

NEW PORCH

PETER BIGAREL

10505 RIVER RIDGE RD.
KNOXVILLE, TN 37922

FALCONNIER DESIGN CO.

FALCONNIER
DESIGN COMPANY

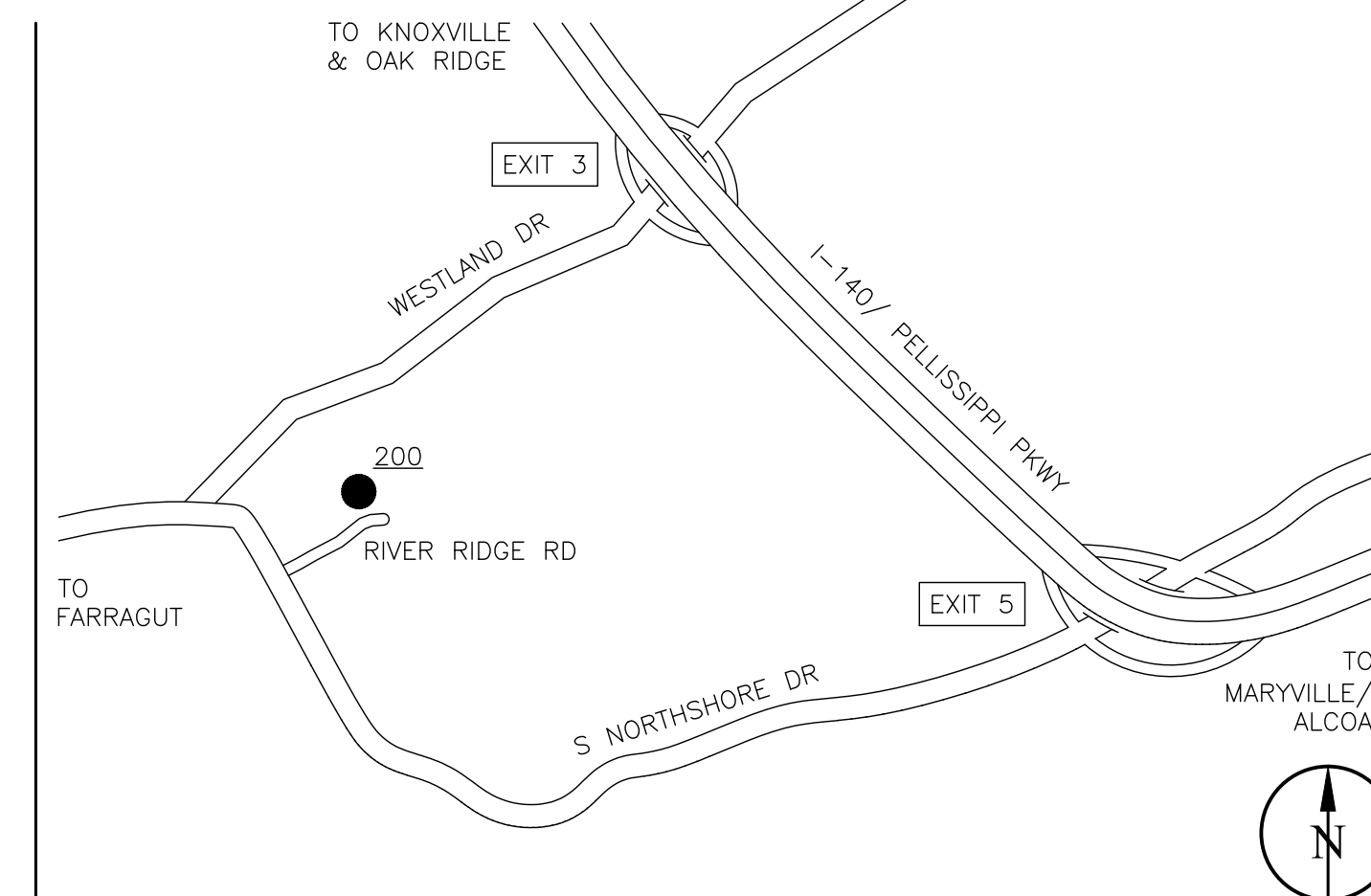
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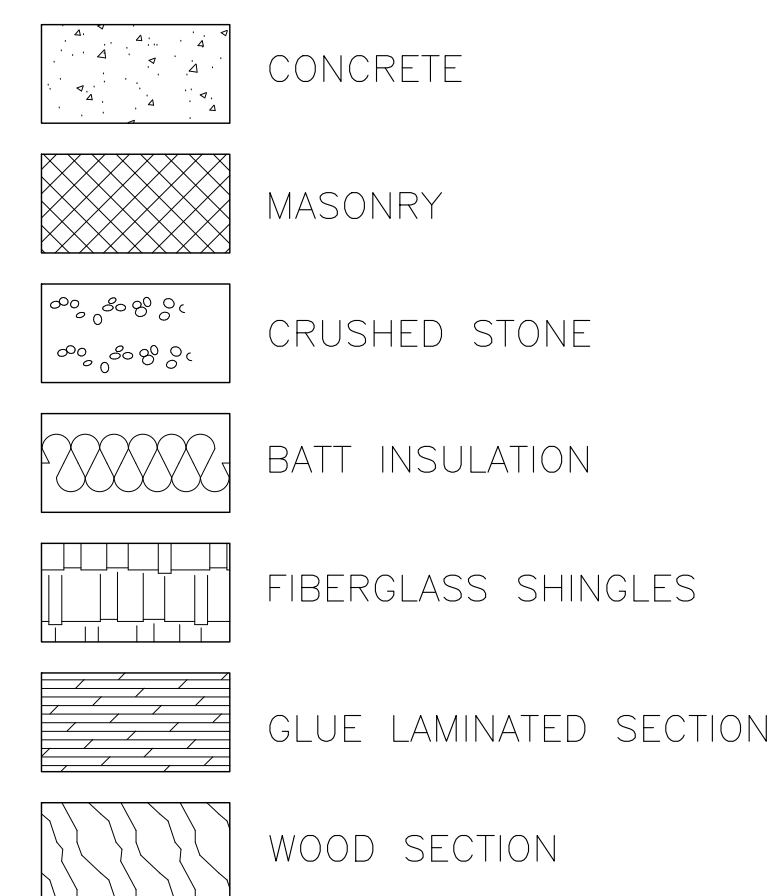
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LOCATION PLAN



MATERIAL INDICATIONS



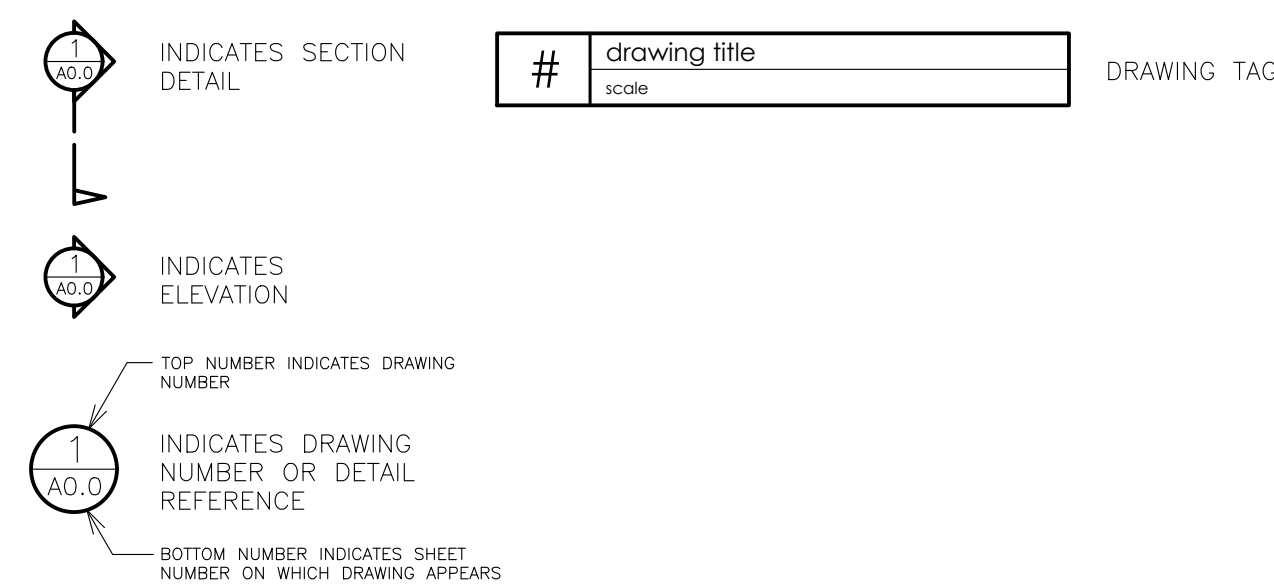
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ISSUE RECORD

ISSUE	DATE	REV	DESCRIPTION	SHEET NO.
0.1	01/12/21	~	OWNER REVIEW	ALL
1	03/16/21	~	PLANS REVIEW & PERMITTING	ALL

DRAWING SYMBOLS



ABBREVIATIONS

ABV ABOVE	BR BRUSH (ED)	CONST CONSTRUCTION CONTINUE (IOUS)	EA EACH FACE	FR FIRE RETARDANT	HD HEAVY DUTY	LEV LEVEL	MID MOLDING	PL PLATE	RMG REINFORCED MASONRY GROUT	SD STORM DRAIN	V VENT
AP ABOVE FINISHED FLOOR	BLDG BUILDING	CONTR CONTRACTOR	EF EACH WAY	FKT FLASHING	HOT HEIGHT	LTMT LIGHTWEIGHT	MTD MOUNTED	PVC POLYVINYL CHLORIDE	RO ROUGH OPENING	STRUC STRUCTURAL	V-J V-JOINT
AP ACCESS PANEL	BUR BUILT UP ROOFING	CJ CONTROL JOINT	E EAST	FLX FLEXIBLE	HM HOLLOW METAL	LIN LINEN	MUL MULLION	PCF POUNDS PER CUBIC FOOT	RT RUBBER TILE	SUSP SUSPENDED	VNR VENEER
ACUST ACOUSTICAL	BBB BULLETIN BOARD	CONV CONVENTIONAL	EFS EXTERIOR INSULATION & FINISH SYSTEM	FLR FLOOR (NG)	HORIZ HORIZONTAL	LTL LITEL	FLR FLOOR	PSF POUNDS PER SQUARE FOOT	SCHED SCHEDULE	SUSV SERVICE	VERT VERTICAL
ACT ACOUSTICAL TILE	CB CATCH BASIN	COORD COORDINATE (ION)	ELEC ELECTRIC (AL)	FD FLOOR DRAIN	HR HOUR	LL LIVE LOAD	FLR FLOOR	PSF POUNDS PER SQUARE FOOT	SECT SECTION	SYS SYSTEM	VEST VESTIBULE
ADD ADDENDUM	CABT CABINET	CG CORNER GUARD	EWC ELECTRIC WATER COOLER	FLUR FLOOR	LKR LOCKER	LLH LONG LEG HORIZONTAL	NAT NATURAL	PC PRECAST CONCRETE	SEP SEPARATE	S/S SAND & SEAL	VB VINYL BASE
ADJ ADJUSTABLE	CPT CARPET (ED)	CORRUG CORRUGATED	ELEV ELEVATION	FT FOOT/FEET	LLV LONG LEG VERTICAL	LLV LONG LEG VERTICAL	NOM NOMINAL	PC PREFABRICATED	SERV SERVICE	TEL TELEPHONE	VIF VERIFY IN FIELD
A/C AIR CONDITIONER (ING)	CI CAST IRON	CS COUNTER SINK	EMER EMERGENCY	FTG FOOTING	LLV LONG LEG VERTICAL	LLV LONG LEG VERTICAL	NONCOMB NONCOMBUSTIBLE	PREFAB PREFABRICATED	SS SERVICE SINK	TV TELEVISION	VCT VINYL COMPOSITION TILE
ACC ACCESSIBLE	CB CATCH BASIN	CU.FT. CUBIC FOOT/FEET	ENCL ENCLOSURE	FOUND FOUNDATION	INSUL INSULATE (D)(ING)	INSUL INSULATE (D)(ING)	N NORTH	PRENS PREENGINEERED	PSC PRESTRESSED CONCRETE	TEMP TEMP	VT VINYL TILE
AL ALTERNATE	CEM CEMENT	CU.YD. CUBIC YARD	EPM ETHYLENE PROPYLENE DIENE MONOMER	FR FRAME/FRENCH	INT INTERIOR	INT INTERIOR	NIC NOT IN CONTRACT	PT PRESSURE TREATED	SH SHELF (WING)/SINGLE HUNG	TERM TERMINATE (ION)	VTR VENT THROUGH ROOF
ALUM ALUMINUM	CTR CENTER	CW COLD WATER	EQ EQUAL	FUR FURRED (ING)	INT INTERMEDIATE	INT INTERMEDIATE	N/S NOT TO SCALE	SHWR SHOWER	SHWR SHOWER	TERR TERRAZZO	VWC VINYL WALLCOVERING
ANC ANCHOR (AGE)	DEAD LOAD	DEAD LOAD	EQU EQUIPMENT	FUT FUTURE	INV INVERT	INV INVERT	N OR # NUMBER	QT QUARRY TILE	SIM SIMILAR	THK THICK (NESS)	WSC WAINSCOT
AB ANCHOR BOLT	DEMO DEMOLISH (TION)	DEMO DEMOLISH (TION)	EST ESTIMATE	GA GAGE/GAUGE	JAN JANITOR	JAN JANITOR	OC ON CENTER (S)	QTR QUARTER	SGL SINGLE	TOL TOLERANCE	WC WALK IN CLOSET
AND ANODIZED	DEPT DEPARTMENT	DEPT DEPARTMENT	EXX EXISTING	GALV GALVANIZED	JC JANITOR CLOSET	JC JANITOR CLOSET	OPNG OPENING	RAD RADIUS	SL SLOPE	T&G TONGUE & GROOVE	WH WATER HEATER
APA AMERICAN PLYWOOD ASSOC.	DES DESIGN	DES DESIGN	EXST EXISTING	GEN GENERAL	JT JOIST	JT JOIST	OPP OPPOSITE	REF REFERENCE/REFER	SC SOLID CORE	T.O.B. TOP OF BEAM	WH WATER HEATER
APPROX APPROXIMATE	DET DETAIL	DET DETAIL	EXPN EXPANSION	GC GENERAL CONTRACTOR	KIT KITCHEN	KIT KITCHEN	OD OUTSIDE DIAMETER	REF REFERENCE/REFER	SP SOUND PROOF	T.O.C. TOP OF CURB	WH WATER HEATER
ARCH ARCHITECT (URAL)	DAG DIAGONAL	DAG DIAGONAL	EXPAN EXPANSION	GLASS/GLAZING	KIT KITCHEN	KIT KITCHEN	OA OVERALL	REFL REFLECTED	STC SOUND TRANSMISSION CLASS	T.O.J. TOP OF JOIST	WP WATER PROOFING
AD AREA DRAIN	DIA DIAMETER	DIA DIAMETER	EB EXPANSION BOLT	GL GRAB BAR	KNOCK OUT	KNOCK OUT	OH OVERFLOW DRAIN	REFR REFRIGERATOR (ED)	S SOUTH	T.O.M. TOP OF MASONRY	WR WATER RESISTANT
ASSEM ASSEMBLY (IES)	DIM DIMENSION	DIM DIMENSION	EJ EXPANSION JOINT	GRAB BAR	KNOCK OUT	KNOCK OUT	OH OVERHEAD/OVERHANG	REFR REFRIGERATOR (ED)	S SOUTH	T.O.M. TOP OF MASONRY	WR WATER RESISTANT
AUTO AUTOMATIC	DW DISH WASHER	DW DISH WASHER	EXP EXPOSED	GRD GRADE (NG)	MC MECHANICAL	MC MECHANICAL	OZ OUNCE	REG REG	SEP SEPARATE	T.O.SL. TOP OF SLAB	WS WATER STOP
BS BACKSPASH	DISP DISPOSAL	DISP DISPOSAL	EXT EXTERIOR	GRV GRAVEL	MC MEDICINE CABINET	MC MEDICINE CABINET	PTNT PAINT (ED)	REIN REINFORCE (D)(ING)	SQ SQUARE	T.O.S. TOP OF STEEL	WT WEIGHT
BSMT BASEMENT	DND DIVISION	DND DIVISION	ETR EXISTING TO REMAIN	GRD GROUND	MEM MEMBER	MEM MEMBER	PR PAIR	REQ'D REQUIRED	SQ.F. SQUARE FOOT/FEET	T.O.W. TOP OF WALL	WWM WELDED WIRE MESH
BM BEAM	DR DOOR	DR DOOR	FIN FINISH (ED)	GYP GYPSUM	MET METAL	MET METAL	PNL PANEL	RESIL RESILIENT	SQ.IN. SQUARE INCH (S)	T.O.P. TOP OF PARAPET	W WEST/WASHER
BRG BEARING	DR DOUBLE	DR DOUBLE	FFE FINISHED FLOOR ELEVATION	GPB GYPSUM BOARD	MT METAL THRESHOLD	MT METAL THRESHOLD	PNL PANEL	RSFL RESILIENT SHEET FLOORING	SQ.YD. SQUARE YARD (S)	T&P TEMPERATURE & PRESSURE	WDW WINDOW
BETW BETWEEN	DN DOWN	DN DOWN	FA FIRE ALARM/FRESH AIR	HW HARDWARE	LAM LAMINATE (D)	LAM LAMINATE (D)	PAR PARAPET	RET RETURN	SSST STAINLESS STEEL	T TRASH COMPACTOR	WG WIRE GLASS
BEVL BEVEL (ED)	DS DOWNPOUT	DS DOWNPOUT	FE FIRE EXTINGUISHER	HW HARDWARE	LARGE LARGE	LARGE LARGE	PART PARTIAL	RA RETURN AIR	STAG STAGGER (ED)	T TREAD	WM WIRE MESH
BIT BITUMINOUS	DWR DRAWER	DWR DRAWER	FE FIRE EXTINGUISHER CABINET	HTG HEATING	LAUN LAUNDRY	LAUN LAUNDRY	PTH PARTITION	REV REVISION (S)/REVISED	STD STANDARD	TRYP TYPICAL	W/W WITH
BLK BLOCK	DWG DRAWING	DWG DRAWING	FHC FIRE HOSE CABINET	HTG HEATING	LAV LAVATORY	LAV LAVATORY	PVMT PAVEMENT	RH RIGHT HAND	STA STATION	UC UNDERCOUNTER	W/O WITHOUT
BLKG BLOCKING	DF DRINKING FOUNTAIN	DF DRINKING FOUNTAIN	FP FIREPLACE	HAC HTG, VENT, AIR. COND.	LH LEFT HAND	LH LEFT HAND	PLAS PLASTER	R RISER	STL STEEL	UNFIN UNFINISHED	WI WROUGHT IRON
BD BOARD	D DRYER	D DRYER		HYD HYDRANT			PLAM PLASTIC LAMINATE	RD ROOF DRAIN	UND UNLESS NOTED OTHERWISE	URNL URINAL	YD YARD
BOT BOTTOM	DUR DURATION	DUR DURATION						RM ROOM	STOR STORAGE		

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COVER SHEET & PROJECT DATA

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DRAWN BY:	AG/GHF
CHECKED BY:	DAF
ISSUED:	03/16/21
REVISION(S):	
FILE:	2020-069

G-001

GENERAL NOTES AND SPECIFICATIONS

- ALL NEW CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL BUILDING CODES AND RESTRICTIVE ORDINANCES FOR CONSTRUCTION, PLUMBING, ELECTRICAL, MECHANICAL, AND FIRE PROTECTION SYSTEMS.
- DO NOT SCALE THESE DRAWINGS. WORK TO ALL DIMENSIONS.
- THE INTENT OF THESE DRAWINGS IS TO PROVIDE THE BUILDER WITH GENERAL GUIDELINES FOR THE SOUND CONSTRUCTION OF THE STRUCTURE INDICATED WITHIN. DEVIATIONS FROM THESE DRAWINGS ARE AT THE OWNER/CONTRACTOR'S RISK UNLESS APPROVED IN WRITING, AND WITH SUPPLEMENTARY DRAWINGS FROM ARCHITECT.
- IT IS RECOMMENDED THAT THE SERVICES OF A REGISTERED LAND SURVEYOR BE EMPLOYED FOR THE PROPER PLACEMENT OF THE STRUCTURES IN RELATION TO PROPERTY LINES, SETBACK LINES, EASEMENTS, ETC.
- OWNER/CONTRACTOR TO SECURE AND PAY FOR ALL NECESSARY FEES AND PERMITS FOR CONSTRUCTION, ELECTRICAL INSPECTIONS, ETC.
- DIMENSIONS INDICATED ON DRAWINGS ARE TO OUTSIDE FACE OF EXTERIOR CONCRETE BLOCK, CAST-IN-PLACE WALL, OR STUD WALL TO CENTERLINE OF INTERIOR STUDS AND COLUMNS UNLESS NOTED OTHERWISE.
- IT IS THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR TO CHECK THE LOCAL AND STATE BUILDING CODES, SUB-DIVISION RESTRICTIONS AND HEALTH DEPARTMENT GUIDELINES AND ADHERE TO THEIR REQUIREMENTS.
- ANY DISCREPANCIES CONTAINED WITHIN THESE DRAWINGS ARE TO BE IMMEDIATELY REPORTED TO ARCHITECT.
- PROVIDE TEMPORARY SETTLING BASINS, HAYBALES, AND OTHER METHODS AS APPROPRIATE TO FILTER WATER AT ALL AREAS WHERE STORM WATER LEAVES THE PROJECT. CLEAN UP ALL SOIL WHICH FLOWS OFF-SITE AT THE END OF EACH DAY.
- ALL EXISTING SITE CONDITIONS ARE TO BE VERIFIED BY OWNER/CONTRACTOR BEFORE START OF CONSTRUCTION.
- OWNER/CONTRACTOR TO PROVIDE BUILDING WITH CHEMICAL BARRIER TO PROTECT AGAINST SUBTERRANEAN TERMITE ATTACK.
- LANDSCAPING TO BE PROVIDED BY OTHERS.
- EXCAVATE AS REQUIRED BY NEW CONSTRUCTION, PLUS SUFFICIENT SPACE TO PERMIT ERECTION OF FORMS, SHORING, WATERPROOFING, MASONRY, AND THE INSPECTIONS OF FOUNDATIONS. BOTTOMS OF FOOTINGS AND TRENCHES SHALL BE CUT TRUE AND SQUARE. KEEP EXCAVATIONS FREE FROM WATER AT ALL TIMES.
- THE DESIGN ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, ETC. FOR ALL WORK DONE BY THE OWNER/CONTRACTOR IS THE SOLE RESPONSIBILITY OF THE OWNER/CONTRACTOR. WALLS WHICH SUPPORT JOISTS, RAFTERS, ETC., AND ARE Laterally SUPPORTED BY SAME SHALL BE BRACED UNTIL ALL CONSTRUCTION IS COMPLETED.
- NOT USED.
- CONTRACTOR SHALL CAULK AND SEAL ALL JOINTS AND CRACKS AROUND WINDOWS, CHIMNEYS, DOORS, COUNTER TOPS, MUD SILLS, SILL PLATES, ETC. WITH PROPER EXTERIOR OR INTERIOR COMPOUNDS. INSTALL AS PER MANUFACTURER'S PRINTED INSTRUCTIONS.
- ALL FINISHES, WALL COVERINGS, CARPET, PANELING, FLOOR TILES, COUNTER TOPS, FURNITURE, FURNISHINGS, HARDWARE, AND PAINT: THEIR COLORS, PATTERNS AND TEXTURES TO BE SELECTED BY OWNER UNLESS NOTED OTHERWISE.
- NOT USED.
- NOT USED.
- NOT USED.
- NOT USED.
- CONTRACTOR TO PRE-WIRE FOR TELEPHONE, CABLE TV, DOOR CHIMES, INTERNET AND SOUND SYSTEMS AS PER OWNER'S DIRECTION.
- NOT USED.
- NO QUALIFYING STATEMENTS OR EXCEPTIONS TO PLANS OR NOTES TO BE PERMITTED.

CONCRETE, MASONRY, AND RELATED NOTES

- CONCRETE STRENGTH TO BE AS FOLLOWS UNLESS NOTED OTHERWISE ON DRAWINGS:
A. CONCRETE WALLS, BEAMS AND STRUCTURAL SLABS-----F' C=3000 PSI @ 28 DAYS.
B. FOOTINGS-----F' C=3000 PSI @ 28 DAYS.
C. EXTERIOR SLABS ON GRADE AND CONCRETE TOPPING-----F' C=4000 PSI @ 28 DAYS.
- REFER TO NOTE #3 FOR TESTING OF CONCRETE AND SPECIFICATIONS FOR SUBMITTALS OF MIX DESIGN.
- CONCRETE EXPOSED TO WEATHER TO BE AIR-ENTRAINED (6% MAX., 3% MIN.).
- CONCRETE AND REINFORCING STEEL TO BE AS PER A.C.I. 318 (LATEST EDITION) AND A.C.I. 301 (LATEST EDITION). (CONTRACTOR TO HAVE COPIES OF THESE DOCUMENTS AT THE JOB SITE DURING CONSTRUCTION.) SAMPLING AND TESTING OF CONCRETE TO BE IN ACCORDANCE WITH A.C.I. 301 BY INDEPENDENT TESTING AGENCY AT CONTRACTOR'S EXPENSE. CONTRACTOR TO TAKE SPECIAL PRECAUTIONS FOR HOT AND COLD WEATHER CONCRETING AS INDICATED IN A.C.I. 301.
- REINFORCING STEEL TO BE A 615-60.
- FOOTINGS ARE DESIGNED FOR A MINIMUM SOIL BEARING CAPACITY OF 2000 PSF. CONTACT LOCAL ENGINEER IF POOR SOIL IS ENCOUNTERED.
- THE MINIMUM CONCRETE COVER TO BE PROVIDED FOR REINFORCEMENT IN CONCRETE CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH = 3".
- THE FOLLOWING REINFORCEMENT TO BE PROVIDED UNLESS NOTED OR DETAILED OTHERWISE:
PROVIDE 2'-6" x 2'-6" CORNER BARS IN CORNERS OF ALL FOOTINGS, REINFORCED WALLS, BOND BEAMS, ETC. PROVIDE SAME BAR SIZE AND NUMBER OR SPACING AS CONTINUOUS OR HORIZONTAL REINFORCEMENT.
- UNLESS NOTED OTHERWISE ON PLANS, PROVIDE A CONTINUOUS SPREAD FOOTING 10" (MIN) DEEP x 24" WIDE UNDER ALL WALLS WHICH EXTEND TO GRADE. BOTTOM OF FOOTINGS TO BE A MINIMUM OF 1" BELOW LOCAL FROST LINE OR AS REQUIRED BY LOCAL CODE.
- ALL CONCRETE SLABS ON GRADE TO BE 4" THICK WITH 6 x 6 W1.4 x W1.4 W.W.F. ON 4" CRUSHED STONE, UNLESS NOTED OTHERWISE. SEE DRAWINGS FOR ANY DEPRESSED AREAS, VAPOR BARRIERS, ETC.
- ALL EQUIPMENT PADS TO BE 6" THICK W/ 6X6 1.4X1.4 WWF AND EXTEND PAD 2'-0" PAST EACH SIDE OF MECHANICAL EQUIPMENT.
- UNLESS NOTED OR DETAILED OTHERWISE, ALL REINFORCING STEEL TO BE LAPPED A MINIMUM OF A CLASS B TENSION SPLICE.
- PROVIDE A CONTROL JOINT IN ALL CONCRETE SLABS ON GRADE AT 600 SQ./FT., UNLESS NOTED OTHERWISE.
- PROVIDE 10mil VAPOR BARRIER UNDER INTERIOR CONCRETE SLABS OR OVER ENTIRE FLOOR SURFACE OF CRAWL SPACES.

WOOD NOTES

- WHERE NOTED, CONTRACTOR SHALL USE "SIMPSON STRONG-TIE" (OR EQUIVALENT) WOOD FRAMING ANCHORS, CONNECTORS, HANGERS, ETC. FOR ALL WOOD TO WOOD CONNECTIONS, ALL ANCHORS ETC. TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S PRINTED SPECIFICATIONS.
- ROOF SHEATHING TO BE AS INDICATED ON A-301.
- UNLESS NOTED OTHERWISE ON PLANS HEADERS TO BE AS FOLLOWS:
UP TO 10'-0" -----(2) 2 x 12
ANY OP'G IN 2x6 BEARING WALL -----(3) 2 x 12
OVER 10'-0" -----LVL PER FRAMING PLAN
- CUTTING, NOTCHING, BORED HOLES IN STUD WALLS, RAFTERS, BEAMS, COLUMNS, ETC., SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL RESIDENTIAL CODE
- RIDGE BOARDS, WHERE INDICATED ON FRAMING PLANS, SHALL NOT BE LESS THAN 1 1/2" IN THICKNESS, AND NOT LESS IN DEPTH THAN CUT END OF RAFTERS. RAFTERS SHALL BE PLACED DIRECTLY OPPOSITE EACH OTHER AND NAILED TO RIDGE BOARD.
- ALL WOOD BUILT-UP GIRDERS, BEAMS, STUDS TO SOLE PLATE, ETC., TO BE CONNECTED AS PER INTERNATIONAL RESIDENTIAL CODE
- AT OPENINGS IN EXTERIOR WALLS, A WALL STUD SHALL BE AT EACH SIDE OF THE OPENING WITH THE ENDS OF THE HEADER SUPPORTED AS FOLLOWS (UNLESS OTHERWISE NOTED):
A) FOR OPENINGS LESS THAN 3 FT. IN WIDTH EACH END OF HEADER SHALL REST ON A SINGLE HEADER STUD OR MAY BE SUPPORTED BY FRAMING ANCHORS ATTACHED TO WALL STUD;
B) FOR OPENINGS OVER 3 FT. TO LESS THAN 6'-0" IN WIDTH, EACH END SHALL BEAR ON SINGLE HEADER STUD;
C) FOR OPENINGS MORE THAN 6'-0" IN WIDTH, EACH END SHALL BEAR ON DOUBLE HEADER STUD;
D) ANY LENGTH HEADER SUPPORTING CONCENTRATED LOADS FROM BEAMS ABOVE, EACH END SHALL BEAR ON DOUBLE HEADER STUD.
E) ANY LENGTH HEADER SUPPORTING CONCENTRATED LOADS FROM BEAMS ABOVE, EACH END SHALL BEAR ON DOUBLE HEADER STUD.
F) SUPPLY KING STUDS IN QUANTITY TO MATCH JACK STUDS, KING STUDS TO RUN FULL HEIGHT OF WALL FROM BOTTOM PLATE TO TOP PLATE
- WHERE WOOD BEAMS BEAR ON STUD WALLS, PROVIDE MIN. DOUBLE OR TRIPLE STUD, DEPENDING ON BEAM WIDTH, UNDER BEAM BEARING.
- ALL WOOD IN CONTACT WITH MASONRY, CONCRETE, OR EXPOSED TO THE WEATHER SHALL BE PRESSURE TREATED AS FOLLOWS:
A) TREATED LUMBER: SOUTHERN PINE OR DOUGLAS FIR CONSTRUCTION GRADE S4S, AWPA STANDARD C1 & C2.
B) ALL FIELD CUTS AND DRILLED HOLES IN TREATED LUMBER AND POSTS SHALL BE TREATED IN ACCORDANCE WITH AWPA M-4.
- WHEN PRE-FINISHED METAL IS INSTALLED OVER PRESSURE TREATED WOOD, USE (1) LAYER OF 15# FELT BETWEEN WOOD AND METAL TO PREVENT CORROSION. SOME PRE-FINISHED METALS CAN BE ORDERED WITH ORGANIC POLYMER COATINGS FOR THE SAME PURPOSE.

BUILDING CODE NOTES:

- MUNICIPAL JURISDICTION: KNOX COUNTY, TN
- CODES:
2.1. 2018 INTERNATIONAL RESIDENTIAL CODE INCLUDING ALL LOCAL AMENDMENTS
2.2. KINGER FARMS SUBDIVISION UNIT 1 COVENANTS & RESTRICTIONS
3. OCCUPANCY GROUP: SINGLE FAMILY RESIDENTIAL
4. CONSTRUCTION TYPE: V-B, UN-SPRINKLERED
5. STRUCTURAL:
5.1. SEISMIC DESIGN CATEGORY: C
5.2. DESIGN WIND SPEED: 90mph, 3-SECOND GUST: 110mph
5.3. DESIGN SNOW LOAD: 10psf
5.4. LIVE LOADS:
5.4.1. 40 psf
5.4.2. 30 psf (BEDROOMS)
6. ENERGY CODE: 2018 INTERNATIONAL ENERGY CONSERVATION CODE
6.1. EXTERIOR ENVELOPE IS EXISTING TO REMAIN.
6.2. SEE A-110 FOR WINDOW ENERGY COMPLIANCE DATA
7. OWNER SHALL:
7.1. BE RESPONSIBLE FOR ALL BUILDING PERMITS AND INSPECTIONS UNLESS DELEGATED IN WRITING TO THE GENERAL CONTRACTOR.
7.2. SCHEDULE ALL SITE UTILITY CONNECTIONS INCLUDING WATER, SEWER, ELECTRICAL AND COMMUNICATIONS.
7.3. VERIFY ALL ZONING REQUIREMENTS INCLUDING, BUT NOT LIMITED TO:
7.3.1. LAND USE
7.3.2. SETBACKS
7.3.3. ACCESS EASEMENTS
7.3.4. LANDSCAPING
7.3.5. UTILITY EASEMENTS
7.3.6. FLOOD PLAINS AND FEMA FLOOD ZONES

SPRAY-APPLIED CLOSED-CELL FOAM:

- CLOSED-CELL SPRAY-APPLIED FOAM INSULATION SHALL BE EQUAL TO "PROSEAL" (MD-C-200v3) AS MANUFACTURED BY ICYNENE USA.
- R-VALUE OF 7.1/1";
2.1. ROOF: INSTALL IN LAYERS AS DIRECTED BY MANUFACTURER TO ACHIEVE A FINAL MINIMUM R-38 AS REQUIRED (IECC R402.1.2)
- INSULATION SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- PROVIDE VENTING (NOT LESS THAN 40 AIR-CHANGES PER HOUR) OR AS DIRECTED BY MANUFACTURER. LIMIT EXPOSURE TO V.O.C.s AFTER APPLICATION AS DIRECTED BY MANUFACTURER.
4.1. ADEQUATE MECHANICAL VENTILATION SHALL BE PROVIDED PER ASHRAE STANDARD 62 OR ACCEPTABLE GOOD ENGINEERING PRACTICE.
- INSTALLER SHALL BE KNOWLEDGEABLE WITH THIS OR EQUAL PRODUCTS, MANUFACTURER-TRAINED WITH NOT LESS THAN (5) YEARS' EXPERIENCE WITH SIMILAR PROJECTS.
- FOAM INSULATION MAY NOT BE LEFT EXPOSED IN HABITABLE SPACES. COVER WITH 1/2" (MIN) GYP.BD. OR INTUMESCENT PAINT (DC-315 AT 24mil WET COAT)

EXISTING BUILDING ENERGY CODE COMPLIANCE:

- EXISTING WALL, FLOOR OR ROOF INSULATION WHICH IS EXISTING TO REMAIN, DOES NOT NEED TO BE REPLACED (IECC R503.1.1 EXCEPTION 2).
- EXISTING WALL, FLOOR OR ROOF INSULATION WHICH IS NOT EXPOSED AS PART OF THE ALTERATION, DOES NOT NEED TO BE REPLACED (IECC R503.1.1 EXCEPTION 3).
- NEWLY INSTALLED OR REPLACEMENT INSULATION SHALL COMPLY WITH THE TABLE ABOVE.
- NEWLY INSTALLED WINDOWS OR DOORS SHALL COMPLY WITH THE ENERGY CODE FOR NEW CONSTRUCTION.
- NEW LIGHTING SYSTEMS SHALL COMPLY WITH THE ENERGY CODE FOR NEW CONSTRUCTION.

ENVELOPE REQUIREMENTS (CLIMATE ZONE 4, EXCEPT MARINE)

TYPE	SIZE	CAVITY INSUL.	CONT. INSUL.	INSULATION	SPECIFICATION (EQ. TO)
ROOF	RAFTERS	5.35" R-38(1)		SPRAYED CLOSED CELL FOAM	ICYNENE "PROSEAL" R-7.1/1"

(1) INSULATION CONTINUOUS ABOVE TOP OF EXTERIOR WALL
(2) REQUIRED U-VALUE U=0.026 < PROVIDED U VALUE U=0.024

DOORS AND WINDOWS SEE NOTES A-110.

LIGHTING DETERMINED BY OWNER. SEE ELECTRICAL FOR LAYOUT.

ENERGY CODE GENERAL NOTES:

- CONFORM TO LOCAL AUTHORITY ENERGY CODE REPORTING STANDARDS.
- SEE SECTIONS FOR LOCATIONS OF INSULATION.
- INSULATION VALUES AND SPECIFICATIONS SHOWN IN TABLE AND DETAILS THIS SHEET.
- THE DESIGN INTENT IS FOR ROOF/ATTIC INSULATION TO CONTINUE ABOVE TOP OF EXTERIOR WALLS. THEREBY QUALIFYING FOR 100% RULE IN NCECC (R)402.2.1 AND (R)402.2.2
- NO MODIFICATIONS TO EXISTING EXTERIOR ENVELOPE. INSULATION TO BE PROVIDED IN SCREENED PORCH AS REQUESTED BY OWNER.

ALLOWABLE TIMBER STRESSES

TIMBER DESCRIPTION	SP.GP.	S.G.	F _b	F _t	F _c	F _v	F _{cp}	E*10 ⁶
WESTERN HEMLOCK SELECT (1) BEAMS AND STRINGERS, 4" AND WIDER	3	0.47	1,400	825	1,000	170	410	1.4
INSIDE POST 16' AND LESS	3	0.47	1,300	875	1,100	170	410	1.4
ALL OUTSIDE POST	3	0.47	1,300	875	1,100	170	410	1.4
DOUGLAS FIR LARCH SELECT (1) INSIDE POSTS OVER 16' (8x8)	2	0.50	1,500	1,000	1,150	170	625	1.6
DOUGLAS FIR LARCH NO. 1 OR BETTER RAFTERS	2	0.50	1,200	800	1,550	180	625	1.8
CEILING BEAMS	2	0.50	1,200	800	1,550	180	625	1.8
LODGE POLE PINE/ENGLEMAN SPRUCE(WALL LOG 40) ⁽²⁾	3	0.38	550	375	350	125	320	1.0
WESTERN HEMLOCK (WALL LOG 40) ⁽²⁾	3	0.47	750	500	550	165	410	1.1
EASTERN WHITE PINE (PORCH RAFTERS)	1	0.36	775	350	1,000	135	350	1.1
	2	0.36	575	275	825	135	350	1.1

NOTES:

SP. GP. = SPECIES GROUP
S.G.= SPECIFIC GRAVITY
F_b = ALLOWABLE BENDING STRESS
F_t = ALLOWABLE TENSION STRESS
F_c = ALLOWABLE COMPRESSION STRESS PARALLEL TO GRAIN
F_v = ALLOWABLE SHEAR STRESS PARALLEL TO GRAIN
F_{cp} = ALLOWABLE COMP. STRESS PERPENDICULAR TO GRAIN
E = MODULUS OF ELASTICITY. MULTIPLY VALUE BY 1,000,000

VALUES FOR STRESS AND MODULUS ARE IN "PSI"

- REF.: NDS 2005 ed.. VALUES TO BE USED WITH THE 2005 NDS AND WOOD STRUCTURAL DESIGN DATA - NOT TO BE INCREASED FOR WIND, SEISMIC, ETC. EXCEPT AS ALLOWED BY CODE
- REF.: STANDARD ON THE DESIGN AND CONSTRUCTION OF LOG STRUCTURES - ICC 400-2018 (OR LATEST EDITION AS REQ'D)

INSTALLATION OF LAG SCREWS

LEAD HOLES FOR LAG SCREW SHALL BE BORED AS FOLLOWS TO AVOID SPLITTING THE WOOD MEMBER DURING CONNECTION FABRICATION. THE DATA ARE APPLICABLE TO:
WESTERN HEMLOCK
DOUGLAS FIR LARCH
LODGE POLE PINE/ENGLEMAN SPRUCE (WALL LOG 40)
WESTERN HEMLOCK (WALL LOG 40)
SOUTHERN YELLOW PINE (WALL LOG 40)
SOUTHERN PINE

LAG SCREW (in.)	PILOT HOLE (in.)
1/4"	5/32"
3/8"	1/4"
1/2"	5/16"
5/8"	3/8"
3/4"	1/2"
7/8"	9/16"
1"	5/8"

- THE CLEARANCE HOLE FOR THE SHANK OF THE LAG SCREW SHALL BE THE SAME AS THE DIAMETER OF THE LAG SCREW, AND THE SAME DEPTH OF PENETRATION AS THE LENGTH OF THE UNTHREADED SHANK.
- THE PILOT HOLE FOR THE THREADED PORTION SHALL BE OF THE DIAMETER SHOWN IN CHART AND THE LENGTH AT LEAST THE LENGTH OF THE THREADED PORTION

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NEW PORCH

PETER BIGAREL
10505 RIVER RIDGE RD.
KNOXVILLE, TN 37922

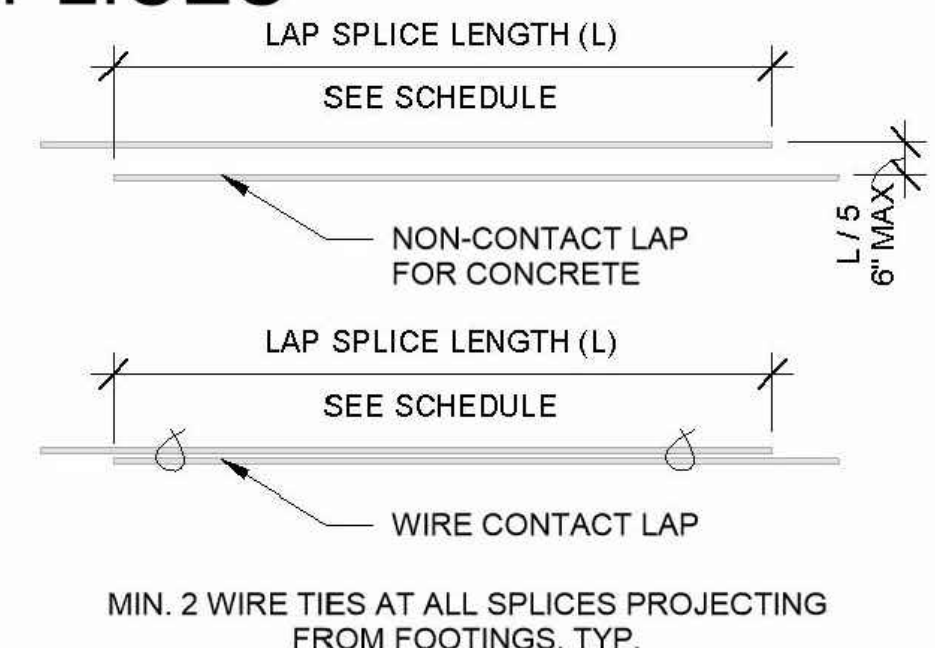
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CLASS "B" LAP SPLICES

BAR #	4000psi COMPRESSIVE STRENGTH CONCRETE (LAP SPLICE "L" IN INCHES)
#4 BAR	25
#5 BAR	31
#6 BAR	37
#7 BAR	54
#8 BAR	62
#9 BAR	70
#10 BAR	79
#11 BAR	87



G-101

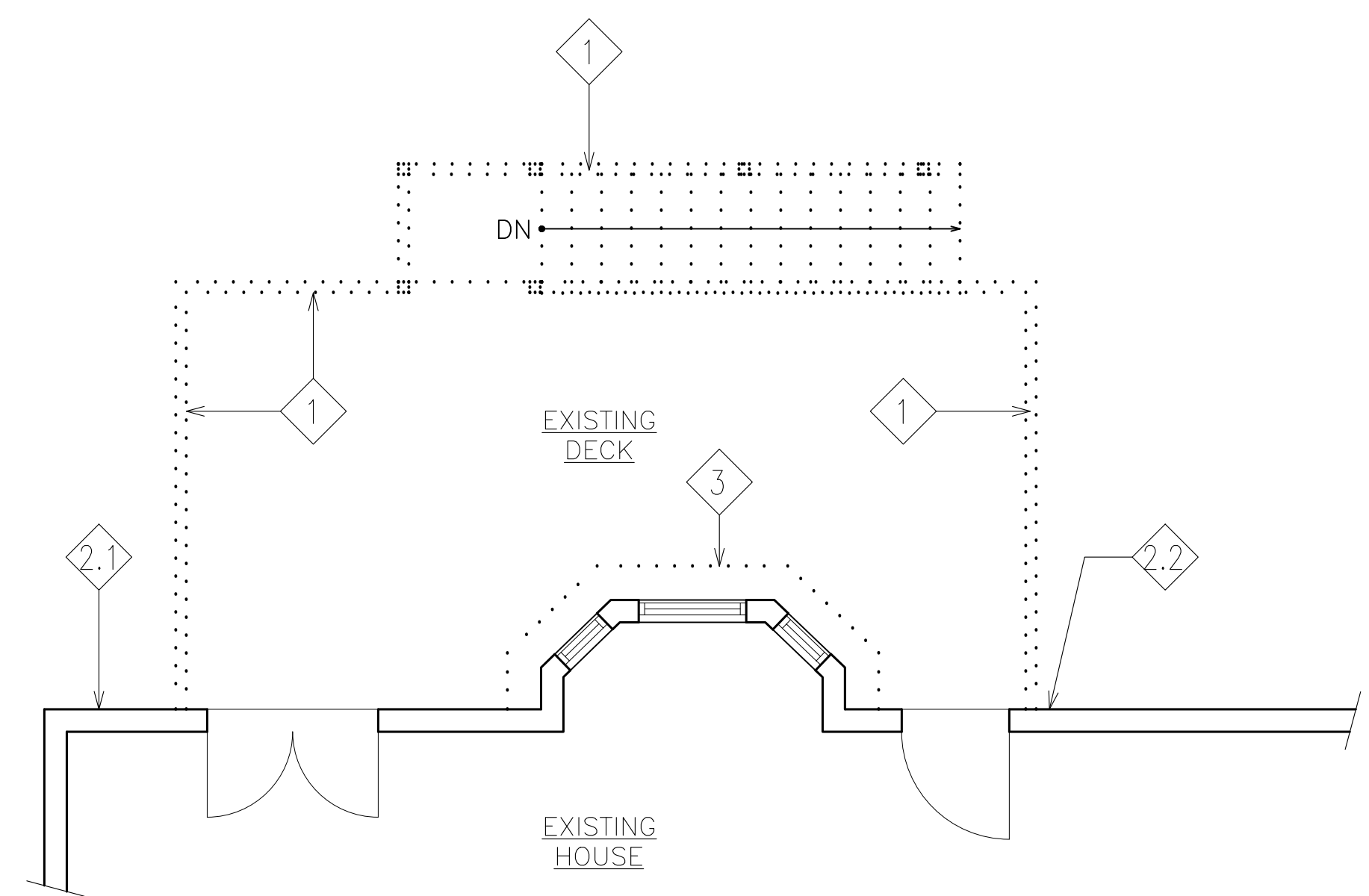
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D

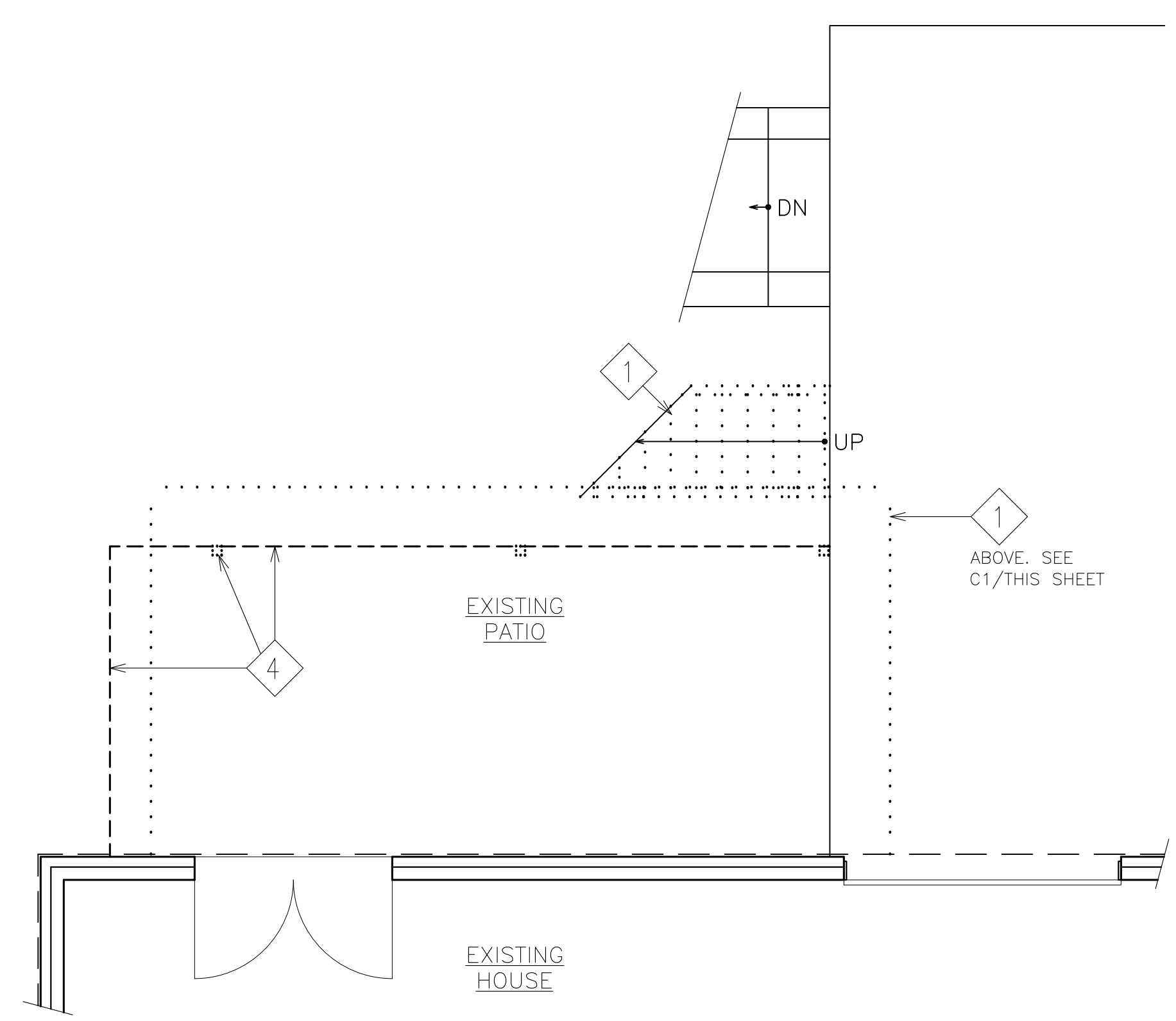
C

B

A



C1 DEMO - MAIN FLOOR PLAN
1/4" = 1'-0"



A1 DEMO - LOWER FLOOR PLAN
1/4" = 1'-0"

GENERAL DEMOLITION NOTES:

1. WHILE EVERY EFFORT HAS BEEN MADE IN COMPLETING THIS DEMOLITION PLAN AND NOTES, DEMOLITION ACTIVITIES MAY REVEAL ADDITIONAL DEMOLITION/MODIFICATION WORK NOT SHOWN HEREIN. IN THE EVENT FIELD DEMOLITION EXPOSES DANGEROUS CONDITIONS OR REVEALS CONDITIONS WHICH EXCEED THE PLANNED DEMOLITION SCOPE, NOTIFY ARCHITECT AND OWNER IMMEDIATELY PRIOR TO CONTINUATION OF DEMOLITION WORK.
2. DEMOLITION DRAWINGS AND NOTES DO NOT REPRESENT A SEQUENCE OF DEMOLITION ACTIVITIES. DEMOLITION SEQUENCE DETERMINED BY GENERAL CONTRACTOR AND COORDINATED WITH OWNER.
3. DO NOT BEGIN DEMOLITION UNTIL EXPRESS WRITTEN NOTICE TO PROCEED IS OBTAINED FROM THE OWNER.
4. THE OWNERS OF THE HOUSE INTEND TO OCCUPY THE RESIDENCE DURING CONSTRUCTION. CONSTRUCTION ACTIVITIES SHALL BE CAREFULLY COORDINATED WITH THE OWNER TO NOT INTERFERE WITH FAMILY LIFE.
5. CONSTRUCTION DEBRIS SHALL BE PLACED IN A DUMPSTER UNTIL REMOVED FROM SITE. DO NOT PILE DEBRIS ON LAWN OR IN DRIVEWAY UNLESS SPECIFICALLY REQUESTED TO DO SO BY OWNER.
- 5.1. CONSTRUCTION AND DEMOLITION ACTIVITIES MAY NOT IMPEDE OR BLOCK PUBLIC STREETS AND SIDEWALKS. SIDEWALK CLOSURES AND ROAD DETOURS, IF REQUIRED, SHALL BE COORDINATED WITH LOCAL LAW ENFORCEMENT IN ADVANCE.
- 5.2. OWNER REQUESTS THAT LARGE DUMPSTER BE REMOVED AFTER DEMOLITION IS COMPLETE. A SMALLER DUMPSTER TO BE USED FOR REMAINDER OF PROJECT.
6. PROTECT PORTIONS OF THE HOUSE WHICH ARE TO REMAIN HABITABLE DURING CONSTRUCTION FROM WATER INFILTRATION AND WITH TEMPORARY BARRIERS FOR TEMPERATURE CONTROL AND SECURITY.
7. OWNER MAY WANT TO SALVAGE EXISTING LIGHT FIXTURES. CONSULT WITH OWNER PRIOR TO DISPOSAL OF THESE ITEMS.
8. DECONSTRUCTED ITEMS WHICH ARE LISTED FOR "RE-USE" OR "RETURN TO OWNER" SHALL BE NEATLY STORED IN LOCATION DETERMINED BY OWNER, PROTECT AS REQUIRED.
9. MAINTAIN WATER, SEWER, COMMUNICATIONS AND ELECTRICAL SERVICES DURING CONSTRUCTION. COORDINATE NECESSARY SERVICE INTERRUPTIONS WITH OWNER IN ADVANCE.
- 9.1. INADVERTENT INTERRUPTIONS SHALL BE RESTORED AS SOON AS POSSIBLE AT NO ADDITIONAL COST TO THE OWNER.
10. TEMPORARY SUPPORTS AND SHORING SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SHALL BE SUFFICIENT TO SUPPORT EXISTING TO REMAIN CONSTRUCTION UNTIL NEW ITEMS ARE INSTALLED.
11. CARE SHALL BE TAKEN NOT TO DAMAGE EXISTING-TO-REMAIN PORTIONS OF THE BUILDING WHICH RESULT DUE TO ERRORS IN THE DEMOLITION OR BY NEW CONSTRUCTION ACTIVITIES SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
12. DEMOLITION ACTIVITIES SHALL INCLUDE SUBSURFACE PREPARATION FOR NEW FINISHES WHERE NOTED ON PLANS. DEMOLITION SHOULD LEAVE WORK AREA READY FOR NEW CONSTRUCTION AND FINISHES. BRING ANY DEFECTIVE SUBSTRATES OR CONCEALED STRUCTURAL ISSUES TO THE ATTENTION OF THE GENERAL CONTRACTOR UPON DISCOVERY.

DEMOLITION PLAN NOTES:

1. DEMOLISH EXISTING DECK AND STAIR IN ITS ENTIRETY, INCLUDING HANDRAIL & ALL APPURTENANCES.
2. LIGHT FIXTURES:
 - 2.1. FLOOD LIGHT IN THIS AREA TO BE REMOVED & RELOCATED AS INDICATED IN E-101/AS DIRECTED BY OWNER. PATCH SIDING TO MATCH EXISTING/SURROUNDING.
 - 2.2. VERIFY LOCATION OF EXISTING FIXTURE. RELOCATE IF REQUIRED BY OWNER & PATCH SIDING TO MATCH EXISTING/SURROUNDING.
3. REMOVE ROOF OVER BAY WINDOW AREA & PREPARE WALL TO EXTEND TO BOTTOM OF NEW PORCH ROOF FRAMING.
4. REMOVE CONCRETE PATIO AND DECK POSTS IN THIS AREA.

SITE DATA

SITE ADDRESS: 10505 RIVER RIDGE RD
KNOXVILLE, TN 37922

PARCEL ID: 153EA013

LOT: 13

GROUP: A

DISTRICT: W6

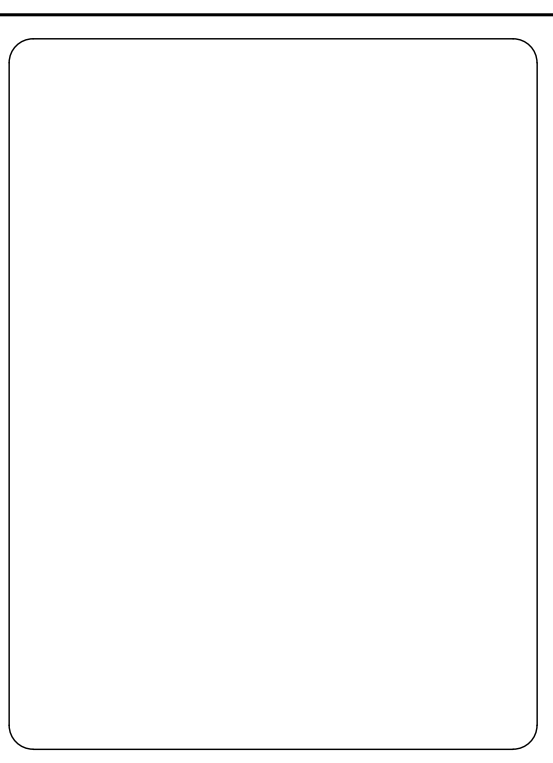
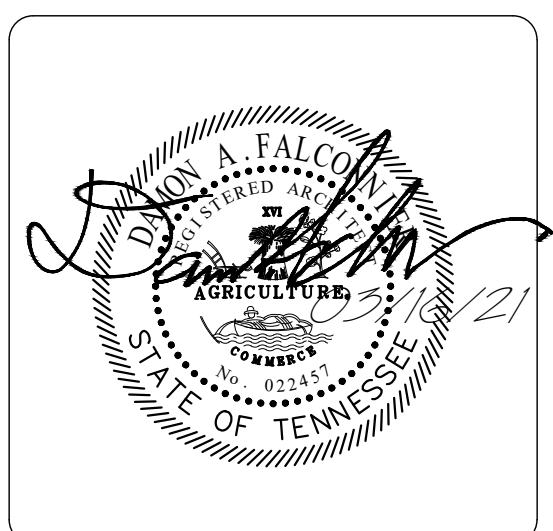
AREA: 22,651.2 S.F.; 0.52 ACRE

ZONING: KNOX COUNTY "RA"

SETBACKS: SEE PLAN

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DESIGN COMPANY

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NEW PORCH

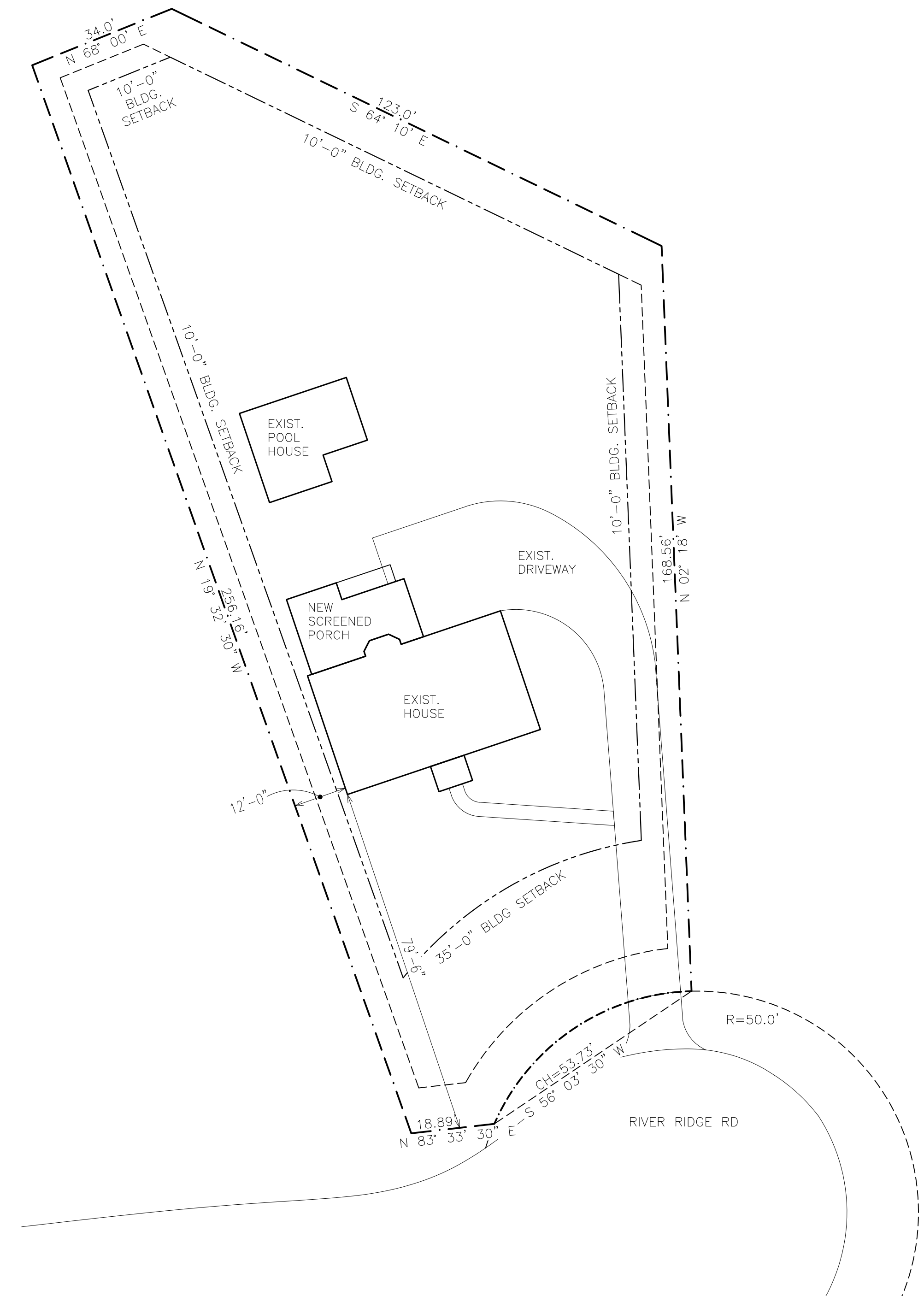
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DEMOLITION PLAN & NOTES, PARTIAL SITE PLAN

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FILE:	2020-069

A-100



SITE PLAN PREPARED FROM KGIS DATA AND SURVEY DRAWN ON 12/12/86 BY SURVEYOR KENNETH CHURCH.

A5 SITE PLAN
1" = 20'-0"

3

4

5

6



GENERAL NOTES

- OWNER & GENERAL CONTRACTOR ARE RESPONSIBLE FOR ALL BUILDING PERMITS AND INSPECTIONS. CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE 2018 INTERNATIONAL RESIDENTIAL CODE AS ENFORCED BY KNOX COUNTY, TN INCLUDING ALL LOCAL AMENDMENTS.
 - OCCUPANCY GROUP: SINGLE FAMILY RESIDENTIAL
 - CONSTRUCTION: Y-B, UNSPRINKLERED
- ALL WOOD IN CONTACT W/ CONCRETE OR CONCRETE MASONRY SHALL BE PRESSURE TREATED.
- ALL WOOD TO WOOD CONNECTORS SHALL BE BY SIMPSON STRONG-TIE. UBS CONNECTORS ARE AN ACCEPTABLE ALTERNATIVE IF LOADING SPECIFICATIONS MEET OR EXCEED SIMPSON STRONG-TIE. ALL WOOD TO WOOD CONNECTORS SHALL BE GALVANIZED.
- EXTERIOR FINISHES: OWNER TO SELECT EXTERIOR COLORS AND FINISHES INCLUDING:
 - BRICK
 - SIDING
 - PAINT AND TRIM COLORS
- EXTERIOR WOOD:
 - ALL EXTERIOR WOOD SHALL BE PRESSURE TREATED.
 - ALL SCREWS SHALL BE GALVANIZED OR STAINLESS STEEL OR SHALL HAVE POLYMER ORGANIC COATING TO PREVENT CORROSION.
 - THROUGH BOLTS SHALL BE STAINLESS STEEL WITH STAINLESS STEEL NUTS AND WASHERS.
 - PRESSURE TREATED WOOD SHALL BE SEPARATED FROM PRE-FINISHED METAL W/ 15# FELT OR PROVIDE METAL W/ ORGANIC POLYMER COATING
 - SEAL OR STAIN EXTERIOR WOOD AS DIRECTED BY OWNER.
- PROVIDE SOLID BLOCKING WHERE REQUIRED FOR NOTCHING AND NAILING.
- INTERIOR WALLS: EXISTING TO REMAIN.
- EXTERIOR WALLS: EXISTING TO REMAIN. MATCH EXISTING WHERE REQUIRED TO INFILL/PATCH.
- ELECTRICAL:
 - OWNER TO VERIFY LOCATION OF ALL NEW ELECTRICAL OUTLETS, LIGHT SWITCHES, COMMUNICATIONS OUTLETS, ETC. SEE E-101.
 - OWNER TO SELECT ALL LIGHT FIXTURES, STYLES AND COLORS.
- CONSULT WITH OWNER ABOUT I.T./COMMUNICATIONS & SECURITY REQUIREMENTS PRIOR TO COMPLETION OF FRAMING.
- ADDITION NOTES:
 - SEE DEMOLITION NOTES SHEET A-100.
 - DOORS AND WINDOWS ARE EXISTING TO REMAIN. NEW SKYLIGHT HAS SIZE AND TYPE INDICATED.
 - CONSTRUCTION WILL NECESSITATE COORDINATION WITH OWNER AS TO CONSTRUCTION SCHEDULE, MATERIALS STORAGE AND ACCESS TO OTHER PARTS OF THE HOUSE. PROTECT EXISTING SPACES FROM WEATHER AND WATER INFILTRATION DURING CONSTRUCTION.
 - CONSTRUCTION WILL REQUIRE ACCESS TO MAIN FLOOR, 2ND FLOOR, AND LOWER FLOOR. COORDINATE ACCESS WITH OWNER.
 - CONSTRUCTION WILL REQUIRE THE REMOVAL AND REPLACEMENT OF SOME EXISTING WALL, FLOOR AND CEILING FINISHES TO INSTALL ADDITIONAL STRUCTURAL COMPONENTS. ALL DAMAGE TO EXISTING FINISHES SHALL BE REPAIRED AND REPLACED IN A NEAT, WORKMANLIKE MANNER WHICH SHALL MATCH EXISTING. ADJACENT FINISHES SO AS TO BE INDISTINGUISHABLE FROM UN-DAMAGED ADJACENT MATERIALS.
 - ANY AND ALL INCIDENTAL DAMAGE TO THE EXISTING HOUSE, FINISHES, STRUCTURE, ETC. WHICH MAY RESULT FROM CONSTRUCTION ACTIVITIES, SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
 - ALL SUBSURFACE PREPARATION OF SUBFLOORS, WALLS AND CEILINGS FOR NEW FINISHES SHALL BE INCLUDED IN PROJECT PRICING. FOR DEMOLISHED AND RENOVATION AREAS, GO TO EXAMINE ALL SUBSTRATES AND PREPARE AS REQUIRED FOR NEW FINISH INSTALLATION.
 - CONSTRUCTION ACTIVITIES SHALL NOT IMPEDE OR BLOCK ANY PUBLIC STREET OR SIDEWALK AND SHALL IN NO WAY DISRUPT VEHICULAR TRAFFIC (ESPECIALLY EMERGENCY FIRST RESPONDER ACCESS) OR NEIGHBORS' ACCESS TO ADJACENT PROPERTIES. INFORM LOCAL AUTHORITIES IF UNLOADING OR TEMPORARY PARKING IS NECESSARY FOR MATERIALS DELIVERY AND OTHER CONSTRUCTION ACTIVITIES.

GRAPHIC LEGEND

- INDICATES DETAIL REFERENCE. TOP NUMBER IS DETAIL NUMBER, LOWER NUMBER IS SHEET ON WHICH DETAIL MAY BE FOUND.
- INDICATES SECTION/ELEVATION REFERENCE. TOP NUMBER IS DETAIL NUMBER, LOWER NUMBER IS SHEET ON WHICH DETAIL MAY BE FOUND.

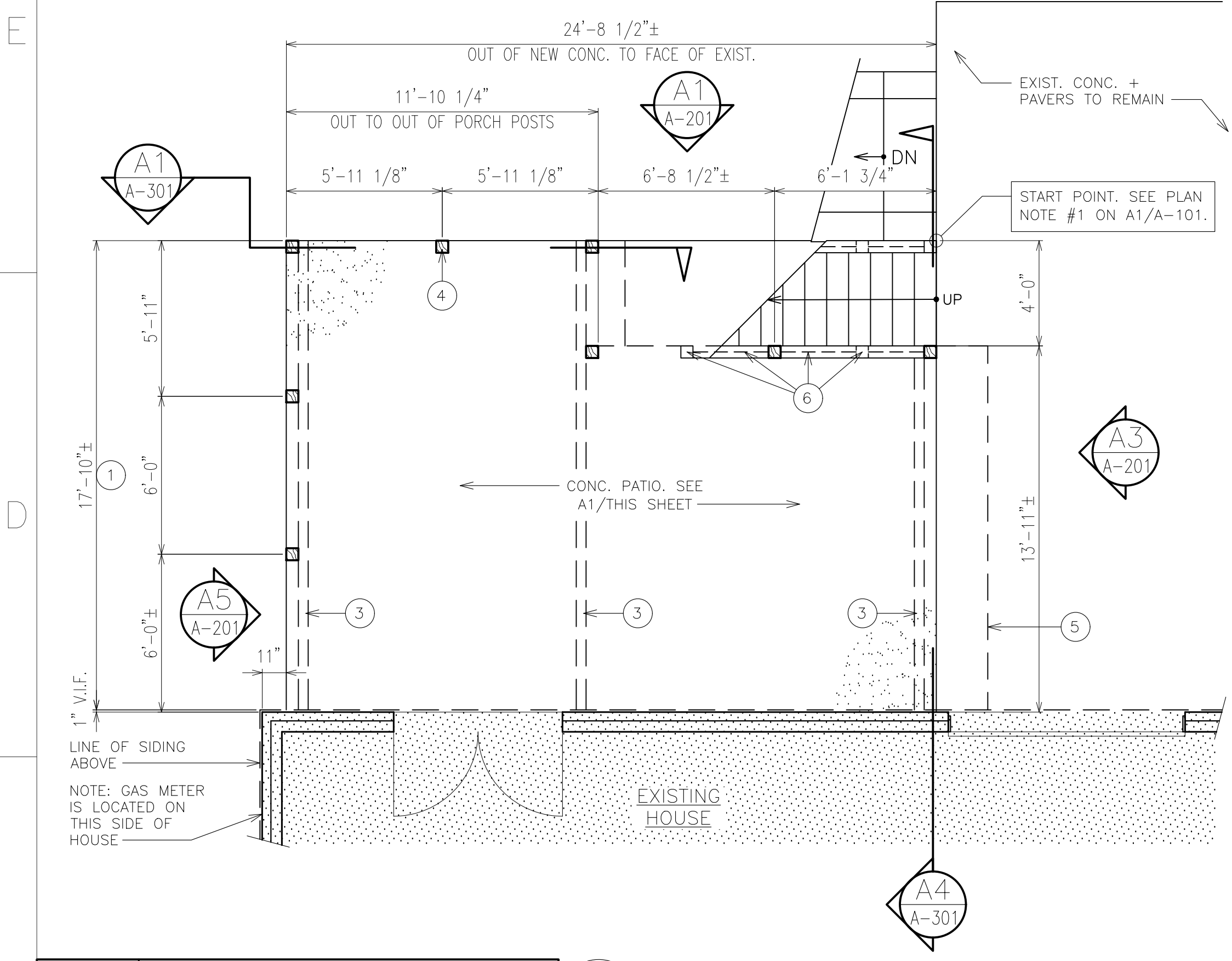
STAIR, HANDRAIL, & GUARDRAIL NOTES

- DISCLAIMER:**
THE FOLLOWING GUARDRAIL, HANDRAIL AND STAIR NOTES ARE GENERAL IN NATURE. CONTRACTOR/OWNER SHALL VERIFY THE APPLICABILITY OF EACH NOTE WITH REGARD TO LOCAL BUILDING CODES AND AUTHORITIES. THESE NOTES ARE BASED ON THE 2018 INTERNATIONAL RESIDENTIAL CODE. DIMENSIONS IN [BRACKETS] ARE NEAR SI EQUIVALENTS IN MILLIMETERS (mm)
- HANDRAILS:** HANDRAILS HAVING A MINIMUM AND MAXIMUM OF 30" [762] AND 38" [964] RESPECTIVELY, MEASURED VERTICALLY FROM THE NOSING OF THE TREADS SHALL BE PROVIDED ON AT LEAST (1) SIDE OF STAIRWAYS OF (3) OR MORE RISERS. ALL REQUIRED HANDRAILS SHALL BE CONTINUOUS THE FULL LENGTH OF THE STAIRS. ENDS SHALL BE RETURNED TO THE WALLS OR SHALL TERMINATE IN A NEWEL POST OR SAFETY TERMINALS. HANDRAILS ADJACENT TO A WALL SHALL HAVE A SPACE OF NOT LESS THAN 1 1/2" [38] BETWEEN THE WALL AND EDGE OF HANDRAIL.
 - HANDRAIL GRIP SIZE:** HANDRAILS SHALL HAVE EITHER A CIRCULAR CROSS SECTION WITH A DIAMETER OF 1 1/4" [31] TO 2" [50] OR A NON-CIRCULAR CROSS SECTION WITH A PERIMETER DIMENSIONS OF AT LEAST 4" [102] BUT NOT MORE THAN 6 1/4" [158] AND THE LARGEST CROSS-SECTION DIMENSION NOT EXCEEDING 2 1/4" [56]. EDGES SHALL HAVE A MINIMUM RADIUS OF 1/8" [3].
 - GUARDRAILS:** PORCHES, BALCONIES OR RAISED FLOOR SURFACES LOCATED MORE THAN 30" [762] ABOVE THE FLOOR OR GRADE BELOW (MEASURED 36" HORIZONTALLY FROM THE EDGE OF THE RAILING) SHALL HAVE GUARDRAILS NOT LESS THAN 36" [914] IN HEIGHT. OPEN SIDES OF STAIRS WITH A TOTAL RISE OF MORE THAN 30" [762] ABOVE THE FLOOR OR GRADE BELOW SHALL HAVE GUARDRAILS NOT LESS THAN 36" [915] IN HEIGHT MEASURED VERTICALLY FROM THE NOSING OF THE TREADS. OPEN GUARDRAILS SHALL HAVE INTERMEDIATE MEMBERS SUCH THAT A 4" [102] DIAMETER SPHERE CANNOT PASS THROUGH ANY OPENING (4 3/8" [111] AT THE OPEN SIDES OF STAIRS). THE TRIANGULAR OPENING FORMED BY A TREAD, RISER AND BOTTOM OF A GUARDRAIL SHALL PREVENT PASSAGE OF AN 6" [152] SPHERE.
 - TREADS AND RISERS:** THE MAXIMUM RISER HEIGHT SHALL BE 7 3/4" [196] AND THE MINIMUM TREAD DEPTH SHALL BE 10" [254]. THE RISER HEIGHT SHALL BE MEASURED VERTICALLY BETWEEN THE LEADING EDGES OF THE ADJACENT TREADS. THE TREAD DEPTH SHALL BE MEASURED HORIZONTALLY BETWEEN THE VERTICAL PLANES OF THE FOREMOST PROJECTION OF ADJACENT TREADS AND AT A RIGHT ANGLE TO THE TREAD'S LEADING EDGE. THE WALKING SURFACE OF TREADS AND LANDING OF A STAIRWAY SHALL BE SLOPED NO STEEPER THAN ONE UNIT VERTICAL IN 48 UNITS HORIZONTAL. THE GREATEST RISER HEIGHT WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8" [9]. THE GREATEST TREAD DEPTH WITHIN ANY FLIGHT OF STAIRS SHALL NOT EXCEED THE SMALLEST BY MORE THAN 3/8" [9]. NOSING SHOWN ON PLANS ARE 1" [25].

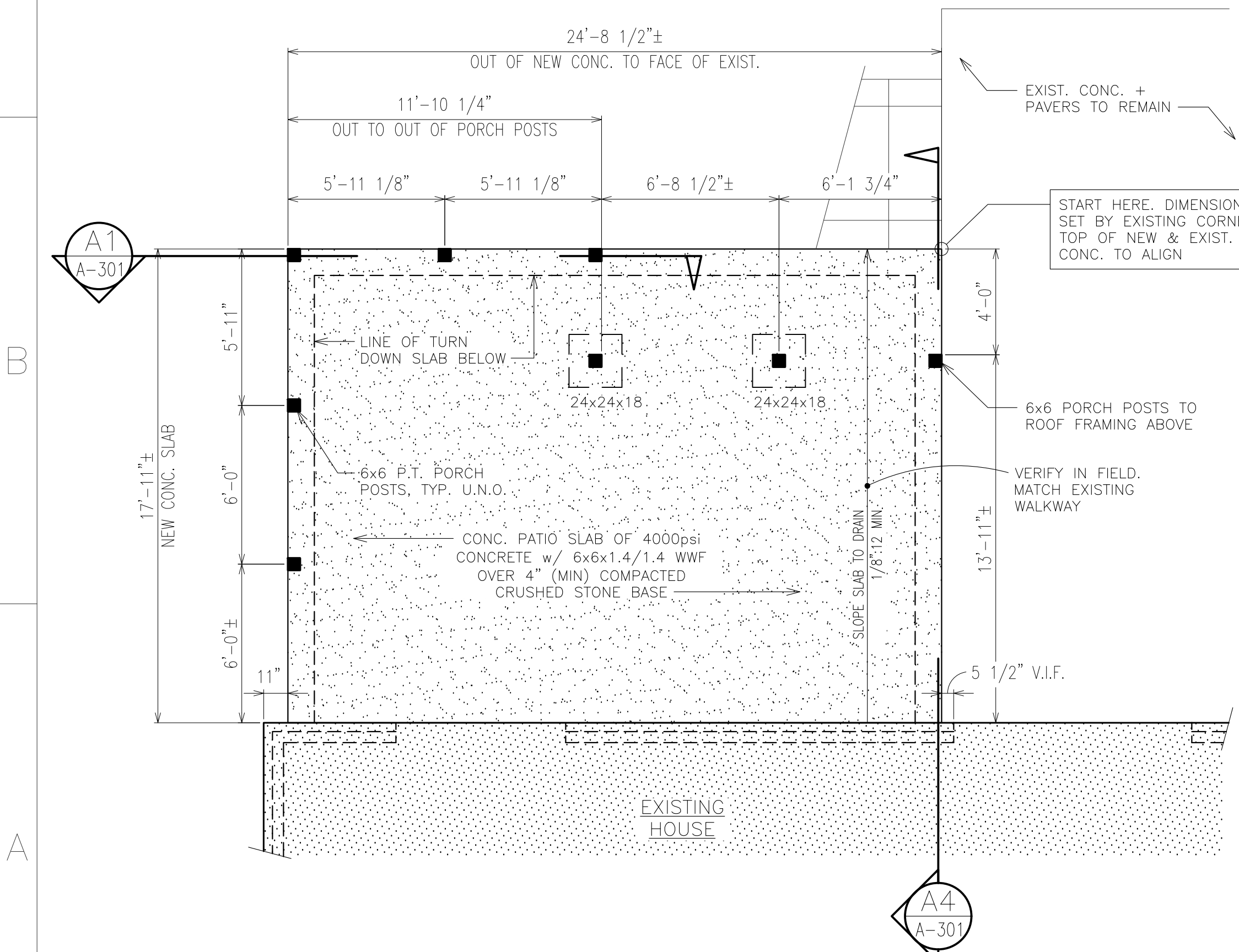
NOTE: OWNER SELECTED MESHGUARD SCREENING SYSTEM AS MANUFACTURED BY SCREEN TIGHT IS CODE COMPLIANT FOR GUARDRAIL INFILL AS INDICATED IN MANUF. SPECIFICATIONS. PROVIDE AND INSTALL ALL PROPRIETARY COMPONENTS IN ACCORDANCE WITH MANUF. SPECIFICATIONS TO MEET ALL APPLICABLE BUILDING CODES.

PLAN NOTES

- DIMENSION SET BY LOCATION OF EXISTING TO REMAIN CONCRETE/ BRICK PAVER WALKWAY.
- NOT USED.
- UNDERSLUNG GIRDER ABOVE. SEE A1/A-110.
- 6x6 PORCH POSTS UP TO ROOF ABOVE, TYPICAL U.N.O.
- LINE OF SCREEN PORCH OVERHANG ABOVE.
- CABLE RAILING SELECTED BY OWNER. SEE A-201. PROVIDE 6x6 POSTS TO ATTACH RAILING.



C1 LOWER FLOOR PLAN
1/4" = 1'-0"



A1 FOUNDATION PLAN
1/4" = 1'-0"

FOOTING TYPE LEGEND

- INDICATES COLUMN OR PIER FOOTING, NUMBERS INDICATED SIZE AND DEPTH- SEE DETAILS
- INDICATES THICKENED SLAB UNDER NESTED STUDS OR LOAD BEARING WALLS, 12" DEEP (INCLUDING SLAB THICKNESS) TYP.- SEE DETAILS.
- INDICATES CONTINUOUS SPREAD FOOTING BELOW FOUNDATION WALL, 24" WIDE (MINIMUM) (+8" WIDER THAN WALL ON BOTH SIDES)- SEE DETAILS

CONCRETE SLAB NOTES

- EXTERIOR CONCRETE SLABS AND PATIOS SHALL BE 4"thk 4,000psi CONCRETE.
- INTERIOR CONCRETE SLABS ARE EXISTING TO REMAIN.
- REINFORCING:
 - 6x6x1.4/1.4 WWF
 - VAPOR BARRIER SHALL BE 10mil POLY VINYL.
 - CONCRETE BASE SHALL BE 4"(MIN) OF CRUSHED STONE BASE, COMPACTED.
- SAW CUTS SHALL BE 1 1/2" DEEP (1/4 THE SLAB DEPTH) x 1/8" WIDE AT 10'-0" ON CENTER UNLESS NOTED OTHERWISE. REFER TO NATIONAL READY MIX CONCRETE ASSOCIATION (NRMCA) PUBLICATION "CIP 6: JOINTS IN CONCRETE SLABS ON GRADE"
- REINFORCING BARS SHALL BE LAPPED PER ACI 331.1R-06 (OR CURRENT) USING A "CLASS B" TENSION SPLICE.
- COLD JOINTS SHALL BE DOWELED OR KEYED PER NRMCA "CIP 6: JOINTS IN CONCRETE SLABS ON GRADE"
- EXTERIOR PATIOS SHALL HAVE A BROOM FINISH W/ HAND TROWELED EDGES UNLESS NOTED OTHERWISE.
- PROVIDE PRESSURE TREATED SILL PLATES AT ALL EXTERIOR AND INTERIOR WALLS.
- APPLY AIR SEALANT AT SEAMS OF WALLS AND FLOORS, AND AT EXTERIOR CORNERS IN ACCORDANCE WITH THE ADOPTED ENERGY CODES.

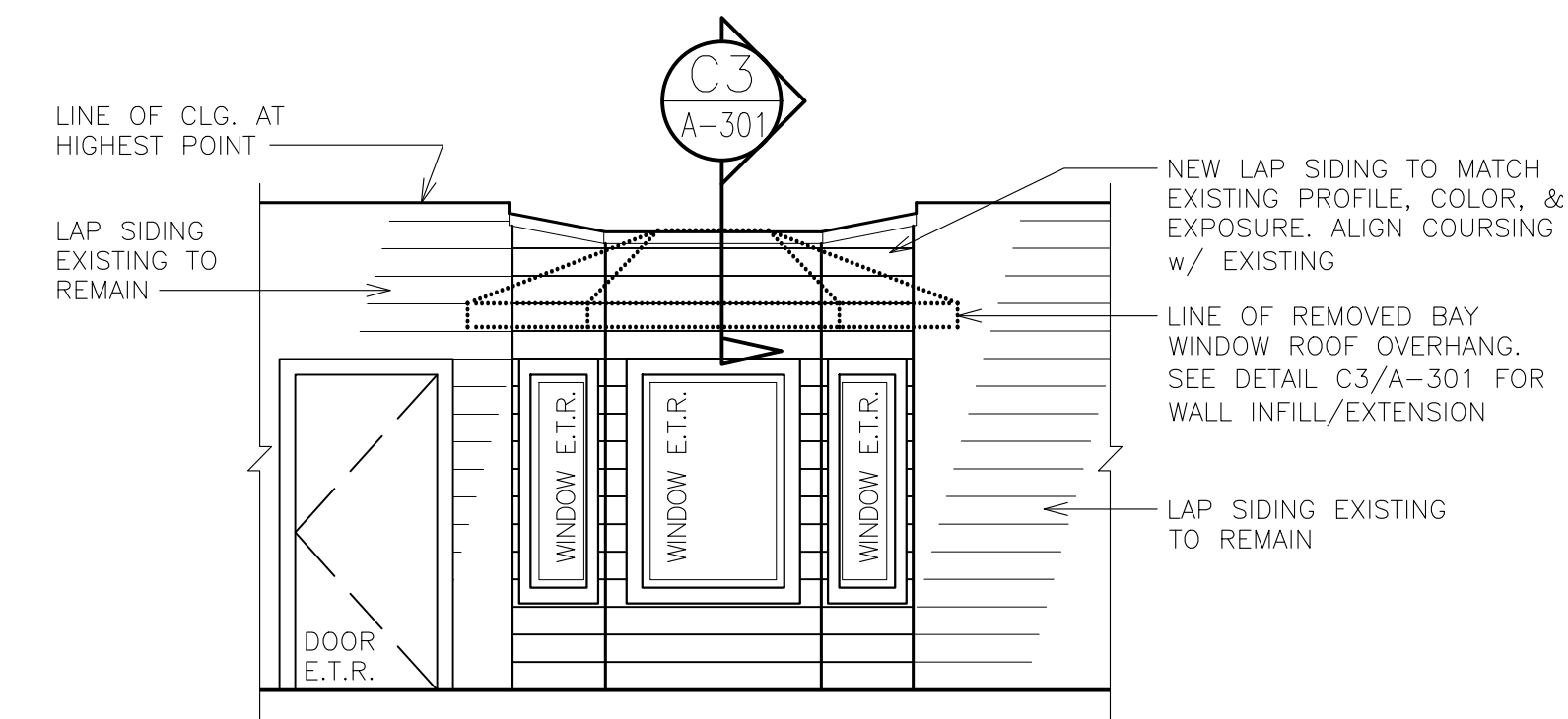
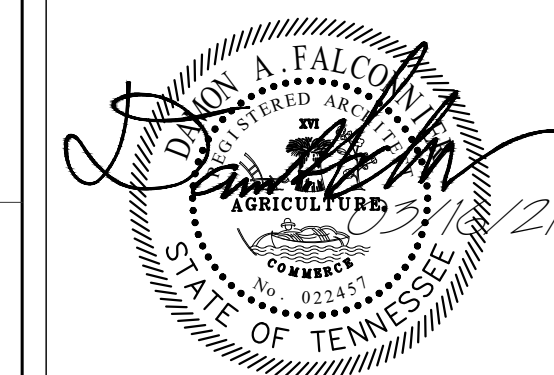
NEW PORCH

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KNOXVILLE, TN 37922

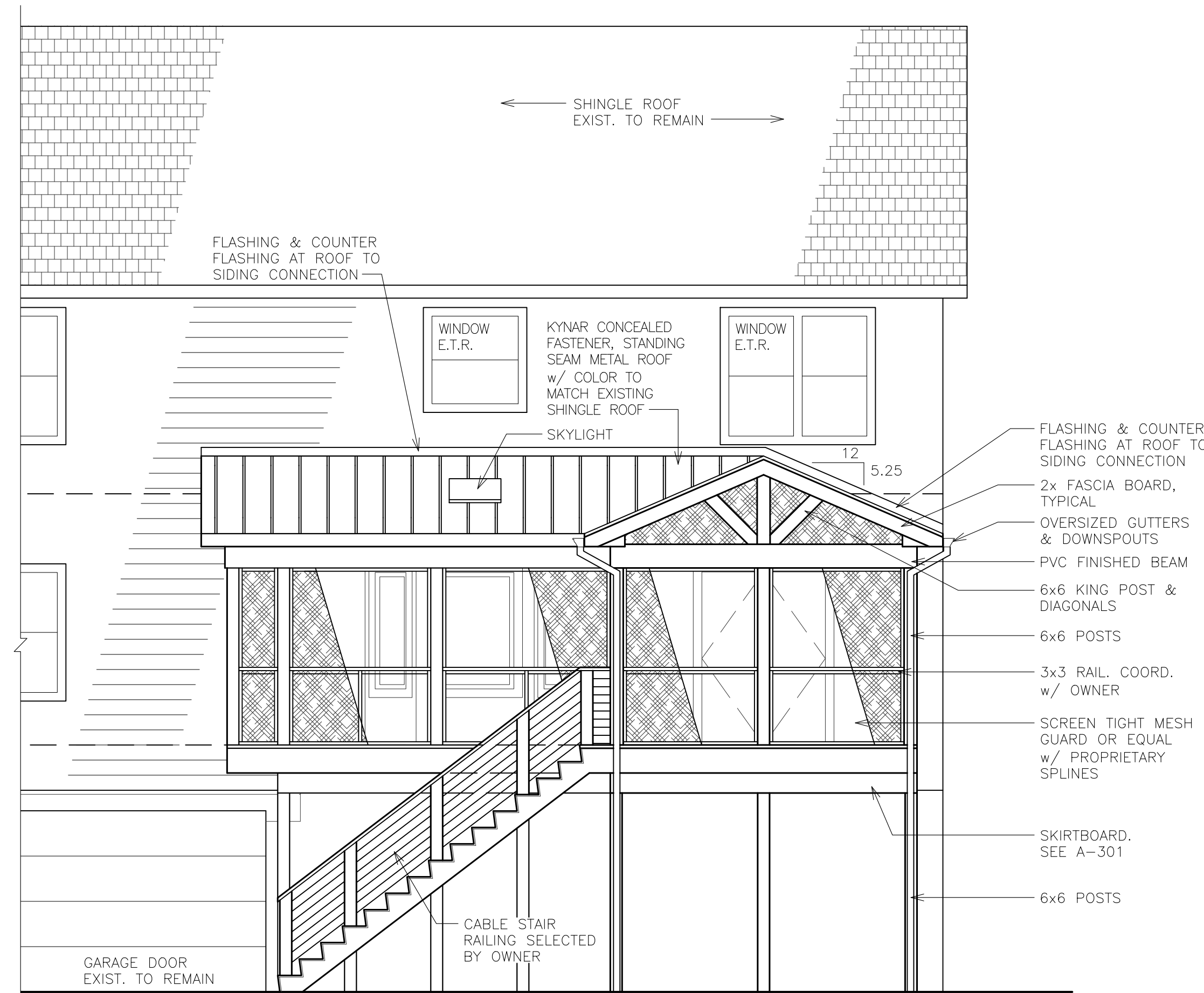
FOUNDATION PLAN & LOWER FLOOR PLAN

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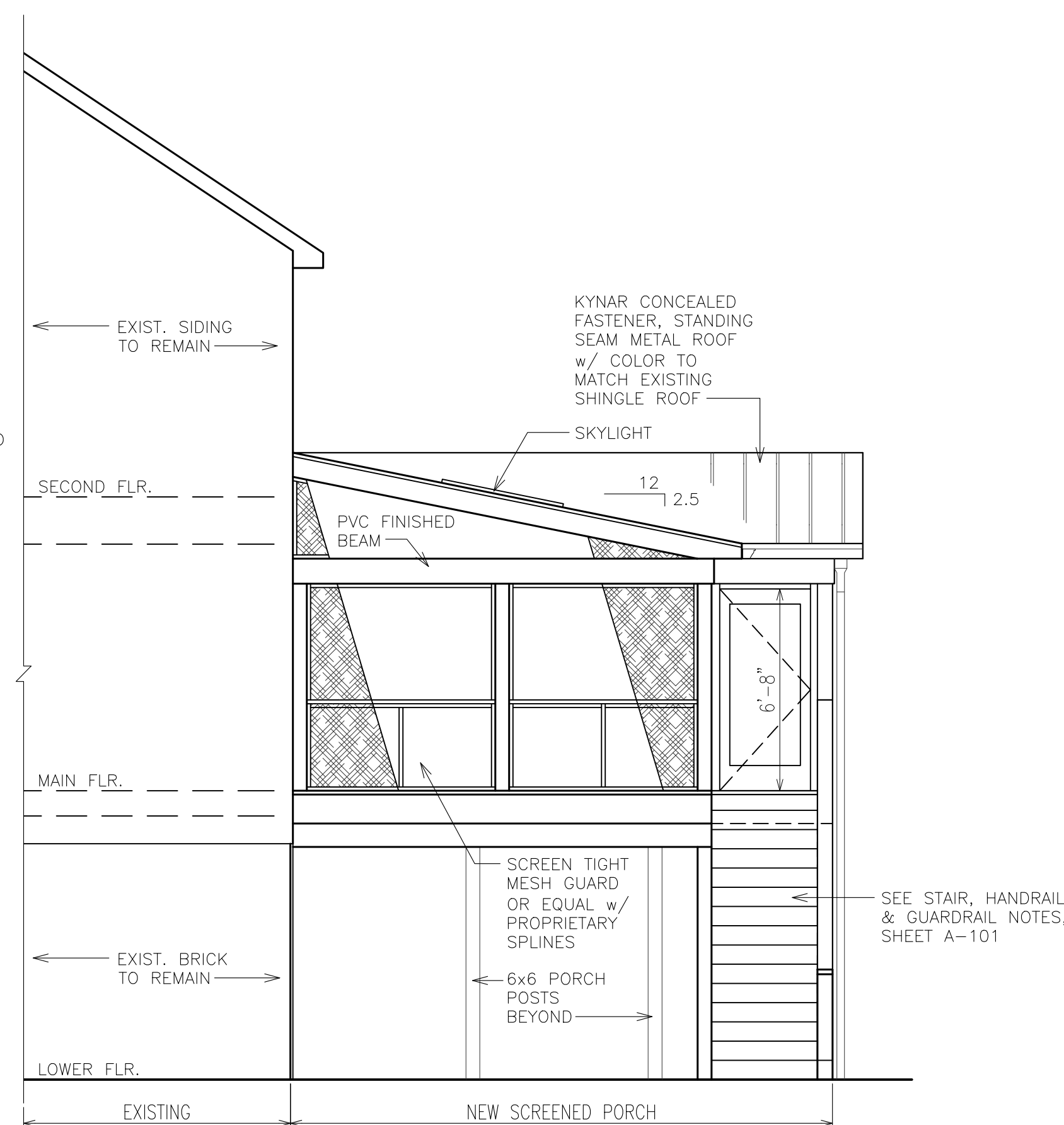
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FILE:	2020-069



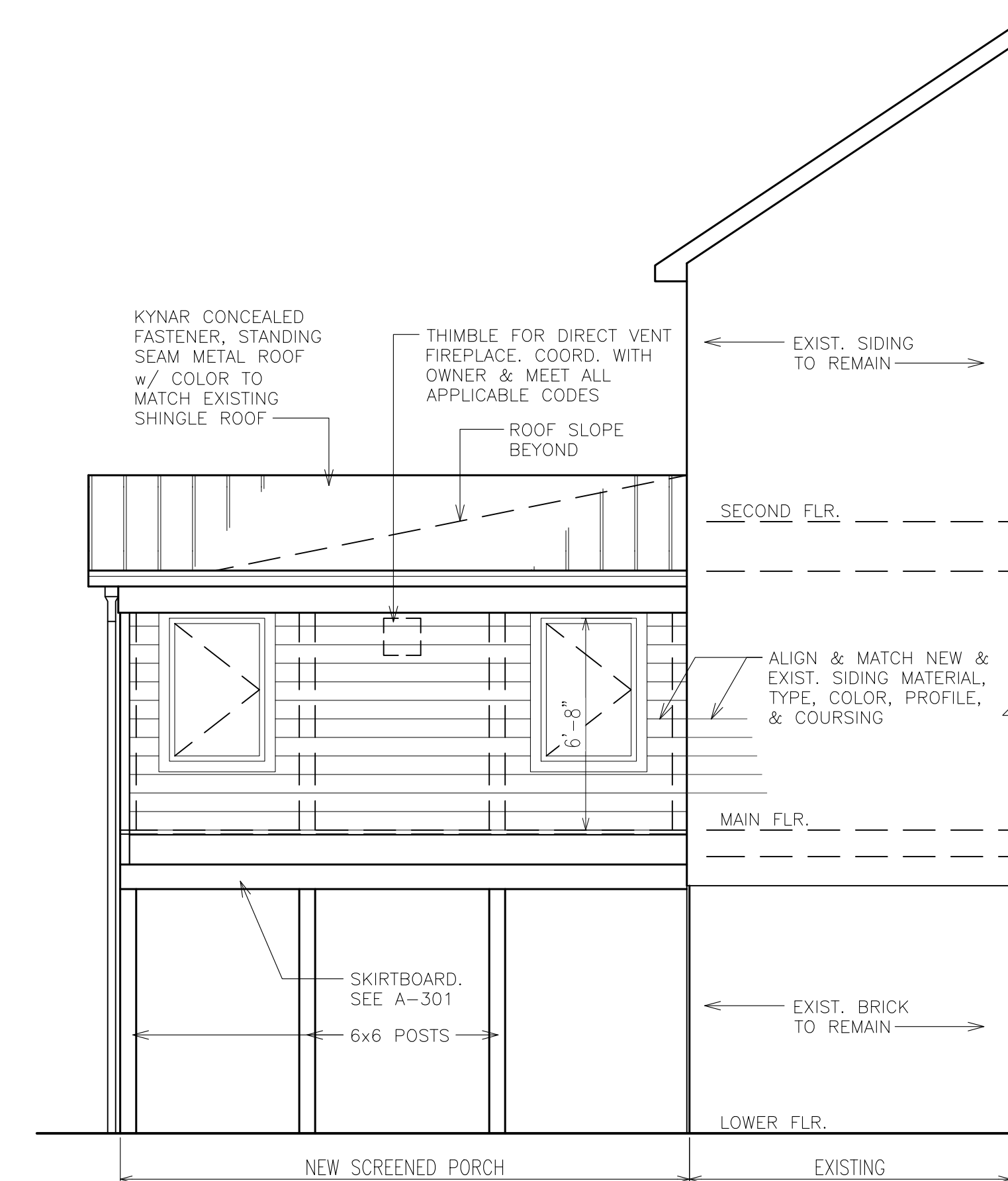
C5 BAY WINDOW ELEVATION
1/4" = 1'-0"



A1 REAR (NORTH) ELEVATION
1/4" = 1'-0"



A3 RIGHT (EAST) ELEVATION
1/4" = 1'-0"



A5 LEFT (WEST) ELEVATION
1/4" = 1'-0"

NEW PORCH

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EXTERIOR ELEVATIONS

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POWER LEGEND:

48 INDICATES DUPLEX RECEPTICAL MOUNTED 18" A.F.F. U.N.O.
 "48" INCATES MOUNT 48" A.F.F. (COUNTER HEIGHT)
 "G" INDICATES GFCI PROTECTION
 "WP" INDICATES WEATHER PROOF EXTERIOR INSTALLATION
 "U" INDICATES COMBINATION POWERED USB
 "BC" BELOW COUNTER

⊕ INDICATES QUADPLEX RECEPTICAL MOUNTED 18" A.F.F. U.N.O.

Ⓢ INDICATES CO-AX CABLE, CAT 5, TELEPHONE, POWERED USB OR COMBINATION THEREOF DATA OUTLET LOCATION AS DIRECTED BY OWNER. VERIFY OWNER REQUIREMENTS PRIOR TO INSTALLATION

GENERAL ELECTRICAL NOTES:

- ELECTRICAL SERVICE IS EXISTING TO REMAIN.
- ELECTRICIAN AND OWNER SHALL VERIFY THAT NEW LIGHTING AND ELECTRICAL LOADS CAN BE ACCOMMODATED WITH EXISTING SERVICE. UPGRADE SERVICE IF NECESSARY.
- OWNER TO REVIEW AND APPROVE THE LOCATIONS OF ALL OF THE FOLLOWING:
 - RECEPTACLES.
 - DEDICATED RECEPTACLES.
 - SWITCHED RECEPTACLES.
 - PHONE/DATA/I.T./SECURITY/TV OUTLETS.

LIGHTING & CONTROLS LEGEND:

NOTE: LOWER-CASE LETTERS INDICATE SWITCHING CIRCUIT.

WL INDICATES 6"ø RECESSED LED CAN LIGHT WET LOCATION w/ GYP.BD. TRIM RING

Ⓢ EXTERIOR WALL MOUNTED LIGHT SELECTED BY OWNER. COORDINATE HEIGHT w/ OWNER.

60"ø FLUSH MOUNTED FAN WITH LIGHT KIT.

Ⓢ INDICATES PROPRIETARY FAN CONTROL SWITCH COMBINING LIGHT KIT DIMMER AND SPEED CONTROL.

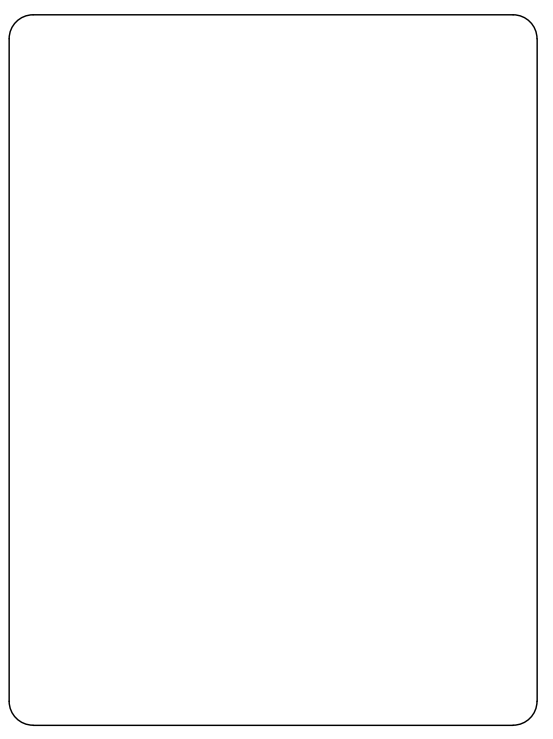
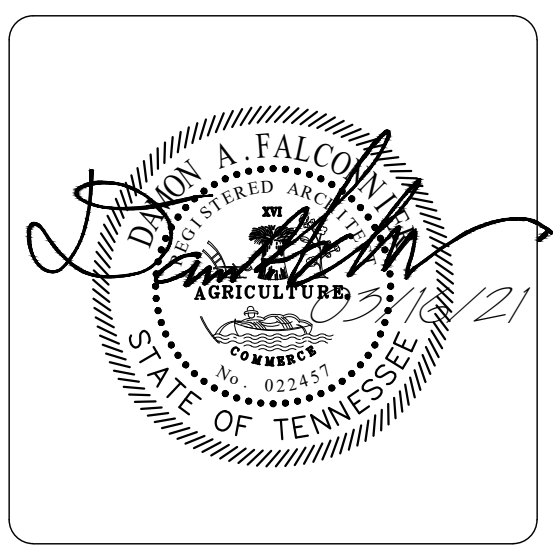
Ⓢ SWITCH

GENERAL LIGHTING NOTES:

- ALL LIGHTING FIXTURES AND FANS SHALL BE SELECTED BY OWNER.
- ALL SWITCHING AND CONTROL OPTIONS WILL BE REVIEWED AND APPROVED BY OWNER.
- LIGHTING DIMENSIONS SHOWN ON PLAN ARE ALONG AN ASSUMED FLAT PLANE AND DO NOT TAKE SLOPE INTO CONSIDERATION. LIGHT LOCATIONS MAY BE ADJUSTED TO ACCOMMODATE FIELD CONDITIONS (SUCH AS RAFTER OR TRUSS LOCATIONS). ALIGN CENTERLINES IF ADJUSTMENTS ARE NECESSARY. DO NOT CUT RAFTERS TO INSTALL LIGHTING.
- DIMMING:
 - DIGITAL LIGHTING CONTROL SYSTEM RECOMMENDED. OWNER TO ADVISE.
 - DIMMERS RECOMMENDED TO BE DIGITAL INTERFACE (SEE 2 ABOVE) AND MAY BE STAND-ALONE IF DESIRED.
 - PROVIDE 3-POLE DIMMERS WHERE REQUIRED. DUE TO THE NUMBER OF 3-POLE DIMMERS, TRADITIONALLY WIRED DIMMERS ARE NOT RECOMMENDED. SEE NOTE 4.1.
- FAN CONTROLS AND SWITCHING:
 - (1) DIMMER FOR THE LIGHT KIT (WHERE PROVIDED)
 - (1) REOSTAT FOR FAN SPEED CONTROL
 - FANS MAY BE EQUIPPED WITH DIGITAL CONTROL INTERFACE AND REMOTE. SEE NOTE 4 ABOVE.
- EXISTING EXTERIOR LIGHTING TO REMAIN UNLESS NOTED OTHERWISE.
- LED LIGHTING NOTES:
 - COLOR TEMPERATURE OF 2700k TO 3000k RECOMMENDED WITH A MINIMUM OF 80 CRI.
 - DO NOT MIX COLOR TEMPERATURES IN THE SAME ROOM UNLESS DIRECTED TO DO SO BY OWNER.
 - ALL LED FIXTURES IN A GIVEN ROOM SHALL HAVE COMMON BINNING TO ASSURE COLOR MATCHING ACROSS MANUFACTURERS AND FIXTURES. FIXTURES IN THE SAME ROOM WITH NOTICEABLY DIFFERENT LIGHT TEMPERATURES OR COLORS SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.

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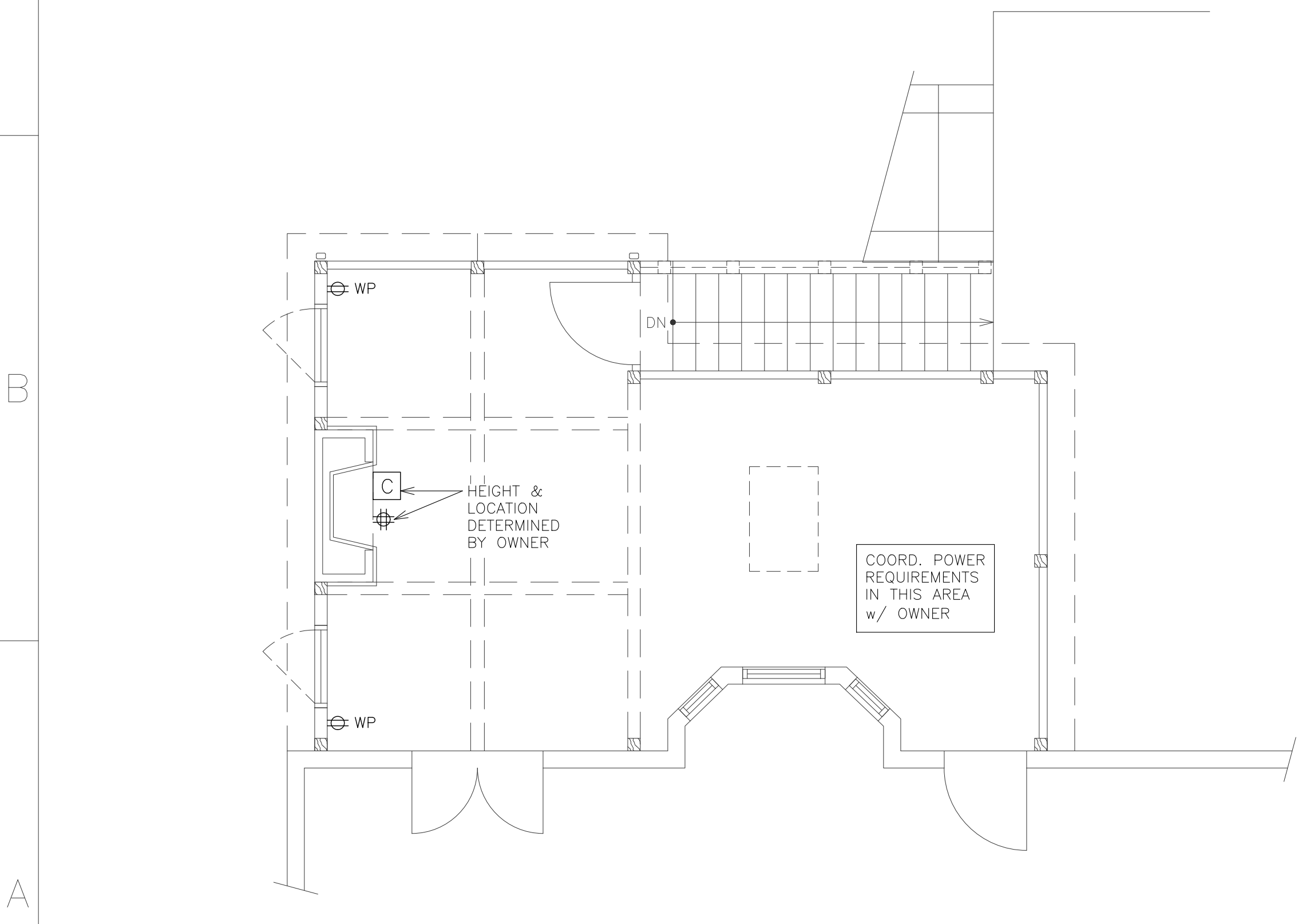
NEW PORCH

PETER BIGAREL
 10505 RIVER RIDGE RD.
 KNOXVILLE, TN 37922

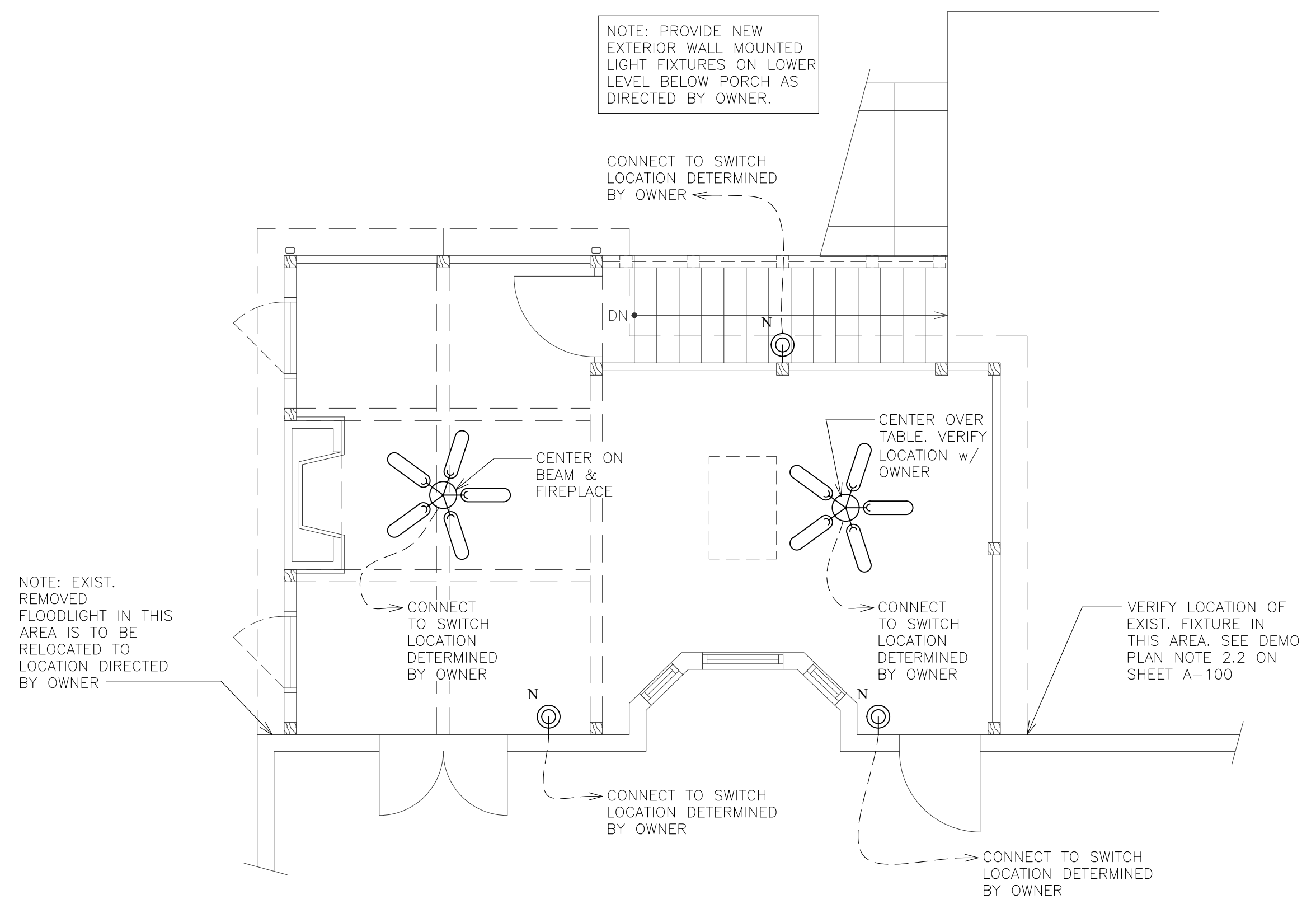
POWER & LIGHTING PLANS

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A1 FLOOR PLAN - POWER
 1/4" = 1'-0"



A4 FLOOR PLAN - LIGHTING
 1/4" = 1'-0"