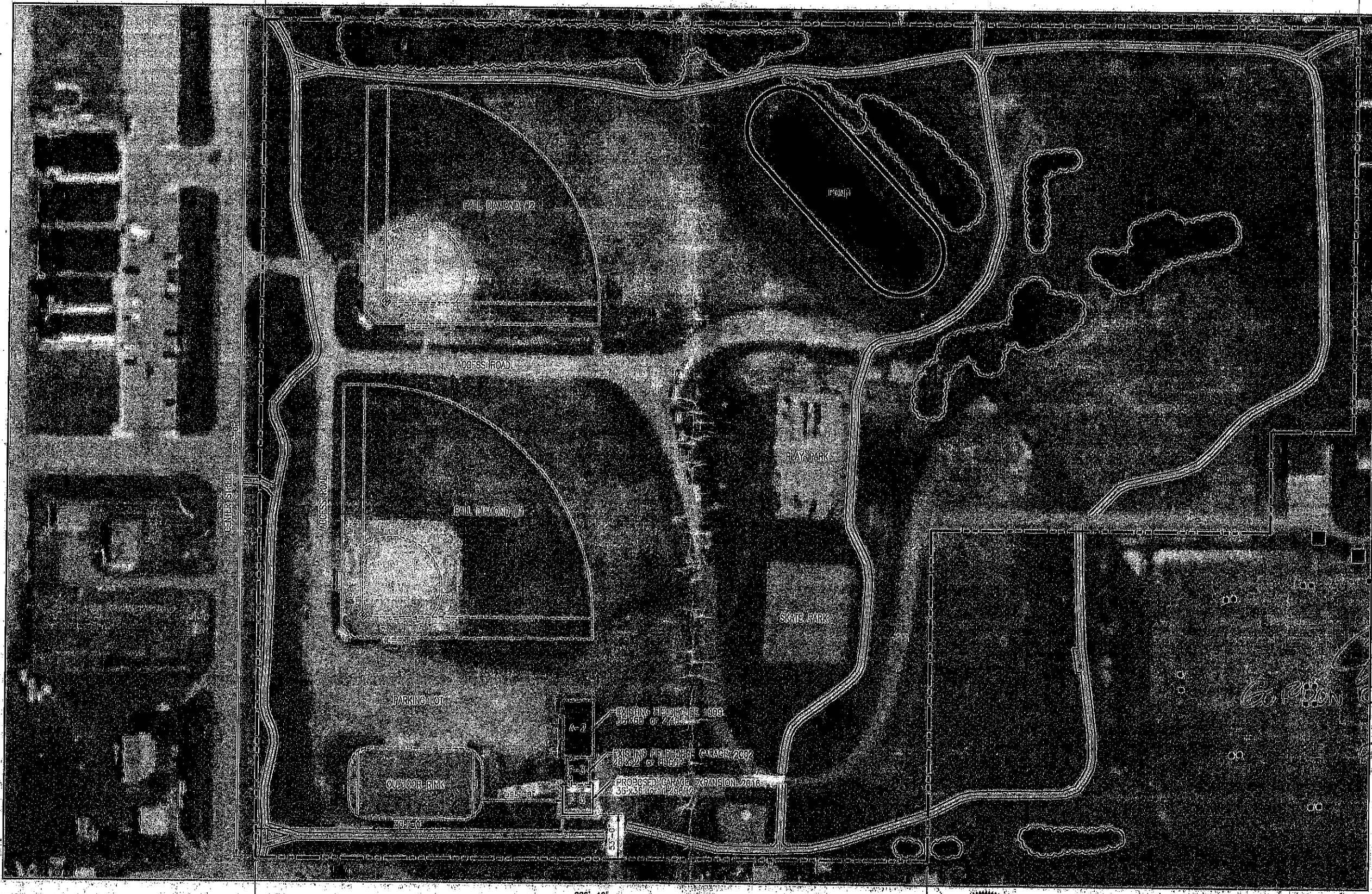
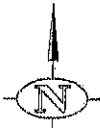


<b>PROJECT TITLE</b>	Langdon FieldHouse Building
Date	November 10, 2016
<b>Project Description</b>	
<b>Proposed Project</b>	Storage Garage Addition to an Existing Building
<b>Floor Area of Addition</b>	1,296 SF/ 120SM
<b>Existing Building</b>	Community Building, 1 level
<b>Existing Floor Area</b>	3,361 SF/ 312 SM
<b>Total Floor Area ( Existing + Garage Addition )</b>	4,657/ 432 SM
<b>Item &amp; Code Reference</b>	
Major Occupancy, ABC 3.2.2.25	A-2, Community Building
Minor Occupancy, F3	storage garage
Allowable Construction	combustible/ noncombustible construction
	45 minute Fire rated, fire retardant treated wood for roof system
	if building area is less than 800 SM
Facing No. of Streets	1
Maximum Area Permitted	1,600SM
Actual Building Area	432SM
Building Height	approx. 6.5M/ 21'6
Occupant Load, ABC 3.1.17	storage garage 120SM/ 46SM per user= 2.6; maximum = 3
Sprinklered	not required
Firewall, ABC 3.1.10	not required
<b>Occupancy Separation</b>	
Storage Garage Separation 3.3.5.6	1.5 hour fire separation
<b>Spatial Protection</b>	
South Wall	Facing the Street, not required
East/ West Wall	facing the park, not required
<b>Building Safety, Fire Alarm and Detection Systems</b>	
Automatic Fire Suppression, ABC 3.2.1.7	not required
Fire Alarm, ABC 3.2.4.1	not required
Fire Detectors, ABC 3.2.4.10	not required
Smoke Detectors, ABC 3.2.4.11	not required
Automatic Fire Suppression System, AFC 3.2.7.9.2b	not required
<b>Provisions for Fire Fighting</b>	
Access Route, ABC 3.2.5.5	existing
Water Supply, ABC 3.2.5.7	not required
Standpipe Systems, ABC 3.2.5.8	not required
Hose Cabinet, ABC 3.2.5.11	not required
Portable Fire Extinguishers, ABC 3.2.5.17	required
Voice Communication Systems, ABC 3.2.6.8	not required
Emergency Lighting, ABC 3.2.7.3.	required
Emergency Power for Lighting, ABC 3.2.7.4	required
<b>Hazardous Substance</b>	
Hazardous Substance, ABC 3.3.1.2	not required
Dangerous Goods, AFC 3.2.7.1B	not required
<b>Exiting Requirements</b>	
Travel Distance Allowed, ABC 3.4.2.5	30 meters max
No. of Exits, ABC 3.4.2.1	main floor - min. Of 2
<b>Service Facilities</b>	
Service Room, 3.6.2.1.6	not applicable
Vertical Service Spaces, 3.6.3	not applicable
Horizontal Service Spaces, 3.6.4	not applicable
Roof Access, 3.6.4.7	not applicable
Air Duct and Plenum, 3.6.5	not applicable
<b>Barrier Free Design</b>	
Application, 3.8.1.1	not applicable to the storage garage

1310'-0"



802'-10"

**SITE PLAN**  
LEGAL DESCRIPTION: LOT 30, BLOCK, 1, PLAN 9512554  
NW-23-23-27-W4M



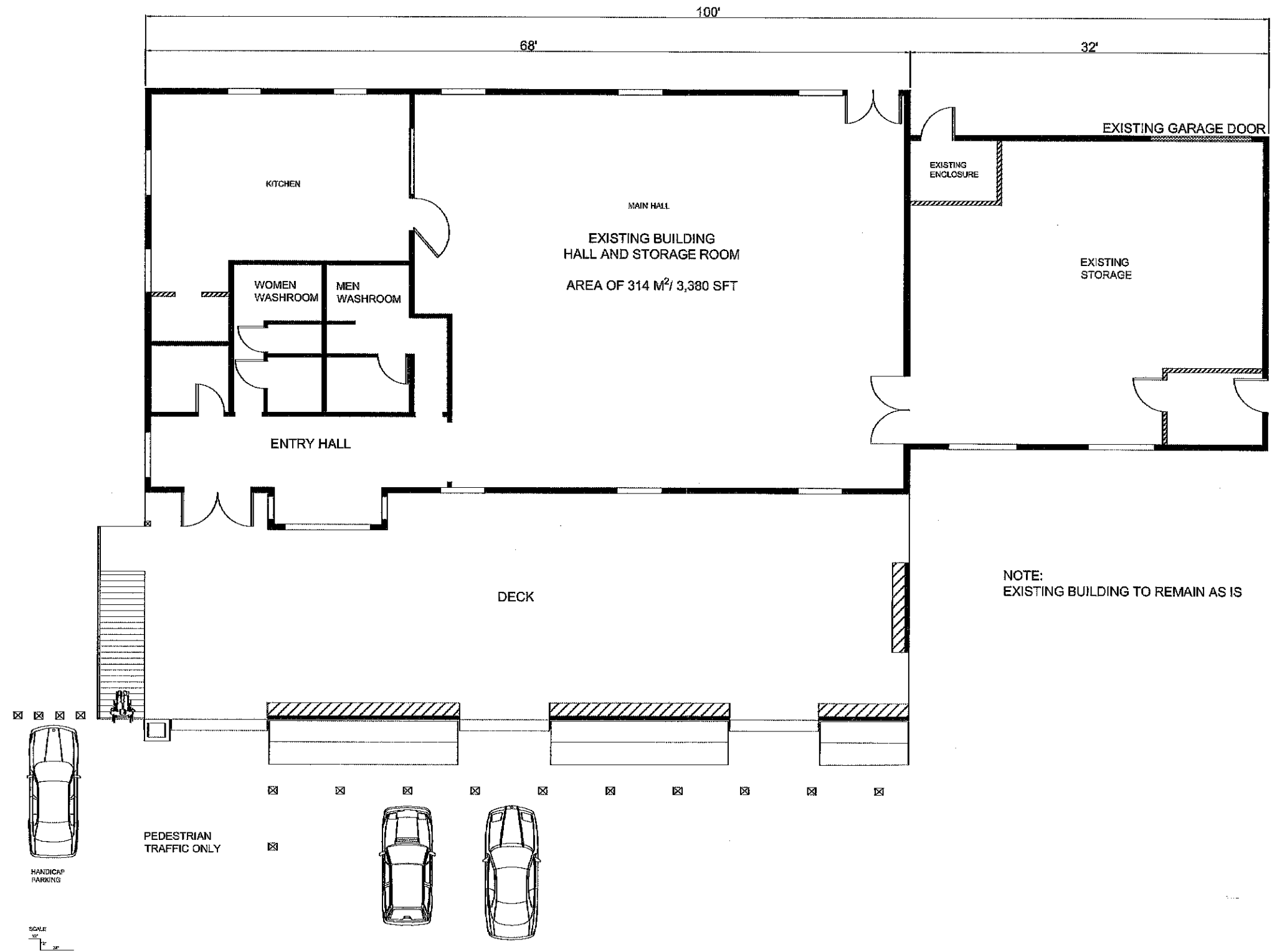
ZULUETA ARCHITECTURE LTD.  
PERMIT No. AC 10371  
ISSUED PURSUANT TO THE  
ARCHITECTS ACT OF ALBERTA

11/22/2016

LANGDON PARK  
PROPOSED GARAGE EXPANSION LOCATION

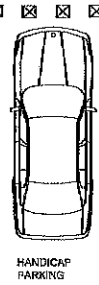
SCALE: 1" = 125'-0"

County  
FEB. 06 - 17  
7/1/17  
car  
CAUSCH 85-54  
20162017



NOTE:  
EXISTING BUILDING TO REMAIN AS IS

PEDESTRIAN  
TRAFFIC ONLY



SCALE  
1" = 10'

**CDL**<sub>PM</sub>  
Renovations

CDL LTD.  
292055 WAGON WHEEL BLVD.  
ROCKY VIEW COUNTY, ALBERTA, T4A 0E2  
P. 403-236-1948  
JC@YEARROUNDLANDSCAPING.COM

NO.	NAME	DATE
DESIGN BY:	CDL	NOV/16
REVISION:		
PROJECT MANAGER: JOE CAPUTO		

PROJECT NO # R-2092  
NAME  
LANSDON - FIELD HOUSE - GARAGE ADDITION  
CLIENT  
LANSDON COMMUNITY ASSOCIATION  
FIELD HOUSE UPGRADE  
344 CENTRE STREET LANSDON

DATE	SCALE
	3/32" = 1'
FORMAT	11X17
UNITS	IMPERIAL
SHEET	A01 EXISTING

Architect  
**zulueta architecture**  
180, 707 19 AVE SW, CALGARY AB, T2R 0B3  
P 587 355 8433, 403 618 6079 F 403 280 2285  
info@zuluetaarchitecture.com



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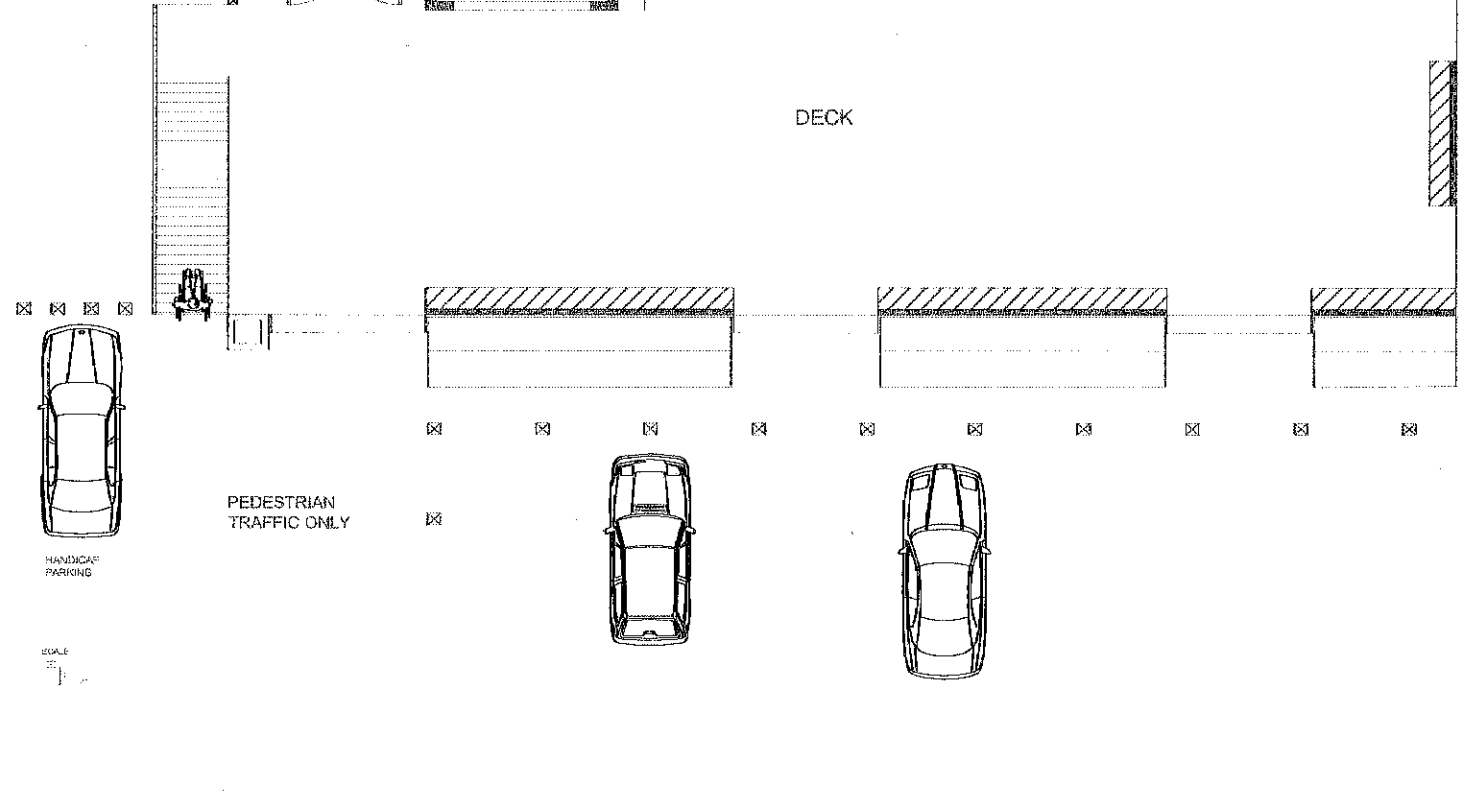
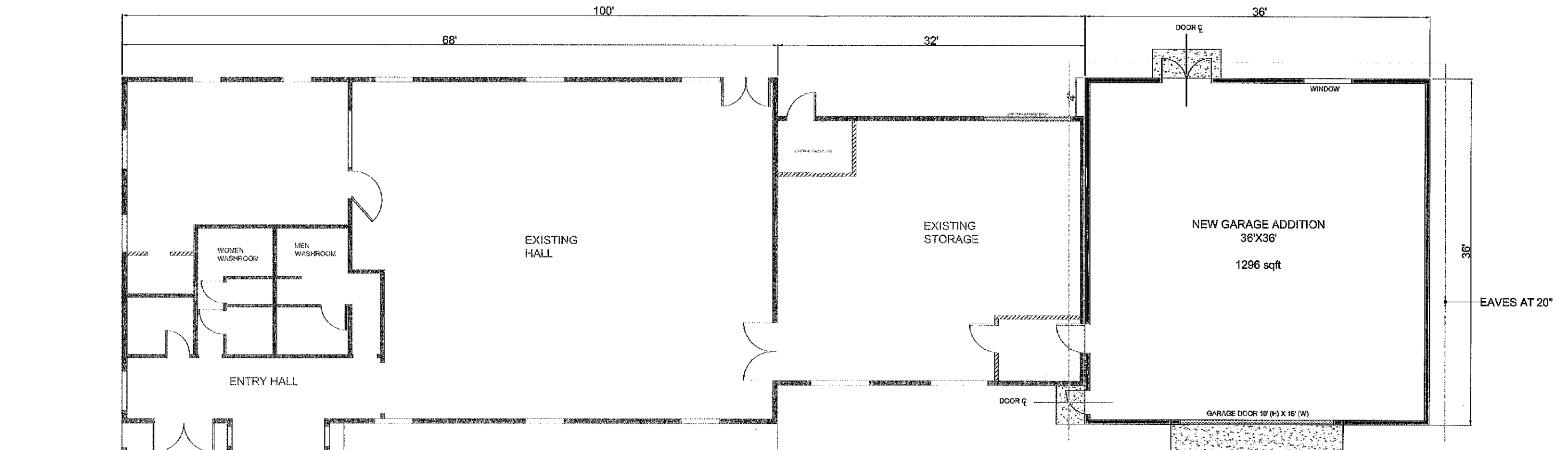
PERMIT SEAL



ZULUETA ARCHITECTURE LTD.  
PERMIT NO. AC 19271  
ISSUED PURSUANT TO THE  
ARCHITECTS ACT OF ALBERTA

11/22/2016





A02 - PROPOSED GARAGE ADDITION  
SCALE 3/32" = 1'

BUILDING CODE REVIEW	
PROJECT TITLE	Langdon Field House Building
PROPOSED PROJECT	Storage Garage Addition to an Existing Building
Floor Area of Addition	1,296 SF/ 120SM
Existing Building	Community Building, 1 level
Existing Floor Area	9,361 SF/ 912 SM
Total Floor Area ( Existing + Garage Addition )	4,657/ 432 SM
Major Occupancy, ABC 3.2.2.25	A-2, Community Building
Minor Occupancy, F3	storage garage
Allowable Construction	combustible/ noncombustible construction
Fire Rating	45 minute fire rated, fire retardant treated wood for roof system
Facing No. of Streets	1
Maximum Area Permitted	1,600SM
Actual Building Area	432SM
Building Height	approx. 6.5M/ 21'
Occupant Load, ABC 3.1.17	storage garage 120SM/ 465M per user= 2.6; maximum = 3
Smoke Alarms	not required
Fire Alarm, ABC 3.2.4.1	not required
Fire Detectors, ABC 3.2.4.10	not required
Smoke Detectors, ABC 3.2.4.11	not required
Automatic Fire Suppression System, AFC 3.2.7.9.2b	not required
Storage Garage Separation 3.3.5.6	1.5 hour fire separation
Special Protection	
South Wall	Facing the Street, not required
East/ West Wall	Facing the park, not required
Building Safety, Fire Alarm and Detection Systems	
Automatic Fire Suppression, ABC 3.2.1.7	not required
Fire Alarm, ABC 3.2.4.1	not required
Fire Detectors, ABC 3.2.4.10	not required
Smoke Detectors, ABC 3.2.4.11	not required
Automatic Fire Suppression System, AFC 3.2.7.9.2b	not required

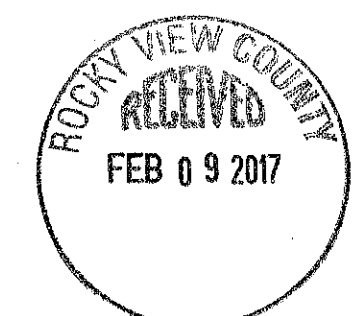
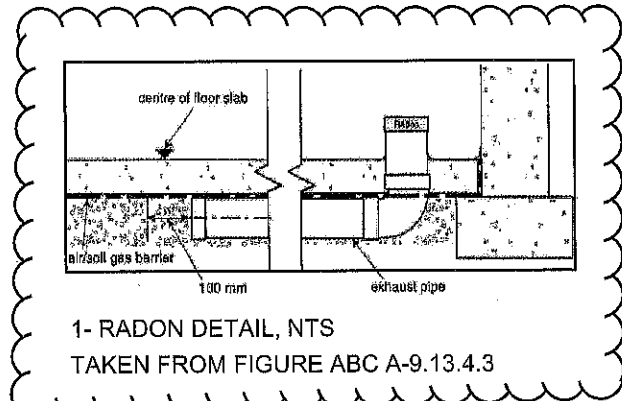
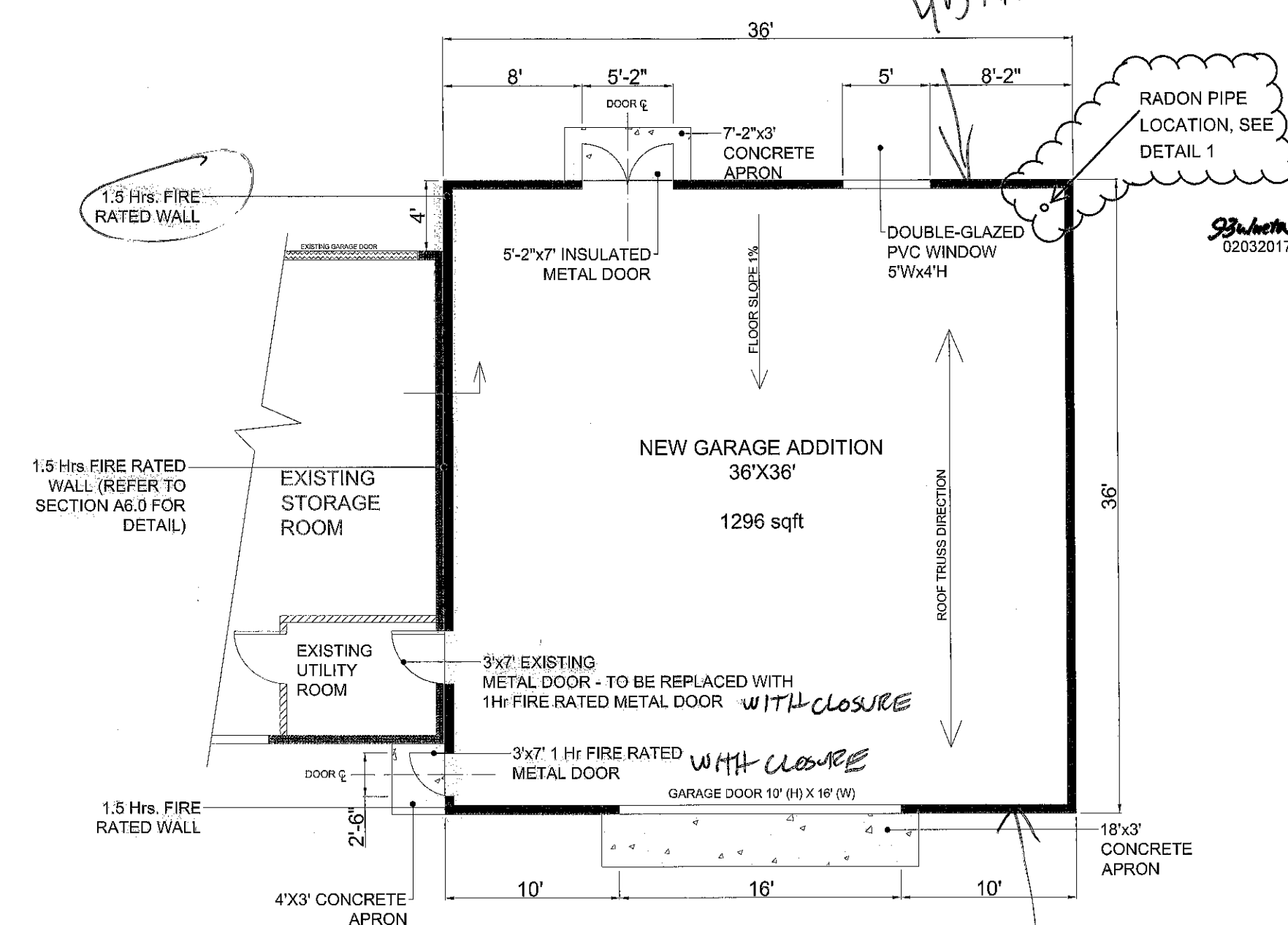
Code Reference	Requirement	Compliance
Access Route, ABC 3.2.5.5	existing	existing
Water Supply, ABC 3.2.5.7	not required	not required
Standpipe Systems, ABC 3.2.5.8	not required	not required
Hose Cabinet, ABC 3.2.5.11	not required	not required
Portable Fire Extinguishers, ABC 3.2.5.17	required	required
Voice Communication Systems, ABC 3.2.6.8	not required	not required
Emergency Lighting, ABC 3.2.7.5	required	required
Emergency Power for Lighting, ABC 3.2.7.4	required	required
Hazardous Substances		
Hazardous Substance, ABC 3.3.1.2	not required	not required
Dangerous Goods, AFC 3.2.7.1B	not required	not required
Exit Requirements		
Travel Distance Allowed, ABC 3.4.2.5	30 meters max	30 meters max
No. of Exits, ABC 3.4.2.1	main floor - min. of 2	main floor - min. of 2
Service Rooms		
Service Room, 3.5.2.1.6	not applicable	not applicable
Vertical Service Spaces, 3.5.3	not applicable	not applicable
Horizontal Service Spaces, 3.5.4	not applicable	not applicable
Roof Access, 3.6.4.7	not applicable	not applicable
Air Duct and Plenum, 3.6.5	not applicable	not applicable
Garage Fire Design		
Application, 3.6.1.1	not applicable to the storage garage	not applicable to the storage garage

- ALL WORKS TO FOLLOW ALBERTA BUILDING CODE 2014.

	<b>CDL</b> 292055 WAGON WHEEL BLVD. ROCKY VIEW COUNTY, ALBERTA, T4A 0E2 P.403-236-1948 JC@YEARROUNDLANDSCAPING.COM	NO. NAME DATE DESIGN BY: YRL NDW16	PROJECT NO # R-2092 NAME LANGDON - FIELD HOUSE - GARAGE ADDITION	DATE SCALE 3/32" = 1'	Architect <b>zulueta architecture</b> 150, 707 10 AVE SW, CALGARY AB, T2B 0R8 P.587.353.6433, 403.618.6079 F.403.232.2266 info@zuluetaarchitecture.com	PERMIT SEAL
		REVISION:	CLIENT LANGDON COMMUNITY ASSOCIATION FIELD HOUSE UPGRADE 344 CENTRE STREET LANGDON	FORMAT 11x17 UNITS IMPERIAL SHEET <b>A02</b> <b>PROPOSED GARAGE ADDITION</b>		

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45 MIN. F.R.R.

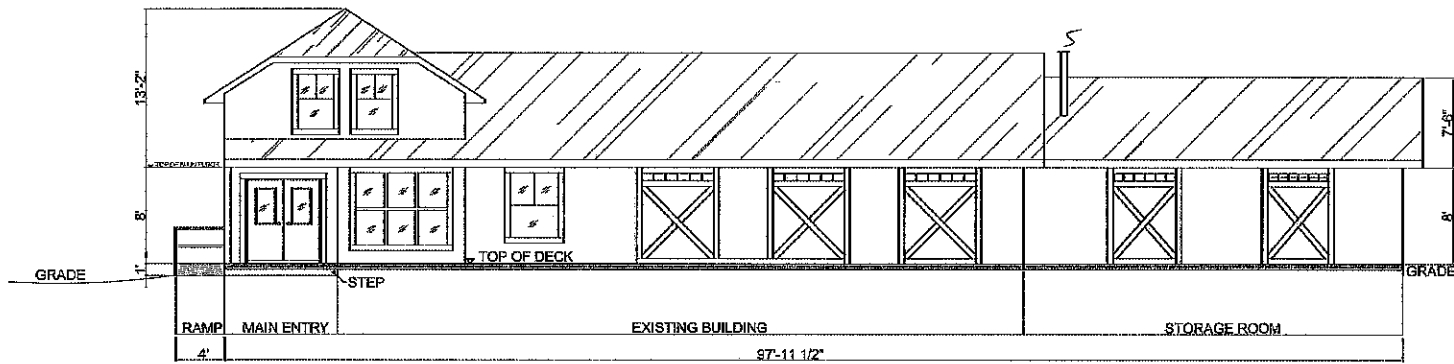


NOTE!  
 NEW GARAGE FLOOR ELEVATION  
 7" LOWER THAN EXISTING FINISHED FLOOR  
 ELEVATION. SEE STRUCTURAL  
 - ALL STRUCTURAL LOAD BEARING ELEMENTS-  
 45 MINUTE FIRE RATED.

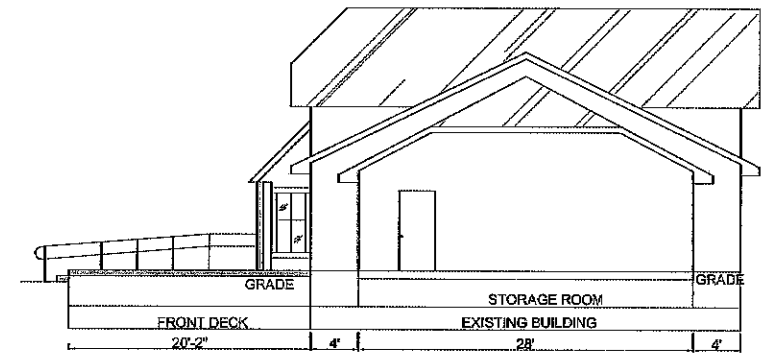
45 MIN. FIRE RESISTANCE RATING.

A04 - 1 GARAGE PLAN  
 SCALE 1/8" = 1'

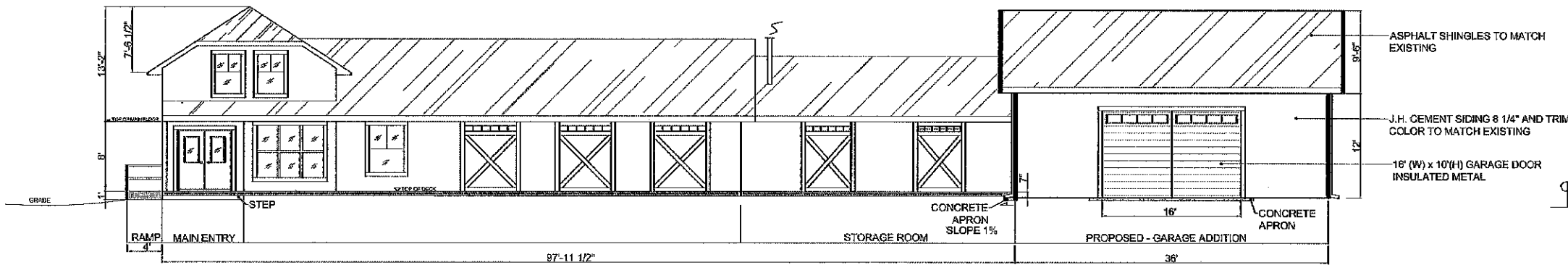
	CDL LTD. 292055 WAGON WHEEL BLVD. ROCKY VIEW COUNTY, ALBERTA, T4A 0E2 P.403-236-1948 JC@YEARROUNDLANDSCAPING.COM	NO. 1 NAME: Design by: CDL DATE: NOV/16 REVISION:	PROJECT NO # R-2092 NAME: LANGDON - FIELD HOUSE - GARAGE ADDITION CLIENT: LANGDON COMMUNITY ASSOCIATION FIELD HOUSE UPGRADE 844 CENTRE STREET LANGDON	DATE: NOV/16 SCALE: 1/8" = 1' FORMAT: 11x17 UNITS: IMPERIAL SHEET: A03 GARAGE PLAN	Architect: zulueta architecture 150, 707 16 AVE SW, CALGARY AB, T2R 0B3 P. 403 266 8463, 403 618 9079 F. 403 260 2280 info@zulusaarchitecture.com	PERMIT SEAL 	Copyright Reserved The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to the Architect without delay. The Copyrights to all designs and drawings are the property of the Architect. Reproduction or use for any purpose other than that authorized by Architect is forbidden.	ZULUETA ARCHITECTURE LTD. PERMIT No. AC 10071 ISSUED PURSUANT TO THE ARCHITECTS ACT OF ALBERTA 11/22/2016	
	PROJECT MANAGER: JOE DAPUTO								



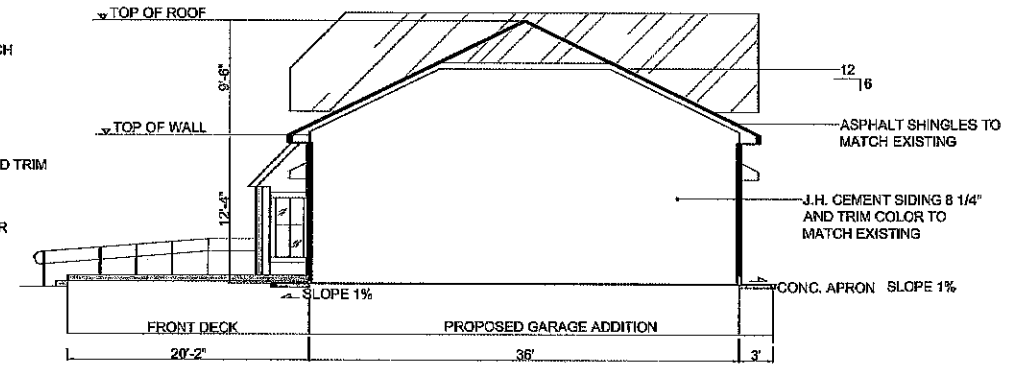
A03.1 EXISTING BUILDING - WEST ELEVATION



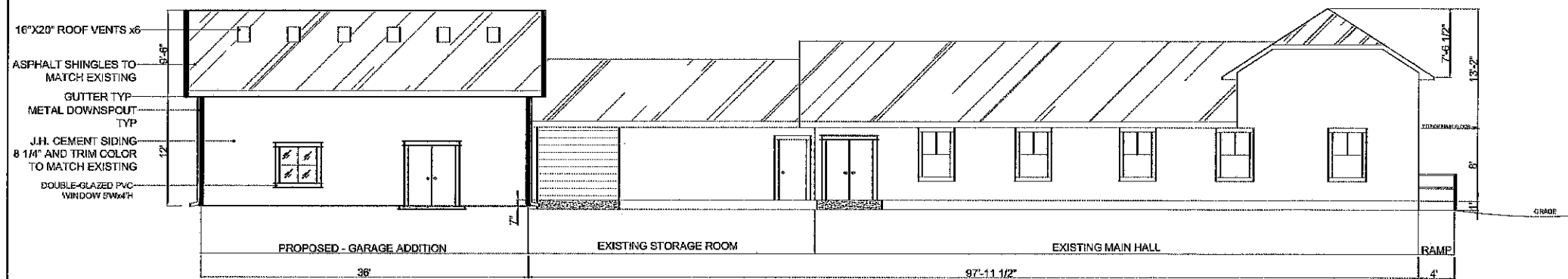
A03.2 EXISTING BUILDING - SOUTH ELEVATION



A03.3 PROPOSED GARAGE ADDITION - WEST ELEVATION



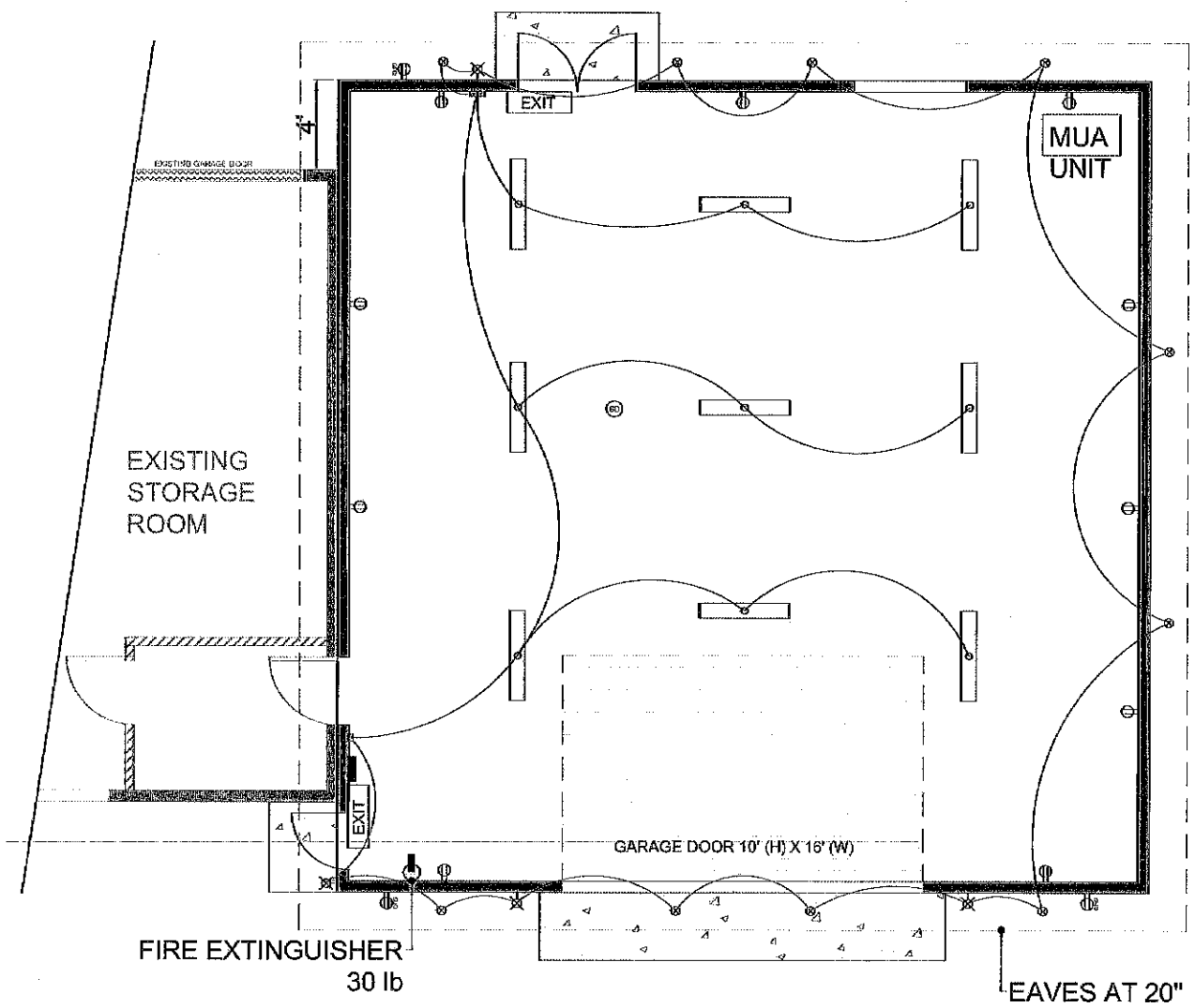
A03.4 PROPOSED GARAGE - SOUTH ELEVATION



A03.5 PROPOSED GARAGE ADDITION - EAST ELEVATION

	CDL 292055 WAGON WHEEL BLVD. ROCKY VIEW COUNTY, ALBERTA, T4A 0E2 P.403-236-1948 JD@YEARROUNDLANDSCAPING.COM	NO. NAME DATE DESIGN BY: CDL NOW16 REVISION:	PROJECT NO # R-2092 NAME LANGDON - FIELD HOUSE - GARAGE ADDITION CLIENT LANEDON COMMUNITY ASSOCIATION FIELD HOUSE UPGRADE 344 GENEVE STREET LANGDON	ARCHITECT zulueta architecture 150, 707 10 AVE SW, CALGARY AB, T2P 0S3 P 587 355 5433, 403 618 6079 F 408 203 2265 info@zuluetaarchitecture.com	PERMIT SEAL 
	PROJECT MANAGER: JOE CAPUTO	DATE 1/16 = 1' FORMAT 11x17 UNITS IMPERIAL SHEET A04 ELEVATIONS	Copyright Reserved The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to the Architect without delay. The Copyrights to all designs and drawings are the property of the Architect. Reproduction or use for any purpose other than that authorized by Architect is forbidden.		

LEGEND	
	Duplex receptacle GFCI, 120 V, 15 Amp
	Duplex receptacle, 120 V, 15 Amp
	Under-Eave pot lights
	T8 LED tube lights
	Smoke Detector
	Exterior lights - wall mounted
	EXIT



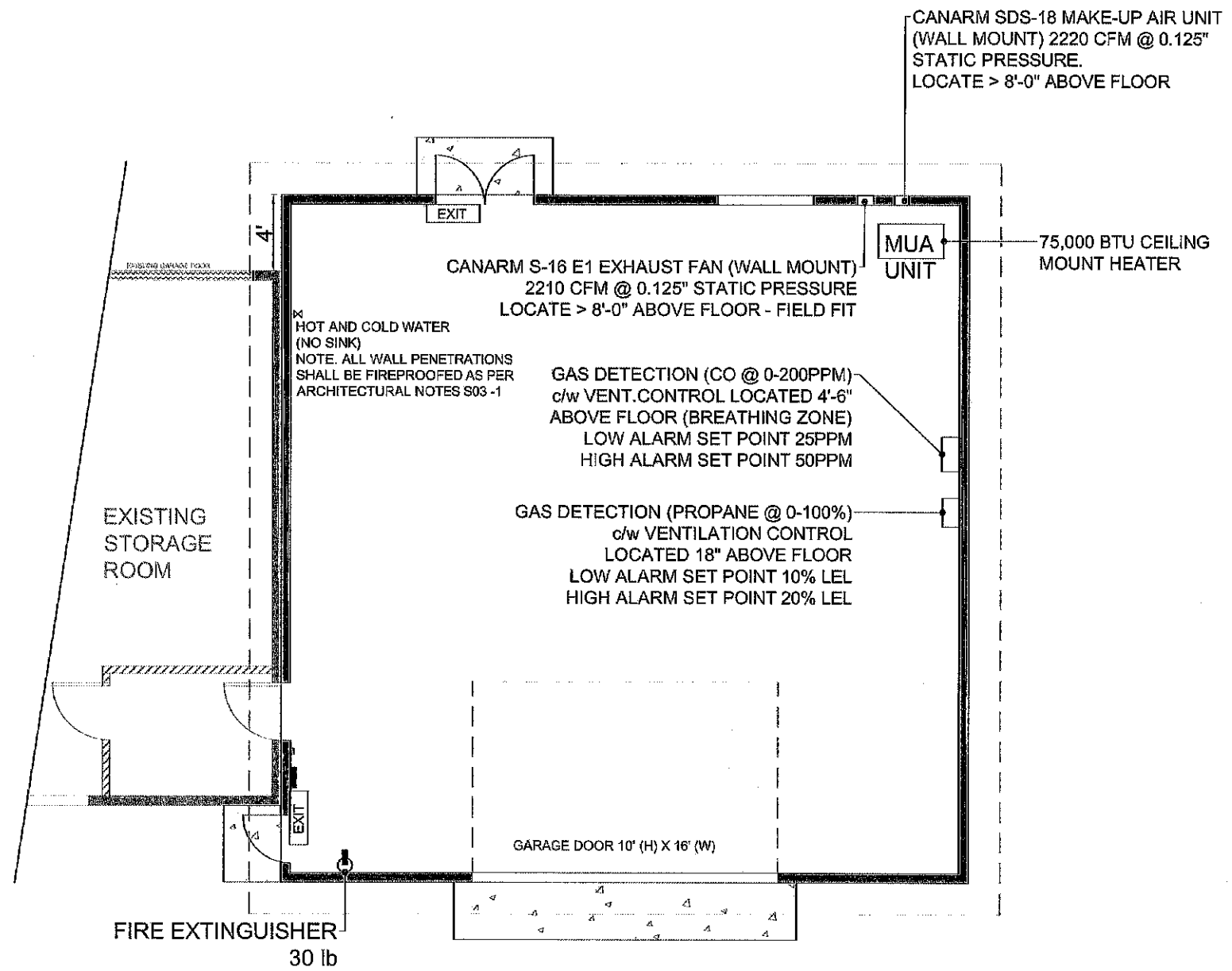
⊗ EMERGENCY LIGHTING REQUIRED.

A05 - 1 ELECTRIC PLAN/LIGHTING LAYOUT  
SCALE 1/8" = 1'

	CDL INC. 292055 WAGON WHEEL BLVD. ROCKY VIEW COUNTY, ALBERTA, T4A 0E2 P. 403-236-1948 JC@YEARROUNDLANDSCAPING.COM	NO. NAME DATE DESIGN BY CDL NDW16 REVISION:	PROJECT NO # R-2092 NAME LANGDON - FIELD HOUSE - GARAGE ADDITION CLIENT LANGDON COMMUNITY ASSOCIATION FIELD HOUSE UPGRADE 244 CENTRE STREET LANGDON	DATE SCALE 1/8" = 1' FORMAT 11x17 UNITS IMPERIAL SHEET A05 LIGHTING PLAN	Architect zulueta architecture 100, 707 10 AVE SW, CALGARY AB, T2R 0R3 P 587 355 8433, 403 616 6079 F 403 293 2265 info@zuluetaarchitecture.com 	PERMIT SEAL 	Copyright Reserved The Contractor shall verify and be responsible for all dimensions. DO NOT scale the drawing - any errors or omissions shall be reported to the Architect without delay. The Copyrights to all designs and drawings are the property of the Architect. Reproduction or use for any purpose other than that authorized by Architect is forbidden.	ZULUETA ARCHITECTURE LTD. PERMIT No. AC 10973 ISSUED PURSUANT TO THE ARCHITECTS ACT OF ALBERTA 11/22/2016	
	PROJECT MANAGER: JOE CAPUTO								







A07 - 1 MECHANICAL PLAN  
SCALE 1/8" = 1'

	CDL <small>INC.</small> 292055 WAGON WHEEL BLVD. ROCKY VIEW COUNTY, ALBERTA, T4A 0E2 P. 403-236-1948 JC@YEARROUNDLANDSCAPING.COM	<table border="1"> <thead> <tr> <th>NO.</th> <th>NAME</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>DESIGN BY:</td> <td>CDL</td> <td>NOV16</td> </tr> <tr> <td>REVISION 1:</td> <td>CDL</td> <td>24-11-16</td> </tr> </tbody> </table>	NO.	NAME	DATE	DESIGN BY:	CDL	NOV16	REVISION 1:	CDL	24-11-16	PROJECT NO. R-2092 NAME LANSDON - FIELD HOUSE - GARAGE ADDITION CLIENT LANSDON COMMUNITY ASSOCIATION FIELD HOUSE UPGRADE 344 CENTRE STREET LANSDON	<table border="1"> <thead> <tr> <th>DATE</th> <th>SCALE</th> </tr> </thead> <tbody> <tr> <td></td> <td>1/8" = 1'</td> </tr> </tbody> </table>	DATE	SCALE		1/8" = 1'	
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	DESIGN BY:	CDL	NOV16															
	REVISION 1:	CDL	24-11-16															
DATE	SCALE																	
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PROJECT MANAGER: JOE CAPUTO	<table border="1"> <thead> <tr> <th>DATE</th> <th>SCALE</th> </tr> </thead> <tbody> <tr> <td></td> <td>1/8" = 1'</td> </tr> </tbody> </table>	DATE	SCALE		1/8" = 1'													
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SHEET																		
A07 MECHANICAL PLAN																		

**GENERAL NOTES:**

1. THE STRUCTURAL DESIGN AND DRAWINGS HAVE BEEN PREPARED IN ACCORDANCE WITH THE NATIONAL BUILDING CODE OF CANADA 2010 AND THE ALBERTA BUILDING CODE 2014.

**DESIGN LOADS:**

1. SPECIFIED UNIFORM LOADS (IN psf)

	SNOW / LIVE LOAD	SUPERIMPOSED DEAD LOAD
ROOF	25	7
GARAGE FLOOR	125	15

2. SUPERIMPOSED DEAD LOADS ARE NON-STRUCTURE DEAD LOADS DUE TO ARCHITECTURAL TOPPING, FINISHES, PARTITIONS, ETC.
3. CONTRACTOR'S CONSTRUCTION LOADS MUST NOT EXCEED THE ABOVE DESIGN LOADS. LOADS MAY ONLY BE APPLIED AFTER CONCRETE REACHES ITS DESIGN STRENGTH.
4. SPECIFIED BASIC WIND PRESSURE:  $p = 1.2 \text{ kPa}$  (25 psf).

**FOUNDATIONS:**

1. FOOTINGS WERE DESIGNED BASED ON SOIL REPORT PROVIDED BY LEVELTON, FILE # R715-1080-00, DATED JULY 3, 2015.
2. BEARING SURFACES MUST BE APPROVED BY THE SOIL ENGINEER IMMEDIATELY BEFORE THE FOOTING CONCRETE IS PLACED. MAGNIFICENT ENGINEERING LTD. IS NOT RESPONSIBLE FOR CONFIRMING BEARING CAPACITIES OF SOILS.
3. SUBBASE DESIGN OF SOIL UNDER THE SLAB ON GRADE SHALL BE IN ACCORDANCE WITH THE SOIL REPORT.
4. UNLESS OTHERWISE NOTED, THE CENTRE OF FOOTING IS UNDER THE CENTER OF COLUMN OR WALL.
5. DOWELS SHALL BE PLACED BEFORE CONCRETE IS PLACED. TEMPLATES SHALL BE USED TO ENSURE CORRECT PLACEMENT OF DOWELS.
6. ALL FOOTINGS SHALL REST ON THE UNDISTURBED NATIVE SOIL.

**CONCRETE REINFORCING:**

1. ALL REINFORCING STEEL EXCEPT 10M BARS SHALL HAVE A MINIMUM YIELD STRENGTH OF 400 MPa ACCORDING TO CSA SPECIFICATION G30.18. 10M BARS SHALL HAVE A MINIMUM YIELD STRENGTH OF 300 MPa ACCORDING TO CSA SPECIFICATION G30.18. ALL WHM SHALL BE IN ACCORDANCE WITH CSA SPECIFICATION G30.5.
2. ALL REINFORCING TO BE DEFORMED BARS CONFORMING TO CSA G30.18, UNLESS NOTED OTHERWISE ON THE DRAWINGS.
3. ALL REINFORCING STEEL TO BE DETAILED, FABRICATED AND PLACED IN ACCORDANCE WITH THE LATEST ISSUE OF THE CRSI DETAILING MANUAL.
4. ALL REINFORCING SHALL BE LAPPED A MINIMUM OF 36 TIMES BAR DIAMETERS. IN NO CASE SHALL THE LAP BE LESS THAN 610 mm (2'-0").
5. ALL REINFORCING SHALL BE ACCURATELY PLACED AND SUPPORTED BY CONTINUOUS METAL OR APPROVED CHAIRS. IF REQUIRED, ADDITIONAL BARS OR STIRRUPS SHALL BE PROVIDED BY THE CONTRACTOR, AT NO EXTRA COST, TO SECURE MAIN BARS AGAINST DISPLACEMENT.
6. REINFORCING IN FOOTINGS AND OTHER CONCRETE MEMBERS EXPOSED TO WEATHER SHALL BE SUPPORTED IN THE DESIGNATED POSITION BY SOLID PRECAST CONCRETE CHAIRS.
7. THE CONTRACTOR SHALL PROVIDE SUCH DRAWINGS AND BAR PLACING SCHEDULES FOR REINFORCEMENT AS MAY BE REQUIRED FOR THE PURPOSE OF ORDERING, BENDING AND PLACING THE REINFORCEMENT. PLACING DRAWING SHALL BE DRAWN TO A SCALE OF NOT LESS THAN 1:50 AND SUBMITTED APPROVED AND REVIEW (THREE SETS OF DRAWINGS ARE REQUIRED).
8. AN INSPECTION OF REINFORCEMENT PLACING IS TO BE MADE BY THE ENGINEER BEFORE CONCRETE POURING. ALL REINFORCEMENT FOR THE POUR IS TO BE IN PLACE AT THE TIME OF INSPECTION. IN CASE OF SLAB POURING, THE REINFORCEMENT FOR THE ENTIRE SLAB SHALL BE IN PLACE AND PROPERLY CHAIRED FOR THE INSPECTION. THE CONTRACTOR SHALL GIVE THE ENGINEER A MINIMUM OF 24 HOUR NOTICE FOR INSPECTION.

**EMBEDMENTS IN WALLS OR SLABS:**

1. PRIOR PLANNING IS REQUIRED FOR PLUMBING, ELECTRICAL & HVAC INSTALLATIONS WITH REGARDS TO CONSTRUCTION OF CONCRETE WALLS AND SLABS.
2. FOR ANCHORAGE OF ROOF TRUSSES AND OTHER SUSPENDED MEMBERS/UNITS, ANCHORAGE BOLTS, HOOKS ETC. BE EMBEDDED IN CONCRETE WHILE PLACING CONCRETE.
3. PROVIDE SUITABLE LAPS FOR VERTICAL BARS AT LEAST 40 BAR DIAMETER TO ACCOUNT FOR COLD JOINTS IF FORMED IN ICF WALLS BECAUSE OF DELAY IN CONCRETE PLACEMENT IN CONSECUTIVE LIFTS.

**MISCELLANEOUS:**

ALL ARCHITECTURAL AND OTHER SERVICE/FUNCTIONAL DETAILS NOT SHOWN IN THE DRAWINGS BE DESIGNED AND PROVIDED BY THE OWNER/OTHER AGENCIES AUTHORIZED BY THE OWNER.

**CONCRETE:**

1. ALL CONCRETE WORK PERFORMED UNDER THIS SECTION SHALL COMPLY WITH THE CURRENT EDITION OF THE CANADIAN STANDARDS ASSOCIATION, SPECIFICATION A-23, HERINAFTER DESIGNATED CSA-A23.
2. AGGREGATES: SHALL BE MAXIMUM 16 mm EXCEPT FOR FOOTING. CLEAN, WELL GRADED, UNCOATED SAND AND COURSE AGGREGATES FROM AN APPROVED SOURCE CONFORMING TO CSA-A23.1-09.
3. WATER AND ADMIXTURES: ONCE MIX IS ON SITE, ANY WATER OR ADMIXTURES REQUIRED SHALL BE ADDED IN STRICT ACCORDANCE WITH CSA-A23.1-09 SECTION 5.2.4.3.2 AND SECTION 5.2.4.3.3. AFTER TESTING SAMPLES HAVE BEEN ATTAINED, NO WATER OR ADMIXTURES MAY BE ADDED.
4. SLUMP SHALL BE WITHIN THE RANGE OF 50 mm TO 100 mm (2" TO 4"). GREATER SLUMPS SHALL NOT BE ACCEPTED UNLESS OTHERWISE SPECIFIED.
5. THE POURING OF CONCRETE MUST BE DONE AT A RATE OF 1.2 m/hr IN CONSECUTIVE LIFTS. EACH LIFT IS LIMITED TO A MAXIMUM HEIGHT OF 1.3 m.
6. ALL CONCRETE SHALL BE VIBRATED INTO PLACE.
7. CLEAN FORMS FROM DEBRIS, HARDENED CONCRETE AND OTHER FOREIGN MATERIALS PRIOR TO POURING CONCRETE.
8. DO NOT REMOVE FORMS BEFORE CONCRETE HAS REACHED 10 MPa. STRENGTH OF CONCRETE FOR STRIPING FORMS TO BE DETERMINED BY TESTING FIELD CURED CONCRETE CYLINDERS.
9. CURING AND PROTECTION OF CONCRETE FOR HOT, COLD AND DRY WEATHER CONDITIONS TO BE CARRIED OUT IN ACCORDANCE WITH CSA-A23.1-09.
10. UNLESS NOTED OTHERWISE, CONTRACTOR TO TEST CONCRETE FOR EACH DAY'S CONCRETING AND/OR EVERY 30 CUBIC METERS EACH DAY CONCRETING. FORWARD TEST RESULTS TO THE STRUCTURAL CONSULTANT FOR REVIEW.
11. CONCRETE CONTROL CYLINDERS SHALL BE TAKEN BY A REPRESENTATIVE OF MATERIAL TESTING COMPANY. THREE CONTROL CYLINDERS SHALL BE MADE FROM EACH 30 CUBIC METERS OF CONCRETE POURED, BUT NOT LESS THAN THREE CYLINDERS SHALL BE MADE FOR EACH DAY'S OPERATION.
12. CONCRETE SHALL NOT HAVE FREE FALL OVER 1500 mm (5'-0").
13. JOINTS NOT INDICATED ON THE PLANS SHALL BE MADE AS DIRECTED BY THE ENGINEER. JOINTS SHALL BE CAULKED WITH SIKAFLEX-1A SEALANT OR APPROVED EQUAL.
14. FINES ON EXPOSED CONCRETE SURFACES SHALL BE REMOVED. HONEYCOMBED OR OTHER DEFECTIVE CONCRETE SHALL BE REMOVED SUFFICIENTLY TO EXPOSE SOUND CONCRETE AND SHALL BE REPAIRED AS DIRECTED BY THE ENGINEER.

**CONCRETE SCHEDULE:**

LOCATION	PC TYPE	CONCRETE STRENGTH	MAX. AGG. SIZE	MAX. W/C RATIO	SLUMP	COMMENTS
FOOTINGS	50 (HS)	32 MPa	20 mm	0.45	75±25	NOTE 1
WALLS	50 (HS)	32 MPa	16 mm	0.45	75±25	NOTE 1
SLABS	10 (GU)	30 MPa	16 mm	0.50	75±25	

NOTE 1: EXPOSURE CLASS S-2, SEVERE DEGREE OF EXPOSURE TO SULPHATE ATTACK ON CONCRETE IN CONTACT WITH THE SOIL. CONCRETE SHALL HAVE AIR CONTENT OF 4% - 7%.

**CONCRETE COVER:**

- MINIMUM CONCRETE COVER:
- CONCRETE POURED AGAINST SOIL: 75 mm (3")
  - WALLS, SLABS: 30 mm (1 1/4")
  - COLUMNS: 40 mm (1 1/2")
  - FOOTINGS: 75 mm (3")

**SLAB ON GRADE:**

1. CONCRETE SLAB ON GRADE SHALL HAVE CONTROL JOINTS AT MAXIMUM 10'-0" SQUARE GRID. THE CONTROL JOINTS SHALL BE SAW CUT TO A DEPTH OF 1/4" AND HAVE A WIDTH OF 1/2".
2. PROVIDE DIAMOND SHAPE SAW CUT FOR CONTROL JOINTS FOR SLAB ON GRADE AT COLUMN BASES.
3. THERE SHALL BE A LEVELING COURSE OF STRUCTURAL FILL AT LEAST 6" IN COMPACTED THICKNESS DIRECTLY BENEATH ALL SLABS ON GRADE.

**BACKFILL MATERIALS AND COMPACTION:**

1. MATERIALS USED FOR BACKFILLING BELOW CONCRETE SLAB ON GRADE SHALL BE EITHER GENERAL ENGINEERED FILL OR STRUCTURAL FILL.
2. THE FILL MATERIALS SHOULD COMPRISE CLEAN, WELL GRADED INORGANIC GRANULAR SOILS.
3. FILL MATERIALS SHALL BE PLACED IN COMPACTED LIFTS NOT EXCEEDING 8" AND COMPACTED TO NOT LESS THAN 98% OF STANDARD PROCTOR MAXIMUM DRY DENSITY.
4. BACKFILL SHALL NOT BE PLACED AGAINST A FOUNDATION STRUCTURE UNTIL THE STRUCTURE HAS SUFFICIENT STRENGTH TO WITHSTAND THE EARTH PRESSURE RESULTING FROM PLACEMENT AND COMPACTION.
5. BACKFILL MATERIALS SHALL NOT BE PLACED IN A FROZEN STATE OR BE PLACED ON A FROZEN SUBGRADE.

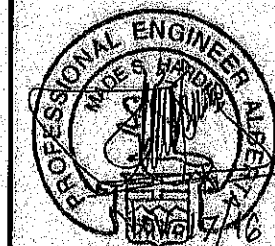
**MAGNIFICENT ENGINEERING LTD.**

55 ERIN MEADOWS CRT. SE  
CALGARY, ALBERTA

**GENERAL NOTES:**

- CONTRACTOR TO VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO THE ENGINEER.
- THIS DRAWING SHALL BE READ IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS.

SEAL:



**ME**

PERMIT NO. P-11857

REV.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	11-17-16

LANGDON FIELD HOUSE  
344 CENTRE STREET  
LANGDON, ALBERTA

**NOTES**

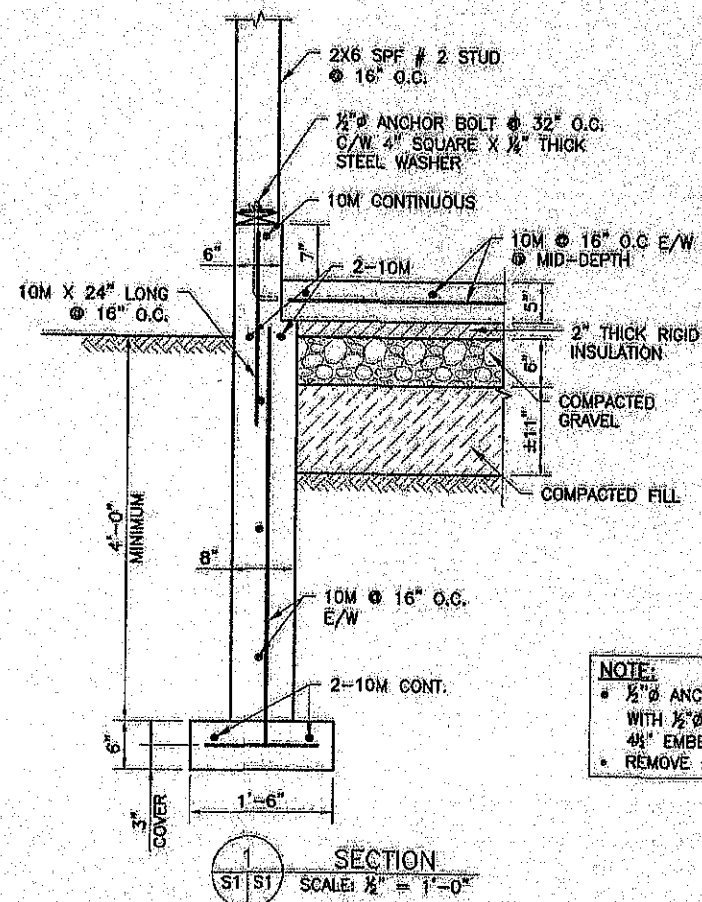
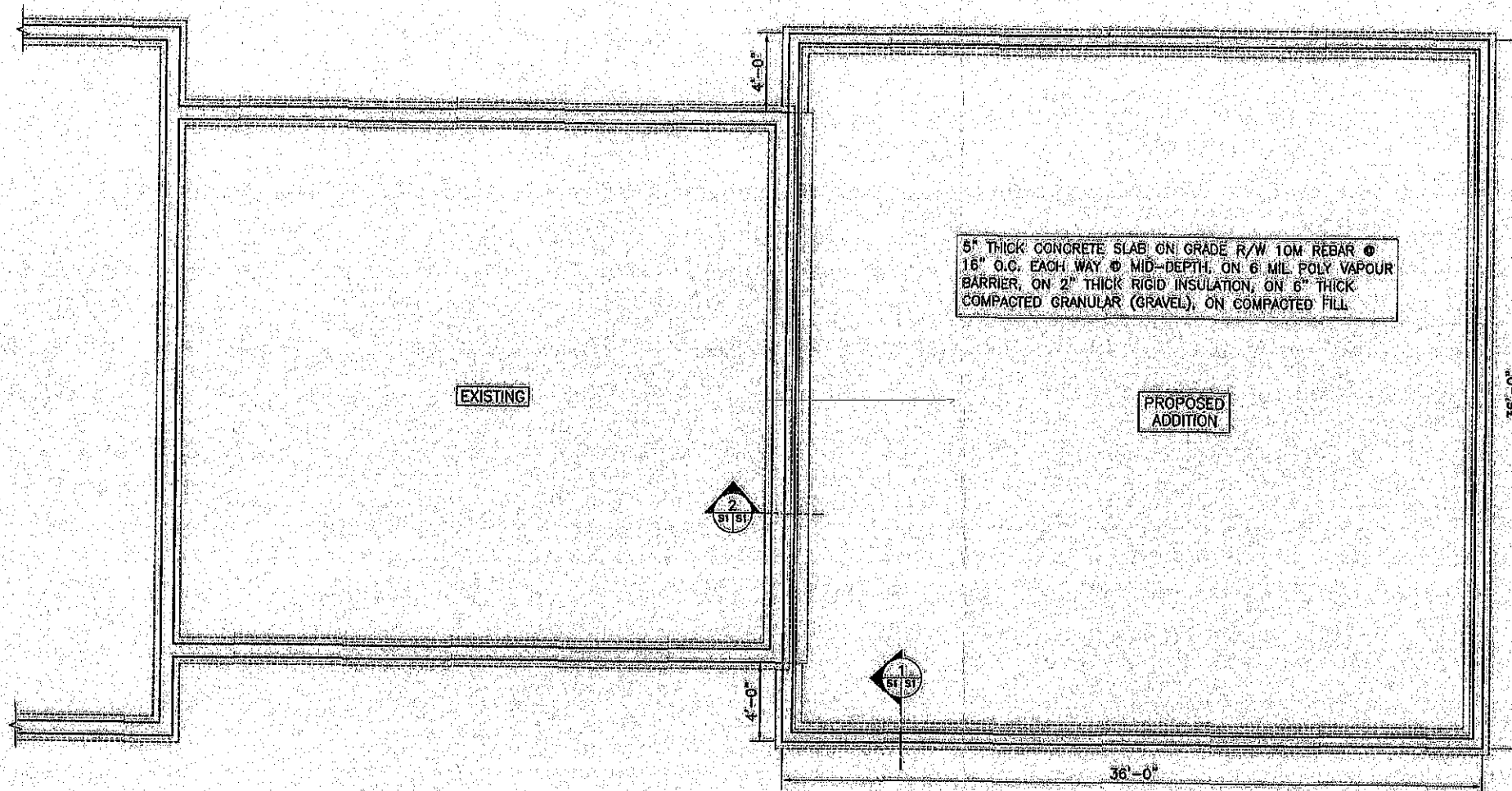
SCALE: AS NOTED	DATE: 11-15-16
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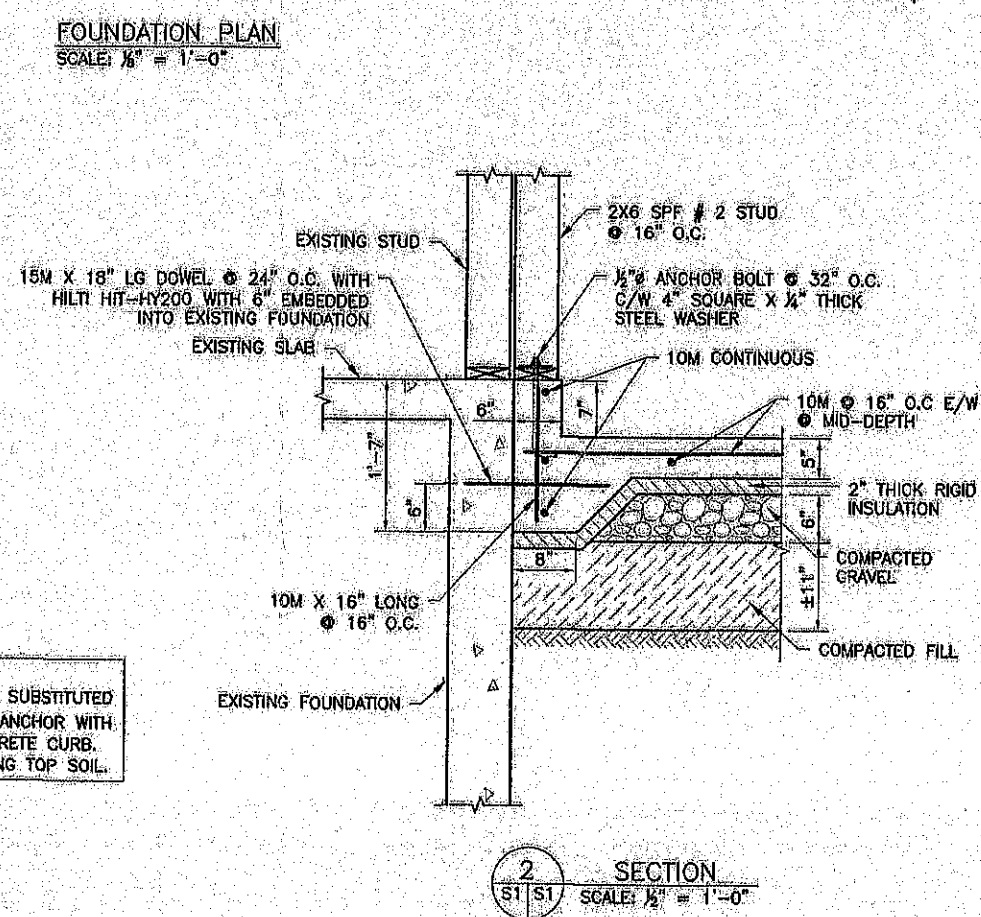
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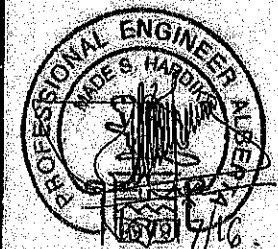


**NOTE:**

- 1/2" ANCHOR BOLT CAN BE SUBSTITUTED WITH 1/2" HILTI HIT-HY200 ANCHOR WITH 4" EMBEDMENT INTO CONCRETE CURB.
- REMOVE ±18" THICK EXISTING TOP SOIL.



SEAL:



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344 CENTRE STREET  
LANGDON, ALBERTA

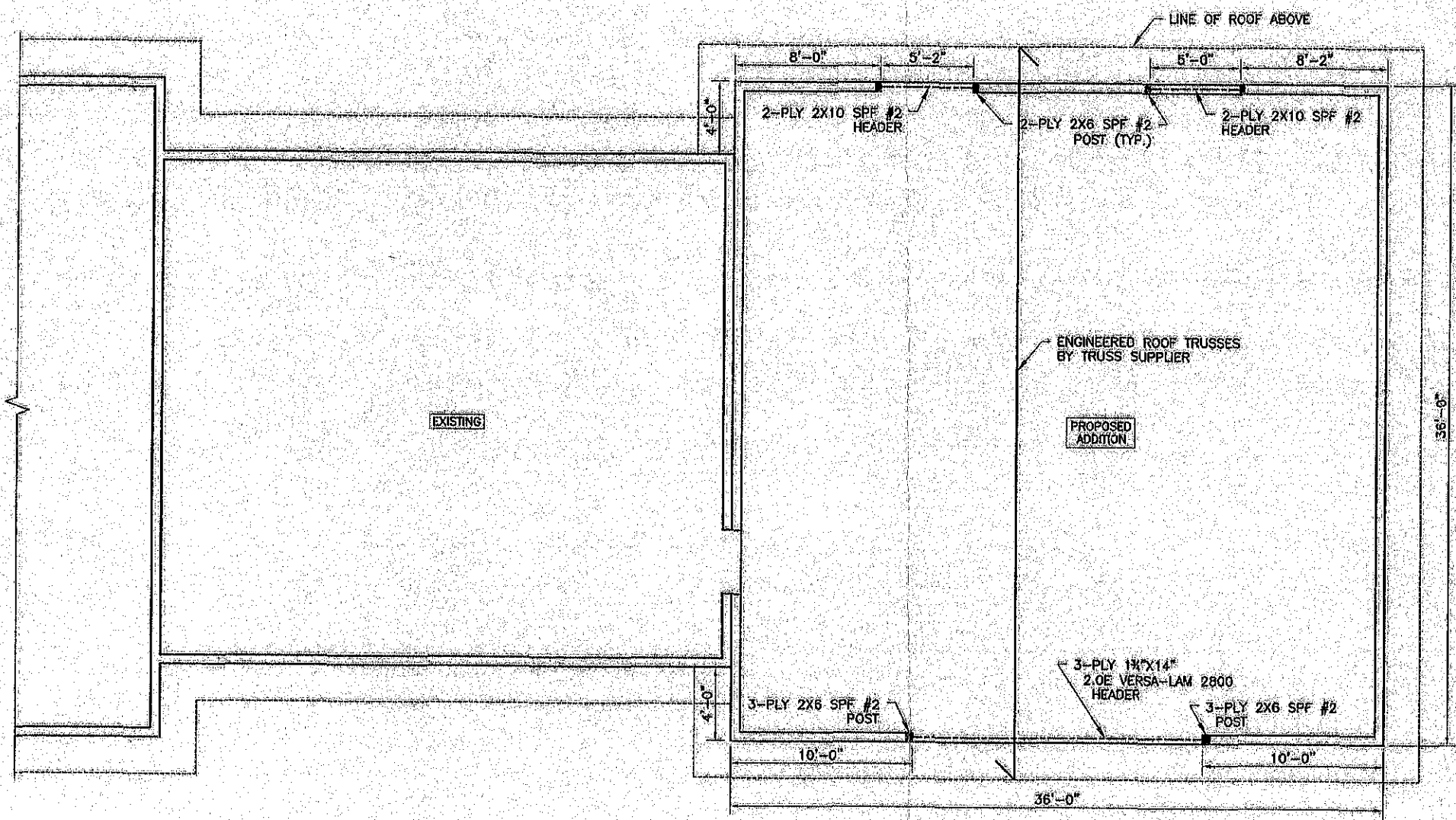
## FOUNDATION PLAN & SECTIONS

SCALE: AS NOTED	DATE: 11-15-16
DRAWN: MH	CHECKED: MH
DESIGN: MH	APPROVED: MH
DWG. NO. 1199-S1	REV. 0

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**GENERAL NOTES:**

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**FLOOR PLAN**  
SCALE: 1/8" = 1'-0"

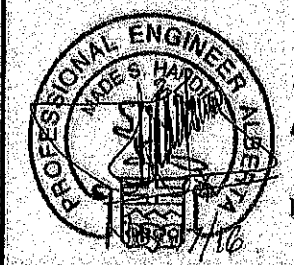
**WOOD STRUCTURE:**

1. PROVIDE BLOCKING BETWEEN STUDS AT MID-HIGHT FOR 12'-0" HIGH WALL AND TWO ROWS OF BLOCKING AT EQUAL SPACING FOR WALLS THAT ARE TALLER THAN 12'-0".
2. BOTTOM PLATES OF THE STUD WALL IN CONTACT WITH CONCRETE SHALL BE UNDERLAIN WITH POLY SILL GASKETS AND BE PRESSURE TREATED LUMBER.
3. ANY OPENINGS TO BE CUT IN THE LOAD BEARING ELEMENTS SHALL BE REVIEWED BY THE ENGINEER PRIOR TO COMMENCING THE WORK.

**MISCELENOUS WORKS:**

1. PROVIDE SHORING AS REQUIRED FOR CONSTRUCTION.

SEAL:



**ME**

PERMIT NO. P-11857

REV.	DESCRIPTION	DATE
0	ISSUED FOR CONSTRUCTION	11-17-16

**LANGDON FIELD HOUSE**  
344 CENTRE STREET  
LANGDON, ALBERTA

FLOOR PLAN			
SCALE:	AS NOTED	DATE:	11-15-16
DRAWN:	MH	CHECKED:	MH
DESIGN:	MH	APPROVED:	MH
DWG. NO.	1199- S2	REV.	0