



McInroe Consulting

gmcinroe@mcinroeconsulting.com

## Example Interactive Document Set

### SHEET INDEX

#### ARCHITECTURAL

G001	COVER SHEET
A001	SITE PLAN
A002	ACCESSIBILITY SITE PLAN
A003	DETAILS
D101	DEMOLITION PLAN BUILDING A AND B
D102	DEMOLITION PLAN BUILDING C AND D
D103	DEMOLITION PLAN BUILDING E AND F
D104	DEMOLITION PLAN BUILDING G
A101	FLOOR PLAN BUILDING BUILDING A AND B
A102	FLOOR PLAN BUILDING BUILDING C AND D
A103	FLOOR PLAN BUILDING BUILDING E AND F
A104	FLOOR PLAN BUILDING BUILDING G
A201	REFLECTED CEILING PLAN BUILDING A AND B
A202	REFLECTED CEILING PLAN BUILDING C AND D
A203	REFLECTED CEILING PLAN BUILDING E AND F
A204	REFLECTED CEILING PLAN BUILDING G
A301	EXTERIOR ELEVATION BUILDING A AND B
A401	EXTERIOR ELEVATION BUILDING B AND D
A402	EXTERIOR ELEVATION BUILDING B AND D
A403	EXTERIOR ELEVATION BUILDING E
A404	EXTERIOR ELEVATION BUILDING F
A405	EXTERIOR ELEVATION BUILDING F
A406	EXTERIOR ELEVATION BUILDING F
A407	EXTERIOR ELEVATION BUILDING F
A408	EXTERIOR ELEVATION BUILDING F
A501	BUILDING SECTION - BUILDING A, B, C, AND D
A502	BUILDING SECTION - BUILDING E AND F
A503	BUILDING SECTION - BUILDING G
A611	TYPICAL CLASSROOM ENLARGED PLAN AND INT. ELEVATIONS
A612	KINDERGARTEN ENLARGED PLAN AND INT. ELEVATIONS
A613	COMPUTER LAB ENLARGED PLAN AND INT. ELEVATIONS
A621	BUILDING A&B RESTROOMS ENLARGED PLAN&INT ELEVATIONS.

For Example:  
Click on Sheet  
A103 Floor Plan  
Building E and F

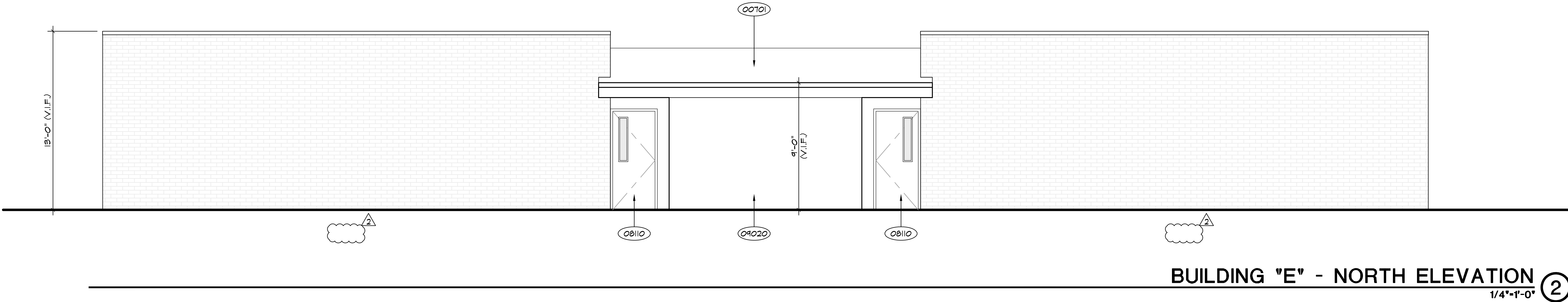
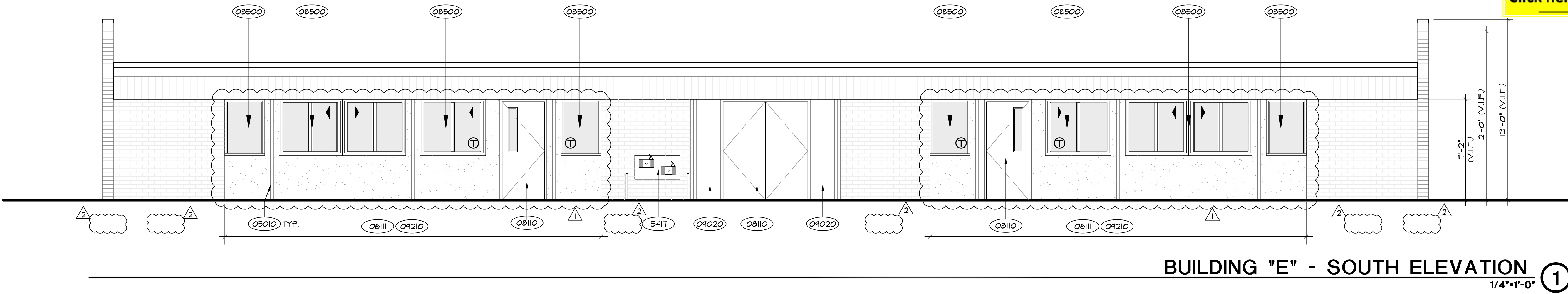
Note: All Plans would be  
linked to Index this example, is  
just using A103.



# Index

E:\8069 SUNNY SLOPE ES Modernization\CONDOS\8069-A109.dwg Apr 21, 2019 - 9:00pm drivers





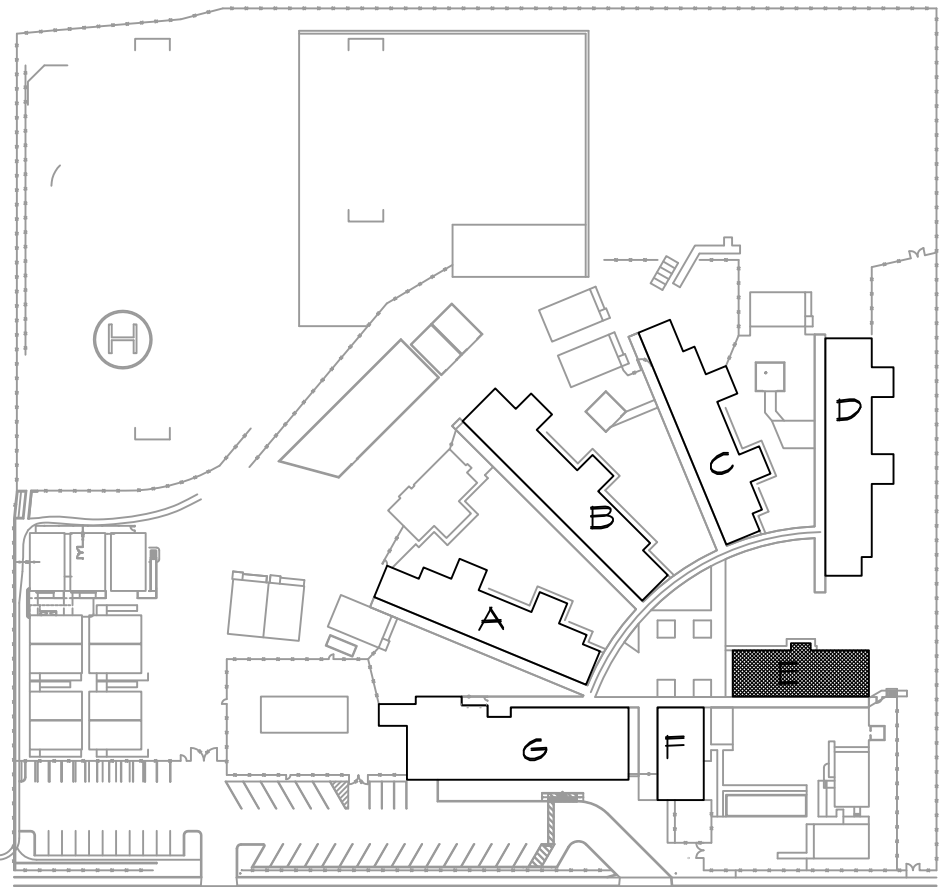
KEYNOTES

- 00701 EXISTING ROOFING TO REMAIN
- 04010 CLEAN EXISTING BRICK MASONRY WALL. PATCH AND REPAIR AS NECESSARY
- 05010 EXISTING STEEL COLUMN
- 06111 REMOVE EXISTING NON-BEARING WOOD STUD WALL/WINDOW SYSTEM AND REPLACE WITH NEW WOOD STUD WALL FRAMING. SEE DETAIL 8/A852
- 08010 EXISTING DOOR AND FRAME TO REMAIN
- 08110 DOOR PER DOOR SCHEDULE
- 08500 WINDOW PER WINDOW SCHEDULE
- 04020 EXISTING PLASTER TO REMAIN - PATCH AND REPAIR WHERE OPENED/REMOVED FOR NEW WORK
- 04210 NEW PLASTER FINISH, SEE 11, 12/A851 & 17, 19/A861
- 15417 ACCESSIBLE "HI-LOW" DRINKING FOUNTAIN IN NON-ALCOVE KING WALL PER 5&8/A811. PATCH AND REPAIR ANY DAMAGE TO ADJACENT FINISHES FROM DEMOLITION.

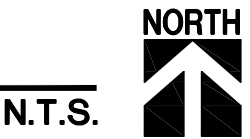
NOTE:  
"WHEREVER CONDUITS ARE EXPOSED ON THE OUTSIDE OF BUILDINGS A NEW FRAMED STUCCO ENCLOSURE SHALL BE BUILT TO CONCEAL THE CONDUITS"

GENERAL NOTES

- WHEREVER ANY SURFACE IS DAMAGED BY NEW WORK OR DEMOLITION, THE SURFACE SHALL BE REPAIRED TO MATCH EXISTING SURFACE MATERIAL AND CONDITIONS.
- IN ADDITION TO NEW PAINTED SURFACES, ALL EXISTING PAINTED SURFACES SHALL BE REPAIRED/PATCHED, CLEANED, PREPARED AND REPAINTED. SEE SPEC SECTION 09900 FOR PAINTING EXECUTION.
- WHERE MASONRY REQUIRES REPAIRING, PATCH HOLES OR VOIDS WITH COLORED CONCRETE TO MATCH EXISTING BRICK. PROVIDE IN-PLACE MOCK-UP FOR ARCHITECT'S APPROVAL.
- REPAIR EXISTING WINDOWS, DOORS, FRAMES, LOUVERS AND TRIMS AS NECESSARY PRIOR TO PAINTING.
- REPAIR EXISTING PLASTER TO MATCH ADJACENT EXISTING SURFACE PRIOR TO PAINTING.
- NO EXTERIOR WORK AT PORTABLES.
- REPAIR AND REFINISH AS NECESSARY ALL EXPOSED INTERIOR AND EXTERIOR FINISHES TO MATCH ADJACENT SIMILAR FINISHES. SEE GENERAL NOTES ON SHEET A701 FOR ADDITIONAL INFORMATION.



ELM AVENUE



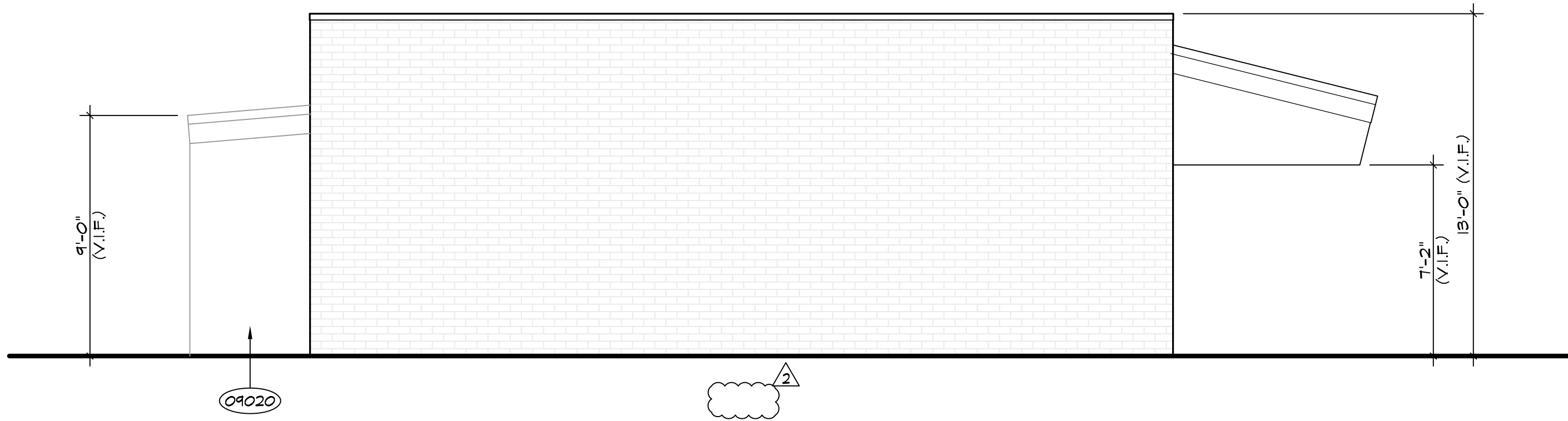
KEY MAP

SHEET TITLE:  
**BUILDING E  
EXTERIOR ELEVATIONS**  
SHEET NO.:

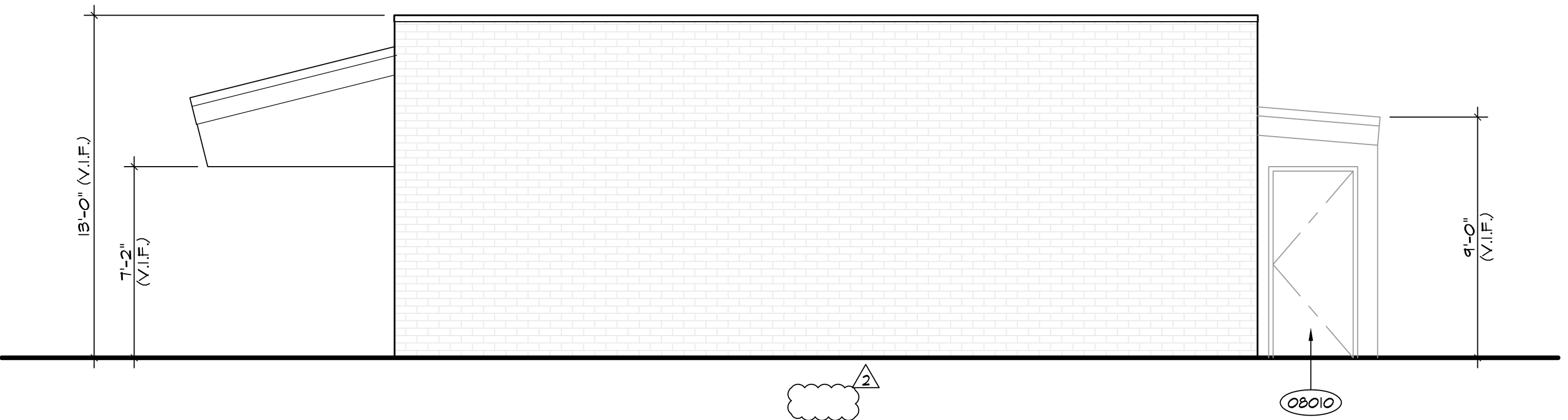
A405

OF:

**BUILDING "E" - EAST ELEVATION** ③  
1/4"=1'-0"



**BUILDING "E" - WEST ELEVATION** ④  
1/4"=1'-0"



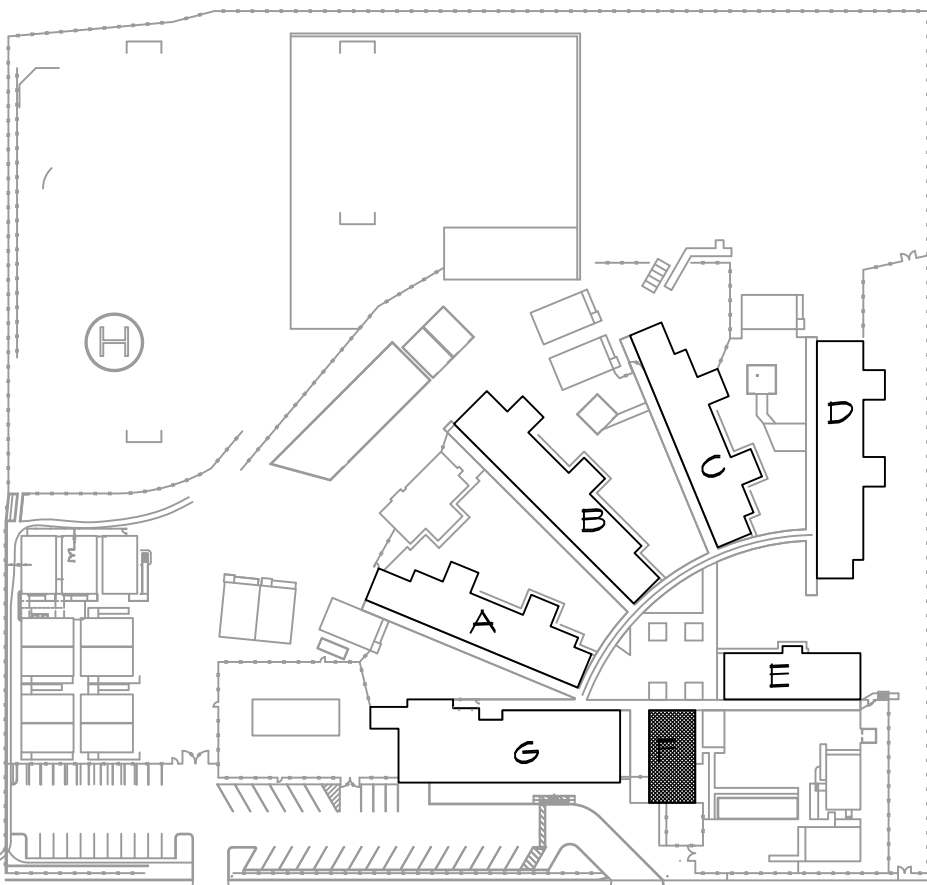
Notice how you jump to Correct Location on the Plan - Scroll back and select Index in top Right Corner

KEYNOTES

- 00701 EXISTING ROOFING TO REMAIN  
05010 EXISTING STEEL COLUMN  
06111 REMOVE EXISTING NON-BEARING WOOD STUD WALL/WINDOW SYSTEM AND REPLACE WITH NEW WOOD STUD WALL FRAMING. SEE DETAIL 8/A832  
08110 DOOR PER DOOR SCHEDULE  
08502 EXISTING WINDOW TO REMAIN  
09020 EXISTING PLASTER TO REMAIN - PATCH AND REPAIR WHERE OPENED/REMOVED FOR NEW WORK  
09210 NEW PLASTER FINISH, SEE 11, 12/A851 & 17, 19/A861

GENERAL NOTES

- WHEREVER ANY SURFACE IS DAMAGED BY NEW WORK OR DEMOLITION, THE SURFACE SHALL BE REPAIRED TO MATCH EXISTING SURFACE MATERIAL AND CONDITIONS.
- IN ADDITION TO NEW PAINTED SURFACES, ALL EXISTING PAINTED SURFACES SHALL BE REPAIRED/PATCHED, CLEANED, PREPARED AND REPAINTED. SEE SPEC SECTION 09900 FOR PAINTING EXECUTION.
- WHERE MASONRY REQUIRES REPAIRING, PATCH HOLES OR VOIDS WITH COLORED CONCRETE TO MATCH EXISTING BRICK. PROVIDE IN-PLACE MOCK-UP FOR ARCHITECT'S APPROVAL.
- REPAIR EXISTING WINDOWS, DOORS, FRAMES, LOUVERS AND TRIMS AS NECESSARY PRIOR TO PAINTING.
- REPAIR EXISTING PLASTER TO MATCH ADJACENT EXISTING SURFACE PRIOR TO PAINTING.
- NO EXTERIOR WORK AT PORTABLES.
- REPAIR AND REFINISH AS NECESSARY ALL EXPOSED INTERIOR / EXTERIOR FINISHES TO MATCH ADJACENT SIMILAR FINISHES. SEE GENERAL NOTES ON SHEET A701 FOR ADDITIONAL INFORMATION



ELM AVENUE

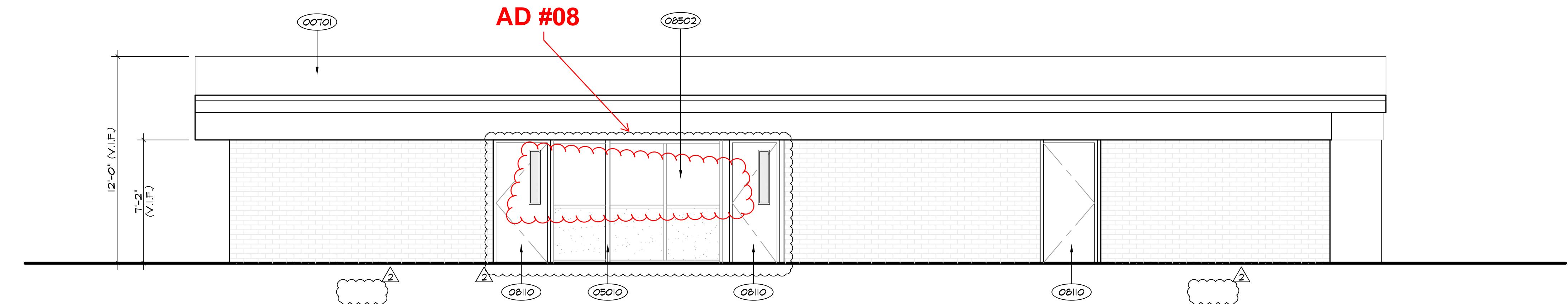
N.T.S.

KEY MAP

BUILDING "F" - WEST ELEVATION

1/4"=1'-0"

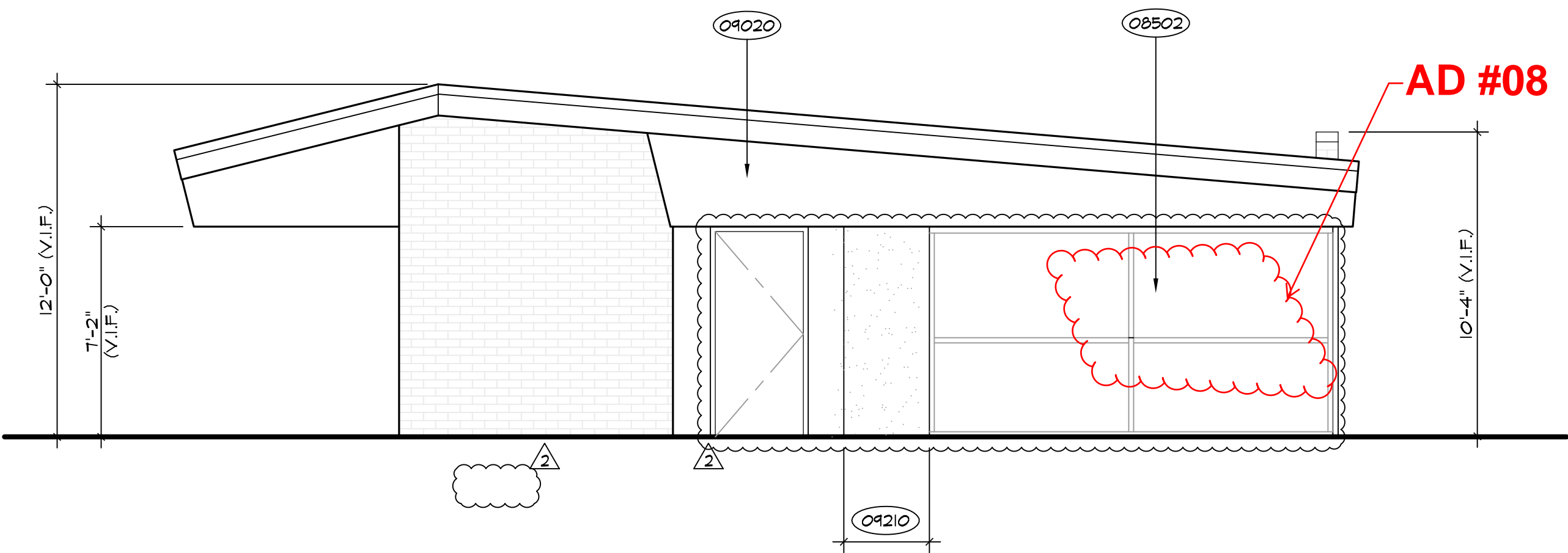
2



BUILDING "F" - SOUTH ELEVATION

1/4"=1'-0"

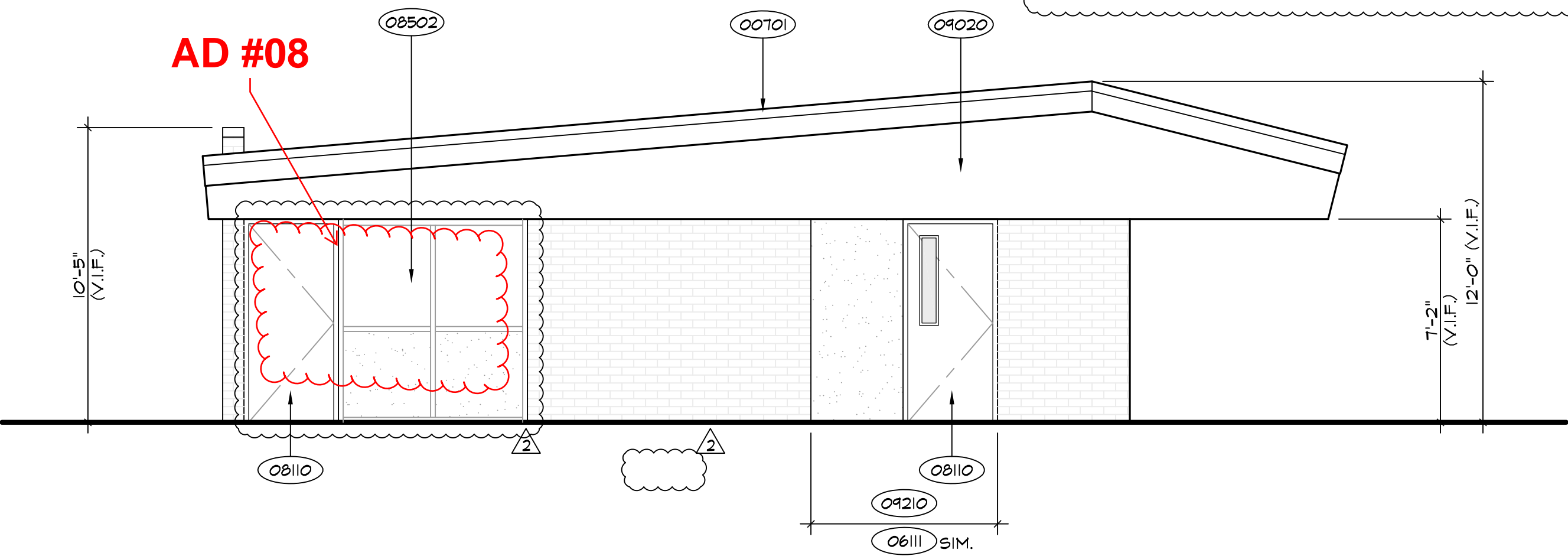
3



BUILDING "F" - NORTH ELEVATION

1/4"=1'-0"

4



NOTE:  
"WHEREVER CONDUITS ARE EXPOSED ON THE OUTSIDE OF BUILDINGS A NEW FRAMED STUCCO ENCLOSURE SHALL BE BUILT TO CONCEAL THE CONDUITS"

SHEET TITLE:

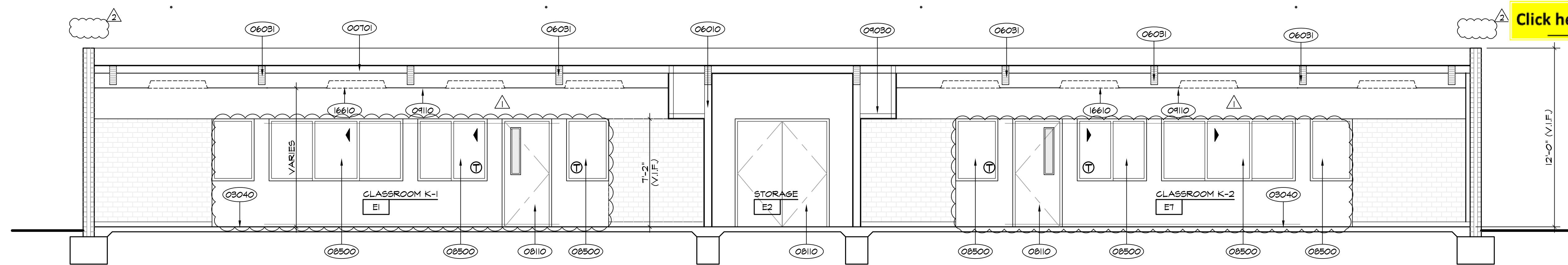
BUILDING F EXTERIOR ELEVATIONS

SHEET NO.

A406

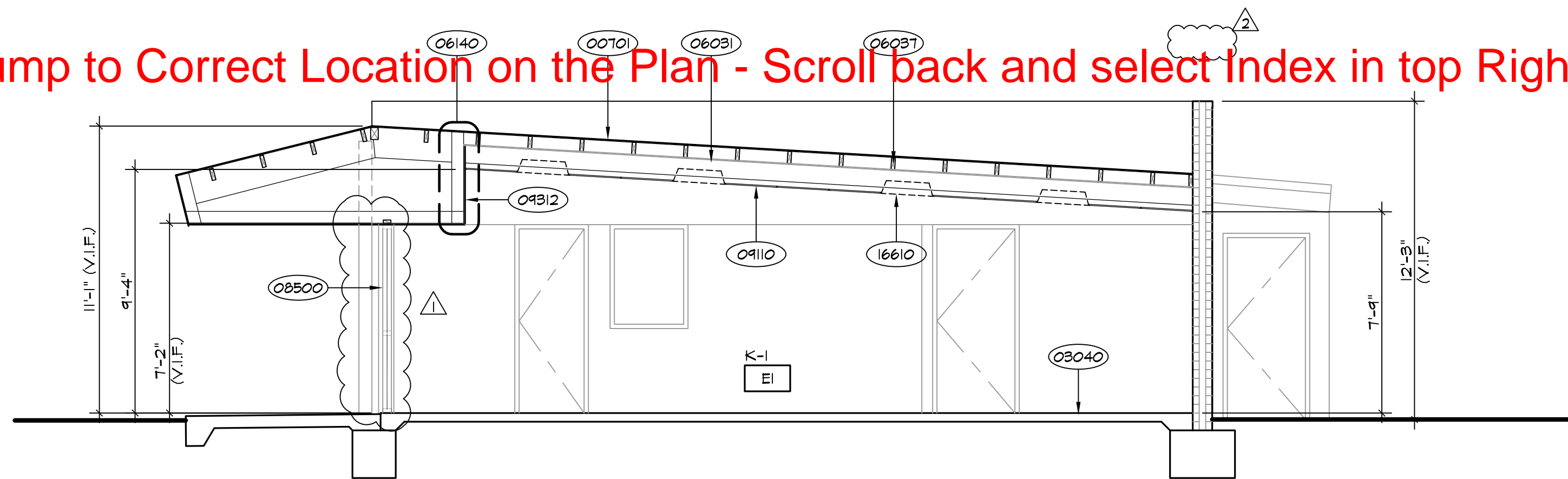
OF:





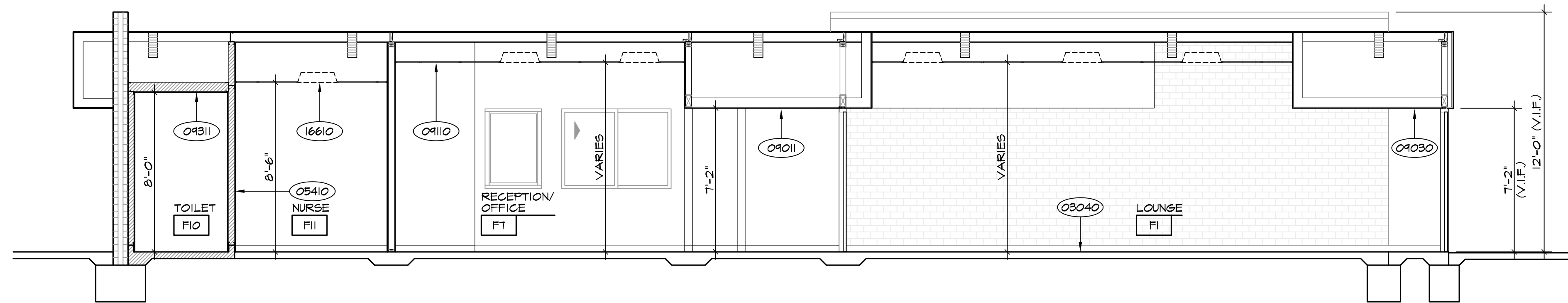
BUILDING E - SECTION A ①  
1/4"=1'-0"

Notice how you jump to Correct Location on the Plan - Scroll back and select Index in top Right Corner



BUILDING E - SECTION B ②  
1/4"=1'-0"

NOTE:  
"WHEREVER CONDUITS ARE EXPOSED ON THE OUTSIDE OF BUILDINGS A NEW FRAMED STUCCO ENCLOSURE SHALL BE BUILT TO CONCEAL THE CONDUITS"



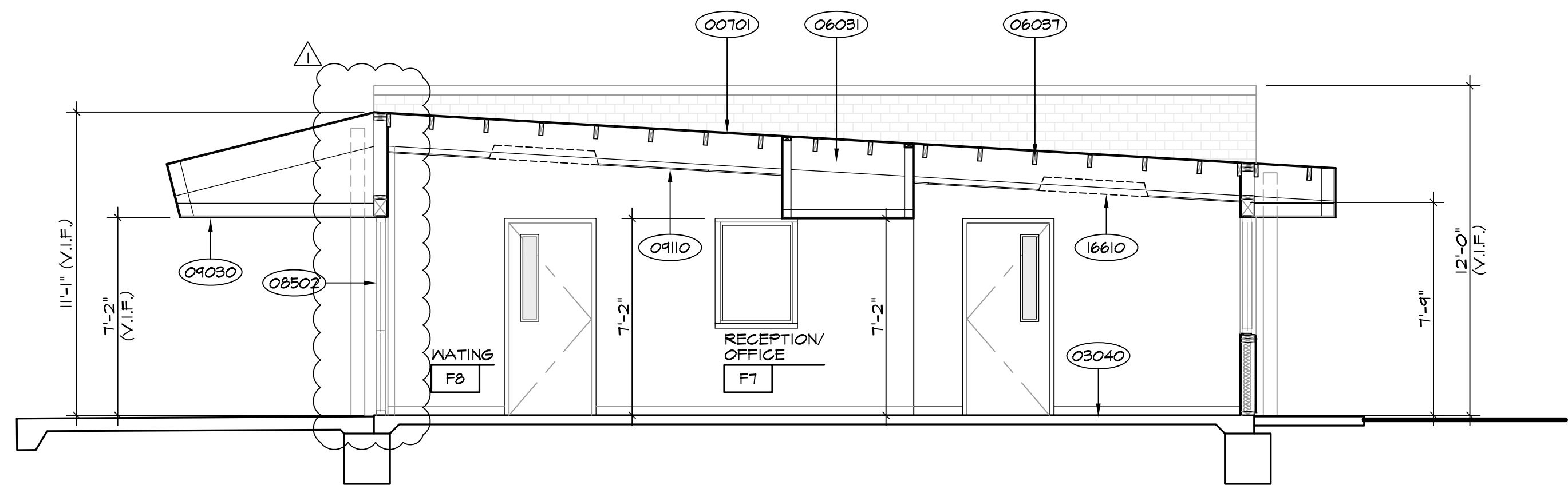
BUILDING F - SECTION A ③  
1/4"=1'-0"

GENERAL NOTES

1. REPAIR AND REFINISH AS NECESSARY ALL EXPOSED INTERIOR AND EXTERIOR FINISHES TO MATCH ADJACENT SIMILAR FINISHES. SEE GENERAL NOTES ON SHEET A701 FOR ADDITIONAL INFORMATION.

KEY NOTES

- 00701 EXISTING ROOFING TO REMAIN  
03040 EXISTING CONCRETE FLOOR SLAB  
05410 NEW METAL STUD WALL W/ 5/8" TYPE 'X' GYP. BD.  
06010 EXISTING WOOD STUD WALL TO REMAIN - PATCH TO MATCH ADJACENT WALLS WHERE OCCURS  
06031 EXISTING BEAM TO REMAIN  
06037 EXISTING ROOF FRAMING TO REMAIN  
06140 EXISTING WOOD FRAMED SOFFIT. REMOVE AND REFRAME AS REQUIRED FOR INSTALLATION OF NEW DUCT WORKS.  
08110 DOOR PER DOOR SCHEDULE  
08500 WINDOW PER WINDOW SCHEDULE  
08502 EXISTING WINDOW TO REMAIN  
09011 EXISTING CEILING TO REMAIN. PATCH PLASTER PRIOR TO PAINT  
09030 EXISTING GYPSUM BOARD SOFFIT TO REMAIN. PATCH AND REPAIR PRIOR TO PAINTING  
09110 NEW SUSPENDED LAY IN PANEL ACOUSTICAL CEILING PER 10/A840  
09311 5/8" TYPE 'X' GYPSUM BOARD CEILING PER 20/A850  
09312 5/8" TYPE 'X' GYPSUM BOARD SOFFIT  
16610 LAY-IN 2x4 LIGHT FIXTURE - SEE ELECTRICAL PLANS



BUILDING F - SECTION B ④  
1/4"=1'-0"

SHEET TITLE:

BUILDING E AND F  
SECTIONS

SHEET NO.

A502

OF:

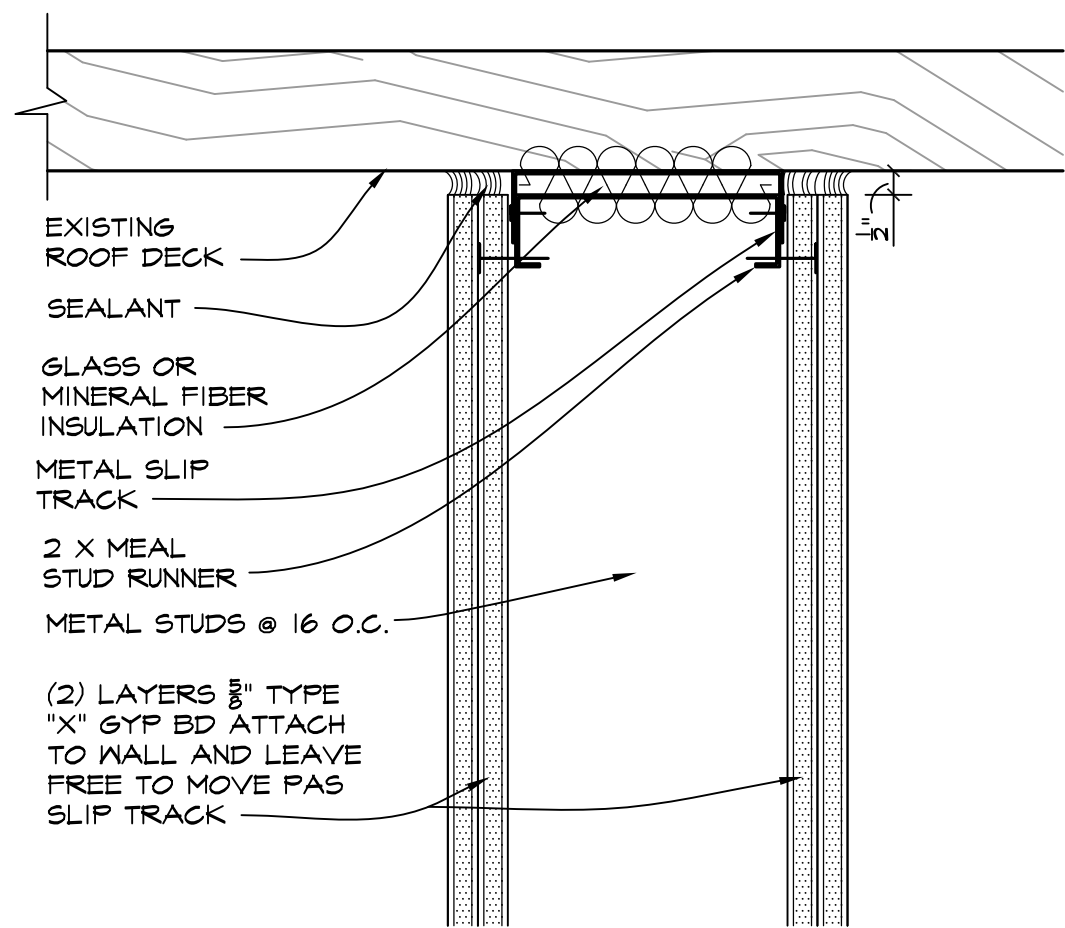






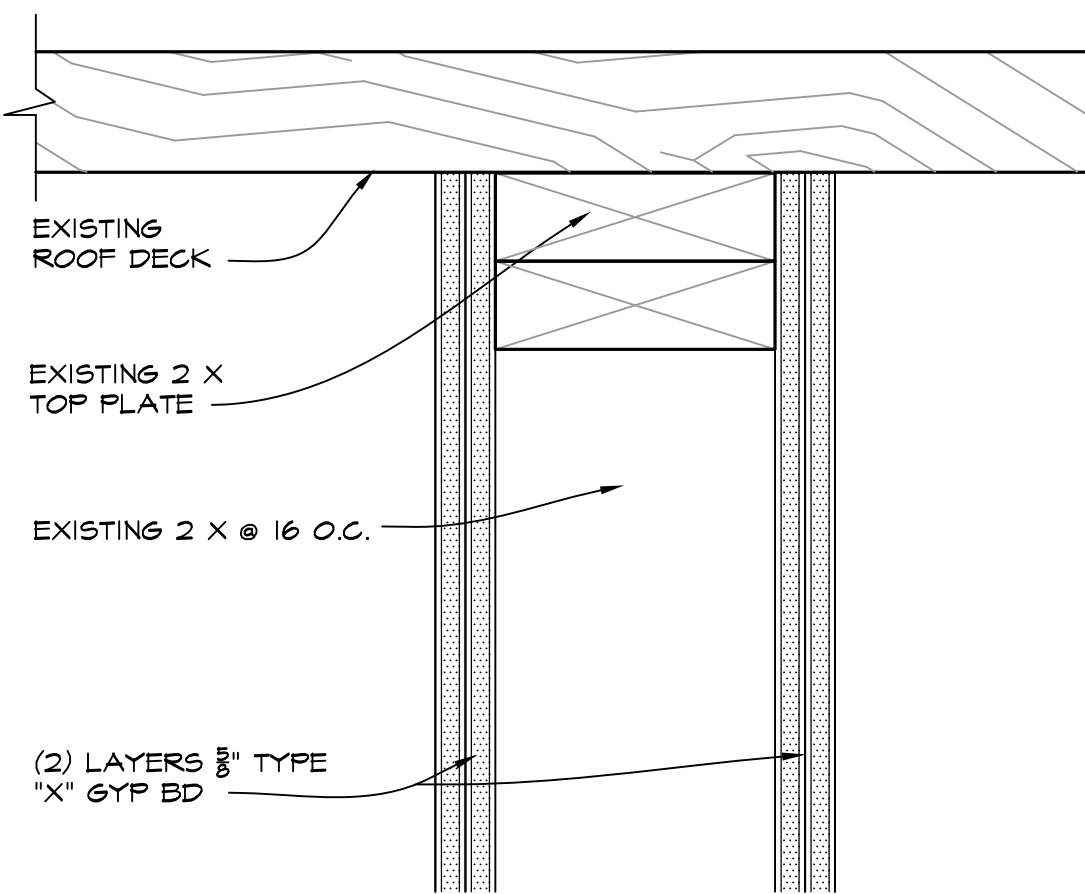






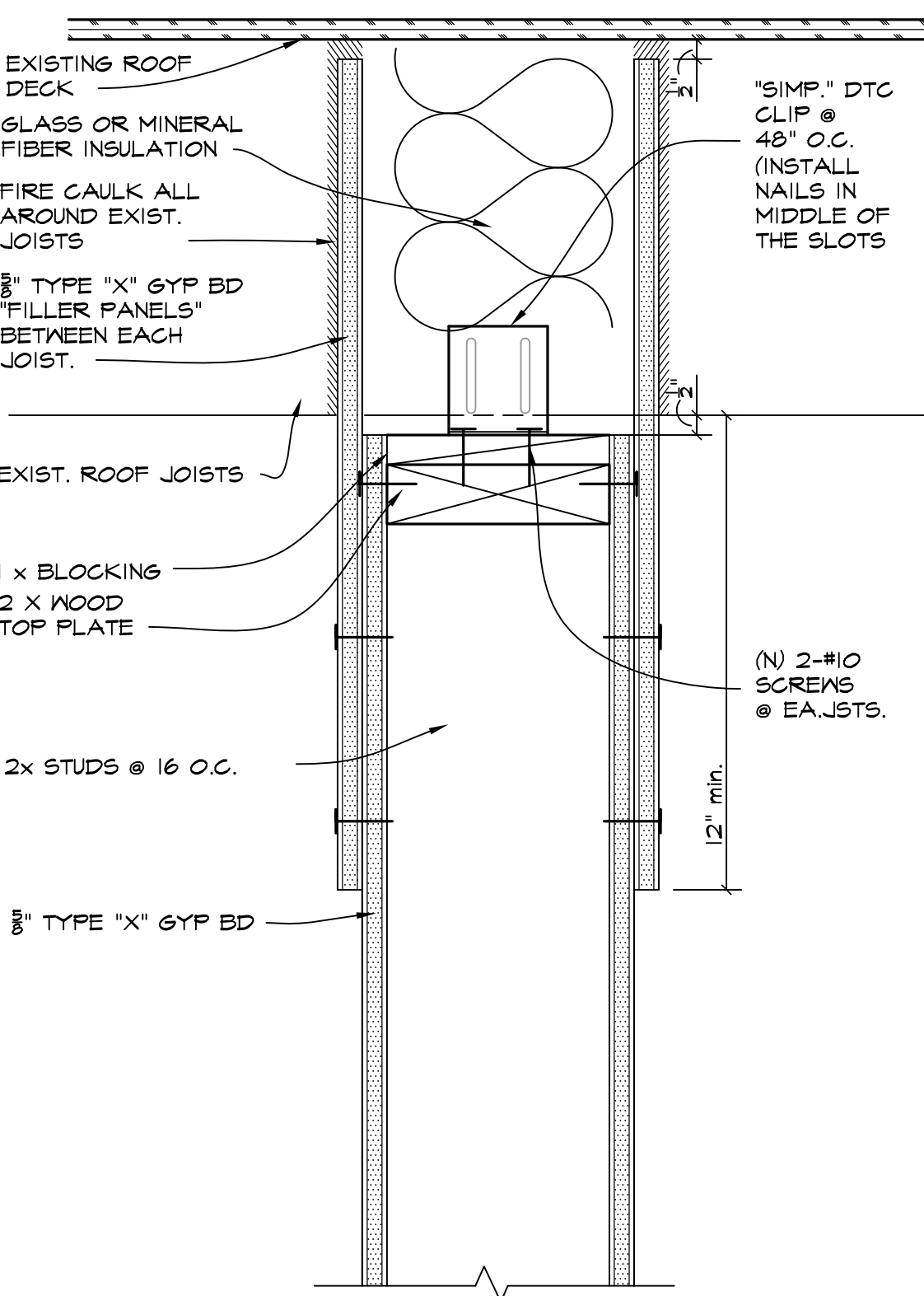
17 UL DESIGN # U411

3" = 1'-0"



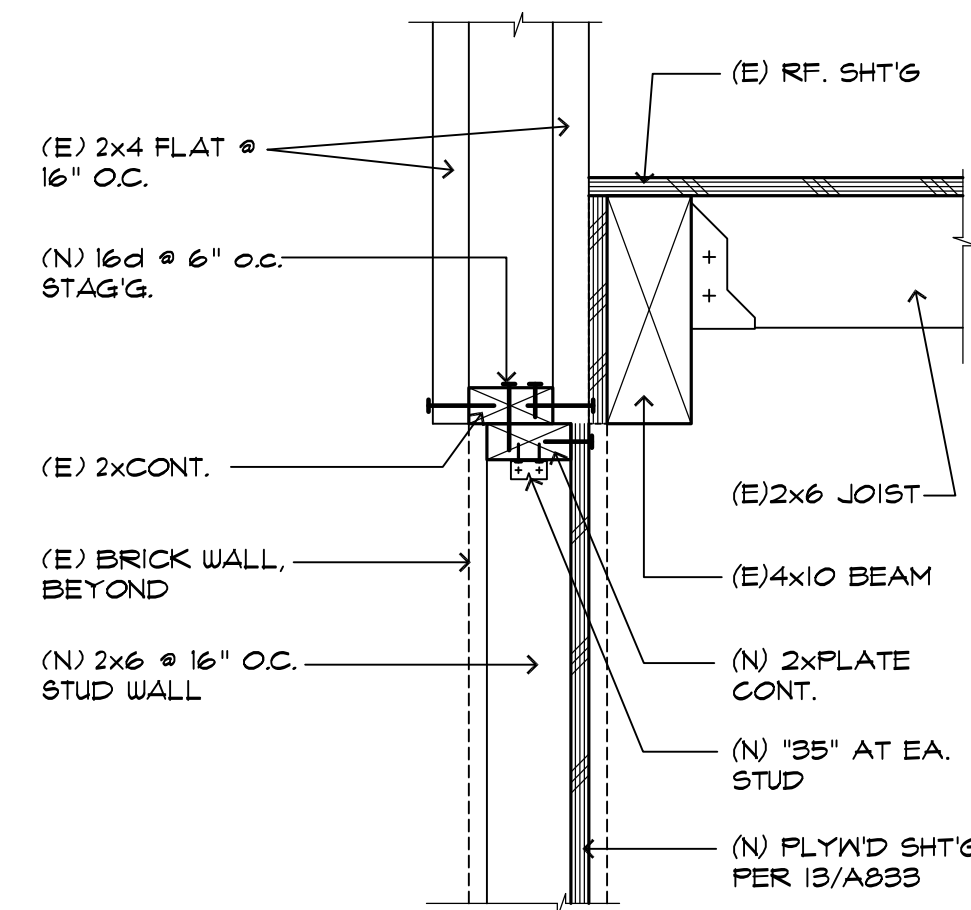
18 UL DESIGN # U301

3" = 1'-0"



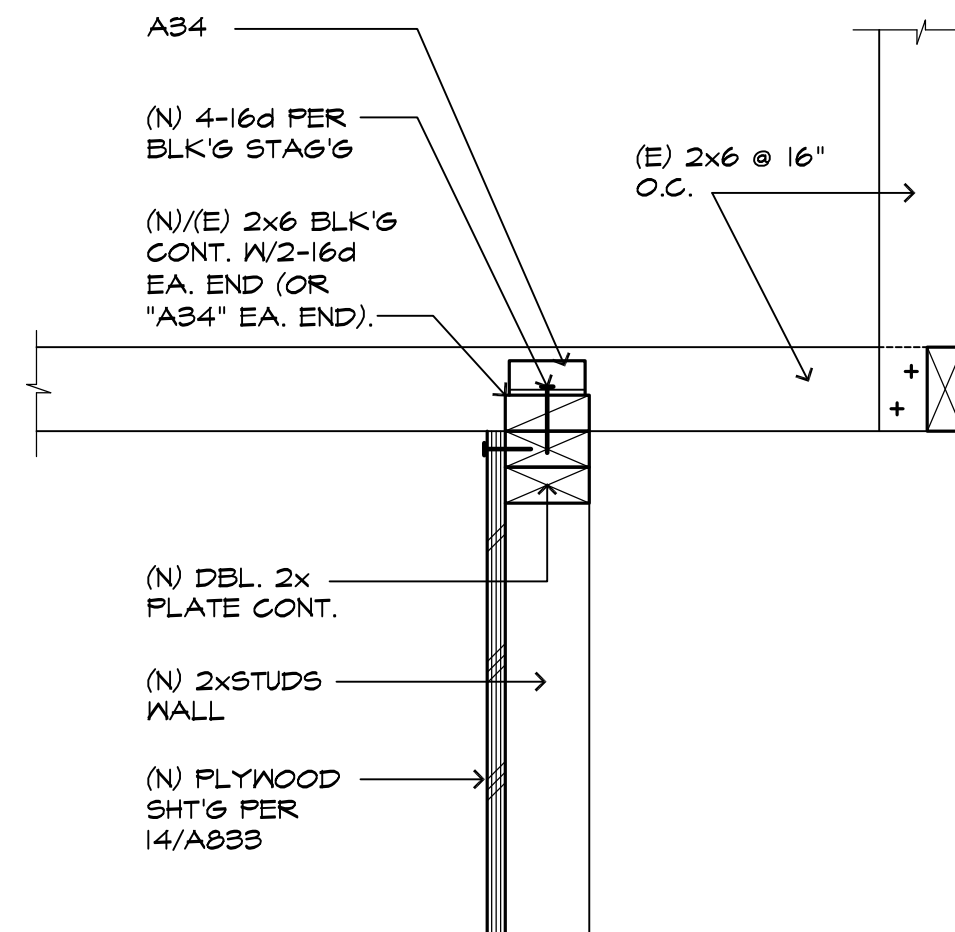
20 WOOD STUDS PARTITIONS under ROOF SHT'G.

3" = 1'-0"



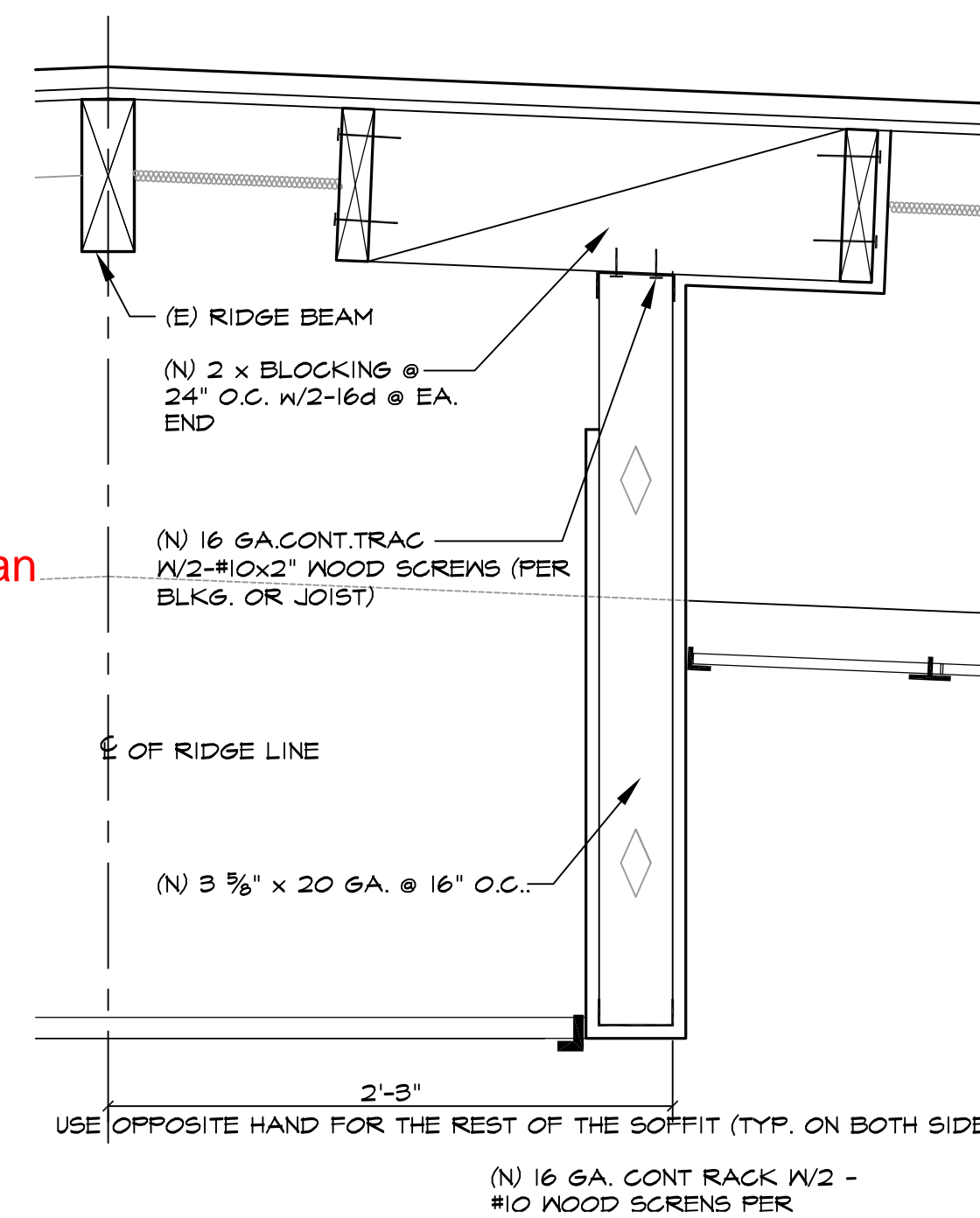
14 SHEAR TRANSFER at ROOF

1 1/2" = 1'-0"



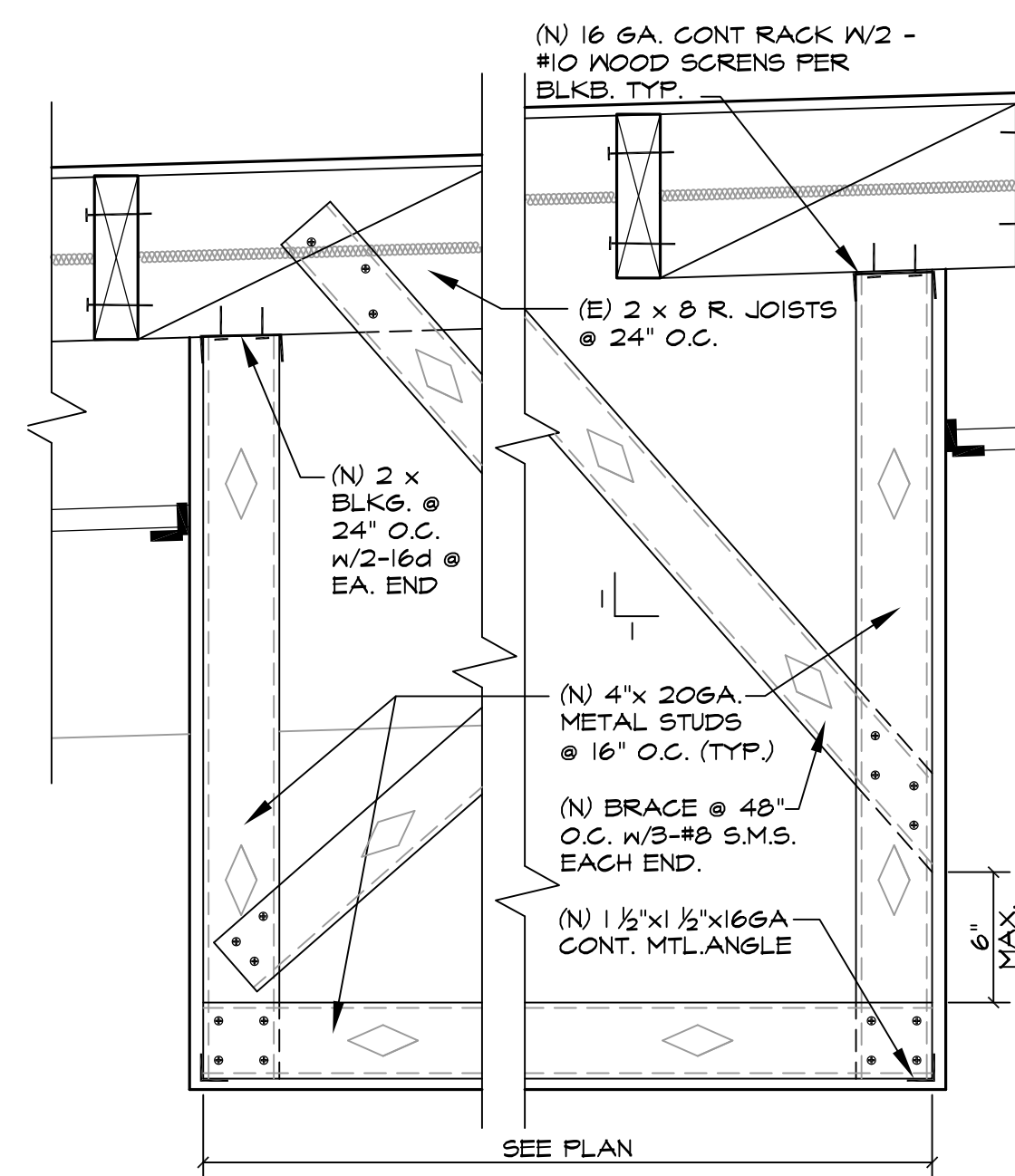
10 SHEAR TRANSFER at E.SOFFIT

1 1/2" = 1'-0"



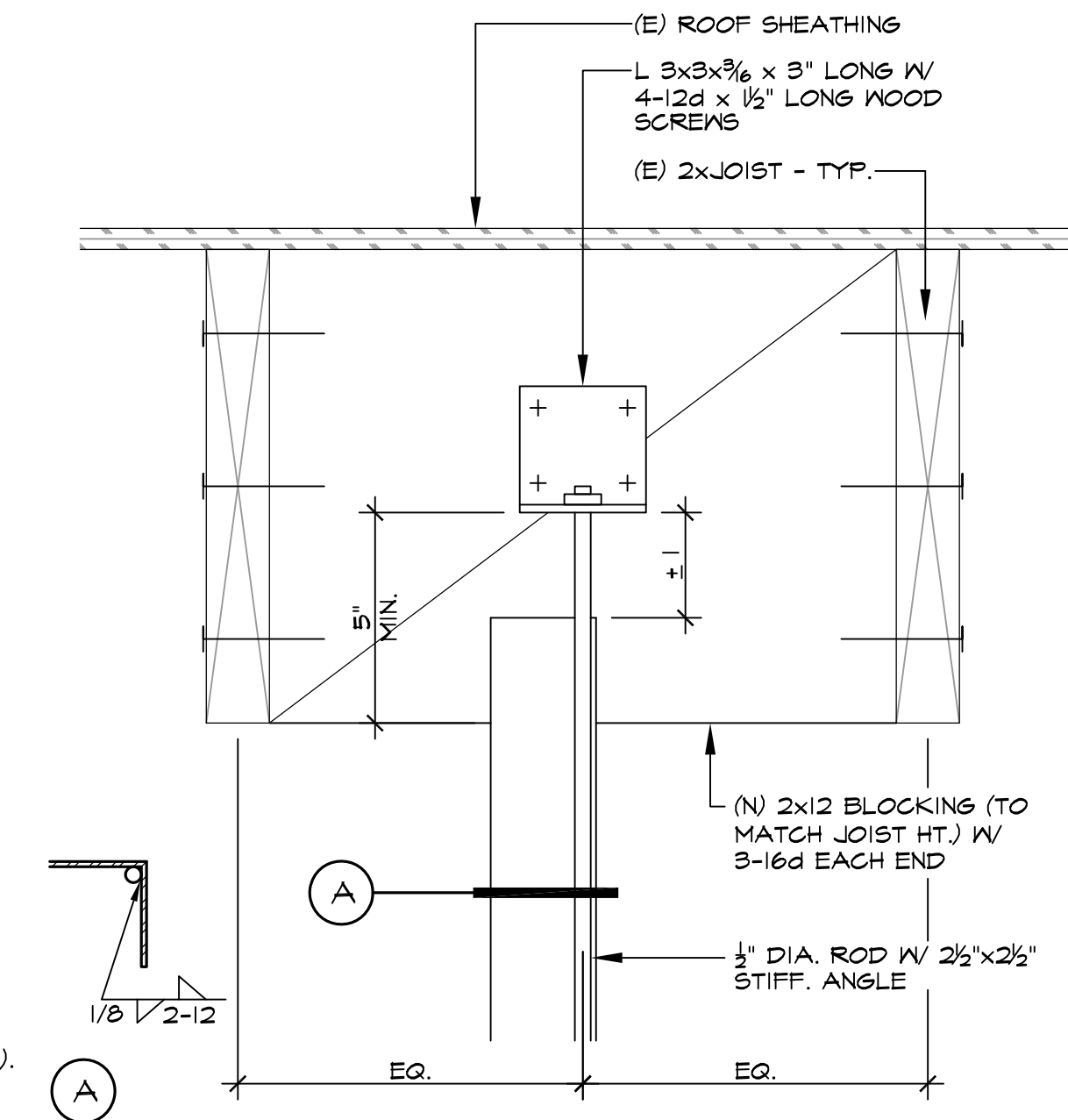
6 MECHANICAL DUCT SOFFIT

1 1/2" = 1'-0"



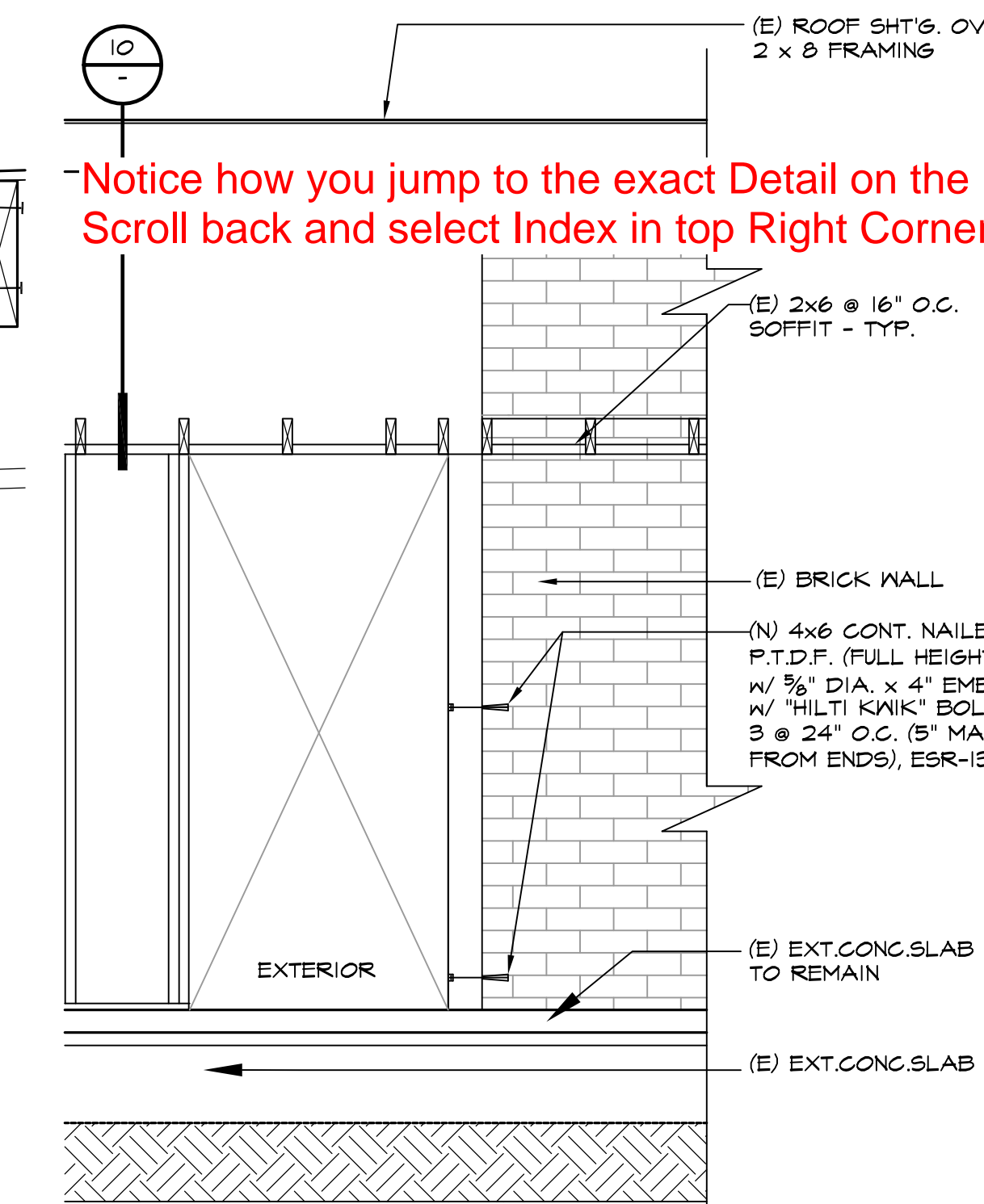
7 SOFFIT FRAMING DETAIL

1 1/2" = 1'-0"



1 HOOD SUPPORT

3" = 1'-0"



3 NAILER CONNECTION to BLOCK

1/2" = 1'-0"

Notice how you jump to the exact Detail on the Plan  
Scroll back and select Index in top Right Corner

Notice how you jump to the exact Detail on the Plan  
Scroll back and select Index in top Right Corner

SHEET TITLE:

DETAILS

SHEET NO.

A832

OF:

APRIL 19, 2013 ISSUED FOR F

WOOD STUDS

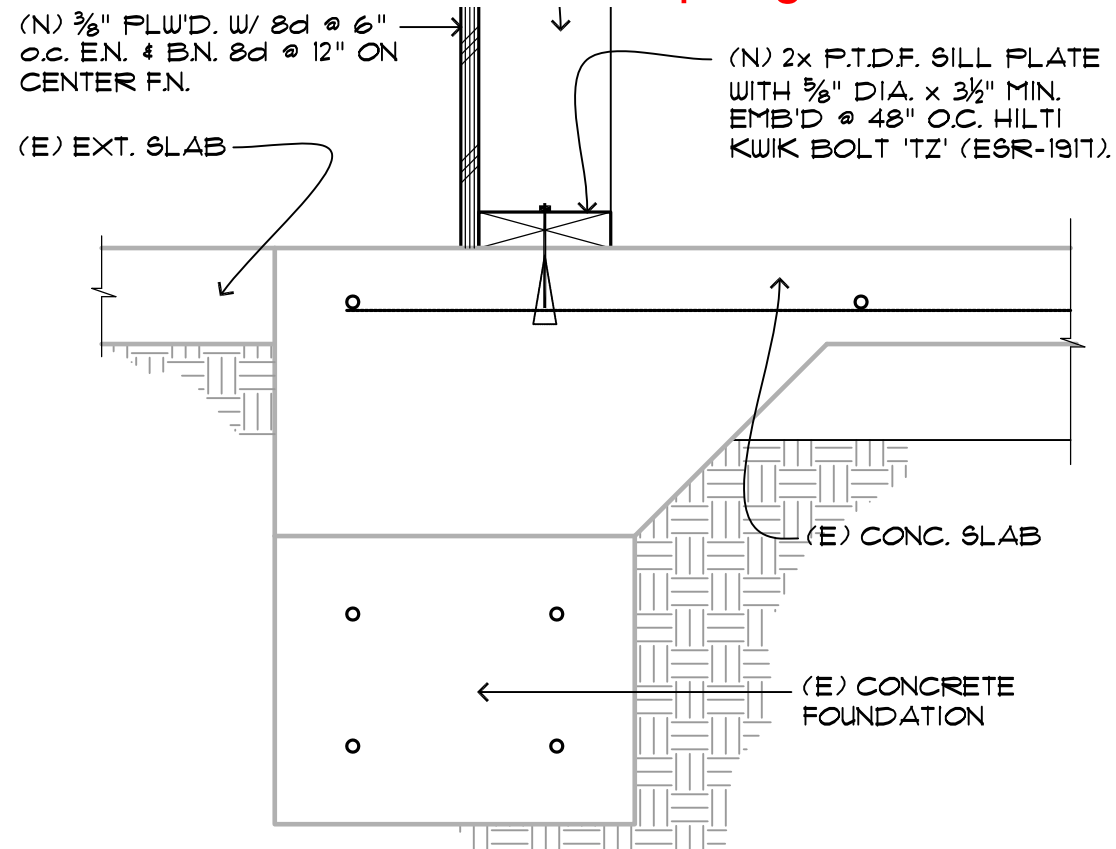
METAL STUDS



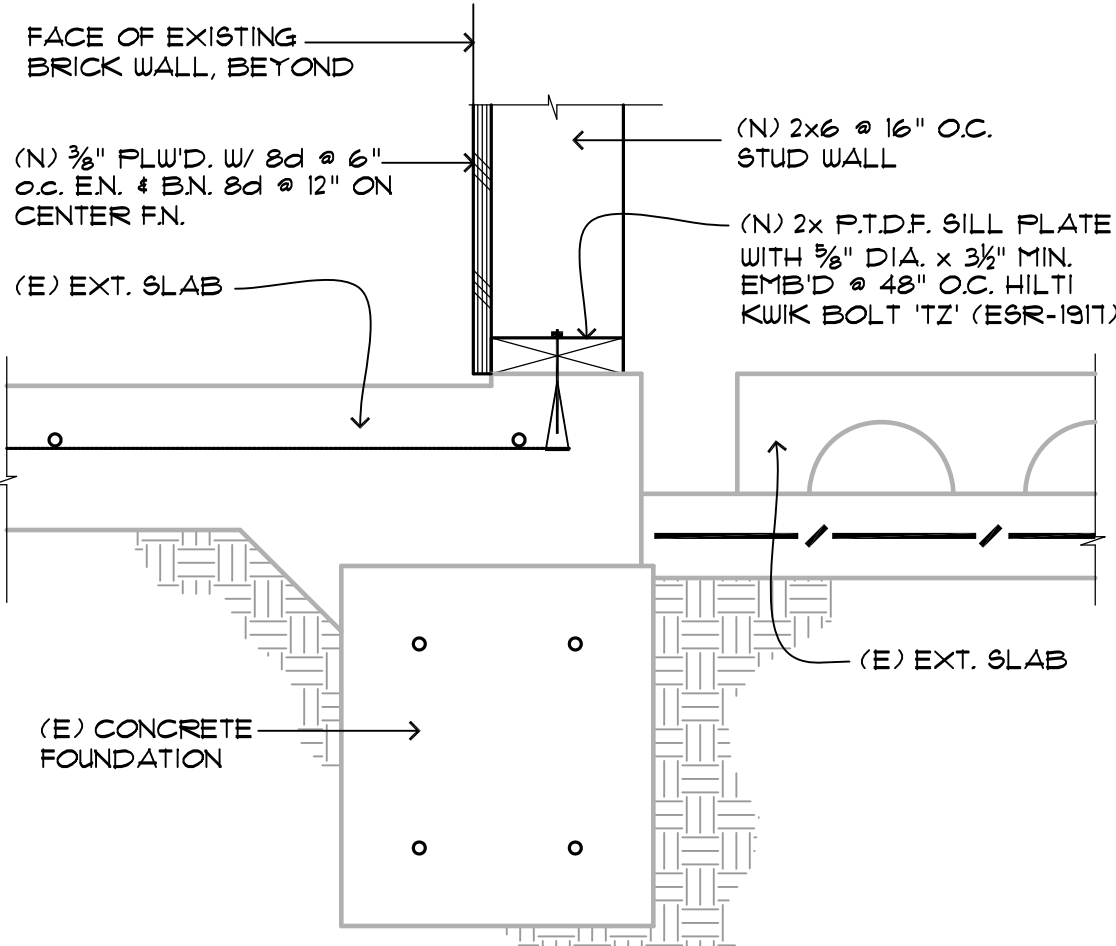
Notice how you jump to the exact Detail on the Plan  
Scroll back and select Index in top Right Corner

[Click here to return to Index](#)

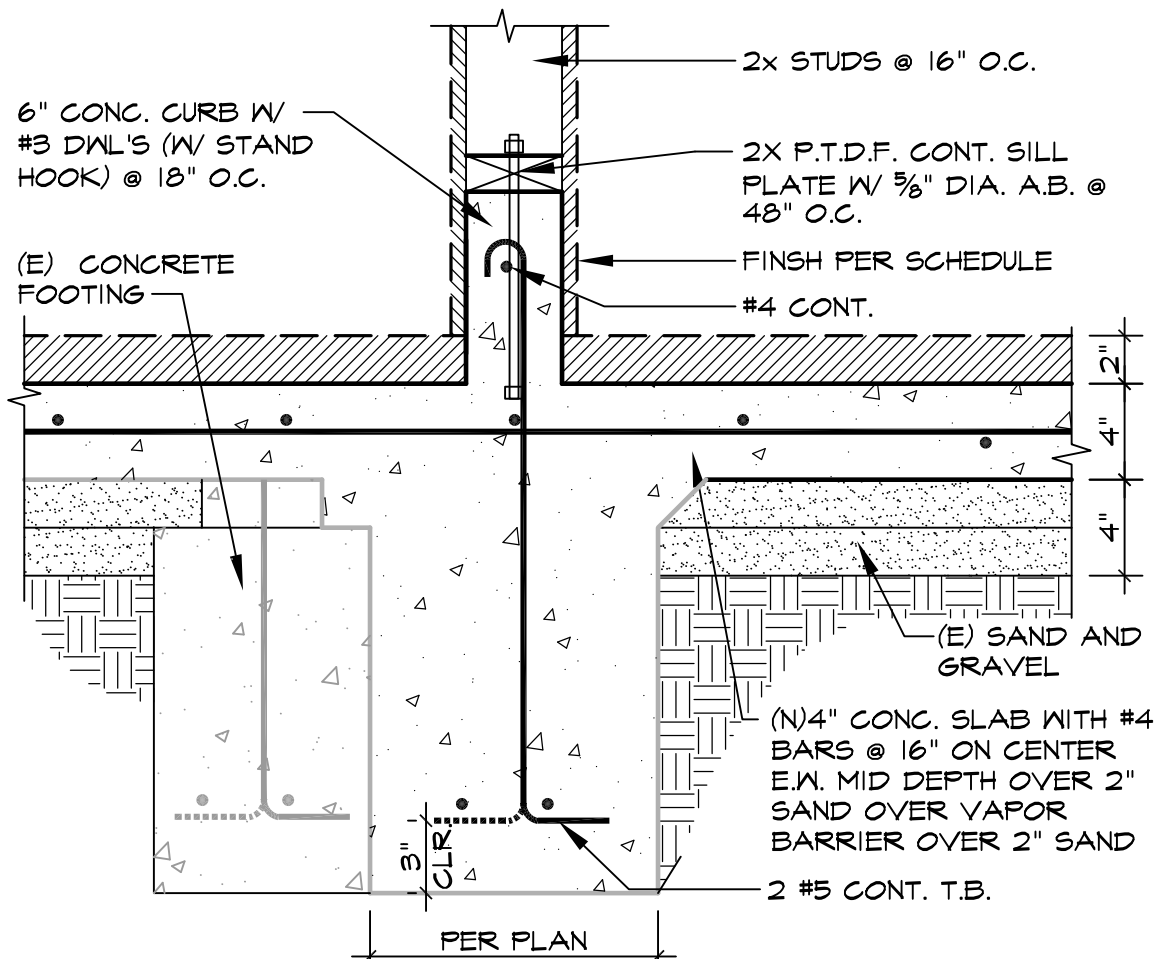
Index



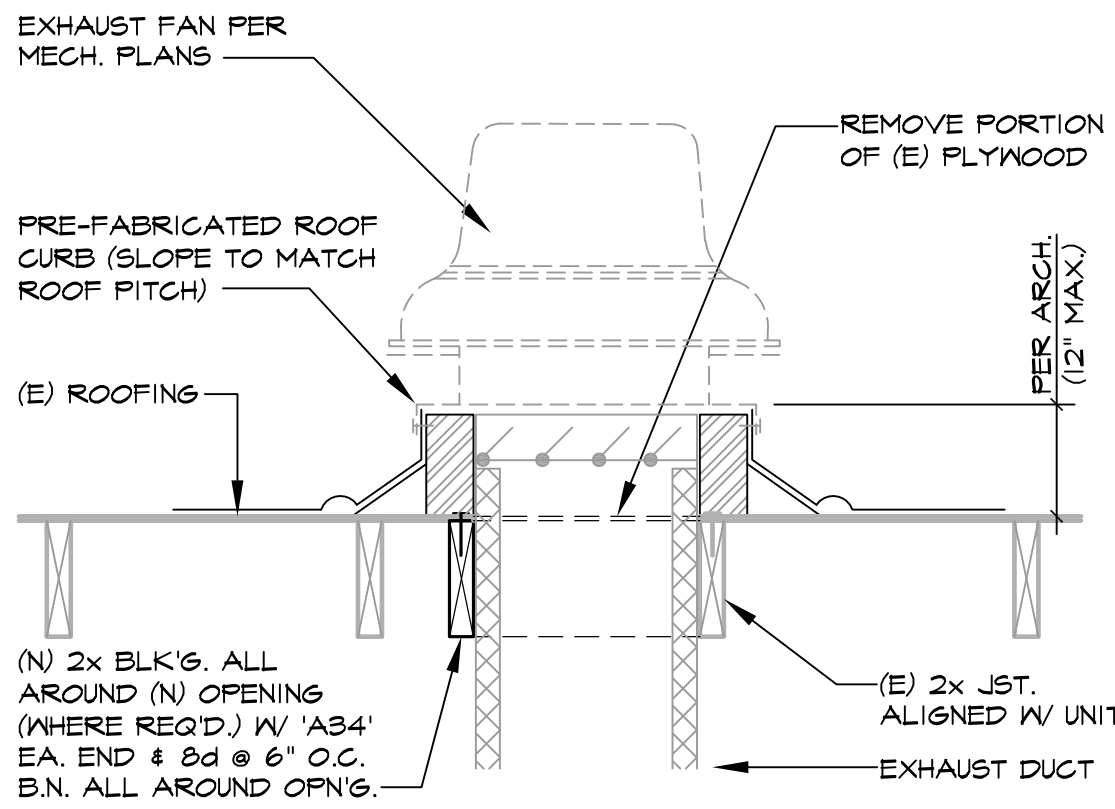
13 SHEAR PANEL TRANSFER  
1 1/2" = 1'-0"



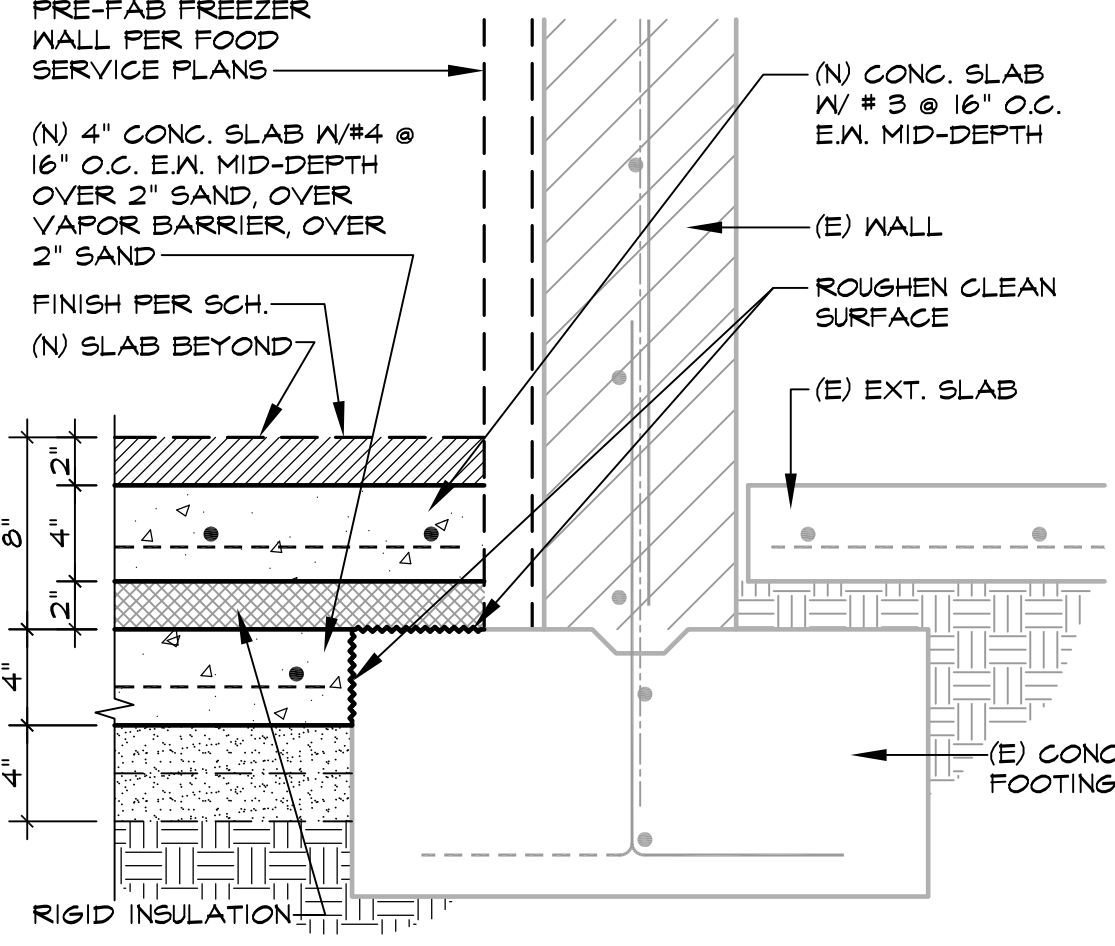
14 SHEAR PANEL TRANSFER  
1 1/2" = 1'-0"



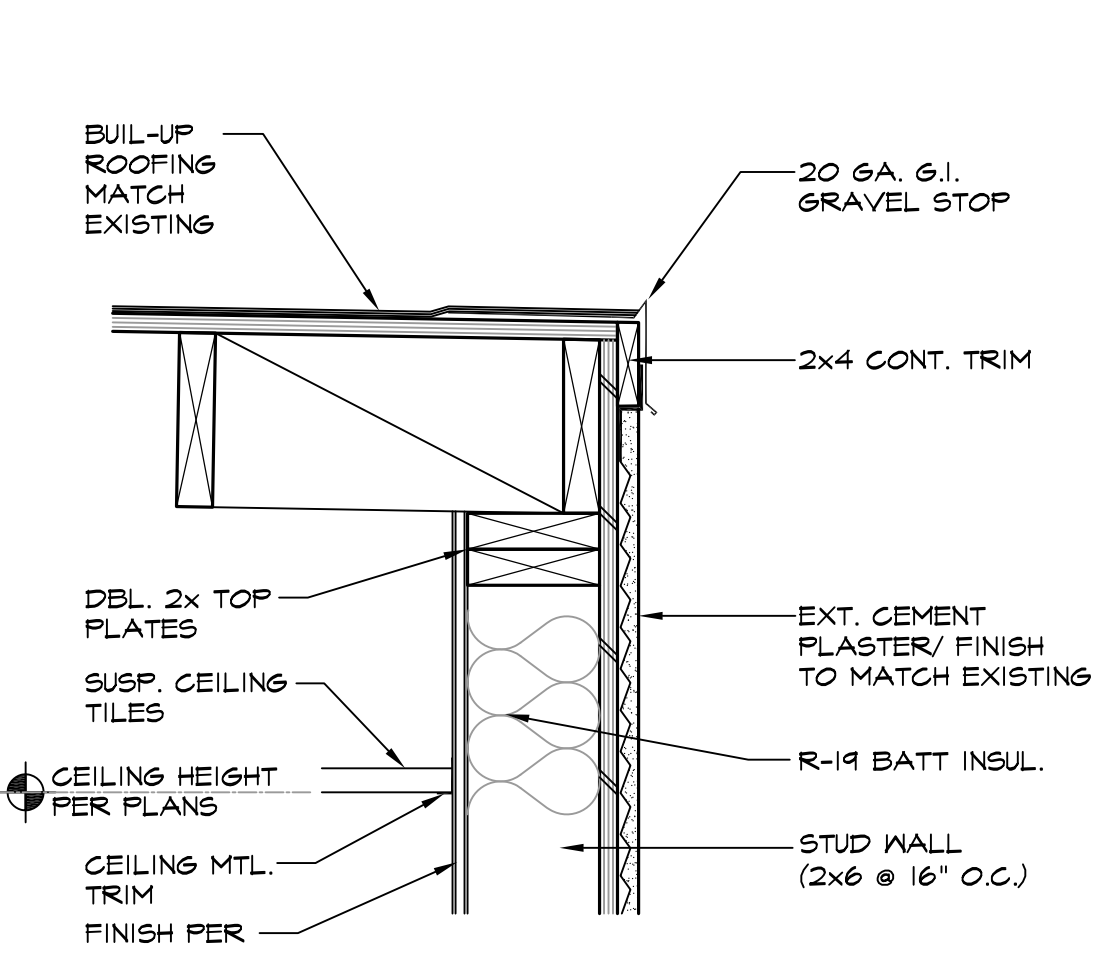
15 (N) FOOTING AT (E) FOUNDATION  
1 1/2" = 1'-0"



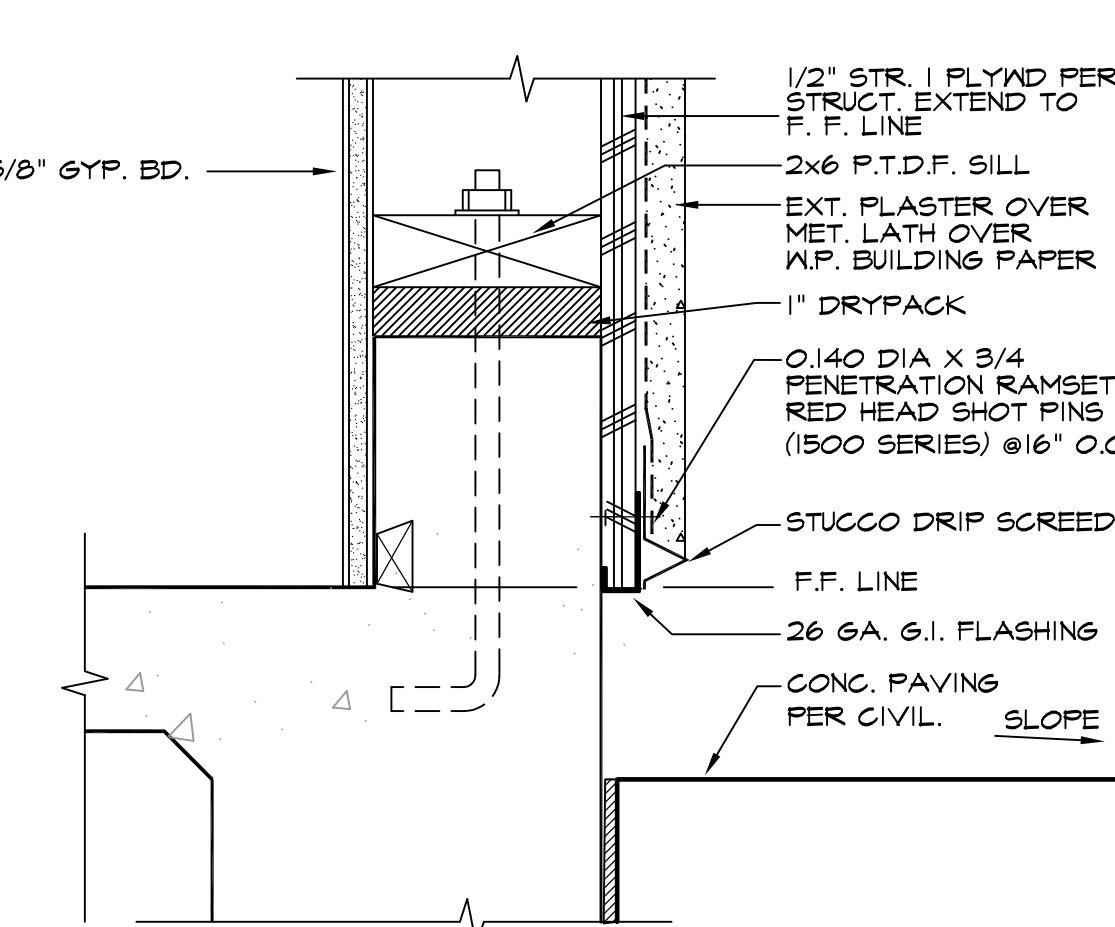
9 CURB MOUNTED EXHAUST FAN  
1" = 1'-0"



10 INT. SLAB AT BRICK WALL  
1 1/2" = 1'-0"

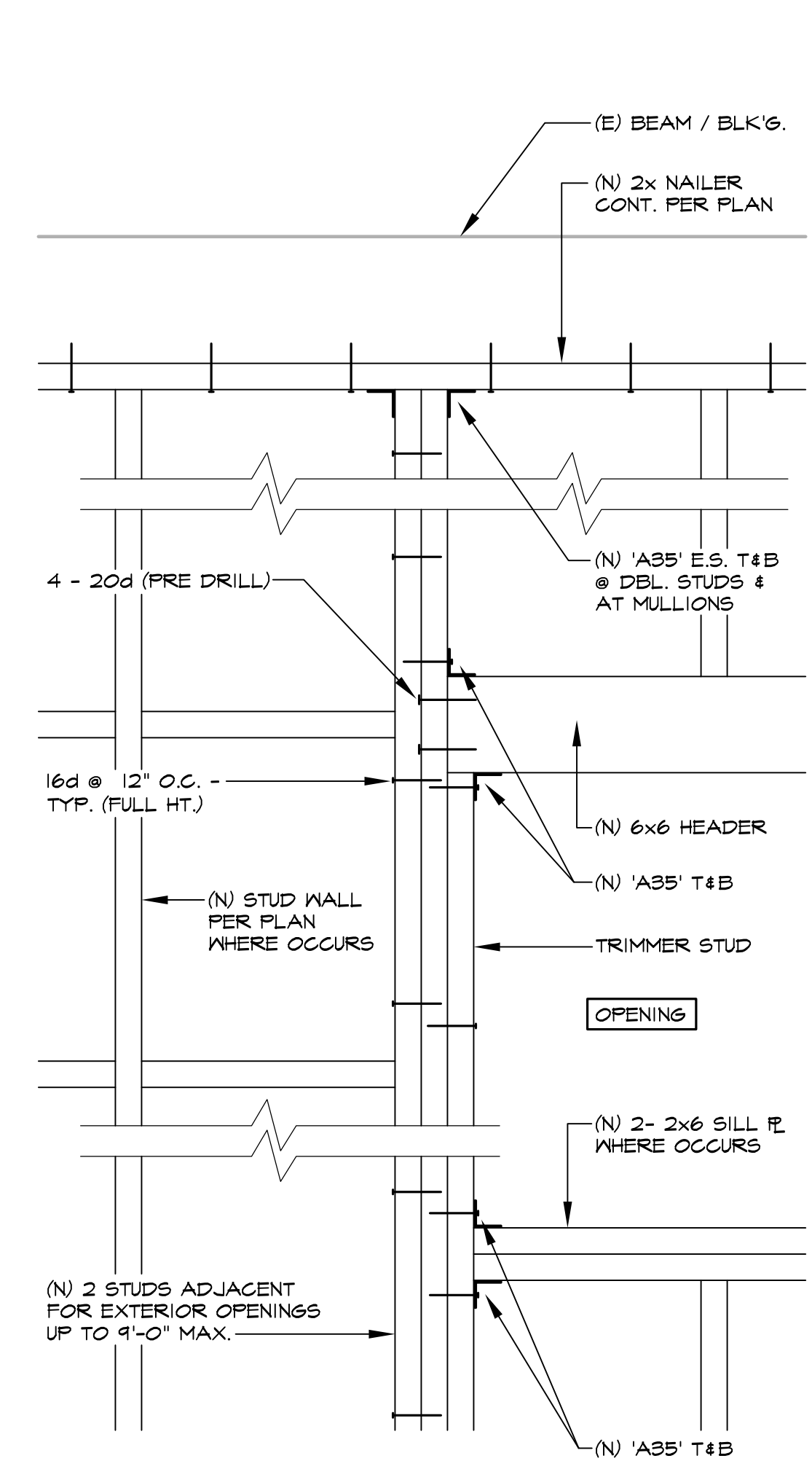


11 ROOF AT ZERO EAVE  
1 1/2" = 1'-0"

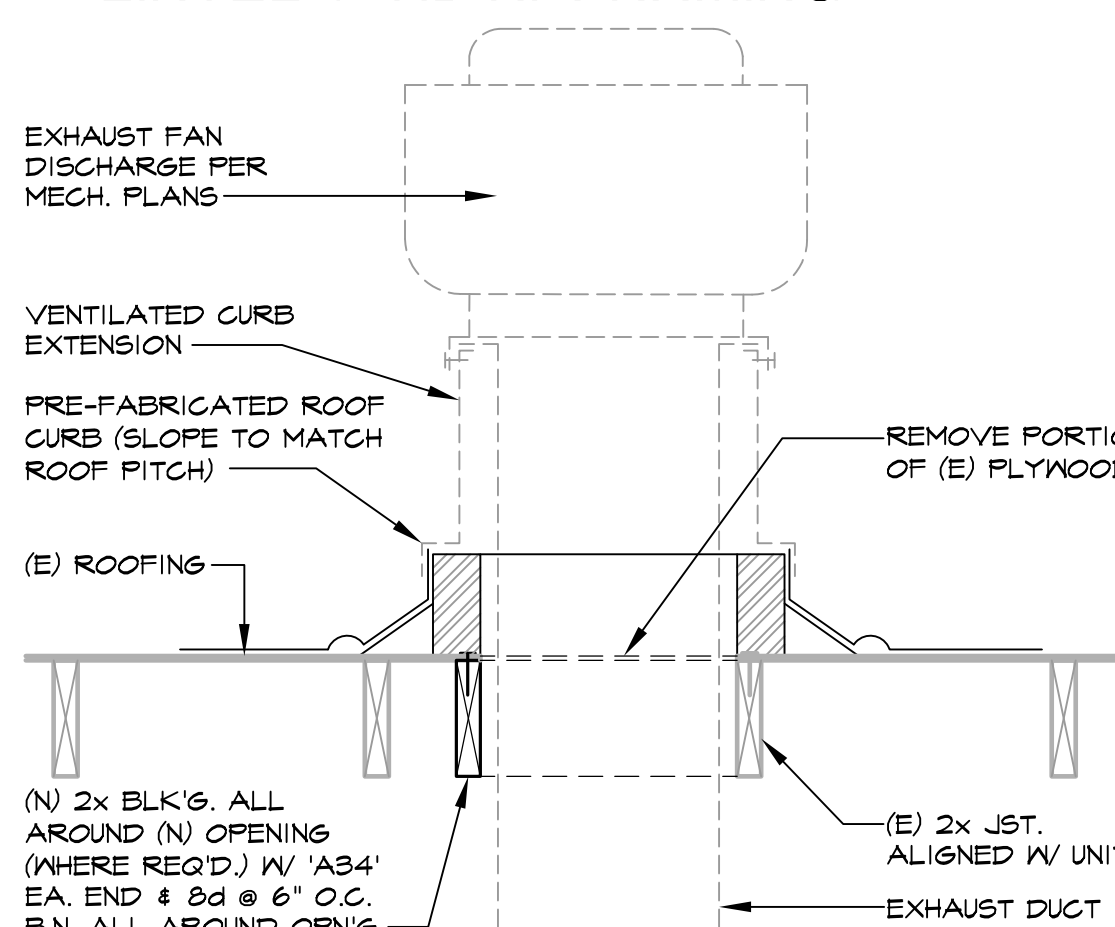


12 WEEP SCREED  
3" = 1'-0"

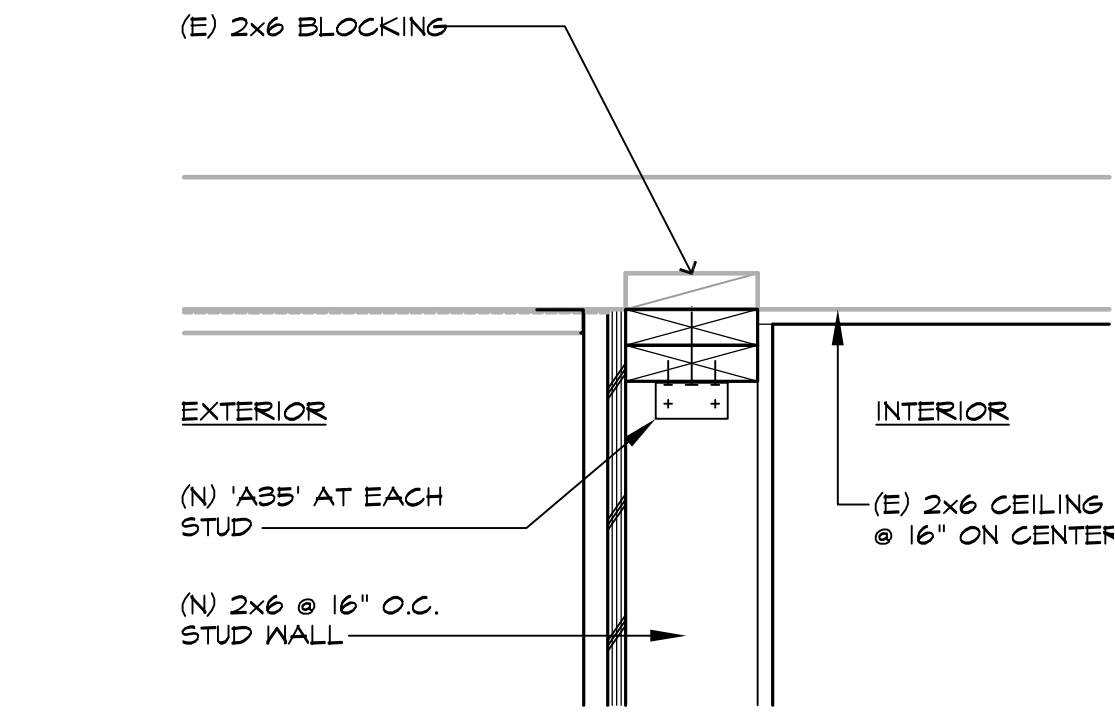
5



7 (N) WALL TO (E) BEAM / TYP. LINTEL / HD'R. FRAMING  
1 1/2" = 1'-0"



8 KITCHEN HOOD EXHAUST FAN MOUNTING  
1" = 1'-0"



1 (N) WALL TO (E) CEILING  
1 1/2" = 1'-0"

2



7 (N) WALL TO (E) BEAM / TYP. LINTEL / HD'R. FRAMING  
1 1/2" = 1'-0"

4

SHEET TITLE:

DETAILS

SHEET NO.

A833

OF:

APRIL 19, 2013 ISSUED FOR FIN

- d. Revised Building B plans to indicate that the restroom slab will remain in place. Saw cut trenches necessary for plumbing work.
  - e. Clarification that the floor will be ground on the inside at the doors unlike Nicoloff and Pence.
  - f. Revised Key Notes.
  - g. Clarification that the existing lighting is to be removed.
4. Sheet D102, DEMOLITION PLAN BUILDING C AND D
    - a. Revised Floor Plan to indicate that the existing window wall will remain except for the door and one section adjacent to door (see Exterior Elevations).
    - b. Revised plans to indicate the removal of duct soffit that is at the common classroom wall.
    - c. Revised plans to indicate that the window in the teacher room will remain.
    - d. Revised Building C plans to indicate that the restroom slab will remain in place. Saw cut trenches necessary for plumbing work.
    - e. Clarification that the floor will be ground on the inside at the doors unlike Nicoloff and Pence.
    - f. Revised Key Notes.
    - g. Clarification that the existing lighting is to be removed.
  5. Sheet D103, DEMOLITION PLAN BUILDING E AND F
    - a. Revised Floor Plan to indicate that the existing window wall will remain (see Exterior Elevations).
    - b. Clarification that the restroom slabs will be removed in Building E and F.
    - c. Clarification that the floor will be ground on the inside at the doors unlike Nicoloff and Pence.
    - d. Revised that the casework in Building F Work Room shall remain but replace the countertop with new.
    - e. Revised that the casework in Building F Principal shall remain but replace the countertop with new.
    - f. Revised Key Notes.
    - g. Clarification that the existing lighting is to be removed.
    - h. Remove soffit above existing casework in Lounge.
    - i. Remove soffit as necessary to meet finish condition of RCP on sheet A203.
  6. Sheet D104, DEMOLITION PLAN BUILDING G
    - a. Clarification that the floor will be ground on the inside at the doors unlike Nicoloff and Pence.
    - b. Clarification that the existing lighting will be removed.
  7. Sheet A101, FLOOR PLAN BUILDING A AND B
    - a. Revised plan for the new configuration of the front classroom window wall and door.
    - b. Revised plan to keep the windows in the Teacher Rooms.
    - c. Clarification that Building A Restrooms were complete in Phase 1.
    - d. Revised plan for the Computer Lab to be relocated in Classroom B10.
    - e. Clarification to add new R-30 insulation in ceiling.
  8. Sheet A102, FLOOR PLAN BUILDING C AND D ← Notice You can Click on page to jump back.
    - a. Revised plan for the new configuration of the front classroom window wall and door.
    - b. Revised plan to keep the windows in the Teacher Rooms.
    - c. Clarification to add new R-30 insulation in ceiling.
  9. Sheet A103, FLOOR PLAN BUILDING E AND F
    - a. Revised Building E reconfiguration of the Kindergarten plan.
    - b. Eliminated one sink in each Kindergarten room.
    - c. Revised plan for the new configuration of the Administration window wall.
    - d. Revised that the casework in Building F Workroom shall remain, but install new countertops.
    - e. Revised that the casework in Building F Principal shall remain, but relocate and install new countertops. New casework finish shall match existing material finish.
    - f. Added 3 adjustable shelves in Principal's Closet.
    - g. Clarification to add new R-30 insulation in ceiling.



ct

98

## ARCHITECT'S DIRECTIVE

PROJECT: \_\_\_\_\_ NO.: 12

ARCHITECT: \_\_\_\_\_ DATE: 8-16-13

CONTRACTOR: \_\_\_\_\_ PAGE: 1 of 2

• • •

### DIRECTIVE(S):

Provide new door and doorframe complete at the location shown on the attached sketch SKA-01.

To Contractor by Architect: \_\_\_\_\_ Date: 8-16-13

Cc: \_\_\_\_\_

• • •

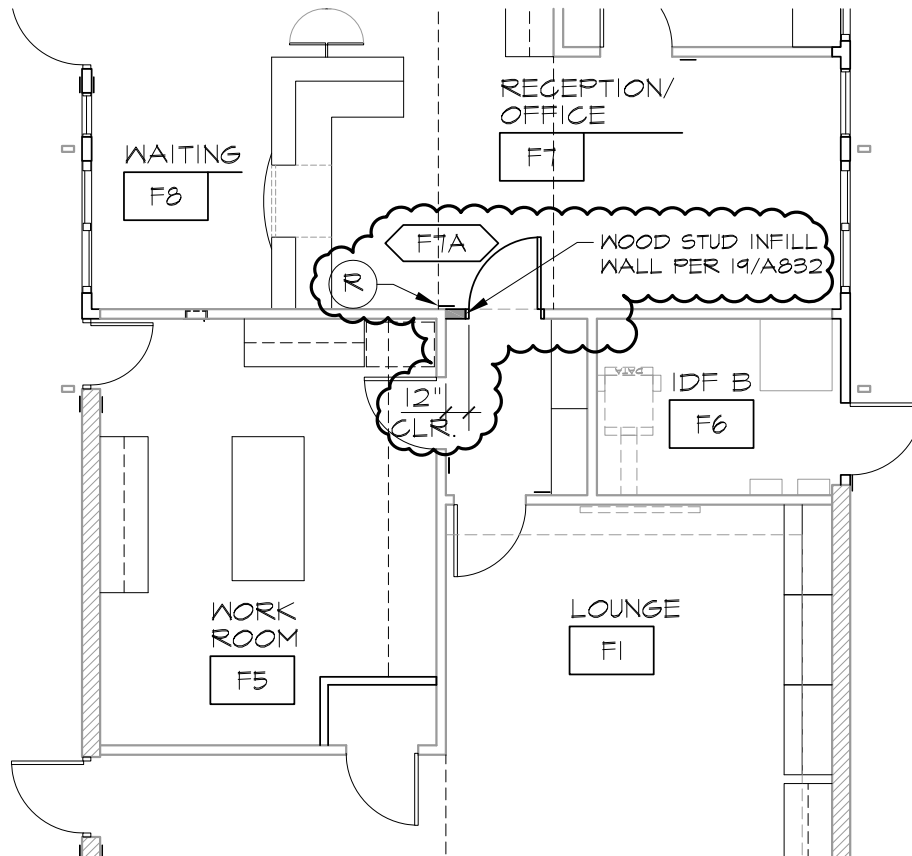
**Via:** ☐ Mail or ☐ Fax - Number of Pages - 1 (Inclusive)  
Original Will/Will Not Follow

NO.	SIZE	DOOR				HDWR GROUP	PANIC HDWR	CLOSURE	DETAILS		SIGNAGE
		TYPE	MATL.	FINISH	GLASS				HEAD	JAMB	
F7A	3'-0" x 7'-0" x 1/4"	A	WD/SC	SG-2	GL-2	-		NO	7/A850	8/A850	(R)

### DOOR F7A HARDWARE SET

(3)	3	EA	HINGE	3CBI-4.5x4.6	652 IVE
(1)	1	EA	DBL CYLINDER LOCK	ND66PD-RHO-E'K'WY	626 SCH
(1)	1	EA	KICK PLATE	8400-10" x 34"	626 IVE
(1)	1	EA	OVERHEAD STOP	904S	630 G-J
(3)	1	EA	SILENCER	SR64	

(R) DOOR SIGN - "WORKROOM / LOUNGE"  
PER DETAIL 17/A810



(N) DOOR F7A

1/8"=1'-0"

1



Notice You can Click on page to jump back.

SHEET DESCRIPTION:

A103 - FLOOR PLAN BLDG. F

SCHOOL  
NO. 12

DISTRICT  
PAGE

SKA-01



## ARCHITECT'S DIRECTIVE

PROJECT:

NO.: 9

ARCHITECT:

DATE: 6-6-13

CONTRACTOR:

PAGE: 1 of 1

• • •

### DIRECTIVE(S):

1. Delete in Kindergarten Building E the two (2) outer most windows designated as "E" in K1 and K2 and infill with framed plaster wall to match existing. The windows also designated as "E" adjacent to the entry doors for K1 and K2 are not changed.



To Contractor by Architect:

Date: 6-6-13

Cc:

• • •

Via: ☐ Mail or ☐ Fax - Number of Pages - 1 (Inclusive)  
Original Will/Will Not Follow

## ARCHITECT'S DIRECTIVE

PROJECT: \_\_\_\_\_ NO.: 8  
ARCHITECT: \_\_\_\_\_ DATE: 6-7-13  
CONTRACTOR: \_\_\_\_\_ PAGE: 1 of 4

### DIRECTIVE(S):

Provide new windows and stucco walls at the Administration Building per the attached sketches. Due to the scheduling constraints, I believe that hollow metal window frames were acceptable in lieu of the specified aluminum windows.

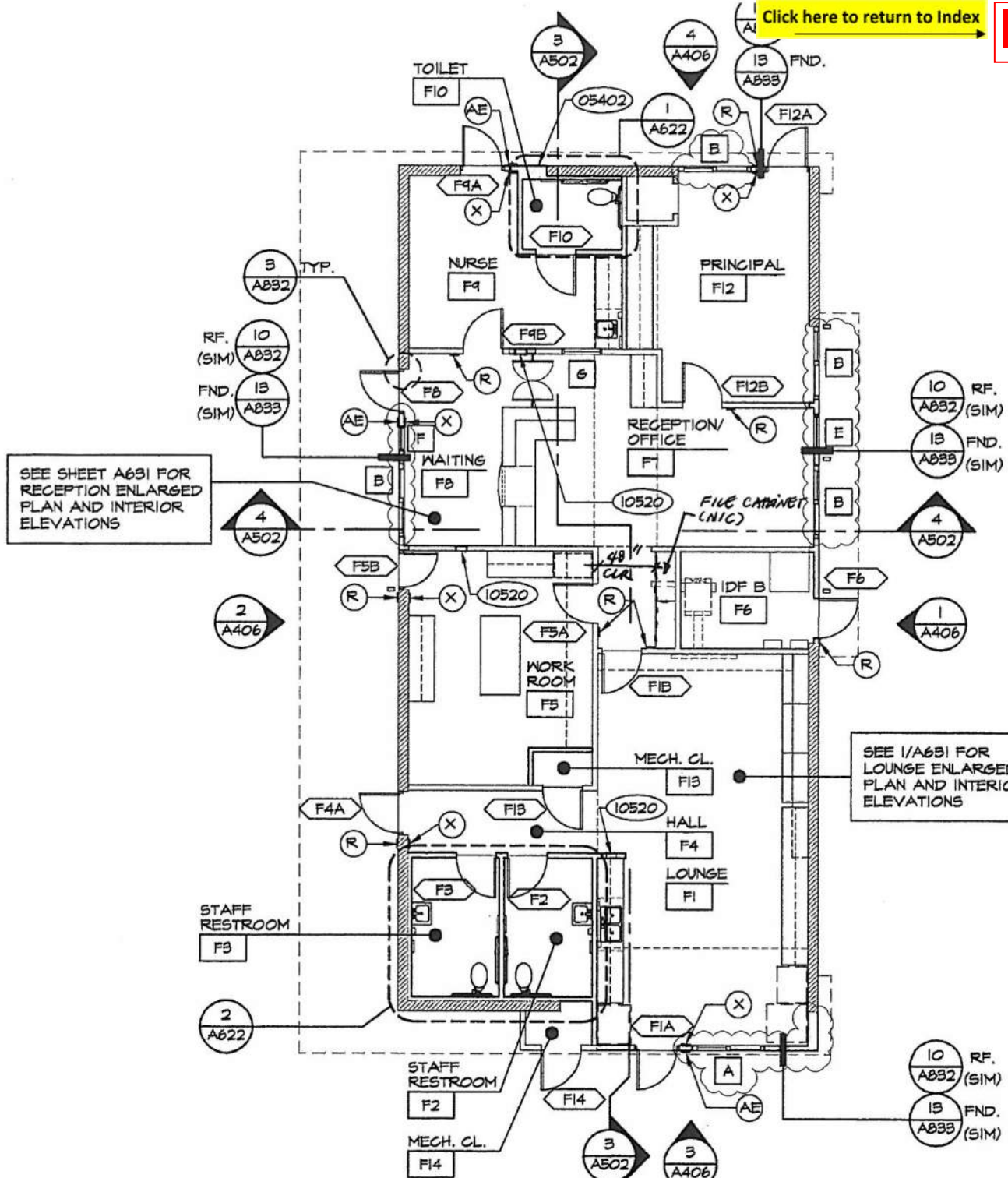
To Contractor by Architect:  \_\_\_\_\_ Date: 6-7-13

Cc: \_\_\_\_\_

• • •

Via: ☐ Mail or ☐ Fax - Number of Pages - 1 (Inclusive)  
Original Will/Will Not Follow





Notice You can Click on page to jump back.

N.T.S.

SHEET DESCRIPTION:

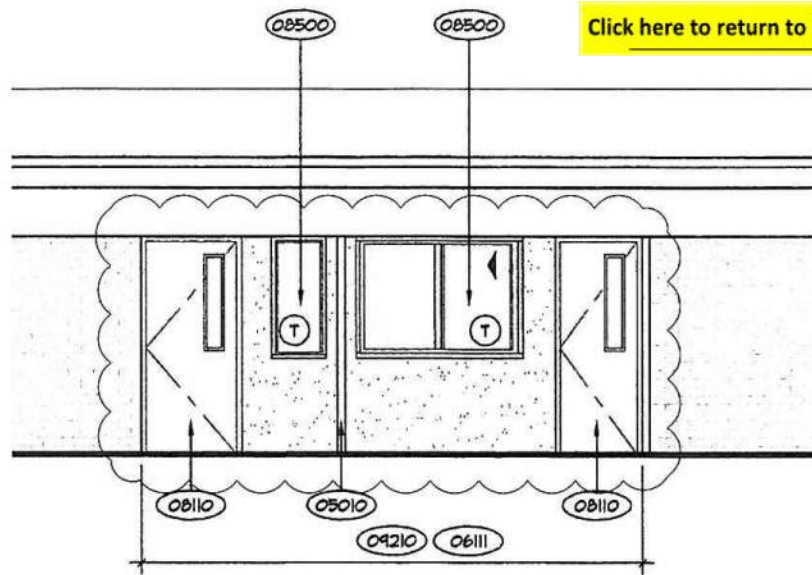
A103 - FLOOR PLAN BUILDING F

HOOL  
D. 8

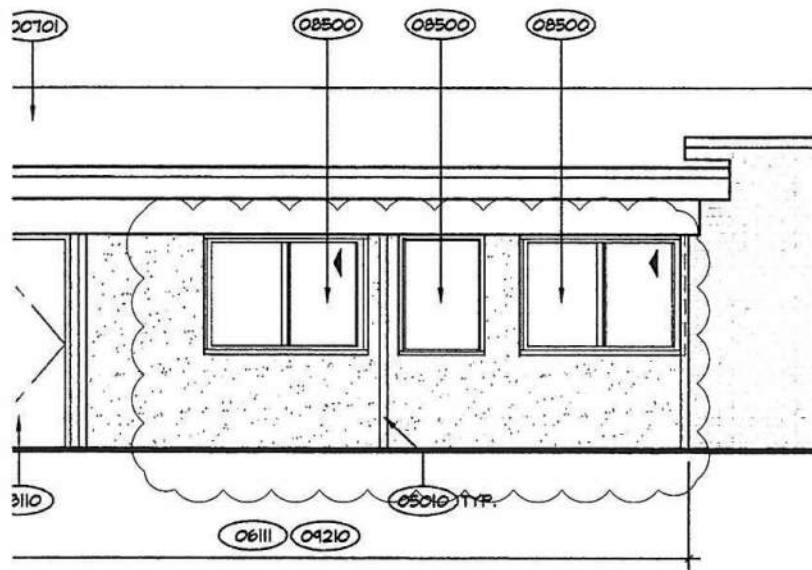
ICT

AGE

SK-01



## WEST ELEVATION



## EAST ELEVATION

## BLDG. 'F' - EXTERIOR ELEVATIONS

N.T.S.

**SHEET DESCRIPTION**

## A406 - BUILDING F EXTERIOR ELEVATIONS

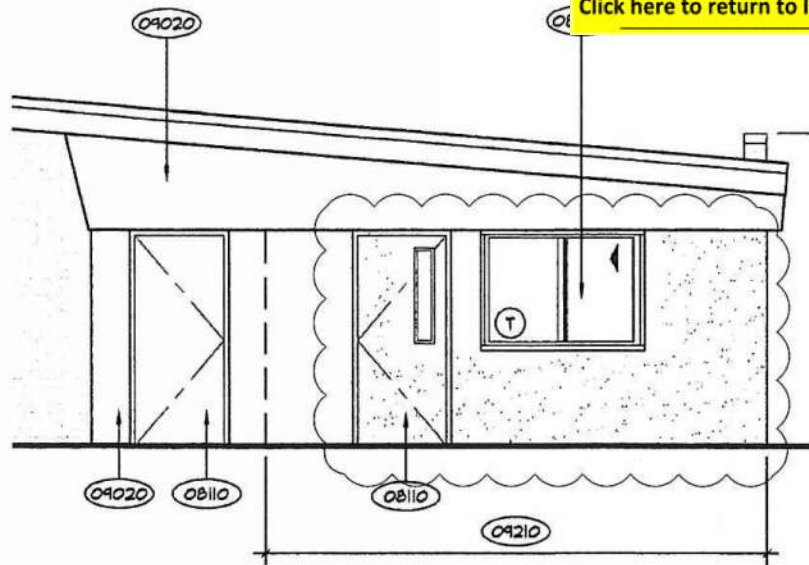
SCHOOL  
NO. 8

TRICT

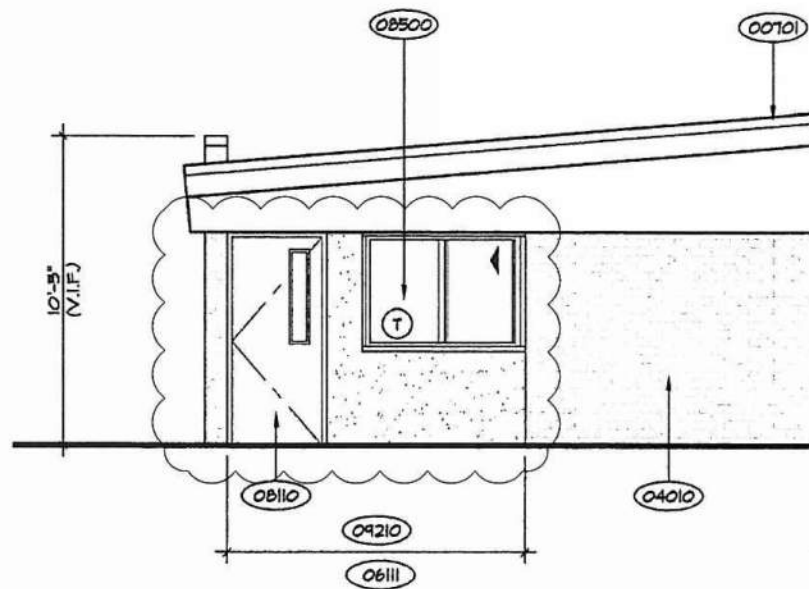
PAGE

SK-02





SOUTH ELEVATION



NORTH ELEVATION

BLDG. 'F' - EXTERIOR ELEVATIONS

N.T.S.

Notice You can Click on page to jump back.

SHEET DESCRIPTION

A406 - BUILDING F EXTERIOR ELEVATIONS

SCHOOL  
10. 8

PROJECT

PAGE

SK-03

\_\_\_\_\_

18

## ARCHITECT'S DIRECTIVE

PROJECT: \_\_\_\_\_ NO.: 13  
ARCHITECT: \_\_\_\_\_ DATE: 8-16-13  
CONTRACTOR: \_\_\_\_\_ PAGE: 1 of 2

• • •

### DIRECTIVE(S):

Please provide the following in the Administration Area:

1. Relocate an existing upper cabinet as indicated on attached sketch SKA-01.
2. Install new upper cabinet as indicated on attached sketch SKA-01.

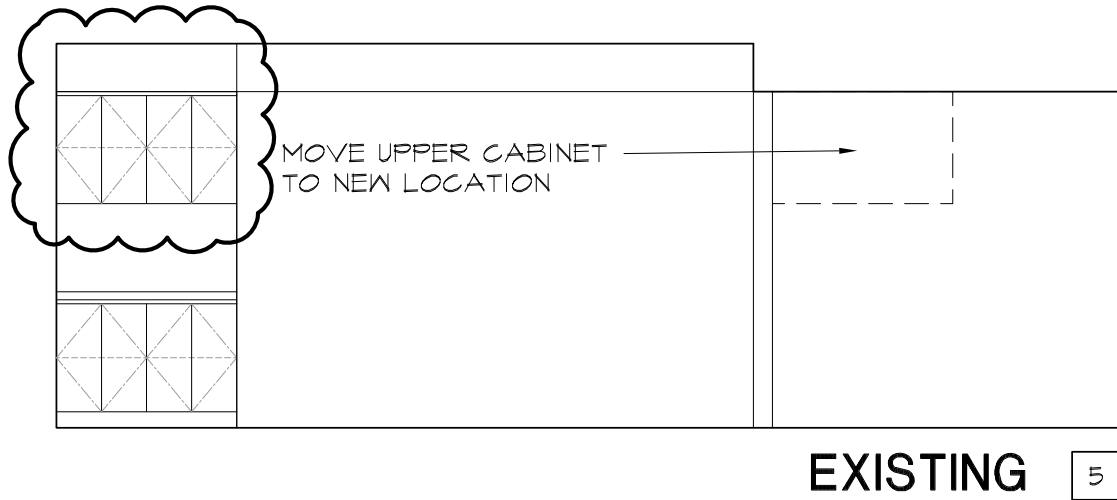
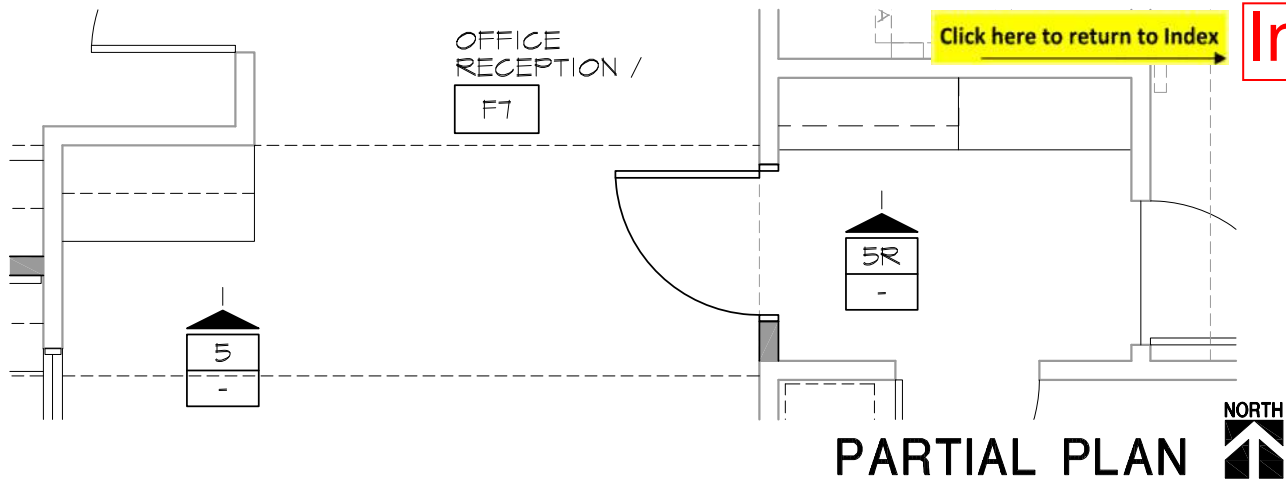
To Contractor by Architect: \_\_\_\_\_ Date: 8-16-13

Cc: \_\_\_\_\_

• • •

Via: ☐ Mail or ☐ Fax - Number of Pages - 1 (Inclusive)  
Original Will/Will Not Follow





## BLDG. F - RECEPTION OFFICE

1/4"=1'-0"

1

SHEET DESCRIPTION:

**A631 - BLDG. F ADMIN. - CABINET RELOCATION**

SCHOOL  
13

DISTRICT

PAGE

**SKA-01**

10:19am mbalderas

t

3

## ARCHITECT'S DIRECTIVE

PROJECT: \_\_\_\_\_ NO.: 14

ARCHITECT: \_\_\_\_\_ DATE: 8-16-13

CONTRACTOR: \_\_\_\_\_ PAGE: 1 of 2

• • •

### DIRECTIVE(S):

Please relocate the Fire Remote Annunciator devices from its present location in the Administration Waiting Area to inside the Reception/Office Area on the same wall per attached sketch.

To Contractor by Architect: \_\_\_\_\_ Date: 8-16-13

Cc: \_\_\_\_\_

• • •

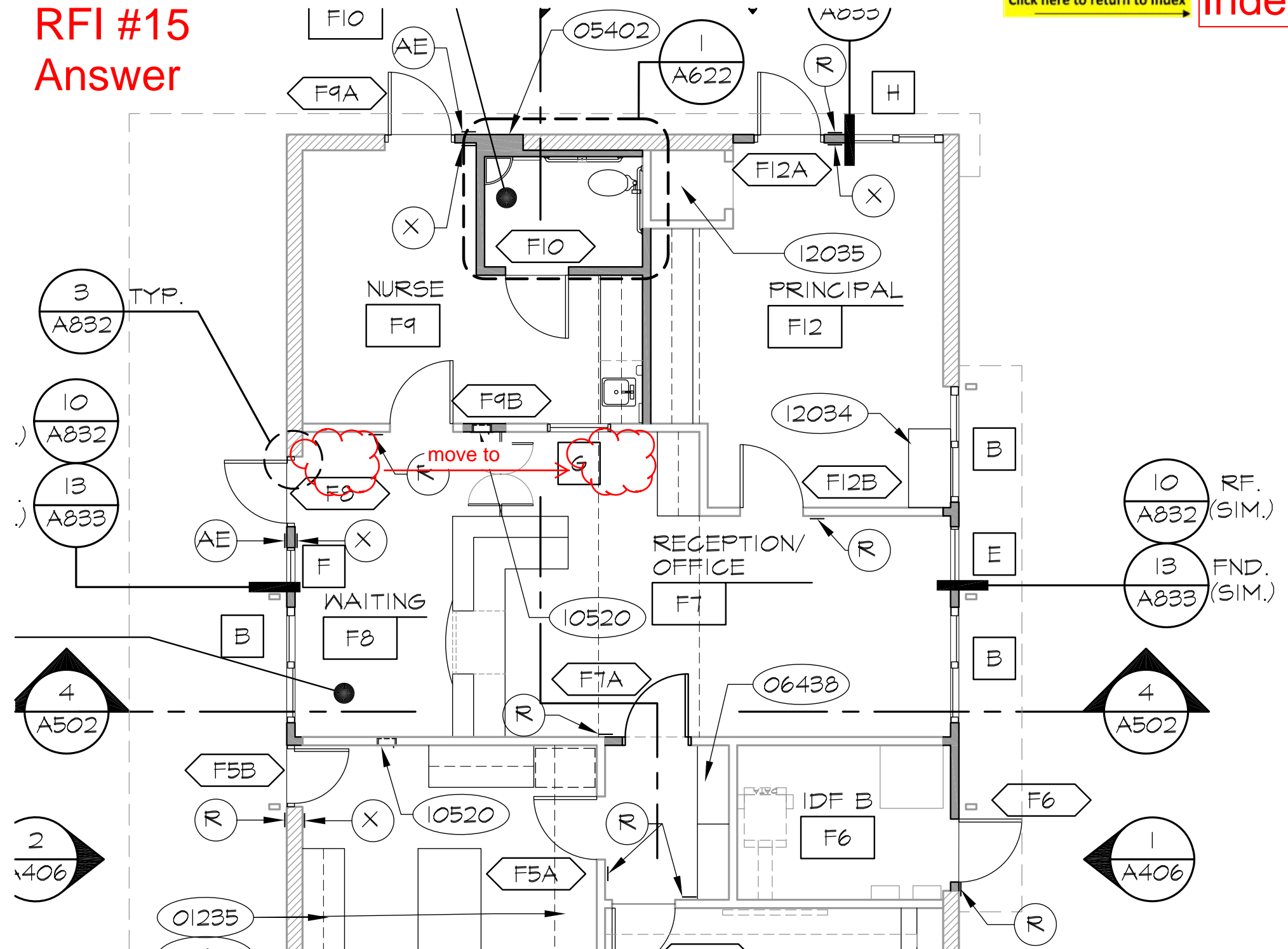
Via: ☐ Mail or ☐ Fax - Number of Pages - 1 (Inclusive)  
Original Will/Will Not Follow



# RFI #15 Answer

[Click here to return to Index](#)

Index



## Project:

☐  
☐  
☒  
☐

Document#:

07.13.2013 A

Date:

JULY 13, 2013

Page

of

## Discussion between: (Parties as checked below)

☐  
☒  
☐  
☐  
☒  
☐☒  
D ☐  
D ☒  
☐  
☐  
☐☐  
☐  
☐  
☐  
☒  
☐☐  
☒  
☐  
☐  
☐  
☒

The following was discussed on

JULY 13

2013 at

2<sup>ND</sup>

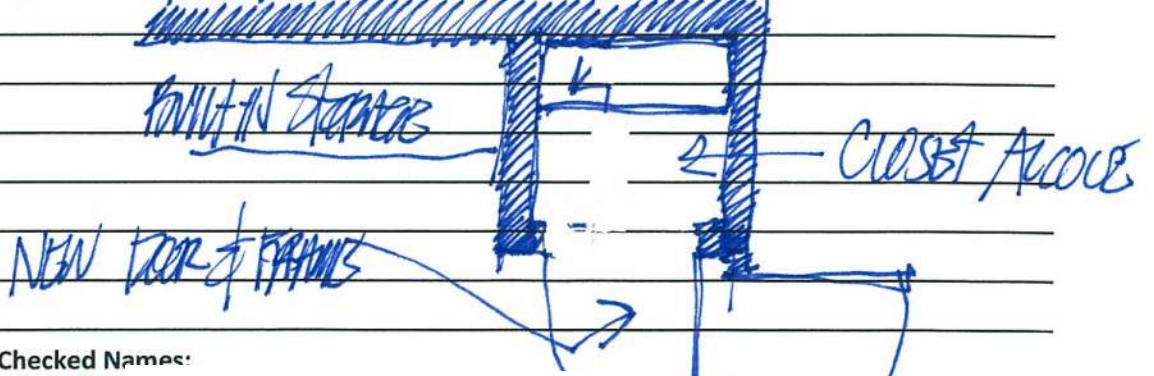
AM/PM

ADMINISTRATION BUILDING - PRINCIPAL'S OFFICE

REQUIRE HOLLOW METAL FRAME w/ DOOR. @  
CLOSET ALCOVE.

PROVIDE &amp; INSTALL ADJUSTABLE RAILS

SHOWING @ 12" O.C. VERTICAL TOP TO BOTTOM

@ ~~SHUTTLE~~ NORTH

## Distribution to All Checked Names:

☐  
☒  
☐  
☐  
☒  
☐  
☐☒  
D ☒  
D ☒  
☐  
☐  
☐  
☐  
☐☐  
☐  
☐  
☐  
☒  
☐  
☐☒  
☐  
☐  
☐  
☐  
☒  
☐