-UN1 otherwise no setback required. Parcels separated by an alley are not considered adjacent		Minimum of 20' when rear yard is adjacent to FB-UN1		
U	Upper level step back	When adjacent to lot in the FB-UN1, buildings shall be stepped back 1 additional foot for every foot of building height above 35'. When a parcel in the FB-UN2 district is separated from a parcel in the FB-UN1 district by an alley, the width of the alley may be counted toward the upper level step back				
L	Minimum lot size	4,000 sq. ft.; not to be used to	1,500 sq. ft.; not to	4,000 sq. ft.; not to be used to calculate density		

		calculate density	be used to calculate density	
W	Minimum lot width	15' per unit facing a street Side orientation allowed provided building configuration standards are complied with		30'
DU	Dwelling units per building form	1 per cottage	Minimum of 3; maximum of 5	No minimum or maximum
BF	Number of building forms per lot	1 cottage for every 1,000 square feet of lot area	1 building form permitted for every 1,000 square feet of lot area	1 building form permitted for every 4,000 square feet of lot area
<b>Parking:</b>				
	Surface parking in front and corner side yards	Not permitted		
	Vehicle access	If off street parking is provided, vehicle access from an alley is required when property is served by a public or private alley with access rights. Vehicle access from street is only permitted when no alley access exists. If pull through parking is required by fire or other code, ingress shall be from street and egress onto alley	If property is less than 30' wide, vehicle access from an alley is required when property is served by a public or private alley with access rights. If no alley access exists, only 1 vehicle access point from a street may be permitted  If property is 30' wide or more, only 1 vehicle access point from a street may be permitted. If property is served by a public or private alley, ingress shall be from street and egress onto alley unless otherwise permitted by this section  Corner lots with a minimum width of 120' may have 1 vehicle access point per street frontage. Vehicle access may be one-way or multi-directional	
	Vehicle access width at street	When a one-way vehicle drive is included in a development, no vehicle drive or curb cut may exceed 12' in width. When a multi-directional vehicle drive is included, a curb cut may not exceed 24' in width.		
	Vehicle access from street design standards	If vehicle access is from a street, the following additional design standards shall apply: garage entry shall have a minimum 20' setback from property line; garage entry may not exceed 50% of first floor building width; one-way garage entry may not exceed 14' in width; multiway garage entry may not exceed 26' in width; garage door or gate shall be constructed of durable building materials and compatible with building design.		
	Driveway location	The minimum distance between curb cuts shall be 12'. Driveways shall be at		

		least 6' from abutting property lines for a depth of 10' unless shared. Driveways shall be at least 12' from property lines adjacent to a street corner or 5' from the point of tangency of the curb return, whichever is greater. Abandoned curb cuts shall be removed and replaced with city standard curb
	Vehicle access and parking compliance	All new drive approaches, driveways, and parking lots shall comply with form based urban neighborhood regulations, and all other applicable sections of this code. Existing drive approaches, driveways, and parking lots shall be made compliant with form based urban neighborhood regulations upon change of use, increase in parking, or building additions greater than 25% of the footprint of the structure or 1,000 sq. ft., whichever is less
	Parking on separate lots	Parking may be provided on an adjacent lot, or in a common area associated with the development, or within 500' of the property. If located on an adjacent parcel or on a parcel within 500', the proposed location of the parking shall contain a principal building and the parking shall be located behind a principal building
<b>Building Configuration:</b>		
	Building entry	Minimum of 1 building entry per street frontage. An additional entry feature is required for every 75' of building wall adjacent to street. Side entries for multiple dwelling unit buildings are permitted provided there is at least 1 primary entrance facing a public street
	Pedestrian connections	Pedestrian access to public walkway is required for each unit Pedestrian access to public walkway is required
	Ground floor transparency	Minimum of 60% of street facing facade, located between 2' and 8' above the grade of the sidewalk, shall be transparent glass. This may be reduced to 30% if ground floor is occupied by residential uses
	Building fenestration	Required as per subsection F of this section
	Open space	A minimum of 10% of lot area shall be provided for open space. Open space may include landscaped yards, patios, dining areas, balconies, rooftop gardens, and other similar outdoor living spaces. Required parking lot landscaping or perimeter parking lot landscaping shall not count toward the minimum open space requirement
	Upper level outdoor space	All street facing residential units above the ground floor shall contain a usable balcony that is a minimum of 4' in depth. Balconies may overhang any required yard
	Building facade materials	A minimum of 70% of any street facing building facade shall be clad in glass, brick, masonry, textured or patterned concrete, wood, or stone. Other materials may count up to 30% of the street facing building facade
	Attached garages and carports	Attached garages and carports are required to be <u>accessed from</u> <del>in</del> the rear yard where the rear yard is accessible by an alley with access rights to the subject property. If there is no access to the rear yard, an attached garage may be accessed from the front or corner side yard provided that the garage door (or doors) is no wider than 50% of the front facade of the structure and the entry to the garage is set back at least 10' from the street facing building facade and at least 20' from a public sidewalk. Side loaded garages are permitted

Note:

1. See subsection 21A.27.020.B.1.d of this section chapter for additional standards.

**F. Building Configuration Standards Defined:** The building configuration standards are defined in this section. The defined standards in this section are intended to identify how to comply with the building configuration standards listed in table 21A.27.050E1, "FB-UN1 Building Form Standards" and table 21A.27.050E2, "FB-UN2 Building Form Standards", of this section:

1. **Building Entry:** A minimum of one main entry with an entry feature facing a public street or walkway, excluding alleys, is required. The main entry is the primary pedestrian entrance into a building. Two-family dwelling buildings shall have a minimum of one main entry with porch or stoop for at least one of the dwelling units facing a street. The main entry for the second dwelling unit may face the street or side yard, but must also have a porch or stoop entrance. Where required, the building entry must be one of the following:
  - a. **Front entrance:** Door on the same plane as street facing facade;
  - b. **Recessed entrance:** Inset behind the plane of the building no more than ten feet (10'). If inset, then the sidewalls of the inset must be lined with clear glass. Opaque, smoked, or darkened glass is not permitted; or
  - c. **Corner entrance:** Entry that is angled or an inside corner located at the corner of two (2) intersecting streets.
2. **Encroachments:** A permitted entry feature may encroach into a required yard provided no portion of the porch is closer than five feet (5') to the front property line.
3. **Entry Feature:** The following building entries are permitted as indicated:

TABLE 21A.27.050F  
ENTRY FEATURE STANDARDS

Entry Feature Permitted Based On Building Form Type	Urban House	Cottage Development	Two-Family Dwelling	Row House	Multi-Family	Storefront	Vertical Mixed Use
Porch and fence: A planted front yard where the street facing building facade is set back from the front property line with an attached porch that is permitted to encroach into the required yard. The porch shall be a minimum of 6' in depth. The front yard may include a fence no taller than 3' in height	P	P	P	P	P		

Reference Illustration—Porch And Fence



Entry Feature Permitted Based On Building Form Type	Urban House	Cottage Development	Two-Family Dwelling	Row House	Multi-Family	Storefront	Vertical Mixed Use
Terrace or lightwell: An entry feature where the street facing facade is set back from the front property line by an elevated terrace or sunken lightwell. May include a canopy or roof			P	P	P	P	P

Reference Illustration—Terrace Or Lightwell



Entry Feature Permitted Based On Building Form Type	Urban House	Cottage Development	Two-Family Dwelling	Row House	Multi-Family	Storefront	Vertical Mixed Use

Forecourt: An entry feature wherein a portion of the street facing facade is close to the property line and the central portion is set back. The court created must be landscaped, contain outdoor plazas, outdoor dining areas, private yards, or other similar features that encourage use and seating	P	P	P	P	P	P	P
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Reference Illustration – Forecourt



Entry Feature Permitted Based On Building Form Type	Urban House	Cottage Development	Two-Family Dwelling	Row House	Multi-Family	Storefront	Vertical Mixed Use
Stoop: An entry feature wherein the street facing facade is close to the front property line and the first story is elevated from the sidewalk sufficiently to secure privacy for the windows. The entrance contains an exterior stair and landing that is either parallel or perpendicular to the street. Recommended for ground floor residential uses	P	P	P	P	P	P	P

Reference Illustration – Stoop



Entry Feature Permitted Based On Building Form Type	Urban House	Cottage Development	Two-Family Dwelling	Row House	Multi-Family	Storefront	Vertical Mixed Use
Shopfront: An entry feature where the street facing facade is close to the property line and building entrance is at sidewalk grade. Building entry is covered with an awning, canopy, or is recessed from the front building facade, which defines the entry and provides protection for customers					P	P	P

Reference Illustration – Shopfront



Entry Feature Permitted Based On Building Form Type	Urban House	Cottage Development	Two-Family Dwelling	Row House	Multi-Family	Storefront	Vertical Mixed Use
Gallery: A building entry where the ground floor is no more than 10' from the front property line and the upper levels or roofline cantilevers from the ground floor facade up to the front property line					P	P	P

Reference Illustration—Gallery



4. ~~Pedestrian Connections: Where required, the following pedestrian connection standards apply:~~
  - a. ~~The connection shall provide direct access from any building entry to the public sidewalk or walkway.~~
  - b. ~~The connection shall be separated from vehicle drive approaches and drive lanes by a change in grade and a wheel stop if the walkway is less than eight feet (8') wide.~~
  - c. ~~Pedestrian connections that lead directly from the sidewalk to the primary building entrance may contain wing walls, no taller than two feet (2') in height for seating, landscaping, etc.~~
5. ~~Ground Floor Transparency: Where required, the ground floor transparency standards apply:~~
  - a. ~~There must be visual clearance behind the glass for a minimum of six feet (6'). Three-dimensional display windows at least six feet (6') deep are permitted and may be counted toward the sixty percent (60%) glass requirement.~~
  - b. ~~When ground floor glass conflicts with the internal function of the building, other means shall be used to activate the sidewalk, such as display windows, public art, architectural ornamentation or detailing or other similar treatment.~~
  - c. ~~Windows and other glass surfaces shall have an outdoor visible light reflectivity value of no more than eighteen percent (18%) as defined and measured by American Society For Testing And Materials (ASTM) E308-90 or its successor.~~

- d. ~~The first floor elevation facing a street of all new buildings, or buildings in which the property owner is modifying the size of windows on the front facade, shall comply with these standards.~~
6. ~~Building Fenestration: No building wall that faces onto a street shall exceed more than thirty feet (30') in length without being interrupted by a change of building wall plane that results in an offset of at least twelve inches (12").~~



*Illustration Of Building Fenestration*

G. ~~Cottage Development Standards:~~

1. ~~Setbacks Between Individual Cottages: All cottages shall have a minimum setback of eight feet (8') from another cottage.~~
2. ~~Footprint: No cottage shall have a footprint in excess of eight hundred fifty (850) square feet.~~
3. ~~Building Entrance: All building entrances shall face a public street or a common open space.~~
4. ~~Open Space: A minimum of two hundred fifty (250) square feet of common, open space is required per cottage up to a maximum of one thousand (1,000) square feet. At least fifty percent (50%) of the open space shall be contiguous and include~~

landscaping, walkways or other amenities intended to serve the residents of the development.

H. ~~Design Standards Alternatives:~~

1. ~~Alternatives To Required Build-To Line: Where a "required build-to" standard applies, the following alternatives may count toward the minimum build to requirement as indicated:~~

a. ~~Landscaping Walls: Landscaping walls between twenty four inches (24") and forty two inches (42") high may count up to twenty five percent (25%) toward the minimum requirement provided the following:~~

- ~~(1) The wall incorporates seating areas.~~
- ~~(2) The wall is constructed of masonry, concrete, stone or ornamental metal.~~
- ~~(3) The wall maintains clear view sightlines where sidewalks and pedestrian connections intersect vehicle drive aisles or streets.~~

b. ~~Pergolas And Trellises: Pergolas and trellises may count up to twenty five percent (25%) toward the minimum build to requirement provided the following:~~

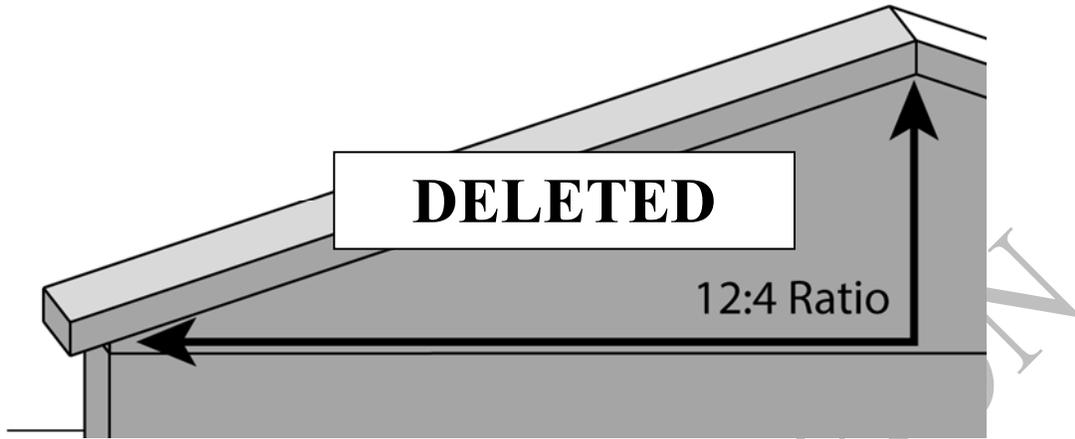
- ~~(1) The structure is at least forty eight inches (48") deep as measured perpendicular to the property line.~~
- ~~(2) A vertical clearance of at least eight feet (8') is maintained above the walking path of pedestrians.~~
- ~~(3) Vertical supports are constructed of wood, stone, concrete or metal with a minimum of six inches by six inches (6" x 6") or a radius of at least four inches (4").~~
- ~~(4) The structure maintains clear view sightlines where sidewalks and pedestrian connections intersect vehicle drive aisles or streets.~~

c. ~~Arcades: Arcades may count up to one hundred percent (100%) toward the minimum requirement provided the following:~~

- ~~(1) The arcade extends no more than two (2) stories in height.~~
- ~~(2) No portion of the arcade structure encroaches onto public property.~~
- ~~(3) The arcade maintains a minimum pedestrian walkway of five feet (5').~~

- (4) ~~The interior wall of the arcade complies with the building configuration standards.~~
- d. ~~Plazas And Outdoor Dining: Plazas and outdoor dining areas may count up to fifty percent (50%) toward the minimum requirement, and have a maximum front setback of up to fifteen feet (15') provided the following:~~
  - (1) ~~The plaza or outdoor dining is between the property line adjacent to the street and the street facing building facade.~~
  - (2) ~~Shall be within two feet (2') of grade with the public sidewalk.~~
  - (3) ~~The building entry shall be clearly visible through the courtyard or plaza.~~
  - (4) ~~The building facades along the courtyard or plaza shall comply with the ground floor transparency requirement.~~
- 2. ~~Alternatives To Ground Floor Transparency Requirement: The planning director may modify the ground floor transparency requirement in the following instances:~~
  - a. ~~The requirement would negatively impact the historical character of a building within the H historic preservation overlay district; or~~
  - b. ~~The requirement conflicts with the structural integrity of the building and the structure would comply with the standard to the extent possible.~~
- I. ~~Landscaping: All required front yards or areas between a street facing building facade and a street shall be landscaped and maintained as landscaping. Plazas, courtyards, and other similar permitted features count toward the landscaping requirements.~~
  - 1. ~~Park Strip Landscaping: Park strip landscaping shall comply with section 21A.48.060 of this title. Outdoor dining, benches, art, and bicycle racks shall be permitted in the park strip subject to city approval.~~
  - 2. ~~Landscaping In Required Yards: Where a front yard or corner side yard is provided, the yard shall be landscaped and maintained in good condition. The following standards apply:~~
    - a. ~~At least one third ( $\frac{1}{3}$ ) of the yard area shall be covered by vegetation, which may include trees, shrubs, grasses, annuals, perennials, or vegetable plants. Planted containers may be included to satisfy this requirement.~~
    - b. ~~No vegetation shall block the clear view at any driveway or street intersection and shall not exceed thirty inches (30") in height.~~





*Minimum Slope Of Pitched Roof*

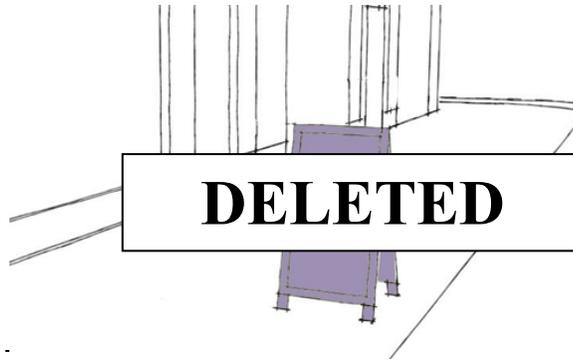


*Minimum Slope Of Quarter Barrel Roof*

**K. Signs:**

- ~~1. Applicability: This subsection applies to all signs located within the FB-UN zoning districts. This subsection is intended to list all permitted signs in the zone. All other regulations in chapter 21A.46, "Signs", of this title shall apply.~~

~~TABLE 21A.27.050K  
SIGNS~~



*A-Frame Sign*

Sign Type	FB-UN1	FB-UN2	Specifications	
			A frame sign	
			Width	Maximum of 2'. Any portion of the frame (the support structure) may extend up to 6" in any direction beyond the sign face
			Height	Maximum of 3'. Any portion of the frame (the support structure) may extend up to 6" in any direction beyond the sign face
			Placement	On public sidewalk or private property



*Awning Or Canopy Sign*

Sign Type	FB-UN1	FB-UN2	Specifications	
Awning or canopy sign	P	P	Quantity	1 per window
			Width	Equal to the width of the window
			Projection	No maximum depth from building facade, however design subject to mitigation of rainfall and snowfall runoff, conflict avoidance with tree canopy, and issuance of encroachment permits where required
			Clearance	Minimum of 10' of vertical clearance
			Letters and logos	Allowed on vertical portions of sign only

Sign Type	FB-UN1	FB-UN2	Specifications	
Construction sign (see definition in chapter 21A.46 of this title)	P	P	Quantity	1 per construction site
			Height	Maximum of 8'
			Area	Maximum of 64 sq. ft.



*Flat Sign*

Sign Type	FB-UN1	FB-UN2	Specifications	
Flat sign		P	Quantity	1 per leasable space. Leasable spaces on corners may have 2

			Width	Maximum of 90% of width of leasable space
			Height	Maximum of 3'
			Area	1.5 sq. ft. per linear foot of store frontage
			Projection	Maximum of 1'



*Nameplate Sign*

Sign Type	FB-UN1	FB-UN2	Specifications	
Nameplate sign	P	P	Quantity	1 per leasable space. Leasable spaces on corners may have 2
			Area	Maximum of 3 sq. ft.

Sign Type	FB-UN1	FB-UN2	Specifications	
Political sign (see definition in chapter 21A.46 of this title)	P	P	Quantity	No limit
			Height	Maximum of 6'
			Area	Maximum 32 sq. ft.

Sign Type	FB-UN1	FB-UN2	Specifications	
Private directional sign (see definition in chapter 21A.46 of this title)	P	P	Quantity	No limit
			Height	Maximum of 5'
			Area	Maximum of 8 sq. ft.
			May not contain business name or	

			logo
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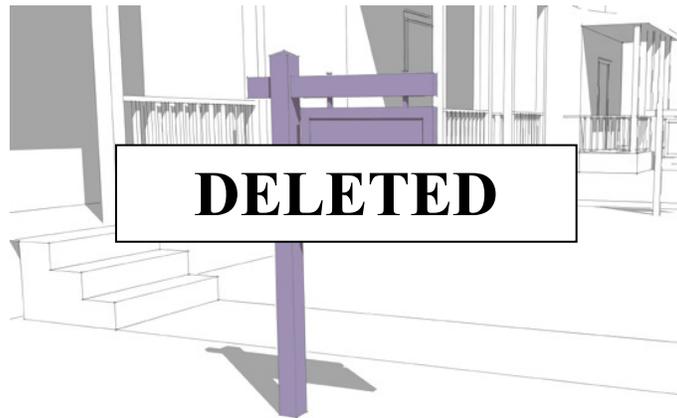
*Projecting Sign*

Sign Type	FB-UN1	FB-UN2	Specifications	
Projecting sign		P	Quantity	1 per leasable space. Leasable spaces on corners may have 2
			Clearance	Minimum of 10' above sidewalk/walkway
			Area	6 sq. ft. per side, 12 sq. ft. total
			Projection	Maximum of 4' from building facade

Sign Type	FB-UN1	FB-UN2	Specifications	
Projecting parking entry sign (see projecting sign graphic)		P	Quantity	1 per parking entry
			Clearance	Minimum of 10' above sidewalk/walkway
			Height	Maximum of 2'
			Area	4 sq. ft. per side, 8 sq. ft. total
			Projection	Maximum of 4' from building facade

Sign Type	FB-UN1	FB-UN2	Specifications	
Public safety sign (see definition in chapter 21A.46 of this title)	P	P	Quantity	No limit

			Height	Maximum of 6'
			Area	8 square feet
			Projection	Maximum of 1'



*Real Estate Sign*

Sign Type	FB-UN1	FB-UN2	Specifications	
Real estate sign	P	P	Quantity	1 per leasable space. Leasable spaces on corners may have 2
			Height	Maximum of 12'
			Area	32 sq. ft.



*Window Sign*

Sign Type	FB-UN1	FB-UN2	Specifications	
Window sign		P	Quantity	1 per window
			Height	Maximum of 3'
			Area	Maximum of 25% of window area

~~L. Detached Accessory Structures:~~

~~1. Applicability: The standards in this subsection apply to all accessory buildings in the FB-UN zoning districts.~~

~~2. General Standards:~~

~~a. Specifically allowed structures:~~

~~(1) Buildings: Garages, carports, sheds, garden structures, and other similar structures are permitted:~~

~~(A) Rear Yard Location: Accessory buildings are permitted in rear yards only. Buildings associated with community gardens and urban farms are permitted in the buildable area of any lot and any rear yard area.~~

~~(B) Size: No accessory structure shall exceed fifty percent (50%) of the footprint of the principal structure. Garages and carports may be built to a~~

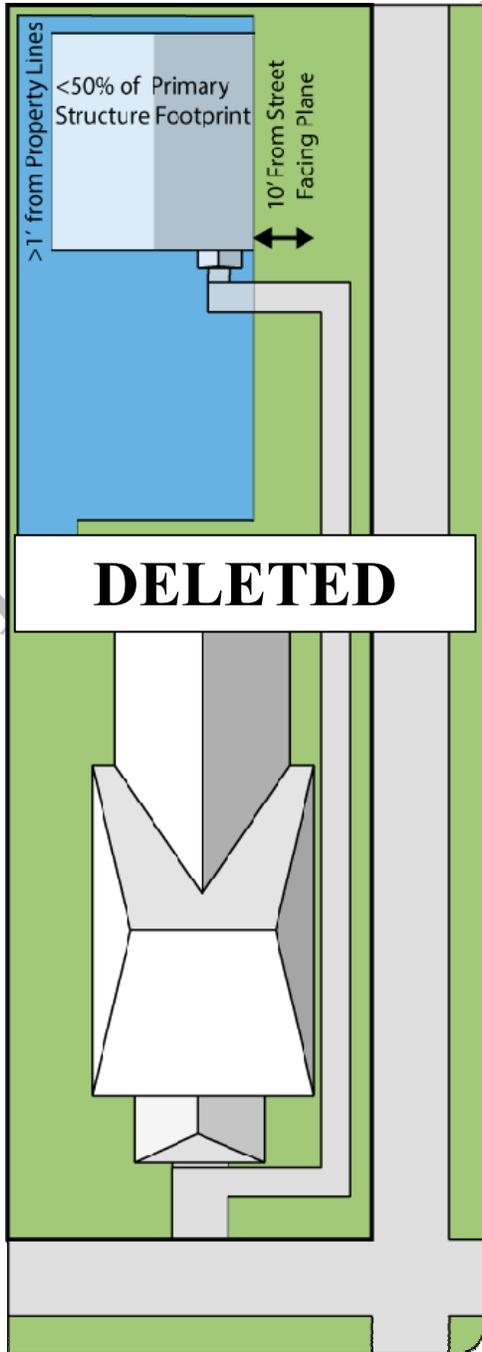
size necessary to cover parking spaces provided all other requirements in this chapter are complied with.

(C) ~~Building Height: No accessory structure shall exceed seventeen feet (17') in height unless otherwise authorized in this title.~~

(D) ~~Required Setbacks:~~

(i) ~~From any property line: A minimum of one foot (1').~~

(ii) ~~From the street facing plane of any principal building: A minimum of ten feet (10').~~

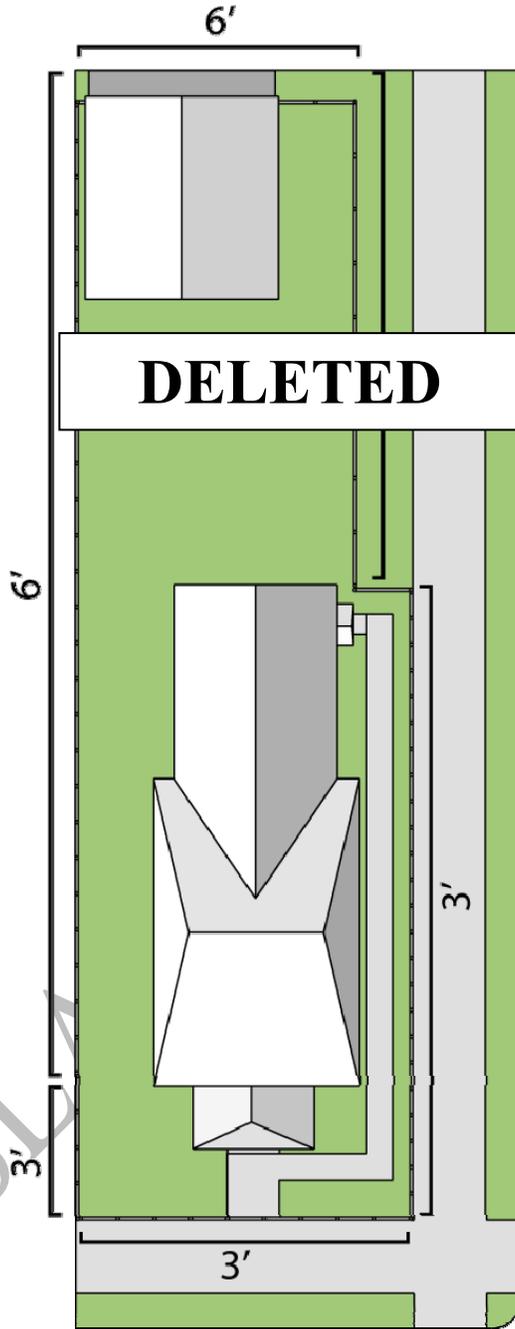


*Accessory Structure  
Regulations Diagram*

3. ~~Fences, Walls, And Retaining Walls:~~

a. ~~Fences: The following regulations of fences and walls shall apply:~~

- ~~(1) Fences In The Front Yard: No fence located in a required front yard may exceed three feet (3') in height.~~
- ~~(2) Fences In Corner Side Yards: No fence located in a corner side yard may exceed three feet (3') in height. Fences up to six feet (6') in height may be permitted if they are located between the rear property line and the building line of the rear facade of the building and located no closer to the corner side yard property line than the building facade.~~
- ~~(3) Fences In Side Yard And Rear Yards: No fence shall exceed six feet (6') in height.~~
- ~~(4) Permitted Materials: Fences and walls may be constructed of the following materials: wood, metal, stone or masonry. Vinyl and chainlink are permitted in the side and rear yards, but prohibited in the front and corner side yard. Barbed wire is prohibited.~~



*Fence Placement And  
Height Regulation Diagram*

4. Structures Not Listed: Accessory structures not listed in this chapter may be allowed as a special exception pursuant to chapter 21A.52 of this title.
5. District Specific Standards:

a. ~~Detached Dwelling Unit:~~

- ~~(1) Detached dwelling units may be built in a required yard as a stand-alone unit or attached to an accessory building, such as a garage.~~
- ~~(2) Detached dwelling units are only permitted with the urban house, two-family dwelling, and row house building forms.~~
- ~~(3) No accessory structure containing a detached dwelling unit shall exceed twenty five feet (25') in height.~~
- ~~(4) If a detached dwelling unit is built as a second level, the minimum setback from property line shall be a minimum of five feet (5').~~
- ~~(5) All building configuration standards that apply to the primary building form shall also apply to the detached dwelling unit, with the exceptions listed below:
  - ~~(A) The detached dwelling unit shall have an entry feature that faces a public alley;~~
  - ~~(B) The entry feature may be a stoop that has a minimum dimension of four feet by four feet (4' x 4'); and~~
  - ~~(C) The ground floor transparency requirement does not apply to detached dwelling units located on the second floor of an accessory structure.~~~~

M. ~~Parking Regulations:~~

- ~~1. Intent: The intent of parking regulations for the FB-UN zoning district is to provide necessary off street parking while limiting the amount of land dedicated to parking.~~
- ~~2. Minimum Parking Requirements: There are no minimum parking requirements for any use in the FB-UN zoning district.~~
- ~~3. Maximum Parking Requirements: The maximum parking requirements are equal to the minimum off street parking requirements found in section 21A.44.030, "Number Of Off Street Parking Spaces Required", of this title.~~
- ~~4. Parking Design Standards: Other than the parking standards identified in this section, all sections of chapter 21.44, "Off Street Parking, Mobility And Loading", of this title shall apply.~~
- ~~5. Bicycle Parking: Bicycle parking shall be as follows:~~

- a. ~~Residential Uses: One bicycle stall for every five (5) residential dwelling units. If four (4) or more bicycle stalls are provided, fifty percent (50%) of the stalls shall be located so they are available for public use.~~
- b. ~~Nonresidential Uses: One bicycle stall for every five hundred (500) square feet of usable floor area. At least fifty percent (50%) of bicycle parking stalls shall be located so they are available for public use.~~
- e. ~~Bicycle Stall Design Standards: All bicycle parking stalls shall comply with the following standards:
  - (1) ~~Each bicycle parking space shall be sufficient to accommodate a bicycle at least six feet (6') in length and two feet (2') wide.~~
  - (2) ~~Include some form of stable frame permanently anchored to a foundation to which a bicycle frame and both wheels may be secured using a locking device.~~
  - (3) ~~Bicycle parking for public use shall be located within twenty five feet (25') of a primary building entrance.~~
  - (4) ~~Bicycle parking for public use shall be located within twenty five feet (25') of a public sidewalk so parked bicycles can be seen from either a storefront window or street.~~
  - (5) ~~Bicycle parking shall be illuminated when located outside of enclosed building. Illumination may be provided by lights attached to the building, lights from inside the building or from other outdoor lighting.~~
  - (6) ~~A minimum five feet (5') of clear space shall be provided around the bicycle parking to allow for safe and convenient movement of bicycles.~~
  - (7) ~~Bicycle parking may be located inside of the principal building or an accessory structure that is legally located provided at least five percent (5%) of the required bicycle parking is located where it may be used by the public.~~~~

N. ~~Permitted Land Uses:~~

- 1. ~~Applicability: The table of permitted uses applies to all properties in the FB-UN zoning district:
  - a. ~~Permitted Uses: A use that contains a P in the specific subdistrict is permitted in that subdistrict. A use that is left blank in the specific subdistrict is not permitted.~~~~

- b. **Uses Not Listed:** Uses not listed are prohibited unless the zoning administrator has made an administrative interpretation that a proposed use is more similar to a listed permitted use than any other defined use.
- c. **Other Uses:** A use specifically listed in any other land use table in this title that is not listed in this section is prohibited.
- d. **Building Form:** Uses that are included in the description of each building form are permitted in the subdistrict where the building form is permitted.

TABLE 21A.27.050N  
PERMITTED USES

Use	FB-UN1	FB-UN2
Accessory use, except those that are specifically regulated in this chapter, or elsewhere in this title	P	P
Alcohol:		
Liquor store		P
Microbrewery		P
Social club		P
Tavern or brewpub, 2,500 square feet or less in floor area		P
Animal, veterinary office		P
Antenna, communication tower		P
Art gallery		P
Bed and breakfast	P	P
Bed and breakfast inn	P	P
Bed and breakfast manor	P	P
Clinic (medical, dental)		P
Community garden	P	P
Community recreation center		P
Daycare center, adult		P
Daycare center, child		P
Dwelling:		

Assisted living facility (large)		P
Assisted living facility (small)	P	P
Group home (large)		P
Group home (small) when located above or below first story office, retail, or commercial use, or on the first story where the unit is not located adjacent to street frontage		P
Multi-family		P
Residential substance abuse treatment home (large)		P
Residential substance abuse treatment home (small)		P
Rooming (boarding) house		P
Single-family attached	P	P
Single-family detached	P	P (If part of cottage development)
Single room occupancy		P
Transitional victim home (large)		P
Transitional victim home (small)		P
Two-family	P	
Eleemosynary facility		P
Farmers' market		P
Financial institution		P
Food processing		P
Funeral home		P
Health and fitness facility		P
Hotel/motel		P
House museum in landmark site	P	P
Laboratory (medical, dental, optical)		P
Library		P
Mixed use developments including residential and other uses		P

allowed in the zoning district		
Museum		P
Nursing care facility		P
Office		P
Office and/or reception center in landmark site		P
Open space	P	P
Park	P	P
Parking, off site	P <sup>+</sup>	P <sup>+</sup>
Place of worship		P
Plazas	P	P
Recreation (indoor)		P
Research and development facility		P
Research facility (medical/dental)		P
Restaurant		P
Retail goods establishment		P
Retail goods establishment, plant and garden shop with outdoor retail sales area		P
Retail service establishment		P
Sales and display (outdoor)		P
School:		
College or university		P
Music conservatory		P
Professional and vocational		P
Seminary and religious institute		P
Seasonal farm stand		P
Solar array		P
Store, specialty		P
Studio, art		P

Theater, movie		P
Urban farm	P	P
Utility, building or structure	P	P
Utility, transmission wire, line, pipe, or pole	P	P
Vending cart, private property		P
Wireless telecommunications facility (see section 21A.40.090, table 21A.40.090E of this title)		P

Note:

1. ~~Parking, off site is only permitted on parcels that contain a principal building and shall comply with the parking requirements identified in the building form standards section of this chapter. No principal building shall be demolished to accommodate off site parking.~~

SECTION 3. Adopting Section 21A.33.080. That Section 21A.33.080 of the *Salt Lake City Code* (Zoning: Land Use Tables: Table of Permitted and Conditional Uses in Form Based Districts), shall be, and hereby is adopted to read and appear as follows:

**21A.33.080 TABLE OF PERMITTED USES IN FORM BASED CODE DISTRICTS**

*Note: Uses which are not listed in the following table are not permitted in any form based code zoning district.*

Legend:	P = Permitted	C = Conditional
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Use	Permitted Uses by District			
	FB-UN1	FB-UN2	FB-SC	FB-SE
<u>Accessory use, except those that are specifically regulated in this chapter, or elsewhere in this title</u>	P	P	P	P
<u>Alcohol:</u>				
<u>Liquor store</u>		P	P	P
<u>Microbrewery</u>		P	P	P
<u>Social club</u>		P	P	C
<u>Tavern or brewpub, 2,500 square feet or less in floor area</u>		P	P	C
<u>Animal, veterinary office</u>		P	P	P
<u>Antenna, communication tower</u>		P	P	P

<u>Art gallery</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Bed and breakfast</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>
<u>Bed and breakfast inn</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>
<u>Bed and breakfast manor</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>
<u>Clinic (medical, dental)</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Community garden</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>
<u>Community recreation center</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Daycare center, adult</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Daycare center, child</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Dwelling:</u>				
<u>Assisted living facility (limited capacity)</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>
<u>Assisted living facility (small)</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Group home (large)</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Group home (small) when located above or below first story office, retail, or commercial use, or on the first story where the unit is not located adjacent to street frontage</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Multi-family</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Residential substance abuse treatment home (large)</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Residential substance abuse treatment home (small)</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Residential support (large)</u>		<u>P</u>		
<u>Residential support (small)</u>		<u>P</u>		
<u>Rooming (boarding) house</u>		<u>P</u>		
<u>Single-family attached</u>	<u>P</u>	<u>P</u>		<u>P</u>
<u>Single-family detached</u>	<u>P</u>			
<u>Single-family detached (Cottage Development building form only)</u>		<u>P</u>		<u>P</u>
<u>Single room occupancy</u>		<u>P</u>		
<u>Transitional victim home (large)</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Transitional victim home (small)</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Two-family</u>	<u>P</u>			
<u>Eleemosynary facility</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Farmers' market</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Financial institution</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Food processing</u>		<u>P</u>		
<u>Funeral home</u>		<u>P</u>	<u>P</u>	<u>P</u>

<u>Health and fitness facility</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Hotel/motel</u>		<u>P</u>	<u>P</u>	
<u>House museum in landmark site</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>
<u>Laboratory (medical, dental, optical)</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Library</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Mixed use developments including residential and other uses allowed in the zoning district</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Museum</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Nursing care facility</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Office</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Office and/or reception center in landmark site</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Open space</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>
<u>Park</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>
<u>Parking, off site</u>	<u>P<sup>1</sup></u>	<u>P<sup>1</sup></u>	<u>P<sup>1</sup></u>	<u>P<sup>1</sup></u>
<u>Photo finishing lab</u>			<u>P</u>	<u>P</u>
<u>Place of worship</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Plazas</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>
<u>Recreation (indoor)</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Research and development facility</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Research facility (medical/dental)</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Restaurant</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Retail goods establishment</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Retail goods establishment, plant and garden shop with outdoor retail sales area</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Retail service establishment</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Sales and display (outdoor)</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>School:</u>				
<u>College or university</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Music conservatory</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Professional and vocational</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Seminary and religious institute</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Seasonal farm stand</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Solar array</u>		<u>P</u>	<u>P</u>	<u>P</u>
<u>Store, specialty</u>		<u>P</u>	<u>P</u>	<u>P</u>

Studio, art		<u>P</u>	<u>P</u>	<u>P</u>
Studio, dance		<u>P</u>	<u>P</u>	<u>P</u>
Theater, movie		<u>P</u>	<u>P</u>	<u>P</u>
Urban farm	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>
Utility, building or structure	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>
Utility, transmission wire, line, pipe, or pole	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>
Vending cart, private property		<u>P</u>	<u>P</u>	<u>P</u>
Wireless telecommunications facility (see Section 21A.40.090, Table 21A.40.090.E of this title)		<u>P</u>	<u>P</u>	<u>P</u>

SECTION 4. Adopting Section 21A.46.096. That Section 21A.46.096 of the *Salt Lake City Code* (Zoning: Signs: Sign Regulations for Form Based Districts), shall be, and hereby is adopted to read and appear as follows:

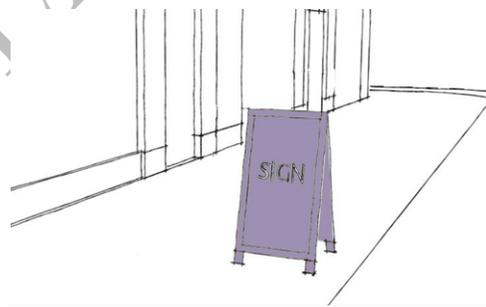
**21A.46.096: SIGN REGULATIONS FOR FORM BASED CODE DISTRICTS:**

The following regulations shall apply to signs permitted in the form based code zoning districts. Any sign not expressly permitted by these district regulations is prohibited.

A. Sign Regulations for the Form Based Code Districts:

1. Purpose: Sign regulations for the form based code zoning districts are intended to provide appropriate signage oriented primarily to pedestrian and mass transit traffic.
2. Applicability: This subsection applies to all signs located within the form based code zoning districts. This subsection is intended to list all permitted signs in the zone. All other regulations in chapter 21A.46, "Signs", of this title shall apply.

B. Sign Type, Size and Height Standards:



1. A-Frame Sign

<u>Sign Type</u>	<u>FB-UN1</u>	<u>FB-UN2</u>	<u>FB-SC</u>	<u>FB-SE</u>	<u>Specifications</u>	
<u>A-frame sign</u>		<u>P</u>	<u>P</u>	<u>P</u>	<u>Quantity</u>	<u>1 per leasable space. Leasable spaces on corners may have 2.</u>
					<u>Width</u>	<u>Maximum of 2 feet. Any portion of the frame (the support structure) may extend up to 6 inches in any direction beyond the sign face.</u>
					<u>Height</u>	<u>Maximum of 3 feet. Any portion of the frame (the support structure) may extend up to 6 inches in any direction beyond the sign face.</u>
					<u>Placement</u>	<u>On public sidewalk or private property.</u>
					<u>Obstruction Free Area</u>	<u>Minimum of 8 feet must be maintained at all times for pedestrian passage.</u>



2. Awning or Canopy Sign

<u>Sign Type</u>	<u>FB-UN1</u>	<u>FB-UN2</u>	<u>FB-SC</u>	<u>FB-SE</u>	<u>Specifications</u>	
<u>Awning or canopy sign</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>Quantity</u>	<u>1 per window.</u>
					<u>Width</u>	<u>Equal to the width of the window.</u>
					<u>Projection</u>	<u>No maximum depth from building facade, however design subject to mitigation of rainfall and snowfall runoff, conflict avoidance with tree canopy, and issuance of encroachment permits where required. The awning or canopy can project a maximum of 2 feet into a special purpose corridor.</u>

					<u>Clearance</u>	<u>Minimum of 10 feet of vertical clearance.</u>
					<u>Letters and logos</u>	<u>Allowed on vertical portions of sign only.</u>
					<u>Location Permitted</u>	<u>Private property or a public street. Signs can face a special purpose corridor but must be located on private property. All signs are subject to the requirements of the revocable lease permitted process.</u>

### 3. Construction Sign

<u>Sign Type</u>	<u>FB-UN1</u>	<u>FB-UN2</u>	<u>FB-SC</u>	<u>FB-SE</u>	<u>Specifications</u>	
<u>Construction sign (see definition in chapter 21A.46 of this title)</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>Quantity</u>	<u>1 per construction site</u>
					<u>Height</u>	<u>Maximum of 8 feet</u>
					<u>Area</u>	<u>Maximum of 64 square feet</u>
					<u>Location Permitted</u>	<u>Private property or a public street. Signs can face the special purpose corridor, but must be located on private property.</u>



### 4. Flat Sign

<u>Sign Type</u>	<u>FB-UN1</u>	<u>FB-UN2</u>	<u>FB-SC</u>	<u>FB-SE</u>	<u>Specifications</u>	
<u>Flat sign</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>Quantity</u>	<u>1 per leasable space. Leasable spaces on corners may have 2</u>
					<u>Width</u>	<u>Maximum of 90% of width of leasable space</u>
					<u>Height</u>	<u>Maximum of 3 feet</u>

					<u>Area</u>	<u>1½ square feet per linear foot of store frontage</u>
					<u>Projection</u>	<u>Maximum of 1 foot</u>



5. Nameplate Sign

<u>Sign Type</u>	<u>FB-UN1</u>	<u>FB-UN2</u>	<u>FB-SC</u>	<u>FB-SE</u>	<u>Specifications</u>	
<u>Nameplate sign</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>Quantity</u>	<u>1 per leasable space. Leasable spaces on corners may have 2</u>
					<u>Area</u>	<u>Maximum of 3 square feet</u>

6. Private Directional Sign

<u>Sign Type</u>	<u>FB-UN1</u>	<u>FB-UN2</u>	<u>FB-SC</u>	<u>FB-SE</u>	<u>Specifications</u>	
<u>Private directional sign (see definition in chapter 21A.46 of this title)</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>Quantity</u>	<u>No limit</u>
					<u>Height</u>	<u>Maximum of 5 feet</u>
					<u>Area</u>	<u>Maximum of 8 square feet</u>
					<u>Restriction</u>	<u>May not contain business name or logo</u>
					<u>Location Permitted</u>	<u>Private property or public street. Signs can face the special purpose corridor but must be located on private property. All signs are subject to the requirements of the revocable lease permitting process.</u>



7. Projecting Sign

<u>Sign Type</u>	<u>FB-UN1</u>	<u>FB-UN2</u>	<u>FB-SC</u>	<u>FB-SE</u>	<u>Specifications</u>	
<u>Projecting sign</u>		<u>P</u>	<u>P</u>	<u>P</u>	<u>Quantity</u>	<u>1 per leasable space. Leasable spaces on corners may have 2</u>
					<u>Clearance</u>	<u>Minimum of 10 feet above sidewalk/walkway</u>
					<u>Area</u>	<u>6 square feet per side, 12 square feet total</u>
					<u>Projection</u>	<u>Maximum of 4 feet from building façade</u>
					<u>Location Permitted</u>	<u>Private property or public street. Signs can face the special purpose corridor but must be located on private property. All signs are subject to the requirements of the revocable lease permitting process.</u>

8. Projecting Parking Entry Sign

<u>Sign Type</u>	<u>FB-UN1</u>	<u>FB-UN2</u>	<u>FB-SC</u>	<u>FB-SE</u>	<u>Specifications</u>	
<u>Projecting sign (see project sign graphic)</u>			<u>P</u>	<u>P</u>	<u>Quantity</u>	<u>One per parking entry.</u>
					<u>Clearance</u>	<u>Minimum of 10 feet above sidewalk/walkway</u>
					<u>Height</u>	<u>Maximum of 2 feet.</u>
					<u>Area</u>	<u>4 square feet per side, 8 square feet total</u>
					<u>Projection</u>	<u>Maximum of 4 feet from building façade for public and private streets. Maximum of two feet within the special purpose corridor.</u>
					<u>Location Permitted</u>	<u>Private property or public street. Signs can face the special purpose corridor but must be located on private property. All signs are subject to the requirements of the revocable lease permitting process.</u>

9. Public Safety Sign

<u>Sign Type</u>	<u>FB-UN1</u>	<u>FB-UN2</u>	<u>FB-SC</u>	<u>FB-SE</u>	<u>Specifications</u>	
<u>Public safety sign</u> (see definition in chapter 21A.46 of this title)	P	P	P	P	<u>Quantity</u>	<u>No limit</u>
					<u>Height</u>	<u>Maximum of 6 feet</u>
					<u>Area</u>	<u>8 square feet</u>
					<u>Projection</u>	<u>Maximum of 1 foot</u>
					<u>Location Permitted</u>	<u>Private property or public street. Signs can face the special purpose corridor but must be located on private property. All signs are subject to the requirements of the revocable lease permitting process.</u>



10. Real Estate Sign

<u>Sign Type</u>	<u>FB-UN1</u>	<u>FB-UN2</u>	<u>FB-SC</u>	<u>FB-SE</u>	<u>Specifications</u>	
<u>Real estate sign</u>	P	P			<u>Quantity</u>	<u>1 per leasable space. Leasable spaces on corners may have 2</u>
					<u>Height</u>	<u>Maximum of 12 feet</u>
					<u>Area</u>	<u>32 square feet</u>
					<u>Location Permitted</u>	<u>Private property or public street. Signs can face the special purpose corridor but must be located on private property. All signs are subject to the requirements of the revocable lease permitting process.</u>



11. Window Sign

<u>Sign Type</u>	<u>FB-UN1</u>	<u>FB-UN2</u>	<u>FB-SC</u>	<u>FB-SE</u>	<u>Specifications</u>	
<u>Window sign</u>		P	P	P	<u>Quantity</u>	<u>1 per window</u>
					<u>Height</u>	<u>Maximum of 3 feet</u>
					<u>Area</u>	<u>Maximum of 25% of window area</u>

SECTION 5. Amending the Zoning Map. That the Salt Lake City Zoning Map, as adopted by the Salt Lake City Code, relating to the fixing of boundaries and zoning districts, shall be and hereby is amended to rezone the properties shown respectively in the map attached hereto as Exhibit “B” from their current designations to Form Based Special Purpose Corridor District (FB-SC and FB-SE).

SECTION 6. Amending Subsection 21A.44.030.G.2 of Salt Lake City Code. That Table 21A.44.030.G.2 of the *Salt Lake City Code* (Zoning: Table of District Specific Minimum Off Street Parking Requirements), shall be, and hereby is, amended to include the following in the table, which shall read and appear as follows:

2. District Specific Minimum Requirements:

TABLE OF DISTRICT SPECIFIC MINIMUM OFF STREET PARKING REQUIREMENTS

District	Land Use	Minimum
D-1, D-2, D-4	Residential	1/2 space per dwelling unit
	Nonresidential	No spaces required up to 25,000 square feet usable floor area. One space per 1,000 usable square feet over 25,000 square feet thereafter.
D-3, GMU	Residential	1/2 space per dwelling unit. 1 space per single family, two family and twin home dwellings.
	Nonresidential	No spaces required up to 10,000 square feet usable floor area. One space per 1,000 usable square feet over 10,000 square feet thereafter.
TSA Core	All uses	No spaces required.
TSA Transition	All uses	50% of required in table 21A.44.030 minimum requirements.
<u>FB-SC</u>	<u>All uses</u>	<u>No spaces required.</u>
<u>FB-SE</u>	<u>All uses</u>	<u>50% of required in table 21A.44.030 minimum requirements.</u>
<u>FB-UN</u>	<u>All uses</u>	<u>No spaces required.</u>
MU, RMU	Residential	1/2 space per multifamily dwelling unit. 1 space per single family, two family and twin home dwellings.
RMU-35	Residential	1 space per dwelling unit.
RMU-45	Residential	1 space per dwelling unit.
CB	Residential	1 space per dwelling unit.
CN	Residential	1 space per dwelling unit.

SR-3	Residential	1 space per dwelling unit
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Note: Any use or district not listed in this subsection 21A.44.030.G.2, “Table of District Specific Off Street Parking Requirements”, will refer to the minimum requirement in Table 21A.44.030.

SECTION 7. Amending Subsection 21A.44.030.H.2 of Salt Lake City Code. That Section 21A.44.030.H.2 of the *Salt Lake City Code* (Zoning: Maximum Off Street Parking Allowance), shall be, and hereby is, amended to include the following in the table, which shall read and appear as follows:

2. District Specific Maximum Allowance:

TABLE OF DISTRICT SPECIFIC MAXIMUM PARKING ALLOWANCE

District	Land Use	Maximum
D-1, D-2, D-4	Residential	Equivalent to minimum
	Nonresidential	Up to 25 spaces for first 25,000 square feet. No more than 1 space per 1,000 square feet thereafter.
D-3, GMU	Residential	Equivalent to minimum
	Nonresidential	Up to 10 spaces for first 10,000 square feet. No more than 1 space per 1,000 square feet thereafter.
TSA Core	Residential	1 space per dwelling unit.
	Nonresidential	3 spaces for every 1,000 usable square feet.
TSA Transition	Residential	1½ spaces per dwelling unit.
	Nonresidential	3 spaces for every 1,000 usable square feet.
<u>FB-SC, FB-SE</u> <sup>1</sup>	<u>All uses</u>	<u>The maximum parking requirements are equal to the minimum off street parking</u>

		<u>requirements found in section 21A.44.030, "Number of Off Street Parking Spaces Required", of this title.</u>
<u>FB-UN</u>	<u>All uses</u>	<u>The maximum parking requirements are equal to the minimum off street parking requirements found in section 21A.44.030, "Number of Off Street Parking Spaces Required", of this title.</u>
M-1, M-2, BP, AIRPORT	All uses	No maximum for any property located West of the centerline of Redwood Road

Note:

With the exception of the zones listed above in subsection 21A.44.030.H.2, "Table of District Specific Maximum Parking Allowance", single-family and two-family residential uses are limited to four (4) outdoor off street parking spaces, including parking for recreational vehicles as identified in Section 21A.44.020.G.

Qualifying provisions:

- <sup>1</sup> Parking in excess of the maximum allowed may be granted as a special exception subject to the special exception standards in Chapter 21A.52. The maximum parking requirement does not apply to parking structures or garages that are serve multiple parcels or uses or structures that provide off site parking.

SECTION 8. Effective Date. This ordinance shall become effective on the date of its first publication.

Passed by the City Council of Salt Lake City, Utah, this \_\_\_\_\_ day of \_\_\_\_\_, 2016.

\_\_\_\_\_  
CHAIRPERSON

ATTEST AND COUNTERSIGN:

\_\_\_\_\_  
CITY RECORDER

Transmitted to Mayor on \_\_\_\_\_.

Mayor's Action: \_\_\_\_\_ Approved. \_\_\_\_\_ Vetoed.

\_\_\_\_\_  
MAYOR

\_\_\_\_\_  
CITY RECORDER  
(SEAL)

Bill No. \_\_\_\_\_ of 2016.  
Published: \_\_\_\_\_.

HB\_ATT#32667-v8-Ordinance\_Streetcar\_Corridor\_Zoning\_and\_MP.DOCX

LEGISLATIVE VERSION