

Olympia Architectural Review Guidelines

Below is a summary of the general criteria for the most frequently requested modifications to the exterior of the home.

*No structures, improvements of any kind, including, but not limited to, any building, wall, fence, sign, mailbox, landscaping, planting, swimming pool, tennis court, basketball structure, outdoor play equipment, screen enclosure, driveway, sidewalk, sewer, drain, water area, or outside lighting may be placed or installed **without the prior consent of the Architectural Review Committee (ARC)**. This includes modifications to existing structures/improvements. **All proposed exterior modifications must first be submitted to the Village Homeowner's Association for review with a copy of the homeowner's final survey indicating the location of the proposed modification. Once approved by the Village HOA, it is forwarded to the Olympia Master Association ARC for final review and approval.***

NOTE: *These guidelines do not cover every possible situation that may require Architectural Review Committee (ARC) approval. As it applies, the Committee is authorized to EXERCISE DISCRETION in imposing conditions, approving or disapproving a specific proposal.*

The ARC shall have the express power to construe and interpret any guideline that may be capable of more than one construction. The ARC, at its sole discretion, may withhold consent or impose conditions to any proposed project if the ARC finds the proposed modification, alteration or addition would be inappropriate for the particular Lot or incompatible with the design standards that the ARC intends for Olympia. Prior approvals or disapprovals shall not be deemed binding upon the ARC for later requests for approval.

GENERAL

1. An ARC Damage Deposit Form and \$500 refundable deposit will be required along with an ARC Request Form for screen enclosures, swimming pools and major structural alterations/additions.
2. Contractors may not access individual lots through Master Association landscaped berms and common area property. Access to back yard is permitted only through front yard.
3. All materials are to match existing finishes in color, style, texture and type of material.
4. Slope of 20' Lake Maintenance Easement may not be altered.
5. Additions or deletions must be approved by the Village of Wellington prior to submitting the request to the Village ARC.

Awnings – ARC approval is required.

Are permitted on rear patio of property only.

Basketball Hoops

Basketball hoops may not be installed in utility or other easement(s). Damage to irrigation, cable, or other utility lines as a result of installation shall be owner's responsibility. Any damage to adjacent property as a result of play is the responsibility of the homeowner. There must be a minimum 15 feet setback from front and side street property lines. Basketball back boards may not be attached to any part of the house.

DRIVEWAY MODIFICATIONS – ARC approval is required.

Driveway Coatings and Stains are considered on an individual basis. 4-foot wide sidewalk between front of lot and swale must remain in its natural concrete state and not coated/stained.

Driveway Extension(s) cannot exceed 8 feet in width. If a driveway is extended on both sides, the combined

width cannot exceed 8 feet in width. Pavers on driveway extension(s) must match current pavers. Circular driveways are permitted. However no swale trees shall be moved or removed to accommodate a circular driveway.

Flagpoles

Flagpole may not be installed in utility or other easements. Damage to irrigation, cable or other utility lines as result of installation shall be the homeowner's responsibility. Only one flagpole per lot shall be permitted and not be used as an antenna unless first approved by the Architectural Review Committee. The display of flags other than the American flag may be restricted by the Architectural Review Committee.

The proposed flagpole may not exceed an exposed height of 15 feet with a 3-inch diameter.

Front Door Replacement – ARC approval is required.

Homeowner should verify that replacement door(s) meet Palm Beach County hurricane code requirements.

Front and Garage Doors

Doors must be painted according to assigned Olympia Color Scheme. Worn Wood CL2587N may be used in lieu of the assigned Olympia Color Scheme. Faux wood (wood grain look) are permitted and ARC approval is required.

Gazebos – ARC approval is required.

Proposed drawing of lot showing location of gazebo must be submitted with ARC form. Tiki Huts are permitted. Tiki Huts must be cemented into the ground and built as the same requirements of a Chickee Hut. Trellises/Arbors/Pergolas – ARC Approval is required and must be cemented into the ground. Proposed drawing of lot showing location of trellis/arbor/pergola must be submitted with ARC form.

Generators – ARC approval is required

Must be located on side of house and shrubs must be installed around generator for visual screening purposes.

Gutters – ARC approval is required.

Gutters to be painted to match fascia (or other approved color), down spouts to be painted to match building color (or other approved color) and must drain towards rear or front of property.

House Painting - ARC approval is required for ALL paintings, including repainting of the same original color.

- Individual homeowners are responsible for repainting exterior of home.
- Only Olympia Color Schemes are permitted.
- If proposed paint is different from original, adjacent homes and home directly across must not have the same proposed color.

Hurricane Shutters - ARC approval is required.

Permanent storm shutters may be either of the following:

- A. Accordion type colored to match the body paint of the house (or other approved color); or
- B. Rollup type consisting of a roll box and slats colored to match the body paint of the house (or other approved color) positioned immediately above the window or door.

Satellite Dishes and Antennas – ARC approval is required.

Satellite dish (Antenna) may not be placed on front section of the house. Must be at rear of house or at least half way back on the side of house.

Satellite Dishes and Antennas for Zero Lot Line Property – ARC Approval is required.

Satellite dish (Antenna) must be placed far enough in from the corner of the house so that it does not extend beyond the building line of the house along your zero property line or must be placed at rear of house and far enough in so that it does not extend beyond the building line of the house along your zero property line.

SCREEN ENCLOSURES – ARC approval is required.

- Metal patio roofs are not permitted.

Screen Enclosure and Screen Door - Aluminum frame to be E.S.P. (Electric Static Paint) anodized white or bronze color. Must be screened on top and all sides: Screen to be fiberglass, charcoal color.

Screen Enclosure for Zero Lot Line Property

Due to the possibility that your neighbor may want to install a fence at some point, it is required the screen panels closest to your zero lot line be installed on the inside of the frame instead of the outside of the frame.

Screen Enclosure for the Front of the House

Only the front covered entry and/or covered porch and the front upper covered balconies may be screened. Screen enclosure may not extend beyond the covered area.

Storage Sheds are not permitted.

Swing Sets/Play Equipment - ARC approval is required.

Children's play equipment must be located a minimum of five (5) feet from the rear and side property lines.

Trampolines are permitted and must comply with the following:

1. Safety net must completely enclose trampoline
2. Must be at least 5ft from the side and rear of the property
3. Permitted in rear yard only

Vegetable Gardens – ARC approval is required.

Proposed drawing of garden showing location must be submitted with ARC form.

Window Film

Window film must be bronze or gray tint. Reflective mirror finish is not permitted.

LANDSCAPING GUIDELINES – All landscaping additions, modifications, removals require ARC Approval.

An irrigation main line and/or secondary lines may be located in the area of your proposed landscape. Additionally, the proposed landscape addition/modification may interfere with the sprinkler head spray pattern. If required, line and/or head relocation or additional heads shall be at your expense and must be performed prior to the start of the addition/modification. Landscaping may not extend beyond property line. Drainage easement(s) exist at the side(s) and/or rear of your lot. Your proposed landscape addition/modification must not alter the existing grading levels of the lot. The grading levels are essential for

proper drainage of your and your neighbors' lots.

*The three (3) Palm trees at the front of home are required to meet the city shade tree regulation.
3 palms = 1 shade tree = 12 foot spread*

Replacement palms must be located in the same place and clustered like the original trees in order to meet the shade tree requirement.

Any tree removed from its current location must be relocated to another location on the lot (unless the tree is dead).

No trees and/or landscaping may be placed or removed from apron area between sidewalk and street.

No trees and/or landscaping may be placed in the 20' Lake Maintenance Easement at the rear of the lot.

No landscaping may be placed in the 3-foot drainage easement at the rear of the lot.

Trees and Shrubs

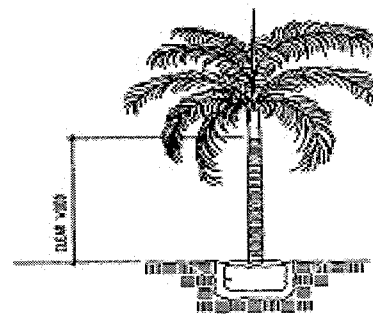
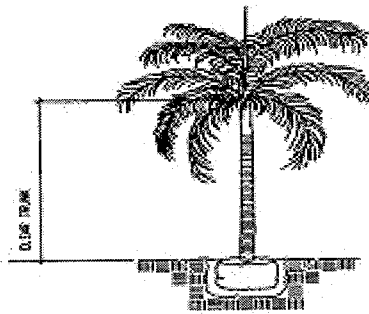
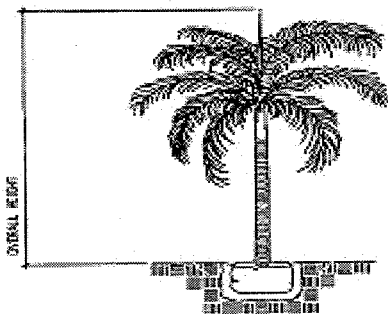
Trees/shrubs may not at any time come in contact with neighboring structures or drop branches, leaves or fruit on adjacent property.

Removal/Replacement Landscaping

The three (3) replacement (Queen, Sabal) Palm trees must have a minimum of 10', 12', and 14' Clear Trunk (soil line to the top of the crown shaft where the leaves break away).

The three (3) replacement Royal Palm trees must have a minimum of 4', 6', and 8' Clear Wood (soil line to the base of the crown shaft).

Landscaping



POOLS, SPAS, HOT TUBS AND EXTENDED PATIOS – ARC Approval is required.

Above ground pools are not permitted.

An irrigation main line and/or secondary lines may be located in the area of your proposed addition/modification. If required, relocation of such sprinkler system piping shall be at your expense and must be performed prior to the start of construction/installation. Drainage easement(s) exist at the side(s) and/or rear of your lot. Your proposed addition/modification must not alter the existing grading levels of the lot. The grading levels are essential for proper drainage of your and your neighbors' lots.

Pool Equipment (if pool plans do not indicate landscaping)

Shrubs must be installed around pool equipment for visual screening purposes.

Pool Location

There is a 3-foot drainage easement at the rear of the lot. The pool and deck should not be placed in this easement. In the event the drainage of your and/or your neighboring lots is adversely affected by the installation of your pool and deck in this area, you must make all necessary modifications to remedy the condition.

Pool Deck

Wood deck is not permitted.

Solar Pool Heaters – ARC approval is required.

All piping must match exterior house and roof colors. Panels must not be visible from the front of the house.

Portable/Above Ground Hot Tubs – ARC Approval is required.

Must be located on rear patio and not exceed rear patio dimensions. Not permitted on sides of house or back yard.

FENCE ADDITIONS AND MODIFICATIONS (All types) – ARC Approval is required.

Due to the large variety of lot's shape, position and location, all fence installation requests will be reviewed on an individual basis.

Approved Fencing:

Aluminum - E.S.P. anodized white, bronze or black

PVC (Picket or Privacy) –tan/beige or light grey. Must be identical on both sides (supports not showing to outside). *Space between pickets must be at least equal to width of picket.*

*Fencing for lots on lakes, canals, and preserve areas may be aluminum (white, bronze or black color) or PVC picket style **only** along the rear property line and must match in color and type of material of fences used on the other sides of the lot.*

Fences NOT Permitted - *Aluminum privacy - Chain link - Wood fence - Stockade Privacy PVC*

Fence Conditions:

- *Fence must start at least five (5) feet back from the front corners of the house.*
- *Six (6) foot maximum height.*
- *Homeowner must continue to maintain and irrigate the landscaped area between the fence and the (lake, sidewalk, top of berm) at the (front, side, rear) of the lot. A gate at the rear and side of the fence will be required to provide access to this area.*

- *Two different styles of fencing running along the same property line are not permitted.*
- *Fence may not extend beyond property line or be attached to adjacent house.*
- *All sections of fencing shall connect to adjacent sections.*
- *Freestanding sections are not permitted.*
- *All sides of fencing must match in color and material, except:*
 - *If lots on both sides or lots on one side and rear already have fences installed, the proposed fence must match one of the existing fences both in color and material.*
 - *If only the lot on one side or only the rear lot already has a fence installed, any other fence may be installed within the guidelines.*

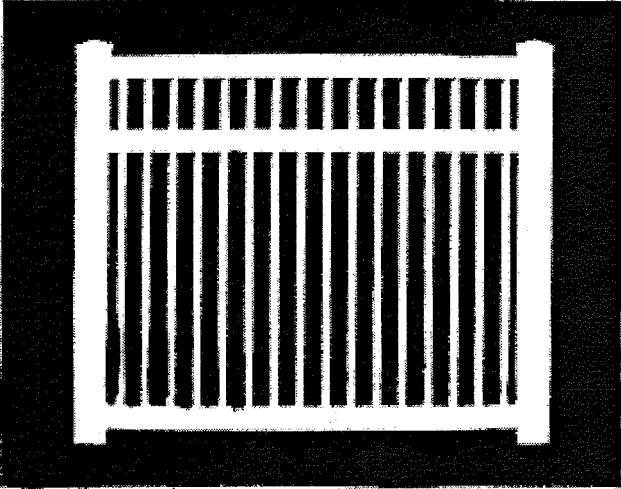
An irrigation main line and/or secondary lines may be located in the area of your proposed fence. Additionally, the proposed fence addition may interfere with the sprinkler head spray pattern. If required, line and/or head relocation or additional heads shall be at your expense and must be performed prior to the start of the fence construction. Fence at side of house (if proposed) must be installed straight across to house next door (NO "jog" or angle permitted).

Drainage easement(s) exist at the side(s) and/or rear of your lot. Your proposed fence must not alter the existing grading levels of the lot. The grading levels are essential for proper drainage of your and your neighbors' lots.

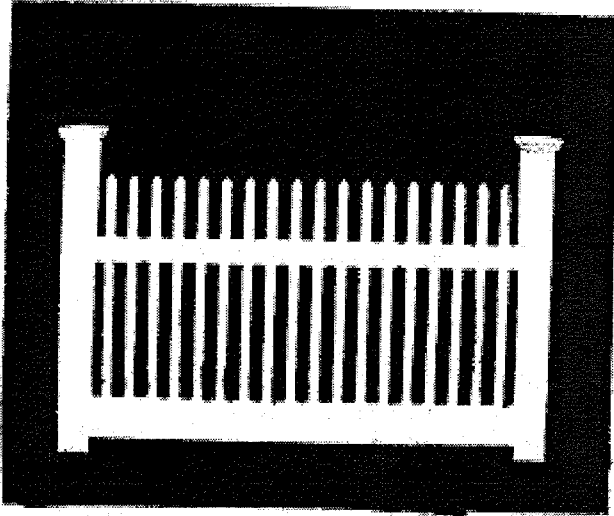
Due to underground drainage piping in the 20' Drainage Easement running along the side of the lot, no fence posts may be installed over this piping. The cost of any repairs to the underground piping caused by the fence installation shall be the responsibility of the homeowner.

If a fence is proposed for a corner lot, in addition to the above "Fence Additions and Modifications (All Types)" guidelines, homeowner must also install a hedge of Ficus, Cocoplum, or other approved variety on the outside of the portion of the fence facing the front and side of the lot along with a minimum 24" deep root barrier between hedge and sidewalk if Ficus is utilized. The plants used for this new hedge must be 5-gallon minimum size and spaced no greater than 24" on center. Additionally, this new hedge must be maintained and irrigated by the homeowner. Installation of fence and hedge shall be subject to the requirements and prior written approvals of all utilities within the (10'/12') Utility Easement if fence and/or hedge are installed in this area. Fence must be far enough away from sidewalk so that hedge may properly grow without extending over sidewalk.

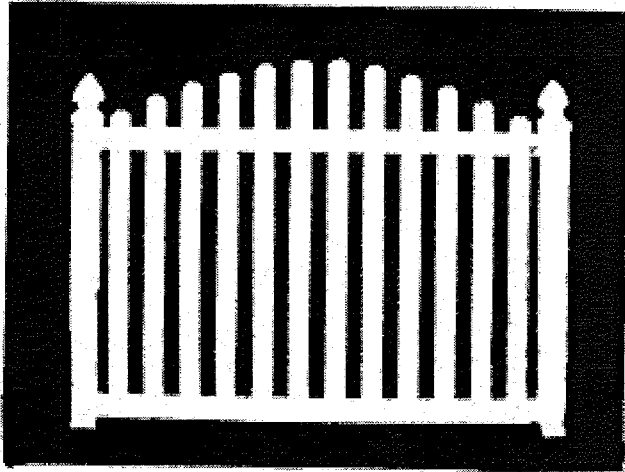
SAMPLES OF FENCES PERMITTED



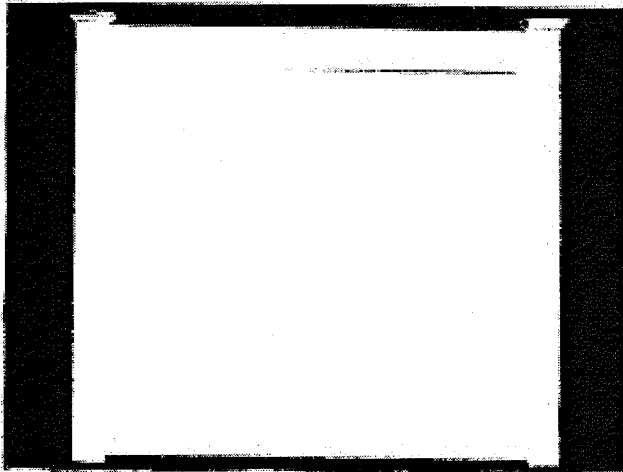
Closed Picket



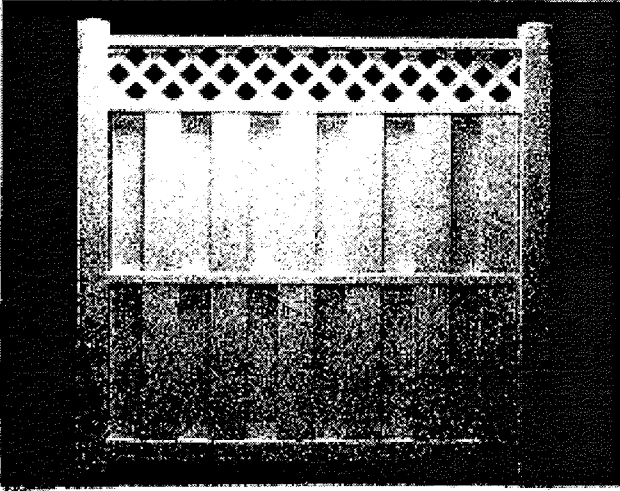
Colonial Picket



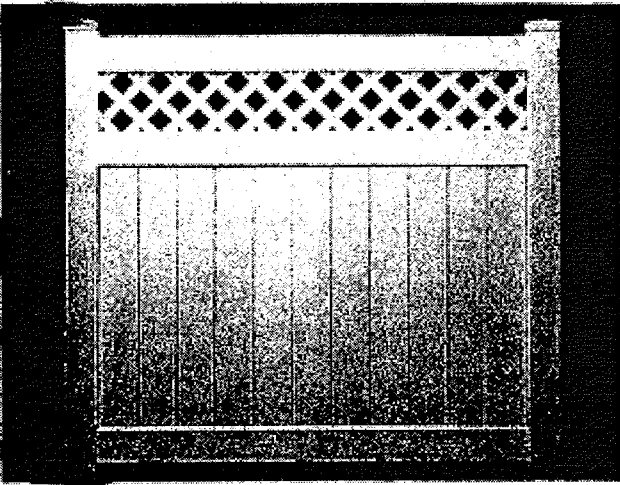
Inverted Scalloped



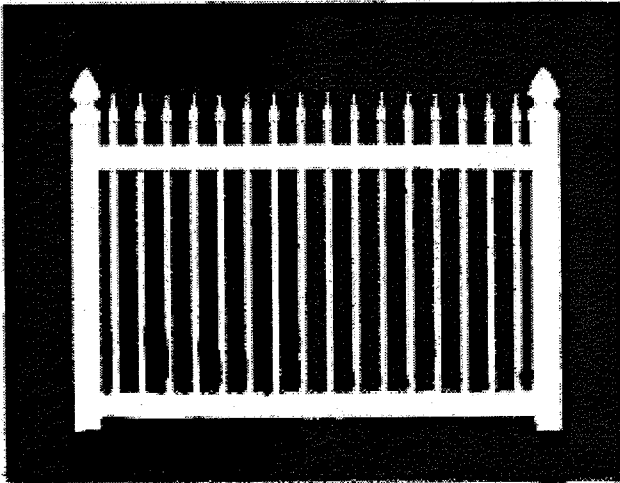
Solid Tongue and Groove



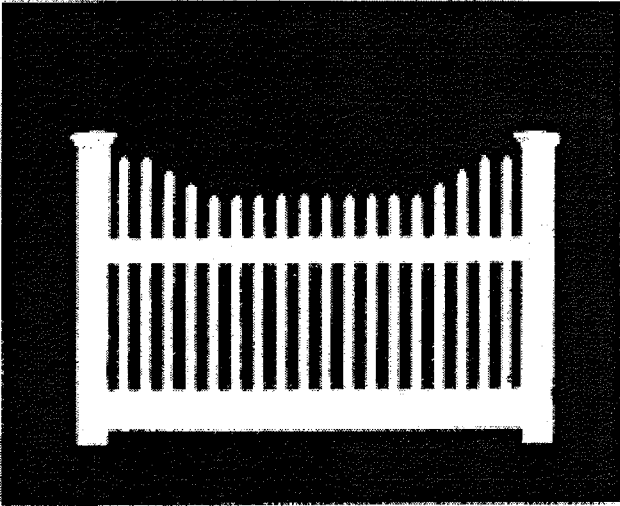
**Vertical Shadow Box
w/Lattice**



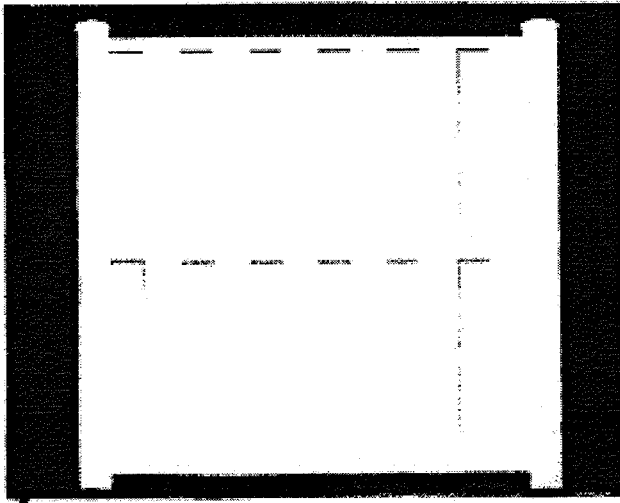
**Solid Tongue and
Groove w/Lattice**



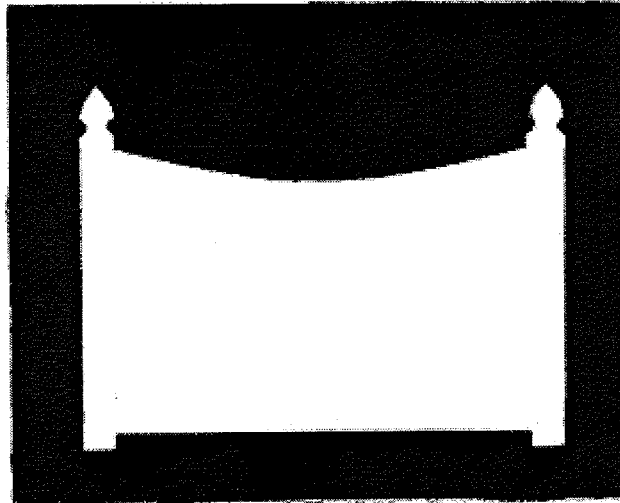
Ornamental Picket



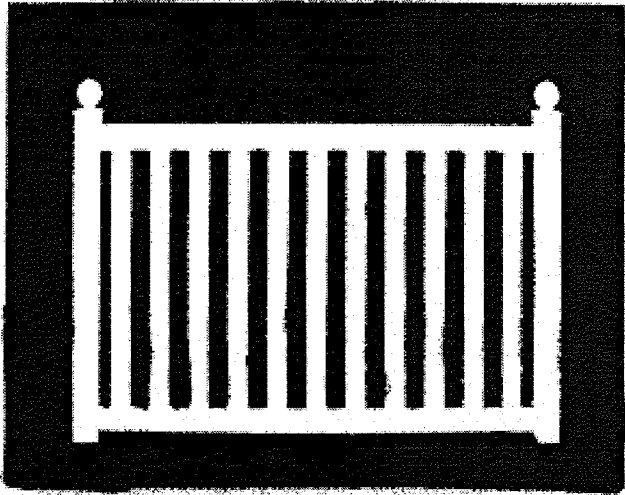
Colonial Scalloped



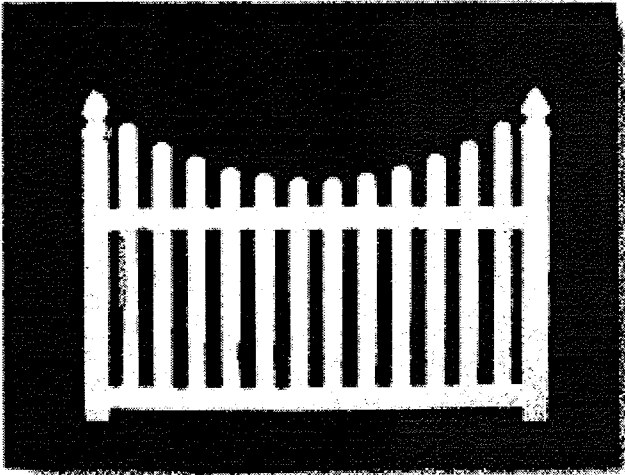
Vertical Shadow Box



**Scalloped Solid
Tongue and Groove**



Closed Picket



Scalloped Picket