

**GENERAL NOTES:**

- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH REQUIREMENTS SET FORTH IN ALL APPLICABLE SECTIONS OF THE 2012 IRC (INTERNATIONAL RESIDENTIAL CODE) & ANY CITY AMENDMENTS.
- DIMENSIONS ARE FROM FACE OF STUD OR FACE OF MASONRY UNLESS NOTED OTHERWISE.
- IF ANY OF THE WALLS REMOVED ARE LOAD BEARING AN APPROPRIATE SIZED BEAM SHALL BE INSTALLED TO ENSURE THE STRUCTURAL INTEGRITY OF THE STRUCTURE.
- ALL NEW FRAMING SHALL BE AT 16" O.C. MAXIMUM.
- COLORS OF BRICK PAINT, SIDING, ROOFING AND TRIM SHALL BE SELECTED BY OWNER.
- WALL BOARD SHALL BE 1/2" GYPSUM BOARD UNLESS OTHERWISE NOTED.
- TRIM INCLUDING BUT NOT LIMITED TO BASE BOARDS, DOOR CASING AND WINDOW STOOLS OR SILLS SHALL BE AS SELECTED BY OWNER.
- EXTERIOR WALL INSULATION SHALL BE AS SELECTED BY OWNER, THAT MEETS THE REQUIREMENTS OF THE 2009 IECC (INTERNATIONAL ENERGY CONSERVATION CODE) & ANY CITY AMENDMENTS.
- CEILING INSULATION SHALL BE AS SELECTED BY OWNER, THAT MEETS THE REQUIREMENTS OF THE 2009 IECC (INTERNATIONAL ENERGY CONSERVATION CODE) & ANY CITY AMENDMENTS.
- ALL GLAZING AND DOORS MUST MEET ALL REQUIREMENTS OF THE 2012 IRC (INTERNATIONAL RESIDENTIAL CODE) AND 2009 IECC (INTERNATIONAL ENERGY CONSERVATION CODE) & ANY CITY AMENDMENTS.
- INTERIOR FINISHES INCLUDING BUT NOT LIMITED TO PAINT, WALL PAPER, CARPETING, VINYL FLOORING, WOOD FLOORING AND TILE SHALL BE AS SELECTED BY OWNER.
- HOOKUPS REQUIRED FOR PLUMBING FIXTURES AND APPLIANCES SHALL BE AS PER MANUFACTURERS SPECIFICATIONS AND SHALL MEET REQUIREMENTS SET FORTH IN THE 2012 IPC (INTERNATIONAL PLUMBING CODE), 2011 NEC (NATIONAL ELECTRIC CODE) & ANY CITY AMENDMENTS.
- IT SHALL BE THE ULTIMATE RESPONSIBILITY OF THE OWNER (CLIENT) TO FULLY REVIEW THESE DRAWINGS AND VERIFY DOOR & WINDOW SCHEDULES AND ALL OTHER ITEMS THAT MAY AFFECT THE DESIRED RESULT. NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES SUCH THAT ANY REQUIRED DESIGN CHANGE CAN BE PROCESSED PRIOR TO THE START OF CONSTRUCTION.
- CONTRACTORS SHALL VERIFY ACTUAL DIMENSIONS OF ALL PLUMBING FIXTURES, H.V.A.C. EQUIPMENT AND APPLIANCES AND SHALL MAKE ANY MODIFICATIONS TO DIMENSIONS SO THAT ALL ITEMS FIT PROPERLY.
- ALL ROOF PENETRATIONS SHALL BE MADE ON BACK SIDE OF ROOF SO AS NOT TO BE VISIBLE FROM FRONT OF HOUSE.
- HOUSE SHALL HAVE TYVEK OR EQUAL HOUSE WRAP.
- PROPER FLASHING SHALL BE PROVIDED WHERE NECESSARY ABOVE DOORS, WINDOWS, AROUND ROOF PENETRATIONS, WHERE LOWER ROOF LINES INTERSECT WALLS OR ANY OTHER LOCATION THAT WATER PENETRATION MAY OCCUR.
- THE TEXAS BOARD OF ARCHITECTURAL EXAMINERS, 333 GUADALUPE, SUITE 2-350, AUSTIN, TEXAS 78701, HAS JURISDICTION OVER INDIVIDUALS LICENSED UNDER THE ARCHITECT'S REGISTRATION LAW, TEXAS CIVIL STATUTES, ARTICLE 249a.

**GREEN BUILDING NOTES:**

- DALLAS GREEN BUILDING PROGRAM NOTES - ADDITIONS  
ALL NEW CONSTRUCTION TO COMPLY WITH THE CITY OF DALLAS PRESCRIPTIVE CHECKLIST (REV. 03/10/2014).
- WATER USAGE:
    - MUST COMPLY WITH TWO (2) OF THE FOLLOWING THREE CATEGORIES:--
      - LAVATORY FAUCETS TO HAVE A FLOW RATE OF 2.0 GPM MAXIMUM.
      - SHOWER HEADS TO HAVE A FLOW RATE OF 2.0 GPM MAXIMUM.
      - TOILETS TO HAVE AN AVERAGE FLUSH RATE OF 1.3 GPF-MAXIMUM, OR BE DUAL FLUSH COMPLYING WITH ASME 112.19.14, OR BE CERTIFIED AND LABELED AS COMPLYING WITH US EPA WATER SENSE.
  - ENERGY EFFICIENCY:
    - THE WHOLE HOUSE MUST ACHIEVE ENERGY EFFICIENCY 15% BETTER THAN THE 2009 IECC USING THE IES OR REMRAT CALCULATOR. AS AN ALTERNATIVE, THE RESCHECK UA TRADE-OFF COMPLIANCE OPTION MAY BE USED TO DEMONSTRATE COMPLIANCE ON THE ADDITION ONLY.--
  - HEAT ISLAND MITIGATION:
    - MUST INSTALL ONE (1) OF THE FOLLOWING FOUR OPTIONS:--
      - ROOFING MATERIALS SHALL BE ENERGY STAR QUALIFIED ON SLOPES >2:12.--
      - A VEGETATIVE ROOF SUBJECT TO APPROVAL BY THE BUILDING OFFICIAL.--
      - A RADIANT BARRIER INSTALLED ACCORDING TO THE MANUFACTURER'S-INSTRUCTIONS.
      - A FOAM ENCAPSULATED ATTIC OF MINIMUM R-22 INSTALLED ACCORDING-TO THE MANUFACTURER'S INSTRUCTIONS.
  - INDOOR AIR QUALITY:
    - HVAC AND DUCT WORK TO BE LOCATED OUTSIDE OF THE FIRE RATED GARAGE-ENVELOPE.
    - MINIMIZE POLLUTANTS IN CONDITIONED SPACE ABOVE GARAGE.
      - PENETRATIONS SEALED.
      - FLOOR AND CEILING JOIST BAYS SEALED.--
      - PAINTED WALLS AND CEILING OF CONDITIONED SPACE.
    - MINIMIZE POLLUTANTS IN CONDITIONED SPACE ADJACENT TO GARAGE.
      - PENETRATIONS SEALED.
      - DOORS WEATHERSTRIPPED.
      - CRACKS AT WALL BASE SEALED.
    - AIR FILTERS TO BE MERV 8 MINIMUM.
    - AIR HANDLER(S) TO BE SIZED TO MAINTAIN PRESSURE AND AIRFLOW
    - AIR FILTER HOUSING TO BE AIRTIGHT.

**DOOR SCHEDULE:**

MK.	DOOR SIZE	DOOR DESCRIPTION
EX	EXISTING	EXISTING
1	3'-6" X 8'-0" X 1 3/4"	ENTRY DOOR W/ 2'-0" X 8'-0" SIDE LITE
2	3'-0" X 8'-0" X 1 3/4"	FULL GLASS DOOR
3	9'-0" X 8'-0" X 1 3/4"	SLIDING FULL GLASS DOORS (FXD/OPP/FXD)
4	2'-8" X 6'-8" X 1 3/4"	INSULATED METAL DOOR
5	3'-0" X 6'-8" X 1 3/4"	20 MIN RATED FIRE DOOR
6	3'-0" X 6'-8" X 1 3/4"	INTERIOR DOOR
7	2'-10" X 6'-8" X 1 3/4"	INTERIOR DOOR
8	2'-8" X 6'-8" X 1 3/4"	INTERIOR DOOR
9	2'-0" X 6'-8" X 1 3/4"	INTERIOR DOOR
10	2'-6" X 6'-8" X 1 3/4" DBL. PKT.	INTERIOR DOUBLE POCKET DOOR
11	1'-6" X 6'-8" X 1 3/4" DBL.	INTERIOR DOUBLE DOOR
12	2'-6" X 6'-8" X 1 3/4"	INTERIOR DOOR

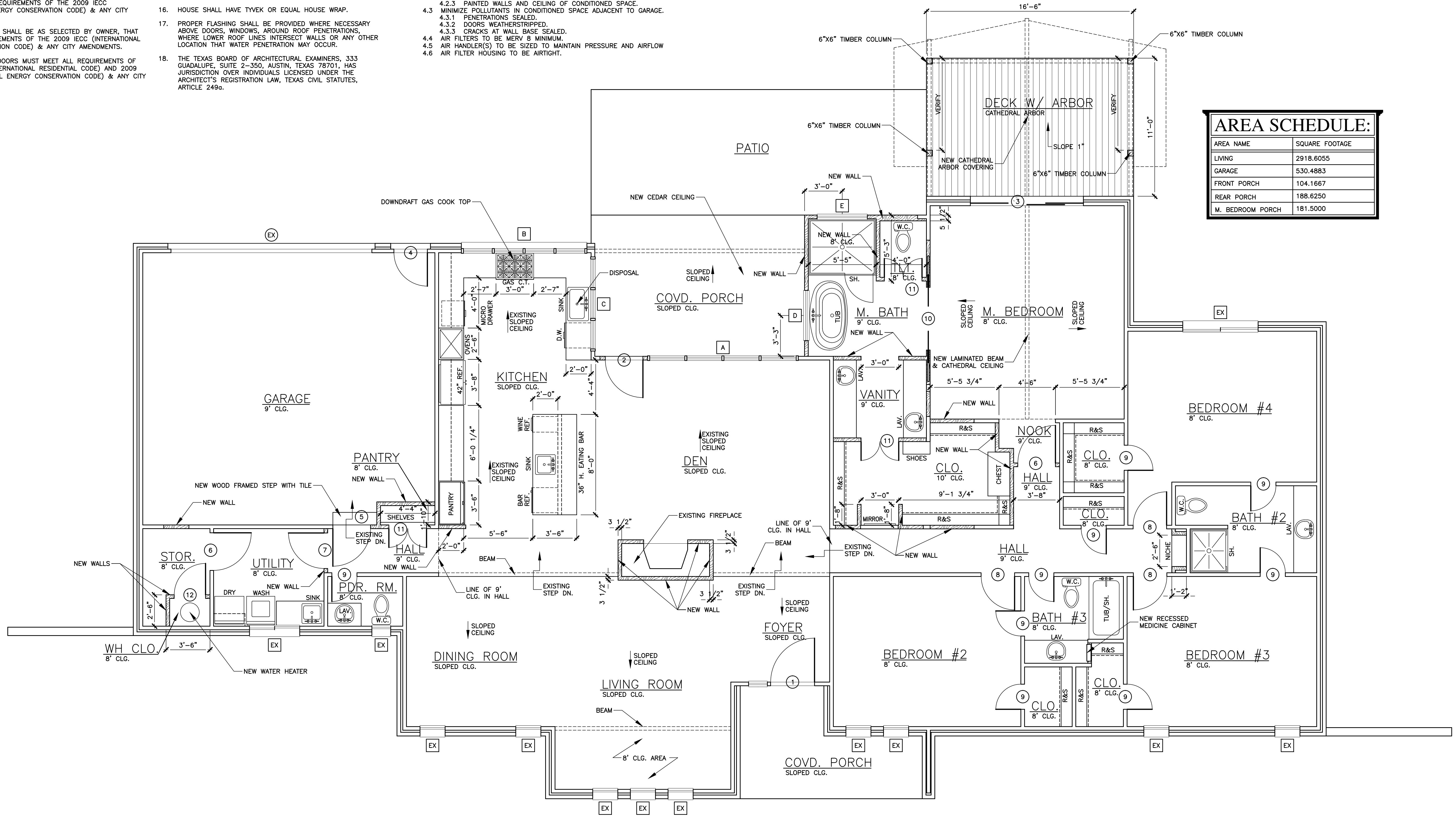
**WINDOW SCHEDULE:**

MK.	WINDOW SIZE	OPERATION	GLAZING	FRAME
EX	EXISTING	EXISTING	EXISTING	EXISTING
A	12'-0" X 5'-0"	FIXED	LOW E INSULATED	THERMAL BREAK ALUM. STOREFRONT
B	10'-0" X 4'-0"	FIXED	LOW E INSULATED	THERMAL BREAK ALUM. STOREFRONT
C	7'-6" X 4'-0"	FIXED	LOW E INSULATED	THERMAL BREAK ALUM. STOREFRONT
D	4'-0" X 3'-0"	FIXED	OBS. LOW E INSUL.	THERMAL BREAK ALUM.
E	4'-0" X 1'-6"	FIXED	OBS. LOW E INSUL.	THERMAL BREAK ALUM.

NOTE: TEMPERED SAFETY GLAZING IS REQ. IN THE FOLLOWING LOCATIONS GLAZING IN SWINGING, SLIDING, STORM, AND SHOWERS. GLAZING ADJACENT TO AND WITHIN 24" OF A DOOR GLAZING THAT MEETS ALL THE FOLLOWING CONDITIONS INDIVIDUAL PANE OF GLAZING GREATER THAN 9 SQ.FT. BOTTOM EDGE LESS THAN 18" ABOVE FLOOR TOP EDGE GREATER THAN 36" ABOVE FLOOR WALKING SURFACE WITHIN 36" OF GLAZING.

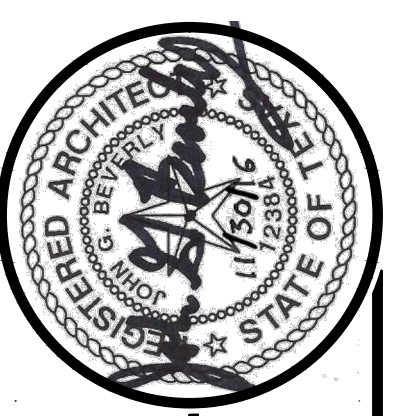
**AREA SCHEDULE:**

AREA NAME	SQUARE FOOTAGE
LIVING	2918.6055
GARAGE	530.4883
FRONT PORCH	104.1667
REAR PORCH	188.6250
M. BEDROOM PORCH	181.5000



**PROPOSED FLOOR PLAN**

SCALE: 1/4"=1'-0"

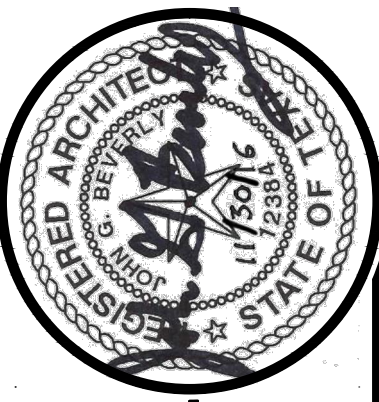


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DRAWINGS THIS SHEET:  
 PROPOSED FLOOR PLAN  
 SCHEDULES  
 NOTES  
 START DATE: 11/3/16  
 REVISED: 11/30/16  
 JOB NUMBER: 16R48  
 DRAWN BY: J.G.B.



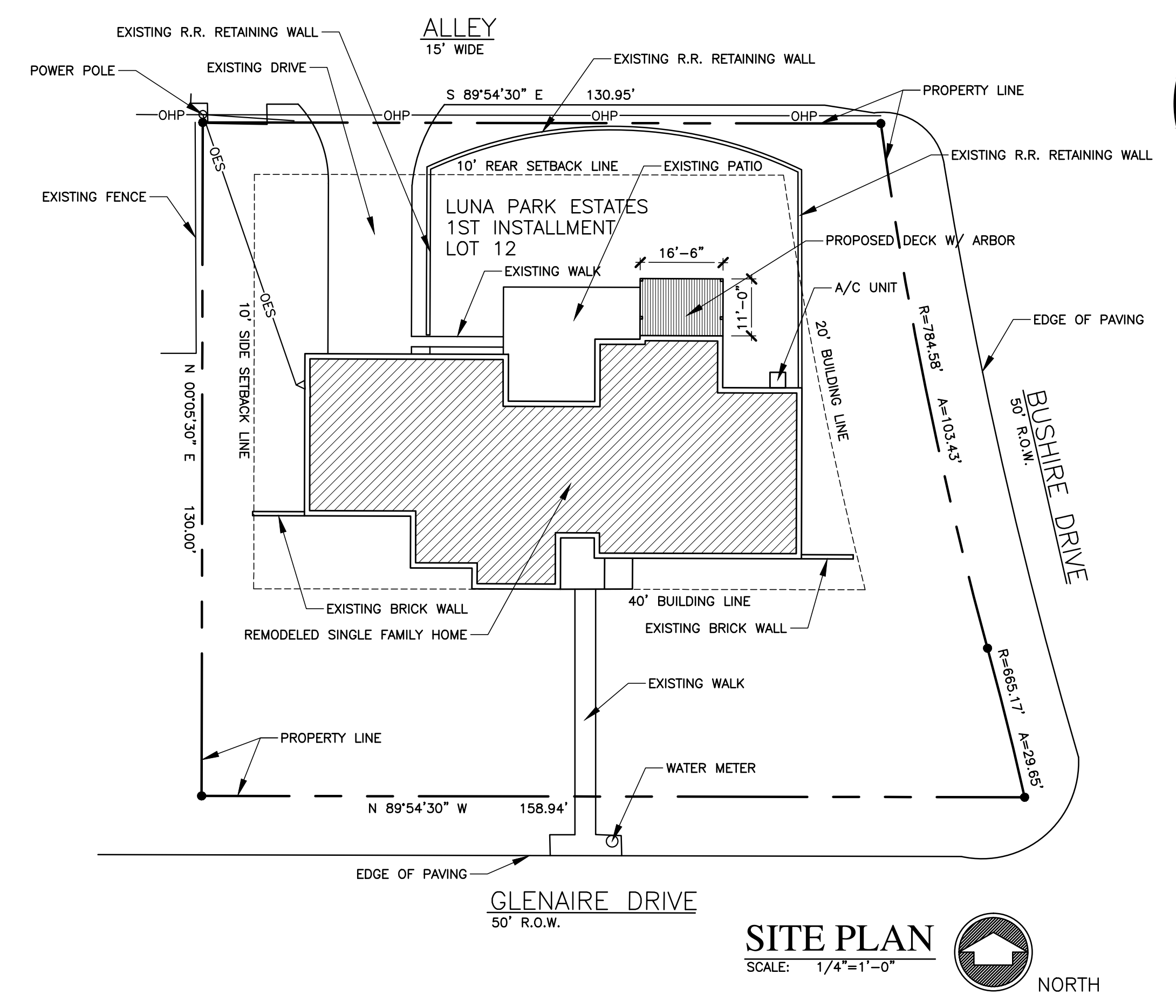


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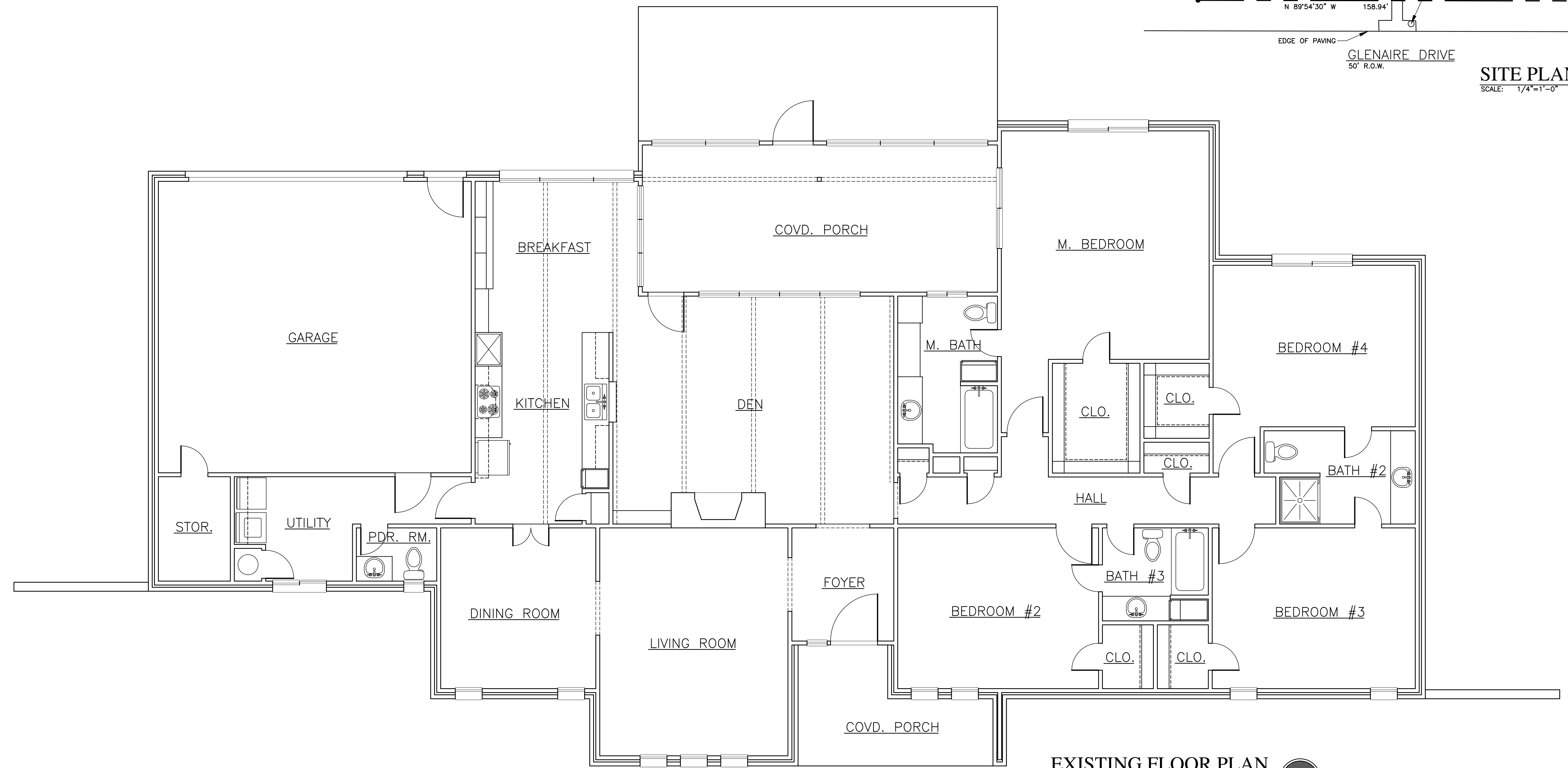
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DRAWINGS THIS SHEET:  
 EXISTING FLOOR PLAN  
 SITE PLAN

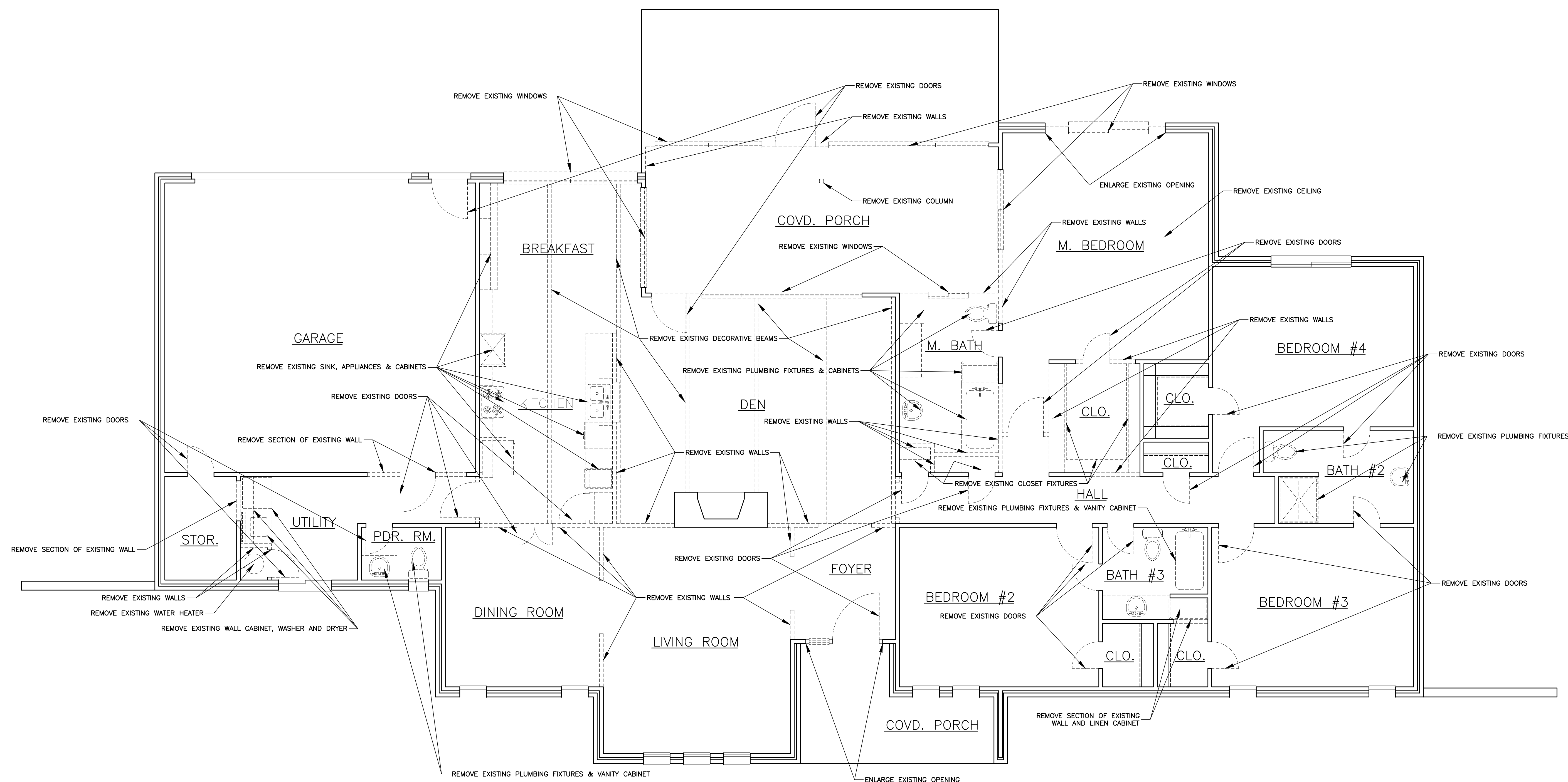
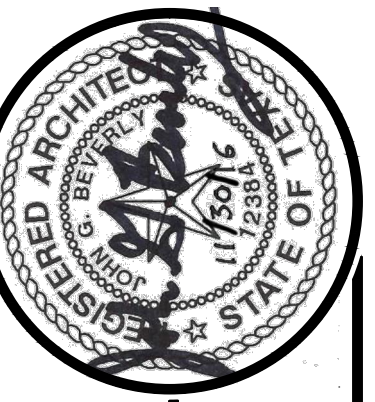
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 JOB NUMBER: 16R48  
 SHEET NO: A-2  
 OF: 2  
 DRAWN BY: J.G.B.



**SITE PLAN**  
 SCALE: 1/4"=1'-0"  
 NORTH

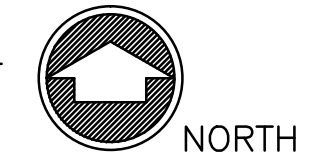


**EXISTING FLOOR PLAN**  
 SCALE: 1/4"=1'-0"  
 NORTH



### DEMOLITION FLOOR PLAN

SCALE: 1/4"=1'-0"



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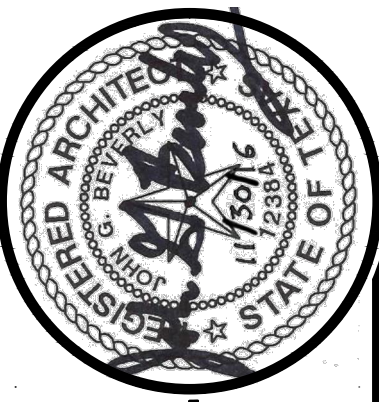
DRAWINGS THIS SHEET:  
DEMOLITION FLOOR PLAN

START DATE: 11/3/16  
REVISION: 11/30/16  
JOB NUMBER: 16R48  
DRAWN BY: J.G.B.

SHEET NO. **A-3** OF . . .



REGISTERED ARCHITECT  
STATE OF TEXAS  
NO. 1175016



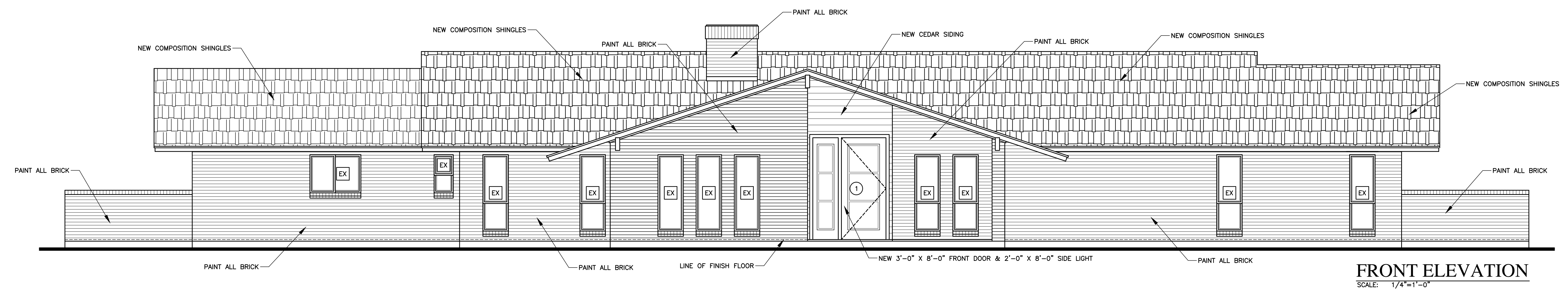
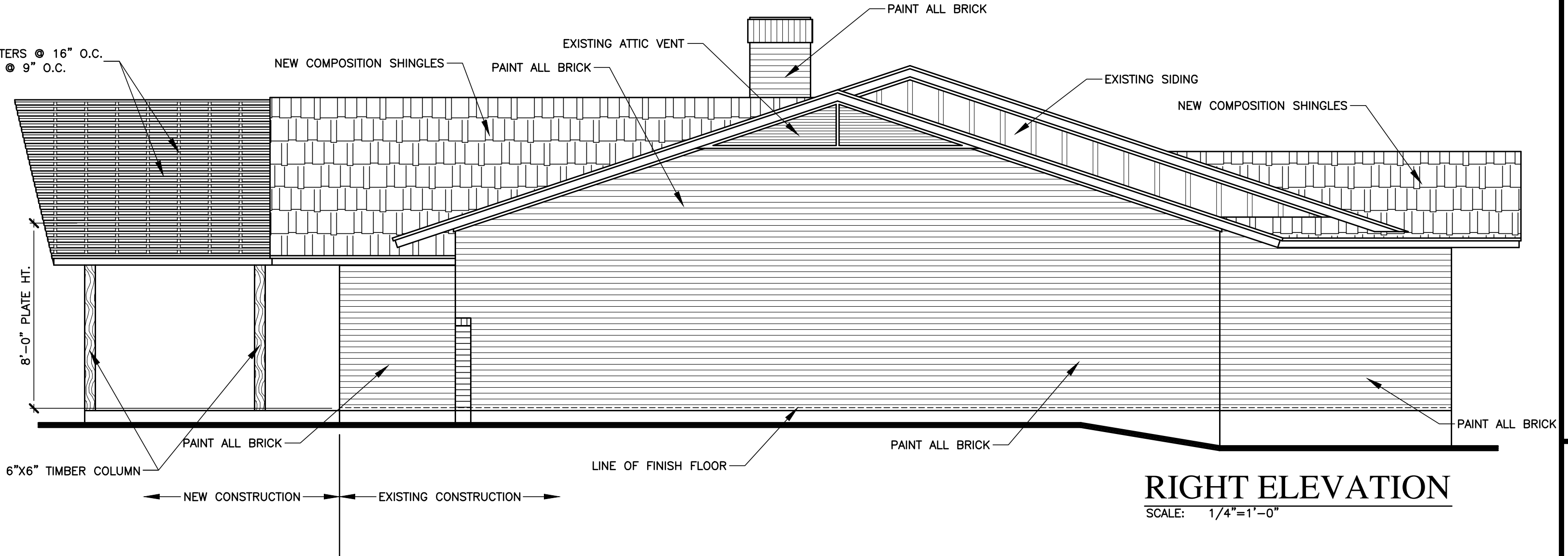
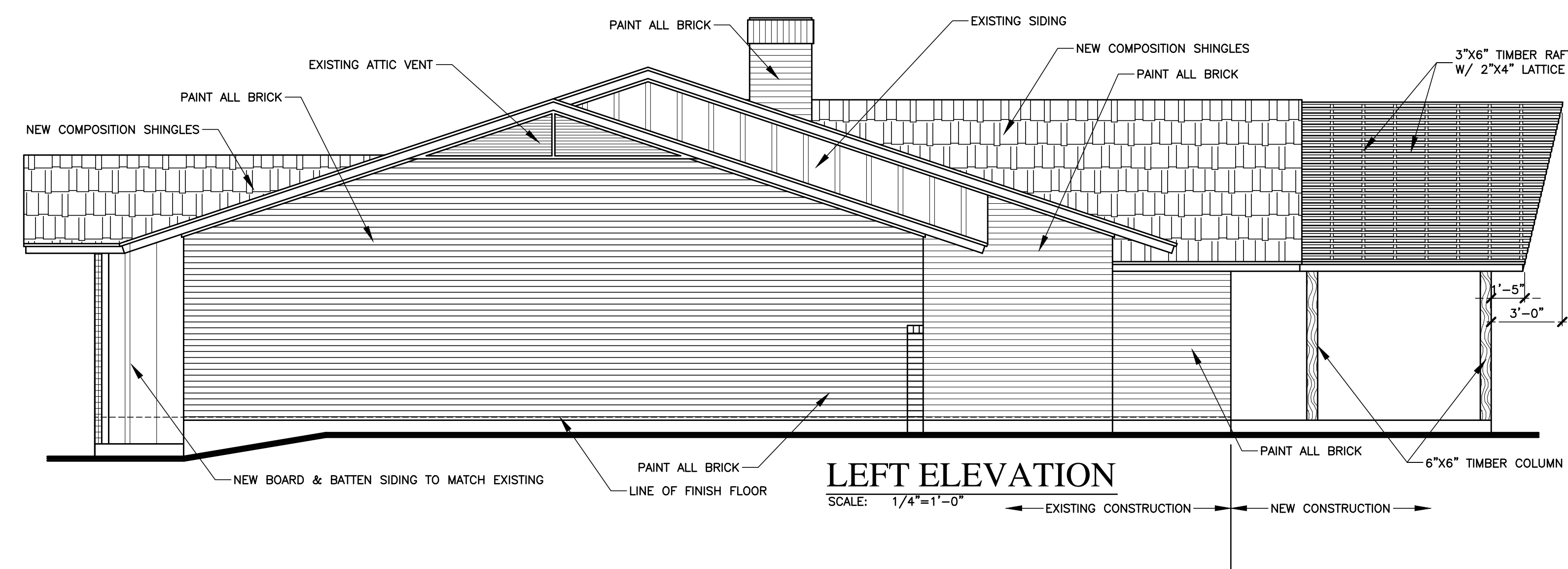
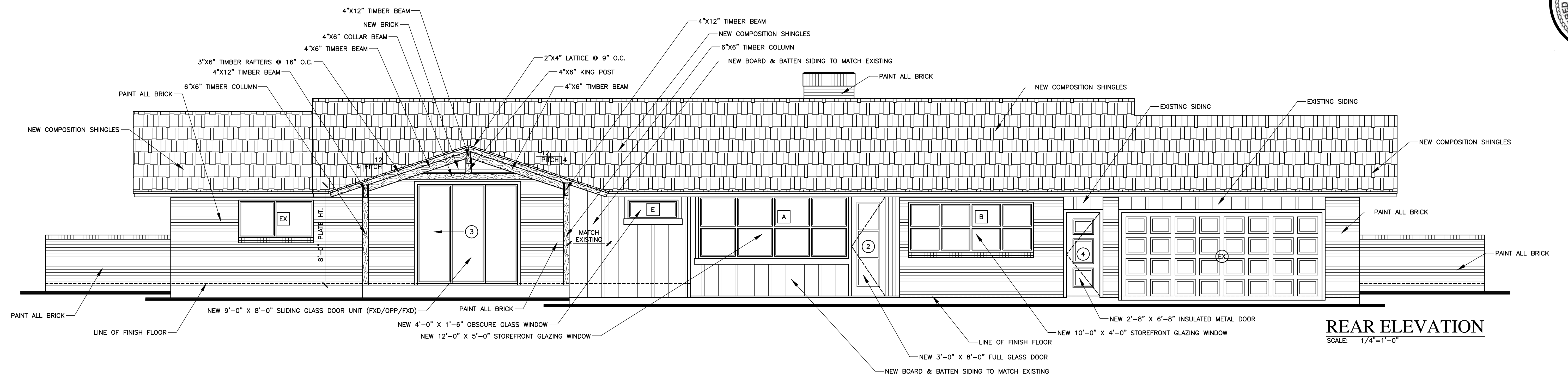
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DRAWINGS THIS SHEET:  
 FRONT ELEVATION  
 RIGHT & LEFT ELEVATIONS  
 REAR ELEVATION

START DATE: 11/3/16  
 JOB NUMBER: 16R48  
 SHEET NO: A-4  
 DRAWN BY: J.G.B.  
 REVISED: 11/30/16

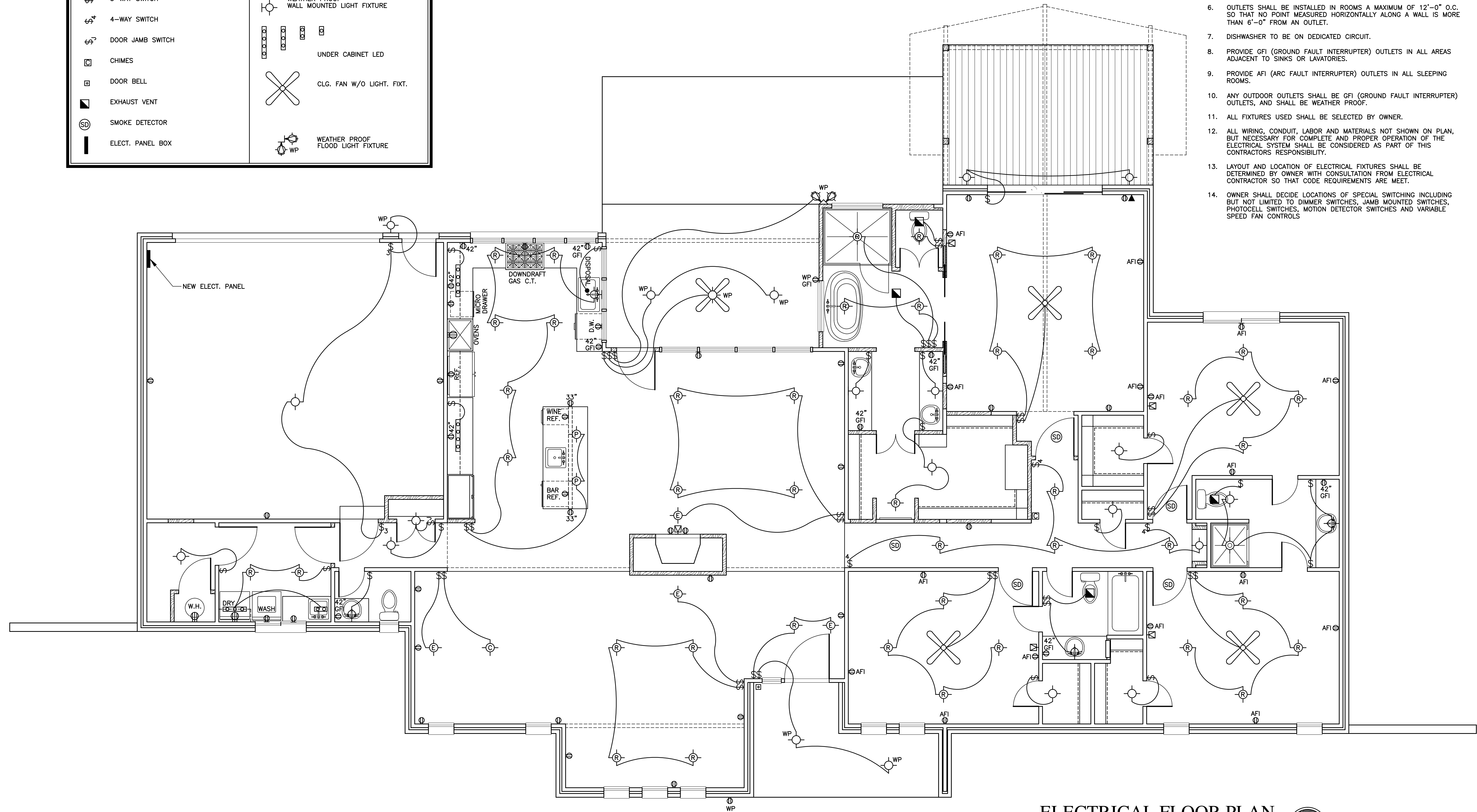


**ELECTRICAL SYMBOL SCHEDULE:**

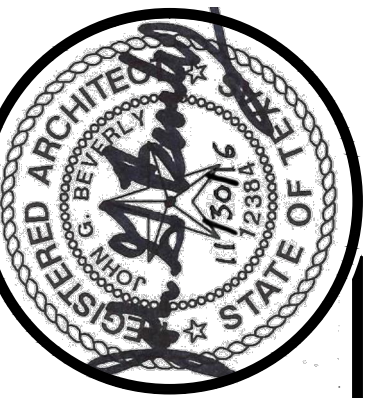
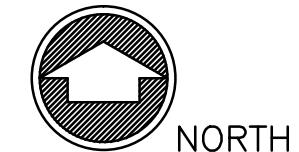
⊕	110 V. OUTLET	⊕	CEILING MOUNTED LIGHT FIXTURE
⊕ GF	110 V. G.F.I. OUTLET	⊕ WP	WEATHER PROOF CEILING MOUNTED LIGHT FIXTURE
⊕ AFI	110 V. A.F.I. OUTLET	⊕ R	RECESSED LIGHT FIXTURE
⊕ 42"	110 V. OUTLET MTD. ● HEIGHT SHOWN	⊕	EYEBALL LIGHT FIXTURE
⊕ WP	110 V. WEATHER PROOF OUTLET	⊕	PENDANT LIGHT FIXTURE
⊕	220 V. OUTLET	⊕	CHANDELIER LIGHT FIXTURE
⊕	T.V. CONNECTION	⊕	WALL MOUNTED LIGHT FIXTURE
⊕	PHONE JACK	⊕ WP	WEATHER PROOF WALL MOUNTED LIGHT FIXTURE
⊕	SWITCH	⊕	UNDER CABINET LED
⊕ 3	3-WAY SWITCH	⊕	CLG. FAN W/O LIGHT. FIXT.
⊕ 4	4-WAY SWITCH	⊕ WP	WEATHER PROOF FLOOD LIGHT FIXTURE
⊕ 3	DOOR JAMB SWITCH		
⊕	CHIMES		
⊕	DOOR BELL		
⊕	EXHAUST VENT		
⊕ SD	SMOKE DETECTOR		
⊕	ELECT. PANEL BOX		

**ELECTRICAL NOTES:**

- ALL ELECTRICAL SHALL BE INSTALLED BY A LICENSED ELECTRICAL CONTRACTOR. ELECTRICAL CONTRACTOR SHALL INSTALL ELECTRICAL IN ACCORDANCE WITH THE 2005 NEC (NATIONAL ELECTRICAL CODE).
- ELECTRICAL CONTRACTOR SHALL PROVIDE ALL LABOR AND MATERIALS REQUIRED TO CONNECT ELECTRICAL POWER TO HVAC EQUIPMENT.
- RANGE IS TO HAVE #4 WIRE
- DRYER IS TO HAVE #3 WIRE
- KITCHEN TO HAVE OUTLETS AT COUNTER TOPS @ 4'-0" O.C. MAXIMUM.
- OUTLETS SHALL BE INSTALLED IN ROOMS A MAXIMUM OF 12'-0" O.C. SO THAT NO POINT MEASURED HORIZONTALLY ALONG A WALL IS MORE THAN 6'-0" FROM AN OUTLET.
- DISHWASHER TO BE ON DEDICATED CIRCUIT.
- PROVIDE GFI (GROUND FAULT INTERRUPTER) OUTLETS IN ALL AREAS ADJACENT TO SINKS OR LAVATORIES.
- PROVIDE AFI (ARC FAULT INTERRUPTER) OUTLETS IN ALL SLEEPING ROOMS.
- ANY OUTDOOR OUTLETS SHALL BE GFI (GROUND FAULT INTERRUPTER) OUTLETS, AND SHALL BE WEATHER PROOF.
- ALL FIXTURES USED SHALL BE SELECTED BY OWNER.
- ALL WIRING, CONDUIT, LABOR AND MATERIALS NOT SHOWN ON PLAN, BUT NECESSARY FOR COMPLETE AND PROPER OPERATION OF THE ELECTRICAL SYSTEM SHALL BE CONSIDERED AS PART OF THIS CONTRACTORS RESPONSIBILITY.
- LAYOUT AND LOCATION OF ELECTRICAL FIXTURES SHALL BE DETERMINED BY OWNER WITH CONSULTATION FROM ELECTRICAL CONTRACTOR SO THAT CODE REQUIREMENTS ARE MET.
- OWNER SHALL DECIDE LOCATIONS OF SPECIAL SWITCHING INCLUDING BUT NOT LIMITED TO DIMMER SWITCHES, JAMB MOUNTED SWITCHES, PHOTOCELL SWITCHES, MOTION DETECTOR SWITCHES AND VARIABLE SPEED FAN CONTROLS



**ELECTRICAL FLOOR PLAN**  
SCALE: 1/4"=1'-0"



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DRAWINGS THIS SHEET:  
ELECTRICAL PLAN  
ELECTRICAL NOTES  
ELECTRICAL SCHEDULE

START DATE: 11/3/16  
REVISIONS: 11/30/16  
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