



# COUNCIL STAFF REPORT

CITY COUNCIL *of* SALT LAKE CITY

**TO:** City Council  
**FROM:** Russell Weeks, Senior Public Policy Analyst  
**DATE:** October 1, 2015 2:32 PM  
**RE:** Sugar House Streetcar Corridor Master Plan and Zoning Amendments

**PROJECT TIMELINE:**  
**Briefing:** 02/18/2014;  
 04/15/2014; 05/06/2014;  
 02/03/2015; 10/06/2015  
**SetDate:** 03/04/2014  
**Potential Action:**

Legislative Sponsor: **Council District 7 - Lisa Adams**

## ISSUE AT-A-GLANCE

**Goal of the briefing:** To give Salt Lake City planners direction to prepare a revised ordinance for future formal consideration.

- This item is a continuation of a February 3, 2015, conversation between the City Council and the Planning Division about how best to enact zoning along the Sugar House Streetcar Corridor. The proposed area also includes the intersections of 700 East and 2100 East streets, 800 East and 2100 South streets; and 900 East Street between 2100 South Street and Simpson Avenue.
- The transmittal from Mayor Ralph Becker's Administration does not contain a proposed ordinance. The discussion scheduled for the City Council's October 6, 2015, work session is intended to give the Planning Division further direction so it can draft a revised ordinance.
- The transmittal contains some changes to the earlier proposed ordinance, including the inclusion of an existing form-based zoning category and a proposed area where building heights could be 135 feet high.

**CITY COUNCIL OF SALT LAKE CITY**  
 451 SOUTH STATE STREET, ROOM 304  
 P.O. BOX 145476, SALT LAKE CITY, UTAH 84114-5476

www.slccouncil.com/agenda  
 TEL 801-535-7600 FAX 801-535-7651  
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- The transmittal does not address the future of the area zoned as open space and informally known as the tennis courts east of 900 East Street between Sugarmont and Simpson Avenues.
- This report contains some suggestions by an architect for property owners west of 700 East Street near Wilmington Avenue.

### **POLICY QUESTIONS**

1. To clarify, is the maximum 135-foot building height that would be allowed on 700 East applicable only for largely residential buildings or for hotels and motels as well?
2. Should proposed language addressing setbacks for Form-Based Special Purpose Districts (5-b - Stepback Requirements) include addressing adjacency to single-family homes or residential neighborhoods, or does that appear elsewhere in the proposed revisions, or is adjacency to public streets enough?
3. To clarify, what is the proposal for permitted and conditional uses pertaining to taverns, brewpubs, and social clubs?

### **ADDITIONAL & BACKGROUND INFORMATION**

Although this staff report uses the “Form-Based Streetcar Core” and “Form-Based Streetcar Edge” to describe proposed area designations, one proposal in the transmittal is to change the terms to “Form-Based Special Purpose Corridor” subdistricts. If adopted, the subdistrict names still would include “core” and “edge” to differentiate between them.

### **NEW SUBDISTRICT**

Perhaps the most noticeable idea the Planning Division proposes is the introduction of the Form-Based Urban Neighborhood 1 Subdistrict into the corridor area. The designation appears in three places: an area east of Green Street between 2100 South Street and where Green Street deadends; an area along the north side of Wilmington Avenue between 600 East Street and where Green Street deadends; and an area south of Simpson Avenue between 600 East and 700 East Streets. Previously, the areas had been designated either as Form-Based Streetcar Core or Form-Based Streetcar Edge areas. The introduction of the subdistrict is based on an informal 5-2 straw poll during the Council’s discussion February 3.

Form-Based Urban Neighborhood 1 designations already are part of the Salt Lake City Zoning Ordinance. (It might be noted that the proposed corridor zoning would be included with existing form-based zoning in a chapter titled *Form-Based Districts*.) Areas in the West Temple Gateway neighborhood have the Urban Neighborhood 1 designation. The maximum building height for the designation is 30 feet, generally two-and-one half stories. Previously, the Form-Based Streetcar Core subdistrict carried a maximum height of 105 feet, and the Form-Based Streetcar Edge subdistrict carried a maximum height of 45 feet.

It might be noted that the Green Street neighborhood has been a focal point of City Council discussion. One result of the proposal would be the area between Green Street and 700 East Street would have two zoning designations. The eastern part of the area would remain Form-Based Streetcar Core.

### **MAXIMUM HEIGHTS**

In the transmittal, the maximum building height in Form-Based Streetcar Edge subdistricts would remain at 45 feet. The maximum building height in Form-Based Streetcar Core subdistricts would drop from the earlier proposed 105 feet to 75 feet - with one exception. The draft regulating map in the transmittal designates two areas along 700 East Street south of 2100 South Street where structures could be built as high as 135 feet. The height appears to address another informal 5-2 straw poll among the City Council on February 3 to allow additional height for residential structures, but how the height maximum applies may need clarification on whether the height is intended as a permitted use for structures such as hotels or motels or as an incentive to build high-rise residential housing.

Three things might be noted:

- 1.) In the transmittal, language for the height allowance reads: "Buildings may be up to 135 feet in height for a lineal distance of 135 feet extending from any 700 East property line."
- 2.) One of the areas that would allow the 135-foot height is the eastern half of the area between Green Street and 700 East Street.
- 3.) Commercial use of all buildings - except hotels and motels - in the Streetcar Core area is limited to the first three stories or 45 feet.

### **MAXIMUM LENGTHS**

Under the proposal, building lengths are limited to 200 feet. Again, this item is in response to City Council direction to break up long walls to provide openings people can walk through. In addition, the transmittal includes a proposal for "every building" to have "at least one entry for every seventy-five feet of building façade along a public or private street, alley or greenway."

An architect for a firm that plans to build a project along the corridor has suggested that another way to break up long walls would be to have property owners dedicate "a through-block connection within 300 feet of a public street, trail, or other continuous right of way."

### **UPPER STORY SETBACKS ABOVE 30 FEET**

According to the transmittal, where a building is next to low-density or single-family residential or public streets, the building must be setback at least 15 feet after the first 30 feet of a building taller than 30 feet. A portion of the ordinance reads: "Stepback requirement: floors rising above thirty feet in height shall be stepped back fifteen horizontal feet from the building

foundation at grade for building foundation that are adjacent to a public street, public trail, or public open space.” Again, is that language sufficient, or should low-density or single-family residential uses be included?

The architect quoted earlier suggests that one downside would be to have a long line of buildings all having a “shoulder” above 30 feet. The architect suggests that for buildings less than 45-feet high, the buildings could have a “canopy, roof structure, or balcony ... at a height of between twelve feet and fifteen feet above the adjacent sidewalk.” According to the architect, “... it seems that creation of a requirement for human scale elements at an elevation of twelve feet to fifteen feet above the adjacent sidewalk is a ... better approach by creation of animated building facades at the level that people are experiencing them.”

### **BALCONIES**

One thing the Planning Division’s proposal continues to include is balconies for buildings in the corridor. As mentioned during the February 3 discussion, the original proposal allowed balconies on the upper levels of buildings. The transmittal suggests three things involving balconies: 1.) Residential balconies must be a minimum of four feet deep so people can use them. 2.) Commercial uses that face the greenway may have a patio or second floor balcony, including rooftops as long as the building meets the maximum height requirement. 3.) Private balconies and parking lot landscaping have been removed from inclusion as common open space.

### **OTHER ITEMS**

The proposed amendments appear to address City Council direction for windows and parking facilities.

### **SPECIFIC USES**

The transmittal proposes that hotels and motels be listed as permitted uses in the core and edge districts.

According to the transmittal, taverns and brewpubs have been listed as conditional uses instead of permitted uses in the Form-Based Streetcar Edge subdistrict. It should be noted that the *Table of Permitted Uses* in the transmittal lists only social clubs as a conditional use instead of a permitted use, and that the 2,500 square foot or less floor area limit has been omitted for taverns and brewpubs.

**Cc:** Cindy Gust-Jenson, David Everitt, Margaret Plane, Nichol Bourdeaux, Jill Love, Nora Shepard, Nick Norris, Maryann Pickering, Lehua Weaver, Nick Tarbet, Sean Murphy

**File location:** Sugar House Greenway, Sugar House Streetcar

**ATTACHMENTS:**

- A: New Regulating Map (PDF)
- B: Old Regulating Map (PDF)
- C: City Council Straw Polls from February 3 (DOCX)
- D: Table of Permitted and Conditional Uses (PDF)
- E: Architect White Paper (PDF)
- Administrative Transmittal - Sugar House Streetcar Corridor Master Plan and Zoning Amendments (PDF)
- Admin Attachment\_DRAFT Ordinance (PDF)

Meeting of October 6, 2015

**Ordinance No.**

Draft Ordinance attached

**SALT LAKE CITY COUNCIL**

**ATTEST:**

**APPROVED AS TO FORM:**



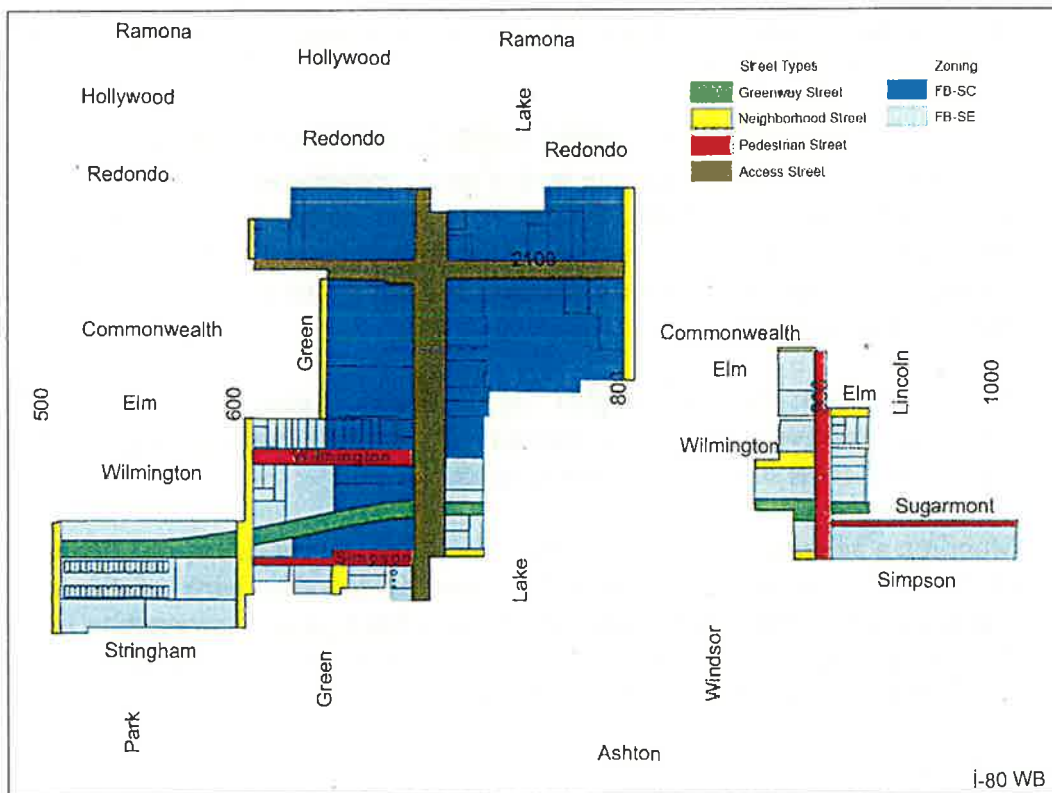
## B. Street Types

1. **Street Types Intent:** The intent of identifying specific types of streets in the streetcar-special purpose corridor districts is to:
  - a. Ensure that a hierarchy of transportation is established;
  - b. Guarantee access to private property; and
  - c. Determine the appropriate manner in which buildings address streets.
2. **Street Types Established:** The following types of streets are hereby established. The location and applicability of street type regulations are shown on map 21A.27.040.A Regulating Plan Map – Sugar House Streetcar Form Based Special Purpose Corridor Area.
  - a. **Greenway Street:** Streets that contain a streetcar line and stops and various types of multi-use trails. Greenway streets may provide access for pedestrians and bicycles. Automobiles are not permitted on Greenway streets.

The FB-SE Streetcar Edge Sub-District is intended to provide an appropriate transition in building size and scale between existing neighborhoods and the Core area. Buildings may be up to four stories in height, with appropriate setbacks when adjacent to lower scale residential neighborhoods. Development regulations are based on building type, with the overall scale, form and orientation as the primary focus.

3. Applicability of Sub-Districts. The regulations of the sub-districts shall apply as indicated in the Regulating Plan Map.

#### 21A.27.040.C Regulating Plan Map:



#### D. Building Forms:

1. Permitted building forms are described below. Each building form includes a general description and definition, as well as images of what the building form may look like. Building form images are for informational purposes only and not intended to demonstrate exactly what must be built. The images should be used to classify existing and proposed buildings in order to determine what development regulations apply. The images are not to scale. They should not be used to dictate a specific architectural style as both traditional and contemporary styles can be used.
  - a. Cottage Development: A unified development that contains two or more detached dwelling units with each unit appearing to be a small single-family dwelling with a common green or open space. Cottage Developments are allowed only in the



## **SALT LAKE CITY COUNCIL STRAW POLLS**

**FEBRUARY 3, 2015**

**Straw Poll 1** – Providing options for higher heights if heights involve housing: 6-1 for; Council Member Garrott dissenting vote.

**Straw Poll 2:** Breaking up building walls by using a percentage of varying setbacks somewhere between the minimum and maximum required setbacks: 5-1-1 for; Council Member LaMalfa dissenting vote; Council Member Mendenhall did not vote.

**Straw Poll 3:** Requiring ground floors of parking garages to have 75 percent of ground floor space either to be habitable or usable for activities other than parking spaces: 7-0 for.

**Straw Poll 4:** On streets where buildings may face single-family residences either limit building heights to no more than three stories or use Form-Based UN-1 zoning which would limit building heights to no more than three stories: 5-2 for; Council Members Kyle LaMalfa and Stan Penfold dissenting votes.

**Straw Poll 5:** Three-tier concept – 7-0 for.

**Straw Poll 6:** If project is residential, allow highest tier to exceed 105 feet to encourage steel super-structures – 5-2 for; Council Members Lisa Adams and Charlie Luke dissenting votes.

**Straw Poll 7:** On Corridor Greenway allow balconies on the second floor of commercial structures: 7-0 for.

**Liberty Place (Wilmington Plaza) – Zoning Comparison White Paper**  
September 25, 2015

**Address:**

640 East Wilmington Avenue

**Site Area:**

1.75 Acres

**Proposed Zoning:**

SHStreetcar\_Zoning District FB-SE

**Comparison:**

Salt Lake City had published a draft zoning ordinance in July of 2014, which was an evolved document that had taken input from property owners, consulting groups, the Planning Commission, etc. In July of 2105, based on new input following a City Council meeting with abundant public clamor, and direction from the City Council a new draft was issued. For the purpose of this, the following is a comparison of the July 2014 and the July 2015 documents related to the Wilmington Plaza property:

**1. Restriction of building length to 200 feet.**

The 2014 document did not have restrictions with respect to building length, while the 2015 document limits building length to 200'. There certainly is reason to look to creation of permeability of a block face and one way to do this is to reduce building size to a 200' length, it is not the only way to solve this issue. There are any number of other ways to do this, including providing ground floor building openings that allow permeability while allowing a building to bridge over, requiring architectural design/features to create a compelling façade, etc. Also, there should be consideration to the whole idea of "mid block connections". Given the size of a typical Salt Lake City Block (over 600') a "mid block connection" occurring at 300' is a much more reasonable approach. It also seems important to consider that neither the 2014 or the 2015 drafts seem to address "thru-block" connectivity. In terms of urban planning in a city that has a 600' block module, actually requiring a thru block connections at the "mid block" point seems very important and worth consideration.

**Suggested additional language in red text:**

- a. The maximum length of any building façade facing a street is two hundred feet (200') or dedication of a through block connection within 300' of a public street, public trail, or other continuous public right of way in the form of a fifteen foot (15') minimum width publicly

accessible pedestrian easement constructed and maintained by the property owner.

## 2. Step back requirement for floors rising above 30 feet.

The 2015 document included a new provision that was not in the 2014 document requiring that “floors rising above 30’ in height shall be stepped back 15 horizontal feet from the building foundation for building elevations that are adjacent to a public street, public trail, or public open space. If implemented, this new requirement will severely truncate the ability to develop property and will have the impact of reducing the top floors of a building by a large amount. This is a tool that can be implemented to create interest in building facades; however it is not the only tool available. Especially, in areas where buildings can only be 45’ tall (the FB-SE) designated areas. This seems much more appropriate where buildings can be 75’ to 135’ tall (the FB-SC) designated areas. Although well intentioned, in terms of a street scene, it seems that creation of a requirement for human scale elements at an elevation of 12’ to 15’ above the adjacent sidewalk is a much better approach by creation of animated building facades at the level that people are experiencing them. Perhaps the setback of 15’ at an elevation of 30’ above the ground would work for buildings above 60’ however, this could be extremely detrimental to a street edge. Good urban design will be the result of allowing eclectic buildings form a composition, and the creation of a miles long street with all buildings being built with a “shoulder” that is 15’ wide, and all at a 30’ height would be an extremely monotonous solution to the city-scape.

### Suggested additional language in red text:

- b. Stepback Requirement: floors rising above thirty feet (30’) in height shall be stepped back fifteen (15) horizontal feet from the building foundation at grade for building elevations that are adjacent to a public street, public trail, or public open space **or when buildings are limited to 45’ or less in height by this ordinance, provide a four foot (4’) minimum depth canopy, roof structure, or balcony that extends from the face of the building towards the street at a height of between twelve feet (12’) and fifteen feet (15’) above the adjacent sidewalk. Such extension(s) shall extend horizontally parallel to the public street, public trail or public open space for a minimum of 50% of the face of the building and may encroach into setback as permitted for entry features in Section 21A.27.030 C.3.**

## 3. Other Differences between the 2014 and 205 draft ordinances

- a. This may be an oversight, but the 2015 draft does not define street type hierarchy, which is essential in creation of the neighborhood fabric.
- b. The 2015 ordinance requires the building façade “between 2’ and 8’ above the grade of the sidewalk” to be 60% transparent glass. Although this is a reasonable approach in most commercial applications, it is not appropriate in residential applications. There is an exception that reduces the glass area to 20% at some defined “building types” including “urban house”, “two-family”, “cottage”, and “row house”. In order to provide true multi generational and mixed income offerings, the “multifamily” building form should be added to the application of the reduced transparent glass requirement.
- c. The zoning map for this area has been discussed at length since the first draft of the ordinance and it seems that the lines have been adjusted so that this property is completely in the SE designation rather than being partially within the SC designation. This change has resulted restricting building height to 45’ for the whole of this property.



12. Window Sign

Sign Type	FB-UN1	FB-UN2	FB-SC	FB-SE	Specifications	
Window sign		P	P	P	Quantity	1 per window
					Height	Maximum of 3 feet
					Area	Maximum of 25% of window area

**Proposed Changes to 21A.33 – Permitted Uses**

**21A.33.080 TABLE OF PERMITTED USES IN FORM BASED CODE DISTRICTS**

*Note: Uses which are not listed in the following table are not permitted in any form based code zoning district.*

Legend:	P = Permitted	C = Conditional	- = Not Permitted in Zoning District
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Use	Permitted Uses by District			
	FB-UN1	FB-UN2	FB-SC	FB-SE
Accessory use, except those that are specifically regulated in this chapter, or elsewhere in this title	P	P	P	P
Alcohol:				
Liquor store	-	P	P	P
Microbrewery	-	P	P	P
Social club	-	P	P	PC
Tavern or brewpub, 2,500 square feet or less in floor area	-	P	P	P
Animal, veterinary office	-	P	P	P
Antenna, communication tower	-	P	P	P
Art gallery	-	P	P	P
Bed and breakfast	P	P	P	P
Bed and breakfast inn	P	P	P	P
Bed and breakfast manor	P	P	P	P
Clinic (medical, dental)	-	P	P	P
Community garden	P	P	P	P
Community recreation center	-	P	P	P
Daycare center, adult	-	P	P	P
Daycare center, child	-	P	P	P
Dwelling:				
Assisted living facility (large)	-	P	P	P
Assisted living facility (small)	P	P	P	P
Group home (large)	-	P	P	P
Group home (small) when located above or below first story office, retail, or commercial use, or on the first story where the unit is not located adjacent to street frontage	-	P	P	P
Multi-family	-	P	P	P
Residential substance abuse treatment home (large)	-	P	P	P
Residential substance abuse treatment home (small)	-	P	P	P



Rooming (boarding) house	-	P	-	-
Single-family attached	P	P	-	P
Single-family detached	P	-	-	-
Single-family detached (Cottage Development building form only)	-	P	-	P
Single room occupancy	-	P	-	-
Transitional victim home (large)	-	P	P	P
Transitional victim home (small)	-	P	P	P
Two-family	P	-	-	-
Eleemosynary facility	-	P	P	P
Farmers' market	-	P	P	P
Financial institution	-	P	P	P
Food processing	-	P	-	-
Funeral home	-	P	P	P
Health and fitness facility	-	P	P	P
Hotel/motel	-	P	-P	-P
House museum in landmark site	P	P	P	P
Laboratory (medical, dental, optical)	-	P	P	P
Library	-	P	P	P
Mixed use developments including residential and other uses allowed in the zoning district	-	P	P	P
Museum	-	P	P	P
Nursing care facility	-	P	P	P
Office	-	P	P	P
Office and/or reception center in landmark site	-	P	P	P
Open space	P	P	P	P
Park	P	P	P	P
Parking, off site	P <sup>1</sup>	P <sup>1</sup>	P <sup>1</sup>	P <sup>1</sup>
Photo finishing lab	-	-	P	P
Place of worship	-	P	P	P
Plazas	P	P	P	P
Recreation (indoor)	-	P	P	P
Research and development facility	-	P	P	P
Research facility (medical/dental)	-	P	P	P
Restaurant	-	P	P	P
Retail goods establishment	-	P	P	P
Retail goods establishment, plant and garden shop with outdoor retail sales area	-	P	P	P
Retail service establishment	-	P	P	P
Sales and display (outdoor)	-	P	P	P
School:				
College or university	-	P	P	P
Music conservatory	-	P	P	P
Professional and vocational	-	P	P	P
Seminary and religious institute	-	P	P	P
Seasonal farm stand	-	P	P	P
Solar array	-	P	P	P
Store, specialty	-	P	P	P
Studio, art	-	P	P	P
Studio, dance	-	-	P	P
Theater, movie	-	P	P	P
Urban farm	P	P	P	P

Utility, building or structure	P	P	P	P
Utility, transmission wire, line, pipe, or pole	P	P	P	P
Vending cart, private property	-	P	P	P
Wireless telecommunications facility (see section 21A.40.090, table 21A.40.090E of this title)	-	P	P	P

DRAFT





SALT LAKE CITY CORPORATION  
City Council Transmittal

David Everitt, Chief of Staff

9/14/2015

Date Received: 9/14/2015  
Date Sent to Council: 9/14/2015

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**TO:** City Council  
Luke Garrott - Chair

**FROM:** Jill Love  
Director

**SUBJECT:** Sugar House Streetcar Corridor Master Plan/Zoning Amendments:  
Follow-up Information

**STAFF CONTACT:** Maryann Pickering,  
Maryann.Pickering@slcgov.com

**COUNCIL SPONSOR:**

**DOCUMENT TYPE:** Ordinance

**RECOMMENDATION:** That the City Council adopts the proposed text changes to the Zoning Ordinance as recommended by the Planning Commission and Planning Staff.

**BUDGET IMPACT:** None

**BACKGROUND/DISCUSSION:** On February 3, 2015 briefing, Planning staff discussed various changes to the proposed petition with the City Council. The discussion focused on clarification of items previously discussed and also the need to further clarify some of the proposed regulations. Staff has reviewed each of these items and changed or proposed text as needed. As these changes were made, it became evident that the overall structure of Chapter 27 Form Based Zoning Districts could benefit from reorganization to make it more consistent with the rest of the zoning district and simpler to administer. The Planning Division consulted with the Attorney's Office who indicated that reorganizing and moving section of the zoning ordinance to other locations within the zoning ordinance would not require sending the proposal back to the Planning Commission and could be done within the scope of this petition. If any substantive changes were made, they would be required to go back through the Planning Commission process. As a result, no substantive changes were made to the FB-UN1 and FB-UN2 zoning requirements. The following is a summary of the item discussed and proposed changes by Planning staff.

1. The building configurations standards for all form based code districts has been modified to require that a building entry is installed along every 75 feet of a street, alley, public or private street or greenway (Section 21A.27.030.B.2.d).
2. Design standards specific to the streetcar formed based code have been incorporated. These design standards include items specifically requested by the City Council at the February 2, 2015 briefing. The changes can be found in Section 21A.27.030.B.5.a-f. In summary:
  - a. Maximum building length of 200 feet.
  - b. Upper story setback for building taller than 30 feet. At the 30 foot height, the building must be setback a minimum of 15 horizontal feet. The requirement applies when the building is abutting low density or single family residential or public streets.
  - c. All streets facing façades, above the first level, must have a minimum of 15 percent glass.
  - d. Commercial uses that face a greenway may have a patio or second floor balcony. This includes rooftops as long as zoning standards for height are complied with.
  - e. All permitted uses except parking must occupy a minimum of 75 percent of the building for a depth of 25 feet into the building. This regulation is intended to keep parking structure from becoming a dominant feature along a street.
  - f. Design standards for all parking structures have been incorporated into the zoning district standards.
3. Transparent glass (minimum of 60%) has been required for commercial uses on the first floor. This requirement can be reduced to 20% residential uses are located on the first floor of a building (Section 21A.27.030.B.7.a).
4. Building materials have been clarified to require high quality and durable materials (Section 21A.27.030.B.8).
5. Open space requirement has been updated to not include private balconies or parking lot landscaping as common open space (Section 21A.27.030.B.9).
6. Residential balconies must be a minimum of four feet in depth to make them usable (Section 21A.27.030.B.11).
7. Detached or stand alone parking structures must meet the minimum setbacks for principal structures. The setback area must be a landscaped bugger with no structures allowed (Section 21A.27.030.C.3.b).
8. The FB-UN1 is proposed to be used along residential streets, such as Green Street, and in areas where small lots are adjacent to single-family zoning districts. This then allows lower height building of generally two and half stories or 30 feet when net to or may impact single-family residential districts (Section 21A.27.040.A).
9. Building height in the FB-SC (Core) is limited to 75 feet unless the accompanying zoning map shows it in an area where heights are allowed up to 135 feet (Table 21A.27.040.C).
10. Commercial uses are limited in the FB-SC (Core) to the first three stories of 45 feet of all buildings except for hotels and motels (Table 21A.27.040.C).
11. Building height in the FB-SE (Edge) is limited 45 feet (Table 21A.27.040.C).

12. Commercial uses are limited in the FB-SC (Core) to the first two stories or 30 feet of all buildings except for hotels and motels (table 21A.33.080).
14. Hotels and motels are now listed as permitted uses in both streetcar zoning districts (Table 21A.33.080).

In addition to the proposed clarifications, staff completed a reorganization of the chapter related to form based codes. Instead of duplicating the information for every one of the form based code designations created, the chapter was reorganized to group together items applicable to all form based code zoning districts. The reorganization does not change any of the standards of the FB-UN1 or FB-UN2 zoning districts. It simply relocates design related standards to a common location so that it is easier to administer the code. Each district then has its own unique set of standards that deal with building setbacks, height, permitted building types, and other similar standards.

In addition, regulations such as landscaping, parking and the land use tables were also moved to their appropriate chapter and are now referenced to the applicable chapter in the form based code chapter. This was done to address some confusion regarding administering the ordinance, such as performing zoning reviews and interpretations. Relocating these standards removes some duplication from the zoning ordinance but does not change the specific regulations. In addition, when the ordinance is prepared, we will be sure to include the appropriate landscaping buffer for each of these zoning districts.

These changes appear to make extensive and substantive changes to all of the form based code districts. However, the substantive changes are limited to the SC Core and Edge districts. The other changes are simply moving existing sections of the ordinance to other locations within the various chapters.

At this time, Planning staff has not requested an ordinance from the Attorney's Office. Once the City Council is comfortable with all the proposed changes, we will have the ordinance prepared and included in all future correspondence with the City Council.

#### **ATTACHMENTS:**

- Admin Attachment\_DRAFT Ordinance (PDF)

**Ordinance No.**

Draft Ordinance attached

**SALT LAKE CITY COUNCIL**

**ATTEST:**

**APPROVED AS TO FORM:**

## **Chapter 21A.27 FORM BASED DISTRICTS**

**21A.27.010: PURPOSE STATEMENT AND GENERAL PROVISIONS:**

**21A.27.020: BUILDING TYPES AND FORMS ESTABLISHED:**

**21A.27.030: BUILDING CONFIGURATION AND DESIGN STANDARDS:**

**21A.27.040: FB-SC AND FB-SE FORM BASED SPECIAL PURPOSE CORRIDOR DISTRICT**

**21A.27.050: FB-UN1 AND FB-UN2 FORM BASED URBAN NEIGHBORHOOD DISTRICT:**

### **21A.27.010: PURPOSE STATEMENT AND GENERAL PROVISIONS**

- A. Purpose Statement: The purpose of the form based districts is to create urban neighborhoods that provide the following:
1. People oriented places;
  2. Options for housing types;
  3. Options in terms of shopping, dining, and fulfilling daily needs within walking distance or conveniently located near mass transit;
  4. Transportation options;
  5. Access to employment opportunities within walking distance or close to mass transit;
  6. Appropriately scaled buildings that respect the existing character of the neighborhood;
  7. Safe, accessible, and interconnected networks for people to move around in; and
  8. Increased desirability as a place to work, live, play, and invest through higher quality form and design.
- B. Context Description: The form based districts are intended to be utilized in areas with the following characteristics:
1. Street, Block, and Access Patterns: A regular pattern of blocks surrounded by a traditional grid of streets that provide mobility options and connections for pedestrians, bicyclists, and automobiles. Blocks include sidewalks separated from vehicle travel lanes by a landscaped park strip. Front yards are landscaped or include active, outdoor uses.
  2. Building Placement and Location: Residential buildings are generally located close to the sidewalk with a small, transitional, semipublic space, such as a landscaped front yard, that is consistent along the block face. Buildings along arterials are located close to the sidewalk with parking to the side or rear of building.
  3. Building Height: Building heights on local streets are relatively low and consistent with existing building heights with little variation. Buildings located on arterial streets are generally taller.

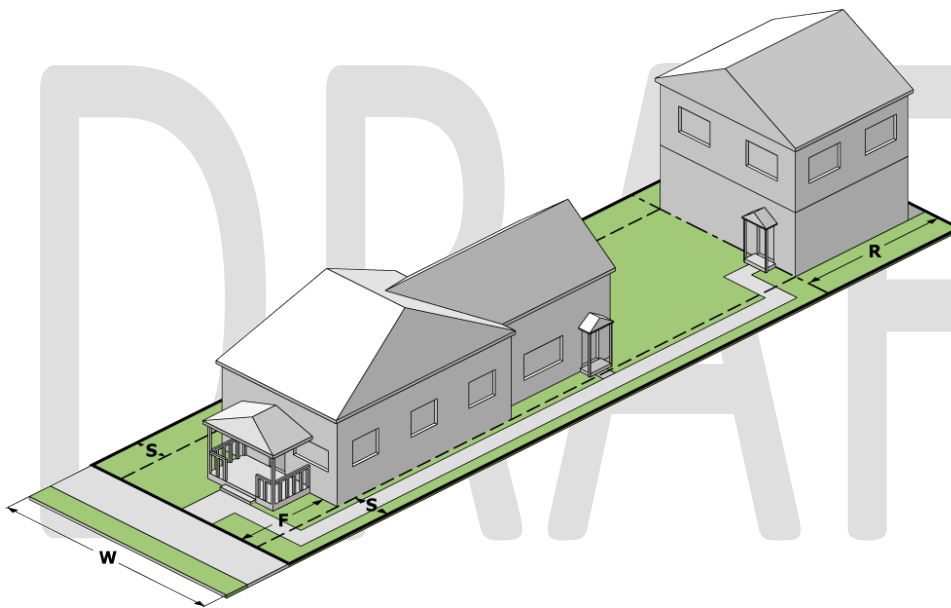
4. Mobility: A balance between pedestrians, bicyclists, transit riders, and motorists exist in the area, and residents are well connected to other parts of the city.
- C. Intent of Form Based Districts:
  1. Statement Of Intent: Form based districts are intended to provide zoning regulations that focus on the form of development, the manner in which buildings are oriented toward public spaces, the scale of development, and the interaction of uses within the city. Form based districts provide places for people to live, work, and play within a close proximity. Regulations within form based districts place emphasis on the built environment over land use.
  2. How to Use This Chapter: Form based districts emphasize the form, scale, placement, and orientation of buildings. Each subdistrict includes a table of permitted building forms and specific development regulations for each building form. The first step is to identify which subdistrict the property is located in, and then identify what building forms are permitted, and finally what standards apply to the specific building form. All new developments and additions to existing buildings shall comply with the specific requirements of this chapter.

#### **21A.27.020 BUILDING TYPES AND FORMS ESTABLISHED**

- A. Building Types and Form Standards:
  1. Encourage building forms that are compatible with the neighborhood and the future vision for the neighborhood by acknowledging there will be different scaled buildings in the area;
  2. Arrange building heights and scale to provide appropriate transitions between buildings of different scales and adjacent areas, especially between different subdistricts;
  3. Guide building orientation through setbacks and other requirements to create a consistent street edge, enhance walkability by addressing the relationship between public and private spaces, and ensure architectural design will contribute to the character of the neighborhood;
  4. Use building form, placement, and orientation to identify the private, semiprivate, and public spaces;
  5. Minimize the visual impact of parking areas; and
  6. Minimize conflicts between pedestrians, bicyclists, and vehicles.
- B. Building Types and Forms:
  1. Description: The permitted building forms are described in this subsection. Each building form includes a general description and definition, as well as images of what the building form may look like. Building form images are for informational purposes only and not intended to demonstrate exactly what shall be built. The description and images should be used to classify existing and proposed buildings in order to determine what development regulations apply. The

drawings are not to scale. They should not be used to dictate a specific architectural style as both traditional and contemporary styles can be used.

- a. **Urban House:** A residential structure with the approximate scale of a single dwelling unit, as viewed from the street, but may contain up to two (2) dwelling units. The structure has a single entry facing the street, a front porch or stoop, and a small front yard. Second units may be arranged vertically (up and down) or horizontally (front and back), but the entry to the second unit is from the side, rear, or interior of structure. A third unit may also be located along an alley as a stand alone unit or as a dwelling unit located in an accessory building. All units are on a single lot.



*Urban House with Detached Dwelling*



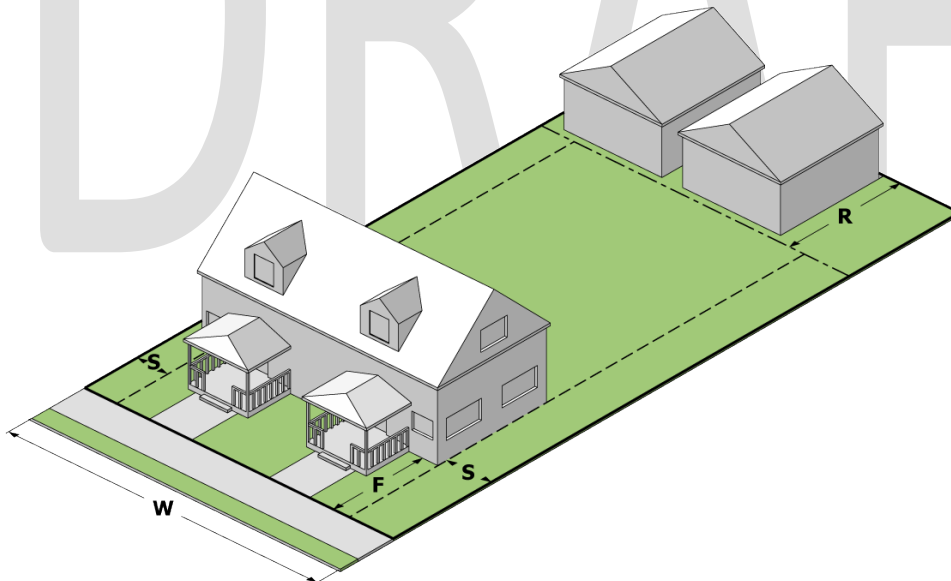
*Modern and Traditional Forms*





*Two-Story Contemporary Form*

- b. **Two-Family Dwelling:** A residential structure that contains two (2) dwelling units in a single building. The units may be arranged side by side, up and down, or front and back. Each unit has its own separate entry directly to the outside. Dwellings may be located on separate lots or grouped on one lot. A third unit may also be located along an alley as a stand alone unit or as a dwelling unit located in an accessory building, but may not be located on a separate lot.



*Two-Family Dwelling with Garages*



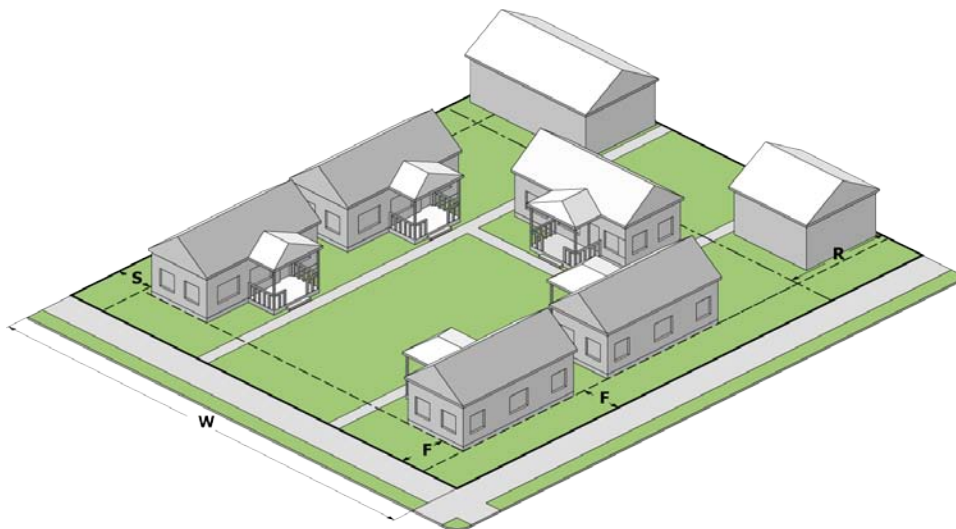


*Traditional Two-Family Dwelling*



*Modern Two-Family Dwelling*

- c. Cottage Development: A unified development that contains two (2) or more detached dwelling units with each unit appearing to be a small single-family dwelling with a common green or open space. Dwellings may be located on separate lots or grouped on one lot.



d. Additional Development Standards for Cottage Building Forms:

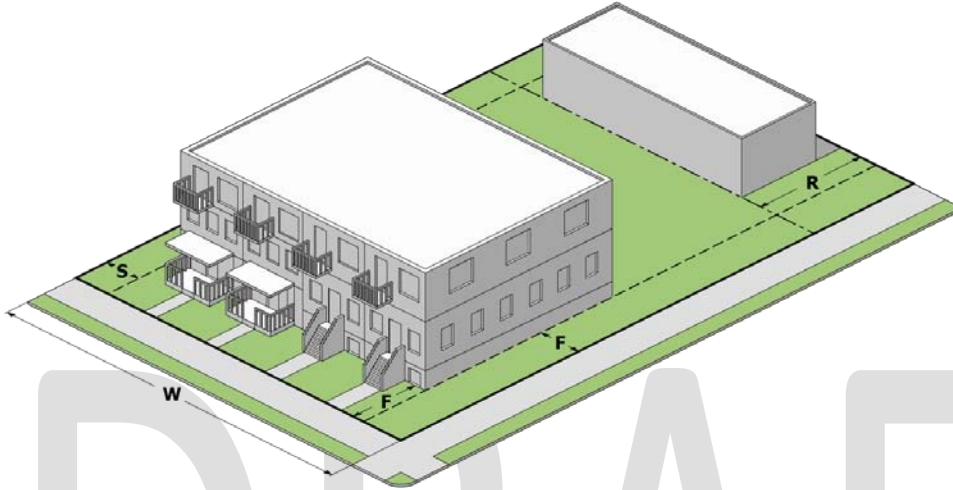
- (1) Setbacks between individual cottages: All cottages shall have a minimum setback of eight feet (8') from another cottage.
- (2) Footprint: No cottage shall have a footprint in excess of eight hundred fifty (850) square feet.
- (3) Building Entrance: All building entrances shall face a public street or a common open space.
- (4) Open Space: A minimum of two hundred fifty (250) square feet of common, open space is required per cottage up to a maximum of one thousand (1,000) square feet. At least fifty percent (50%) of the open space shall be contiguous and include landscaping, walkways or other amenities intended to serve the residents of the development.

*Cottage Development on Single Parcel*



*Cottage Development*

- d. Row House: A series of attached single-family dwellings that share at least one common wall with an adjacent dwelling unit. A row house contains a minimum of three (3) residential dwelling units. Each unit may be on its own lot. If possible, off street parking is accessed from an alley.



*Row House on Single Parcel*

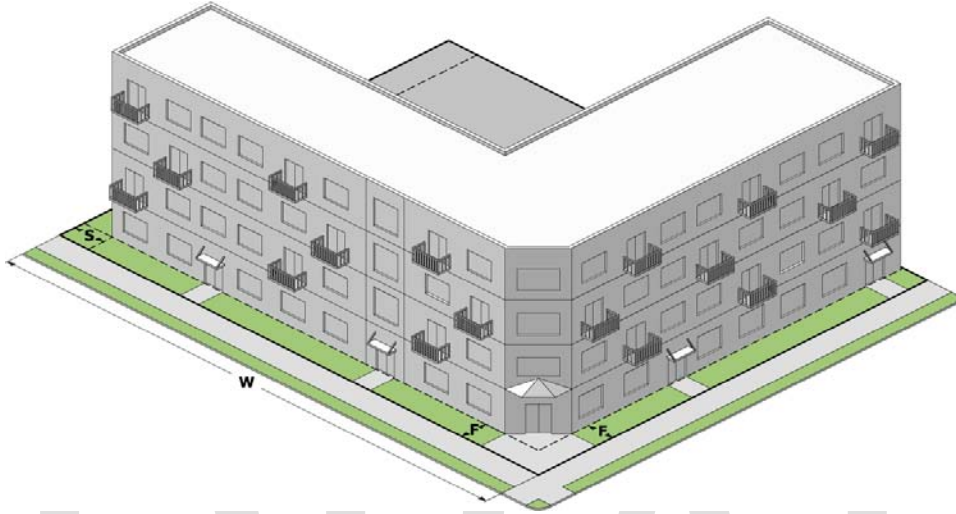


*Modern Row House Form*



*Traditional Row House Form*

- e. Multi-Family Residential: A multi-family residential structure containing three (3) or more dwelling units that may be arranged in a number of configurations.



*Multi-Family Residential Form*



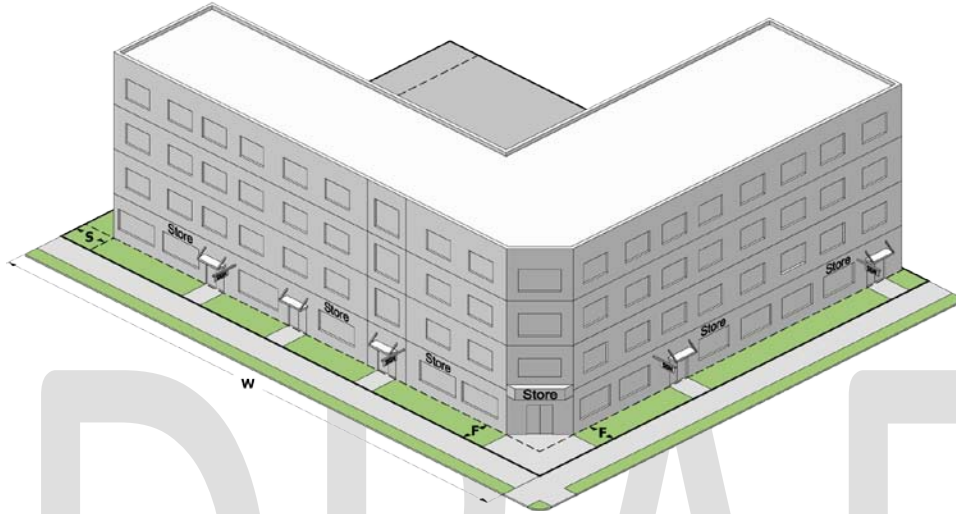
*Multi-Family Modern Form*



*Multi-Family Traditional Form*



- f. Storefront: A commercial structure that may have multiple stories and contain a variety of commercial uses that are allowed in the district that permits this building type. All buildings, regardless of the specific use, have a ground floor that looks like a storefront.



*Store Front Form*

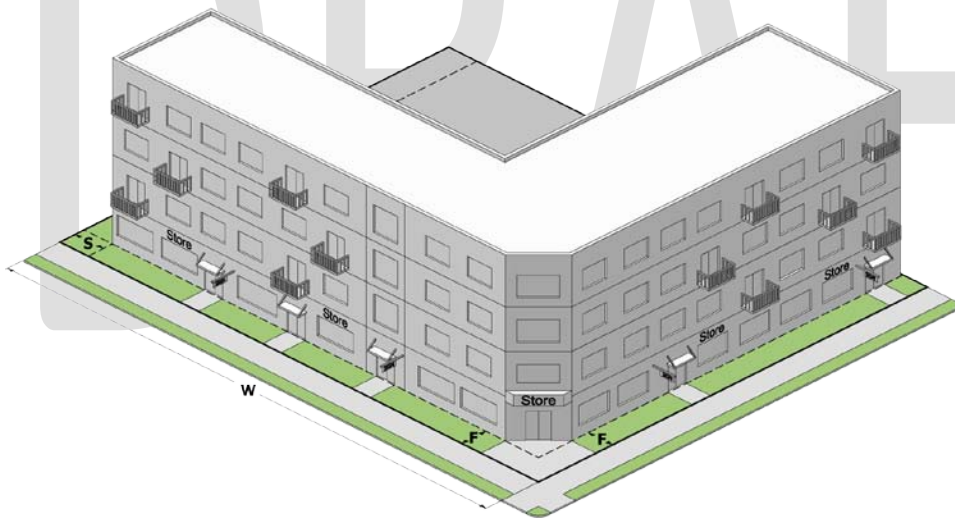


*Contemporary Store Front*



*Traditional Store Front*

- g. Vertical Mixed Use: A multi-story building that contains a mix of commercial and/or office with residential uses.



*Vertical Mixed Use Multi-Story Form*



## Modern Materials



## Traditional Materials

### B. Building Form Standards

1. The provisions of this section shall apply to all properties located within the form based districts as indicated on the maps in each form based district.
2. Building form and street type standards apply to all new buildings and additions when the new construction related to the addition is greater than twenty-five percent (25%) of the footprint of the structure or one-thousand (1,000) square feet, whichever is less. Refer to section the Building Configuration Standards for more information on how to comply with the standards. The graphics included provide a visual representation of the standards as a guide and are not meant to supersede the standards in the tables. Only building forms identified in the table are permitted.

### 21A.27.030 Building Configuration and Design Standards

#### A. Specific Intent of Configuration and Design Standards:

1. Design Related Standards: The design related standards are intended to do the following:
  - a. Implement applicable master plans;
  - b. Continue the existing physical character of residential streets while allowing an increase in building scale along arterials and near transit stations;
  - c. Focus development and future growth in the city along arterials and near transit stations;
  - d. Arrange buildings so they are oriented toward the street in a manner that promotes pedestrian activity, safety, and community;
  - e. Provide human scaled buildings that emphasize design and placement of the main entrance/exit on street facing facades;
  - f. Provide connections to transit through public walkways;

- g. Provide areas for appropriate land uses that encourage use of public transit and are compatible with the neighborhood;
  - h. Promote pedestrian and bicycle amenities near transit facilities to maximize alternative forms of transportation; and
  - i. Rehabilitate and reuse existing residential structures in the form based zoning districts when possible to efficiently use infrastructure and natural resources, and preserve neighborhood character.
- B. Building Configuration Standards Defined: The building configuration standards are defined in this section. The defined standards in this section are intended to identify how to comply with the building configuration standards tables located in this chapter.
- C. Building configuration standards apply to all new buildings and additions when the new construction related to the addition is greater than twenty-five percent (25%) of the footprint of the structure or one-thousand (1,000) square feet, whichever is less. The graphics included provide a visual representation of the standards as a guide and are not meant to supersede the standards in the tables. This standard applies to all form based zoning codes unless otherwise indicated.
2. Building Entry: A minimum of one main entry with an entry feature facing a public street or walkway, excluding alleys, is required. The main entry is the primary pedestrian entrance into a building. Two-family dwelling buildings shall have a minimum of one main entry with porch or stoop for at least one of the dwelling units facing a street. The main entry for the second dwelling unit may face the street or side yard, but must also have a porch or stoop entrance. Where required, the building entry must be one of the following:
- a. Front entrance: Door on the same plane as street facing facade;
  - b. Recessed entrance: Inset behind the plane of the building no more than ten feet (10'). If inset, then the sidewalls of the inset must be lined with clear glass. Opaque, smoked, or darkened glass is not permitted; or
  - c. Corner entrance: Entry that is angled or an inside corner located at the corner of two (2) intersecting streets.
  - d. Every building shall have at least one (1) entry for every seventy-five feet (75') of building façade along a public or private street, alley or greenway.
3. Encroachments: A permitted entry feature may encroach into a required yard provided no portion of the porch is closer than five feet (5') to the front property line.
4. Entry Feature: The following building entries are permitted as indicated:

TABLE 21A.27.030.B  
ENTRY FEATURE STANDARDS



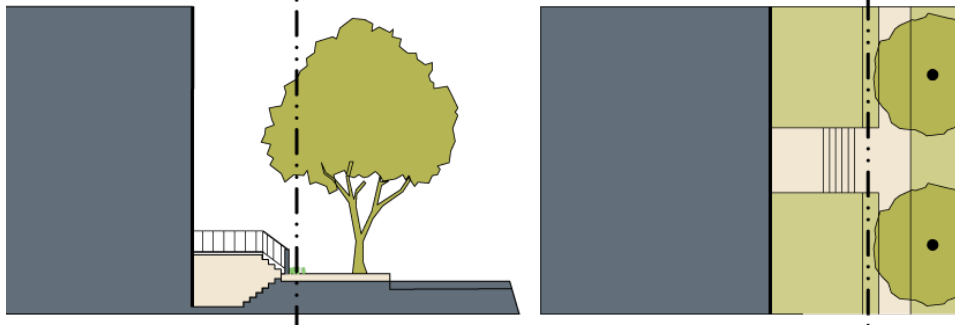
Entry Feature Permitted Based On Building Form Type	Urban House	Cottage Development	Two-Family Dwelling	Row House	Multi-Family	Store front	Vertical Mixed Use
Porch and fence: A planted front yard where the street facing building facade is set back from the front property line with an attached porch that is permitted to encroach into the required yard. The porch shall be a minimum of six (6) feet in depth. The front yard may include a fence no taller than three (3) feet in height	P	P	P	P	P	-	-

Reference Illustration - Porch and Fence



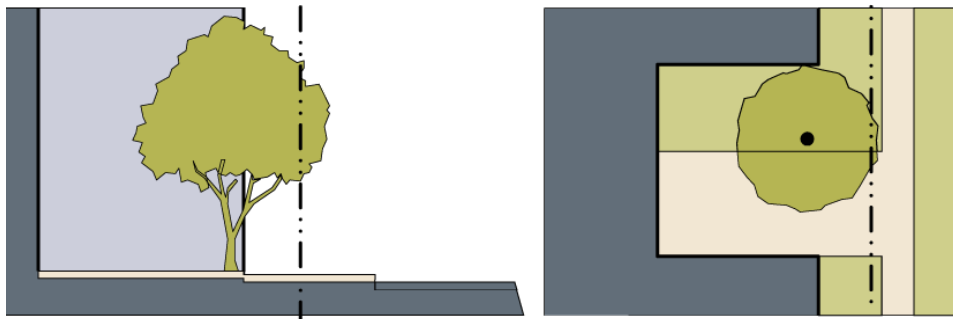
Entry Feature Permitted Based On Building Form Type	Urban House	Cottage Development	Two-Family Dwelling	Row House	Multi-Family	Store front	Vertical Mixed Use
Terrace or lightwell: An entry feature where the street facing facade is set back from the front property line by an elevated terrace or sunken lightwell. May include a canopy or roof	-	-	P	P	P	P	P

Reference Illustration – Terrace or Lightwell



Entry Feature Permitted Based On Building Form Type	Urban House	Cottage Development	Two-Family Dwelling	Row House	Multi-Family	Store front	Vertical Mixed Use
Forecourt: An entry feature wherein a portion of the street facing facade is close to the property line and the central portion is set back. The court created must be landscaped, contain outdoor plazas, outdoor dining areas, private yards, or other similar features that encourage use and seating	P	P	P	P	P	P	P

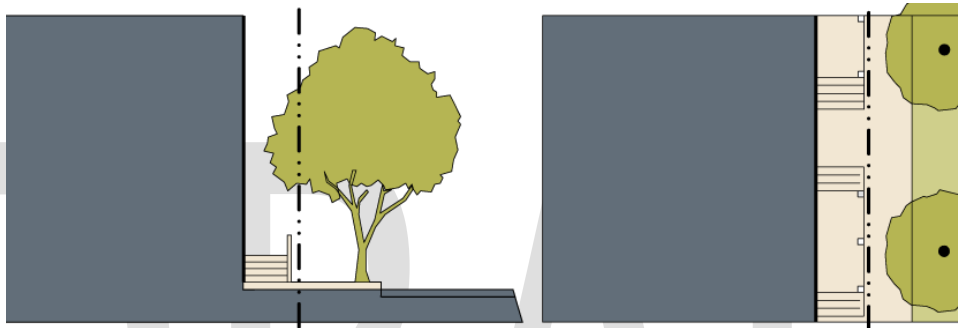
Reference Illustration – Forecourt



Entry Feature Permitted Based On Building Form Type	Urban House	Cottage Development	Two-Family Dwelling	Row House	Multi-Family	Store front	Vertical Mixed Use
Stoop: An entry feature wherein the street facing facade is close to the front property line and the first story is elevated from the	P	P	P	P	P	P	P

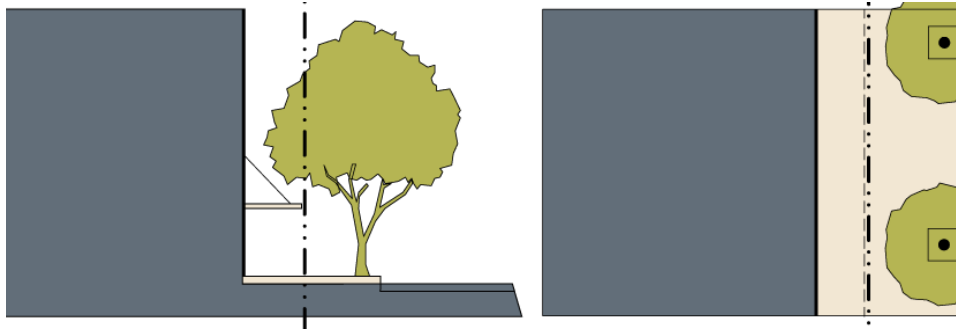
sidewalk sufficiently to secure privacy for the windows. The entrance contains an exterior stair and landing that is either parallel or perpendicular to the street. Recommended for ground floor residential uses							
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Reference Illustration – Stoop



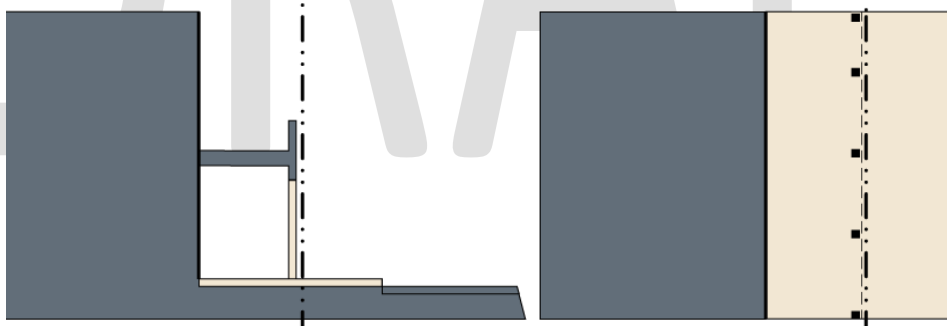
Entry Feature Permitted Based On Building Form Type	Urban House	Cottage Development	Two-Family Dwelling	Row House	Multi-Family	Store front	Vertical Mixed Use
Shopfront: An entry feature where the street facing facade is close to the property line and building entrance is at sidewalk grade. Building entry is covered with an awning, canopy, or is recessed from the front building facade, which defines the entry and provides protection for customers.	-	-	-	-	P	P	P

Reference Illustration – Shopfront



Entry Feature Permitted Based On Building Form Type	Urban House	Cottage Development	Two-Family Dwelling	Row House	Multi-Family	Store front	Vertical Mixed Use
Gallery: A building entry where the ground floor is no more than 10 feet from the front property line and the upper levels or roofline cantilevers from the ground floor facade up to the front property line.	-	-	-	-	P	P	P

Reference Illustration – Gallery



##### 5. Additional Design Standards Required for the Form Based Special Purpose Corridor Districts:

- a. The maximum length of any building façade facing a street is two hundred feet (200').
- b. Stepback Requirement: floors rising above thirty feet (30') in height shall be stepped back fifteen (15) horizontal feet from the building foundation at grade for building elevations that are adjacent to a public street, public trail, or public open space.
- c. For all floors or levels above the ground floor, a minimum of fifteen percent (15%) of all street facing façades must be glass.

- d. Commercial uses or businesses that face a greenway corridor may have a second floor balcony or patio. Rooftops can be used as patios and shall comply with all applicable zoning standards.
- e. Ground Floor Uses: On the ground floor, a permitted use other than parking shall occupy at least seventy-five percent (75%) of the width of any street-facing building façade. All portions of such ground floor spaces shall extend a minimum of twenty-five feet (25') into the building. Parking may be located behind these spaces.
- f. Design standards for parking structures: The following standards shall apply to parking structure whether stand alone or incorporated into a building:
- (1) Parking structures shall have an external skin designed to improve visual character when adjacent to a public street or other public space. Examples include heavy-gage metal screen, precast concrete panels; live green or landscaped walls, laminated or safety glass, decorative photovoltaic panels or match the building materials and character of the principal use. The planning director may approve other decorative materials not listed if the materials are in keeping with the decorative nature of the parking structure.
  - (2) The architectural design of the façades should express the internal function of the structure. Façade elements should align to parking levels and there shall be no sloped surfaces visible from a public street, public trail, or public open space..
  - (3) Internal circulation must be designed such that parking surfaces are level (or without any slopes) along all primary façades. All ramping between levels need to be placed along the secondary façade or to the center of the structure. Parking structures shall be designed to conceal the view of all parked cars and drive ramps from public spaces.
  - (4) Elevator and stairs shall be highlighted architecturally so visitors, internally and externally, can easily access these entry points.
  - (5) Signage and way-finding shall be integrated with the architecture of the parking structure and be architecturally compatible with the design. Public parking structures entrances shall be clearly signed from public streets.
  - (6) Interior garage lighting should not produce glaring sources towards adjacent properties while providing safe and adequate lighting levels. Lighting within parking structures shall not be visible from the public realm. The use of sensor dimmable LEDs and white-stained ceilings are a good strategy to control light levels on site while improving energy efficiency.

- (7) Where a driveway crosses a public sidewalk, the driveway shall be a different color, texture, or paving material than the sidewalk to warn drivers of the possibility of pedestrians in the area.
- (8) The street level facing facades of all parking structures shall be wrapped along all street frontages with habitable space that is occupied by a use that is allowed in the zone as a permitted or conditional use.
- (9) Parking structures should be designed to minimize vehicle noise and odors on the public realm. Venting and fan locations should not be located next to public spaces and shall be located as far as possible from adjacent residential land uses.

- 46.** Pedestrian Connections: Where required, the following pedestrian connection standards apply:
- a. The connection shall provide direct access from any building entry to the public sidewalk or walkway.
  - b. The connection shall comply with American with Disabilities Act (ADA) standards for accessibility.
  - c. The connection shall be fully paved and have a minimum width of four feet (4').
  - d. The connection shall be separated from vehicle drive approaches and drive lanes by a change in grade and a wheel stop if the walkway is less than eight feet (8') wide.
  - e. Pedestrian connections that lead directly from the sidewalk to the primary building entrance may contain wing walls, no taller than two feet (2') in height for seating, landscaping, etc.

- 57.** Ground Floor Transparency: Where required, the ground floor transparency standards apply:
- a. Minimum of sixty percent (60%) of street facing façade, located between two (2) and eight (8) feet above the grade of the sidewalk, shall be transparent glass. This may be reduced for twenty percent (20%) if the ground floor is within one of the following building types: urban house, two-family, cottage, and row house.
  - ab. There must be visual clearance behind the glass for a minimum of six feet (6'). Three-dimensional display windows at least six feet (6') deep are permitted and may be counted toward the sixty percent (60%) glass requirement.
  - bc. Ground floor windows of commercial uses shall be kept clear at night, free from any window covering, with internal illumination. When ground floor glass conflicts with the internal function of the building, other means shall be used to activate the sidewalk, such as display windows,

public art, architectural ornamentation or detailing or other similar treatment.

- ~~c. Windows and other glass surfaces shall have an outdoor visible light reflectivity value of no more than eighteen percent (18%) as defined and measured by American Society For Testing And Materials (ASTM) E308-90 or its successor.~~
- d. The first floor elevation facing a street of all new buildings, or buildings in which the property owner is modifying the size of windows on the front facade, shall comply with these standards.

8. Building Materials: A minimum of seventy percent (70%) of any street facing building façade shall be clad in high quality, durable, natural materials, such as stone, brick, wood lap siding, fiber cement board siding, shingled or panel sided, and glass. Other materials may count up to thirty percent (30%) of the street facing building façade. Exterior insulation and finishing systems (EIFS) is permitted for trim only.

9. Open Space: A minimum of ten percent (10%) of the lot area shall be provided for open space. Open space may include landscaped yards, patio, dining areas, common balconies, rooftop gardens, and other similar outdoor living spaces. Private balconies shall not be counted towards the minimum open space requirement. Required parking lot landscaping or perimeter parking lot landscaping shall also not count towards the minimum open space requirement.

10. Building Fenestration: No building wall that faces onto a street shall exceed more than thirty feet (30') in length without being interrupted by windows, doors, or change of building wall plane that results in an offset of at least twelve inches (12").



*Illustration Of Building Fenestration*

11. Residential Balconies: All street facing residential units above the ground floor or level shall contain a usable balcony that is a minimum of four feet (4') in depth. Balconies may overhang any required yard.

712. Design Standards Alternatives:

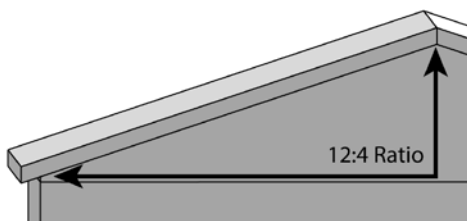
- a. Alternatives to Required Build-To Line: Where a "required build-to" standard applies, the following alternatives may count toward the minimum build-to requirement as indicated:
- (1) Landscaping Walls: Landscaping walls between twenty four inches (24") and forty two inches (42") high may count up to twenty five percent (25%) toward the minimum requirement provided the following:
    - (A) The wall incorporates seating areas.
    - (B) The wall is constructed of masonry, concrete, stone or ornamental metal.
    - (C) The wall maintains clear view sightlines where sidewalks and pedestrian connections intersect vehicle drive aisles or streets.
  - (2) Pergolas and Trellises: Pergolas and trellises may count up to twenty five percent (25%) toward the minimum build-to requirement provided the following:
    - (A) The structure is at least forty eight inches (48") deep as measured perpendicular to the property line.
    - (B) A vertical clearance of at least eight feet (8') is maintained above the walking path of pedestrians.
    - (C) Vertical supports are constructed of wood, stone, concrete or metal with a minimum of six inches by six inches (6"x6") or a radius of at least four inches (4").
    - (D) The structure maintains clear view sightlines where sidewalks and pedestrian connections intersect vehicle drive aisles or streets.
  3. Arcades: Arcades may count up to one hundred percent (100%) toward the minimum requirement provided the following:
    - (A) The arcade extends no more than two (2) stories in height.
    - (B) No portion of the arcade structure encroaches onto public property.
    - (C) The arcade maintains a minimum pedestrian walkway of five feet (5').
    - (D) The interior wall of the arcade complies with the building configuration standards.
  4. Plazas And Outdoor Dining: Plazas and outdoor dining areas may count up to fifty percent (50%) toward the minimum requirement, and have a maximum front setback of up to fifteen feet (15') provided the following:



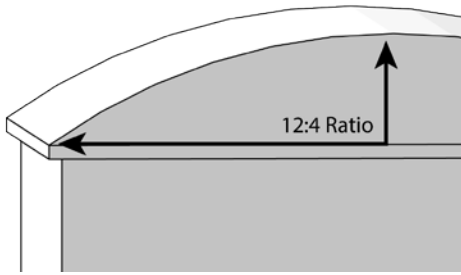
- (A) The plaza or outdoor dining is between the property line adjacent to the street and the street facing building facade.
  - (B) Shall be within two feet (2') of grade with the public sidewalk.
  - (C) The building entry shall be clearly visible through the courtyard or plaza.
  - (D) The building facades along the courtyard or plaza shall comply with the ground floor transparency requirement.
- b. Alternatives to Ground Floor Transparency Requirement: The planning director may modify the ground floor transparency requirement in the following instances:
- 1. The requirement would negatively impact the historical character of a building within the H historic preservation overlay district; or
  - 2. The requirement conflicts with the structural integrity of the building and the structure would comply with the standard to the extent possible.

**§13.** Permitted Encroachments and Height Exceptions: Obstructions and height exceptions are permitted as listed in this section or in section 21A.36.020 of this title or as indicated below.

- 1. Canopies: Canopies covering the primary entrance or entrances to a structure may extend into the right of way provided all city processes and requirements for right of way encroachments are complied with. No commercial signs are allowed on entrance canopies if the canopy encroaches into the public right of way.
- 2. Building Height: In order to promote a varied skyline and other roof shapes in the area, structures with a sloped roof may exceed the maximum building height in the form based districts by five feet (5') provided:
  - a. The additional height does not include additional living space. Vaulted ceilings, storage spaces, and utility spaces are permitted.
  - b. The slope of the roof is a minimum of a twelve-four (12:4) pitch or a quarter barrel shape.



*Minimum Slope of Pitched Roof*



*Minimum Slope of Quarter Barrel Roof*

**D.** Other Applicable Development Standards

1. Landscaping. Any applicable standard listed in 21A.48 Landscaping shall be complied with.
2. Signs. All signs shall comply with the standards found in 21A.46.096.
3. Accessory Uses, Building and Structures. All accessory uses, buildings and structures shall comply with the applicable standards in 21A.40, except as noted below:
  - a. Form Based Urban Neighborhood District Specific Standards for Detached Dwelling Units:
    - (1) Detached dwelling units may be built in a required yard as a stand alone unit or attached to an accessory building, such as a garage.
    - (2) Detached dwelling units are only permitted with the urban house, two-family dwelling, and row house building forms.
    - (3) No accessory structure containing a detached dwelling unit shall exceed twenty five feet (25') in height.
    - (4) If a detached dwelling unit is built as a second level, the minimum setback from property line shall be a minimum of four feet (4').
    - (5) All building configuration standards that apply to the primary building form shall also apply to the detached dwelling unit, with the exceptions listed below:
      - (A) The detached dwelling unit shall have an entry feature that faces or is accessible from a public alley when present;
      - (B) The entry feature may be a stoop that has a minimum dimension of four feet by four feet (4' x 4'); and
      - (C) The ground floor transparency requirement does not apply to detached dwelling units located on the second floor of an accessory structure.

**b. Form Based Special Purpose Corridor District Specific Standards for Detached or Accessory Parking Garages or Structures:**

- (1) Detached or accessory multi-level parking garages or structures shall have the same setback requirements for principal structures.
- (2) The minimum setback required above shall be landscaped to provide a buffer to the abutting residential district. No structure (primary or accessory) shall be permitted within this landscaped buffer.

4. Parking Regulations. All parking regulations shall comply with the requirements of 21A.44.
5. Permitted Land Use. All uses allowed in the form based districts can be found in 21A.33.

#### **21A.27.040: FB-SC AND FB-SE FORM BASED SPECIAL PURPOSE CORRIDOR DISTRICT**

##### **A. Subdistricts:**

1. Named: The following subdistricts can be found in the form based special purpose corridor form based districts:
  - a. FB-SC Streetcar Special Purpose Corridor Core Subdistrict: The FB-SC streetcar-special purpose corridor core subdistrict contains the most intensive level of development in the vicinity of the streetcar special purpose corridors. Buildings are generally six (6) to seven (7) stories in height and are supported by multiple street types so that they pedestrians, bicyclists and drivers have access to the properties within the area. Development standards are based on building type.
  - b. FB-SE Streetcar Special Purpose Corridor Edge Subdistrict: The FB-SE streetcar-special purpose corridor edge subdistrict is intended to provide an appropriate transition in building size and scale between existing neighborhoods and the Core area. Buildings may be up to four (4) stories in height, with appropriate setbacks when adjacent to lower scale residential neighborhoods. Development regulations are based on building type, with the overall scale, form and orientation as the primary focus.
2. Applicability of Subdistricts: The regulations of the subdistricts shall apply as indicated in the regulating plan map.

#### **FIGURE 21A.27.040.A REGULATING PLAN MAP –SUGAR HOUSE STREETCAR FORM BASED SPECIAL PURPOSE CORRIDOR AREA**



## B. Street Types

1. **Street Types Intent:** The intent of identifying specific types of streets in the streetcar-special purpose corridor districts is to:
  - a. Ensure that a hierarchy of transportation is established;
  - b. Guarantee access to private property; and
  - c. Determine the appropriate manner in which buildings address streets.
2. **Street Types Established:** The following types of streets are hereby established. The location and applicability of street type regulations are shown on map 21A.27.040.A Regulating Plan Map – Sugar House Streetcar Form Based Special Purpose Corridor Area.
  - a. **Greenway Street:** Streets that contain a streetcar line and stops and various types of multi-use trails. Greenway streets may provide access for pedestrians and bicycles. Automobiles are not permitted on Greenway streets.

- b. Neighborhood Street: Neighborhood streets are intended to serve the adjacent neighborhoods and are generally considered local streets. Automobile access may be provided to each individual lot. Access to certain building forms is not permitted from a Neighborhood street unless the property only has frontage on a Neighborhood street.
- c. Pedestrian Avenue Street: Pedestrian Avenue streets are those streets that are designed to accommodate a high number of pedestrians. Automobile access to private property may be permitted. Pedestrians are the priority.
- d. Access Boulevard Street: Access Boulevard streets are designed to provide automobile and service access in a manner that balances the needs of automobiles and pedestrians.

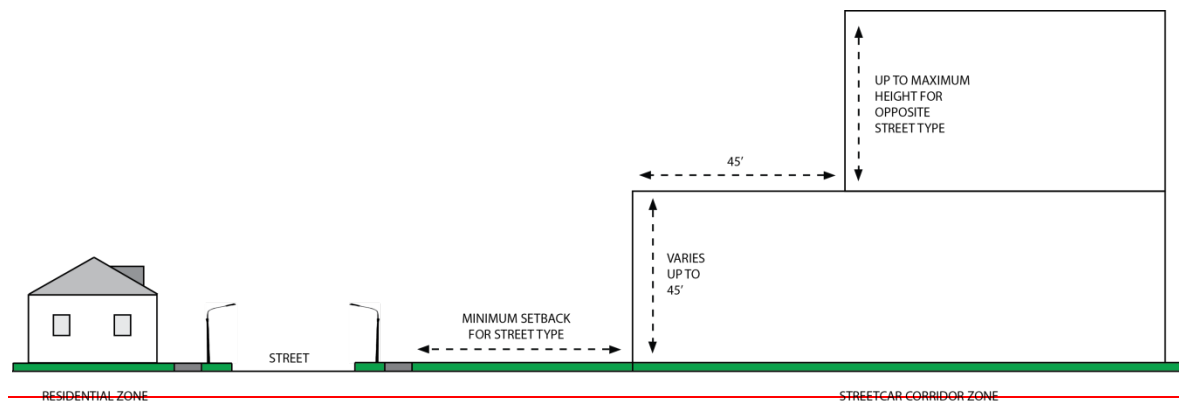
- C. FB-SC Building Form Standards. Building form standards are listed below in Table 21A.27.040.C

TABLE 21A.27.040.C  
FB-SC BUILDING FORM STANDARDS

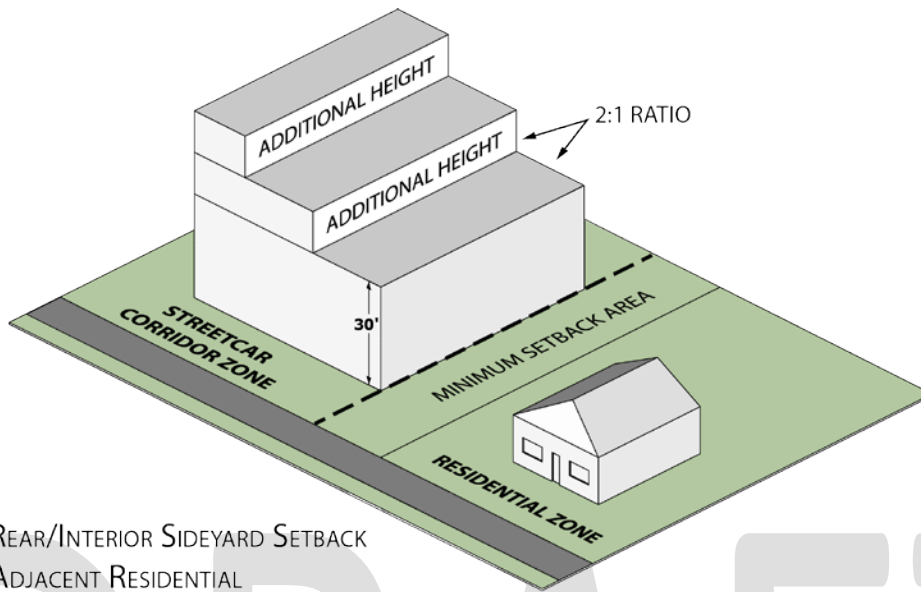
Permitted Building Forms Multi-Family and Store Front			
	<b>Height (per street type) measured from established grade</b>	Greenway	Minimum of 2 stories. Maximum of 45 feet.
		Neighborhood	No minimum. Maximum of 45 feet.
		Pedestrian	Minimum of 2 stories. Maximum of 105 feet.
		Access	Minimum of 2 stories. Maximum of 105 feet.
<b>H</b>	Special Height Provisions for multiple frontage properties		For properties that have frontage on multiple streets type with different maximum height requirements, the lower of the maximum heights applies to a horizontal measurement equal of the lower of the two heights measured from the building setback. See illustration below.
<b>H</b>	Maximum Building Height		Maximum building height in the FB-SC is 75 feet, except for the areas noted on the regulating plan map in 21A.27.040.A. Buildings may be up to 135 feet in height for a lineal distance of 135 feet extending from any 700 East property line. See the regulating plan map in Section 21A.27.040.A for specific height limits.
	Limitation on Commercial Uses		Commercial or nonresidential uses are limited to the first 3 stories and a height of 45 feet. This limitation does not apply to hotel/motel uses.
<b>F</b>	Front and Corner Side Yard	Greenway	Minimum of 5 feet. Maximum of 15 feet.
		Neighborhood	Minimum of 15 feet. Maximum of 25 feet.
		<u>Pedestrian Avenue</u>	Minimum of 5 feet. Maximum of 10 feet.

	Setback	<u>AccessBoulevard</u>	Minimum of 15 feet. Maximum of 25 feet.
<b>B</b>	Required Build-To		Minimum of 50% of any street facing façade shall be built to the minimum setback line. <u>At least 10% of any street facing façade shall be building the maximum setback line.</u>
<b>S</b>	Interior Side Yard		When adjacent to a residential district, a minimum setback of 25% of the lot width, up to 25 feet, is required. Any portion of the building taller than 30 feet must be stepped back two feet from the required building setback line for every one foot of height over 30 feet. When adjacent to other zoning districts, no minimum setback is required. See illustration below.
<b>R</b>	Rear Yard		When adjacent to a residential district, a minimum setback of 25% of the lot width, up to 25 feet, is required. Any portion of the building taller than 30 feet must be stepped back two feet from the required building setback line for every one foot of height over 30 feet. When adjacent to other zoning districts, no minimum setback is required. See illustration below.
<b>I</b>	Minimum Lot Size		4,000 square feet; not to be used to calculate density.
<b>W</b>	Minimum Lot Width		50 feet
<b>DU</b>	Dwelling Units per Building Form		No minimum or maximum.
<b>BF</b>	Number of Building Forms per Lot		One building form permitted for every 4,000 square feet of lot area provided all building forms have frontage on a street.

### Special Height Provision for Multiple Frontage Properties Illustration



### Interior Side Yard and Rear Yard Illustration



REAR/INTERIOR SIDEYARD SETBACK  
ADJACENT RESIDENTIAL

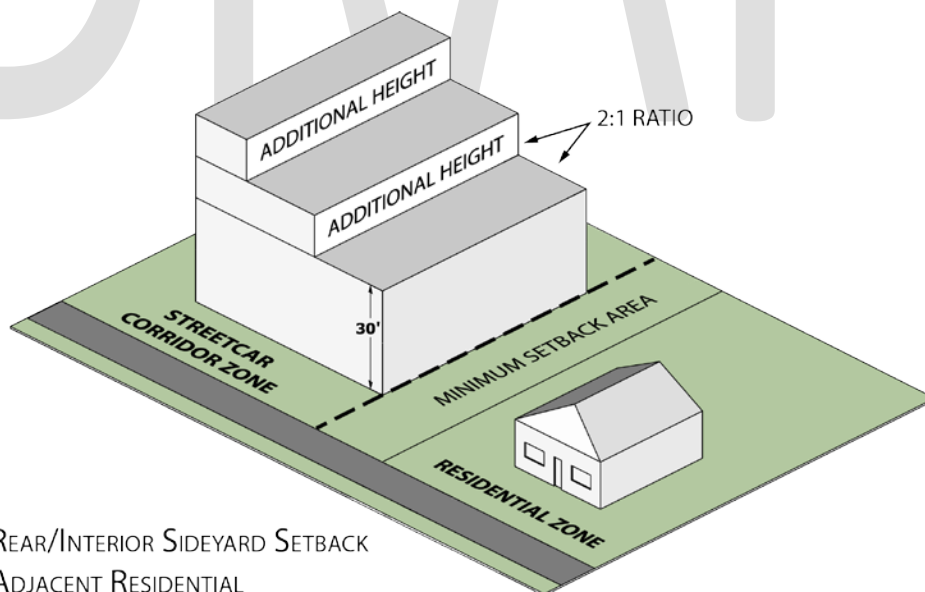
- D. FB-SE Building Form Standards. Building form standards are listed below in Table 21A.27.040.D

TABLE 21A.27.040.D  
FB-SE BUILDING FORM STANDARDS

Permitted Building Forms Cottage, Row House, Multi-Family and Store Front			
<b>H</b>	Height (per street type) measured from established grade	Greenway	Maximum of 45 feet.
		Neighborhood	Maximum of 45 feet.
		Pedestrian	Maximum of 45 feet.
		Access	Minimum of 2 stories. Maximum of 45 feet.
<b>H</b>	Maximum Building Height		Maximum building height in the FB-SE is 45 feet.
	Limitation on Commercial Uses		Commercial or nonresidential uses are limited to the first 2 stories and a height of 30 feet. This limitation does not apply to hotel/motel uses.
<b>F</b>	Front and Corner Side Yard Setback	Greenway	Minimum of 5 feet. Maximum of 15 feet.
		Neighborhood	Minimum of 15 feet. Maximum of 25 feet.
		<u>Pedestrian Avenue</u>	Minimum of 5 feet. Maximum of 10 feet.
		<u>Access Boulevard</u>	Minimum of 15 feet. Maximum of 25 feet.
<b>B</b>	Required Build-To		Minimum of 50% of street facing façade shall be built to the minimum setback line.



<b>S</b>	Interior Side Yard	When adjacent to a residential district, a minimum setback of 25% of the lot width, up to 25 feet, is required. Any portion of the building taller than 30 feet must be stepped back two feet from the required building setback line for every one foot of height over 30 feet. When adjacent to other zoning districts, no minimum setback is required. See illustration below.
<b>R</b>	Rear Yard	When adjacent to a residential district, a minimum setback of 25% of the lot width, up to 25 feet, is required. Any portion of the building taller than 30 feet must be stepped back two feet from the required building setback line for every one foot of height over 30 feet. When adjacent to other zoning districts, no minimum setback is required. See illustration below.
<b>I</b>	Minimum Lot Size	4,000 square feet; not to be used to calculate density.
<b>W</b>	Minimum Lot Width	50 feet
<b>DU</b>	Dwelling Units per Building Form	No minimum or maximum.
<b>BF</b>	Number of Building Forms per Lot	One building form permitted for every 4,000 square feet of lot area provided all building forms have frontage on a street.



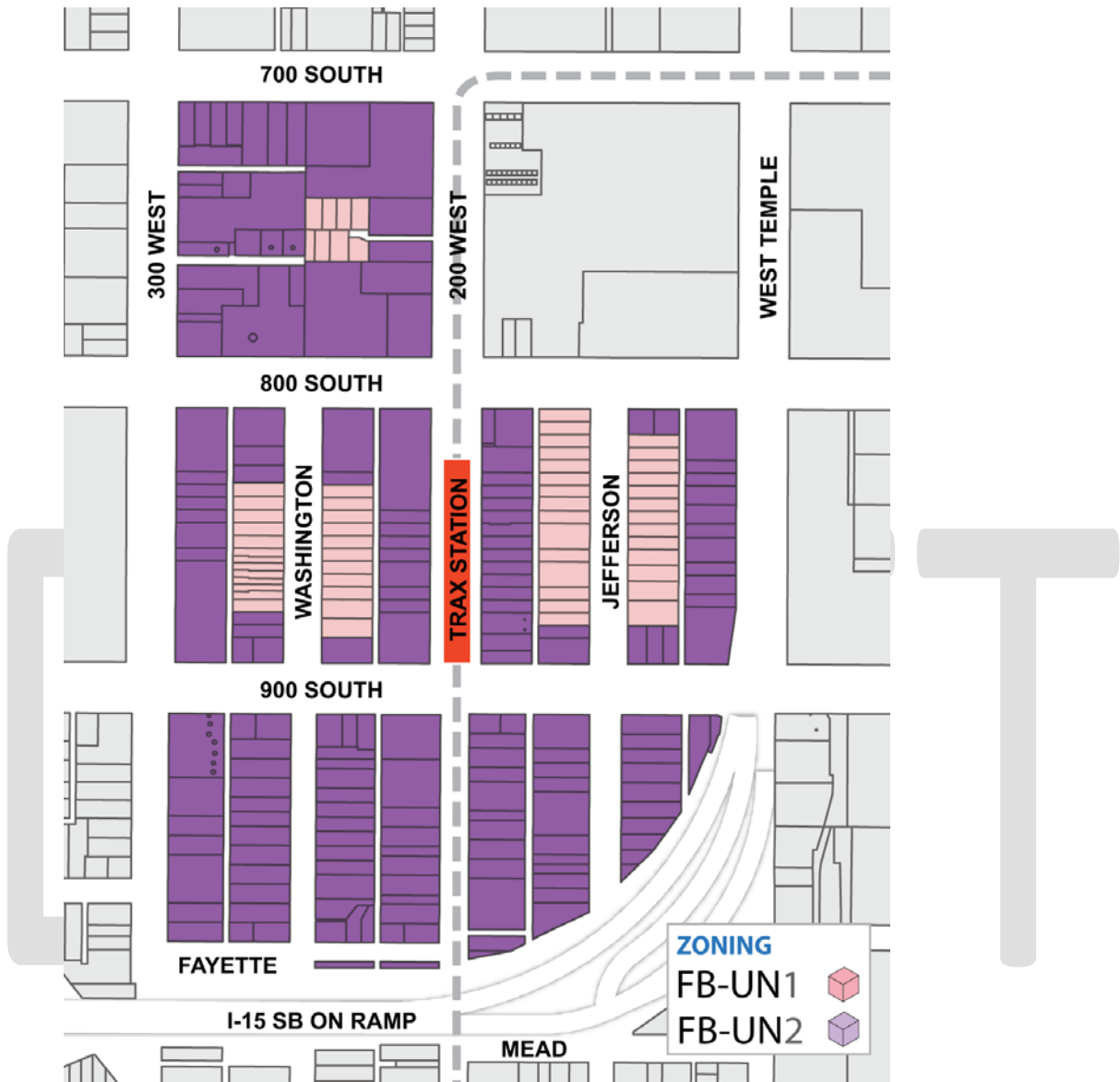
REAR/INTERIOR SIDEYARD SETBACK  
ADJACENT RESIDENTIAL

## 21A.27.050: FB-UN1 AND FB-UN2 FORM BASED URBAN NEIGHBORHOOD STANDARDS:

### A. Subdistricts:

1. Named: The following subdistricts can be found in the urban neighborhood form based districts:
  - a. FB-UN1 Urban Neighborhood 1 Subdistrict: Generally includes small scale structures, up to two and one-half (2½) stories in height, on relatively small lots with up to four (4) dwelling units per lot depending on building type. Reuse of existing residential structures is encouraged. Development regulations are based on the building type.
  - b. FB-UN2 Urban Neighborhood 2 Subdistrict: Generally includes buildings up to four (4) stories in height, with taller buildings located on street corner parcels, which may contain a single use or a mix of commercial, office, and residential uses. Development regulations are based on building type, with the overall scale, form, and orientation of buildings as the primary focus.
2. Applicability Of Subdistricts: The regulations of the subdistricts shall apply as indicated in the regulating plan map.

**FIGURE 21A.27.050.A**  
**REGULATING PLAN MAP – WEST TEMPLE GATEWAY AREA**



- B. FB-UN1 Building Form Standards. Building form standards are listed below in Table 21A.27.050.B

TABLE 21A.27.050.B  
FB-UN1 BUILDING FORM STANDARDS

		Building Form			
Building Regulation		Urban House	Two-Family Dwelling	Cottage Development <sup>1</sup>	Row House
<b>Building Height and Placement</b>					
H	Height	2½ stories, maximum of 30 feet, measured from established grade.			
F	Front and corner side yard setback	Equal to average setback of block face, where applicable, otherwise minimum of 10 feet and maximum of 20 feet.			

S	Interior side yard	Minimum 4 feet.			
R	Rear yard	Minimum of 20% lot depth up to 25 feet.		4 feet minimum.	Minimum of 20% lot depth up to 25 feet.
L	Minimum lot size	3,000 square feet; not to be used to calculate density.	1,500 square feet; not to be used to calculate density.	1,500 square feet; not to be used to calculate density.	
W	Minimum lot width	30 feet	15 feet per unit.	15 feet per unit facing a street.	15 feet per unit. Side orientation allowed provided building configuration standards are complied with.
DU	Maximum dwelling units per building form	2 units plus 1 detached accessory unit.	2 units plus 1 detached accessory unit.	1 unit per cottage, multiple cottages per lot.	Minimum of 3; maximum of 4.
BF	Number of building forms per lot	1 building form permitted for every 3,000 square feet of lot area.	1 cottage for every 1,500 square feet of lot area.	1 building form permitted for every 1,500 square feet of lot area.	
Parking					
Surface parking in front and corner side yards		Not permitted.			
Vehicle access		If off street parking is provided, vehicle access from an alley is required when property is served by a public or private alley with access rights. Vehicle access from street is only permitted when no alley access exists. If pull through parking is required by fire or other code, ingress shall be from street and egress onto alley.			
Parking on separate lots		Not permitted.		Parking may be provided on an adjacent lot or in a common area associated with the development.	
Building Configuration					
Building entry		Minimum of 1 entry facing public street. Two family dwellings shall have at least 1 entry facing a street. Side entries for building forms with 2 or more dwelling units are permitted provided a minimum of 1 building entry faces a street.			
Pedestrian connections		Pedestrian access to public walkways required		Pedestrian access to public walkways required for each dwelling unit	
Ground floor transparency		Minimum of 20% of street facing façade			
Attached garages and carports		Attached garages and carports are required to be <u>accessed from</u> the rear yard where the rear yard is accessible by an alley with access rights to the subject property. If there is no access to the rear yard, an attached garage			

	may be accessed from the front or corner side yard provided the garage door (or doors) is no wider than 50% of the front facade of the structure and set back at least 5 feet from the street facing building facade and at least 20 feet from the property line. Side loaded garages are permitted.
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Note:

<sup>1</sup> See subsection G of this section for additional standards.

- C. FB-UN2 Building Form Standards. Building form standards are listed below in Table 21A.27.050.C

TABLE 21A.27.050.C  
FB-UN2 BUILDING FORM STANDARDS

		Building Form				
Building Regulation		Cottage Development <sup>1</sup>	Row House	Multi-Family Residential	Mixed Use	Storefront
Building Height and Placement						
H	Height	2½ stories, 30 feet maximum from established grade.	4 stories with a maximum of 50'. 5 stories with a maximum of 65' on parcels located on the corners of West Temple at 800 or 900 South, 200 West at 700, 800 or 900 South, 200 West at Fayette Avenue, and 300 West at 800 or 900 South. All heights measured from established grade.			
F	Front and corner side yard setback	No minimum and maximum 10 feet.				
B	Required build-to	Minimum of 50% of street facing facade shall be built to the minimum setback line.				
S	Interior side yard	Minimum of 15 feet along a side property line adjacent to FB-UN1, otherwise 4 foot setback required. Parcels separated by an alley are not considered adjacent.		Minimum of 15 feet along a side property line adjacent to FB-UN1, otherwise no setback required. Parcels separated by an alley are not considered adjacent.		
R	Rear yard	Minimum of 25 feet when rear yard is adjacent to FB-UN1 otherwise no setback required. Parcels separated by an alley are not considered adjacent.		Minimum of 20 feet when rear yard is adjacent to FB-UN1.		
U	Upper level step back	When adjacent to lot in the FB-UN1, buildings shall be stepped back 1 additional foot for every foot of building height above 35 feet. When a parcel in the FB-UN2 district is separated from a parcel in the FB-UN1 district by an alley, the width of the alley may be counted toward the upper level step back.				
L	Minimum lot size	4,000 square feet; not to be used to calculate density.	1,500 square feet; not to be used to calculate density.	4,000 square feet; not to be used to calculate density.		
W	Minimum lot width	15 feet per unit facing a street. Side orientation allowed provided building configuration standards are complied with.		30 feet		

DU	Dwelling units per building form	1 per cottage	Minimum of 3; maximum of 5.	No minimum or maximum.
BF	Number of building forms per lot	1 cottage for every 1,000 square feet of lot area.	1 building form permitted for every 1,000 square feet of lot area.	1 building form permitted for every 4,000 square feet of lot area.
<b>Parking</b>				
Surface parking in front and corner side yards		Not permitted.		
Vehicle access		<p>If off street parking is provided, vehicle access from an alley is required when property is served by a public or private alley with access rights. Vehicle access from street is only permitted when no alley access exists. If pull through parking is required by fire or other code, ingress shall be from street and egress onto alley.</p> <p>If property is less than 30 feet wide, vehicle access from an alley is required when property is served by a public or private alley with access rights. If no alley access exists, only 1 vehicle access point from a street may be permitted.</p> <p>If property is 30 feet wide or more, only 1 vehicle access point from a street may be permitted. If property is served by a public or private alley, ingress shall be from street and egress onto alley unless otherwise permitted by this section.</p> <p>Corner lots with a minimum width of 120 feet, may have 1 vehicle access point per street frontage. Vehicle access may be one-way or multi-directional.</p>		
Vehicle access width at street		When a one-way vehicle drive is included in a development, no vehicle drive or curb cut may exceed 12 feet in width. When a multi-directional vehicle drive is included, a curb cut may not exceed 24 feet in width.		
Vehicle access from street design standards		If vehicle access is from a street, the following additional design standards shall apply: garage entry shall have a minimum 20 feet setback from property line; garage entry may not exceed 50% of first floor building width; one-way garage entry may not exceed 14 feet in width; multiway garage entry may not exceed 26 feet in width; garage door or gate shall be constructed of durable building materials and compatible with building design.		
Driveway location		The minimum distance between curb cuts shall be 12 feet. Driveways shall be at least 6 feet from abutting property lines for a depth of 10 feet unless shared. Driveways shall be at least 12 feet from property lines adjacent to a street corner or 5 feet from the point of tangency of the curb return, whichever is greater. Abandoned curb cuts shall be removed and replaced with city standard curb.		
Vehicle access and parking compliance		All new drive approaches, driveways, and parking lots shall comply with form based urban neighborhood regulations, and all other applicable sections of this code. Existing drive approaches, driveways, and parking lots shall be made compliant with form based urban neighborhood regulations upon change of use, increase in parking, or building additions greater than 25% of the footprint of the structure or 1,000 square feet, whichever is less.		
Parking on separate lots		Parking may be provided on an adjacent lot, or in a common area associated with the development, or within 500 feet of the property. If located on an adjacent		

	parcel or on a parcel within 50 feet, the proposed location of the parking shall contain a principal building and the parking shall be located behind a principal building.	
Building Configuration		
Building entry	<del>Minimum of 1 building entry per street frontage. An additional entry feature is required for every 75 feet of building wall adjacent to street. Side entries for multiple dwelling unit buildings are permitted provided there is at least 1 primary entrance facing a public street.</del>	
Pedestrian connections	<del>Pedestrian access to public walkway is required for each unit.</del>	<del>Pedestrian access to public walkway is required.</del>
Ground floor transparency	<del>Minimum of 60% of street facing facade, located between 2 feet and 8 feet above the grade of the sidewalk, shall be transparent glass. This may be reduced to 30% if ground floor is occupied by residential uses.</del>	
Building fenestration	<del>Required as per subsection F of this section.</del>	
Open space	<del>A minimum of 10% of lot area shall be provided for open space. Open space may include landscaped yards, patios, dining areas, balconies, rooftop gardens, and other similar outdoor living spaces. Required parking lot landscaping or perimeter parking lot landscaping shall not count toward the minimum open space requirement.</del>	
Upper level outdoor space	<del>All street facing residential units above the ground floor shall contain a usable balcony that is a minimum of 4 feet in depth. Balconies may overhang any required yard.</del>	
Building facade materials	<del>A minimum of 70% of any street facing building facade shall be clad in glass, brick, masonry, textured or patterned concrete, wood, or stone. Other materials may count up to 30% of the street facing building facade.</del>	
Attached garages and carports	Attached garages and carports are required to be <u>accessed from</u> the rear yard where the rear yard is accessible by an alley with access rights to the subject property. If there is no access to the rear yard, an attached garage may be accessed from the front or corner side yard provided that the garage door (or doors) is no wider than 50% of the front facade of the structure and the entry to the garage is set back at least 10 feet from the street facing building facade and at least 20 feet from a public sidewalk. Side loaded garages are permitted.	

Note:

<sup>1</sup>

See subsection G of this section for additional standards.

## Proposed Changes to 21A.46 – Signs

### 21A.46.096 SIGNS REGULATIONS FOR FORM BASED CODE DISTRICTS

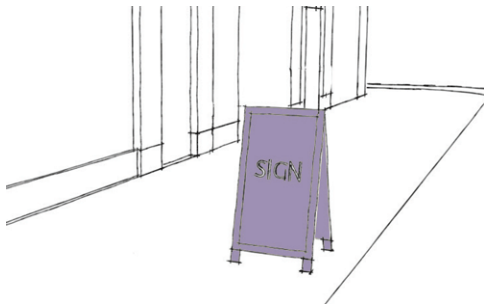
The following regulations shall apply to signs permitted in the form based code zoning districts. Any sign not expressly permitted by these district regulations is prohibited.

#### A. Sign Regulations for the Form Based Code Districts:

1. Purpose: Sign regulations for the form based code zoning districts are intended to provide appropriate signage oriented primarily to pedestrian and mass transit traffic.
2. Applicability: This subsection applies to all signs located within the form based code zoning districts. This subsection is intended to list all permitted signs in the zone. All other regulations in chapter 21A.46, "Signs", of this title shall apply.

#### B. Sign Type, Size and Height Standards:





## 1. A-Frame Sign

Sign Type	FB-UN1	FB-UN2	FB-SC	FB-SE	Specifications	
A-frame sign	-	P	P	P	Quantity	1 per leasable space. Leasable spaces on corners may have 2.
					Width	Maximum of 2 feet. Any portion of the frame (the support structure) may extend up to 6 inches in any direction beyond the sign face.
					Height	Maximum of 3 feet. Any portion of the frame (the support structure) may extend up to 6 inches in any direction beyond the sign face.
					Placement	On public sidewalk or private property.
					Obstruction Free Area	Minimum of 8 feet must be maintained at all times for pedestrian passage.



## 2. Awning or Canopy Sign

Sign Type	FB-UN1	FB-UN2	FB-SC	FB-SE	Specifications	
Awning or canopy sign	P	P	P	P	Quantity	1 per window.
					Width	Equal to the width of the window.
					Projection	No maximum depth from building facade, however design subject to

						mitigation of rainfall and snowfall runoff, conflict avoidance with tree canopy, and issuance of encroachment permits where required. The awning or canopy can project a maximum of 2 feet into a <u>streetcar-special purpose</u> corridor.
					Clearance	Minimum of 10 feet of vertical clearance.
					Letters and logos	Allowed on vertical portions of sign only.
					Location Permitted	Private property or a public street. Signs can face a <u>streetcar-special purpose</u> corridor but must be located on private property. All signs are subject to the requirements of the revocable lease permitted process.

### 3. Construction Sign

Sign Type	FB-UN1	FB-UN2	FB-SC	FB-SE	Specifications	
Construction sign (see definition in chapter 21A.46 of this title)	P	P	P	P	Quantity	1 per construction site
					Height	Maximum of 8 feet
					Area	Maximum of 64 square feet
					Location Permitted	Private property or a public street. Signs can face the <u>streetcar-special purpose</u> corridor, but must be located on private property.



### 4. Flat Sign

Sign Type	FB-UN1	FB-UN2	FB-SC	FB-SE	Specifications	
Flat sign	-	P	P	P	Quantity	1 per leasable space. Leasable spaces on corners may have 2
					Width	Maximum of 90% of width of leasable space
					Height	Maximum of 3 feet
					Area	1½ square feet per linear foot of store

					frontage
				Projection	Maximum of 1 foot



#### 5. Nameplate Sign

Sign Type	FB-UN1	FB-UN2	FB-SC	FB-SE	Specifications	
Nameplate sign	P	P	P	P	Quantity	1 per leasable space. Leasable spaces on corners may have 2
					Area	Maximum of 3 square feet

#### 6. Political Sign

Sign Type	FB-UN1	FB-UN2	FB-SC	FB-SE	Specifications	
Political sign (see definition in chapter 21A.46 of this title)	P	P	P	P	Quantity	No limit
					Height	Maximum of 6 square feet
					Area	Maximum 32 square feet

#### 7. Private Directional Sign

Sign Type	FB-UN1	FB-UN2	FB-SC	FB-SE	Specifications	
Private directional sign (see definition in chapter 21A.46 of this title)	P	P	P	P	Quantity	No limit
					Height	Maximum of 5 feet
					Area	Maximum of 8 square feet
					Restriction	May not contain business name or logo
					Location Permitted	Private property or public street. Signs can face the <u>streetcar-special purpose</u> corridor but must be located on private property. All signs are subject to the requirements of the revocable lease permitting process.



## 8. Projecting Sign

Sign Type	FB-UN1	FB-UN2	FB-SC	FB-SE	Specifications	
Projecting sign	-	P	P	P	Quantity	1 per leasable space. Leasable spaces on corners may have 2
					Clearance	Minimum of 10 feet above sidewalk/walkway
					Area	6 square feet per side, 12 square feet total
					Projection	Maximum of 4 feet from building façade
					Location Permitted	Private property or public street. Signs can face the <u>streetcar-special purpose</u> corridor but must be located on private property. All signs are subject to the requirements of the revocable lease permitting process.

## 9. Projecting Parking Entry Sign

Sign Type	FB-UN1	FB-UN2	FB-SC	FB-SE	Specifications	
Projecting sign (see project sign graphic)	-	-	P	P	Quantity	One per parking entry.
					Clearance	Minimum of 10 feet above sidewalk/walkway
					Height	Maximum of 2 feet.
					Area	4 square feet per side, 8 square feet total
					Projection	Maximum of 4 feet from building façade for public and private streets. Maximum of two feet within the <u>streetcar-special purpose</u> corridor.
					Location Permitted	Private property or public street. Signs can face the <u>streetcar-special purpose</u> corridor but must be located on private property. All signs are subject to the requirements of the revocable lease permitting process.

## 10. Public Safety Sign

Sign Type	FB-UN1	FB-UN2	FB-SC	FB-SE	Specifications	
Public safety sign (see definition in chapter 21A.46 of this title)	P	P	P	P	Quantity	No limit
					Height	Maximum of 6 feet
					Area	8 square feet
					Projection	Maximum of 1 foot
					Location Permitted	Private property or public street. Signs can face the <u>streetcar-special purpose</u> corridor but must be located on private property. All signs are subject to the requirements of the revocable lease permitting process.



## 11. Real Estate Sign

Sign Type	FB-UN1	FB-UN2	FB-SC	FB-SE	Specifications	
Real estate sign	P	P			Quantity	1 per leasable space. Leasable spaces on corners may have 2
					Height	Maximum of 12 feet
					Area	32 square feet
					Location Permitted	Private property or public street. Signs can face the <u>streetcar-special purpose</u> corridor but must be located on private property. All signs are subject to the requirements of the revocable lease permitting process.



## 12. Window Sign

Sign Type	FB-UN1	FB-UN2	FB-SC	FB-SE	Specifications	
Window sign	-	P	P	P	Quantity	1 per window
					Height	Maximum of 3 feet
					Area	Maximum of 25% of window area

### Proposed Changes to 21A.33 – Permitted Uses

#### 21A.33.080 TABLE OF PERMITTED USES IN FORM BASED CODE DISTRICTS

*Note: Uses which are not listed in the following table are not permitted in any form based code zoning district.*

Legend:	P = Permitted	C = Conditional	- = Not Permitted in Zoning District
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Use	Permitted Uses by District			
	FB-UN1	FB-UN2	FB-SC	FB-SE
Accessory use, except those that are specifically regulated in this chapter, or elsewhere in this title	P	P	P	P
Alcohol:				
Liquor store	-	P	P	P
Microbrewery	-	P	P	P
Social club	-	P	P	P
Tavern or brewpub, 2,500 square feet or less in floor area	-	P	P	P
Animal, veterinary office	-	P	P	P
Antenna, communication tower	-	P	P	P
Art gallery	-	P	P	P
Bed and breakfast	P	P	P	P
Bed and breakfast inn	P	P	P	P
Bed and breakfast manor	P	P	P	P
Clinic (medical, dental)	-	P	P	P
Community garden	P	P	P	P
Community recreation center	-	P	P	P
Daycare center, adult	-	P	P	P
Daycare center, child	-	P	P	P
Dwelling:				
Assisted living facility (large)	-	P	P	P
Assisted living facility (small)	P	P	P	P
Group home (large)	-	P	P	P
Group home (small) when located above or below first story office, retail, or commercial use, or on the first story where the unit is not located adjacent to street frontage	-	P	P	P
Multi-family	-	P	P	P
Residential substance abuse treatment home (large)	-	P	P	P
Residential substance abuse treatment home (small)	-	P	P	P

	Rooming (boarding) house	-	P	-	-
	Single-family attached	P	P	-	P
	Single-family detached	P	-	-	-
	Single-family detached (Cottage Development building form only)	-	P	-	P
	Single room occupancy	-	P	-	-
	Transitional victim home (large)	-	P	P	P
	Transitional victim home (small)	-	P	P	P
	Two-family	P	-	-	-
	Eleemosynary facility	-	P	P	P
	Farmers' market	-	P	P	P
	Financial institution	-	P	P	P
	Food processing	-	P	-	-
	Funeral home	-	P	P	P
	Health and fitness facility	-	P	P	P
	Hotel/motel	-	P	<del>P</del>	<del>P</del>
	House museum in landmark site	P	P	P	P
	Laboratory (medical, dental, optical)	-	P	P	P
	Library	-	P	P	P
	Mixed use developments including residential and other uses allowed in the zoning district	-	P	P	P
	Museum	-	P	P	P
	Nursing care facility	-	P	P	P
	Office	-	P	P	P
	Office and/or reception center in landmark site	-	P	P	P
	Open space	P	P	P	P
	Park	P	P	P	P
	Parking, off site	P <sup>1</sup>	P <sup>1</sup>	P <sup>1</sup>	P <sup>1</sup>
	Photo finishing lab	-	-	P	P
	Place of worship	-	P	P	P
	Plazas	P	P	P	P
	Recreation (indoor)	-	P	P	P
	Research and development facility	-	P	P	P
	Research facility (medical/dental)	-	P	P	P
	Restaurant	-	P	P	P
	Retail goods establishment	-	P	P	P
	Retail goods establishment, plant and garden shop with outdoor retail sales area	-	P	P	P
	Retail service establishment	-	P	P	P
	Sales and display (outdoor)	-	P	P	P
	School:				
	College or university	-	P	P	P
	Music conservatory	-	P	P	P
	Professional and vocational	-	P	P	P
	Seminary and religious institute	-	P	P	P
	Seasonal farm stand	-	P	P	P
	Solar array	-	P	P	P
	Store, specialty	-	P	P	P
	Studio, art	-	P	P	P
	Studio, dance	-	-	P	P
	Theater, movie	-	P	P	P
	Urban farm	P	P	P	P



Utility, building or structure	P	P	P	P
Utility, transmission wire, line, pipe, or pole	P	P	P	P
Vending cart, private property	-	P	P	P
Wireless telecommunications facility (see section 21A.40.090, table 21A.40.090E of this title)	-	P	P	P

DRAFT

## **Chapter 21A.27 FORM BASED DISTRICTS**

**21A.27.010: PURPOSE STATEMENT AND GENERAL PROVISIONS:**

**21A.27.020: BUILDING TYPES AND FORMS ESTABLISHED:**

**21A.27.030: BUILDING CONFIGURATION AND DESIGN STANDARDS:**

**21A.27.040: FB-SC AND FB-SE FORM BASED SPECIAL PURPOSE CORRIDOR DISTRICT**

**21A.27.050: FB-UN1 AND FB-UN2 FORM BASED URBAN NEIGHBORHOOD DISTRICT:**

### **21A.27.010: PURPOSE STATEMENT AND GENERAL PROVISIONS**

A. Purpose Statement: The purpose of the form based districts is to create urban neighborhoods that provide the following:

1. People oriented places;
2. Options for housing types;
3. Options in terms of shopping, dining, and fulfilling daily needs within walking distance or conveniently located near mass transit;
4. Transportation options;
5. Access to employment opportunities within walking distance or close to mass transit;
6. Appropriately scaled buildings that respect the existing character of the neighborhood;
7. Safe, accessible, and interconnected networks for people to move around in; and
8. Increased desirability as a place to work, live, play, and invest through higher quality form and design.

B. Context Description: The form based districts are intended to be utilized in areas with the following characteristics:

1. Street, Block, and Access Patterns: A regular pattern of blocks surrounded by a traditional grid of streets that provide mobility options and connections for pedestrians, bicyclists, and automobiles. Blocks include sidewalks separated from vehicle travel lanes by a landscaped park strip. Front yards are landscaped or include active, outdoor uses.
2. Building Placement and Location: Residential buildings are generally located close to the sidewalk with a small, transitional, semipublic space, such as a landscaped front yard, that is consistent along the block face. Buildings along arterials are located close to the sidewalk with parking to the side or rear of building.
3. Building Height: Building heights on local streets are relatively low and consistent with existing building heights with little variation. Buildings located on arterial streets are generally taller.

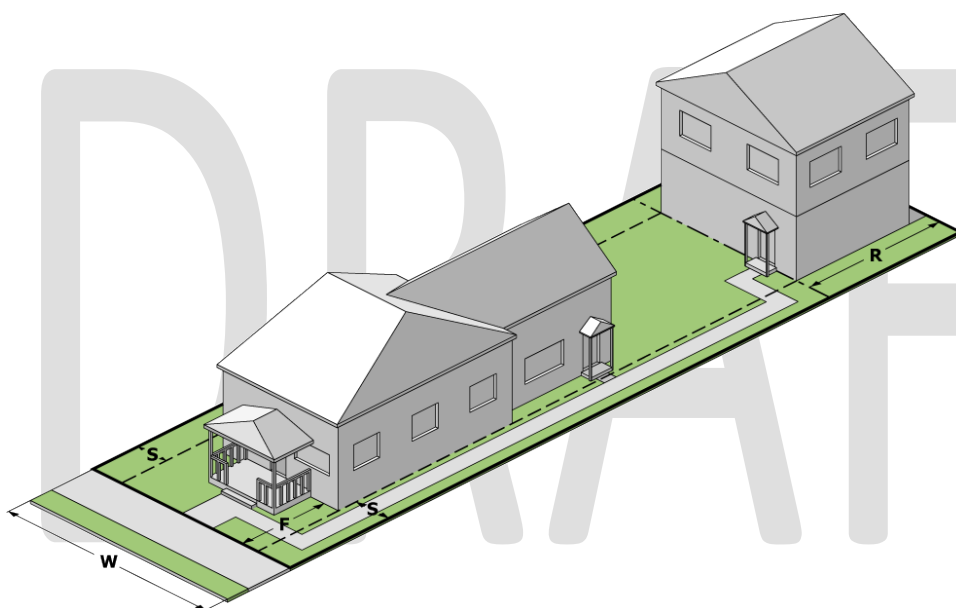
4. Mobility: A balance between pedestrians, bicyclists, transit riders, and motorists exist in the area, and residents are well connected to other parts of the city.
- C. Intent of Form Based Districts:
  1. Statement Of Intent: Form based districts are intended to provide zoning regulations that focus on the form of development, the manner in which buildings are oriented toward public spaces, the scale of development, and the interaction of uses within the city. Form based districts provide places for people to live, work, and play within a close proximity. Regulations within form based districts place emphasis on the built environment over land use.
  2. How to Use This Chapter: Form based districts emphasize the form, scale, placement, and orientation of buildings. Each subdistrict includes a table of permitted building forms and specific development regulations for each building form. The first step is to identify which subdistrict the property is located in, and then identify what building forms are permitted, and finally what standards apply to the specific building form. All new developments and additions to existing buildings shall comply with the specific requirements of this chapter.

#### **21A.27.020 BUILDING TYPES AND FORMS ESTABLISHED**

- A. Building Types and Form Standards:
  1. Encourage building forms that are compatible with the neighborhood and the future vision for the neighborhood by acknowledging there will be different scaled buildings in the area;
  2. Arrange building heights and scale to provide appropriate transitions between buildings of different scales and adjacent areas, especially between different subdistricts;
  3. Guide building orientation through setbacks and other requirements to create a consistent street edge, enhance walkability by addressing the relationship between public and private spaces, and ensure architectural design will contribute to the character of the neighborhood;
  4. Use building form, placement, and orientation to identify the private, semiprivate, and public spaces;
  5. Minimize the visual impact of parking areas; and
  6. Minimize conflicts between pedestrians, bicyclists, and vehicles.
- B. Building Types and Forms:
  1. Description: The permitted building forms are described in this subsection. Each building form includes a general description and definition, as well as images of what the building form may look like. Building form images are for informational purposes only and not intended to demonstrate exactly what shall be built. The description and images should be used to classify existing and proposed buildings in order to determine what development regulations apply. The

drawings are not to scale. They should not be used to dictate a specific architectural style as both traditional and contemporary styles can be used.

- a. **Urban House:** A residential structure with the approximate scale of a single dwelling unit, as viewed from the street, but may contain up to two (2) dwelling units. The structure has a single entry facing the street, a front porch or stoop, and a small front yard. Second units may be arranged vertically (up and down) or horizontally (front and back), but the entry to the second unit is from the side, rear, or interior of structure. A third unit may also be located along an alley as a stand alone unit or as a dwelling unit located in an accessory building. All units are on a single lot.



*Urban House with Detached Dwelling*

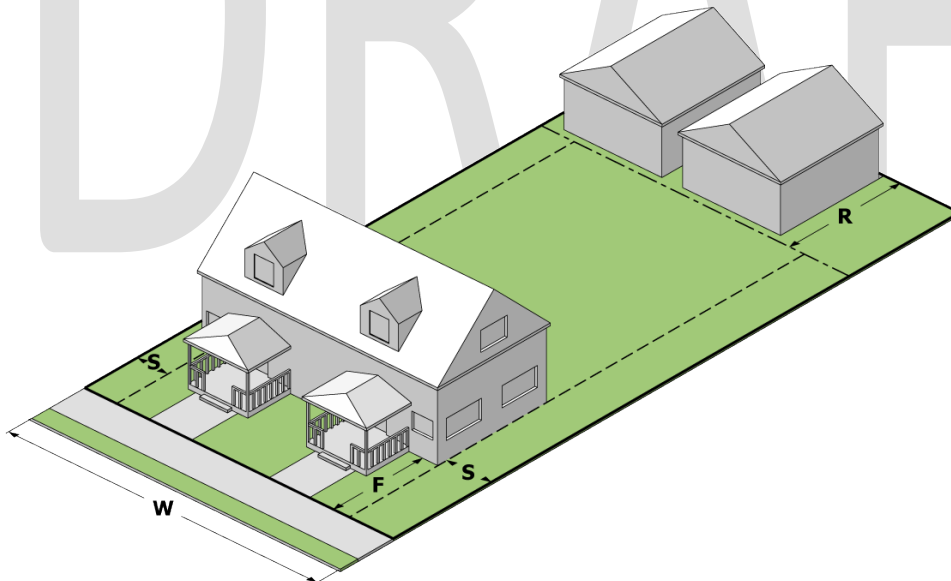


*Modern and Traditional Forms*



*Two-Story Contemporary Form*

- b. **Two-Family Dwelling:** A residential structure that contains two (2) dwelling units in a single building. The units may be arranged side by side, up and down, or front and back. Each unit has its own separate entry directly to the outside. Dwellings may be located on separate lots or grouped on one lot. A third unit may also be located along an alley as a stand alone unit or as a dwelling unit located in an accessory building, but may not be located on a separate lot.



*Two-Family Dwelling with Garages*

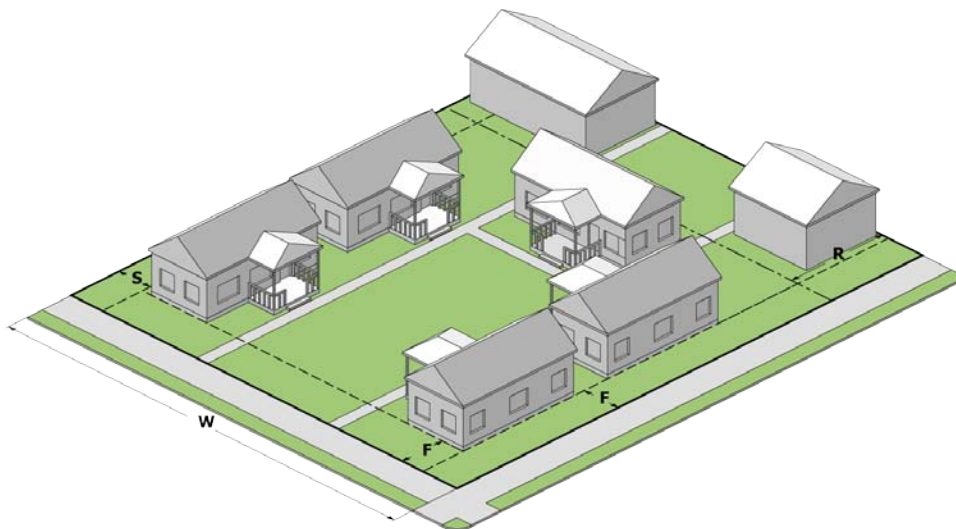


*Traditional Two-Family Dwelling*



*Modern Two-Family Dwelling*

- c. Cottage Development: A unified development that contains two (2) or more detached dwelling units with each unit appearing to be a small single-family dwelling with a common green or open space. Dwellings may be located on separate lots or grouped on one lot.



d. Additional Development Standards for Cottage Building Forms:

- (1) Setbacks between individual cottages: All cottages shall have a minimum setback of eight feet (8') from another cottage.
- (2) Footprint: No cottage shall have a footprint in excess of eight hundred fifty (850) square feet.
- (3) Building Entrance: All building entrances shall face a public street or a common open space.
- (4) Open Space: A minimum of two hundred fifty (250) square feet of common, open space is required per cottage up to a maximum of one thousand (1,000) square feet. At least fifty percent (50%) of the open space shall be contiguous and include landscaping, walkways or other amenities intended to serve the residents of the development.

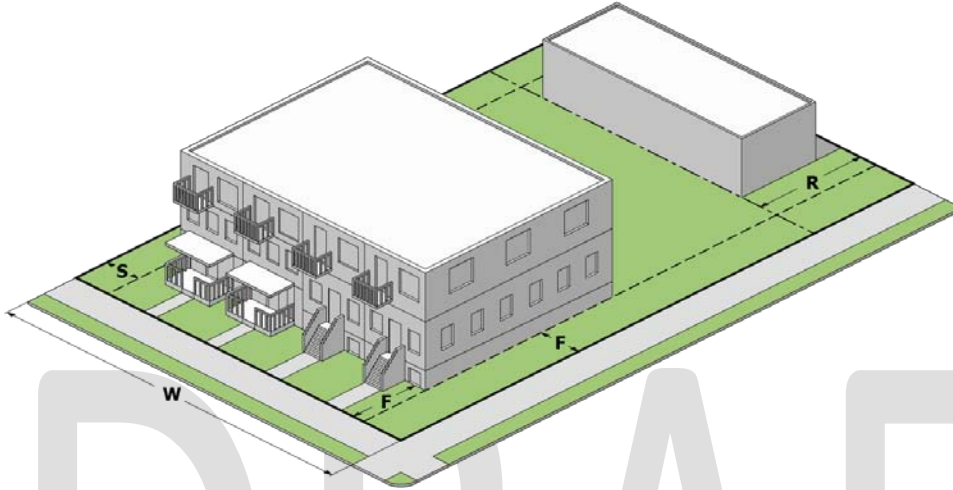
*Cottage Development on Single Parcel*



*Cottage Development*



- d. Row House: A series of attached single-family dwellings that share at least one common wall with an adjacent dwelling unit. A row house contains a minimum of three (3) residential dwelling units. Each unit may be on its own lot. If possible, off street parking is accessed from an alley.



*Row House on Single Parcel*

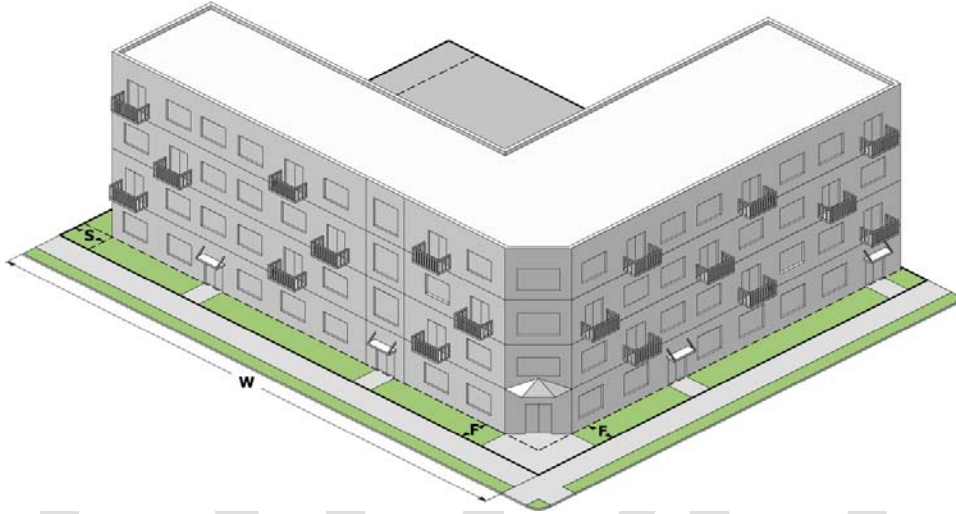


*Modern Row House Form*



*Traditional Row House Form*

- e. Multi-Family Residential: A multi-family residential structure containing three (3) or more dwelling units that may be arranged in a number of configurations.



*Multi-Family Residential Form*

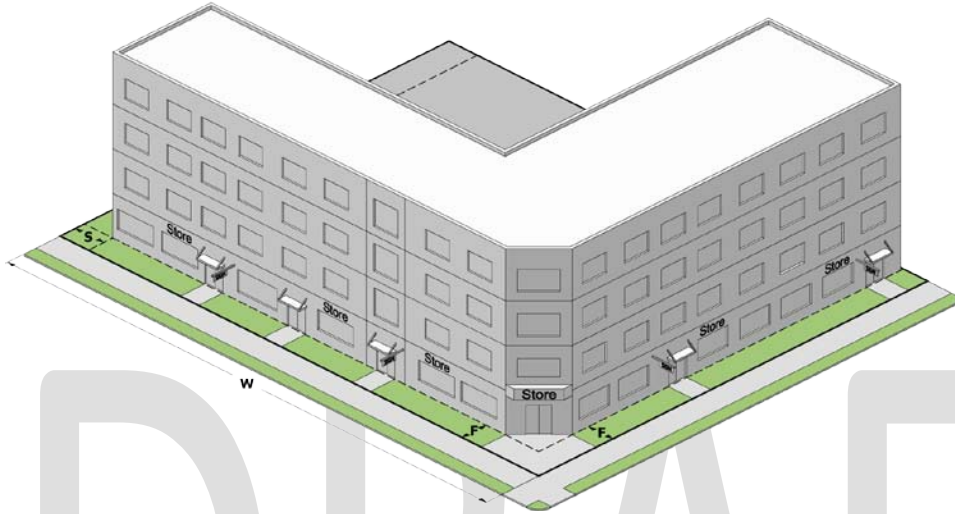


*Multi-Family Modern Form*



*Multi-Family Traditional Form*

- f. Storefront: A commercial structure that may have multiple stories and contain a variety of commercial uses that are allowed in the district that permits this building type. All buildings, regardless of the specific use, have a ground floor that looks like a storefront.



*Store Front Form*

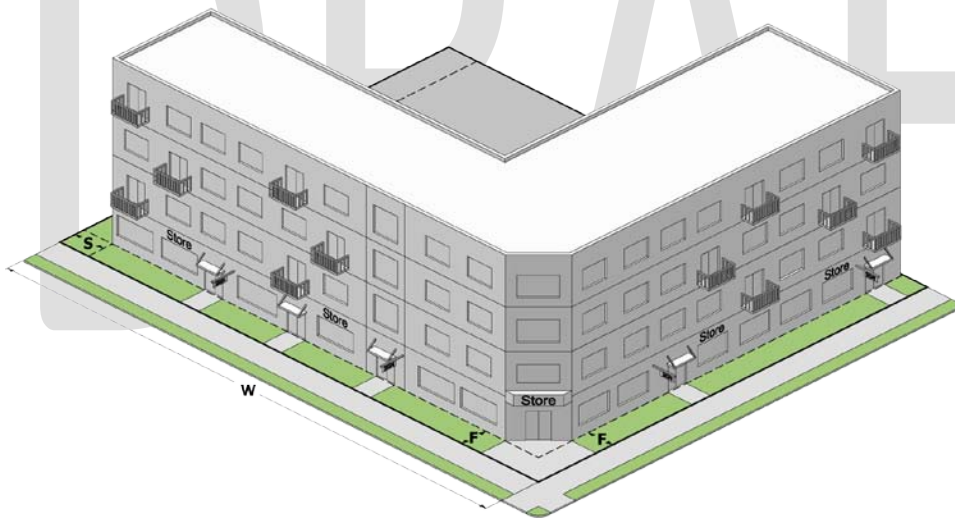


*Contemporary Store Front*



*Traditional Store Front*

- g. Vertical Mixed Use: A multi-story building that contains a mix of commercial and/or office with residential uses.



*Vertical Mixed Use Multi-Story Form*





## Modern Materials



## Traditional Materials

### B. Building Form Standards

1. The provisions of this section shall apply to all properties located within the form based districts as indicated on the maps in each form based district.
2. Building form and street type standards apply to all new buildings and additions when the new construction related to the addition is greater than twenty-five percent (25%) of the footprint of the structure or one-thousand (1,000) square feet, whichever is less. Refer to section the Building Configuration Standards for more information on how to comply with the standards. The graphics included provide a visual representation of the standards as a guide and are not meant to supersede the standards in the tables. Only building forms identified in the table are permitted.

### 21A.27.030 Building Configuration and Design Standards

#### A. Specific Intent of Configuration and Design Standards:

1. Design Related Standards: The design related standards are intended to do the following:
  - a. Implement applicable master plans;
  - b. Continue the existing physical character of residential streets while allowing an increase in building scale along arterials and near transit stations;
  - c. Focus development and future growth in the city along arterials and near transit stations;
  - d. Arrange buildings so they are oriented toward the street in a manner that promotes pedestrian activity, safety, and community;
  - e. Provide human scaled buildings that emphasize design and placement of the main entrance/exit on street facing facades;
  - f. Provide connections to transit through public walkways;

- g. Provide areas for appropriate land uses that encourage use of public transit and are compatible with the neighborhood;
  - h. Promote pedestrian and bicycle amenities near transit facilities to maximize alternative forms of transportation; and
  - i. Rehabilitate and reuse existing residential structures in the form based zoning districts when possible to efficiently use infrastructure and natural resources, and preserve neighborhood character.
- B. Building Configuration Standards Defined: The building configuration standards are defined in this section. The defined standards in this section are intended to identify how to comply with the building configuration standards tables located in this chapter.
- C. Building configuration standards apply to all new buildings and additions when the new construction related to the addition is greater than twenty-five percent (25%) of the footprint of the structure or one-thousand (1,000) square feet, whichever is less. The graphics included provide a visual representation of the standards as a guide and are not meant to supersede the standards in the tables. This standard applies to all form based zoning codes unless otherwise indicated.
2. Building Entry: A minimum of one main entry with an entry feature facing a public street or walkway, excluding alleys, is required. The main entry is the primary pedestrian entrance into a building. Two-family dwelling buildings shall have a minimum of one main entry with porch or stoop for at least one of the dwelling units facing a street. The main entry for the second dwelling unit may face the street or side yard, but must also have a porch or stoop entrance. Where required, the building entry must be one of the following:
- a. Front entrance: Door on the same plane as street facing facade;
  - b. Recessed entrance: Inset behind the plane of the building no more than ten feet (10'). If inset, then the sidewalls of the inset must be lined with clear glass. Opaque, smoked, or darkened glass is not permitted; or
  - c. Corner entrance: Entry that is angled or an inside corner located at the corner of two (2) intersecting streets.
  - d. Every building shall have at least one (1) entry for every seventy-five feet (75') of building façade along a public or private street, alley or greenway.
3. Encroachments: A permitted entry feature may encroach into a required yard provided no portion of the porch is closer than five feet (5') to the front property line.
4. Entry Feature: The following building entries are permitted as indicated:

TABLE 21A.27.030.B  
ENTRY FEATURE STANDARDS

Entry Feature Permitted Based On Building Form Type	Urban House	Cottage Development	Two-Family Dwelling	Row House	Multi-Family	Store front	Vertical Mixed Use
Porch and fence: A planted front yard where the street facing building facade is set back from the front property line with an attached porch that is permitted to encroach into the required yard. The porch shall be a minimum of six (6) feet in depth. The front yard may include a fence no taller than three (3) feet in height	P	P	P	P	P	-	-

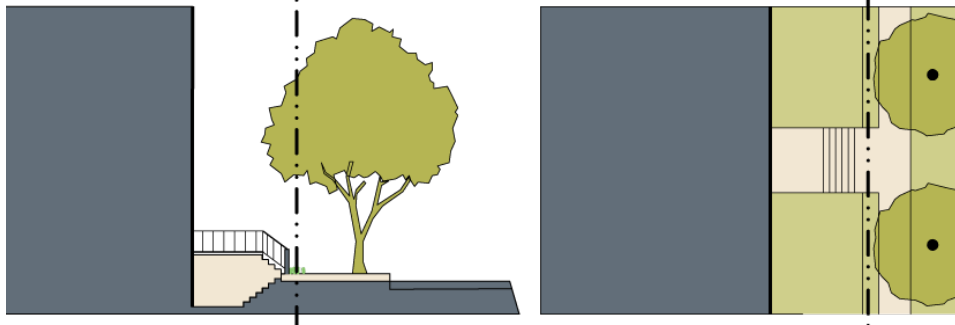
Reference Illustration - Porch and Fence



Entry Feature Permitted Based On Building Form Type	Urban House	Cottage Development	Two-Family Dwelling	Row House	Multi-Family	Store front	Vertical Mixed Use
Terrace or lightwell: An entry feature where the street facing facade is set back from the front property line by an elevated terrace or sunken lightwell. May include a canopy or roof	-	-	P	P	P	P	P

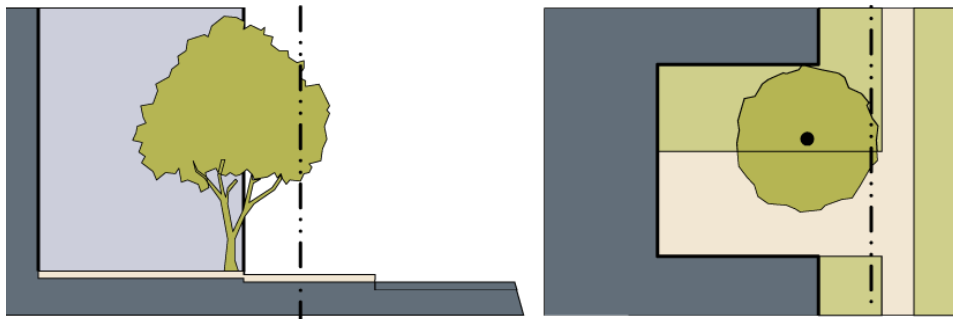
Reference Illustration – Terrace or Lightwell





Entry Feature Permitted Based On Building Form Type	Urban House	Cottage Development	Two-Family Dwelling	Row House	Multi-Family	Store front	Vertical Mixed Use
Forecourt: An entry feature wherein a portion of the street facing facade is close to the property line and the central portion is set back. The court created must be landscaped, contain outdoor plazas, outdoor dining areas, private yards, or other similar features that encourage use and seating	P	P	P	P	P	P	P

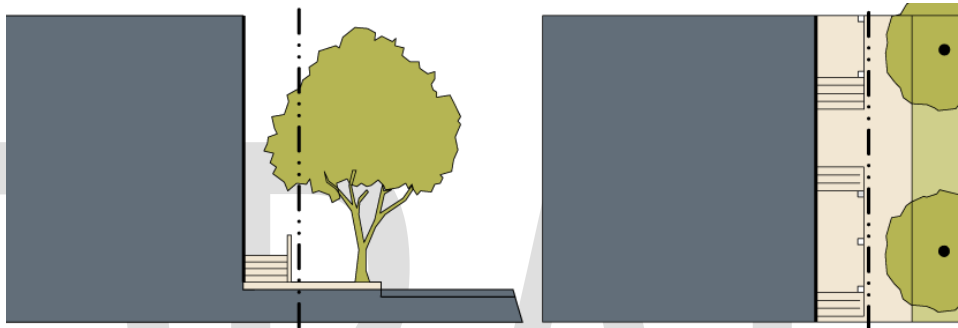
Reference Illustration – Forecourt



Entry Feature Permitted Based On Building Form Type	Urban House	Cottage Development	Two-Family Dwelling	Row House	Multi-Family	Store front	Vertical Mixed Use
Stoop: An entry feature wherein the street facing facade is close to the front property line and the first story is elevated from the	P	P	P	P	P	P	P

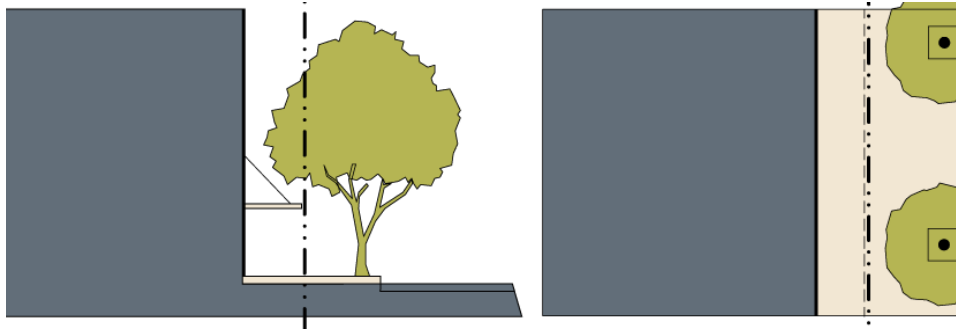
sidewalk sufficiently to secure privacy for the windows. The entrance contains an exterior stair and landing that is either parallel or perpendicular to the street. Recommended for ground floor residential uses							
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Reference Illustration – Stoop



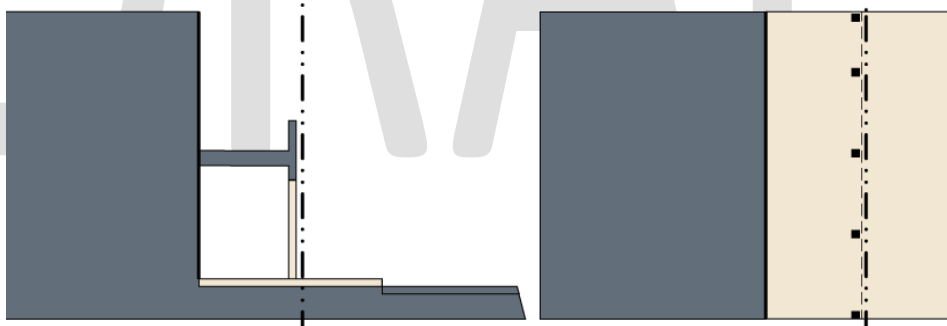
Entry Feature Permitted Based On Building Form Type	Urban House	Cottage Development	Two-Family Dwelling	Row House	Multi-Family	Store front	Vertical Mixed Use
Shopfront: An entry feature where the street facing facade is close to the property line and building entrance is at sidewalk grade. Building entry is covered with an awning, canopy, or is recessed from the front building facade, which defines the entry and provides protection for customers.	-	-	-	-	P	P	P

Reference Illustration – Shopfront



Entry Feature Permitted Based On Building Form Type	Urban House	Cottage Development	Two-Family Dwelling	Row House	Multi-Family	Store front	Vertical Mixed Use
Gallery: A building entry where the ground floor is no more than 10 feet from the front property line and the upper levels or roofline cantilevers from the ground floor facade up to the front property line.	-	-	-	-	P	P	P

Reference Illustration – Gallery



##### 5. Additional Design Standards Required for the Form Based Special Purpose Corridor Districts:

- a. The maximum length of any building façade facing a street is two hundred feet (200').
- b. Stepback Requirement: floors rising above thirty feet (30') in height shall be stepped back fifteen (15) horizontal feet from the building foundation at grade for building elevations that are adjacent to a public street, public trail, or public open space.
- c. For all floors or levels above the ground floor, a minimum of fifteen percent (15%) of all street facing façades must be glass.

- d. Commercial uses or businesses that face a greenway corridor may have a second floor balcony or patio. Rooftops can be used as patios and shall comply with all applicable zoning standards.
- e. Ground Floor Uses: On the ground floor, a permitted use other than parking shall occupy at least seventy-five percent (75%) of the width of any street-facing building façade. All portions of such ground floor spaces shall extend a minimum of twenty-five feet (25') into the building. Parking may be located behind these spaces.
- f. Design standards for parking structures: The following standards shall apply to parking structure whether stand alone or incorporated into a building:
- (1) Parking structures shall have an external skin designed to improve visual character when adjacent to a public street or other public space. Examples include heavy-gage metal screen, precast concrete panels; live green or landscaped walls, laminated or safety glass, decorative photovoltaic panels or match the building materials and character of the principal use. The planning director may approve other decorative materials not listed if the materials are in keeping with the decorative nature of the parking structure.
  - (2) The architectural design of the façades should express the internal function of the structure. Façade elements should align to parking levels and there shall be no sloped surfaces visible from a public street, public trail, or public open space..
  - (3) Internal circulation must be designed such that parking surfaces are level (or without any slopes) along all primary facades. All ramping between levels need to be placed along the secondary façade or to the center of the structure. Parking structures shall be designed to conceal the view of all parked cars and drive ramps from public spaces.
  - (4) Elevator and stairs shall be highlighted architecturally so visitors, internally and externally, can easily access these entry points.
  - (5) Signage and way-finding shall be integrated with the architecture of the parking structure and be architecturally compatible with the design. Public parking structures entrances shall be clearly signed from public streets.
  - (6) Interior garage lighting should not produce glaring sources towards adjacent properties while providing safe and adequate lighting levels. Lighting within parking structures shall not be visible from the public realm. The use of sensor dimmable LEDs and white-stained ceilings are a good strategy to control light levels on site while improving energy efficiency.

- (7) Where a driveway crosses a public sidewalk, the driveway shall be a different color, texture, or paving material than the sidewalk to warn drivers of the possibility of pedestrians in the area.
- (8) The street level facing facades of all parking structures shall be wrapped along all street frontages with habitable space that is occupied by a use that is allowed in the zone as a permitted or conditional use.
- (9) Parking structures should be designed to minimize vehicle noise and odors on the public realm. Venting and fan locations should not be located next to public spaces and shall be located as far as possible from adjacent residential land uses.

- 46.** Pedestrian Connections: Where required, the following pedestrian connection standards apply:
- a. The connection shall provide direct access from any building entry to the public sidewalk or walkway.
  - b. The connection shall comply with American with Disabilities Act (ADA) standards for accessibility.
  - c. The connection shall be fully paved and have a minimum width of four feet (4').
  - d. The connection shall be separated from vehicle drive approaches and drive lanes by a change in grade and a wheel stop if the walkway is less than eight feet (8') wide.
  - e. Pedestrian connections that lead directly from the sidewalk to the primary building entrance may contain wing walls, no taller than two feet (2') in height for seating, landscaping, etc.

- 57.** Ground Floor Transparency: Where required, the ground floor transparency standards apply:
- a. Minimum of sixty percent (60%) of street facing façade, located between two (2) and eight (8) feet above the grade of the sidewalk, shall be transparent glass. This may be reduced for twenty percent (20%) if the ground floor is within one of the following building types: urban house, two-family, cottage, and row house.
  - ab. There must be visual clearance behind the glass for a minimum of six feet (6'). Three-dimensional display windows at least six feet (6') deep are permitted and may be counted toward the sixty percent (60%) glass requirement.
  - bc. Ground floor windows of commercial uses shall be kept clear at night, free from any window covering, with internal illumination. When ground floor glass conflicts with the internal function of the building, other means shall be used to activate the sidewalk, such as display windows,

public art, architectural ornamentation or detailing or other similar treatment.

- ~~c. Windows and other glass surfaces shall have an outdoor visible light reflectivity value of no more than eighteen percent (18%) as defined and measured by American Society For Testing And Materials (ASTM) E308-90 or its successor.~~
- d. The first floor elevation facing a street of all new buildings, or buildings in which the property owner is modifying the size of windows on the front facade, shall comply with these standards.

8. Building Materials: A minimum of seventy percent (70%) of any street facing building façade shall be clad in high quality, durable, natural materials, such as stone, brick, wood lap siding, fiber cement board siding, shingled or panel sided, and glass. Other materials may count up to thirty percent (30%) of the street facing building façade. Exterior insulation and finishing systems (EIFS) is permitted for trim only.

9. Open Space: A minimum of ten percent (10%) of the lot area shall be provided for open space. Open space may include landscaped yards, patio, dining areas, common balconies, rooftop gardens, and other similar outdoor living spaces. Private balconies shall not be counted towards the minimum open space requirement. Required parking lot landscaping or perimeter parking lot landscaping shall also not count towards the minimum open space requirement.

10. Building Fenestration: No building wall that faces onto a street shall exceed more than thirty feet (30') in length without being interrupted by windows, doors, or change of building wall plane that results in an offset of at least twelve inches (12").



*Illustration Of Building Fenestration*

11. Residential Balconies: All street facing residential units above the ground floor or level shall contain a usable balcony that is a minimum of four feet (4') in depth. Balconies may overhang any required yard.

**712. Design Standards Alternatives:**

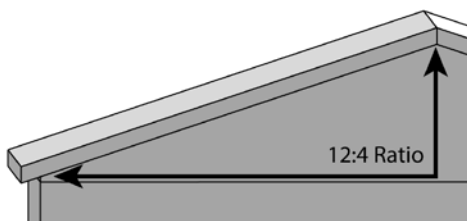
- a. Alternatives to Required Build-To Line: Where a “required build-to” standard applies, the following alternatives may count toward the minimum build-to requirement as indicated:
- (1) Landscaping Walls: Landscaping walls between twenty four inches (24”) and forty two inches (42”) high may count up to twenty five percent (25%) toward the minimum requirement provided the following:
    - (A) The wall incorporates seating areas.
    - (B) The wall is constructed of masonry, concrete, stone or ornamental metal.
    - (C) The wall maintains clear view sightlines where sidewalks and pedestrian connections intersect vehicle drive aisles or streets.
  - (2) Pergolas and Trellises: Pergolas and trellises may count up to twenty five percent (25%) toward the minimum build-to requirement provided the following:
    - (A) The structure is at least forty eight inches (48”) deep as measured perpendicular to the property line.
    - (B) A vertical clearance of at least eight feet (8') is maintained above the walking path of pedestrians.
    - (C) Vertical supports are constructed of wood, stone, concrete or metal with a minimum of six inches by six inches (6”x6”) or a radius of at least four inches (4”).
    - (D) The structure maintains clear view sightlines where sidewalks and pedestrian connections intersect vehicle drive aisles or streets.
  3. Arcades: Arcades may count up to one hundred percent (100%) toward the minimum requirement provided the following:
    - (A) The arcade extends no more than two (2) stories in height.
    - (B) No portion of the arcade structure encroaches onto public property.
    - (C) The arcade maintains a minimum pedestrian walkway of five feet (5').
    - (D) The interior wall of the arcade complies with the building configuration standards.
  4. Plazas And Outdoor Dining: Plazas and outdoor dining areas may count up to fifty percent (50%) toward the minimum requirement, and have a maximum front setback of up to fifteen feet (15') provided the following:



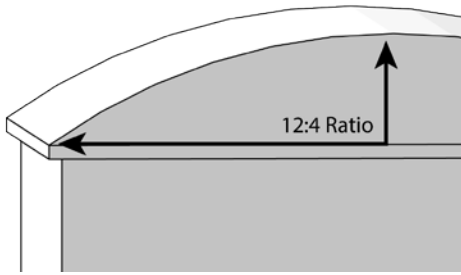
- (A) The plaza or outdoor dining is between the property line adjacent to the street and the street facing building facade.
  - (B) Shall be within two feet (2') of grade with the public sidewalk.
  - (C) The building entry shall be clearly visible through the courtyard or plaza.
  - (D) The building facades along the courtyard or plaza shall comply with the ground floor transparency requirement.
- b. Alternatives to Ground Floor Transparency Requirement: The planning director may modify the ground floor transparency requirement in the following instances:
- 1. The requirement would negatively impact the historical character of a building within the H historic preservation overlay district; or
  - 2. The requirement conflicts with the structural integrity of the building and the structure would comply with the standard to the extent possible.

**§13.** Permitted Encroachments and Height Exceptions: Obstructions and height exceptions are permitted as listed in this section or in section 21A.36.020 of this title or as indicated below.

- 1. Canopies: Canopies covering the primary entrance or entrances to a structure may extend into the right of way provided all city processes and requirements for right of way encroachments are complied with. No commercial signs are allowed on entrance canopies if the canopy encroaches into the public right of way.
- 2. Building Height: In order to promote a varied skyline and other roof shapes in the area, structures with a sloped roof may exceed the maximum building height in the form based districts by five feet (5') provided:
  - a. The additional height does not include additional living space. Vaulted ceilings, storage spaces, and utility spaces are permitted.
  - b. The slope of the roof is a minimum of a twelve-four (12:4) pitch or a quarter barrel shape.



*Minimum Slope of Pitched Roof*



*Minimum Slope of Quarter Barrel Roof*

**D.** Other Applicable Development Standards

1. Landscaping. Any applicable standard listed in 21A.48 Landscaping shall be complied with.
2. Signs. All signs shall comply with the standards found in 21A.46.096.
3. Accessory Uses, Building and Structures. All accessory uses, buildings and structures shall comply with the applicable standards in 21A.40, except as noted below:
  - a. Form Based Urban Neighborhood District Specific Standards for Detached Dwelling Units:
    - (1) Detached dwelling units may be built in a required yard as a stand alone unit or attached to an accessory building, such as a garage.
    - (2) Detached dwelling units are only permitted with the urban house, two-family dwelling, and row house building forms.
    - (3) No accessory structure containing a detached dwelling unit shall exceed twenty five feet (25') in height.
    - (4) If a detached dwelling unit is built as a second level, the minimum setback from property line shall be a minimum of four feet (4').
    - (5) All building configuration standards that apply to the primary building form shall also apply to the detached dwelling unit, with the exceptions listed below:
      - (A) The detached dwelling unit shall have an entry feature that faces or is accessible from a public alley when present;
      - (B) The entry feature may be a stoop that has a minimum dimension of four feet by four feet (4' x 4'); and
      - (C) The ground floor transparency requirement does not apply to detached dwelling units located on the second floor of an accessory structure.

**b. Form Based Special Purpose Corridor District Specific Standards for Detached or Accessory Parking Garages or Structures:**

- (1) Detached or accessory multi-level parking garages or structures shall have the same setback requirements for principal structures.
- (2) The minimum setback required above shall be landscaped to provide a buffer to the abutting residential district. No structure (primary or accessory) shall be permitted within this landscaped buffer.

4. Parking Regulations. All parking regulations shall comply with the requirements of 21A.44.
5. Permitted Land Use. All uses allowed in the form based districts can be found in 21A.33.

#### **21A.27.040: FB-SC AND FB-SE FORM BASED SPECIAL PURPOSE CORRIDOR DISTRICT**

##### **A. Subdistricts:**

1. Named: The following subdistricts can be found in the form based special purpose corridor form based districts:
  - a. FB-SC ~~Streetcar-Special Purpose Corridor~~ Core Subdistrict: The FB-SC ~~streetcar-special purpose corridor~~ core subdistrict contains the most intensive level of development in the vicinity of ~~the streetcar special purpose corridors~~. Buildings are generally six (6) to seven (7) stories in height and are supported by multiple street types so that they pedestrians, bicyclists and drivers have access to the properties within the area. Development standards are based on building type.
  - b. FB-SE ~~Streetcar-Special Purpose Corridor~~ Edge Subdistrict: The FB-SE ~~streetcar-special purpose corridor~~ edge subdistrict is intended to provide an appropriate transition in building size and scale between existing neighborhoods and the Core area. Buildings may be up to four (4) stories in height, with appropriate setbacks when adjacent to lower scale residential neighborhoods. Development regulations are based on building type, with the overall scale, form and orientation as the primary focus.
2. Applicability of Subdistricts: The regulations of the subdistricts shall apply as indicated in the regulating plan map.

#### **FIGURE 21A.27.040.A REGULATING PLAN MAP –SUGAR HOUSE STREETCAR FORM BASED SPECIAL PURPOSE CORRIDOR AREA**



## B. Street Types

1. **Street Types Intent:** The intent of identifying specific types of streets in the streetcar-special purpose corridor districts is to:
  - a. Ensure that a hierarchy of transportation is established;
  - b. Guarantee access to private property; and
  - c. Determine the appropriate manner in which buildings address streets.
2. **Street Types Established:** The following types of streets are hereby established. The location and applicability of street type regulations are shown on map 21A.27.040.A Regulating Plan Map – Sugar House Streetcar Form Based Special Purpose Corridor Area.
  - a. **Greenway Street:** Streets that contain a streetcar line and stops and various types of multi-use trails. Greenway streets may provide access for pedestrians and bicycles. Automobiles are not permitted on Greenway streets.

- b. Neighborhood Street: Neighborhood streets are intended to serve the adjacent neighborhoods and are generally considered local streets. Automobile access may be provided to each individual lot. Access to certain building forms is not permitted from a Neighborhood street unless the property only has frontage on a Neighborhood street.
- c. Pedestrian Avenue Street: Pedestrian Avenue streets are those streets that are designed to accommodate a high number of pedestrians. Automobile access to private property may be permitted. Pedestrians are the priority.
- d. Access Boulevard Street: Access Boulevard streets are designed to provide automobile and service access in a manner that balances the needs of automobiles and pedestrians.

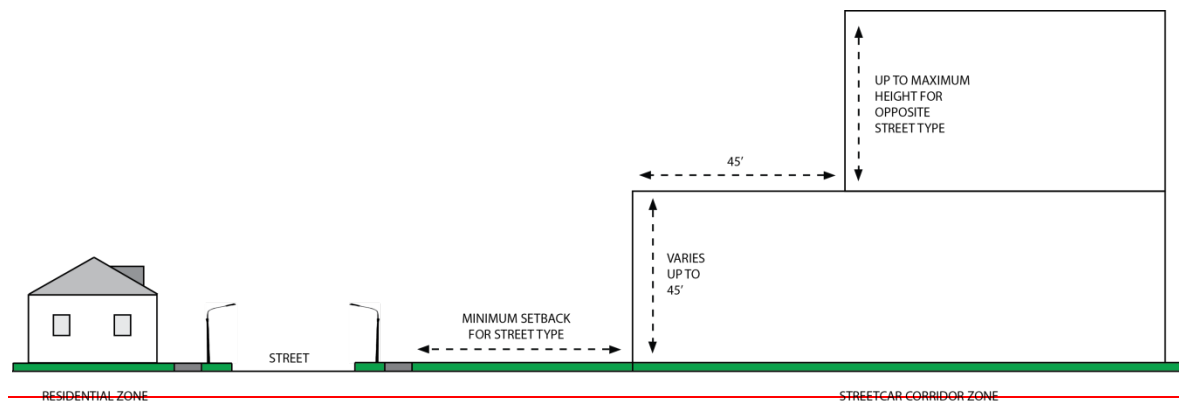
- C. FB-SC Building Form Standards. Building form standards are listed below in Table 21A.27.040.C

TABLE 21A.27.040.C  
FB-SC BUILDING FORM STANDARDS

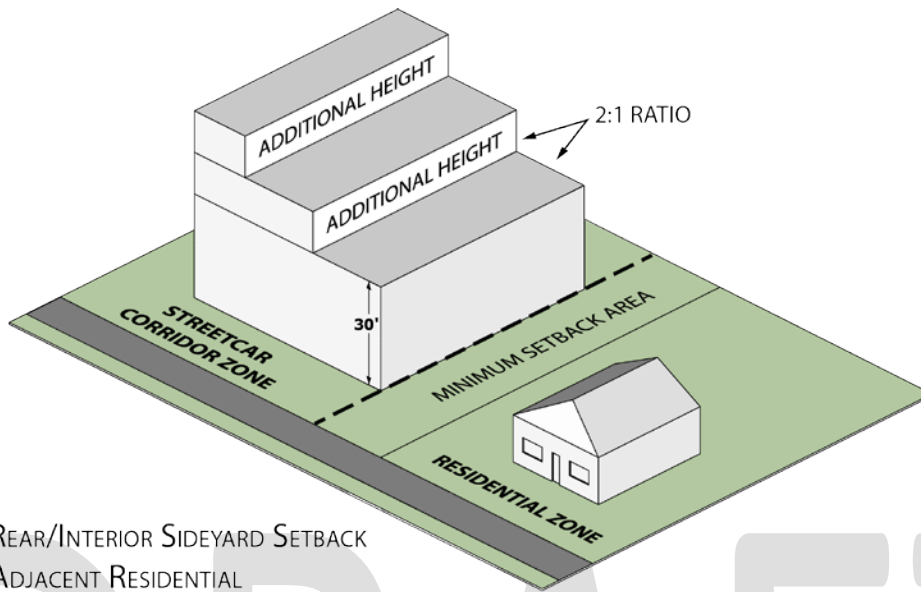
Permitted Building Forms Multi-Family and Store Front			
	<b>Height (per street type) measured from established grade</b>	Greenway	Minimum of 2 stories. Maximum of 45 feet.
		Neighborhood	No minimum. Maximum of 45 feet.
		Pedestrian	Minimum of 2 stories. Maximum of 105 feet.
		Access	Minimum of 2 stories. Maximum of 105 feet.
<b>H</b>	Special Height Provisions for multiple frontage properties		For properties that have frontage on multiple streets type with different maximum height requirements, the lower of the maximum heights applies to a horizontal measurement equal of the lower of the two heights measured from the building setback. See illustration below.
<b>H</b>	<u>Maximum Building Height</u>		<u>Maximum building height in the FB-SC is 75 feet, except for the areas noted on the regulating plan map in 21A.27.040.A. Buildings may be up to 135 feet in height for a lineal distance of 135 feet extending from any 700 East property line. See the regulating plan map in Section 21A.27.040.A for specific height limits.</u>
	Limitation on Commercial Uses		Commercial or nonresidential uses are limited to the first 3 stories and a height of 45 feet. This limitation does not apply to hotel/motel uses.
<b>F</b>	Front and Corner Side Yard	Greenway	Minimum of 5 feet. Maximum of 15 feet.
		Neighborhood	Minimum of 15 feet. Maximum of 25 feet.
		<u>Pedestrian Avenue</u>	Minimum of 5 feet. Maximum of 10 feet.

	Setback	<u>AccessBoulevard</u>	Minimum of 15 feet. Maximum of 25 feet.
<b>B</b>	Required Build-To		Minimum of 50% of any street facing façade shall be built to the minimum setback line. <u>At least 10% of any street facing façade shall be building the maximum setback line.</u>
<b>S</b>	Interior Side Yard		When adjacent to a residential district, a minimum setback of 25% of the lot width, up to 25 feet, is required. Any portion of the building taller than 30 feet must be stepped back two feet from the required building setback line for every one foot of height over 30 feet. When adjacent to other zoning districts, no minimum setback is required. See illustration below.
<b>R</b>	Rear Yard		When adjacent to a residential district, a minimum setback of 25% of the lot width, up to 25 feet, is required. Any portion of the building taller than 30 feet must be stepped back two feet from the required building setback line for every one foot of height over 30 feet. When adjacent to other zoning districts, no minimum setback is required. See illustration below.
<b>I</b>	Minimum Lot Size		4,000 square feet; not to be used to calculate density.
<b>W</b>	Minimum Lot Width		50 feet
<b>DU</b>	Dwelling Units per Building Form		No minimum or maximum.
<b>BF</b>	Number of Building Forms per Lot		One building form permitted for every 4,000 square feet of lot area provided all building forms have frontage on a street.

### Special Height Provision for Multiple Frontage Properties Illustration



### Interior Side Yard and Rear Yard Illustration



REAR/INTERIOR SIDEYARD SETBACK  
ADJACENT RESIDENTIAL

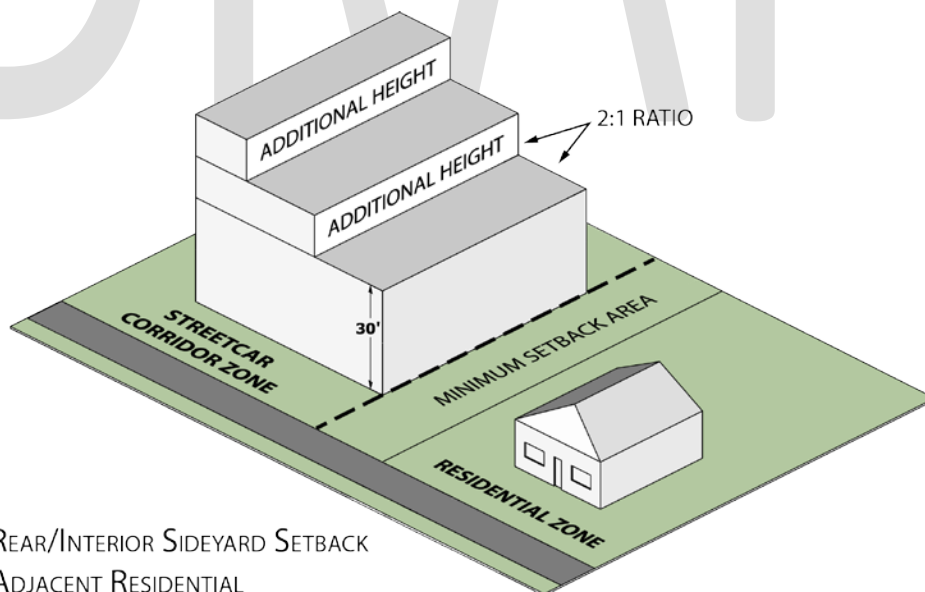
- D. FB-SE Building Form Standards. Building form standards are listed below in Table 21A.27.040.D

TABLE 21A.27.040.D  
FB-SE BUILDING FORM STANDARDS

Permitted Building Forms Cottage, Row House, Multi-Family and Store Front			
<b>H</b>	Height (per street type) measured from established grade	Greenway	Maximum of 45 feet.
		Neighborhood	Maximum of 45 feet.
		Pedestrian	Maximum of 45 feet.
		Access	Minimum of 2 stories. Maximum of 45 feet.
<b>H</b>	Maximum Building Height		Maximum building height in the FB-SE is 45 feet.
	Limitation on Commercial Uses		Commercial or nonresidential uses are limited to the first 2 stories and a height of 30 feet. This limitation does not apply to hotel/motel uses.
<b>F</b>	Front and Corner Side Yard Setback	Greenway	Minimum of 5 feet. Maximum of 15 feet.
		Neighborhood	Minimum of 15 feet. Maximum of 25 feet.
		<u>Pedestrian Avenue</u>	Minimum of 5 feet. Maximum of 10 feet.
		<u>Access Boulevard</u>	Minimum of 15 feet. Maximum of 25 feet.
<b>B</b>	Required Build-To		Minimum of 50% of street facing façade shall be built to the minimum setback line.



<b>S</b>	Interior Side Yard	When adjacent to a residential district, a minimum setback of 25% of the lot width, up to 25 feet, is required. Any portion of the building taller than 30 feet must be stepped back two feet from the required building setback line for every one foot of height over 30 feet. When adjacent to other zoning districts, no minimum setback is required. See illustration below.
<b>R</b>	Rear Yard	When adjacent to a residential district, a minimum setback of 25% of the lot width, up to 25 feet, is required. Any portion of the building taller than 30 feet must be stepped back two feet from the required building setback line for every one foot of height over 30 feet. When adjacent to other zoning districts, no minimum setback is required. See illustration below.
<b>I</b>	Minimum Lot Size	4,000 square feet; not to be used to calculate density.
<b>W</b>	Minimum Lot Width	50 feet
<b>DU</b>	Dwelling Units per Building Form	No minimum or maximum.
<b>BF</b>	Number of Building Forms per Lot	One building form permitted for every 4,000 square feet of lot area provided all building forms have frontage on a street.



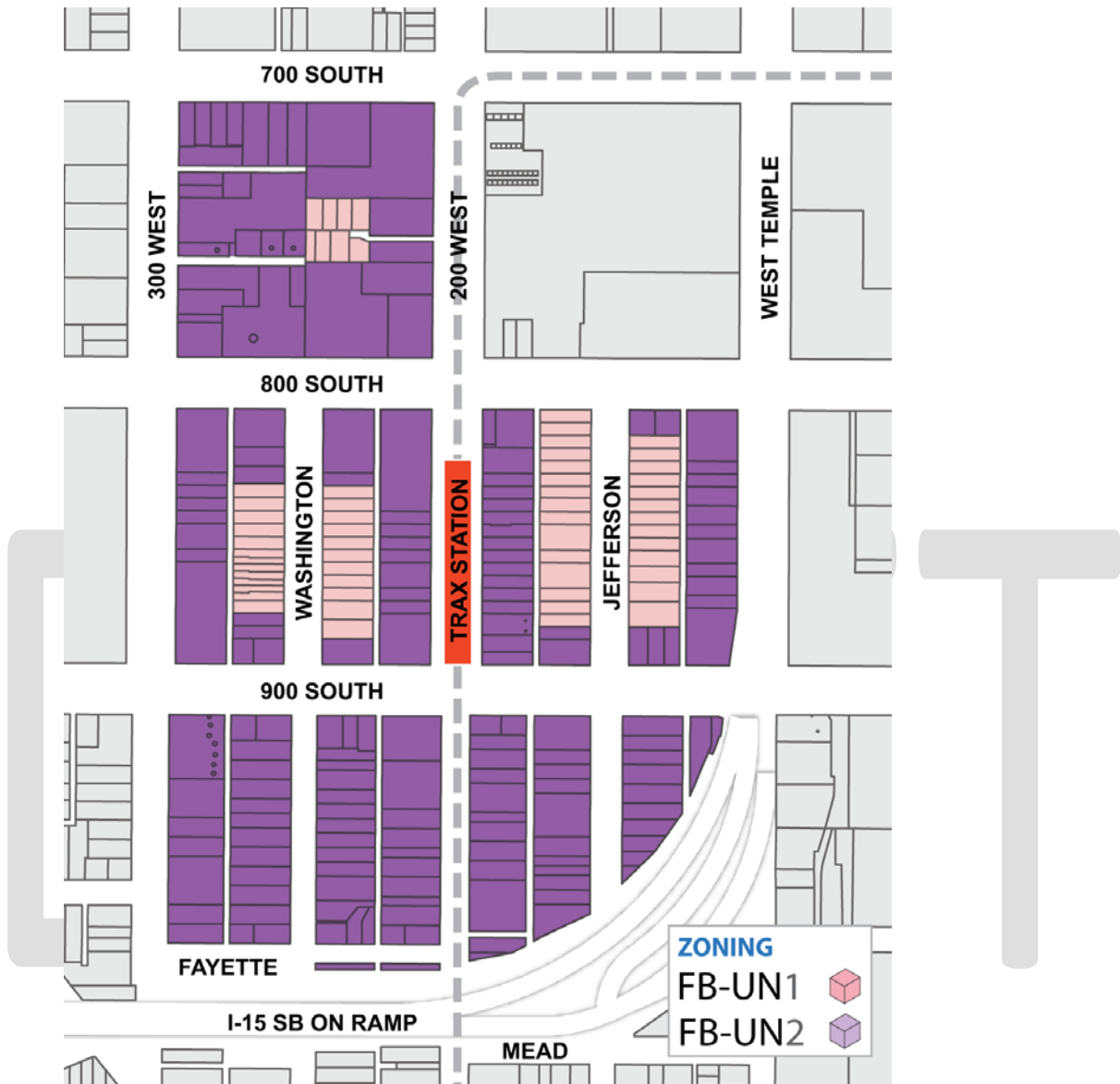
REAR/INTERIOR SIDEYARD SETBACK  
ADJACENT RESIDENTIAL

## 21A.27.050: FB-UN1 AND FB-UN2 FORM BASED URBAN NEIGHBORHOOD STANDARDS:

### A. Subdistricts:

1. Named: The following subdistricts can be found in the urban neighborhood form based districts:
  - a. FB-UN1 Urban Neighborhood 1 Subdistrict: Generally includes small scale structures, up to two and one-half (2½) stories in height, on relatively small lots with up to four (4) dwelling units per lot depending on building type. Reuse of existing residential structures is encouraged. Development regulations are based on the building type.
  - b. FB-UN2 Urban Neighborhood 2 Subdistrict: Generally includes buildings up to four (4) stories in height, with taller buildings located on street corner parcels, which may contain a single use or a mix of commercial, office, and residential uses. Development regulations are based on building type, with the overall scale, form, and orientation of buildings as the primary focus.
2. Applicability Of Subdistricts: The regulations of the subdistricts shall apply as indicated in the regulating plan map.

**FIGURE 21A.27.050.A**  
**REGULATING PLAN MAP – WEST TEMPLE GATEWAY AREA**



- B. FB-UN1 Building Form Standards. Building form standards are listed below in Table 21A.27.050.B

TABLE 21A.27.050.B  
FB-UN1 BUILDING FORM STANDARDS

		Building Form			
Building Regulation		Urban House	Two-Family Dwelling	Cottage Development <sup>1</sup>	Row House
<b>Building Height and Placement</b>					
H	Height	2½ stories, maximum of 30 feet, measured from established grade.			
F	Front and corner side yard setback	Equal to average setback of block face, where applicable, otherwise minimum of 10 feet and maximum of 20 feet.			

S	Interior side yard	Minimum 4 feet.			
R	Rear yard	Minimum of 20% lot depth up to 25 feet.		4 feet minimum.	Minimum of 20% lot depth up to 25 feet.
L	Minimum lot size	3,000 square feet; not to be used to calculate density.	1,500 square feet; not to be used to calculate density.	1,500 square feet; not to be used to calculate density.	
W	Minimum lot width	30 feet	15 feet per unit.	15 feet per unit facing a street.	15 feet per unit. Side orientation allowed provided building configuration standards are complied with.
DU	Maximum dwelling units per building form	2 units plus 1 detached accessory unit.	2 units plus 1 detached accessory unit.	1 unit per cottage, multiple cottages per lot.	Minimum of 3; maximum of 4.
BF	Number of building forms per lot	1 building form permitted for every 3,000 square feet of lot area.	1 cottage for every 1,500 square feet of lot area.	1 building form permitted for every 1,500 square feet of lot area.	
Parking					
Surface parking in front and corner side yards		Not permitted.			
Vehicle access		If off street parking is provided, vehicle access from an alley is required when property is served by a public or private alley with access rights. Vehicle access from street is only permitted when no alley access exists. If pull through parking is required by fire or other code, ingress shall be from street and egress onto alley.			
Parking on separate lots		Not permitted.		Parking may be provided on an adjacent lot or in a common area associated with the development.	
Building Configuration					
Building entry		Minimum of 1 entry facing public street. Two family dwellings shall have at least 1 entry facing a street. Side entries for building forms with 2 or more dwelling units are permitted provided a minimum of 1 building entry faces a street.			
Pedestrian connections		Pedestrian access to public walkways required		Pedestrian access to public walkways required for each dwelling unit	
Ground floor transparency		Minimum of 20% of street facing façade			
Attached garages and carports		Attached garages and carports are required to be <u>accessed from</u> the rear yard where the rear yard is accessible by an alley with access rights to the subject property. If there is no access to the rear yard, an attached garage			

	may be accessed from the front or corner side yard provided the garage door (or doors) is no wider than 50% of the front facade of the structure and set back at least 5 feet from the street facing building facade and at least 20 feet from the property line. Side loaded garages are permitted.
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Note:

<sup>1</sup> See subsection G of this section for additional standards.

- C. FB-UN2 Building Form Standards. Building form standards are listed below in Table 21A.27.050.C

TABLE 21A.27.050.C  
FB-UN2 BUILDING FORM STANDARDS

		Building Form				
Building Regulation		Cottage Development <sup>1</sup>	Row House	Multi-Family Residential	Mixed Use	Storefront
Building Height and Placement						
H	Height	2½ stories, 30 feet maximum from established grade.	4 stories with a maximum of 50'. 5 stories with a maximum of 65' on parcels located on the corners of West Temple at 800 or 900 South, 200 West at 700, 800 or 900 South, 200 West at Fayette Avenue, and 300 West at 800 or 900 South. All heights measured from established grade.			
F	Front and corner side yard setback	No minimum and maximum 10 feet.				
B	Required build-to	Minimum of 50% of street facing facade shall be built to the minimum setback line.				
S	Interior side yard	Minimum of 15 feet along a side property line adjacent to FB-UN1, otherwise 4 foot setback required. Parcels separated by an alley are not considered adjacent.		Minimum of 15 feet along a side property line adjacent to FB-UN1, otherwise no setback required. Parcels separated by an alley are not considered adjacent.		
R	Rear yard	Minimum of 25 feet when rear yard is adjacent to FB-UN1 otherwise no setback required. Parcels separated by an alley are not considered adjacent.		Minimum of 20 feet when rear yard is adjacent to FB-UN1.		
U	Upper level step back	When adjacent to lot in the FB-UN1, buildings shall be stepped back 1 additional foot for every foot of building height above 35 feet. When a parcel in the FB-UN2 district is separated from a parcel in the FB-UN1 district by an alley, the width of the alley may be counted toward the upper level step back.				
L	Minimum lot size	4,000 square feet; not to be used to calculate density.	1,500 square feet; not to be used to calculate density.	4,000 square feet; not to be used to calculate density.		
W	Minimum lot width	15 feet per unit facing a street. Side orientation allowed provided building configuration standards are complied with.		30 feet		

DU	Dwelling units per building form	1 per cottage	Minimum of 3; maximum of 5.	No minimum or maximum.
BF	Number of building forms per lot	1 cottage for every 1,000 square feet of lot area.	1 building form permitted for every 1,000 square feet of lot area.	1 building form permitted for every 4,000 square feet of lot area.
<b>Parking</b>				
Surface parking in front and corner side yards		Not permitted.		
Vehicle access		<p>If off street parking is provided, vehicle access from an alley is required when property is served by a public or private alley with access rights. Vehicle access from street is only permitted when no alley access exists. If pull through parking is required by fire or other code, ingress shall be from street and egress onto alley.</p> <p>If property is less than 30 feet wide, vehicle access from an alley is required when property is served by a public or private alley with access rights. If no alley access exists, only 1 vehicle access point from a street may be permitted.</p> <p>If property is 30 feet wide or more, only 1 vehicle access point from a street may be permitted. If property is served by a public or private alley, ingress shall be from street and egress onto alley unless otherwise permitted by this section.</p> <p>Corner lots with a minimum width of 120 feet, may have 1 vehicle access point per street frontage. Vehicle access may be one-way or multi-directional.</p>		
Vehicle access width at street		When a one-way vehicle drive is included in a development, no vehicle drive or curb cut may exceed 12 feet in width. When a multi-directional vehicle drive is included, a curb cut may not exceed 24 feet in width.		
Vehicle access from street design standards		If vehicle access is from a street, the following additional design standards shall apply: garage entry shall have a minimum 20 feet setback from property line; garage entry may not exceed 50% of first floor building width; one-way garage entry may not exceed 14 feet in width; multiway garage entry may not exceed 26 feet in width; garage door or gate shall be constructed of durable building materials and compatible with building design.		
Driveway location		The minimum distance between curb cuts shall be 12 feet. Driveways shall be at least 6 feet from abutting property lines for a depth of 10 feet unless shared. Driveways shall be at least 12 feet from property lines adjacent to a street corner or 5 feet from the point of tangency of the curb return, whichever is greater. Abandoned curb cuts shall be removed and replaced with city standard curb.		
Vehicle access and parking compliance		All new drive approaches, driveways, and parking lots shall comply with form based urban neighborhood regulations, and all other applicable sections of this code. Existing drive approaches, driveways, and parking lots shall be made compliant with form based urban neighborhood regulations upon change of use, increase in parking, or building additions greater than 25% of the footprint of the structure or 1,000 square feet, whichever is less.		
Parking on separate lots		Parking may be provided on an adjacent lot, or in a common area associated with the development, or within 500 feet of the property. If located on an adjacent		

	parcel or on a parcel within 50 feet, the proposed location of the parking shall contain a principal building and the parking shall be located behind a principal building.	
Building Configuration		
Building entry	<del>Minimum of 1 building entry per street frontage. An additional entry feature is required for every 75 feet of building wall adjacent to street. Side entries for multiple dwelling unit buildings are permitted provided there is at least 1 primary entrance facing a public street.</del>	
Pedestrian connections	<del>Pedestrian access to public walkway is required for each unit.</del>	<del>Pedestrian access to public walkway is required.</del>
Ground floor transparency	<del>Minimum of 60% of street facing facade, located between 2 feet and 8 feet above the grade of the sidewalk, shall be transparent glass. This may be reduced to 30% if ground floor is occupied by residential uses.</del>	
Building fenestration	<del>Required as per subsection F of this section.</del>	
Open space	<del>A minimum of 10% of lot area shall be provided for open space. Open space may include landscaped yards, patios, dining areas, balconies, rooftop gardens, and other similar outdoor living spaces. Required parking lot landscaping or perimeter parking lot landscaping shall not count toward the minimum open space requirement.</del>	
Upper level outdoor space	<del>All street facing residential units above the ground floor shall contain a usable balcony that is a minimum of 4 feet in depth. Balconies may overhang any required yard.</del>	
Building facade materials	<del>A minimum of 70% of any street facing building facade shall be clad in glass, brick, masonry, textured or patterned concrete, wood, or stone. Other materials may count up to 30% of the street facing building facade.</del>	
Attached garages and carports	Attached garages and carports are required to be <u>accessed from</u> the rear yard where the rear yard is accessible by an alley with access rights to the subject property. If there is no access to the rear yard, an attached garage may be accessed from the front or corner side yard provided that the garage door (or doors) is no wider than 50% of the front facade of the structure and the entry to the garage is set back at least 10 feet from the street facing building facade and at least 20 feet from a public sidewalk. Side loaded garages are permitted.	

Note:

<sup>1</sup>

See subsection G of this section for additional standards.

## Proposed Changes to 21A.46 – Signs

### 21A.46.096 SIGNS REGULATIONS FOR FORM BASED CODE DISTRICTS

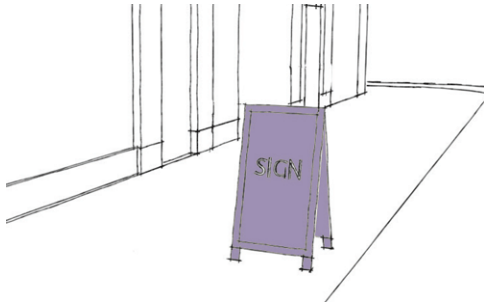
The following regulations shall apply to signs permitted in the form based code zoning districts. Any sign not expressly permitted by these district regulations is prohibited.

#### A. Sign Regulations for the Form Based Code Districts:

1. Purpose: Sign regulations for the form based code zoning districts are intended to provide appropriate signage oriented primarily to pedestrian and mass transit traffic.
2. Applicability: This subsection applies to all signs located within the form based code zoning districts. This subsection is intended to list all permitted signs in the zone. All other regulations in chapter 21A.46, "Signs", of this title shall apply.

#### B. Sign Type, Size and Height Standards:





## 1. A-Frame Sign

Sign Type	FB-UN1	FB-UN2	FB-SC	FB-SE	Specifications	
A-frame sign	-	P	P	P	Quantity	1 per leasable space. Leasable spaces on corners may have 2.
					Width	Maximum of 2 feet. Any portion of the frame (the support structure) may extend up to 6 inches in any direction beyond the sign face.
					Height	Maximum of 3 feet. Any portion of the frame (the support structure) may extend up to 6 inches in any direction beyond the sign face.
					Placement	On public sidewalk or private property.
					Obstruction Free Area	Minimum of 8 feet must be maintained at all times for pedestrian passage.



## 2. Awning or Canopy Sign

Sign Type	FB-UN1	FB-UN2	FB-SC	FB-SE	Specifications	
Awning or canopy sign	P	P	P	P	Quantity	1 per window.
					Width	Equal to the width of the window.
					Projection	No maximum depth from building facade, however design subject to

						mitigation of rainfall and snowfall runoff, conflict avoidance with tree canopy, and issuance of encroachment permits where required. The awning or canopy can project a maximum of 2 feet into a <del>streetcar</del> <u>special purpose</u> corridor.
					Clearance	Minimum of 10 feet of vertical clearance.
					Letters and logos	Allowed on vertical portions of sign only.
					Location Permitted	Private property or a public street. Signs can face a <del>streetcar</del> <u>special purpose</u> corridor but must be located on private property. All signs are subject to the requirements of the revocable lease permitted process.

### 3. Construction Sign

Sign Type	FB-UN1	FB-UN2	FB-SC	FB-SE	Specifications	
Construction sign (see definition in chapter 21A.46 of this title)	P	P	P	P	Quantity	1 per construction site
					Height	Maximum of 8 feet
					Area	Maximum of 64 square feet
					Location Permitted	Private property or a public street. Signs can face the <del>streetcar</del> <u>special purpose</u> corridor, but must be located on private property.



### 4. Flat Sign

Sign Type	FB-UN1	FB-UN2	FB-SC	FB-SE	Specifications	
Flat sign	-	P	P	P	Quantity	1 per leasable space. Leasable spaces on corners may have 2
					Width	Maximum of 90% of width of leasable space
					Height	Maximum of 3 feet
					Area	1½ square feet per linear foot of store

					frontage
				Projection	Maximum of 1 foot



#### 5. Nameplate Sign

Sign Type	FB-UN1	FB-UN2	FB-SC	FB-SE	Specifications	
Nameplate sign	P	P	P	P	Quantity	1 per leasable space. Leasable spaces on corners may have 2
					Area	Maximum of 3 square feet

#### 6. Political Sign

Sign Type	FB-UN1	FB-UN2	FB-SC	FB-SE	Specifications	
Political sign (see definition in chapter 21A.46 of this title)	P	P	P	P	Quantity	No limit
					Height	Maximum of 6 square feet
					Area	Maximum 32 square feet

#### 7. Private Directional Sign

Sign Type	FB-UN1	FB-UN2	FB-SC	FB-SE	Specifications	
Private directional sign (see definition in chapter 21A.46 of this title)	P	P	P	P	Quantity	No limit
					Height	Maximum of 5 feet
					Area	Maximum of 8 square feet
					Restriction	May not contain business name or logo
					Location Permitted	Private property or public street. Signs can face the <u>streetcar-special purpose</u> corridor but must be located on private property. All signs are subject to the requirements of the revocable lease permitting process.



## 8. Projecting Sign

Sign Type	FB-UN1	FB-UN2	FB-SC	FB-SE	Specifications	
Projecting sign	-	P	P	P	Quantity	1 per leasable space. Leasable spaces on corners may have 2
					Clearance	Minimum of 10 feet above sidewalk/walkway
					Area	6 square feet per side, 12 square feet total
					Projection	Maximum of 4 feet from building façade
					Location Permitted	Private property or public street. Signs can face the <u>streetcar-special purpose</u> corridor but must be located on private property. All signs are subject to the requirements of the revocable lease permitting process.

## 9. Projecting Parking Entry Sign

Sign Type	FB-UN1	FB-UN2	FB-SC	FB-SE	Specifications	
Projecting sign (see project sign graphic)	-	-	P	P	Quantity	One per parking entry.
					Clearance	Minimum of 10 feet above sidewalk/walkway
					Height	Maximum of 2 feet.
					Area	4 square feet per side, 8 square feet total
					Projection	Maximum of 4 feet from building façade for public and private streets. Maximum of two feet within the <u>streetcar-special purpose</u> corridor.
					Location Permitted	Private property or public street. Signs can face the <u>streetcar-special purpose</u> corridor but must be located on private property. All signs are subject to the requirements of the revocable lease permitting process.

## 10. Public Safety Sign

Sign Type	FB-UN1	FB-UN2	FB-SC	FB-SE	Specifications	
Public safety sign (see definition in chapter 21A.46 of this title)	P	P	P	P	Quantity	No limit
					Height	Maximum of 6 feet
					Area	8 square feet
					Projection	Maximum of 1 foot
					Location Permitted	Private property or public street. Signs can face the <u>streetcar-special purpose</u> corridor but must be located on private property. All signs are subject to the requirements of the revocable lease permitting process.



## 11. Real Estate Sign

Sign Type	FB-UN1	FB-UN2	FB-SC	FB-SE	Specifications	
Real estate sign	P	P			Quantity	1 per leasable space. Leasable spaces on corners may have 2
					Height	Maximum of 12 feet
					Area	32 square feet
					Location Permitted	Private property or public street. Signs can face the <u>streetcar-special purpose</u> corridor but must be located on private property. All signs are subject to the requirements of the revocable lease permitting process.



## 12. Window Sign

Sign Type	FB-UN1	FB-UN2	FB-SC	FB-SE	Specifications	
Window sign	-	P	P	P	Quantity	1 per window
					Height	Maximum of 3 feet
					Area	Maximum of 25% of window area

### Proposed Changes to 21A.33 – Permitted Uses

#### 21A.33.080 TABLE OF PERMITTED USES IN FORM BASED CODE DISTRICTS

*Note: Uses which are not listed in the following table are not permitted in any form based code zoning district.*

Legend:	P = Permitted	C = Conditional	- = Not Permitted in Zoning District
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Use	Permitted Uses by District			
	FB-UN1	FB-UN2	FB-SC	FB-SE
Accessory use, except those that are specifically regulated in this chapter, or elsewhere in this title	P	P	P	P
Alcohol:				
Liquor store	-	P	P	P
Microbrewery	-	P	P	P
Social club	-	P	P	PC
Tavern or brewpub, 2,500 square feet or less in floor area	-	P	P	P
Animal, veterinary office	-	P	P	P
Antenna, communication tower	-	P	P	P
Art gallery	-	P	P	P
Bed and breakfast	P	P	P	P
Bed and breakfast inn	P	P	P	P
Bed and breakfast manor	P	P	P	P
Clinic (medical, dental)	-	P	P	P
Community garden	P	P	P	P
Community recreation center	-	P	P	P
Daycare center, adult	-	P	P	P
Daycare center, child	-	P	P	P
Dwelling:				
Assisted living facility (large)	-	P	P	P
Assisted living facility (small)	P	P	P	P
Group home (large)	-	P	P	P
Group home (small) when located above or below first story office, retail, or commercial use, or on the first story where the unit is not located adjacent to street frontage	-	P	P	P
Multi-family	-	P	P	P
Residential substance abuse treatment home (large)	-	P	P	P
Residential substance abuse treatment home (small)	-	P	P	P

	Rooming (boarding) house	-	P	-	-
	Single-family attached	P	P	-	P
	Single-family detached	P	-	-	-
	Single-family detached (Cottage Development building form only)	-	P	-	P
	Single room occupancy	-	P	-	-
	Transitional victim home (large)	-	P	P	P
	Transitional victim home (small)	-	P	P	P
	Two-family	P	-	-	-
	Eleemosynary facility	-	P	P	P
	Farmers' market	-	P	P	P
	Financial institution	-	P	P	P
	Food processing	-	P	-	-
	Funeral home	-	P	P	P
	Health and fitness facility	-	P	P	P
	Hotel/motel	-	P	<del>P</del>	<del>P</del>
	House museum in landmark site	P	P	P	P
	Laboratory (medical, dental, optical)	-	P	P	P
	Library	-	P	P	P
	Mixed use developments including residential and other uses allowed in the zoning district	-	P	P	P
	Museum	-	P	P	P
	Nursing care facility	-	P	P	P
	Office	-	P	P	P
	Office and/or reception center in landmark site	-	P	P	P
	Open space	P	P	P	P
	Park	P	P	P	P
	Parking, off site	P <sup>1</sup>	P <sup>1</sup>	P <sup>1</sup>	P <sup>1</sup>
	Photo finishing lab	-	-	P	P
	Place of worship	-	P	P	P
	Plazas	P	P	P	P
	Recreation (indoor)	-	P	P	P
	Research and development facility	-	P	P	P
	Research facility (medical/dental)	-	P	P	P
	Restaurant	-	P	P	P
	Retail goods establishment	-	P	P	P
	Retail goods establishment, plant and garden shop with outdoor retail sales area	-	P	P	P
	Retail service establishment	-	P	P	P
	Sales and display (outdoor)	-	P	P	P
	School:				
	College or university	-	P	P	P
	Music conservatory	-	P	P	P
	Professional and vocational	-	P	P	P
	Seminary and religious institute	-	P	P	P
	Seasonal farm stand	-	P	P	P
	Solar array	-	P	P	P
	Store, specialty	-	P	P	P
	Studio, art	-	P	P	P
	Studio, dance	-	-	P	P
	Theater, movie	-	P	P	P
	Urban farm	P	P	P	P



Utility, building or structure	P	P	P	P
Utility, transmission wire, line, pipe, or pole	P	P	P	P
Vending cart, private property	-	P	P	P
Wireless telecommunications facility (see section 21A.40.090, table 21A.40.090E of this title)	-	P	P	P

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