

E.C.F.s for Neighborhood: 1000 '1000 AGRICULTURAL PARCELS'

Residential : 1.251
Town Homes/Duplexes: 1.000
Mobile Homes : 1.000
Agricultural Bldgs : 1.251
Commercial Bldgs : 1.000
Industrial Bldgs : 1.000

(Optional) Gross Rate Multipliers
A: 0.000
B: 0.000
C: 0.000
D: 0.000

E.C.F.s for Neighborhood: 2000 '2000 COMMERCIAL'

Residential : 1.000
Town Homes/Duplexes: 1.000
Mobile Homes : 1.000
Agricultural Bldgs : 1.000
Commercial Bldgs : 1.248
Industrial Bldgs : 1.248

(Optional) Gross Rate Multipliers
A: 0.000
B: 0.000
C: 0.000
D: 0.000

E.C.F.s for Neighborhood: 3000 '3000 INDUSTRIAL'

Residential : 1.000
Town Homes/Duplexes: 1.000
Mobile Homes : 1.000
Agricultural Bldgs : 1.000
Commercial Bldgs : 1.248
Industrial Bldgs : 1.248

(Optional) Gross Rate Multipliers
A: 0.000
B: 0.000
C: 0.000
D: 0.000

E.C.F.s for Neighborhood: 4000 '4000 RURAL RESIDENTIAL'

Residential : 1.308
Town Homes/Duplexes: 1.000
Mobile Homes : 1.000
Agricultural Bldgs : 1.251
Commercial Bldgs : 1.000
Industrial Bldgs : 1.000

(Optional) Gross Rate Multipliers
A: 0.000
B: 0.000
C: 0.000
D: 0.000

E.C.F.s for Neighborhood: 4100 '4100 VILLAG RES ECF AREA'

Residential : 1.108
Town Homes/Duplexes: 1.000
Mobile Homes : 1.000
Agricultural Bldgs : 1.000
Commercial Bldgs : 1.000
Industrial Bldgs : 1.000

(Optional) Gross Rate Multipliers

A: 0.000
B: 0.000
C: 0.000
D: 0.000

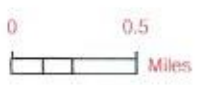
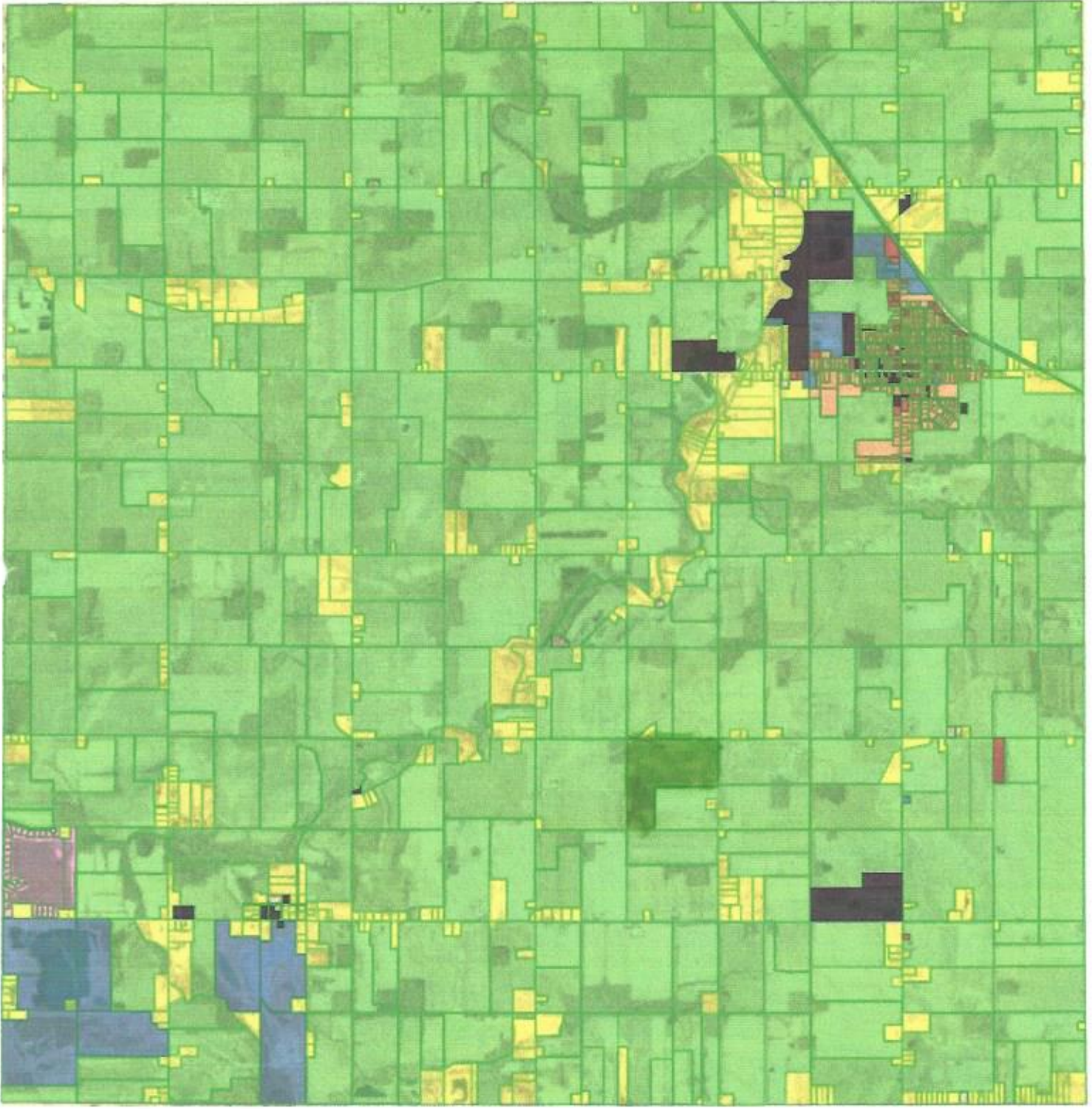
E.C.F.s for Neighborhood: 4130 '4130 COLONY LAKES AREA'

Residential : 1.000
Town Homes/Duplexes: 1.000
Mobile Homes : 1.000
Agricultural Bldgs : 1.000
Commercial Bldgs : 1.000
Industrial Bldgs : 1.000

(Optional) Gross Rate Multipliers

A: 0.000
B: 0.000
C: 0.000
D: 0.000

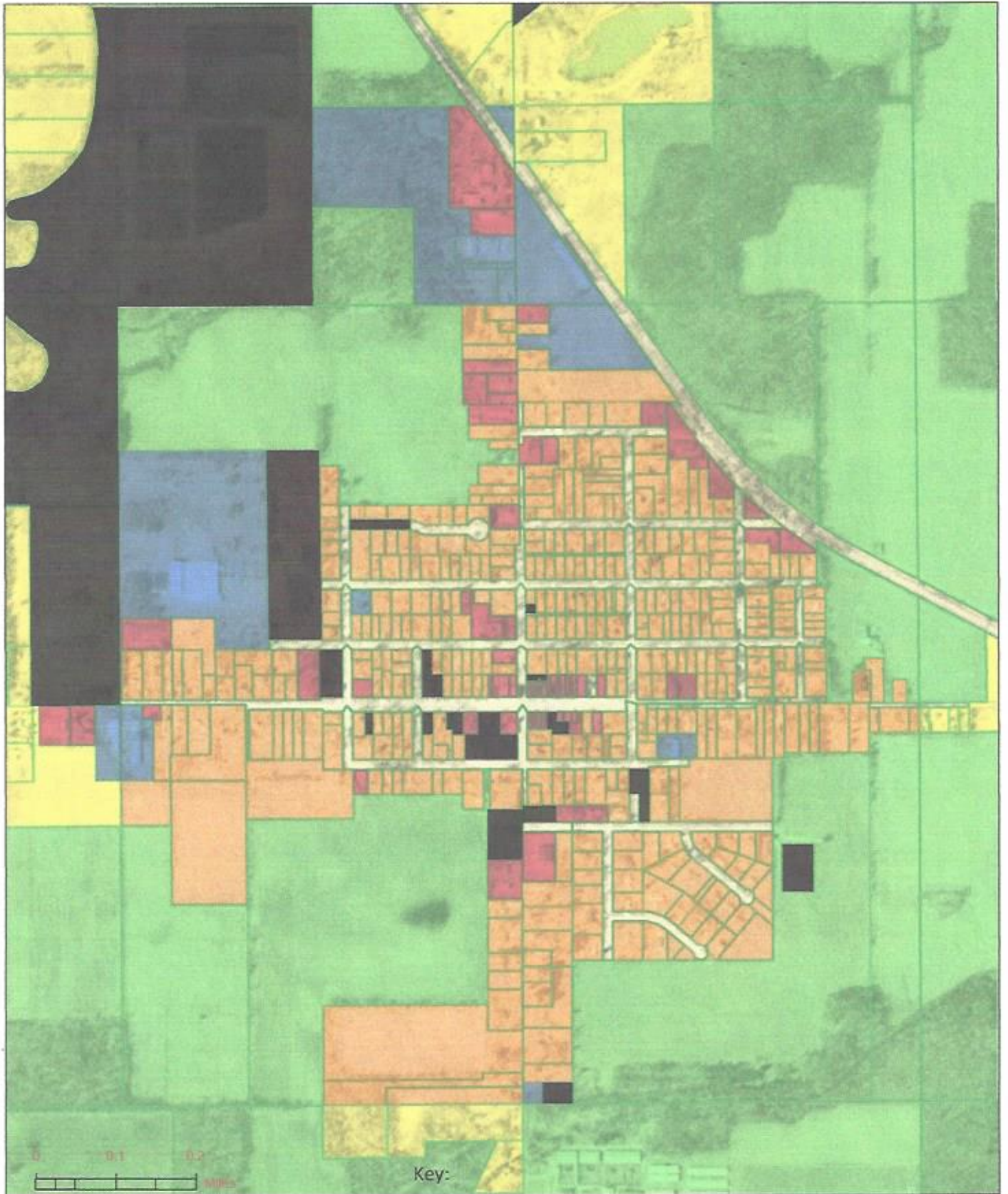
DUPLAIN ECF AREAS



Key:

- | | | | |
|----------------------|------------------------------|--------------------|----------------|
| Green = Agricultural | Yellow = Rural Residential | Red = Commercial | |
| Blue = Industrial | Orange = Village Residential | Pink = Colony Lake | Black = Exempt |

ELSIE - ECF AREAS



Green = Agricultural

Yellow = Rural Residential

Red = Commercial

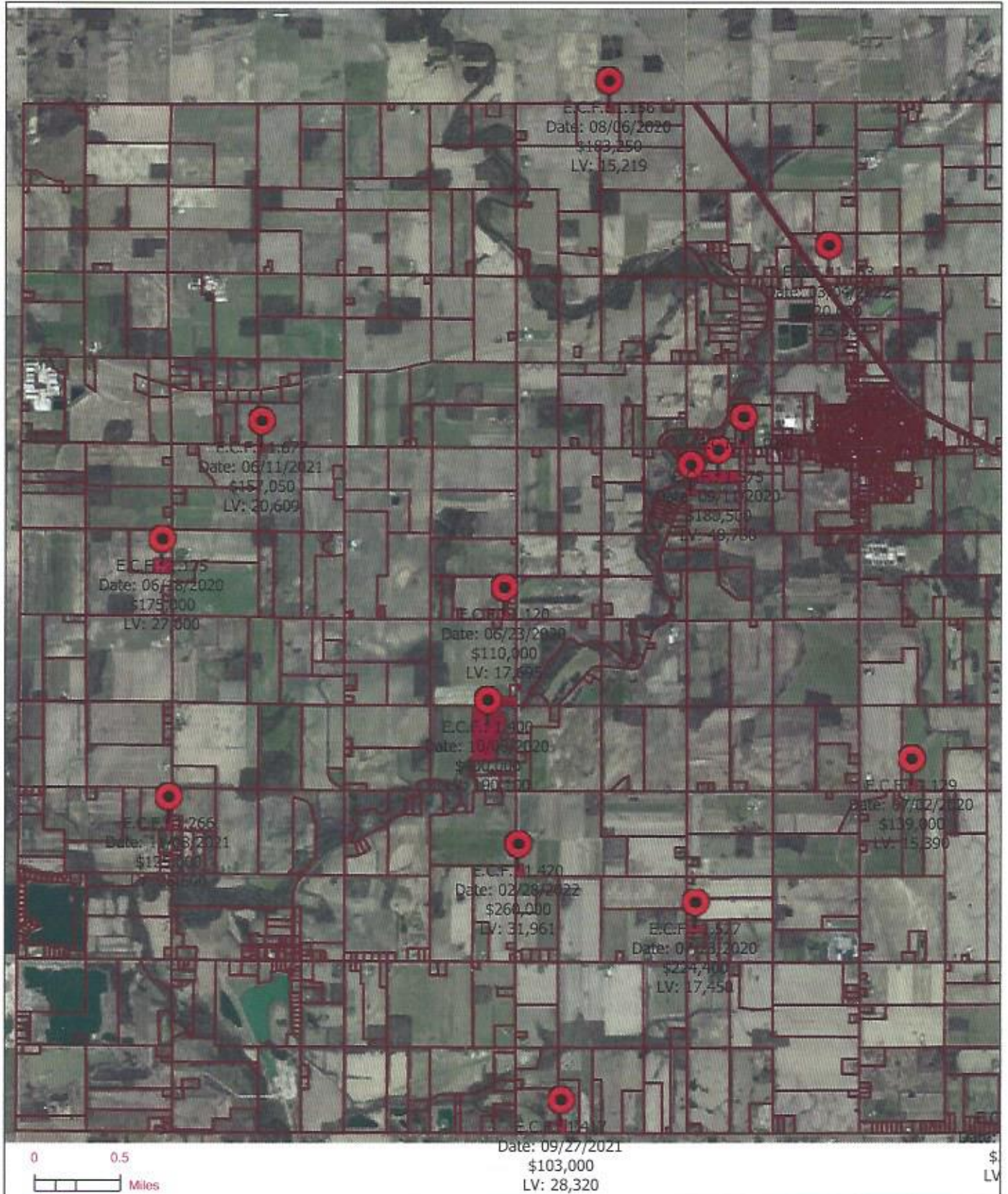
Blue = Industrial

Orange = Village Residential

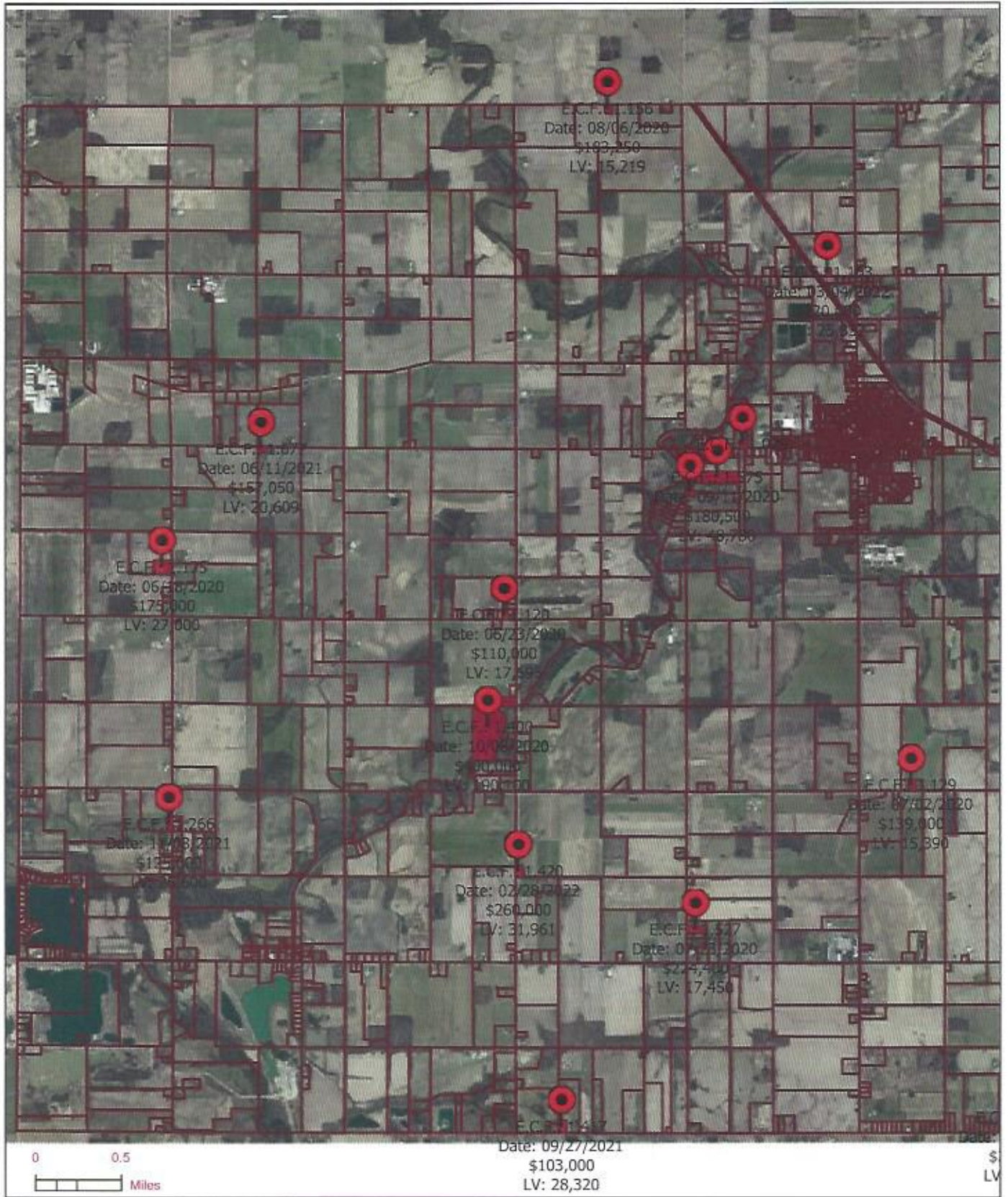
Pink = Colony Lake

Black = Exempt

DUPLAIN TWP - AGRICULTURAL ECF



DUPLAIN TWP - RURAL RESIDENTIAL ECF



Neighborhoods Used: 4000 - 4000 RURAL RESIDENTIAL, 1000 - 1000 AGRICULTURAL PARCELS

8951 E MAPLE RAPIDS RD

Parcel Number	** Valid Sale	** Class	AdjSalePrice	LandValue	
060-002-400-030-00	03/04/2022 4000	401	120,000	25,332	
Occupancy	Style	%Good	ResidualValue	CostByManual	E.C.F.
Single Family	1 STORY	45	81,896	70,427	1.163
Agricultural Buildings:	ResidualValue	CostByManual	E.C.F.		
	12772	10983	1.163		



4544 N SHEPARDVILLE RD

Parcel Number	** Valid Sale	** Class	AdjSalePrice	LandValue	
060-027-200-030-00	02/28/2022 4000	401	260,000	31,961	
Occupancy	Style	%Good	ResidualValue	CostByManual	E.C.F.
Single Family	1 STORY	58	197,902	139,360	1.420
Agricultural Buildings:	ResidualValue	CostByManual	E.C.F.		
	30137	21222	1.420		



8687 E FRENCH RD

Parcel Number	** Valid Sale	** Class	AdjSalePrice	LandValue	
060-023-400-010-50	12/29/2021 4000	401	140,000	37,281	
Occupancy	Style	%Good	ResidualValue	CostByManual	E.C.F.
Single Family	2 STORY	53	80,425	98,525	0.816
Agricultural Buildings:	ResidualValue	CostByManual	E.C.F.		
	22294	27311	0.816		



4813 N WATSON RD

Parcel Number	** Valid Sale	** Class	AdjSalePrice	LandValue	
060-030-100-010-00	11/08/2021 4000	401	125,000	25,600	
Occupancy	Style	%Good	ResidualValue	CostByManual	E.C.F.
Single Family	1.5 STORY	51	97,710	77,188	1.266
Agricultural Buildings:	ResidualValue	CostByManual	E.C.F.		
	1690	1335	1.266		



7355 E KINLEY RD

Parcel Number	** Valid Sale	** Class	AdjSalePrice	LandValue	
060-034-300-016-00	09/27/2021 4000	401	103,000	28,320	
Occupancy	Style	%Good	ResidualValue	CostByManual	E.C.F.
Single Family	1 STORY	22	60,200	42,496	1.417
Agricultural Buildings:	ResidualValue	CostByManual	E.C.F.		
	14480	10222	1.417		



5568 E ISLAND RD

Parcel Number	** Valid Sale	** Class	AdjSalePrice	LandValue	
060-017-100-020-00	06/11/2021 4000	401	157,050	20,609	
Occupancy	Style	%Good	ResidualValue	CostByManual	E.C.F.
Single Family	2 STORY	40	136,441	81,362	1.677



6734 MAPLE RIVER RD

Parcel Number	** Valid Sale	** Class	AdjSalePrice	LandValue	
060-014-200-085-00	06/10/2021 4000	401	135,600	18,942	
Occupancy	Style	%Good	ResidualValue	CostByManual	E.C.F.
Single Family	1.5 STORY	56	116,658	82,016	1.422



8405 E ISLAND RD

Parcel Number	** Valid Sale	** Class	AdjSalePrice	LandValue	
060-011-300-070-00	05/21/2021 4000	401	110,000	15,100	
Occupancy	Style	%Good	ResidualValue	CostByManual	E.C.F.
Single Family	2 STORY	34	94,900	92,226	1.029



Neighborhoods Used: 4000 - 4000 RURAL RESIDENTIAL, 1000 - 1000 AGRICULTURAL PARCELS

3201 N MERIDIAN

Parcel Number	** Valid Sale	** Class	AdjSalePrice	LandValue	
060-036-400-065-00	03/10/2021 4000	401	280,000	50,664	
Occupancy	Style	%Good	ResidualValue	CostByManual	E.C.F.
Single Family	1 STORY	46	188,020	117,591	1.599
Agricultural Buildings:	ResidualValue	CostByManual	E.C.F.		
	41316	25840	1.599		



5555 N SHEPARDVILLE RD

Parcel Number	** Valid Sale	** Class	AdjSalePrice	LandValue	
060-021-400-015-00	10/08/2020 4000	101	400,000	190,100	
Occupancy	Style	%Good	ResidualValue	CostByManual	E.C.F.
Single Family	2 STORY	41	209,900	149,934	1.400



6822 MAPLE RIVER RD

Parcel Number	** Valid Sale	** Class	AdjSalePrice	LandValue	
060-014-200-077-00	09/11/2020 4000	401	180,500	48,780	
Occupancy	Style	%Good	ResidualValue	CostByManual	E.C.F.
Single Family	1 STORY	50	131,720	83,654	1.575



7576 E GRATIOT RD

Parcel Number	** Valid Sale	** Class	AdjSalePrice	LandValue	
060-003-100-020-00	08/06/2020 4000	401	183,250	15,219	
Occupancy	Style	%Good	ResidualValue	CostByManual	E.C.F.
Single Family	2 STORY	52	168,031	145,390	1.156



4180 N UPTON RD

Parcel Number	** Valid Sale	** Class	AdjSalePrice	LandValue	
060-026-300-016-50	07/23/2020 4000	401	224,400	17,450	
Occupancy	Style	%Good	ResidualValue	CostByManual	E.C.F.
Single Family	1 STORY	51	206,950	135,485	1.527



9305 E FRENCH RD

Parcel Number	** Valid Sale	** Class	AdjSalePrice	LandValue	
060-024-300-020-00	07/02/2020 4000	401	139,000	15,390	
Occupancy	Style	%Good	ResidualValue	CostByManual	E.C.F.
Single Family	1 STORY	48	123,006	108,990	1.129
Agricultural Buildings:	ResidualValue	CostByManual	E.C.F.		
	604	535	1.129		



6955 E MEAD RD

Parcel Number	** Valid Sale	** Class	AdjSalePrice	LandValue	
060-016-400-025-00	06/23/2020 4000	401	110,000	17,695	
Occupancy	Style	%Good	ResidualValue	CostByManual	E.C.F.
Single Family	1 STORY	48	92,305	82,396	1.120



6307 N WATSON RD

Parcel Number	** Valid Sale	** Class	AdjSalePrice	LandValue	
060-018-400-010-00	06/18/2020 4000	401	175,000	27,000	
Occupancy	Style	%Good	ResidualValue	CostByManual	E.C.F.
Single Family	1.5 STORY	60	127,007	108,075	1.175
Agricultural Buildings:	ResidualValue	CostByManual	E.C.F.		
	20993	17864	1.175		



Neighborhoods Used: 4000 - 4000 RURAL RESIDENTIAL, 1000 - 1000 AGRICULTURAL PARCELS

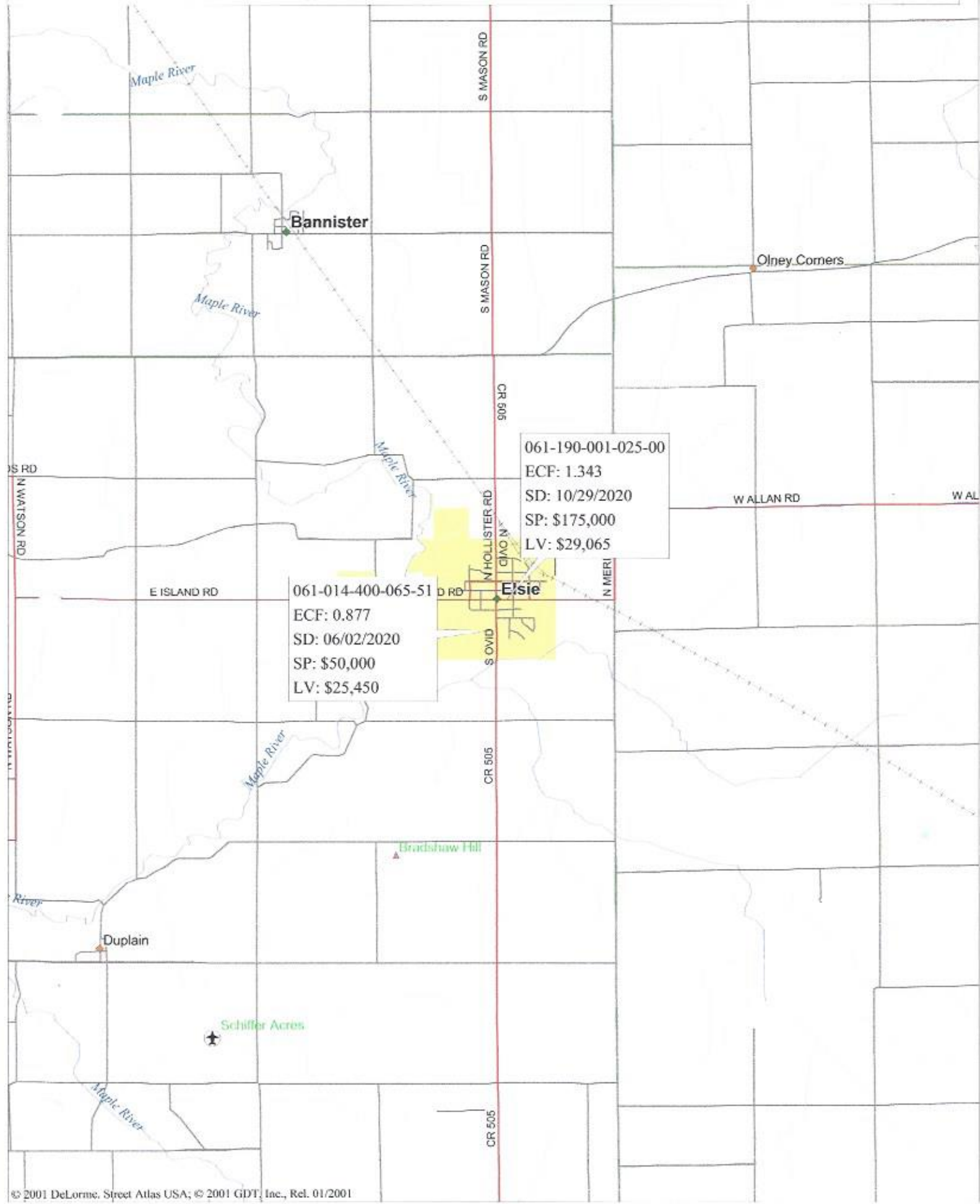
Statistics for this Analysis	
# Valid Sales	# Invalid Sales
16	0
Coefficient of Dispersion (%)	Coefficient of Variation (%)
11.59	15.28
Price Related Differential	1.021
12.90	15.56
After Application of E.C.F.s	1.027

Economic Condition Factor Estimates (# of data points)
* Style *
91..100 81..90 71..80 61..70 51..60 0..50
1 STORY 1.308(16) 1.308(16) 1.308(16) 1.308(16) 1.308(16) 1.308(16)
1.25 STORY 1.308(16) 1.308(16) 1.308(16) 1.308(16) 1.308(16) 1.308(16)
1.5 STORY 1.308(16) 1.308(16) 1.308(16) 1.308(16) 1.308(16) 1.308(16)
1.75 STORY 1.308(16) 1.308(16) 1.308(16) 1.308(16) 1.308(16) 1.308(16)
2 STORY 1.308(16) 1.308(16) 1.308(16) 1.308(16) 1.308(16) 1.308(16)
2+ STORY 1.308(16) 1.308(16) 1.308(16) 1.308(16) 1.308(16) 1.308(16)
DUPLEX 1.308(16) 1.308(16) 1.308(16) 1.308(16) 1.308(16) 1.308(16)
MANU 1.308(16) 1.308(16) 1.308(16) 1.308(16) 1.308(16) 1.308(16)
MULTI- LEVEL 1.308(16) 1.308(16) 1.308(16) 1.308(16) 1.308(16) 1.308(16)
1.308(16) 1.308(16) 1.308(16) 1.308(16) 1.308(16) 1.308(16)
Single Family E.C.F. : 1.308 (16)
Mobile Home E.C.F. : 1.000 (0)
Town Home E.C.F. : 1.000 (0)
Agricultural E.C.F. : 1.251 (8)
Commercial E.C.F. : 1.000 (0)

Settings for this Analysis
Starting Date: 04/01/2020
Ending Date: 03/31/2022
Terms Selected: 1
Analyze by Style:
Analyze by %Good:
Show Valid Data : X
Show Invalid Data :
Show Costs and Residuals:
Use Infl. Adj. Sale Prices:
Neighborhood(s): 4000 - 4000 RURAL RESIDENTIAL, 1000 - 1000 AGRICULTURAL PARCELS

Max # of Res. Buildings: 50	Minimum E.C.F. (Residential): 0.10	Maximum E.C.F. (Residential): 3.00
Max # of Ag. Buildings: 50	Minimum E.C.F. (Agricultural): 0.10	Maximum E.C.F. (Agricultural): 3.00
Max # of C/I Buildings: 30	Minimum E.C.F. (Commercial): 0.10	Maximum E.C.F. (Commercial): 3.00

2023 Duplain Twp Commercial ECF Study



Neighborhoods Used: 2000 - 2000 COMMERCIAL.

145 E MAIN ST

Parcel Number	** Valid Sale	** Class	AdjSalePrice	LandValue
061-190-001-025-00	10/29/2020 2000	201	175,000	29,065
Commercial Buildings:	ResidualValue	CostByManual	E.C.F.	
	145935	108642	1.343	



310 S OVID STREET

Parcel Number	** Valid Sale	** Class	AdjSalePrice	LandValue
061-014-400-065-51	06/02/2020 2000	201	50,000	25,450
Commercial Buildings:	ResidualValue	CostByManual	E.C.F.	
	24550	27999	0.877	



Neighborhoods Used: 2000 - 2000 COMMERCIAL

<<<<<<<<<<<< Statistics for this Analysis >>>>>>>>>>>>>

# Valid es	# Invalid Sales	Coefficient of Dispersion (%)	Coefficient of Variation (%)	Price Related Differential
2	0	13.19	21.50	1.092
After Application of E.C.F.s				
		11.06	17.58	1.074

<<<<<<< Economic Condition Factor Estimates (# of data points) >>>>>>>

* Style *	91..100	81..90	71..80	61..70	51..60	0..50
1 STORY	1.000(0)	1.000(0)	1.000(0)	1.000(0)	1.000(0)	1.000(0)
1.25 STORY	1.000(0)	1.000(0)	1.000(0)	1.000(0)	1.000(0)	1.000(0)
1.5 STORY	1.000(0)	1.000(0)	1.000(0)	1.000(0)	1.000(0)	1.000(0)
1.75 STORY	1.000(0)	1.000(0)	1.000(0)	1.000(0)	1.000(0)	1.000(0)
2 STORY	1.000(0)	1.000(0)	1.000(0)	1.000(0)	1.000(0)	1.000(0)
2+ STORY	1.000(0)	1.000(0)	1.000(0)	1.000(0)	1.000(0)	1.000(0)
DUPLEX	1.000(0)	1.000(0)	1.000(0)	1.000(0)	1.000(0)	1.000(0)
MANU	1.000(0)	1.000(0)	1.000(0)	1.000(0)	1.000(0)	1.000(0)
MULTI- LEVEL	1.000(0)	1.000(0)	1.000(0)	1.000(0)	1.000(0)	1.000(0)
	1.000(0)	1.000(0)	1.000(0)	1.000(0)	1.000(0)	1.000(0)

Single Family E.C.F. : 1.000 (0)
 Mobile Home E.C.F. : 1.000 (0)
 Town Home E.C.F. : 1.000 (0)
 Agricultural E.C.F. : 1.000 (0)
 Commercial E.C.F. : 1.248 (2)

<<<<<<<<<<<< Settings for this Analysis >>>>>>>>>>>>>

Starting Date: 06/01/2020
 Ending Date: 09/30/2022
 Terms Selected: 1
 Analyze by Style:
 Analyze by %Good:
 Show Valid Data : X
 Show Invalid Data :
 Costs and Residuals:
 Use ofl. Adj. Sale Prices:
 Neighborhood(s): 2000 - 2000 COMMERCIAL

Max # of Res. Buildings: 50	Minimum E.C.F. (Residential): 0.10
	Maximum E.C.F. (Residential): 3.00
Max # of Ag. Buildings: 50	Minimum E.C.F. (Agricultural): 0.10
	Maximum E.C.F. (Agricultural): 3.00
Max # of C/I Buildings: 30	Minimum E.C.F. (Commercial): 0.10
	Maximum E.C.F. (Commercial): 3.00

2023 ELSIE RESIDENTIAL ECF MAP



Neighborhoods Used: 4100 - 4100 VILLAG RES ECF AREA

114 E ELM ST						
Parcel Number	**	Valid Sale	**	Class	AdjSalePrice	LandValue
061-200-006-008-00		12/15/2021	4100	401	78,000	6,761
Occupancy	Style	%Good	ResidualValue	CostByManual	E.C.F.	
Single Family	1.5 STORY	45	71,239	63,982	1.113	



164 W ELM ST						
Parcel Number	**	Valid Sale	**	Class	AdjSalePrice	LandValue
061-180-000-003-00		02/04/2021	4100	401	158,000	9,706
Occupancy	Style	%Good	ResidualValue	CostByManual	E.C.F.	
Single Family	1 STORY	45	148,294	103,741	1.429	



220 E OAK ST						
Parcel Number	**	Valid Sale	**	Class	AdjSalePrice	LandValue
061-200-004-010-00		01/25/2021	4100	401	133,000	9,135
Occupancy	Style	%Good	ResidualValue	CostByManual	E.C.F.	
Single Family	2 STORY	45	123,865	97,688	1.268	



243 E PINE ST						
Parcel Number	**	Valid Sale	**	Class	AdjSalePrice	LandValue
061-200-004-021-00		01/12/2021	4100	401	63,000	6,789
Occupancy	Style	%Good	ResidualValue	CostByManual	E.C.F.	
Single Family	1.5 STORY	45	56,211	78,811	0.713	



202 E MAIN ST						
Parcel Number	**	Valid Sale	**	Class	AdjSalePrice	LandValue
061-013-200-100-00		12/15/2020	4100	401	79,900	6,044
Occupancy	Style	%Good	ResidualValue	CostByManual	E.C.F.	
Single Family	2 STORY	45	73,856	69,954	1.056	



221 W ELM ST						
Parcel Number	**	Valid Sale	**	Class	AdjSalePrice	LandValue
061-140-000-009-00		12/10/2020	4100	401	87,500	9,526
Occupancy	Style	%Good	ResidualValue	CostByManual	E.C.F.	
Single Family	1.5 STORY	45	77,974	78,605	0.992	



220 W PINE ST						
Parcel Number	**	Valid Sale	**	Class	AdjSalePrice	LandValue
061-120-003-016-00		11/03/2020	4100	401	50,000	6,036
Occupancy	Style	%Good	ResidualValue	CostByManual	E.C.F.	
Single Family	1 STORY	45	43,964	40,437	1.087	



210 E MAPLE ST						
Parcel Number	**	Valid Sale	**	Class	AdjSalePrice	LandValue
061-013-200-135-00		10/09/2020	4100	401	165,900	13,499
Occupancy	Style	%Good	ResidualValue	CostByManual	E.C.F.	
Single Family	1 STORY	70	152,401	148,306	1.028	



Neighborhoods Used: 4100 - 4100 VILLAG RES ECF AREA

308 CAROLE DR
Parcel Number ** Valid Sale ** Class AdjSalePrice LandValue
061-170-000-002-00 09/04/2020 4100 401 148,500 15,873
Occupancy Style %Good ResidualValue CostByManual E.C.F.
Single Family 1 STORY 67 132,627 126,707 1.047



563 N OVID ST
Parcel Number ** Valid Sale ** Class AdjSalePrice LandValue
061-011-400-010-51 08/20/2020 4100 401 68,000 4,562
Occupancy Style %Good ResidualValue CostByManual E.C.F.
Single Family 1 STORY 78 63,438 51,422 1.234



121 E ELM ST
Parcel Number ** Valid Sale ** Class AdjSalePrice LandValue
061-200-011-007-00 08/11/2020 4100 401 69,150 11,017
Occupancy Style %Good ResidualValue CostByManual E.C.F.
Single Family 2 STORY 45 58,133 56,085 1.037



557 N OVID ST
Parcel Number ** Valid Sale ** Class AdjSalePrice LandValue
061-011-400-002-00 08/06/2020 4100 401 125,000 30,358
Occupancy Style %Good ResidualValue CostByManual E.C.F.
Single Family 1.5 STORY 34 92,424 70,681 1.308
Agricultural Buildings: ResidualValue CostByManual E.C.F.
 2218 1696 1.308



144 W OAK ST
Parcel Number ** Valid Sale ** Class AdjSalePrice LandValue
061-120-001-007-00 07/23/2020 4100 401 120,000 9,188
Occupancy Style %Good ResidualValue CostByManual E.C.F.
Single Family 1 STORY 49 110,812 79,790 1.389



300 W OAK ST
Parcel Number ** Valid Sale ** Class AdjSalePrice LandValue
061-120-002-001-02 07/21/2020 4100 401 146,500 14,365
Occupancy Style %Good ResidualValue CostByManual E.C.F.
Single Family MULTI- LEVEL 50 132,135 108,401 1.219



158 E OAK ST
Parcel Number ** Valid Sale ** Class AdjSalePrice LandValue
061-200-005-001-00 06/24/2020 4100 401 83,660 7,138
Occupancy Style %Good ResidualValue CostByManual E.C.F.
Single Family 2 STORY 45 76,522 71,347 1.073



229 W ELM ST
Parcel Number ** Valid Sale ** Class AdjSalePrice LandValue
061-140-000-007-00 06/18/2020 4100 401 131,000 10,443
Occupancy Style %Good ResidualValue CostByManual E.C.F.
Single Family 1.5 STORY 49 120,557 103,167 1.169



Neighborhoods Used: 4100 - 4100 VILLAG RES ECF AREA

Parcel Number	** Valid Sale	** Class	AdjSalePrice	LandValue	
061-000-001-002-00	06/04/2020 4100	401	80,000	10,244	
Occupancy	Style	%Good	ResidualValue	CostByManual	E.C.F.
Single Family	1 STORY	54	69,756	64,970	1.074



Parcel Number	** Valid Sale	** Class	AdjSalePrice	LandValue	
061-190-001-001-00	05/11/2020 4100	401	90,000	9,988	
Occupancy	Style	%Good	ResidualValue	CostByManual	E.C.F.
Single Family	2 STORY	45	80,012	105,323	0.760



2023 COLONY LAKE ECF MAP



E.C.F. 1,001
Date: 09/30/2019
5435,000
LV: 54,950

Neighborhoods Used: 4130 - 4130 COLONY LAKES AREA

4130 N CHANDLER RD

Parcel Number	** Valid Sale	** Class	AdjSalePrice	LandValue	
060-130-000-009-00	09/30/2019 4130	401	435,000	54,950	
Occupancy	Style	%Good	ResidualValue	CostByManual	E.C.F.
Single Family	1 STORY	82	380,050	379,665	1.001



Unit: 060 - DUPLAIN
Rates/Values for Neighborhood 1000.1000 AG, Last Edited: 12/16/2022

Rates for Rate Table 'AGRICULTURAL RATES', (Acres)
TILLABLE : 4,600
TILLABLE : 4,600
TILLABLE : 4,600
TILLABLE : 4,600
WOODS : 3,600
NON-TILLABLE : 3,600
R/W : 0
H/SITE : 24,000

Unit: 060 - DUPLAIN
Rates/Values for Neighborhood 2000.2000 COMMERCIAL, Last Edited: 12/16/2022

Rates for Rate Table '2000 COMMERCIAL LAND', (Acres)
COMMERCIAL : 32,000
AGRICULTURAL : 4,600
ROW : 0

Unit: 060 - DUPLAIN
Rates/Values for Neighborhood 3000.3000 INDUSTRIAL, Last Edited: 12/16/2022

Rates for Rate Table '3000 INDUSTRIAL LAND', (Acres)
INDUSTRIAL : 51,500
ROW : 0
GRAVEL PITS : 4,700

Unit: 060 - DUPLAIN
Rates/Values for Neighborhood 4000.4000 RURAL RESIDENTIAL, Last Edited: 12/16/2022

Values for Acreage Table 1: 'COLONY LAKE'
1 Acre: 80,000 3 Acre: 105,000 10 Acre: 0 30 Acre: 0
1.5 Acre: 90,000 4 Acre: 115,000 15 Acre: 0 40 Acre: 0
2 Acre: 95,000 5 Acre: 125,000 20 Acre: 0 50 Acre: 0
2.5 Acre: 100,000 7 Acre: 135,000 25 Acre: 0 100 Acre: 0

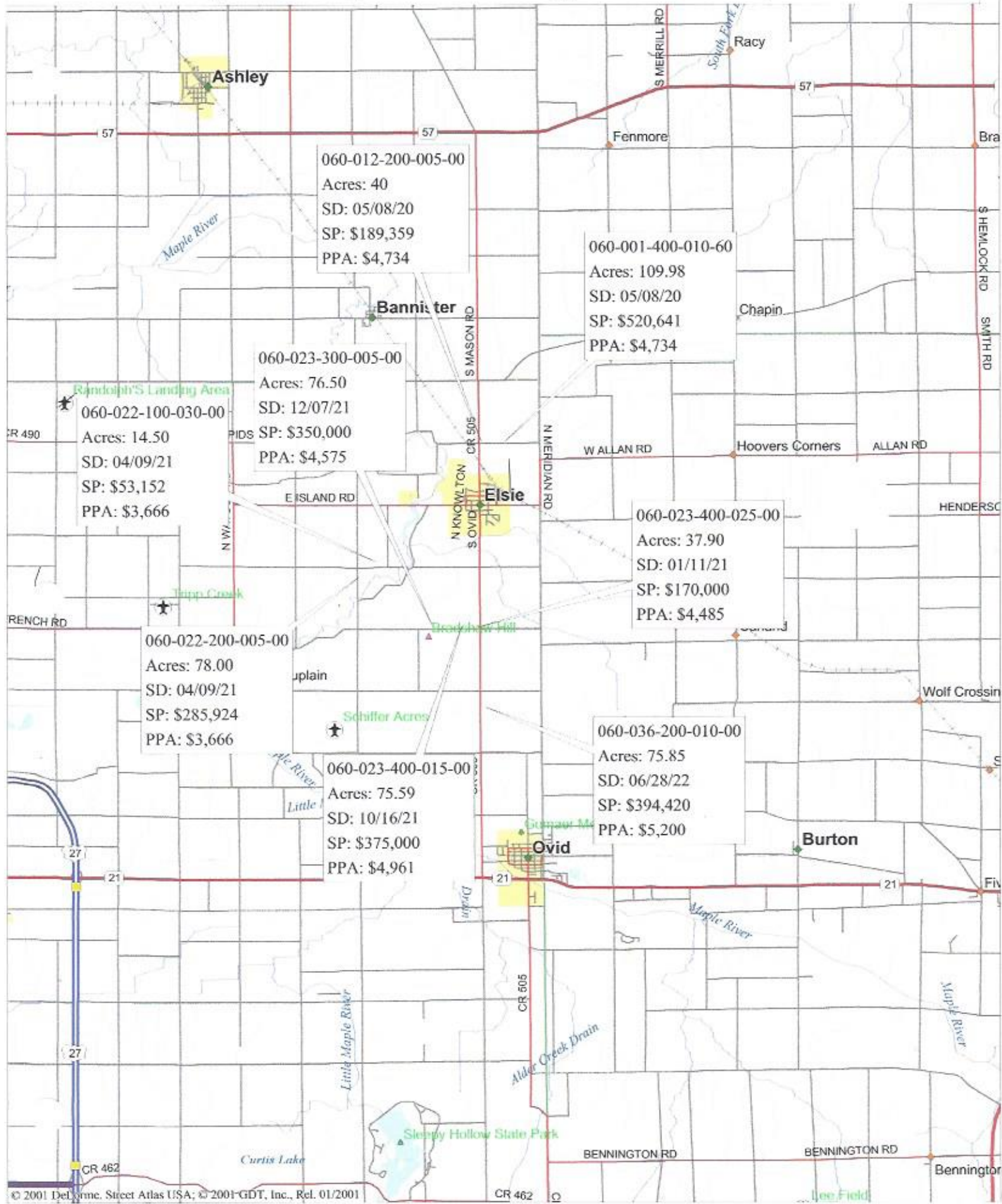
Rates for Rate Table '4000 RURAL RESIDENTI', (Acres)
HOUSE SITE : 24,000
RESIDENTIAL ACRES: 3,600
ROW : 0

Unit: 060 - DUPLAIN
Rates/Values for Neighborhood 4100.4100 VILLAGE LAND TABLE, Last Edited: 12/07/2022

Frontages:
Frontage 'A': Description: 'STANDARD' ' FF Rate: 100
Standard Frontage: 66 Standard Depth: 165

Unit: -
Rates/Values for Neighborhood -----, Last Edited: / /

2023 DuplainTwp Vacant Ag Land Study Tillable



2023 Vacant Ag Land Sales Analysis - Tillable- Duplain Township

Parcel Number	Street Address	Sale Date	Instr.	Terms of Sale	Adj. Sale \$	Total Acres	Dollars/Acre	Liber/Page
060-001-400-010-60	9491 E MAPLE RAPIDS RD	05/08/20	WD	03-ARM'S LENGTH	\$520,641	109.98	\$4,734	5292571
060-012-200-005-00	E MAPLE RAPIDS RD--V/L	05/08/20	WD	03-ARM'S LENGTH	\$189,359	40.00	\$4,734	5292571
060-022-100-030-00	E MEAD RD--V/L	04/09/21	OTH	03-ARM'S LENGTH	\$53,152	14.50	\$3,666	5308831
060-022-200-005-00	E MEAD RD--V/L	04/09/21	OTH	03-ARM'S LENGTH	\$285,924	78.00	\$3,666	5308831
060-023-300-005-00	8375 E FRENCH RD	12/07/21	WD	03-ARM'S LENGTH	\$350,000	76.50	\$4,575	5319266
060-023-400-015-00	E FRENCH RD	10/16/21	LC	03-ARM'S LENGTH	\$375,000	75.59	\$4,961	5321588
060-023-400-025-00	N HOLLISTER RD	01/11/21	WD	03-ARM'S LENGTH	\$170,000	37.90	\$4,485	5303930
060-036-200-007-00	N HOLLISTER RD	06/28/22	WD	03-ARM'S LENGTH	\$394,420	75.85	\$5,200	FROM PTA
Totals:						508.32		

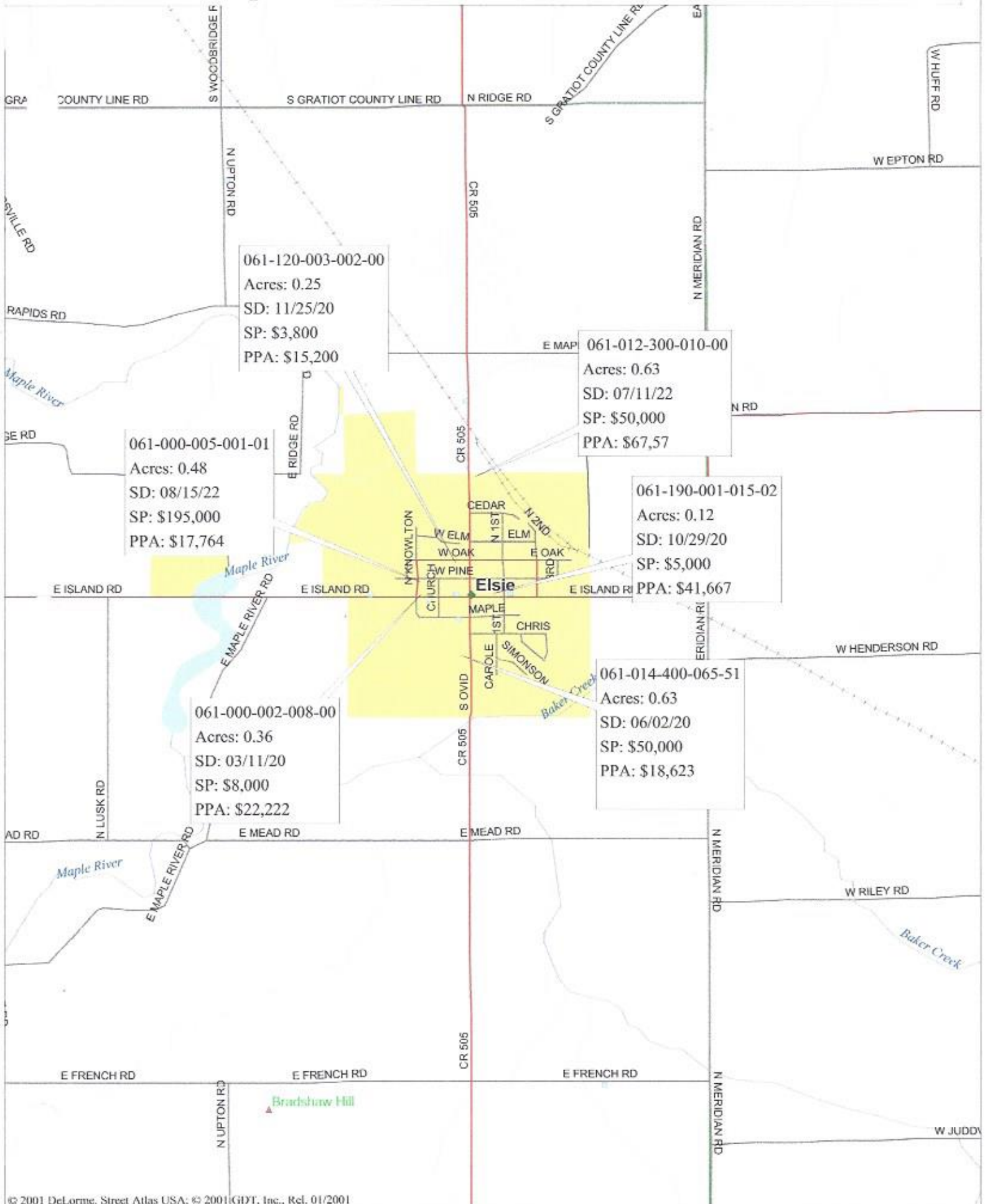
Average
per Net Acre=>

\$2,338,496

\$ 4,600.44

Used: \$4,600

2023 Duplain Twp Commercial Vacant Land Study



061-120-003-002-00
 Acres: 0.25
 SD: 11/25/20
 SP: \$3,800
 PPA: \$15,200

061-012-300-010-00
 Acres: 0.63
 SD: 07/11/22
 SP: \$50,000
 PPA: \$67,57

061-000-005-001-01
 Acres: 0.48
 SD: 08/15/22
 SP: \$195,000
 PPA: \$17,764

061-190-001-015-02
 Acres: 0.12
 SD: 10/29/20
 SP: \$5,000
 PPA: \$41,667

061-000-002-008-00
 Acres: 0.36
 SD: 03/11/20
 SP: \$8,000
 PPA: \$22,222

061-014-400-065-51
 Acres: 0.63
 SD: 06/02/20
 SP: \$50,000
 PPA: \$18,623

2023 Commercial Vacant Land Sale Analysis - Duplain Township

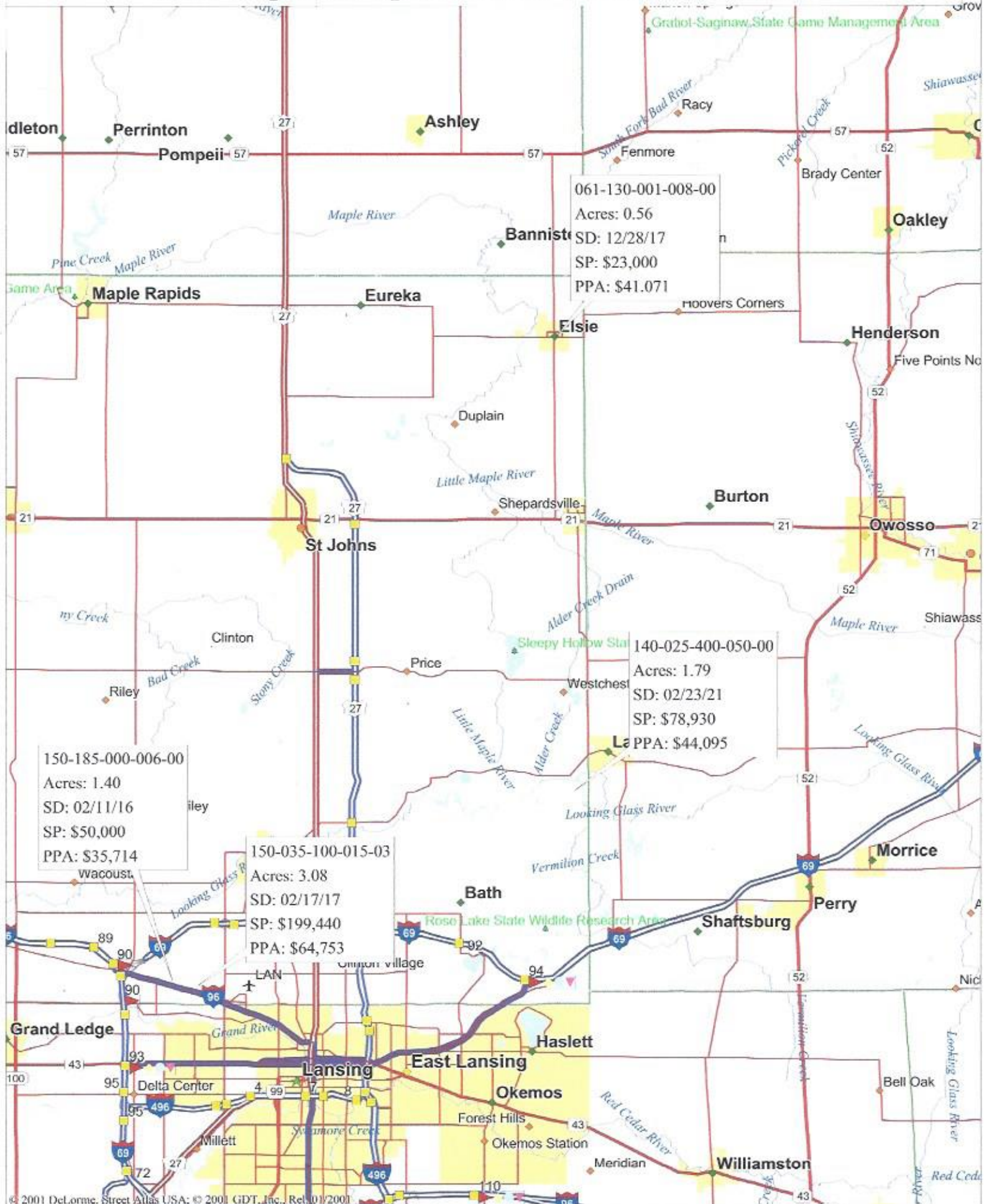
Parcel Number	Street Address	Sale Date	Sale Price	Instr.	Terms of Sale	Adj. Sale \$	Cur. Asmnt.	Asd/Adj. Sale
061-000-002-008-00	W MAIN ST	03/11/20	\$8,000	WD	03-ARM'S LENGTH	\$8,000	\$10,600	132.50
061-000-005-001-01	300 W MAIN ST	08/15/22	\$195,000	LC	03-ARM'S LENGTH	\$195,000	\$109,000	55.90
061-012-300-010-00	566 N OVID ST	07/11/22	\$50,000	WD	03-ARM'S LENGTH	\$50,000	\$24,500	49.00
061-014-400-065-51	310 S OVID STREET	06/02/20	\$50,000	WD	03-ARM'S LENGTH	\$50,000	\$28,400	56.80
061-120-003-002-00	W OAK ST--V/L	11/25/20	\$3,800	WD	03-ARM'S LENGTH	\$3,800	\$7,600	200.00
061-190-001-015-02	E MAIN STREET	10/29/20	\$5,000	WD	03-ARM'S LENGTH	\$5,000	\$3,000	60.00
Totals:						\$311,800	\$183,100	\$366,260

Cur. Appraisal	Land Residual	Est. Land Value	Net Acres	Dollars/Acre	Liber/Page
\$21,240	\$8,000	\$21,240	0.36	\$22,222	5290444
\$217,912	\$7,998	\$31,350	0.48	\$16,838	5328285
\$49,013	\$42,237	\$41,250	0.63	\$67,579	5327035
\$56,809	\$11,658	\$18,467	0.63	\$18,623	5293295
\$15,250	\$3,800	\$15,250	0.25	\$15,200	5303680
\$6,036	\$5,000	\$3,540	0.12	\$41,667	5300048
\$78,693	\$131,097	2.46			

Sale. Ratio => 58.72 Average Average
 Std. Dev. => 61.19 per Net Acre=> \$ 32,041 per SqFt=> \$0.74

USED: \$ 32,000

2023 Duplain Twp Industrial Vacant Land Study



2023 Industrial Vacant Land Sale Analysis - Duplain Township

Parcel Number	Sale Date	Sale Price	Instr.	Terms of Sale	Est. Land Value	Net Acres	Dollars/Acre	Liber/Page	Price/SF
061-130-001-008-00	28-Dec-17	23,000	LC	03-ARM'S LENG	\$21,240	0.56	41,071	5262200	0.943
140-025-400-050-00	23-Feb-21	78,930	WD	03-ARM'S LENG	\$31,350	1.79	44,095	5306309	1.012
150-185-000-006-00	11-Feb-16	50,000	WD	03-ARM'S LENG	\$41,250	1.40	35,714	5237929	0.820
150-035-100-015-03	17-Feb-17	199,440	WD	03-ARM'S LENG	\$18,467	3.08	64,753	5251041	1.487
Totals:						6.83			4.262

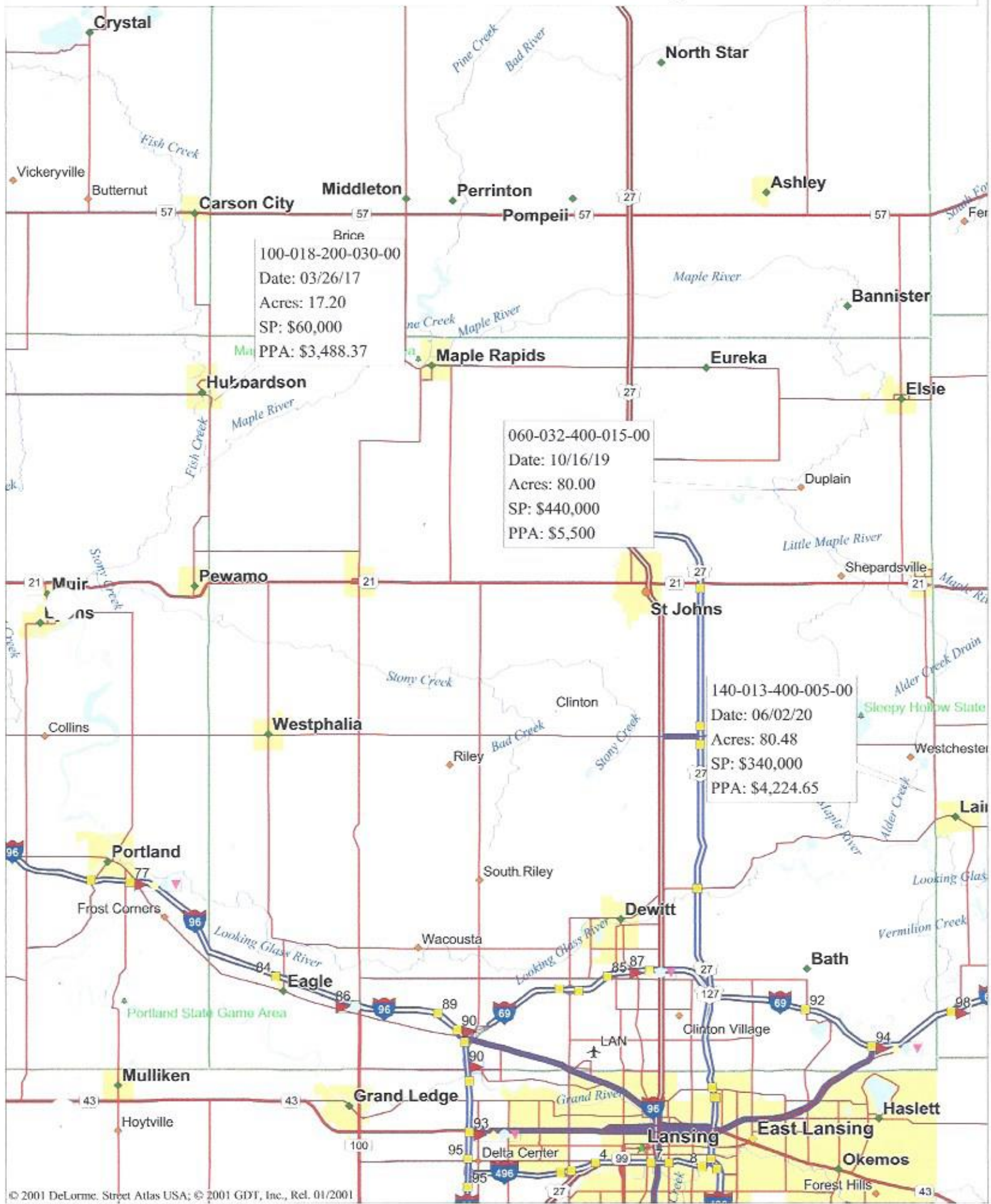
\$351,370

Average
per Net Acre \$ **51,445**

Average
per SqFt=> **\$1.07**

USED: \$ 51,500

2023 Gravel Pit Land Sales-Duplain Twp



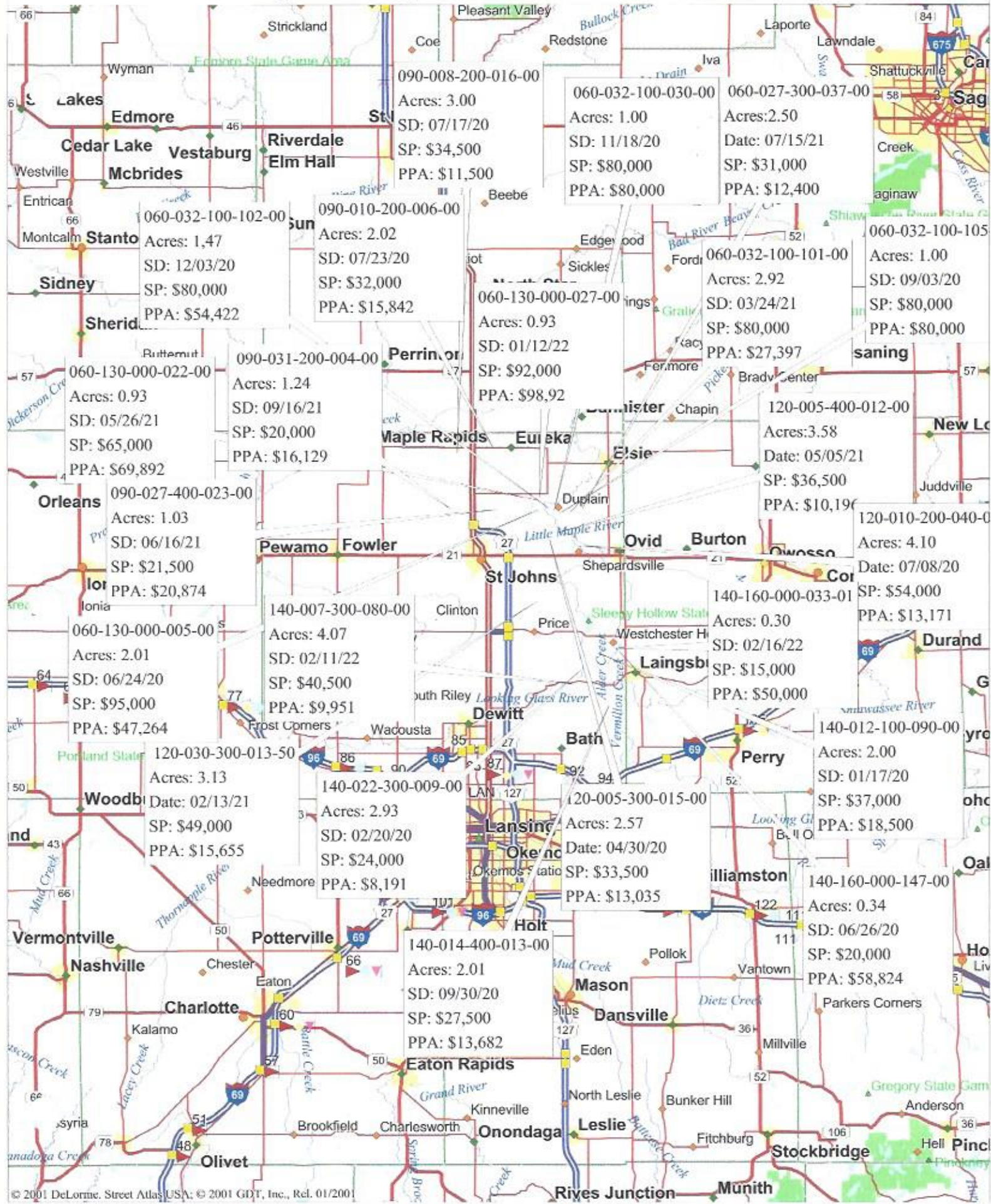
2023 Gravel Pit Land Sales Analysis - Duplain Township

Parcel #:	Date:	Price:	Acres:	Liber/Page	Price Per Acre
100-018-200-030-00	3/26/2017	\$60,000	17.20	5252642	\$3,488.37
060-032-400-015-00	10/16/2019	\$440,000	80.00	5284978	\$5,500.00
140-013-400-005-00	6/2/2020	\$340,000	80.48	5300689	\$4,224.65

Totals: \$840,000 177.68 Average PPA: **\$4,727.60**

Used: \$4,700.00

2023 Duplain Twp Rural Residential Land Study



2023 Duplain Township Rural Residential Land Sales Analysis

1 Acre Site

Parcel Number	Liber/Page	Instr.	Sale Date	Net Acre	Sale Price	Dollars/Acre
060-027-300-037-00	5313987	WD	07/15/21	2.50	\$31,000	\$12,400
060-032-100-030-00	5302286	WD	11/18/20	1.00	\$80,000	\$80,000
060-032-100-101-00	5308136	WD	03/24/21	2.92	\$80,000	\$27,397
060-032-100-102-00	5302726	WD	12/03/20	1.47	\$80,000	\$54,422
060-032-100-105-00	5297777	WD	09/03/20	1.00	\$80,000	\$80,000
060-130-000-005-00	5295310	WD	06/24/20	2.01	\$95,000	\$47,264
060-130-000-022-00	5310583	WD	05/26/21	0.93	\$65,000	\$69,892
060-130-000-027-00	5320630	WD	01/12/22	0.93	\$92,000	\$98,925
090-008-200-016-00	5295745	WD	07/17/20	3.00	\$34,500	\$11,500
090-010-200-006-00	5295708	WD	07/23/20	2.02	\$32,000	\$15,842
090-027-400-023-00	5312245	WD	06/16/21	1.03	\$21,500	\$20,874
090-031-200-004-00	5315514	WD	09/16/21	1.24	\$20,000	\$16,129
090-200-000-028-00	5316204	WD	10/04/21	1.84	\$76,892	\$41,789
120-005-300-015-00	5292210	WD	04/30/20	2.57	\$33,500	\$13,035
120-005-400-012-00	5309884	WD	05/05/21	3.58	\$36,500	\$10,196
120-010-200-040-00	5295006	WD	07/08/20	4.10	\$54,000	\$13,171
120-030-300-013-50	5305747	WD	02/13/21	3.13	\$49,000	\$15,655
140-007-300-080-00	5322041	WD	02/11/22	4.07	\$40,500	\$9,951
140-012-100-090-00	5288729	WD	01/17/20	2.00	\$37,000	\$18,500
140-014-400-013-00	5299072	WD	09/30/20	2.01	\$27,500	\$13,682
140-022-300-009-00	5289895	WD	02/20/20	2.93	\$24,000	\$8,191
140-160-000-033-01	5321914	WD	02/16/22	0.30	\$15,000	\$50,000
140-160-000-147-00	5297436	WD	06/26/20	0.34	\$20,000	\$58,824
				46.92	\$1,124,892	

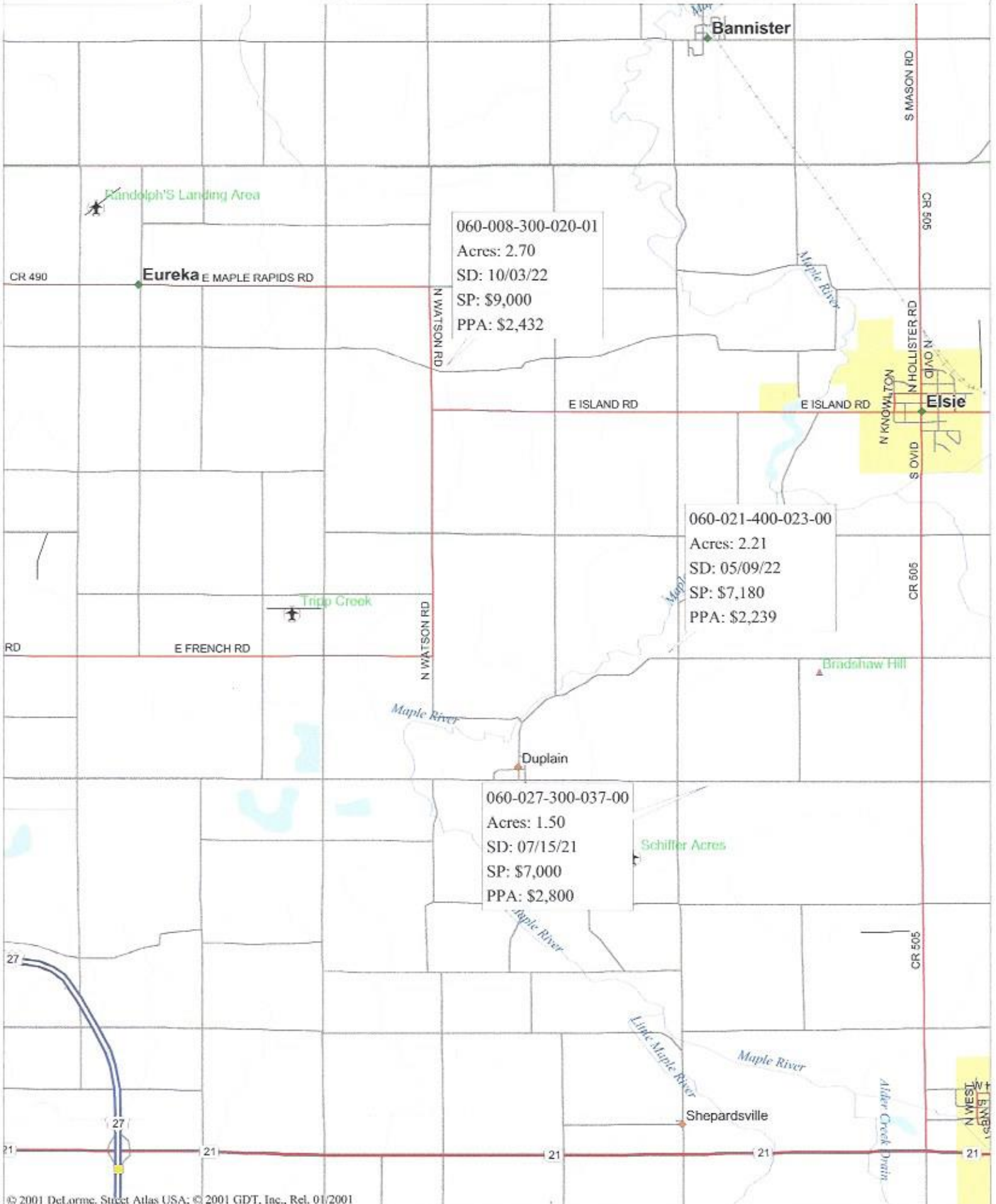
Average per acre

\$23,975

Used:

\$24,000

2023 Duplain Twp Rural Residential Add Acres Study



2023 Duplain Township Rural Residential Land Sales Analysis

Additional Acres / Non-tillable / Woods

Parcel Number	Street Address	Sale Date	Instr.	Terms of Sale	Adj. Sale \$	Adjusted Acres	Dollars/Acre	Liber/Page
060-008-300-020-01	N WATSON RD V/L	10/03/22	WD	03-ARM'S LENGTH	\$9,000	2.70	\$2,432	5329745
060-021-400-023-00	N SHEPARDVILLE RD--\	05/09/22	WD	03-ARM'S LENGTH	\$7,180	2.21	\$2,239	5325087
060-027-300-037-00	7165 E COLONY RD	07/15/21	WD	03-ARM'S LENGTH	\$7,000	1.50	\$2,800	5313987
Totals:					\$23,180	6.41		

Average

per Net Acre=>

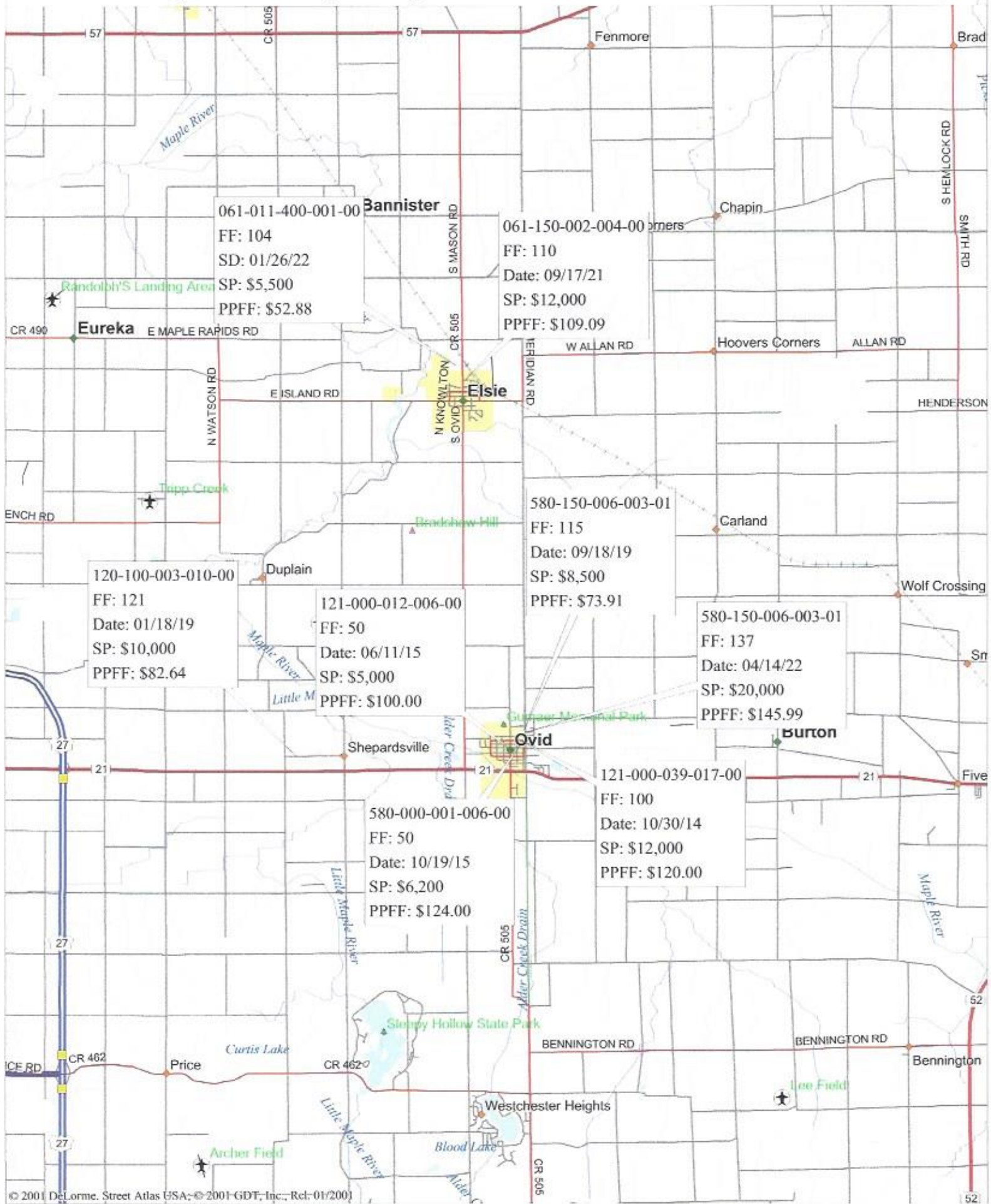
3,616.22

Used:

\$3,600

Formula: (Sale Price - \$24,000) / (Total acres - 1) = Surplus land value

2023 Duplain Twp City of Elsie Residential Lot Study

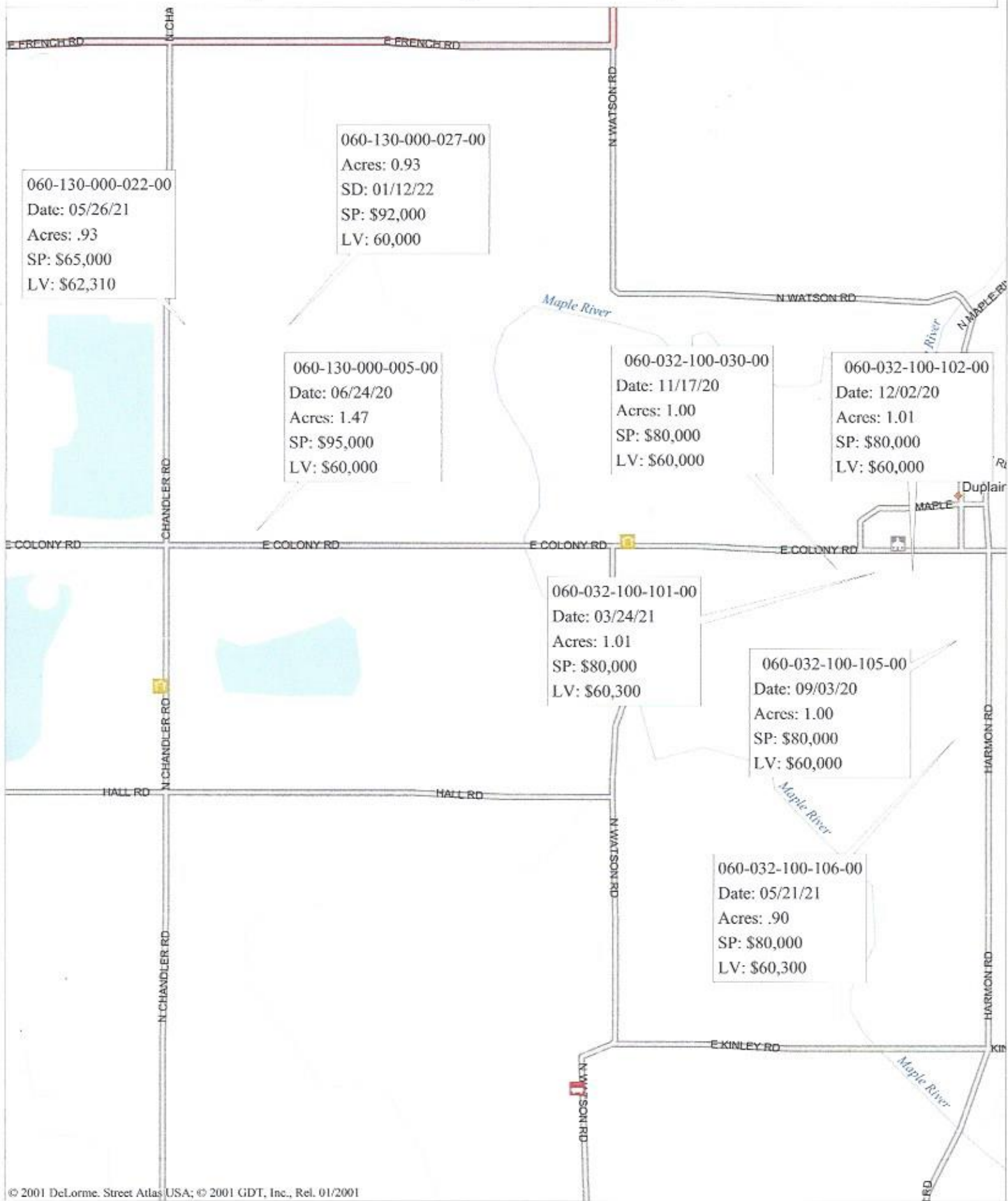


**2023 City of Elsie Residential Lot Sales Analysis
Price Per Front Foot**

Parcel Number	Doc Num	Instr	Date	Transfer	Seller	Buyer	Class	Acres	Sale Price	FF	Price FF
121-000-012-006-00	5229379	wd	6/11/15	yes	Ackels, B	Fender, C	402	0.172	\$5,000	50	\$100.00
121-000-039-017-00	5221058	wd	10/30/14	yes	VanGieson	Miller, S	402	0.411	\$12,000	100	\$120.00
580-000-001-006-00	5284862	wd	10/15/19	yes	Workman	Lupu	401	0.13	\$6,200	50	\$124.00
580-150-006-003-01	5283962	wd	9/18/19	yes	Dawson	Demello	402	0.446	\$8,500	115	\$73.91
120-100-003-010-00	5104637	wd	1/18/19	yes	Sischo	Hehrer	402	0.4	\$10,000	121	\$82.64
061-150-002-004-00	5315770	wd	9/17/21	yes	Watson	Tyrel	402	0.452	\$12,000	110	\$109.09
061-011-400-001-00	5321202	wd	1/26/22	yes	Nicholson	Prubsky	402	0.867	\$5,500	104	52.88
580-150-006-003-01	5324689	wd	4/14/22	yes	Vincent	Swanson	402	0.446	\$20,000	137	\$145.99
									\$79,200	787	\$808.51

Price Per Sf **\$100.64**
Average Price Per Sf **\$89.83**
Used: **\$100.00**

2023 Duplain Twp Colony Lakes Lots



Duplain Township - Colony Lakes Lots 2023

Parcel Number	Street Address	Sale Date	Sale Price	Instr.	Adj. Sale \$	Cur. Asmnt.	Asd/Adj. Sale	Est. Land Value	Acres	Libery/Page	
060-130-000-022-00	4060 Estate Way	05/26/21	\$65,000	wd	\$65,000	\$31,200	48.00	\$62,310	0.93	5310583	
060-130-000-02700	4210 Estate Way	01/12/22	\$92,000	wd	\$92,000	\$37,200	40.43	\$74,400	0.93	5320630	
060-032-100-106-00	V/L Harmon	05/21/21	\$80,000	WD	\$80,000	\$30,200	37.75	\$60,300	0.90	5310518	
060-032-100-101-00	V/L Colony RD	03/24/21	\$80,000	WD	\$80,000	\$33,500	41.88	\$60,300	1.01	5308136	
060-032-100-102-00	5620 E Colony Road	12/02/20	\$80,000	PTA	\$80,000	\$33,000	41.25	\$60,000	1.01	5302726	
060-032-100-030-00	V/L Colony RD	11/17/20	\$80,000	WD	\$80,000	\$30,000	37.50	\$60,000	1.00	5297777	
060-032-100-105-00	3925 N HARMON RD	09/03/20	\$80,000	WD	\$80,000	\$30,000	37.50	\$60,000	1.00	5297777	
060-130-000-005-00	4177 E COLONY RD	06/24/20	\$95,000	WD	\$95,000	\$30,000	31.58	\$60,000	1.47	5295310	
Totals:									\$497,310	8.25	

Average Per Lot:
average per acre

\$81,500

\$79,030

Used:

\$80,000