



HARBOUR ISLE EAST FLOORING RULES AND REGULATIONS

Harbour Isle East Condominiums encourages Condo owners to maintain, and if desired, improve the look and quality of your homes. We desire that you and your neighbors are able to have and maintain the quiet enjoyment of your homes with minimal noise and distraction from those who live around you. In order to maintain this quality of life here at HIE, **and to protect you** from complaints and/or action by your neighbors or the HIE Board, each unit owner who elects to install new carpet or hard surface flooring must apply for and receive approval for the **materials** and **the installation process** from the HIE Management Office **prior** to commencing the project.

We know that improvements can be a costly, confusing, and often frustrating process. Therefore, we are providing the procedure, specifications, material recommendations, and other helpful material in order to both help you with your project and protect you in the future as you reside within your condo or consider selling it. **Please be aware that the installation of carpet or hard surface flooring without the written approval of the Board of Directors and/or its representatives will be subject to immediate removal at the condo owner's expense.**

Notes:

1. It is prohibited to remove your Unit carpeting or tile and replace with a concrete finish directly on the 6" concrete slab.
2. Your contractor may suggest putting new ceramic tile directly over the existing tile. While this would be allowed if you apply Super SAM 125 Sound Control Membrane over the top of the existing tile, we recommend removing the existing tile rather than having a double layer of tile which would be extremely difficult and costly to remove in the future.
3. Since sound from the floors can be carried through the walls, you will be instructed regarding proper sound barriers that isolate the walls from the flooring.

FLOORING REVIEW & SUBMISSION PROCEDURE:

1. Submit the Flooring Application found on Page #4 along with the contractor's certification form on Page #5 and a copy of the Contractor's Insurance Certificate.
2. Submit a sample of the flooring to be used (at least 1' x1').
3. Submit a copy of the signed estimate from your contractor that includes a description of the installation including:
 - Installation of perimeter isolation barrier around the walls of the new floor OR cutting the drywall to accommodate underlayment extended 2" vertically up the wall.
 - All door jams and base molding must be installed a minimum of 1/8" above the new hard surface floor.
 - A silicone sealant should be used to fill all air gaps between the moldings, door jams, sliding door tracks and any pipe holes. A "show molding" can be used to cover the caulk area if you so desire.
 - Work is to be performed 8am – 6pm Monday through Saturday (noisy work can take place between 9am – 5pm).



IF YOU ARE PROPOSING TO USE AN UNDERLAYMENT THAT IS NOT CURRENTLY APPROVED

Product must be at least 12mm thick to qualify. Alternate materials should be submitted for consideration to the Management Office in a package prepared by the homeowner that includes the following items:

1. The name, model number (if any) of the product being used.
2. The underlayment test data/specification sheet.
3. A complete laboratory test report from an NVLAP (National Voluntary Laboratory Accreditation Program) accredited laboratory for the underlayment with the proposed floor surface (tile or wood) on a 6" thick concrete slab with no suspended ceiling below.
4. A copy of the written installation instructions from the manufacturer for the underlayment, grout and thin-set, glue, or mortar proposed for use.

An alternate underlayment will be considered if it has an NVLAP lab tested IIC (Impact Insulation Class) of 53 for a reinforced 6" concrete floor assembly with a skim coat finish on the ceiling below. **If an alternate underlayment is submitted, the applicant will bear the cost of the Association's acoustical consultants' review of the alternate.**

HARD SURFACE FLOORING RULES AND REQUIREMENTS

A. Ground Floor Units: Although the Condo documents do not require a sound control underlayment on the ground floor, you must still adhere perimeter sound barrier between the floor and walls to reduce horizontal and vertical transmission of impact sounds between units.

Each unit owner is required to comply with the Flooring Review & Submission Procedure (see page 1). Installation procedures shall comply with the written installation instructions of the approved manufacturer.

B. The 2nd Floor, 3rd Floor, and Penthouse Units:

1. CERAMIC TILE & WOOD FLOORING

The Unit Owner must install one of the following approved sound underlayment:

- Easy Mat with Sound Guard Technology, 12mm thick
- Encore QT4012, 12mm thick
- Proflex RCU-500, 12mm thick
- Cork 12mm thick

3. CARPETING

The Unit Owner must install one of the following approved carpet cushion when replacing carpet:

- #6 Pound Bonded Cushion Padding with a minimum ½" width
- #8 Pound Prime Urethane Cushion Padding with a minimum ½" width **(Better!)**
- #10 Pound Rubber Cushion with a minimum 3/16" width **(Best!)**

NOTE: The carpet itself should be a minimum of 50oz/square yard quality.



HARD SURFACE FLOORING INSTALLATION GUIDELINES FOR YOUR CONTRACTOR

Installation procedures shall meet the written installation instructions of the manufacturer and the following Perimeter Sound Isolation measures taken to limit sound transmission to your neighbors' units.

1. Before installation, notify the HIE Office about the installation date. HIE staff will need to take photos of the underlayment & perimeter sound insulation prior to the installation of hard surface flooring.
2. The underlayment must be installed under the entire hard surface flooring. Tape all seams as per manufacturer recommendations.
3. Leave a minimum of ¼" between the new flooring and adjacent walls. Flooring, underlayment, mastics or glue should NOT TOUCH WALLS!
4. The underlayment will be installed 2" up the wall at the perimeter. This way the underlayment also acts as a necessary isolation barrier to keep the impact sound from transferring to the wall construction. Alternately, Pro Flex PIB (Perimeter Isolation Barrier) or 1.5mm LVP can be installed as an alternate to prevent sound transference.
5. After the flooring is installed, additional time should be spent to check the perimeter of the entire floor and the periphery for any protrusions such as pipes, so as not to have any of the mortar, bond coat, or grout touching the wall or any protrusions that penetrate the floor. Should any of the hard material from the installation make contact between the floor and the setting bed and the wall, or a penetrating protrusion, a large reduction in the sound rating will occur.
6. The current wood base is installed at approximately 1/8" above the slab. It is the owner's responsibility to adjust the height of the wood base to accommodate the new flooring. In most cases, this will require the removal of the existing base molding, and the installation of a new or reused base 1/8" above the top of the finished flooring, leaving a gap between the wood base and the new floor, which can be filled in with a silicone sealant. For hardwood flooring, if desired, a wood shoe molding pinned to the baseboard molding can be used in front of the wood base to hide the silicone sealant. The shoe molding should be installed as loosely over the new floor as possible.
7. A sealant is required at the perimeter of the entire floor, and the periphery of all protrusions to that floor. In the case of hard surface flooring, this joint should be 1/8" wide from the finished top of the flooring. This joint must be filled with an elastomeric sealant or an acoustical sealant. **Hard grout is not acceptable.** This caulking can be done before or after grouting as long as the hard grout is left out of the joint between the floor and the wall and around the periphery of any protrusion. If USG acoustical sealant is used, the joint can be painted to conform to the color of the grout used in the field or the wall base. Dow Corning and GE Silicone sealant comes in a variety of colors to harmonize with the color of the tile or wall base.
8. All installation work is to be done Monday through Saturday between the hours of 9am – 5pm. To comply with Safety and Fire Department rules, saws and power equipment cannot be set up on the terraces or in the parking lot. All debris should be hauled away upon completion of the work.



FLOORING APPLICATION

DATE OF APPLICATION: _____

HOMEOWNER'S NAME: _____ BUILDING # _____ UNIT # _____

HOME TELEPHONE: _____ MOBILE PHONE: _____

EMAIL ADDRESS: _____

A DETAILED DESCRIPTION INCLUDING A SKETCH OF THE MODIFICATION. INCLUDE WHERE ALL PRODUCTS ARE TO BE USED BY NAMES AND SPECIFICATIONS.

THE FOLLOWING INFORMATION REGARDING THE CONTRACTOR WHO WILL PERFORM THE ALTERATION MUST BE PROVIDED. PLEASE ATTACH A COPY OF THE CONTRACTOR'S PROPOSAL TO HOMEOWNER WITH A COPY OF THEIR CURRENT INSURANCE AND LICENSE. THE PROPOSAL MUST DESCRIBE ALL MATERIALS AND LABOR INCLUDED IN THE QUOTE, INCLUDING MASTIC, SEALANT, QUARTER ROUNDS, BASEBOARDS (IF REPLACED), ETC.:

CONTRACTOR'S NAME: _____

ADDRESS: _____ CITY: _____ ZIP CODE: _____

TELEPHONE #: _____ FAX #: _____

LICENCED TO DO BUSINESS AS: _____

I understand that the approval for the requested changes to my home does not, at any time, waive my responsibility to obtain or, in any way, substitute for a mandatory building permit from the proper governmental departments, nor does it in any way guarantee the workmanship or quality of the requested work. I also acknowledge that I, and my contractor have read and agree to adhere to the installation requirements of the HIE Flooring Rules and Regulations.

HOMEOWNER'S SIGNATURE: _____

DATE: _____

APPROVED: _____ DISAPPROVE: _____

COMMENTS: _____

SIGNATURE: _____ SIGNATURE: _____



Harbour Isle at Hutchinson Island East

Contractor/Unit Owner Soundproofing Certification Form

To be completed and returned to the Property Management Office upon completion of work

I, _____, of _____
Contractor's Name Company Name

A licensed and insured flooring contractor hired for the purpose of installing hard surface flooring in Unit # _____, in Building # _____, do hereby certify that I have read the "Flooring Rules and Regulations" and that the installation is compliant with these rules and regulations. I certify that if the Unit is on the First Floor, I have installed an isolation barrier as required. I certify that if the Unit is above the First Floor, I have installed and isolated the new hard surface flooring and installed it using the required sound underlayment material as required. I further certify that this installation in Unit# _____ is in accordance to the specifications of the underlayment manufacturer, the hard surface flooring manufacturer, and in full compliance with these HIE "Flooring Rules and Regulations".

Contractor Signature[s]

Sign Name Print Name
State of Florida
County of Saint Lucie

The foregoing instrument was acknowledged before me this _____ day of _____, 20____, by

_____ who is personally known to me or produced

_____ as identification.

Signature _____

Print Name _____

Notary Public, State of Florida
Commission No. _____
My Commission expires: _____

I/We _____, owners of Unit # _____, hereby Certify that this hard surface flooring was installed by our contractor in compliance with the specifications in the "Flooring Rules and Regulations" of Harbour Isle East.

Unit Owner[s] Signature[s]:

_____ Date: _____



Hard Surface Flooring Submission Check List

All of the following must be submitted for approval. Your adherence to these guidelines and incorporation of the same into your signed contract proposal will enable our office personnel to accept your submittal in the process. Approvals may take up to 10 days.

- **Sample of Flooring(s) 12" x 12" in size, and room to be installed.**
- **Sample of proposed underlayment to be used.**
- **The approved underlayment you are using (from page #2), or specifications for the underlayment showing that it meets the IIC rating of 53 or better over a 6" concrete slab with no ceiling underneath. Approvals may take up to 10 days.**
- **Your HIE Application with contractor's name, license and insurance certificate.**
- **Copy of the Installation Contract that includes the following:**
 - **Installation of perimeter isolation barrier around the walls of the new floor OR installation of underlayment extended 2" up the wall.**
 - **All door jams and base molding must be installed a minimum of 1/8" above the new hard surface floor.**
 - **A silicone sealant should be used to fill all air gaps between the moldings, door jams, sliding door tracks, and any pipe holes. A show molding can be used to cover the caulk area if you desire.**

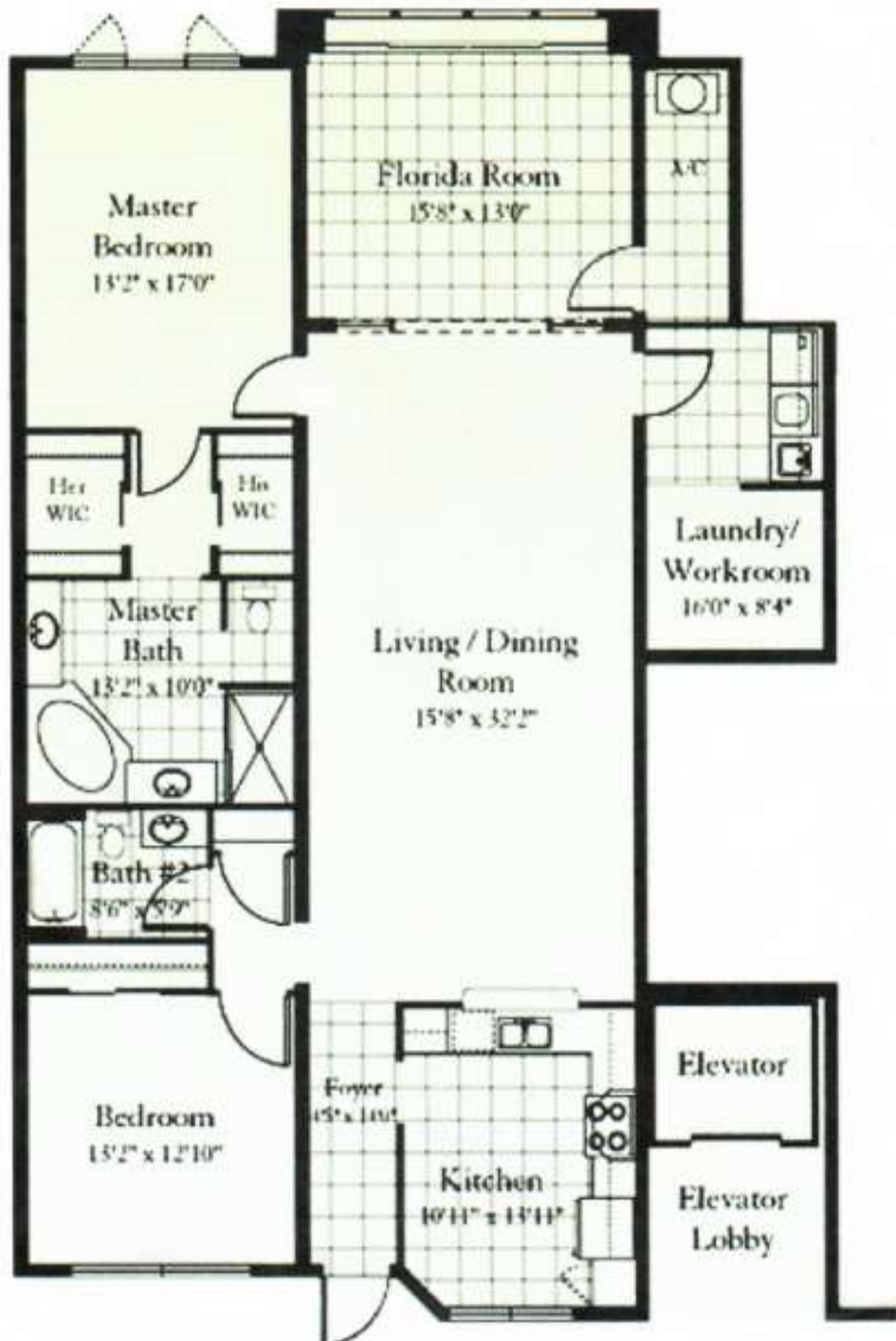
Carpet Flooring Submission Check List

All of the following must be submitted for approval. Your adherence to these guidelines and incorporation of the same into your signed contract proposal will enable our office personnel to accept your submittal in the process.

- **Sample of Carpet to be used (6" x 6" in size)**
- **Specification showing that the carpet is a minimum of 50 oz**
- **Specification of the carpet padding (higher density = higher quality and more noise resistance)**
 - **Good: Bonded Pad – must be a minimum of ½" thick and #6 pound density**
 - **Better: Prime Padding – minimum of #8 pound density**
 - **Best: Rubber padding – minimum ¾" thick and 10 pound density**
- **Contractor's name, license and insurance certificate**



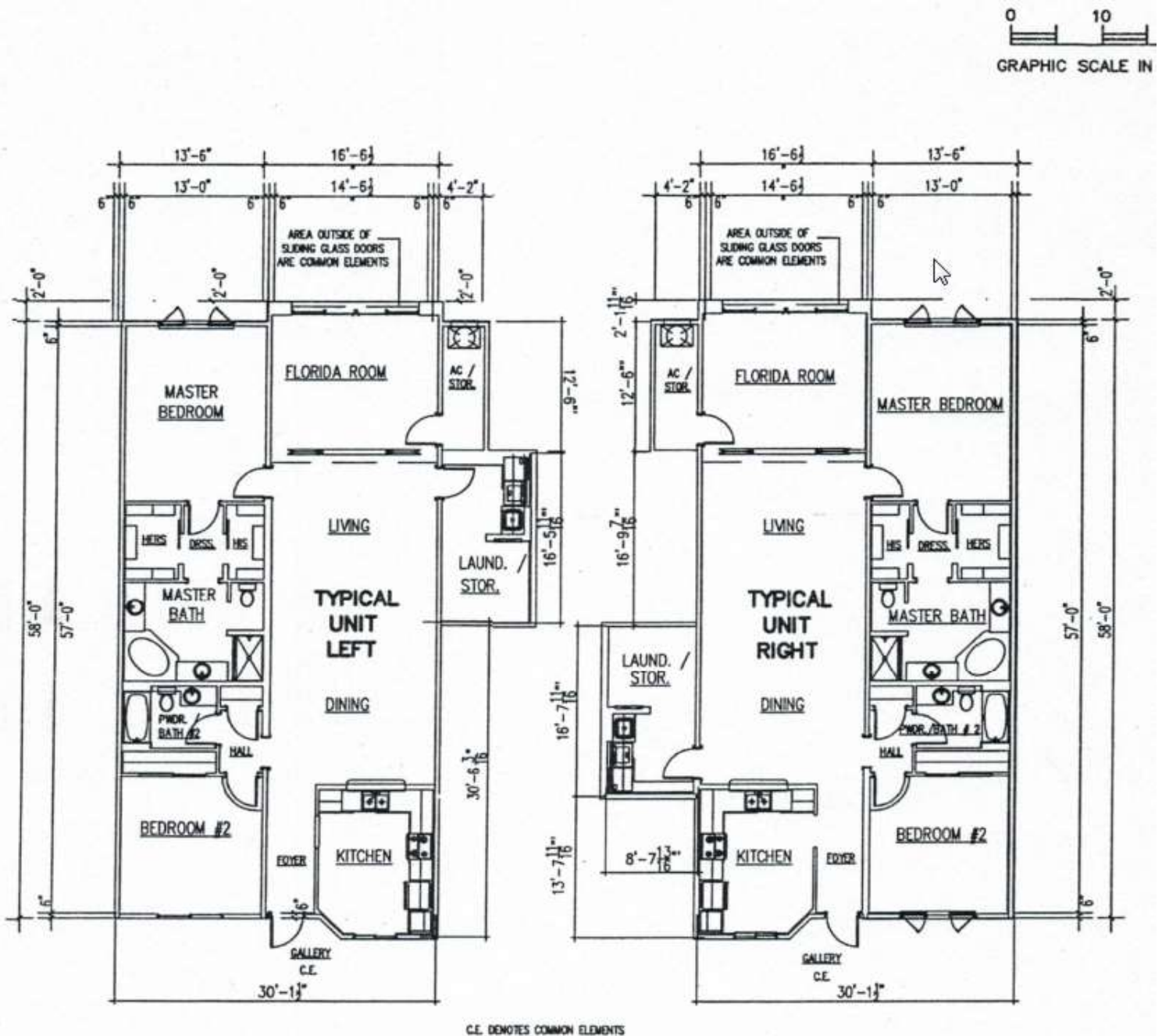
Harbour Isle Floor Plans





Harbour Isle Floor Plans

Please use the appropriate floor plan to indicate the area(s) of your
condo which undergo





Examples of flooring installation:



1. Showing the 12mm thick underlayment beneath the hardwood flooring
2. Showing the 1/8" gap between floor and base molding.
3. Showing the 1/8" gap between the concrete floor and wallboard.
4. Showing the hard grout between floor and wall. This is NOT acceptable.
5. Showing the closet door track on hardwood floor. There should be silicone or padding between the track and the floor to prevent the noise of the sliding door to be transmitted to the condo below.
6. Showing the SAM 125, 12mm underlayment being laid so that it rises 2" along the wall.



Sound Proofing Specifications

<u>Products</u>	<u>Thickness</u>	<u>Flooring Type</u>	<u>IIC</u>	<u>STC</u>
Custom Building Products EasyMat	12mm	Hardwood/Tile*	53	70
Ecore QT4012	12mm	Hardwood/Tile*	51	54
Cork Underlayment	12mm	Hardwood/Tile*	51	70



ENFORCEMENT

Any Unit Owner who violates these installation criteria and rules and after the date of their adoption shall remove all portions of the offending installation and reinstall in strict accordance with these installation criteria and rules. Failure to do so will result in the Board commencing enforcement action which may include one or more of the following actions:

1. Refer the offender to the Harbour Isle East Board of Directors for consideration of the imposition of a fine of up to \$100 per day for the continuing violation.
2. Sending the Violation and any imposed fine to the Harbour Isle East Management Office for a hearing on upholding the Board imposed fine.
3. File a Notice for Arbitration with the Florida Division of Condominiums.
4. Filing a claim in small claim court to collect the fines levied by the Board and upheld by the Management Office.
5. File an action in the appropriate jurisdiction to enforce compliance with the rules.

Remember:

**The HIE Flooring Rules and Regulation are here to protect YOU,
and help to maintain the quiet enjoyment of your home.**