



## Architect's Bulletin\_2

**Via:**  Pick-Up  Hand Deliver  Email

**Date:** 29 March 2019

**To:** Newman Midland Corp.  
9242 Walker St., Bldg A  
Cypress, CA 90630  
(714) 220-5940

**Attn:** Adam Nissary, Sr. Project Manager

**Project:** Huntington Beach CTE Projects  
**District:** Huntington Beach Union High School District

**PBK Project No.:** 18200

**Bulletin No.:** Two (2)

x Review and take action required.  
x Respond within 3 calendar days if there is a cost impact/extra work related to your scope.  
x Possible cost impact will be reviewed by G.C. for approval.  
-Bill H.  
-Newman Midland 3.29.19

**Description:**

Revisions to Huntington Beach High School Photo Lab.

The work as described shall be carried out in full conformance with the Contract Documents. Any changes in cost shall be identified, submitted and approved prior to the start of any work. All changes in cost shall be added to or deducted from the contract allowance.

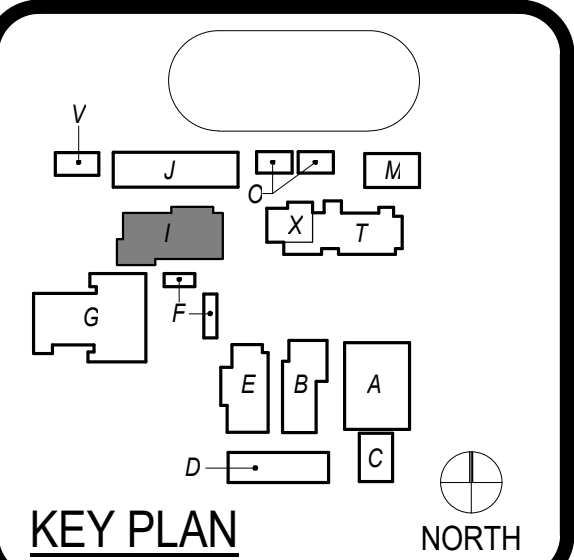
Enclosures: D1.1, A1.0, A6.20, A9.01, & A10.0

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*(If enclosures are not as noted, please inform us immediately.)*

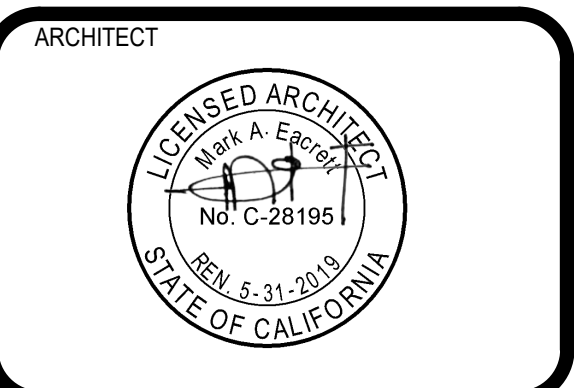
**By:**  
James Gonzales  
Project Coordinator, PBK Architects

cc: File



KEY PLAN NORTH

ENGINEER



CLIENT		
HUNTINGTON BEACH UNION HIGH SCHOOL DISTRICT		
PROJECT NUMBER		
18200		
DATE:	11/06/2018	
DRAWN BY:	JG	
CHECKED BY:	J.G.	
REVISIONS		
No.	Description	Date
1	DISTRICT CHANGES	3/28/2019

CONSTRUCTION DOCUMENTS

DEMO FLOOR PLAN - BLDG "I"

D1.1

DEMOLITION FLOOR PLAN LEGEND

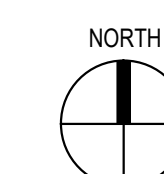
AREA NOT IN CONTRACT

DEMOLITION FLOOR PLAN...

01.01	REMOVE EXISTING CABINETS
01.03	REMOVE EXISTING DOOR
01.04	REMOVE PORTION OF EXISTING WALL
01.05	REMOVE EXISTING FLOOR FINISHES AND EXPOSE CONCRETE
01.08	SAW CUT SLABS FOR ELECTRICAL CONDUIT
01.09	REMOVE EXISTING MIRROR
02.02	(E) SINK TO REMAIN

GENERAL DEMOLITION NOTES

- DEMOLITION PLANS INDICATE SOME OF THE SCOPE-OF-WORK INVOLVED FOR THE DEMOLITION PHASE OF THIS PROJECT. CONTRACTOR SHALL REVIEW ALL SHEETS FOR ADDITIONAL DEMOLITION SCOPE.
- CONTRACTOR SHALL VERIFY EXISTING SITE AND BUILDING CONDITIONS AND DIMENSIONS IN THE FIELD PRIOR TO DEMOLITION ACTIVITIES AND WORK.
- CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES IN WRITING.
- CONTRACTOR SHALL NOTIFY ARCHITECT AND OWNER OF ANY POSSIBLE ASBESTOS CONTAINING MATERIALS DISCOVERED BEFORE PROCEEDING WITH WORK. PROTECT INTERIOR CONSTRUCTION TO REMAIN DURING DEMOLITION AND CONSTRUCTION.
- CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS BEFORE COMMENCING WORK.
- AFTER AWARD OF THE CONTRACT, CHANGE ORDER REQUESTS FOR ADDITIONAL MONEY WILL NOT BE APPROVED IF THE WORK COULD HAVE BEEN ANTICIPATED DURING A SITE VISIT BY THE CONTRACTOR.
- CONTRACTOR SHALL NOT SCALE DRAWINGS.
- CONTRACTOR SHALL PROVIDE ALL NECESSARY TEMPORARY SHORING, TEMPORARY BRACING, AND OR TEMPORARY SUPPORTS AS REQUIRED TO MAINTAIN STRUCTURAL INTEGRITY OF EXISTING STRUCTURE TO REMAIN AND OR EXISTING BUILDING ELEMENTS TO REMAIN.
- CONTRACTOR IS TO VERIFY THE EXACT LOCATION OF ALL EXISTING UTILITIES PRIOR TO DEMOLITION ACTIVITIES AND WORK.
- CONTRACTOR SHALL REMOVE TRASH AND DEBRIS REGULARLY AS NECESSARY TO ELIMINATED INTERFERENCE WITH ROADS, STREET, WALKS, AND ALL OTHER ADJACENT FACILITIES.
- CONTRACTOR SHALL REMOVE TRASH AND DEBRIS FROM THE SITE ON A DAILY BASIS.
- CONTRACTOR IS RESPONSIBLE FOR CONSTRUCTION OF TEMPORARY DUST AND OR SOUND PARTITION BETWEEN CONSTRUCTION AREA AND AREAS NOT IN SCOPE AS NECESSARY. DEMOLITION ACTIVITIES SHALL BE PERFORMED SO AS TO PRODUCE MINIMAL DISTURBANCE TO EXISTING FACILITY AND OCCUPANTS (I.E. MINIMIZE EXCESSIVE AND PROLONGED NOISE LEVELS AND DUST).
- CONTRACTOR SHALL REPAIR, PATCH, OR PATCH EXISTING BUILDINGS, DRIVEWAYS, SIDEWALKS, CANOPIES, AND OR PARKING AREAS DAMAGED, MODIFIED, AND OR DISTURBED BY DEMOLITION WORK AT NO COST TO THE OWNER.
- ALL EXISTING EQUIPMENT THAT REMAINS SHALL BE PROTECTED DURING DEMOLITION AND OR CONSTRUCTION TO PREVENT DAMAGE. ANY DAMAGE TO REMAINING EXISTING EQUIPMENT SUSTAINED DURING DEMOLITION AND OR CONSTRUCTION SHALL BE EQUIVALENTLY REPAIRED OR EQUIVALENTLY REPLACED AT NO COST TO THE OWNER.
- CONTRACTOR SHALL PROVIDE TRAFFIC HANDLING MEASURES TO PROTECT THE GENERAL PUBLIC AT ALL TIMES, AS NECESSARY AND AS REQUIRED BY AUTHORITIES HAVING JURISDICTION.
- DO NOT INTERRUPT EXISTING UTILITIES, EXCEPT WHEN AUTHORIZED IN WRITING BY AUTHORITIES HAVING JURISDICTION. PROVIDE TEMPORARY SERVICES DURING INTERRUPTIONS TO EXISTING UTILITIES, AS ACCEPTABLE TO AUTHORITIES HAVING JURISDICTION.
- WHEN UTILITY SERVICES ARE REQUIRED TO BE REMOVED, RELOCATED, OR ABANDONED, PROVIDE BYPASS CONNECTIONS TO MAINTAIN CONTINUITY OF SERVICE BEFORE PROCEEDING WITH DEMOLITION.
- CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES INCLUDING BUT NOT LIMITED TO THE FOLLOWING: ELECTRIC, GAS, WATER, TELEPHONE, STORM SEWER, AND SANITARY SEWER FOR FIELD LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITY LINES. PRIOR TO COMMENCEMENT OF ANY DEMOLITION WORK, CONTRACTOR SHALL IDENTIFY ALL ELECTRICAL CIRCUITS SERVING THE AREA INVOLVED WITH THIS DEMOLITION. THOSE CIRCUITS SHALL THEN BE LOCKED OUT AND TAGGED OUT IF THEY DO NOT SERVICE ANY OF THE REMAINING BUILDING. THOSE CIRCUITS WHICH ARE IDENTIFIED TO SERVICE BOTH THE AREA TO BE DEMOLISHED AND THE REMAINING BUILDING SHALL BE SPLIT SO AS TO KILL ALL ELECTRICAL POWER TO THE AREA TO BE DEMOLISHED WHILE MAINTAINING POWER TO THE REMAINDER OF THE BUILDING.
- CONTRACTOR SHALL RELOCATE UTILITIES AND EQUIPMENT AS REQUIRED TO ACCOMMODATE NEW HVAC, ELECTRICAL, PLUMBING, AND TECHNOLOGY REQUIREMENTS FOR NEW WORK.
- PROTECT EXISTING SITE ELEMENTS AND EXISTING LANDSCAPING TO REMAIN. PROTECTION SHALL INCLUDE BUT NOT BE LIMITED TO EXISTING TREES AND OTHER EXISTING VEGETATION INDICATED TO REMAIN IN PLACE AGAINST UNNECESSARY CUTTING, BREAKING, OR SKINNING OF BRANCHES, SKINNING OR BRUISING OF BARK, SMOTHERING OF TREES BY STOCKPILING CONSTRUCTION MATERIAL OR EXCAVATED MATERIAL WITHIN DRIP LINES.
- CONTRACTOR SHALL REGRADE AND HYDROMULCH AREAS AFFECTED BY DEMOLITION.
- OWNER HAS RIGHT OF FIRST REFUSAL OF ALL ITEMS REMOVED AS PART OF THE SCOPE OF WORK, WHETHER IDENTIFIED AS SALVAGE OR NOT.
- NOTIFY THE BUILDING OWNER OF ANY MATERIALS, FIXTURES, ETC. TO BE REMOVED THAT ARE DEEMED SALVAGEABLE. TURN OVER ANY REQUESTED ITEMS TO THE BUILDING OWNER IN GOOD AND CLEAN CONDITION.
- ALL FURNITURE WILL BE REMOVED OR RELOCATED BY THE OWNER AS NECESSARY PRIOR TO THE DEMOLITION WORK OF THIS PROJECT. CONTRACTOR SHALL COORDINATE WITH OWNER AS REQUIRED.
- REMOVE EXISTING CONSTRUCTION TO THE EXTENT INDICATED ON THE DRAWINGS. SHOULD ANY DAMAGE OCCUR TO ANY EXISTING CONSTRUCTION TO REMAIN, THE CONTRACTOR SHALL REPAIR THE DAMAGE TO MATCH EXISTING AND OR ADJACENT CONSTRUCTION AT NO COST TO THE OWNER.
- MAINTAIN ANY AND ALL EXISTING FIRE-RATED ASSEMBLIES THAT ARE TO REMAIN, AND THEIR ASSOCIATED FIRE-RATINGS, INCLUDING BUT NOT LIMITED TO ALL ASSOCIATED EXISTING FIRE-RATED OPENINGS, ALL ASSOCIATED EXISTING FIRE-RATED PENETRATIONS, AND ALL ASSOCIATED EXISTING FIRE-RATED FIRESTOPPING CONDITIONS.
- WHEN UNANTICIPATED MECHANICAL, ELECTRICAL, OR STRUCTURAL ELEMENTS THAT CONFLICT WITH THE INTENDED FUNCTION OR DESIGN ARE ENCOUNTERED, DETERMINE THE NATURE AND EXTENT OF THE CONFLICT AND NOTIFY THE ARCHITECT IMMEDIATELY FOR RESOLUTION.
- REMOVE, PATCH, AND REPAIR ALL ABANDONED ROOF PENETRATIONS RESULTING FROM WORK.
- SAW-CUT AND REMOVE EXISTING FLOOR FINISHES AND FLOOR SLAB AS REQUIRED TO INSTALL NEW FIXTURES, ITEMS, AND OR DEVICES FOR ALL SCOPE-OF-WORK PERTAINING TO NEW MECHANICAL WORK, NEW PLUMBING UTILITIES, NEW PLUMBING WORK, NEW ELECTRICAL WORK, AND NEW TECHNOLOGY WORK. SLOPE NEW REINFORCING BARS DOWELLED INTO EXISTING CONCRETE AND PROVIDE NEW VAPOR RETARDER AND NEW CONTINUOUS WATERSTOPS AT JOINT BETWEEN NEW CONCRETE FLOOR SLAB AND EXISTING CONCRETE FLOOR SLAB. PATCH WITH NEW 3,500 PSI MINIMUM CONCRETE AND PREPARE FLOOR, INCLUDING NEW CONCRETE, TO RECEIVE NEW FLOOR FINISHES. COORDINATE WITH STRUCTURAL.
- EXISTING WALLS OR PORTIONS OF WALLS TO BE REMOVED SHALL BE CUT FLUSH WHERE INTERSECTING WITH WALLS TO REMAIN. REMAINING WALLS TO BE PATCHED AND FINISHED SMOOTH.
- NEW OPENING TO BE CUT IN EXISTING WALLS SHALL BE SAW-CUT AT LOCATIONS INDICATED TO THE HEIGHT AND WIDTH INDICATED. NEW LINTELS SHALL BE INSTALLED TO SUPPORT EXISTING WALL CONSTRUCTION ABOVE AS INDICATED ON THE DRAWINGS, OR IF NOT INDICATED, AS REQUIRED FOR NEW WALL CONSTRUCTION PER STRUCTURAL DRAWINGS. COORDINATE LOCATIONS OF ALL NEW OPENINGS IN EXISTING WALLS AND PARTITIONS WITH ARCHITECTURAL PLANS.
- WHERE EXISTING WALL OPENINGS ARE TO BE NEWLY CLOSED-OFF, REMOVE ANY EXISTING OPENING FRAME AND PATCH AND REPAIR EXISTING WALL TO MATCH EXISTING ADJACENT MATERIALS AND FINISHES, UNLESS NOTED OTHERWISE.
- WHERE EXISTING INTERIOR WALLS ARE REPLACED OR REMOVED, REMOVE MEPT SYSTEMS BACK TO PANEL, OR MECHANICAL ROOM, OR FARTHEST POSSIBLE POINT WITHOUT DISTURBING EXISTING CONSTRUCTION. REMOVE EXISTING MECHANICAL EQUIPMENT, RELOCATE POWER PER MEPT DRAWINGS.
- REFER TO MEPT DRAWINGS FOR DEMOLITION OF MEPT SYSTEMS. IDENTIFY WORK REQUIRED BY THIS CONTRACTOR WHICH MAY AFFECT DEMOLITION AND OR REPAIRS OF ARCHITECTURAL ELEMENTS. COORDINATE WITH RELATED SUBCONTRACTORS THE EXTENT OF ALL DEMOLITION WORK.
- PATCH FLOORS, WALLS, CEILING WHICH REMAIN AT LOCATIONS WHERE PRESS, CONDUITS, ETC. ARE REMOVED AS REQUIRED TO MATCH EXISTING CONDITIONS OR TO RECEIVE NEW FINISHES.
- WHERE EXISTING FINISH FLOOR IS REMOVED, PREPARE FLOOR SURFACE TO RECEIVE NEW FLOORING.
- ALL DASHED LINES ARE DEMOLITION LINES U.N.O.





### FINISH SCHEDULE - PHOTO LAB

ROOM NAME	FLOOR	BASE	CEILING FINISH	CEILING HEIGHT	SOUTH WALL FINISH	WEST WALL FINISH	EAST WALL FINISH	NORTH WALL FINISH	REMARKS
STUDIO 1	PC	RB	OPEN	OPEN	P1	P1	P1	P1	
CAMERA STORAGE	PC	RB	ACT	10'-0"	P1	P1	P1	P1	
CHANGING ROOM	PC	(E)	(E)	(E)	(E)	(E)	(E)	(E)	
PHOTOGRAPHY CLASSROOM	PC	RB	OPEN	OPEN	P1	P1	P1	P1	
STUDIO 2	PC	RB	(E)	(E)	P1	P1	P1	P1	
STORAGE	PC	RB	(E)	(E)	(E)	(E)	(E)	(E)	

### MATERIAL ABBREVIATIONS

ACP ACOUSTIC CEILING PANEL  
 CONC CONCRETE  
 PC POLISHED CONCRETE  
 CPT CARPET  
 CT CERAMIC TILE  
 CTB CERAMIC TILE BASE  
 GYP GYPSUM BOARD  
 P PAINT  
 RB RUBBER BASE  
 SV SHEET VINYL  
 SCV SHEET VINYL COVERED BASE  
 LN LINOLEUM  
 LCB LINOLEUM COVERED BASE  
 (E) FINISH TO REMAIN  
 OPEN OPEN TO ABOVE

### FINISH SCHEDULE REMARKS

- ALL SCHEDULED DIRECTIONS (NORTH, EAST, SOUTH, WEST) ARE PER PLAN DIRECTIONS, NOT TRUE COMPASS DIRECTIONS.
- ALL SCHEDULED CEILING HEIGHTS ARE FROM THE PRIMARY FLOOR LEVEL WITHIN THE ROOM AND OR SPACE, AND ARE NOT FROM AN ELEVATED FLOOR LEVEL, AND ARE NOT FROM A RECESSED FLOOR LEVEL.
- ALL FINISH MATERIALS SHALL MEET FLAME SPREAD RATINGS PER THE BUILDING CODE.
- PROTECT ALL FINISHED FLOORING SURFACES FROM DAMAGE DURING ALL CONSTRUCTION PHASES.
- PROVIDE AND INSTALL BULLNOSE TRIM AT ALL TRANSITIONS FROM CERAMIC WALL TILE TO OTHER MATERIALS U.N.O.
- PAIN ALL NON-FACTORY FINISHED EXPOSED METAL.
- PAIN ALL H.M. DOOR FRAMES TO MATCH ADJACENT WALL COLOR U.N.O.
- PAIN ALL H.M. DOOR FRAMES TO MATCH ADJACENT WALL COLOR U.N.O.
- LAY-IN CEILING TYPES  
 A. TYPE A: STANDARD MINERAL FIBER, ANTIMICROBIAL, 24"x24"  
 B. TYPE B: GLASS FIBER, HIGH NRC, ANTIMICROBIAL, 24"x24"  
 C. TYPE C: VINYL-FACED MINERAL FIBER, ANTIMICROBIAL, 24"x24"  
 D. TYPE D: IMPACT RESISTANT, MINERAL FIBER, ANTIMICROBIAL, 24"x24"  
 E. TYPE E: WOOD FIBER, 24"x24"  
 F. TYPE F: MINERAL FIBER, ANTIMICROBIAL, 24"x24"
- REFER TO INTERIOR ELEVATIONS
- REFER TO CEILING PLANS
- DO NOT PAINT ACOUSTICAL STRUCT. DECK
- 14R FIRE RATED CEILING ASSEMBLY
- 24R FIRE RATED CEILING ASSEMBLY
- HOLD-DOWN CLIPS AT SUSP. LAY-IN CEILING SYSTEM WITHIN 8'-0" MIN. ANY DIRECTION FROM AN EXTERIOR DOOR LOCATION

### CONSTRUCTION KEYED NOTES

- 02.01 (E) DOOR OPENING
- 03.01 REPAIR CONCRETE SLAB
- 05.02 BARN DOOR
- 06.01 WOOD DISPLAY
- 06.02 PLAM UPPER CABINET
- 08.02 GYPSUM BOARD CASED OPENING WITH CORNER GAUARDS
- 08.04 FLOOR MOUNTED POWER AND DATA RE ELECTRICAL

### FLOOR PLAN LEGEND

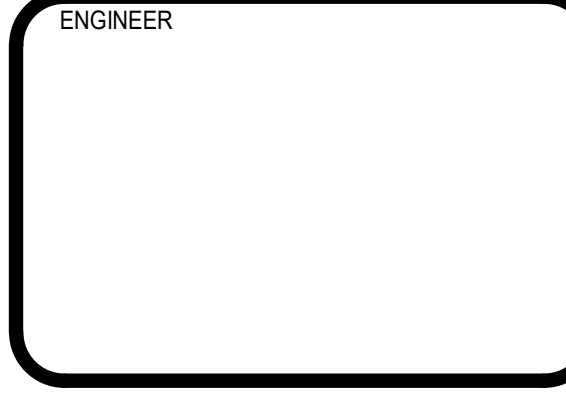
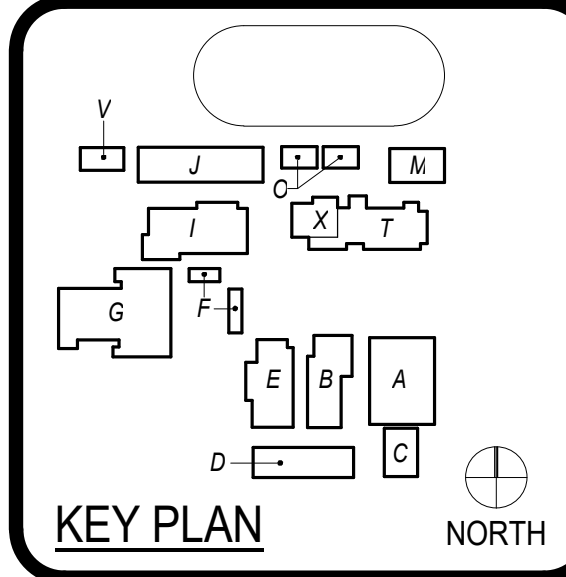
AREA NOT IN CONTRACT

### GENERAL NOTES

- DO NOT SCALE DRAWINGS, WRITTEN DIMENSIONS TAKE PRECEDENCE, CONTACT ARCH IF CLARIFICATION IS NECESSARY IN ORDER TO DETERMINE THE INTENT OF THE CONTRACT DOCUMENTS
- DRAWINGS NOTED AS "N.T.S" OR "NTS" ARE NOT TO SCALE
- ALL DIMENSIONS ARE TO STRUCTURAL COLUMN LINES OR THE SURFACE OF PARTITION ASSEMBLY U.N.O.
- FIELD VERIFY ALL DIMENSIONS AND EXISTING CONDITION BEFORE COMMENCING WORK. NOTIFY ARCH. OF ANY DISCREPANCIES PRIOR TO PROCEEDING WITH AFFECTED WORK
- NOTES OR DIMENSIONS NOTED AS "TYPICAL" OR "TYP." OR "TYP" SHALL APPLY TO CONDITIONS THAT ARE THE SAME OR SIMILAR
- DIMENSIONS NOTED AS "FIELD VERIFY" OR "V.I.F." OR "V.I.F." SHALL BE MEASURED AND CONFIRMED AT THE PROJECT SITE BY THE CONTRACTOR AND REVIEWED WITH THE ARCH. BEFORE INCORPORATING INTO THE WORK
- DIMENSIONS NOTED AS "CLEAR" OR "CLEAR INSIDE" REQUIRE SPECIFIC COORDINATION AMONG DISCIPLINES AND OR MANUFACTURERS
- REFER TO PARTITION TYPES ON A7.00 SERIES SHEETS
- ALL INTERIOR PARTITIONS THIS SHEET, EXCEPT FOR FURR-OUT PARTITIONS, SHALL BE PARTITION TYPE A U.N.O.
- ALL INTERIOR FURR-OUT PARTITIONS THIS SHEET SHALL BE PARTITION TYPE A U.N.O.
- ALIGN FINISHED FACE OF WALLS WHERE WALL PARTITIONS OF DIFFERING THICKNESS ABUT AND OR ADJOIN IN THE SAME PLANE
- PROVIDE AND INSTALL CONT. REVEAL TRIM AT JOINT WHERE GYPSUM BOARD WALL PARTITIONS ABUT AND OR ADJOIN MASONRY WALL PARTITIONS IN THE SAME PLANE
- ALL INTERIOR CMU OUTSIDE CORNERS SHALL HAVE BULLNOSE U.N.O.
- ALL DOORS SHALL BE SET 6 INCHES OFF THE ADJACENT PERPENDICULAR WALL ON THE HINGE SIDE OF THE DOOR U.N.O. NOTIFY ARCH. OF ANY DOOR-RELATED CONFLICTS INCLUDING BUT NOT LIMITED TO CONFLICTS CONCERNING ACCESSIBILITY STANDARDS
- ALL DOOR THRESHOLDS AT ALL EXTERIOR DOORS SHALL BE SET IN FULL BED OF SEALANT
- COORD. ALL ROOF DRAIN LEADER LOCATIONS WITH FLOOR PLAN PRIOR TO FLOOR SLAB CONSTRUCTION
- ALL FLOOR SLOPES TO FLOOR DRAINS SHALL NOT EXCEED 1:48
- PROVIDE AND INSTALL SELF-LEVELING UNDERLAYMENT WHERE UNEVEN FLOOR SLAB EXISTS PRIOR TO INSTALLATION OF FLOOR FINISHES
- COORD. HOUSEKEEPING PAD LOCATIONS AND DIMENSIONS WITH EQUIPMENT TO BE INSTALLED
- ALL FLOOR FINISH CHANGES SHALL OCCUR AT THE CENTERLINE OF DOORS U.N.O.
- ALL FLOOR FINISH MATERIAL CHANGES SHALL HAVE REDUCER STRIPS
- TO ALL COUNTER TOPS, ALL PLUMBING FIXTURES, ALL DRINKING FOUNTAINS, ALL ELECTRIC WATER COOLERS, ALL LAVATORIES, ALL URINALS, ALL TOILETS SHALL BE STRICTLY ENFORCED
- APPLY BITUMINOUS COATING TO ALL CONCEALED STRUCTURAL STEEL MEMBERS AT ALL EXTERIOR CANOPY LOCATIONS
- REFER TO OTHER DISCIPLINE DOCUMENTS FOR ADDITIONAL SCOPE OF WORK

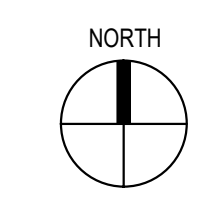
ARCHITECTURE  
 COSTA MESA  
 234 EAST 17TH STREET, SUITE 200  
 COSTA MESA, CA 92627  
 949-548-5000 P  
 949-548-5001 F  
 PBK.com  
 These drawings have been prepared as one coordinated set of drawings and are complementary. What is required by one drawing is required by all of the drawings, even if a detail or component part is not identified on every sheet. Any user's reliance on a single or select few sheet(s) of the drawings without consideration for the information included in the entire set of drawings will be at the user's sole risk and shall not form the basis for a request for additional compensation or time.

HUNTINGTON BEACH HIGH SCHOOL PHOTO LAB  
 1905 MAIN ST  
 HUNTINGTON BEACH, CA 92648  
 CONSTRUCTION DOCUMENTS

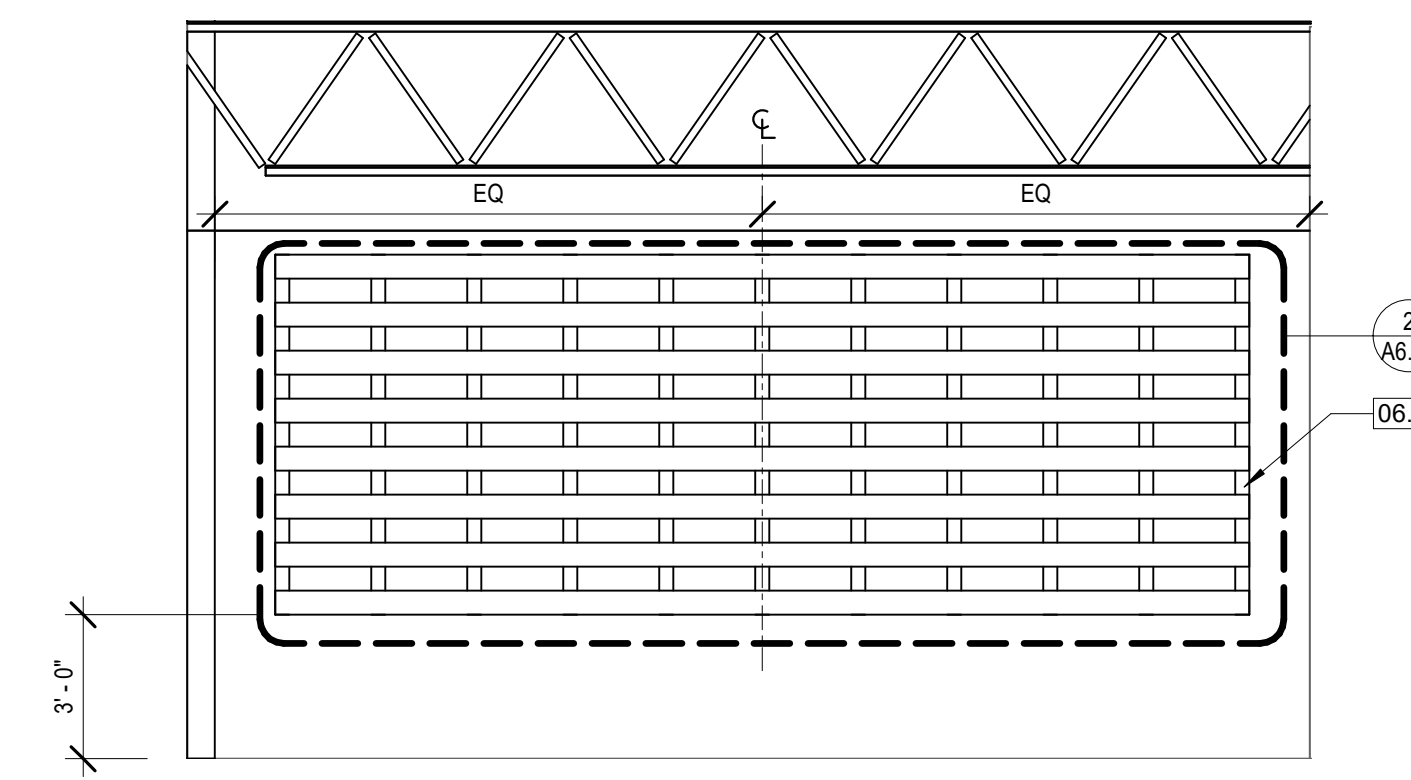


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CONSTRUCTION DOCUMENTS  
**FLOOR PLAN - BLDG "I"**  
**A1.0**

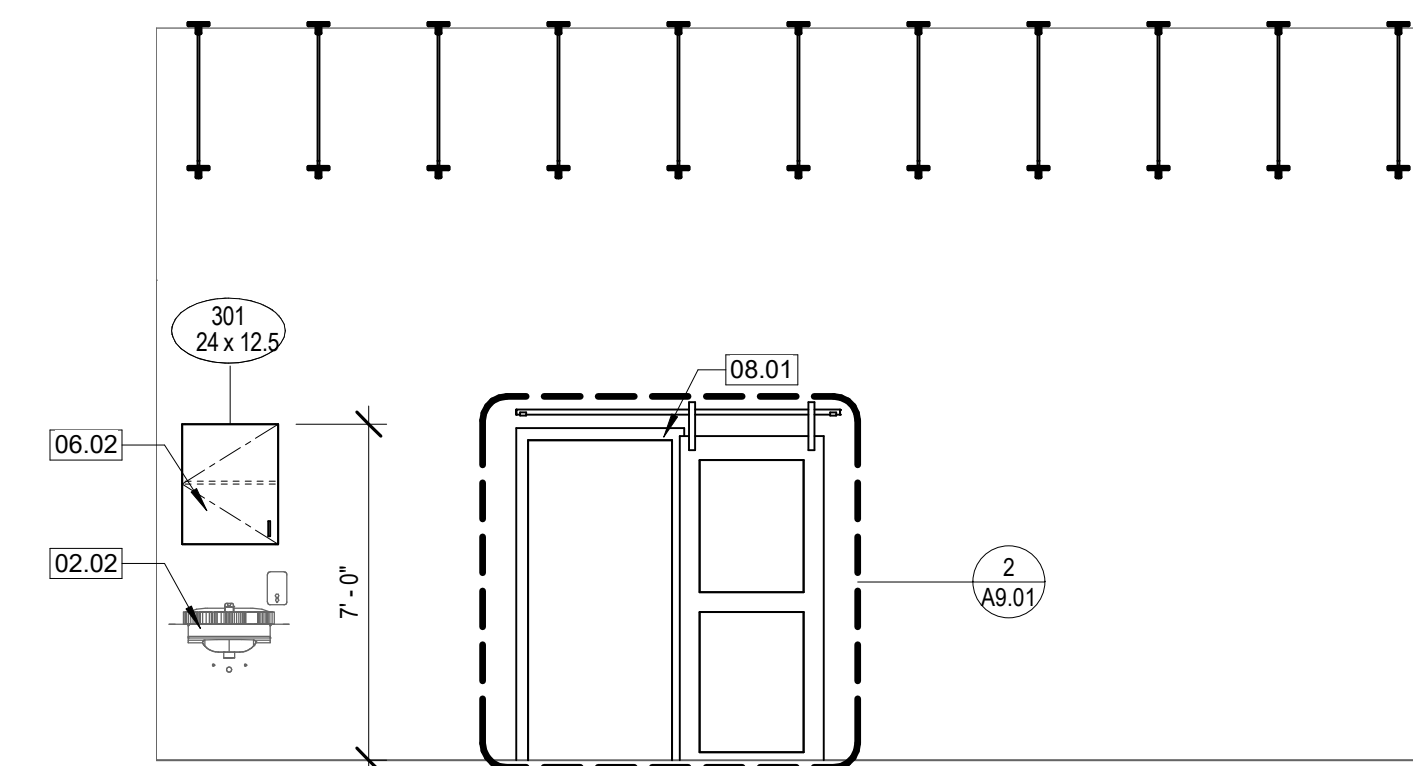


- 02.02 (E) SINK TO REMAIN
- 02.04 (E) DOOR TO REMAIN
- 06.01 WOOD DISPLAY
- 06.02 PLAM UPPER CABINET
- 08.01 BARN DOOR



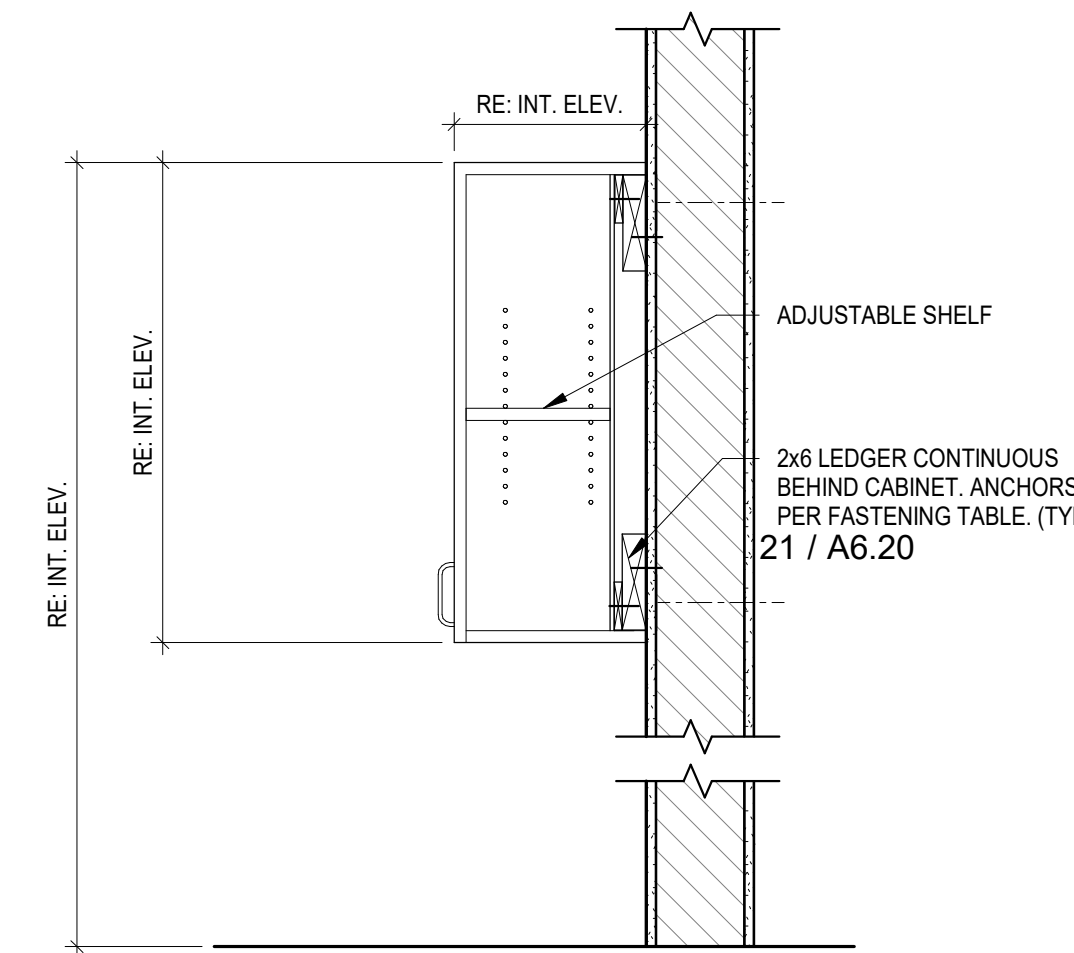
**26** PHOTOGRAPHY CLASSROOM ELEVATION  
1/4" = 1'-0"

- 02.02 (E) SINK TO REMAIN
- 02.04 (E) DOOR TO REMAIN
- 06.01 WOOD DISPLAY
- 06.02 PLAM UPPER CABINET
- 08.01 BARN DOOR



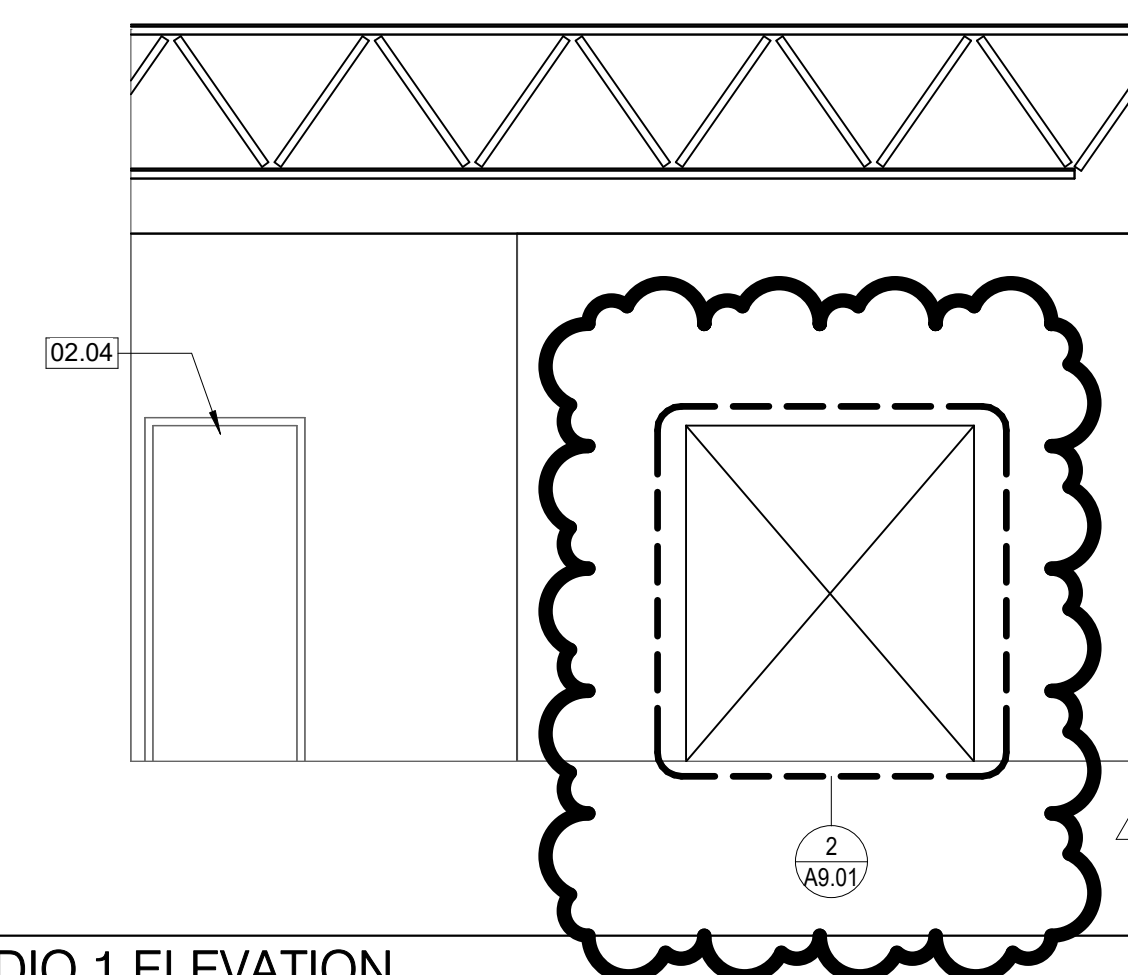
FASTENING TABLE			
STRUCTURE	TYPE OF ANCHOR	SPACING	EMBED
METAL STUDS	#8 BUGLE HEAD SELF-TAPPING SCREW	EVERY STUD 24" O.C. MAX	1/2" THROUGH STUD FLANGE
WOOD STUDS	#8 BUGLE HEAD CHISEL-POINT SCREW	EVERY STUD 24" O.C. MAX	1 1/2" INTO STUD
CONC. OR CMU	3/16" HILTI KWIK-CON II FLAT HEAD SCREW	16" O.C. MAX	1 3/4" INTO CONC. OR CMU

**21** FASTENING TABLE  
1" = 1'-0"

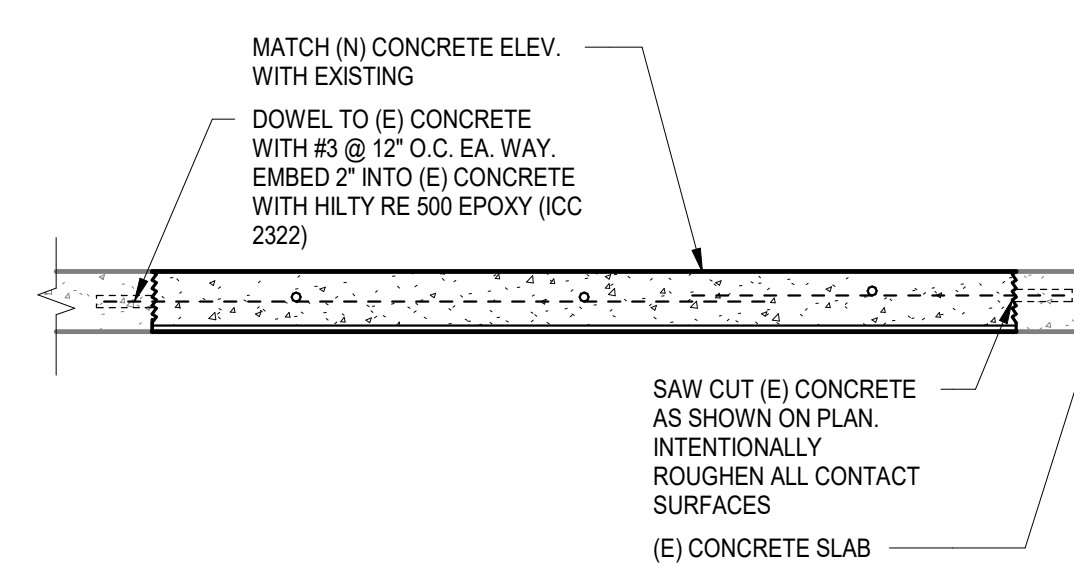


**20** STUDIO 1 ELEVATION  
1/4" = 1'-0"

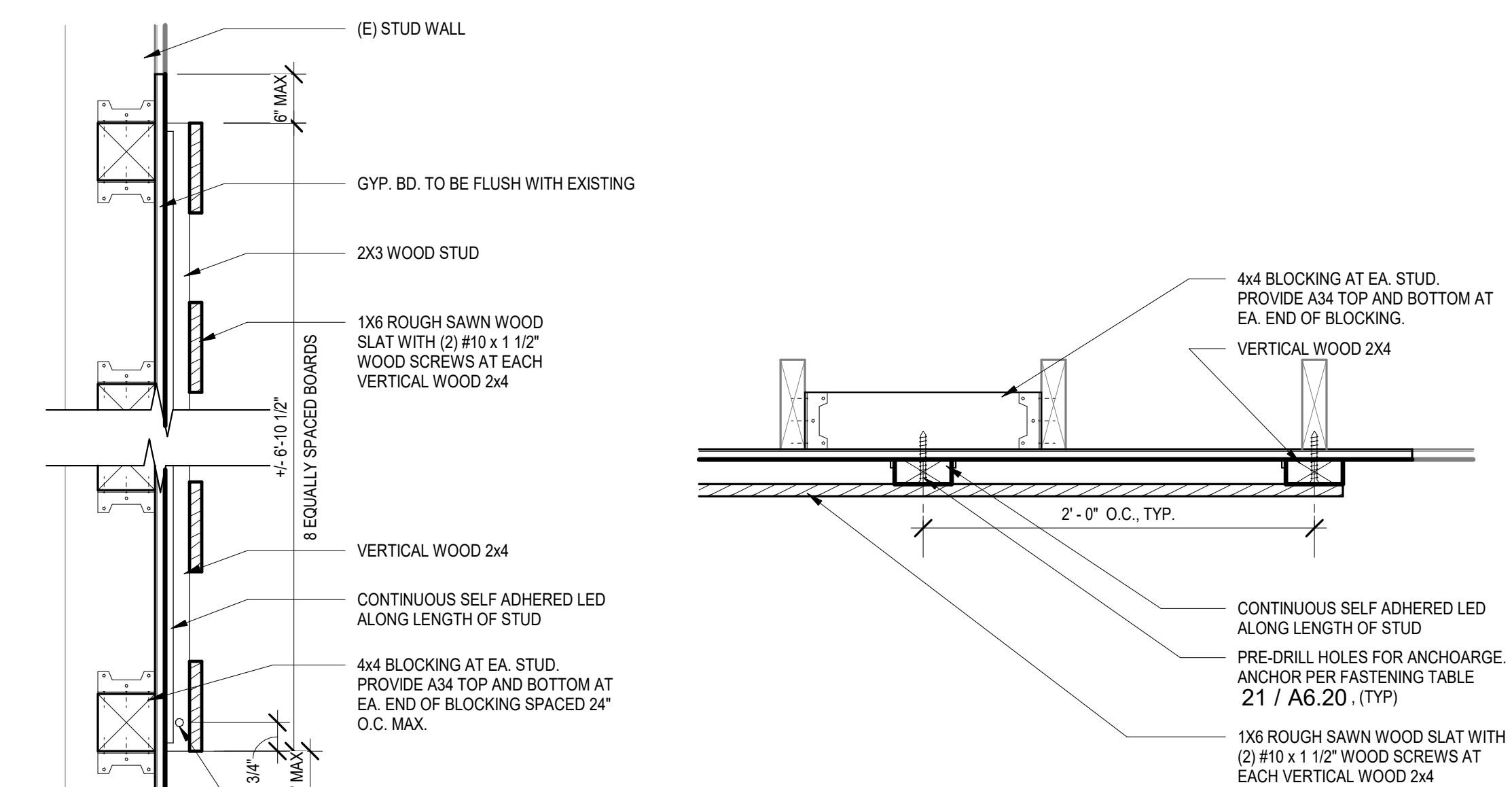
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**15** UPPER CABINET - (E) WALL FINISH  
1" = 1'-0"



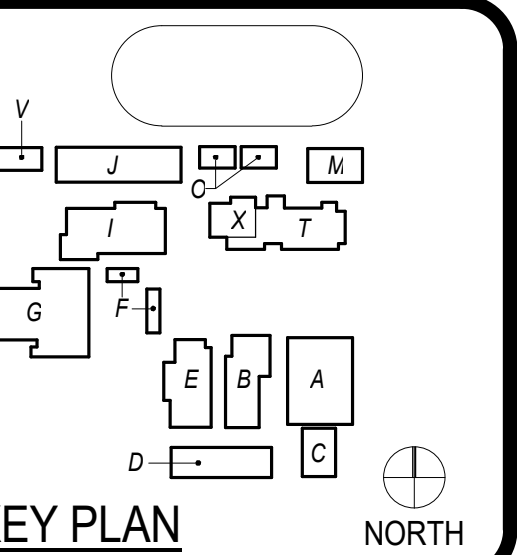
**14** STUDIO 1 ELEVATION  
1/4" = 1'-0"



**8** CONCRETE PATCH FOR SLAB  
1 1/2" = 1'-0"

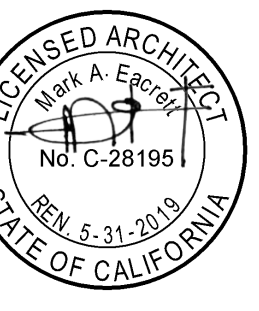
**2** WOOD DISPLAY WALL  
1 1/2" = 1'-0"

**HUNTINGTON BEACH HIGH SCHOOL PHOTO LAB**  
1905 MAIN ST  
HUNTINGTON BEACH, CA 92648  
CONSTRUCTION DOCUMENTS



ENGINEER

ARCHITECT

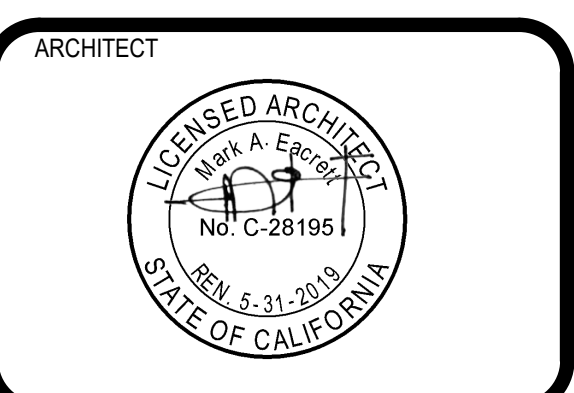
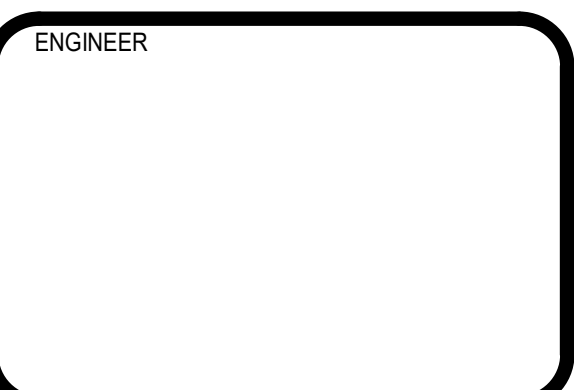
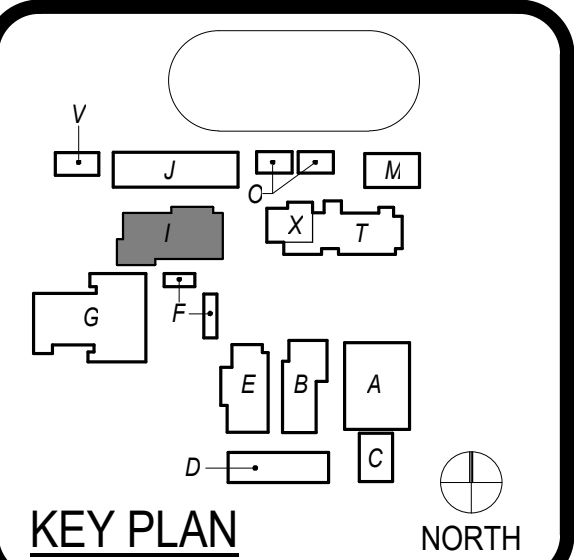


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CONSTRUCTION DOCUMENTS

**INTERIOR ELEVATIONS AND DETAILS**

**A6.20**



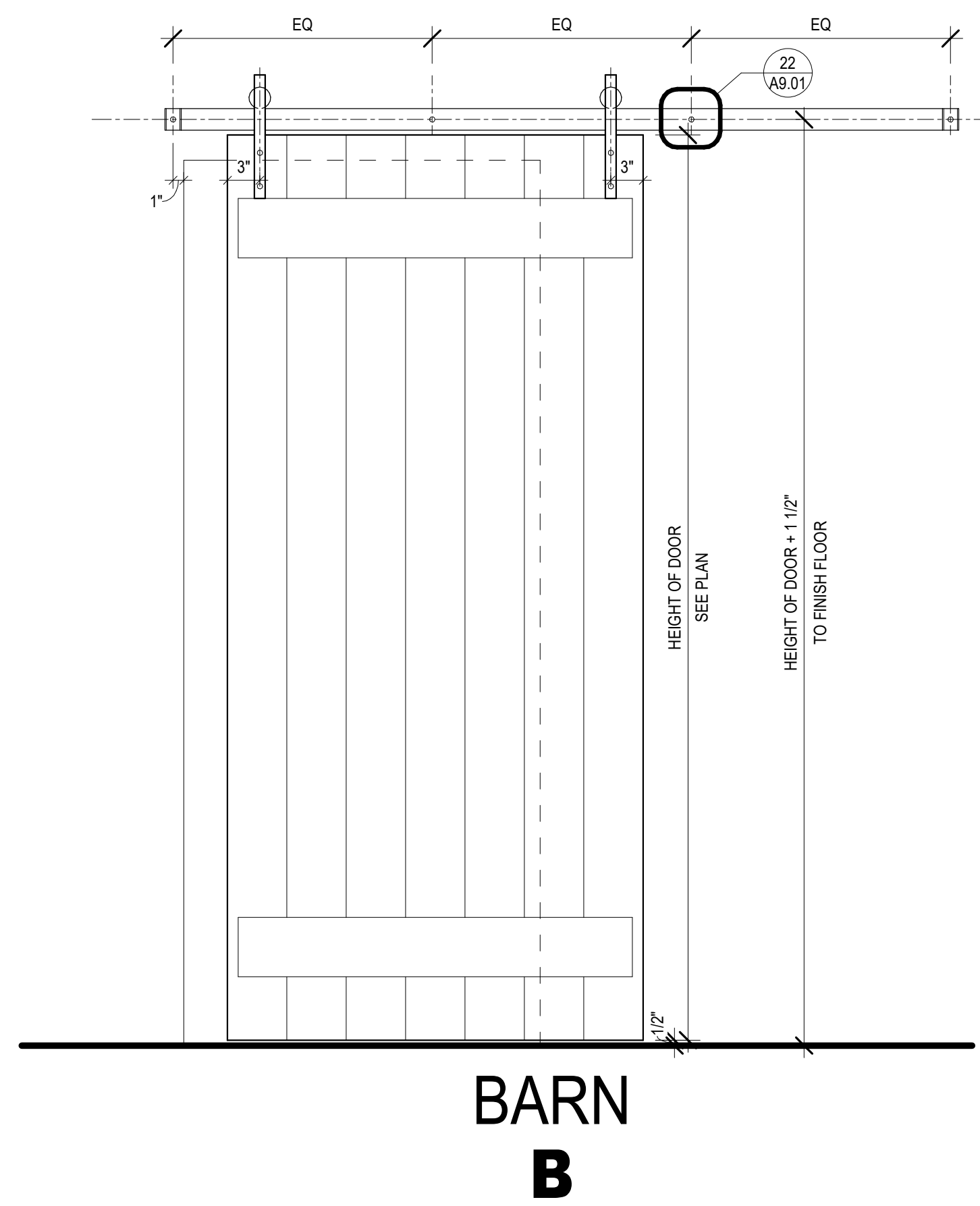
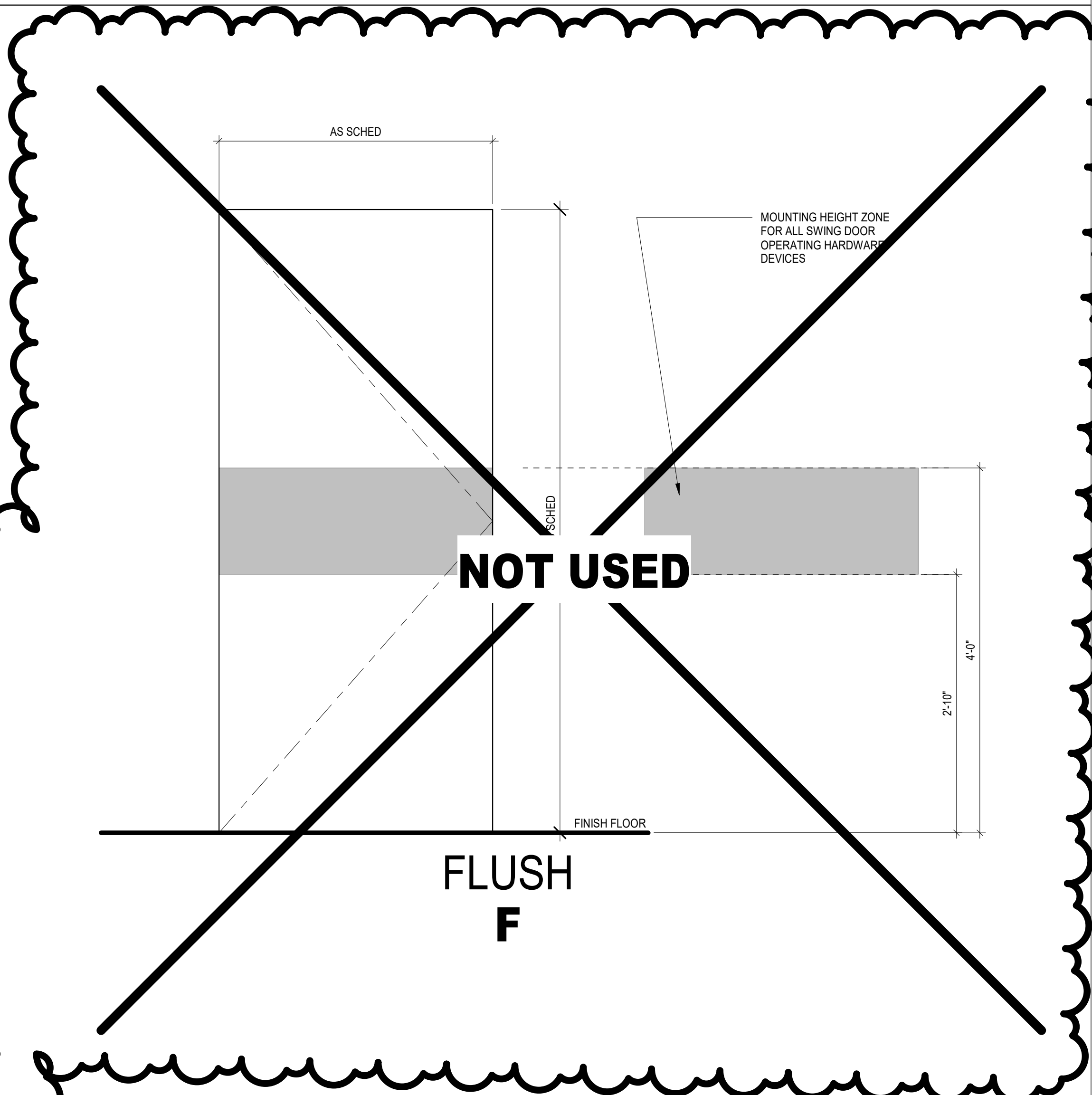
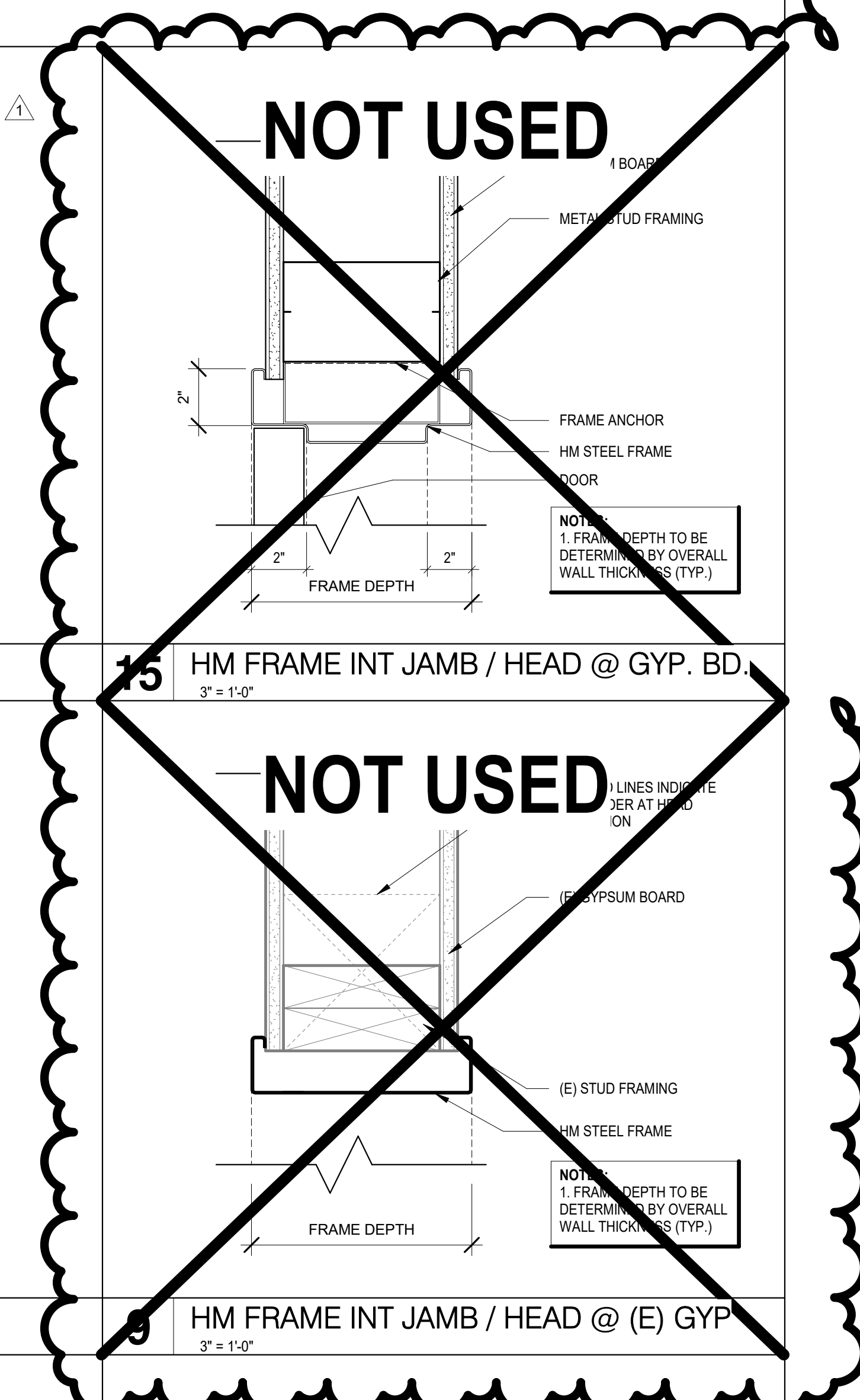
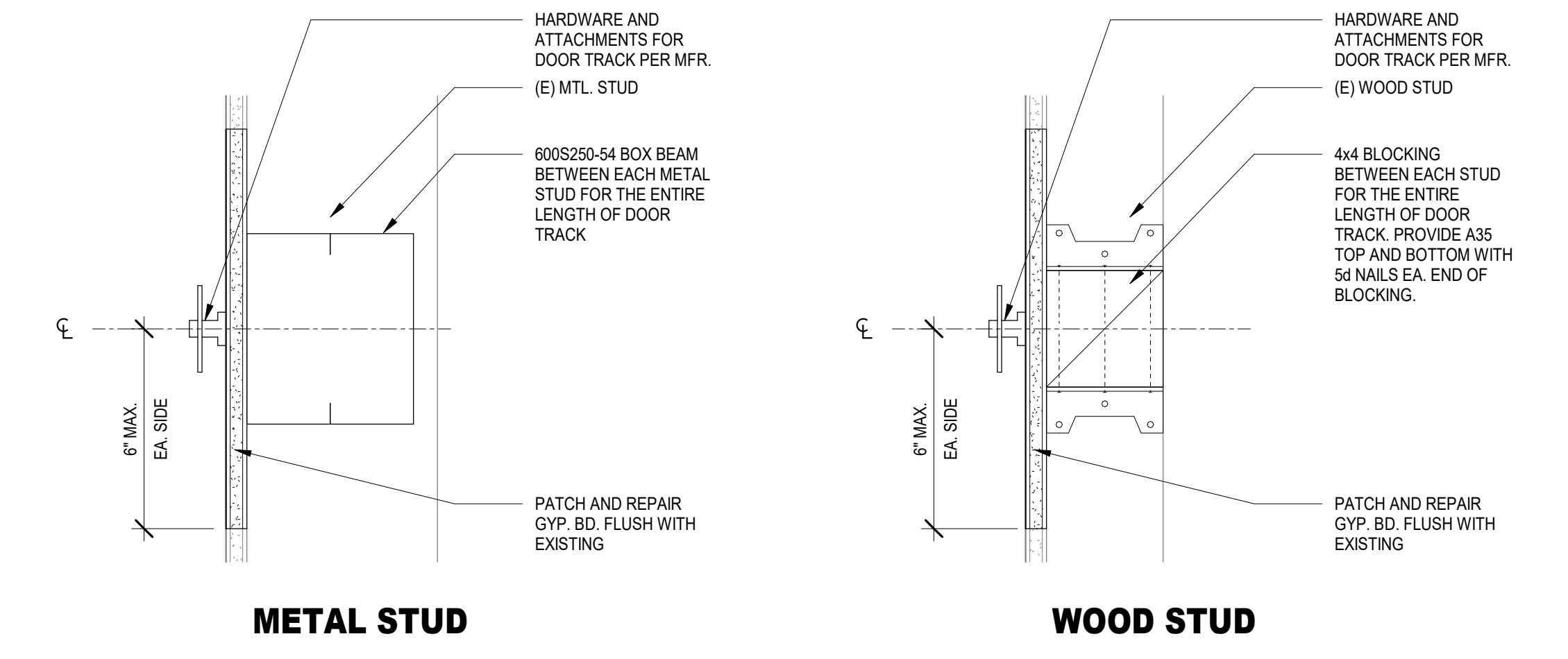
CLIENT		
HUNTINGTON BEACH UNION HIGH SCHOOL DISTRICT		
PROJECT NUMBER		
18200		
DATE:	11/06/2018	
DRAWN BY:	J.G.	
CHECKED BY:	J.G.	
REVISIONS		
No.	Description	Date
1	DISTRICT CHANGES	3/28/2019

CONSTRUCTION DOCUMENTS  
**DOOR ELEVATIONS AND DETAILS**

**A9.01**

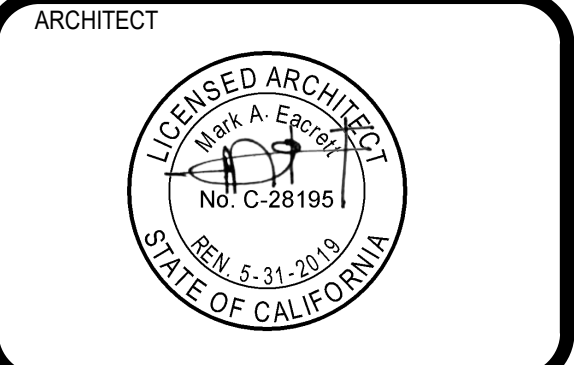
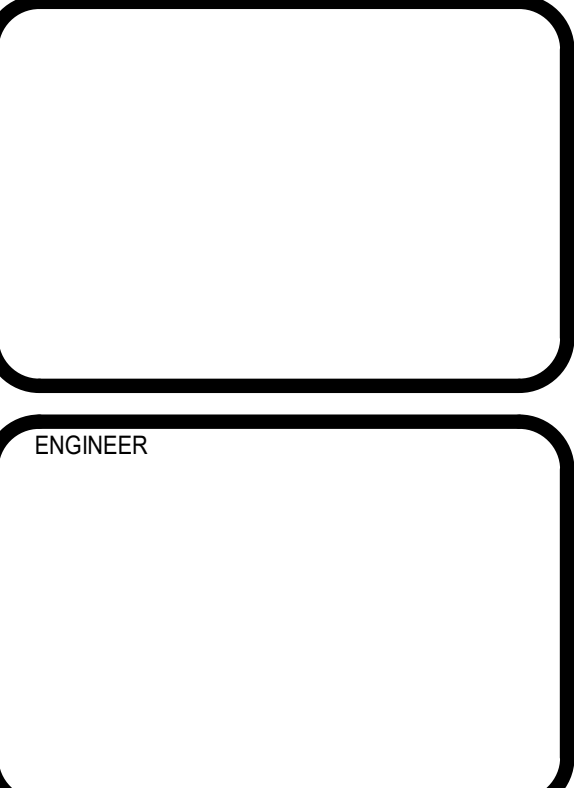
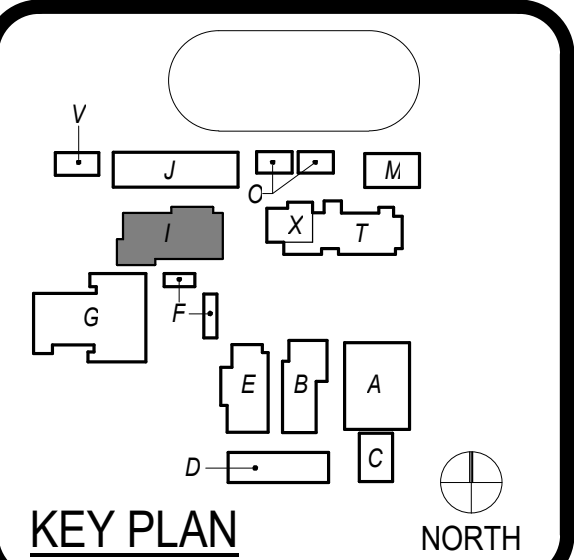
DOOR SCHEDULE - FIRST FLOOR															REMARKS
MARK	Family Phase	DOOR PANEL				DOOR FRAME				DETAILS					
		ELEV.	PAIR / S/N	SIZE W x H		MATL.	ELEV.	SIZE W x H		MATL.	SILL	JAMB	HEAD	H.W.	CTRL ACCESS
101	N	-	S	0"	0"	-	-	6'-0"	7'-0"	GYP	-	3/A9.01	3/A9.01	-	-
103	N	B	SING	3'-0"	7'-0"	WOOD	-	-	-	-	-	3/A9.01	22/A9.01	-	
104	N	-	-	0"	0"	-	-	6'-0"	6'-6"	GYP	-	3/A9.01	3/A9.01	-	

**27 PHOTO LAB DOOR SCHEDULE**  
 NO SCALE



**3 GYP JAMB / HEAD**  
 3" = 1'-0"

**2 FLUSH DOOR ELEVATION**  
 1" = 1'-0"



CLIENT  
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DATE: 11/06/2018  
 DRAWN BY: J.G.  
 CHECKED BY: J.G.

REVISIONS

No.	Description	Date
1	DISTRICT CHANGES	3/28/2019

GENERAL CEILING PLAN NOTES

- REFER TO AND COORD. WITH ROOM FINISH SCHEDULES FOR SPECIFIC CEILING TYPES.
- ALL SCHEDULED CEILING HEIGHTS ARE FROM THE MAIN FLOOR LEVEL WITHIN THE ROOM AND OR SPACE, AND ARE NOT FROM AN ELEVATED FLOOR LEVEL, AND ARE NOT FROM A RECESSED FLOOR LEVEL.
- NO FIRE SPRINKLER HEADS ARE SHOWN ON ARCH. CEILING PLANS. ALL SPRINKLER HEADS SHALL BE CENTERED WITHIN CEILING TILES U.N.O.
- ONLY CEILING MOUNTED FIXTURES AND EQUIP. IS SHOWN ON ARCH. CEILING PLANS. REFER TO INTERIOR ELEVATIONS FOR WALL MOUNTED FIXTURES. REFER TO MEPT DOCUMENTS FOR ADDITIONAL INFORMATION CONCERNING CEILING MOUNTED FIXTURES AND OR WALL MOUNTED FIXTURES.
- CEILING MOUNTED LIGHT FIXTURES ARE SHOWN FOR LOCATION PURPOSES ONLY. COORD. WITH ELEC. DOCUMENTS FOR LIGHT FIXTURE DESIGNATIONS.
- CEILING MOUNTED LIGHT FIXTURES WITHIN FIRE RATED CEILING ASSEMBLIES SHALL HAVE LIGHT FIXTURE PROTECTION AND BE TENTED OR OTHERWISE FIRE RATED TO MATCH CEILING ASSEMBLY FIRE RATING.
- VERIFY LOCATIONS OF ALL CEILING ACCESS PANELS WITH MEPT DOCUMENTS. COORD. LOCATIONS OF CEILING ACCESS PANELS WITH ARCH. PRIOR TO INSTALLATION. CEILING ACCESS PANEL FIRE RATINGS SHALL MATCH CEILING ASSEMBLY FIRE RATINGS.
- REFER TO WALL SECTIONS FOR WALL-CEILING INTERFACE.

KEYED NOTES

- 10.01 (N) MANFROTTO SKY TRACK TOP LIGHTING SUSPENSION SYSTEM  
 26.01 REFER TO ELECTRICAL PLAN FOR LIGHTING  
 26.02 (E) LIGHTING TO REMAIN  
 26.03 LED BACKLIGHTING FOR WOOD DISPLAY WALL

CEILING MATERIALS LEGEND

- ACT TYPE 1 - EXISTING 2' x 4' ACOUSTIC PANEL
- GWB - GYPSUM BOARD
- GWB - EXISTING GYPSUM BOARD
- OPN - OPEN TO STRUCTURE  
RE: FINISH SCHEDULE
- NOT IN CONTRACT

