



Inspection Report

John Doe

Property Address:
123 Nice Street
Anytown WI 12345



Weiland Inspection Services, LLC

**Troy Weiland 2429-106
Marshfield, WI
715-897-1484**

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Date: 6/1/2015	Time:	Report ID: Doe-000001
Property: 123 Nice Street Anytown WI 12345	Customer: John Doe	Real Estate Professional:

Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

Inspected (IN) = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected (NI) = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present (NP) = This item, component or unit is not in this home or building.

Maintenance Issues = An item, component or unit that needs to be maintained now or in the future. Maintaining a home is to be expected along with owning a home. These suggestions are offered as a courtesy on behalf of your inspector and if applied, will help to keep your home in good condition. These comments are printed in **Green** in your report.

Repair Issues = The item, component or unit is not functioning as intended, or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement. Safety items are also listed within this section. These comments are printed in **Blue** in your report.

Standards of Practice:

State of Wisconsin

In Attendance:

Customer and their agent

Type of building:

Split Level, Modular

Approximate age of building:

30 to 40 Years Old

Home Faces:

South

Temperature:

Over 60

Weather:

Clear

Ground/Soil surface condition:

Damp

Radon Test:

No

1. Exterior

The home inspector shall observe: Wall cladding, flashings, and trim; Entryway doors and a representative number of windows; Garage door operators; Decks, balconies, stoops, steps, areaways, porches and applicable railings; Eaves, soffits, and fascias; and Vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building. The home inspector shall: Describe wall cladding materials; Operate all entryway doors and a representative number of windows; Operate garage doors manually or by using permanently installed controls for any garage door operator; Report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing. The home inspector is not required to observe: Storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories; Locks, latches, or other security devices; Intercom Systems; Fences; Presence of safety glazing in doors and windows; Insulation or vapor barriers in exterior wall; Garage door operator remote control transmitters; Geological conditions; Soil conditions; Recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities); Detached buildings or structures; or Presence or condition of buried fuel storage tanks. The home inspector is not required to: Move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.



Styles & Materials

Siding Material:

Vinyl
Brick veneer

Soffit and Fascia Material:

Metal

Exterior Entry Doors:

Steel

Appurtenance:

Deck with steps

Driveway:

Concrete
Gravel

Sidewalk:

None

Hose Bibs:

Frost Proof

		IN	NI	NP
1.0	Wall Cladding, Flashing and Trim	•		
1.1	Doors (Exterior)	•		
1.2	Windows	•		
1.3	Decks, Balconies, Balconies, Stoops, Steps, Areaways, Porches, Patio/Cover and Applicable Railings	•		
1.4	Vegetation, Grading, Drainage, Driveways, Sidewalks, Patio Floor, Walkways and Retaining Walls (With respect to their effect on the condition of the building)	•		
1.5	Eaves, Soffits and Fascias	•		
1.6	Plumbing Water Faucets (hose bibs)	•		
1.7	Outlets and Lighting (Exterior GFCI protected)	•		

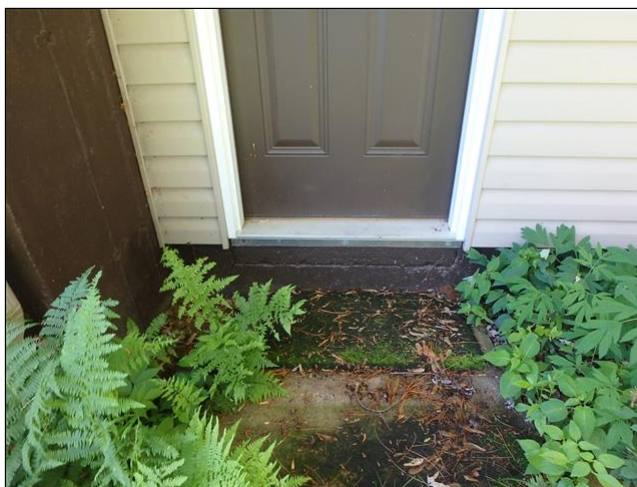
IN= Inspected, NI= Not Inspected, NP= Not Present

IN NI NP

1.1 Safety/Tripping Hazard: An elevated riser was noted to the north garage service door. This creates a tripping hazard. It is recommended that risers be less than 8 inches high.



1.1 Item 1(Picture)



1.1 Item 2(Picture)



1.1 Item 3(Picture)

1.3 (1) Damaged: Evidence of active heaving was present to the east deck. This can effect the integrity of the deck. Prior repairs were noted to the posts. Recommend further evaluation and repairs by a qualified contractor.



1.3 Item 1(Picture)



1.3 Item 2(Picture)



1.3 Item 3(Picture)




1.3 Item 4(Picture)



1.3 Item 5(Picture)



1.3 Item 6(Picture)

 **1.3** (2) The deck band is nailed to the wall or band of the home. Nails can pull out over time. It should have "Lag Screws" or "Carriage Bolts" approximately every 36 inches.



1.3 Item 7(Picture)



1.3 Item 8(Picture)

📍 1.4 (1) The drainage around the perimeter of the foundation should slope away from the structure at a rate of 1/2 inch per foot for 10 feet away from the foundation. Portions of the ground around the perimeter do not meet this minimum standard.



1.4 Item 1(Picture)



1.4 Item 2(Picture)

📍 1.4 (2) Recommend sealing the cracks in the driveway and/or walkway with an approved concrete/asphalt patch to prevent further damage. The freeze-thaw cycle may enlarge existing cracks.



1.4 Item 3(Picture)

1.6 Frost Proof. Do not leave garden hoses connected to hose bibs when freezing temperatures are possible. Damage to the valve or piping could result.

1.7 Safety Improvement: The exterior outlets are not Ground Fault Circuit Interrupt (GFCI) protected. GFCI protected outlets help prevent shock hazards and are recommended in all wet locations. Recommend updating the outlets to be GFCI protected performed by a qualified licensed electrician.



1.7 Item 1(Picture)



1.7 Item 2(Picture)



1.7 Item 3(Picture)



1.7 Item 4(Picture)

The exterior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

2. Roofing / Chimneys / Roof Structure/Attic

The home inspector shall observe: Roof covering; Roof drainage systems; Flashings; Skylights, chimneys, and roof penetrations; and Signs of leaks or abnormal condensation on building components. The home inspector shall: Describe the type of roof covering materials; and Report the methods used to observe the roofing. The home inspector is not required to: Walk on the roofing; or Observe attached accessories including but not limited to solar systems, antennae, and lightning arrestors; or Observe internal gutter and downspout systems and related underground drainage piping.







Styles & Materials

Viewed roof covering from:
Walked roof

Roof-Type:
Gable

Roof Covering:
Asphalt/Fiberglass

Age of Roof Covering:
First half of its life

Chimney (exterior):
N/A

Sky Light(s):
One

Method used to observe attic:
Viewed from entry

Roof Ventilation:
Ridge Vent

Attic Insulation:
Fiberglass
Batt 9-12 inches, R-30 to 39

Roof Structure:
Engineered wood trusses
Plywood

Attic info:
Scuttle hole

		IN	NI	NP
2.0	Roof Coverings	•		
2.1	Flashings	•		
2.2	Skylights, Chimneys and Roof Penetrations	•		
2.3	Roof Ventilation	•		
2.4	Roof Drainage Systems (gutters and downspouts)	•		
2.5	Roof Structure and Attic (Report leak signs or condensation)	•		
2.6	Insulation in Attic	•		
2.7	Visible Electric Wiring in Attic	•		

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IN NI NP

2.4 The gutter guards are full of debris in areas and need to be cleaned.



2.4 Item 1(Picture)

2.6 Evidence of mice was noted in the Attic. This inspection does not including evaluating for the presence of pest. You may want to have a pest inspection performed by a qualified pest control specialist.



2.6 Item 1(Picture)

The roof of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. Our inspection makes an attempt to find a leak but sometimes cannot. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

3. Garage



Styles & Materials

Garage Style:
Attached


Garage Door Type:
Two automatic
One manual

Garage Door Material:
Metal

	IN	NI	NP
3.0 Garage Ceiling	•		
3.1 Garage Walls	•		
3.2 Door(s)	•		
3.3 Garage Floor	•		
3.4 Overhead Garage Door (s)	•		
3.5 Garage Window (s)	•		
3.6 GFCI Outlets, Wall Switches, and Fixtures	•		
3.7 Garage Door Operators	•		

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IN NI NP

 **3.3** Common cracks were noted in the concrete floor of the garage slab. Recommend sealing the cracks with an approved concrete patch to prevent further expansion of the crack.



3.3 Item 1(Picture)

4. Kitchen Components and Appliances



Styles & Materials

Cabinetry:

Countertop:

Sink Material:

Wood

Laminate

Solid Surface

Floor Covering(s):

Stove/Range Power Source:

Exhaust/Range hood:

Laminate

Electrical

Re-circulate

		IN	NI	NP
4.0	Ceiling	•		
4.1	Walls	•		
4.2	Floor	•		
4.3	Pantry/Closet Doors	•		
4.4	Windows	•		
4.5	Counters and a representative number of Cabinets	•		
4.6	Plumbing Drain and Vent Systems	•		
4.7	Plumbing Water Supply Faucets and Fixtures	•		
4.8	GFCI Outlets, Switches and Fixtures	•		
4.9	Dishwasher	•		
4.10	Ranges/Ovens/Cooktops	•		
4.11	Range Hood			•
4.12	Food Waste Disposal	•		
4.13	Microwave Cooking Equipment		•	
4.14	Refrigerator	•		

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IN NI NP

4.9 As a courtesy the dishwasher was operated in a rinse cycle.

4.10 (1) As a courtesy the stove top and oven were turned on and found operational at the time of inspection.

🚨 4.10 (2) **Safety Improvement:** The kitchen stove did not have an anti-tip safety bracket installed. An anti-tip safety bracket helps prevent the stove from tipping over onto a child. Recommend an anti-tip bracket be installed per manufacturers specifications.



4.10 Item 1(Picture)



4.10 Item 2(Picture)

4.14 As a courtesy the refrigerator was checked and found to be cold with the freezer goods frozen.

While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5. Laundry



Styles & Materials

Clothes Dryer Vent Material:
Metal

Dryer Power Source:
220 Electric

Washer Connection:
Hot/Cold Faucets
Stand Pipe Drain

Floor:
Vinyl

		IN	NI	NP
5.0	Ceiling	•		
5.1	Walls	•		
5.2	Floor	•		
5.3	Doors	•		
5.4	Windows	•		
5.5	Plumbing Water Supply	•		
5.6	Plumbing Drain System	•		
5.7	Outlets Wall Switches and Fixtures	•		
5.8	Clothes Dryer Vent Piping	•		
5.9	Clothes Dryer Electric/Gas Supply	•		

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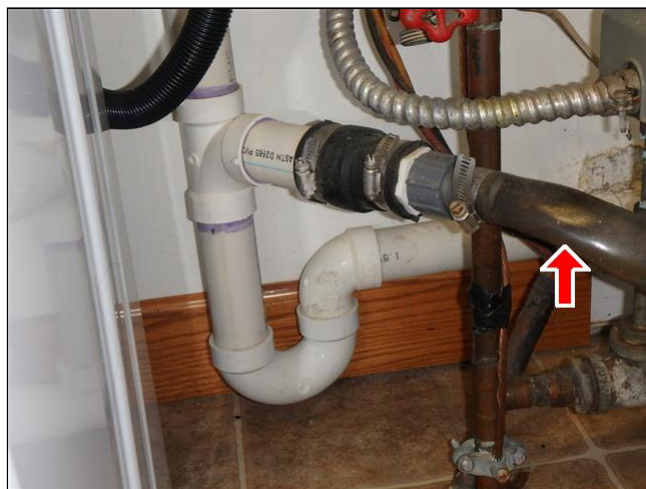
IN NI NP

5.5 Rubber laundry hoses have a life expectancy of 10 years. We recommend replacing the rubber hoses with "no burst" (braided stainless) hoses to help prevent failure of the hoses.

5.6 Improper Application: A flexible drain pipe was noted for the laundry basin sink. Drain pipe should be rigid to prevent damage. Recommend repairs by a qualified licensed plumber.



5.6 Item 1(Picture)



5.6 Item 2(Picture)

While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

6. Bathroom and Components

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.



Styles & Materials

Exhaust Fans:

Fan with light

Floor Covering(s):

Vinyl


Bath Tub Materials:

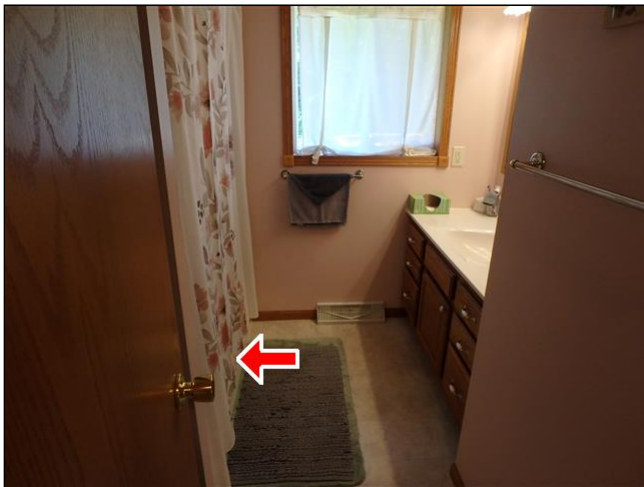
Fiberglass

	IN	NI	NP
6.0 Ceilings	•		
6.1 Walls	•		
6.2 Floors	•		
6.3 Counters and Cabinets	•		
6.4 Doors (Representative number)	•		
6.5 Windows	•		
6.6 Plumbing Drain, Waste and Vent Systems	•		
6.7 Plumbing Water Supply and Distribution Systems and Fixtures	•		
6.8 GFCI Outlets, Switches and Fixtures	•		
6.9 Exhaust fan	•		

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IN NI NP

 **6.1** I recommend bathroom rated acrylic latex or silicone caulk along the upstairs bathroom bathtub surround to floor connection.



6.1 Item 1(Picture)



6.1 Item 2(Picture)

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

7. Interior Rooms

The home inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The home inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.



Styles & Materials

Ceiling Materials:
Drywall

Window Types:
Sliders
Thermal/Insulated

Wall Material:
Drywall

Floor Covering(s):
Carpet
Vinyl

Interior Doors:
Hollow core

	IN	NI	NP
7.0 Ceilings	•		
7.1 Walls	•		
7.2 Floors	•		
7.3 Windows (Representative number)	•		
7.4 Doors (Representative number)	•		
7.5 Outlets, Switches and Fixtures	•		
7.6 Steps, Stairways, Balconies and Railings	•		

IN= Inspected, NI= Not Inspected, NP= Not Present

IN NI NP

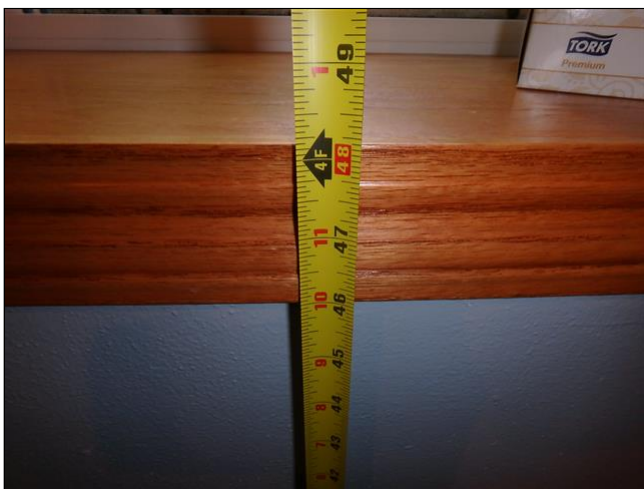
7.3 Safety Hazard: The basement bedroom windows do not meet current egress requirements. A window used as secondary means of egress that exits to grade should be no more than 46 inches from the floor to sill. A step could be added to help meet the standard; however, it should be permanently attached and at least 20 inches wide and 9 inches deep with a limited height of 24 inches.



7.3 Item 1(Picture)



7.3 Item 2(Picture)



7.3 Item 3(Picture)

🔧 **7.5 Safety Improvement:** Noted open incandescent light fixtures for the interior basement closet. The exposed bulb could be a fire hazard if stored items come in contact with the exposed bulb. Recommend updating the open fixture with an enclosed light fixture.



7.5 Item 1(Picture)



7.5 Item 2(Picture)

🔧 **7.6 Safety Hazard:** The balusters at the upstairs stairway are spaced to far apart for safety. Spacing more than 4 inches apart could allow an adult, child or pet to fall through or become entangled. The maximum space between balusters should be four inches.



7.6 Item 1(Picture)



7.6 Item 2(Picture)

The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

8. Plumbing System

The home inspector shall observe: Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; Interior drain, waste, and vent system, including: traps; drain, waste, and vent piping; piping supports and pipe insulation; leaks; and functional drainage; Hot water systems including: water heating equipment; normal operating controls; automatic safety controls; and chimneys, flues, and vents; Fuel storage and distribution systems including: interior fuel storage equipment, supply piping, venting, and supports; leaks; and Sump pumps. The home inspector shall describe: Water supply and distribution piping materials; Drain, waste, and vent piping materials; Water heating equipment; and Location of main water supply shutoff device. The home inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. The home inspector is not required to: State the effectiveness of anti-siphon devices; Determine whether water supply and waste disposal systems are public or private; Operate automatic safety controls; Operate sump pumps equipped with internal or water dependent switches; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; Water temperature; On-site waste disposal systems; Foundation irrigation systems; Spas; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials.



Styles & Materials

Water Source:

Well

Water Filters:

Sediment filter

Plumbing Water Supply (into home):

Copper

Plumbing Water Distribution (inside home):

Copper
PEX

Waste Type:

Private

Plumbing Waste Line:

PVC

Water Heater Brand:

Richmond

Water Heater Manufactured Date:

2001
The typical life expectancy of a water heater is 10-12 years
You should plan for its possible need of replacement in the near future

Water Heater Power Source:

Electric

Water Heater Capacity:

50 Gallon

Water Heater Location:

Basement

Gas Line Material:

Black Iron Piping
Copper

		IN	NI	NP
8.0	Plumbing Drain, Waste and Vent Systems	•		
8.1	Plumbing Water Supply and Distribution Systems	•		
8.2	Plumbing System Functional Flow	•		
8.3	Hot Water Systems, Controls, Chimneys, Flues and Vents	•		
8.4	Main Water Shut-off Device (Describe location)	•		
8.5	Fuels Storage and Distribution Systems (Interior fuel storage, piping, venting, supports, leaks)	•		
8.6	Sump Pump	•		
8.7	Presence of Cross Connections	•		

IN= Inspected, NI= Not Inspected, NP= Not Present

IN NI NP

8.0 (1) Private Septic System. This inspection merely identifies the type of sewage waste disposal system. It does not comment on the adequacy or effectiveness of the system. Recommend having the septic system evaluated by a qualified licensed installer prior to closing.

8.0 (2) **Did Not Function:** The audible alarm feature did not operate on the exterior septic tank system.



8.0 Item 1(Picture)

8.1 (1) Private water source. A private water source may include a well, cistern, or exposed pond or lake. None of these sources have approved quality standards by the state or county health departments. It is the homeowner's responsibility to maintain continuous testing of the water source for potability. Recommend water/well be tested by a qualified licensed plumber prior to closing.

8.1 (2) Noted a sediment filter. This will require periodic maintenance.



8.1 Item 1(Picture)

8.3 (1) Damaged: The water heater has an active leak to the bottom of the tank. Recommend repairs/ replacement by a qualified licensed plumber.



8.3 Item 1(Picture)



8.3 Item 2(Picture)



8.3 Item 3(Picture)

8.3 (2) Safety Hazard: The T&P (Temperature and Pressure) valve on the water heater needs a 3/4 threaded pipe to extend within 6 inches of floor for safety. (vinyl hose is not approved for hot water use). I recommend repairs by a qualified person.



8.3 Item 4(Picture)



8.3 Item 5(Picture)

8.4 The main water shut off is the green lever located in the basement. This is for your information.



8.4 Item 1(Picture)

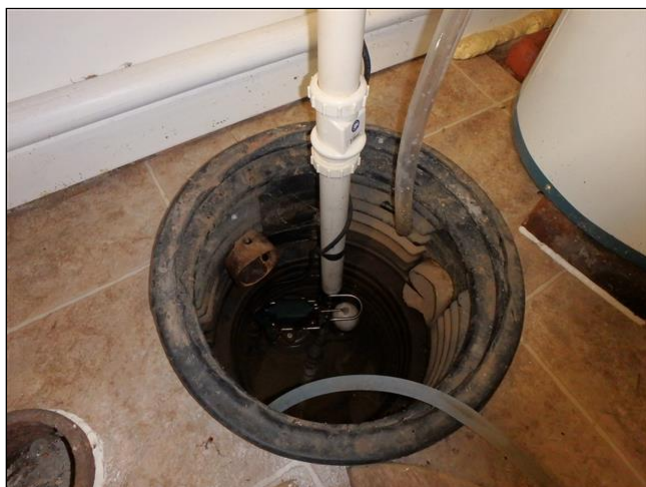
8.4 Item 2(Picture)

8.5 An above ground liquid propane tank was present. Ownership of the tank was not verified.



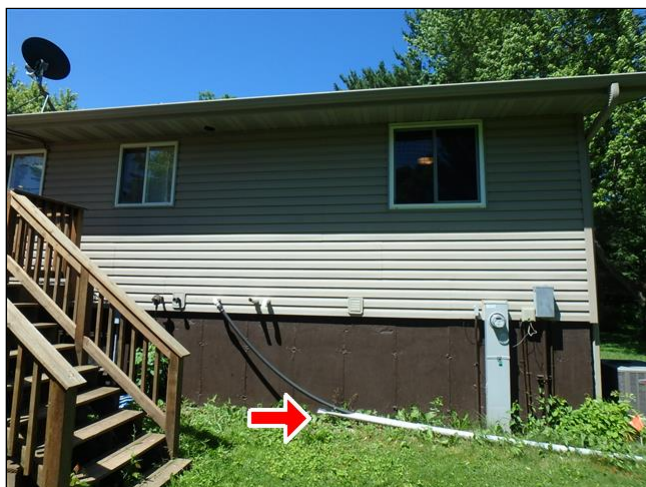
8.5 Item 1(Picture)

👉 8.6 (1) You should consider adding a battery operated back-up sump pump as an improvement incase of a power or main pump failure.



8.6 Item 1(Picture)

8.6 (2) The sump pump drains to close to the home which can interfere with the foundation. Recommend extending the drain line a minimum of 15 feet away from the home.



8.6 Item 2(Picture)



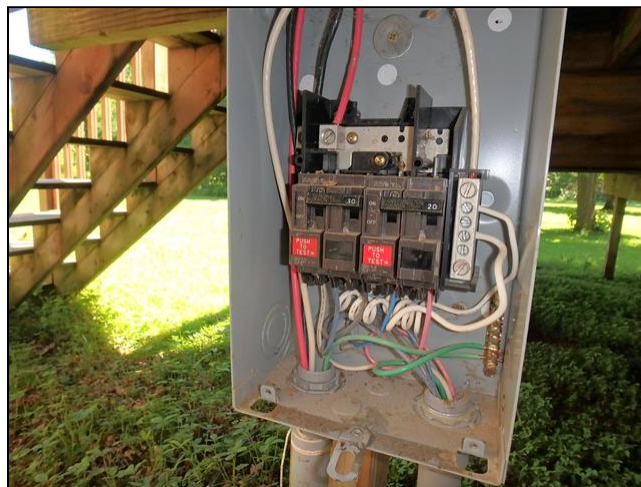
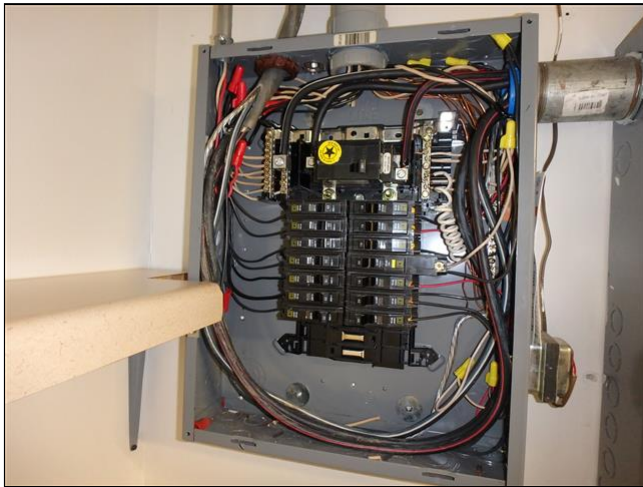
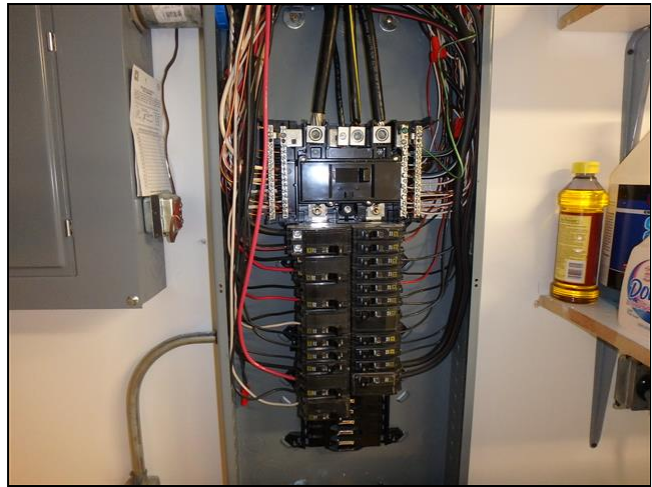
8.6 Item 3(Picture)

The plumbing in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

9. Electrical System

The home inspector shall observe: Service entrance conductors; Service equipment, grounding equipment, main over current device, and main and distribution panels; Amperage and voltage ratings of the service; Branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages; The operation of a representative number of installed ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls; The polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and all receptacles in the garage or carport, and on the exterior of inspected structures; The operation of ground fault circuit interrupters; and Smoke detectors. The home inspector shall describe: Service amperage and voltage; Service entry conductor materials; Service type as being overhead or underground; and Location of main and distribution panels. The home inspector shall report any observed aluminum branch circuit wiring. The home inspector shall report on presence or absence of smoke detectors, and operate their test function, if accessible, except when detectors are part of a central system. The home inspector is not required to: Insert any tool, probe, or testing device inside the panels; Measure Amperage, voltage or impedance; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system; or Built-in vacuum equipment.





Styles & Materials

Electrical Service Conductors:
Below ground

Branch wire 15 and 20 AMP:
Copper

Location of Sub Panels:
Basement
Shed

Panel capacity:
200 AMP

Wiring Methods:
Non Metallic Sheath

Panel Type:
Circuit breakers

Location of Main Panel:
Basement

Exterior

		IN	NI	NP
9.0	Service Entrance Conductors	•		
9.1	Service and Grounding Equipment, Main Overcurrent Device, Main and Distribution Panels	•		
9.2	Branch Circuit Conductors, Overcurrent Devices and Compatability of their Amperage and Voltage	•		
9.3	Connected Devices and Fixtures Including GFCI Outlets(Basement, and Other Areas Not Previously Identified)	•		
9.4	Location of Main and Distribution Panels	•		
9.5	Smoke Detectors	•		
9.6	Carbon Monoxide Detectors	•		

IN= Inspected, NI= Not Inspected, NP= Not Present

9.1 Safety Hazard: The shed sub panel neutral and ground wires are not separated inside of the panel. This is an unsafe practice. The grounding system for the shed sub panel appears inadequate with an undersized conductor and poor connections. Inappropriate openings were noted to the panel. A dead mouse was noted in the panel. Recommend repairs by qualified licensed electrician.



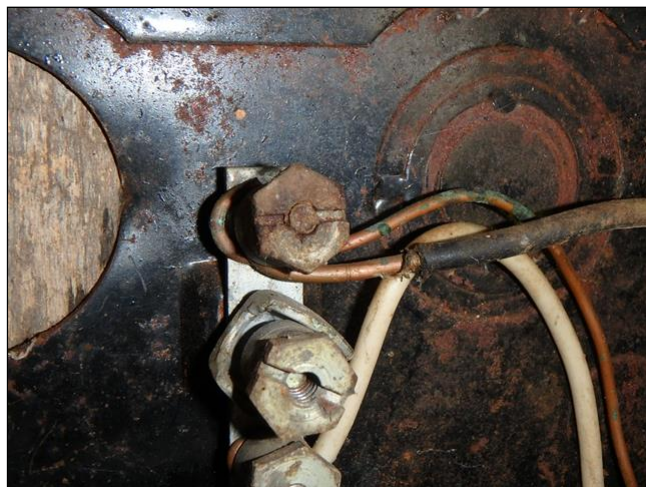
9.1 Item 1(Picture)



9.1 Item 2(Picture)



9.1 Item 3(Picture)



9.1 Item 4(Picture)



9.1 Item 5(Picture)



9.1 Item 6(Picture)



9.1 Item 7(Picture)

🚩 **9.2 Safety Hazard:** An open electrical junction was noted in the basement for the well pump. The connection should be in an approved electrical junction box with a cover. Recommend repairs by qualified licensed electrician.

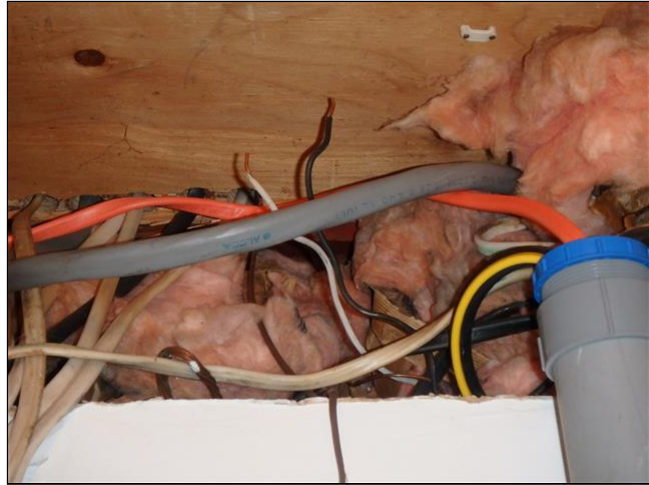


9.2 Item 1(Picture)

9.3 (1) Noted abandoned wires above the basement electrical panel. The wires should have appropriate terminations and in a junction box/cover or removed. The wires tested as having no power.



9.3 Item 1(Picture)



9.3 Item 2(Picture)



9.3 Item 3(Picture)

🔪 9.3 (2) **Safety Improvement:** The shed outlets are not Ground Fault Circuit Interrupt (GFCI) protected. GFCI protected outlets help prevent shock hazards and are recommended in all wet locations. Recommend updating the outlets to be GFCI protected performed by a qualified licensed electrician.



9.3 Item 4(Picture)

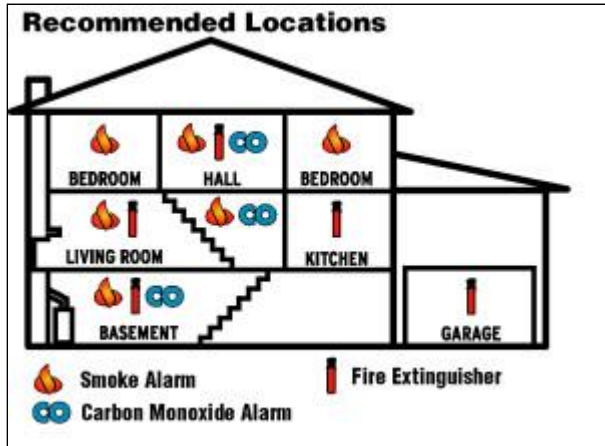
9.3 (3) **Safety Hazard:** One of the switches/receptacles is missing a cover. Recommend adding a cover to prevent injuries. The switch/receptacle is located on the east wall of the shed.



9.3 Item 5(Picture)

9.5 Recommend smoke detectors be placed in all bedrooms and adjoining hallways. Smoke detectors should be placed on all levels of the home and high on the wall or ceiling. Recommend replacing the batteries once a year and replacing the detectors every 10 years. It is law in Wisconsin to having working smoke detectors in the home.

9.6 **Safety Hazard:** No Carbon Monoxide detectors were identified within the home. Recommend placing Carbon Monoxide detectors on every level of the home including the basement. This is a safety hazard until corrected. Batteries should be replaced once a year and the detectors should be replaced every five to seven years. It is law in Wisconsin to have working Carbon Monoxide detectors in the home.



9.6 Item 1(Picture)

The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

10. Structural Components

The Home Inspector shall observe structural components including foundations, floors, walls, columns or piers, ceilings and roof. The home inspector shall describe the type of Foundation, floor structure, wall structure, columns or piers, ceiling structure, roof structure. The home inspector shall: Enter under floor crawl spaces, basements, and attic spaces except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; Report the methods used to observe under floor crawl spaces and attics; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The home inspector is not required to: Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the home inspector or other persons; Calculate the strength, adequacy or efficiency of any component of an improvement to residential property.



Styles & Materials

Foundation:

Poured concrete

Method used to observe Crawlspace:

No crawlspace

Floor Structure:

Steel joists

Wall Structure:

Unable to view

Columns or Piers:

Not visible

Support Beam(s):

Not visible

		IN	NI	NP
10.0	Foundations, Basements and Crawlspaces (Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components.)	•		
10.1	Walls (Structural)	•		
10.2	Columns or Piers	•		
10.3	Floors (Structural)	•		
10.4	Ceilings (Structural)	•		
10.5	Vapor Barriers	•		

IN= Inspected, NI= Not Inspected, NP= Not Present

IN NI NP

The structure of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

11. Heating / Central Air Conditioning

The home inspector shall observe permanently installed heating and cooling systems including: Heating equipment; Cooling Equipment that is central to home; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The home inspector shall describe: Energy source; and Heating equipment and distribution type. The home inspector shall operate the systems using normal operating controls. The home inspector shall open readily openable access panels provided by the manufacturer or installer for routine homeowner maintenance. The home inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Heat exchanger unless it is readily observable and normally accessible to an occupant of a dwelling unit; Non-central air conditioners; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.





Styles & Materials

Heat Type: Forced Air	Heat System Brand: LENNOX	Heating Manufactured Date: 2014 The typical life expectancy of a forced air furnace is 15-25 years
Energy Source: Propane	Number of Heat Systems (excluding wood): One	Ductwork: Rigid Metal
Filter Type: Disposable (1 year)	Types of Fireplaces: Propane gas logs vented	Number of Woodstoves: None
Cooling Equipment Type: Air conditioner unit	Cooling System Brand: LENNOX	Cooling Manufactured Date: 2011 The typical life expectancy of a condensor is 12-20 years
Cooling Equipment Energy Source: Electricity	Number of AC Only Units: One	

		IN	NI	NP
11.0	Heating Equipment	•		
11.1	Normal Operating Controls (Heating)	•		
11.2	Automatic Safety Controls	•		
11.3	Distribution Systems (including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)	•		
11.4	Presence of installed heat source in each occupiable room	•		
11.5	Chimneys, Flues and Vents (for fireplaces or heat systems)	•		
11.6	Solid Fuel heating Devices (Fireplaces, Woodstove)			•
11.7	Gas/LP Firelogs and Fireplaces	•		
11.8	Cooling and Air Handler Equipment	•		
11.9	Normal Operating Controls (Cooling)	•		
11.10	Presence of installed cooling source in each room	•		


IN= Inspected, NI= Not Inspected, NP= Not Present

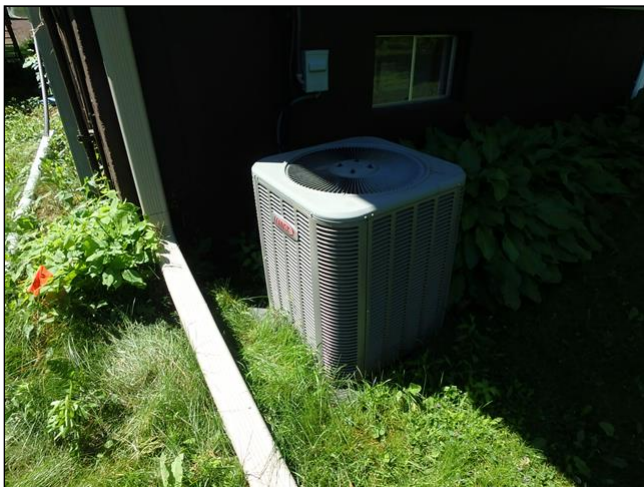
IN NI NP

11.7 Propane fireplace



11.7 Item 1(Picture)

 11.8 Recommend trimming the vegetation around the air conditioner to allow for proper air flow through the coils.



11.8 Item 1(Picture)



11.8 Item 2(Picture)

The heating and cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

General Issues



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Marshfield, WI
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Customer
John Doe

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123 Nice Street
Anytown WI 12345


The following items or discoveries in **BLUE** indicate that these systems or components **do not function as intended** or **present a safety concern** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the home. **This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.**

The following items or discoveries in **GREEN** indicate an item, component or unit that needs to be maintained now or in the future. Maintaining a home is to be expected along with owning a home. These suggestions are offered as a courtesy on behalf of your inspector and if applied, will help to keep your home in good condition.

1. Exterior


1.1 Doors (Exterior)

Inspected

-  **Safety/Tripping Hazard:** An elevated riser was noted to the north garage service door. This creates a tripping hazard. It is recommended that risers be less than 8 inches high.

1.3 Decks, Balconies, Balconies, Stoops, Steps, Areaways, Porches, Patio/Cover and Applicable Railings


Inspected

-  (1) **Damaged:** Evidence of active heaving was present to the east deck. This can effect the integrity of the deck. Prior repairs were noted to the posts. Recommend further evaluation and repairs by a qualified contractor.

4. Kitchen Components and Appliances

4.10 Ranges/Ovens/Cooktops


Inspected

-  (2) **Safety Improvement:** The kitchen stove did not have an anti-tip safety bracket installed. An anti-tip safety bracket helps prevent the stove from tipping over onto a child. Recommend an anti-tip bracket be installed per manufacturers specifications.

7. Interior Rooms


7.3 Windows (Representative number)

Inspected

-  **Safety Hazard:** The basement bedroom windows do not meet current egress requirements. A window used as secondary means of egress that exits to grade should be no more than 46 inches from the floor to sill. A step could be added to help meet the standard; however, it should be permanently attached and at least 20 inches wide and 9 inches deep with a limited height of 24 inches.

7.6 Steps, Stairways, Balconies and Railings

Inspected

-  **Safety Hazard:** The balusters at the upstairs stairway are spaced to far apart for safety. Spacing more than 4 inches apart could allow an adult, child or pet to fall through or become entangled. The maximum space between balusters should be four inches.

8. Plumbing System

8.0 Plumbing Drain, Waste and Vent Systems

Inspected

-  (2) **Did Not Function:** The audible alarm feature did not operate on the exterior septic tank system.

Home inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Home inspectors do not: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Evaluate acoustic characteristics; Project or estimate operating costs; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

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Electrical Issues



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1. Exterior

1.7 Outlets and Lighting (Exterior GFCI protected)

Inspected



Safety Improvement: The exterior outlets are not Ground Fault Circuit Interrupt (GFCI) protected. GFCI protected outlets help prevent shock hazards and are recommended in all wet locations. Recommend updating the outlets to be GFCI protected performed by a qualified licensed electrician.

7. Interior Rooms

7.5 Outlets, Switches and Fixtures

Inspected



Safety Improvement: Noted open incandescent light fixtures for the interior basement closet. The exposed bulb could be a fire hazard if stored items come in contact with the exposed bulb. Recommend updating the open fixture with an enclosed light fixture.

9. Electrical System

9.1 Service and Grounding Equipment, Main Overcurrent Device, Main and Distribution Panels

Inspected



Safety Hazard: The shed sub panel neutral and ground wires are not separated inside of the panel. This is an unsafe practice. The grounding system for the shed sub panel appears inadequate with an undersized conductor and poor connections. Inappropriate openings were noted to the panel. A dead mouse was noted in the panel. Recommend repairs by qualified licensed electrician.

9.2 Branch Circuit Conductors, Overcurrent Devices and Compatibility of their Amperage and Voltage

Inspected



Safety Hazard: An open electrical junction was noted in the basement for the well pump. The connection should be in an approved electrical junction box with a cover. Recommend repairs by qualified licensed electrician.

9.3 Connected Devices and Fixtures Including GFCI Outlets(Basement, and Other Areas Not Previously Identified)

Inspected



(2) **Safety Improvement:** The shed outlets are not Ground Fault Circuit Interrupt (GFCI) protected. GFCI protected outlets help prevent shock hazards and are recommended in all wet locations. Recommend updating the outlets to be GFCI protected performed by a qualified licensed electrician.



(3) **Safety Hazard:** One of the switches/receptacles is missing a cover. Recommend adding a cover to prevent injuries. The switch/receptacle is located on the east wall of the shed.

9.6 Carbon Monoxide Detectors

Inspected



Safety Hazard: No Carbon Monoxide detectors were identified within the home. Recommend placing Carbon Monoxide detectors on every level of the home including the basement. This is a safety hazard until corrected. Batteries should be replaced once a year and the detectors should be replaced every five to seven years. It is law in Wisconsin to have working Carbon Monoxide detectors in the home.

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Plumbing Issues



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5. Laundry

5.6 Plumbing Drain System

Inspected



Improper Application: A flexible drain pipe was noted for the laundry basin sink. Drain pipe should be rigid to prevent damage. Recommend repairs by a qualified licensed plumber.

8. Plumbing System

8.3 Hot Water Systems, Controls, Chimneys, Flues and Vents

Inspected



(1) **Damaged:** The water heater has an active leak to the bottom of the tank. Recommend repairs/ replacement by a qualified licensed plumber.



(2) **Safety Hazard:** The T&P (Temperature and Pressure) valve on the water heater needs a 3/4 threaded pipe to extend within 6 inches of floor for safety. (vinyl hose is not approved for hot water use). I recommend repairs by a qualified person.

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Maintenance/Small Repairs



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The following items or discoveries indicate an item, component or unit that needs to be maintained now or in the future. Maintaining a home is to be expected along with owning a home. These suggestions are offered as a courtesy on behalf of your inspector and if applied, will help to keep your home in good condition.

1. Exterior



1.3 Decks, Balconies, Stoops, Steps, Areaways, Porches, Patio/Cover and Applicable Railings

Inspected

-  (2) The deck band is nailed to the wall or band of the home. Nails can pull out over time. It should have "Lag Screws" or "Carriage Bolts" approximately every 36 inches.

1.4 Vegetation, Grading, Drainage, Driveways, Sidewalks, Patio Floor, Walkways and Retaining Walls (With respect to their effect on the condition of the building)

Inspected

-  (1) The drainage around the perimeter of the foundation should slope away from the structure at a rate of 1/2 inch per foot for 10 feet away from the foundation. Portions of the ground around the perimeter do not meet this minimum standard.
-  (2) Recommend sealing the cracks in the driveway and/or walkway with an approved concrete/asphalt patch to prevent further damage. The freeze-thaw cycle may enlarge existing cracks.

2. Roofing / Chimneys / Roof Structure/Attic

2.4 Roof Drainage Systems (gutters and downspouts)

Inspected

-  The gutter guards are full of debris in areas and need to be cleaned.

3. Garage

3.3 Garage Floor


Inspected

-  Common cracks were noted in the concrete floor of the garage slab. Recommend sealing the cracks with an approved concrete patch to prevent further expansion of the crack.

5. Laundry

5.5 Plumbing Water Supply


Inspected

-  Rubber laundry hoses have a life expectancy of 10 years. We recommend replacing the rubber hoses with "no burst" (braided stainless) hoses to help prevent failure of the hoses.

6. Bathroom and Components

6.1 Walls



Inspected

-  I recommend bathroom rated acrylic latex or silicone caulk along the upstairs bathroom bathtub surround to floor connection.

8. Plumbing System

8.6 Sump Pump


Inspected

-  (1) You should consider adding a battery operated back-up sump pump as an improvement in case of a power or main pump failure.
-  (2) The sump pump drains too close to the home which can interfere with the foundation. Recommend extending the drain line a minimum of 15 feet away from the home.

11. Heating / Central Air Conditioning

11.8 Cooling and Air Handler Equipment

Inspected

-  Recommend trimming the vegetation around the air conditioner to allow for proper air flow through the coils.