



GENERAL NOTES

Drawings are intended to be printed on 24"x36" (Arch D) paper. Printing these drawings at a different size will impact the scale. The Contractor, Owner and/or recipient of these Drawings shall be responsible for any errors resulting from incorrect copying or printing or any other alteration that causes a change of scale.

General Contractor shall refer to all applicable construction procedures as provided in these Drawings or as stated below.

Before performing any work or ordering any materials, the General Contractor and/or all Subcontractors shall be responsible for verifying all conditions, inclusions and dimensions of the work.

Written dimensions shall take precedence over scaled dimensions. Dimensions indicated are from finished wall surface to finished wall surface unless otherwise indicated.

As a minimum standard, all work and materials installed shall be in strict accordance with all applicable codes, regulations and ordinances having jurisdiction.

Install all Manufacturer's items, materials and/or equipment in strict accordance with the Manufacturer's recommended instructions, methods and specifications.

The General Contractor must maintain a current, complete set of Construction Drawings at the site for review by Subcontractors and others on the Construction Site through all phases of construction.

Owner to coordinate with General Contractor for location of project materials staging, temporary office facilities, temporary restroom facilities, and/or temporary utilities for this project, if applicable.

Construction shall comply with the accessibility requirements, if applicable, per the Building Code and the Americans with Disabilities Act Accessibility Guidelines.

Size, placement and orientation of framing members on Engineered Structural Details override size, placement and orientation of framing members shown on the Construction Drawings.

Plumbing, Mechanical, and Electrical Contractors shall not penetrate or cut structural members without written authorization from a licensed Professional Structural Engineer and/or Architect.

Provide solid 2x wood blocking within wood stud walls at the anchorage locations of cabinets, door stops, toilet room accessories, mantels, ADA Handbars, TV stands or any other wall anchorage point. Anchorage through gypsum board on new walls is not acceptable.

Contractor to obtain any and all required Building Construction Permits associated with the work included in these Construction Drawings.

Contractor, Subcontractors and Owner to verify that site conditions are similar to the plans. Any discrepancies that arise from varying site conditions shall be reported to the Owner and Designer prior to construction. Contractor, Subcontractor and/or Owner assumes all liability for construction of project and results of construction using Construction Drawings.

DESIGN CRITERIA

CODE: 2012 International Residential Code (2012 IRC)
 BUILDING TYPE: Light Framed Wood, Single-Family Residential Structure
 LOADS:

Dead Loads:
 Roof- 22 PSF
 Floor- 32 PSF

Live Loads:
 Roof- 20 PSF
 First Floor & Stairs- 100 PSF
 Second Floor- 50 PSF
 Second Floor Corridors- 80 PSF

Snow Loads:
 Ground Snow Load (Pg)- 15 PSF
 Roof Snow Load (Ps)- 15 PSF
 Snow Roof Slope Factor (Cs)- 1.0
 Importance Factor (Is)- 1.0

Wind Loads: (ASCE 7-05)
 Basic Wind Speed (3 sec gusts)- 100 MPH
 Exposure- C
 Importance Factor (Iw)- 1.0

Seismic Load: (ASCE 7-05)
 Importance Factor (Ie)- 1.0
 Seismic Use Group- II - Normal
 Seismic Soil Profile Type- D
 Seismic Design Category- B
 Basic Seismic Force Resisting System- Light Framed Walls w/ Shear Panels
 Seismic Response Modification Factor (R)- 6.5
 Analysis Procedure Used- Equivalent Lateral Force

Soils:
 Undisturbed Earth- 2,500 PSI
 Bedrock- 25,000 PSI

FIRE SPRINKLER: No

FIRE ALARM SYSTEM: Yes



GreenLeaf Designs
 Tulsa, OK
 918-524-9721

GreenLeafArchitecture.com

**SAMPLE PLANS
 HOME REMODEL**

Stamp:

Revisions:

1. NOT FOR CONSTRUCTION
- 2.
- 3.
- 4.
- 5.
- 6.
- 7.

Print Scale:

24"x36"

Date:

Title:

COVER SHEET

Sheet:

A.0

CONTENTS:

- | | |
|----------------------------|--------------------------|
| A.0: Cover Sheet | A. 7: Framing Plan |
| A.1: Site Plan | A. 8: Framing Details |
| A.2: Main Level Floor Plan | A. 9: Shear Wall Details |
| A.3: Demo Plan | A.10: Framing Details |
| A.4: Building Elevations | S. 1: Structural Details |
| A.5: Building Elevations | E. 1: Electrical Plan |
| A.6: Roof & Ceiling Plan | |





GreenLeaf Designs
Tulsa, OK
918-524-9721

GreenLeafArchitecture.com

UTILITY LOCATE

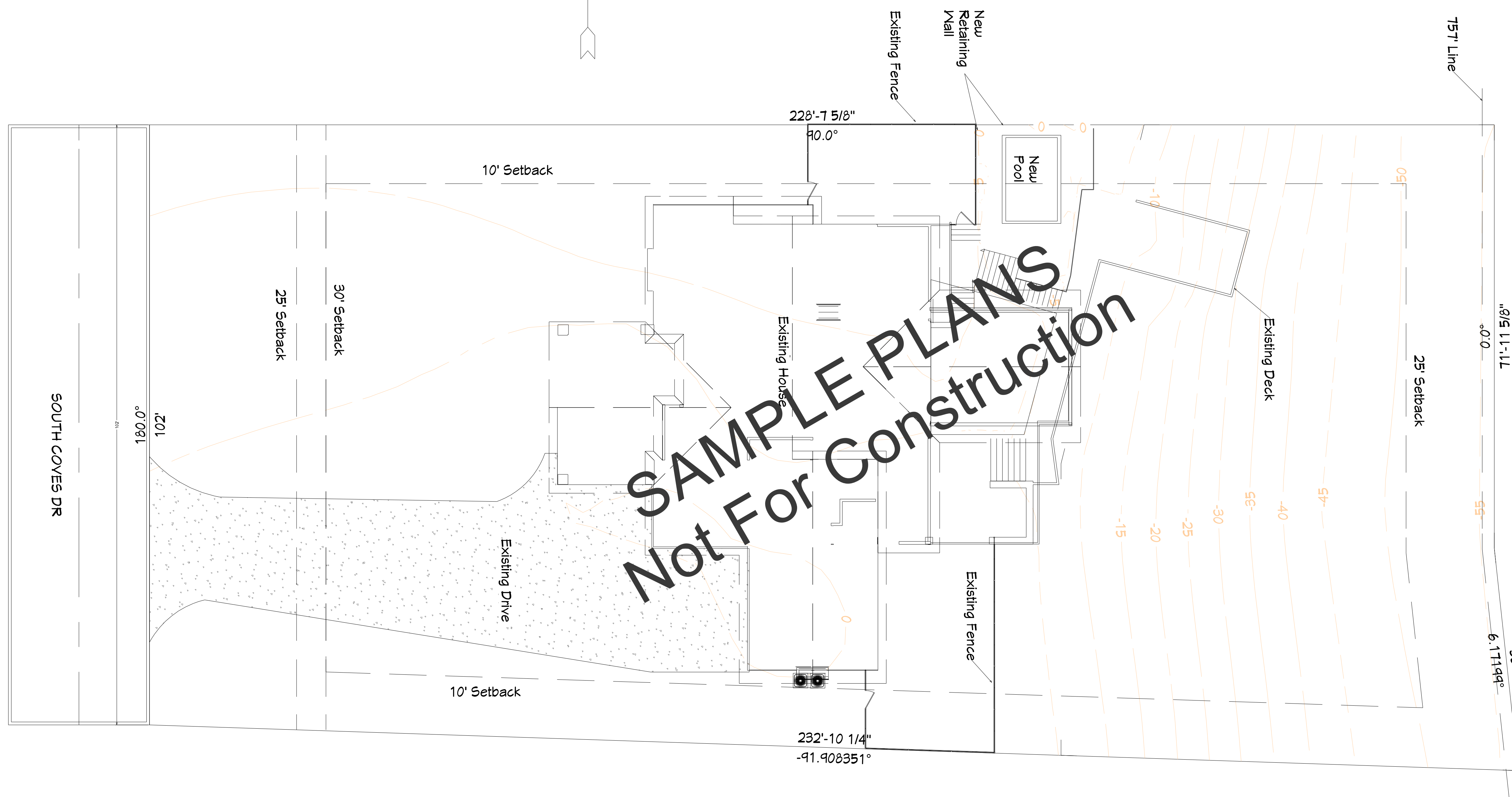
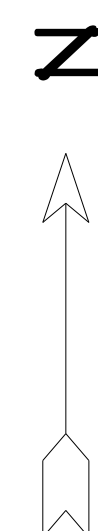
Prior to excavation Contractor to schedule a utility locate.
Okie Dig Phone number:
811 or 1-800-522-OKIE (6543)

EROSION CONTROL NOTES:

- Install silt fence prior to any excavation or construction.
- Minimize site disturbance by tight control of excavation limits.
- All exposed soil shall be mulched with straw or wood chips to minimize soil erosion. No soil shall be left in an exposed condition. It is recommended that the contractor maintain a stock pile of this material on site for quick application.
- Hydroseed with a wood cellulose fiber mulch applied at a rate of 2,000#/acre. Use an organic tackifier at no less than 150 #/acre or per manufacture's recommendation if higher. Application of tackifier shall be heavier at edges, in valleys and at crests of banks and other areas where seed can be moved by wind or water.
- Dispersion trenches shall overflow onto native undisturbed ground. No site disturbance below trenches.

GRADING NOTES:

- Contractor to verify location of all existing utilities.
- Provide positive drainage away from building.
- Final grade to convey surface drainage toward rock channels and dispersion trenches.
- Areas to be filled shall be cleared, grubbed to remove trees, vegetation, roots and other objectionable material and stripped of topsoil.
- Place fill slopes with a gradient steeper that 3:1 in lifts not to exceed 8 inches, and make sure each lift is properly compacted.



Site Plan
Scale: 1"=10'

SHEET NOTES:

- Final grade to slope 6" per 10'-0" away from the house for the first 10'-0".
- All concrete pads to slope at 5% or 2" per 1'-0" away from building.
- General Contractor responsible for all utility locates and subsurface utility engineering for this project.
- General Contractor responsible for contacting Site Wise prior to digging for utility locate service. Call 811 or 1-800-522-6543
- General Contractor to immediately notify Site Wise if un-located utilities are encountered.
- 3/4" Domestic water line to be type 'K' copper.
- Drives and walks to be 4" concrete, minimum 3,000 psi at 28 days.
- The General Contractor shall be responsible for repairing any trenches or excavations that settle for a minimum of 1 year.
- The General Contractor shall prevent sediment, debris and all other pollutants from entering the storm sewer system during all construction operations.

LEGEND	
WATER SUPPLY LINES	
	C/W
SANITARY SEWER LINES	
	S
ELECTRICAL SERVICE	
	E/L
GAS LINE	
	G

SAMPLE PLANS HOME REMODEL

Stamp:

Revisions:

1. NOT FOR CONSTRUCTION
- 2.
- 3.
- 4.
- 5.
- 6.
- 7.

Print Scale:

24"x36"

Date:

Title:

SITE PLAN

Sheet:

A.1

Contractor, Owner and/or Subcontractors review and verify all dimensions, Specs, and connections before Construction begins.

Electrical system code: sec.2701
Mechanical system code: sec.2801
Plumbing system code: sec.2901



GreenLeaf Designs
Tulsa, OK
918-524-9721

GreenLeafArchitecture.com

**SAMPLE PLANS
HOME REMODEL**

Stamp:

Revisions:

1. NOT FOR CONSTRUCTION
- 2.
- 3.
- 4.
- 5.
- 6.
- 7.

Print Scale:

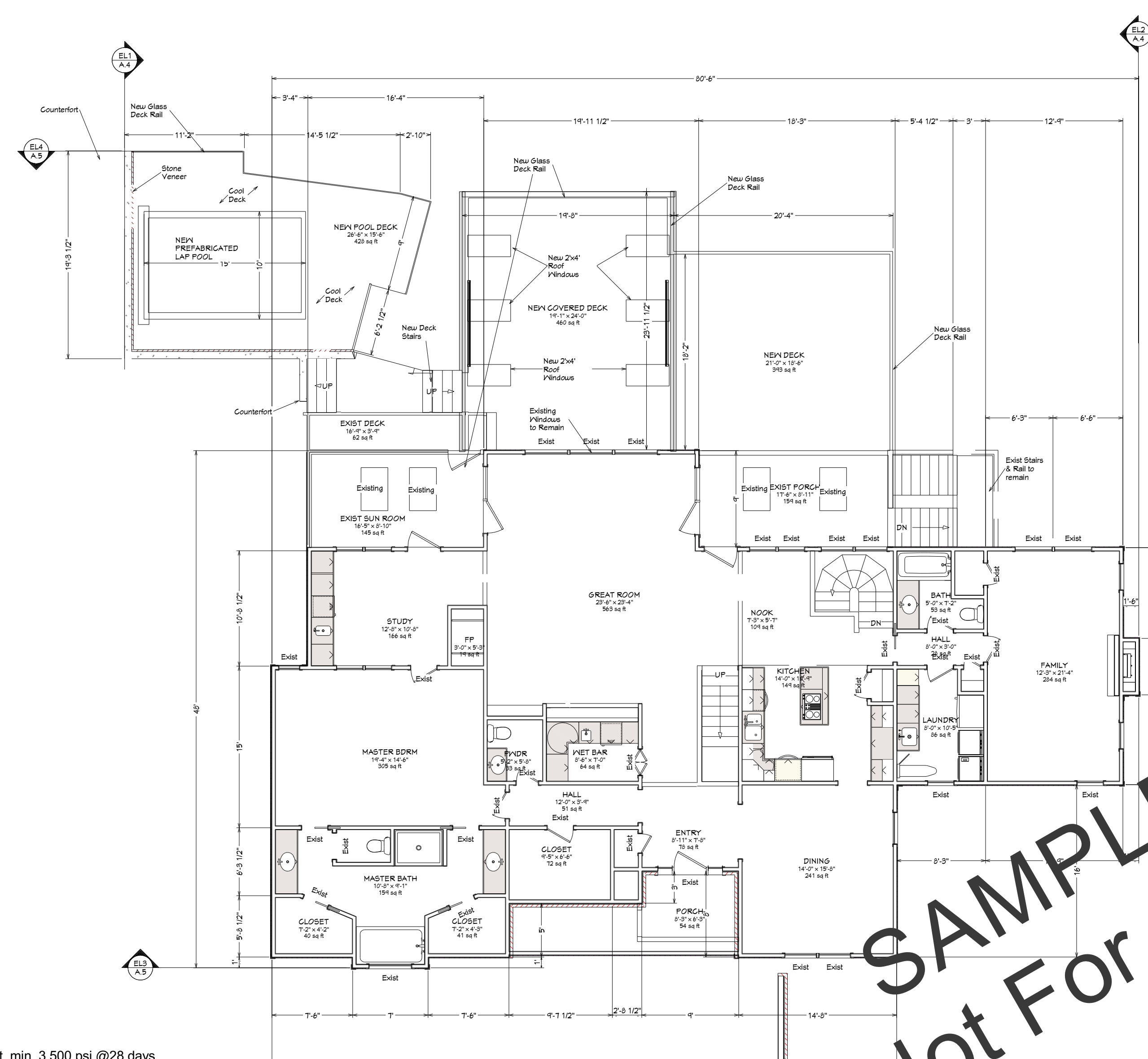
24"x36"

Date:

Title:
MAIN LEVEL
FLOOR PLAN

Sheet:

A.2



**Main Level Floor Plan
Scale: 1/8"=1'**

PROJECT NOTES:

- Foundation**
- Footings: 24"x21" cont. min. 3,500 psi @ 28 days
 - Interior Footing: 21"x18", min. 3,500 psi @ 28 days
 - Concrete Beam: 18"x18", min. 3,500 psi @ 28 days
 - Caisson: 18" dia. min. 3,500 psi @ 28 days
 - Walk/Drive Footing: 12"x18" min. 2,500 psi @ 28 days
 - Concrete Slab: 4" concrete slab, min. 3,000 psi @ 28 days

- Framing**
- Roof Ridges to be 2"x12" LVL
 - Roof Rafters to be 2"x10" lumber 16" OC.
 - Deck Joists to be 2"x12" Treated, 16" OC

- Exterior Veneer**
- Wall Veneer: Hardie Siding / Masonry
 - Fascia: 7-1/2" HardieTrim HZ10
 - Soffit: 18" HardieSoffit vented HZ10
 - Porch/Portico Ceiling: 4'x8' Hardie Beaded Porch Panels
 - Corner Boards: 1"x6" HardieTrim HZ10

- Roofing**
- Dimensional Architect Asphalt Shingle
 - Gutters to be 5" (6" ok) seamless metal gutters w/ downspouts.

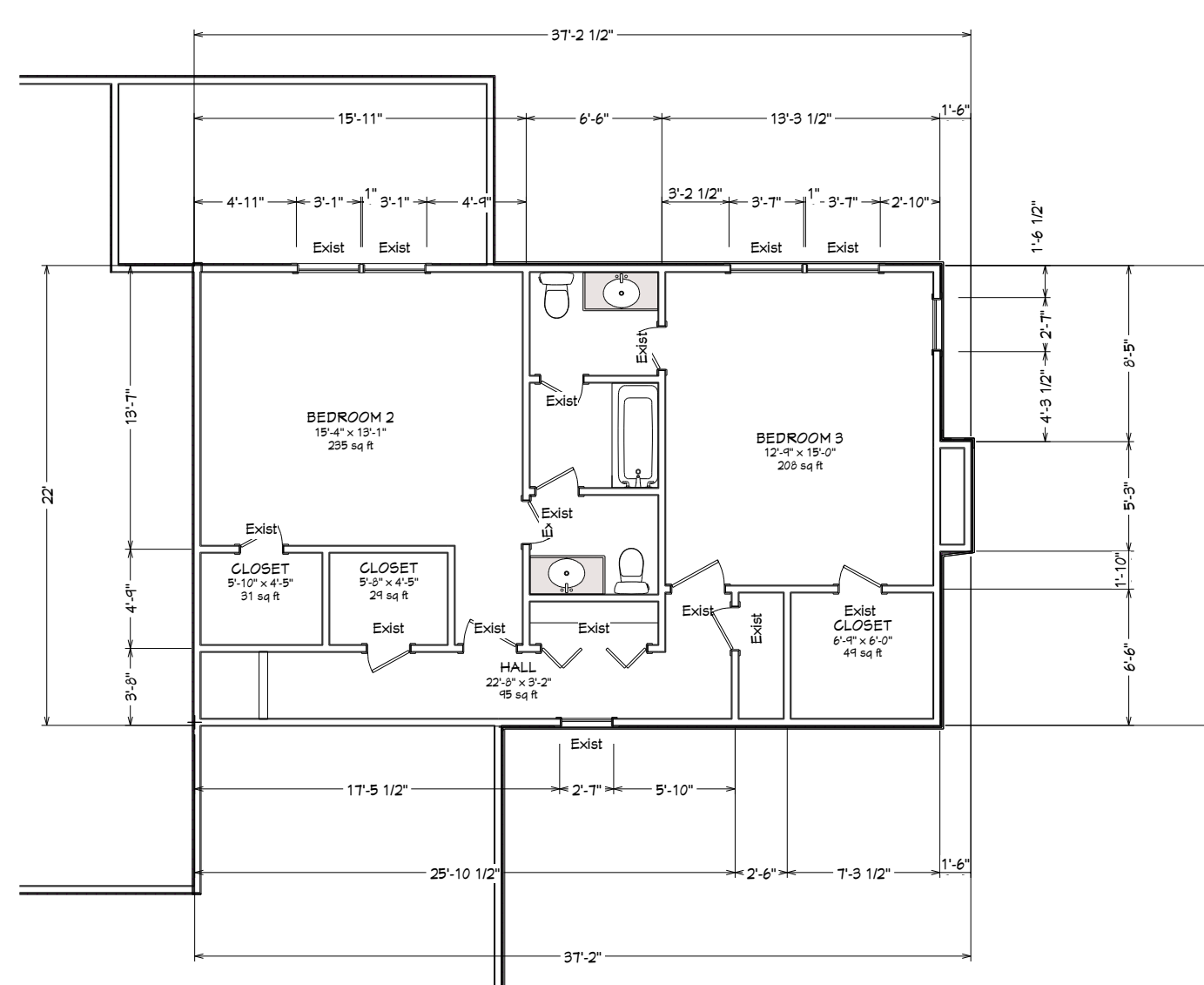
- Electrical**
- All electrical fixtures to be Energy Star rated when possible.
 - All ceiling fans to be Energy Star rated.
 - All recessed light fixtures to have LED bulbs and have dimmer controlled switches.
 - All switches to be 'toggle' style.

- Appliances**
- All standard appliances to meet or exceed Energy Star standards when possible.
 - Appliances to be installed per Manufacturer's Installation Instructions.

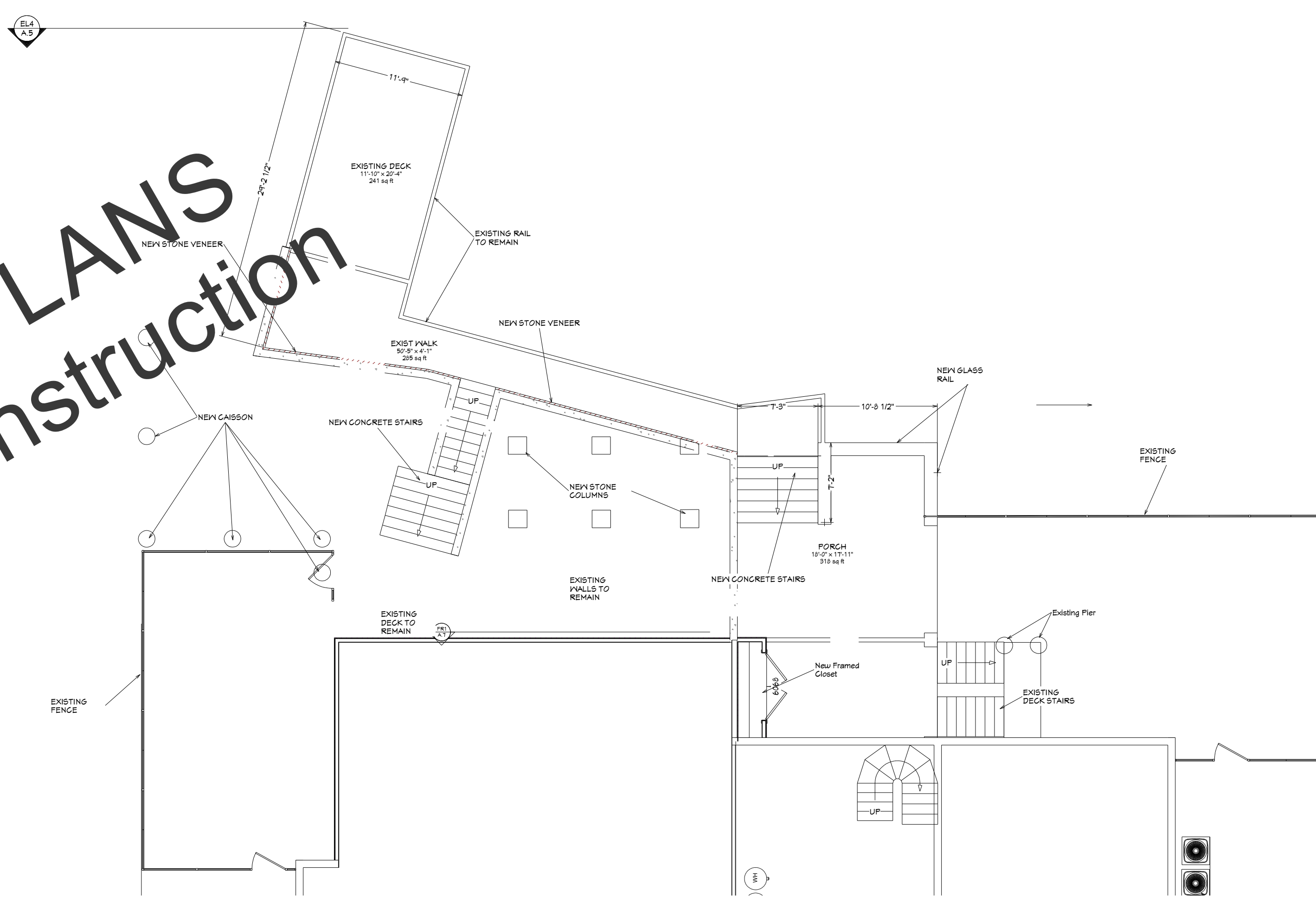
- Millwork**
- Decorative beams to be painted treated beams.

- Paint**
- All Exterior paint to be painted with semi-gloss paint. Three coats paint. 100% Acrylic
 - All Exterior trim, metal railings and doors to be painted with gloss paint. Three coats paint. 100% Acrylic
 - All decks and wood railings to be stained and sealed with deck sealer.

- Glazing**
- New tempered 3/8" heavy glass railing with frameless hardware.



**Upper Level Floor Plan
Scale: 1/8"=1'**



**Lower Level Floor Plan
Scale: 1/8"=1'**

SHEET NOTES:

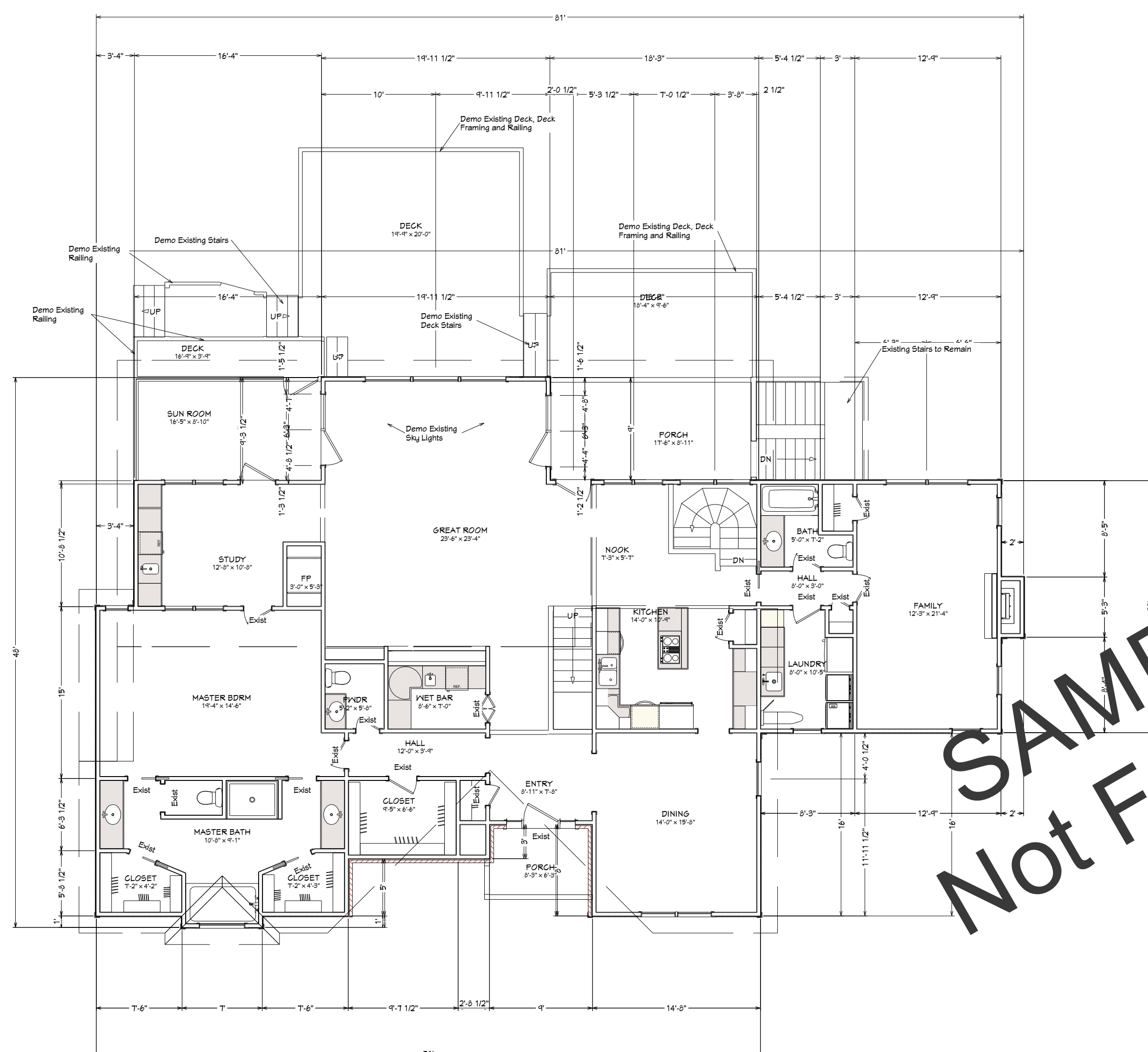
- All wall lumber and posts shall be treated where comes in contact with concrete.
- Swimming pool to be prefabricated lap pool selected by Owner. Pool to have built-in pump and filtration system. Electrician to supply 220v power to pool location. Exact power tie-in location to be determined by Electrician and Pool Installation Contractor.
- Swimming pool to have automatic retractable pool cover system. System to be installed per manufacturers installation recommendations.
- Actual site and structure measurements and conditions may vary slightly. Contractor to verify all measurements and conditions prior to construction. Contractor to assume liability and responsibility for construction based upon these drawings.



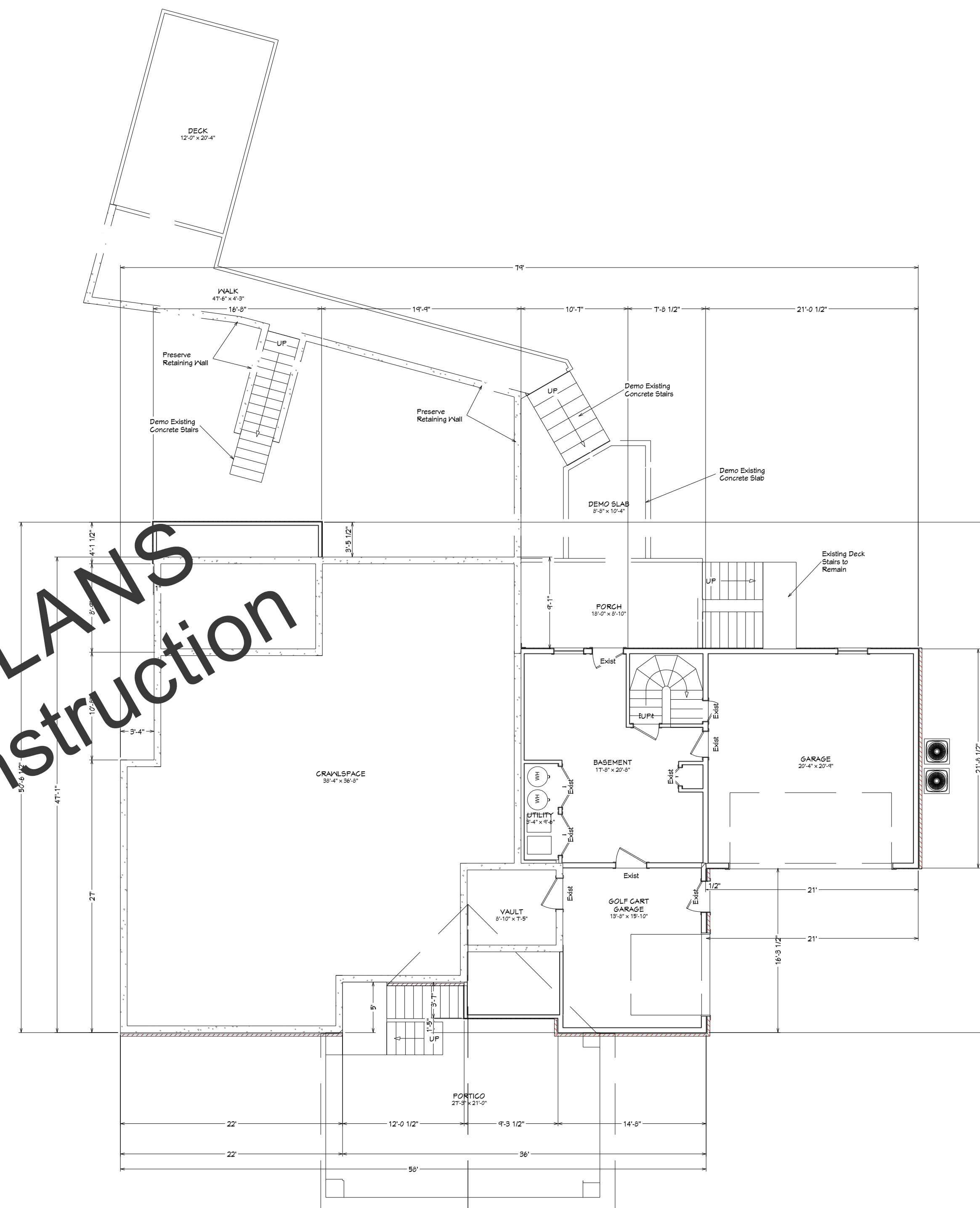
GreenLeaf Designs
Tulsa, OK
918-524-9721

GreenLeafArchitecture.com

SAMPLE PLANS HOME REMODEL



Demo Plan
Scale: 1/8"=1'



Demo Plan
Scale: 1/8"=1'

**SAMPLE PLANS
Not For Construction**

DEMO NOTES:

- Demo existing rear decks, prep for new.
- Demo existing deck railing, prep for new
- Demo existing deck framing, prep for new
- Demo deck railing at sunroom, deck to remain.
- Demo concrete slab as shown, prep for new slab
- Demo concrete stairs as shown, prep for new concrete stairs.
- Demo long stairs and prep for new concrete stairs.
- Demo existing wood decorative cap on lower retaining wall, prep for new stone veneer.
- Prep lower porch area for new exterior closet.
- Existing conditions and dimensions may vary slightly. Contractor to verify all measurements prior to construction.

Stamp:

Revisions:

1. NOT FOR CONSTRUCTION
- 2.
- 3.
- 4.
- 5.
- 6.
- 7.

Print Scale:

24"x36"

Date:

Title:
DEMO PLAN

Sheet:

A.3



GreenLeaf Designs
Tulsa, OK
918-524-9721

GreenLeafArchitecture.com

**SAMPLE PLANS
HOME REMODEL**

Stamp:

Revisions:

1. NOT FOR CONSTRUCTION
- 2.
- 3.
- 4.
- 5.
- 6.
- 7.

Print Scale:

24"x36"

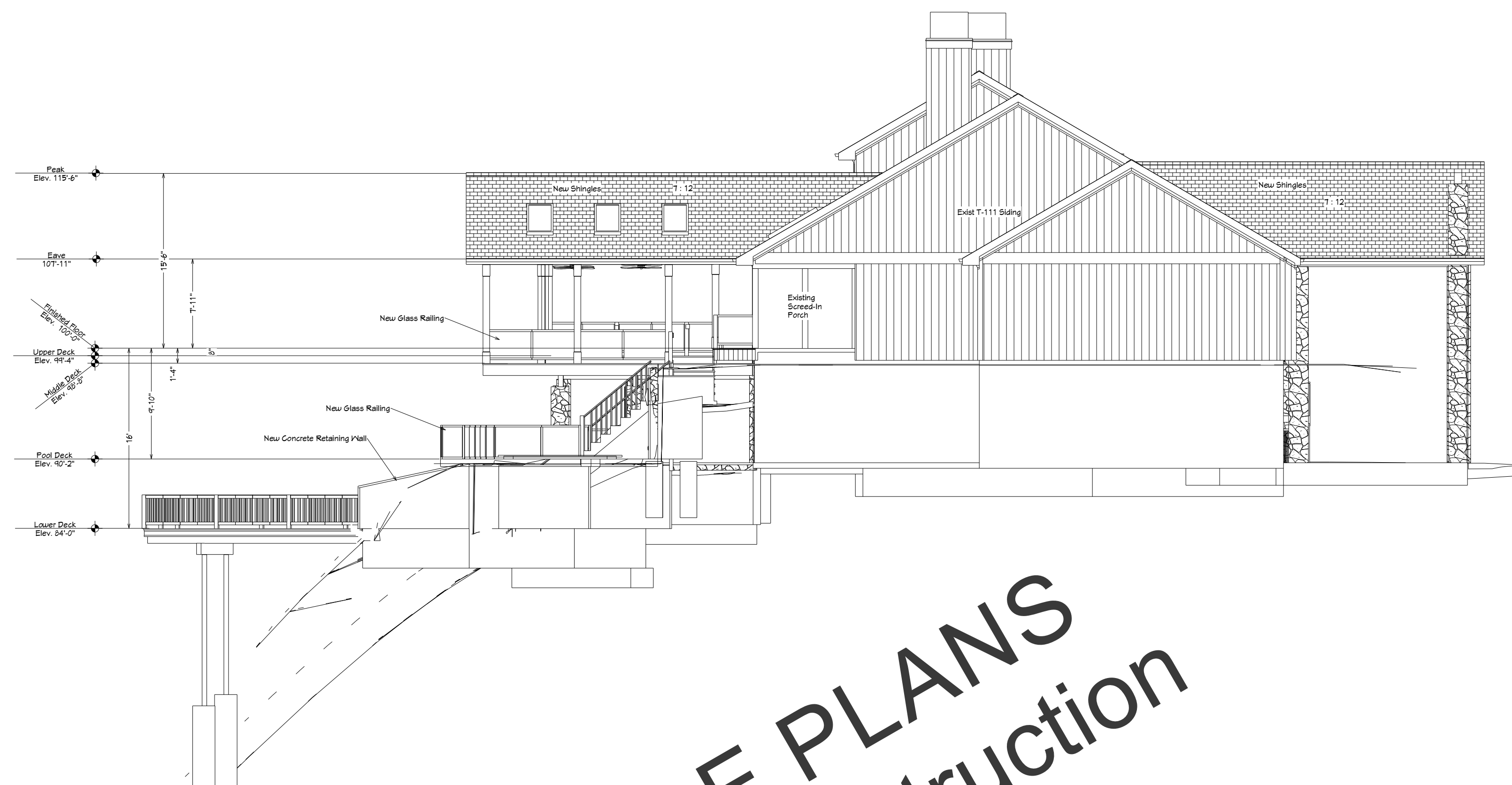
Date:

Title:

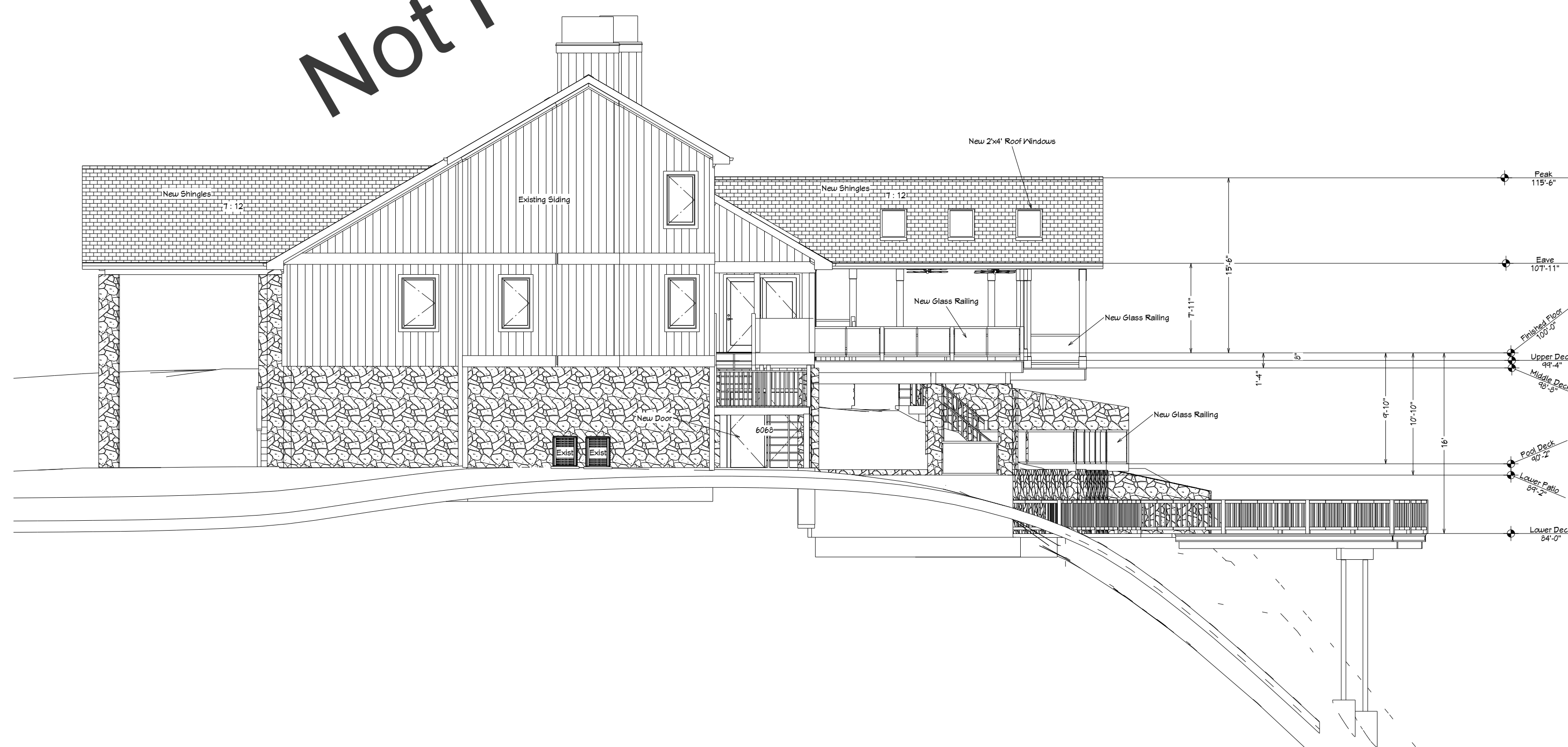
EXTERIOR
ELEVATIONS

Sheet:

A.4



EL1 North Elevation
A.4 Scale: 1/4" = 1'



EL2 South Elevation
A.4 Scale: 1/4" = 1'

EXTERIOR FINISH NOTES:

- Exterior finish to be siding and masonry over 7/16 OSB ply. Window & door trim color by owner.
- Roofing to be dimensional asphalt over 30# felt, 7/16" OSB ply.
- Downspouts to collect roof run off to be directed away from structure.
- Finish grade shall slope away from structure min. 1/2" per 1'-0" of run for first 10'.

ROOFING NOTES:

- Main Roof : 7:12
- Porch Roof: 7:12
- Gutters: 5" (6" ok) Seamless Metal Gutters
- Roofing: Dimensional Architect Asphalt Shingle
- Roof Overhang to be 18" Gables and 18" Eaves



GreenLeaf Designs
Tulsa, OK
918-524-9721

GreenLeafArchitecture.com

**SAMPLE PLANS
HOME REMODEL**

Stamp:

Revisions:

1. NOT FOR CONSTRUCTION
- 2.
- 3.
- 4.
- 5.
- 6.
- 7.

Print Scale:

24"x36"

Date:

Title:

EXTERIOR
ELEVATIONS

Sheet:

A.5



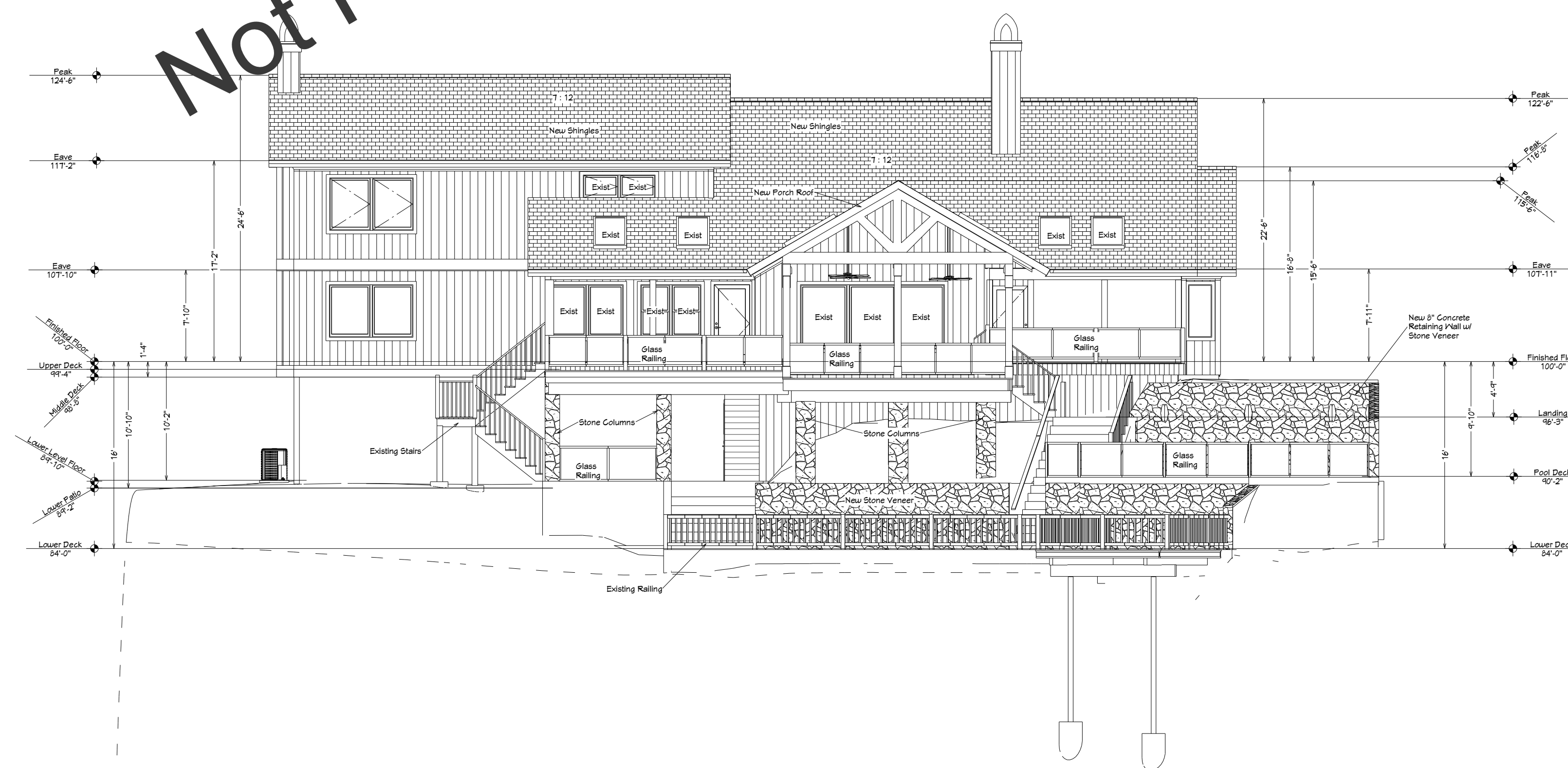
EL3 West Elevation
A.5 Scale: 1/4" = 1'

EXTERIOR FINISH NOTES:

- Exterior finish to be siding and masonry over 7/16 OSB ply. Window & door trim color by owner.
- Roofing to be dimensional asphalt over 30# felt, 7/16" OSB ply.
- Downspouts to collect roof run off to be directed away from structure.
- Finish grade shall slope away from structure min. 1/2" per 1'-0" of run for first 10'.

ROOFING NOTES:

- Main Roof : 7:12
- Porch Roof: 7:12
- Gutters: 5" (6" ok) Seamless Metal Gutters
- Roofing: Dimensional Architect Asphalt Shingle
- Roof Overhang to be 18" Gables and 18" Eaves



EL4 East Elevation
A.5 Scale: 1/4" = 1'