



# HOUSE RENOVATION

## BILL & MARLENE BRYAN

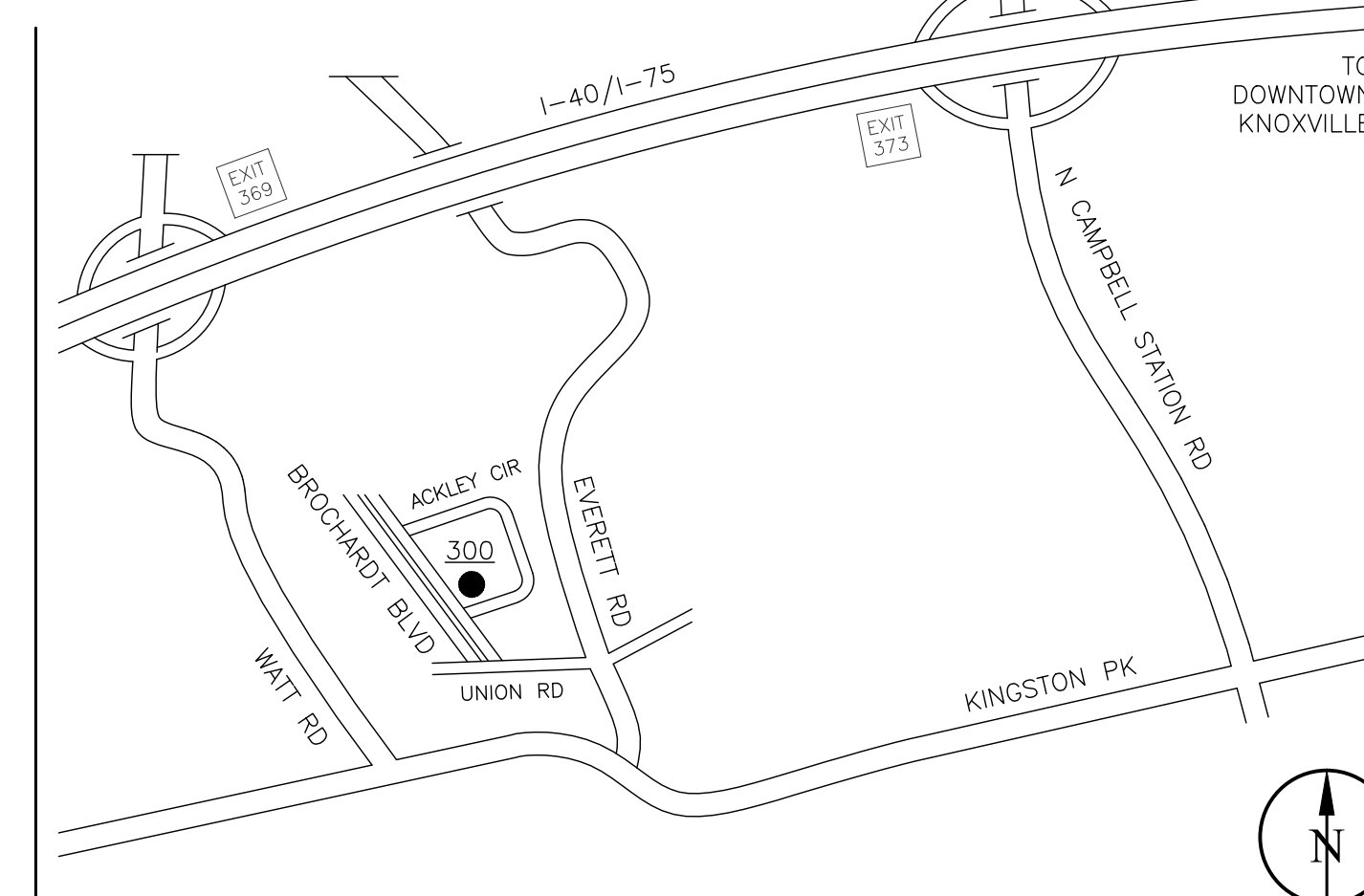
300 BROCHARDT BLVD.  
FARRAGUT, TN 37934

### FALCONNIER DESIGN CO.

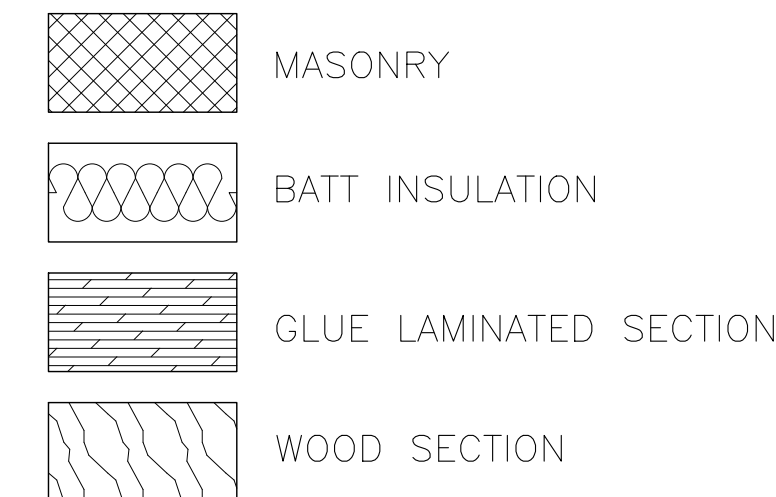
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#### LOCATION PLAN



#### MATERIAL INDICATIONS



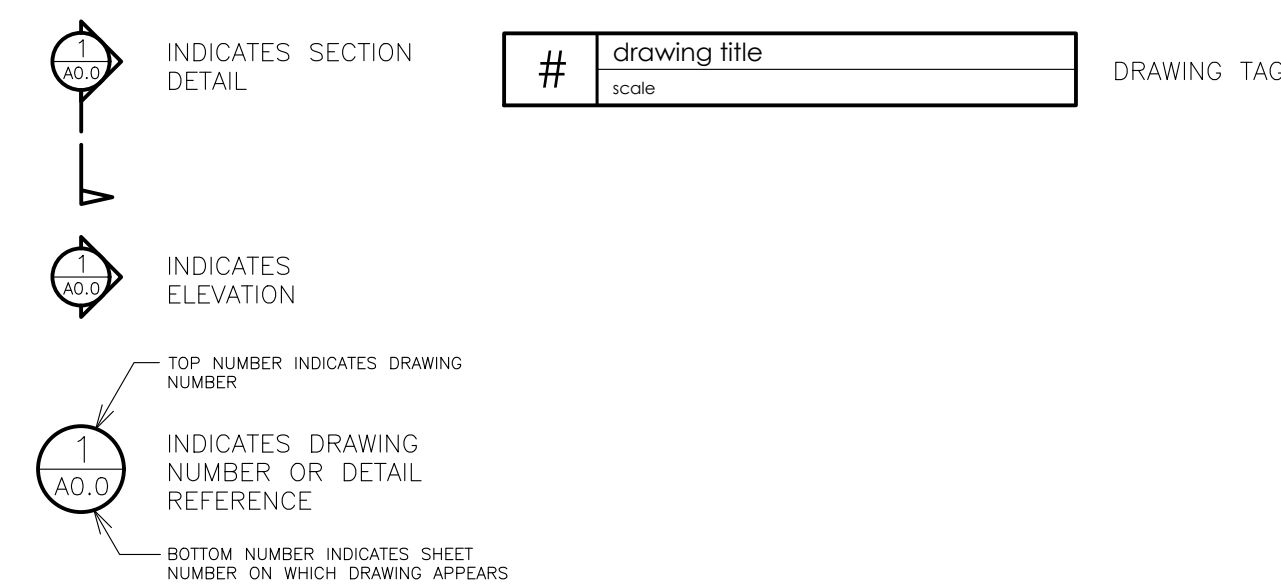
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#### ISSUE RECORD

ISSUE	DATE	REV	DESCRIPTION	SHEET NO.
0.1	07/20/21	~	OWNER REVIEW - PROGRESS SET	~
0.2	08/09/21	~	OWNER REVIEW	ALL
0.3	09/01/21	~	OWNER REVIEW	ALL
1.0	09/15/21	~	FOR PERMIT & CONSTRUCTION	ALL

#### DRAWING SYMBOLS



#### ABBREVIATIONS

ABV ABOVE	BR BRUSH (ED)	CONST CONSTRUCTION CONTINUE (IOUS)	EA EACH FACE	FR FIRE RETARDANT	HD HEAVY DUTY	LEV LEVEL	MID MOLDING	PL PLATE	RMG REINFORCED MASONRY GROUT	SD STORM DRAIN	V VENT
AP ABOVE FINISHED FLOOR	BLDG BUILDING	CONTR CONTRACTOR	EF EACH WAY	FXK FLASHING	HOT HEIGHT	LMT LIGHTWEIGHT	MTD MOUNTED	PLYWOOD	RO ROUGH OPENING	STRUC STRUCTURAL	V-J V-JOINT
AP ACCESS PANEL	BUR BUILT UP ROOFING	CJ CONTROL JOINT	E EAST	FLX FLEXIBLE	HM HOLLOW METAL	LIM LIMITING	MOV MOVABLE	PVC POLYVINYL CHLORIDE	RB RUBBER BASE	SUBFLR SUBFLOOR	VAR VARNISH
ACQ ACQUSTICAL	BBB BULLETIN BOARD	CONV CONVENTIONAL	EFS EXTERIOR INSULATION & FINISH SYSTEM	FLR FLOOR (ING)	HORIZ HORIZONTAL	LIN LINEN	MUL MULLION	PCF POUNDS PER CUBIC FOOT	RT RUBBER TILE	SUSP SUSPENDED	VNR VENEER
ACT ACQUSTICAL TILE		COORD COORDINATE (ION)	ELEC ELECTRIC (AL)	FLD FLOOR DRAIN	HR HOUR	LTL LINTEL	MTL MATERIAL	PSF POUNDS PER SQUARE FOOT	SCH'D SCHEDULE	SYS SYSTEM	VEST VESTIBULE
ADD ADDENDUM	CABT CABINET	CG CORNER GUARD	EWC ELECTRIC WATER COOLER	FLUR FLOOR FLUORESCENT	HW HOT WATER	LLR LOCKER	NAT NATURAL	PSI POUNDS PER SQUARE INCH	SECT SECTION	S/S SAND & SEAL	VB VINYL BASE
ADJ ADJUSTABLE	CPT CARPET (ED)	CORRUG CORRUGATED	ELEV ELEVATION	FT FOOT/FEET	LLV LONG LEG VERTICAL	LLK LOCKER	NOM NOMINAL	PC PRECAST CONCRETE	SEP SEPARATE	SEV SERVICE	VIF VERIFY IN FIELD
A/C AIR CONDITIONER (ING)	CI CAST IRON	CS COUNTER SINK	EMER EMERGENCY	FTG FOOTING	LLV LONG LEG VERTICAL	LKR LOCKER	NONCOMB NONCOMBUSTIBLE	PREFAB PREFABRICATED	SERV SERVICE	TEL TELEPHONE	VCT VINYL COMPOSITION TILE
ACC ACCESSIBLE	CB CATCH BASIN	CU.FT. CUBIC FOOT/FEET	ENCL ENCLOSURE	FOUND FOUNDATION	INSUL INSULATE (D)(ING)	LKR LOCKER	N NORTH	PREENG PREENGINEERED	SS SERVICE SINK	TV TELEVISION	VT VINYL TILE
ALT ALTERNATE	CEM CEMENT	CU.YD. CUBIC YARD	EPM ETHYLENE PROPYLENE DIENE MONOMER	FR FRAME/FRENCH	INSUL INSULATE (D)(ING)	LKR LOCKER	NIC NOT IN CONTRACT	PSC PRESTRESSED CONCRETE	SHT SHEET	TEMP TEMP	VTR VENT THROUGH ROOF
ALUM ALUMINUM	CTR CENTER	CW COLD WATER	EPS EXPANDED POLYSTYRENE INSULATION	FS FULL SIZE	INT INTERIOR	LKR LOCKER	NTS NOT TO SCALE	PT PRESSURE TREATED	SH SHELF (WING)/SINGLE HUNG	TERM TERMINATE (ION)	VWC VINYL WALLCOVERING
ANC ANCHOR (AGE)	DEAD LOAD	DEAD LOAD	EQ EQUAL	FUR FURRED (ING)	INT INTERMEDIATE	LKR LOCKER	NO or # NUMBER	SHWR SHOWER	SHWR SHOWER	TERR TERRAZZO	WCT WAINSCOT
ANB ANCHOR BOLT	EQUIP EQUIPMENT	DEMO DEMOLISH (TION)	EQ EQUIPMENT	FUT FUTURE	INT INTERMEDIATE	LKR LOCKER	OC ON CENTER (S)	SHWR SHOWER	SHWR SHOWER	THK THICK (NESS)	WFC WALK IN CLOSET
AND ANODIZED	EST ESTIMATE	DEPT DEPARTMENT	EQ EQUIPMENT	GA GAGE/GAUGE	INT INTERMEDIATE	LKR LOCKER	OPNG OPENING	SHWR SHOWER	SHWR SHOWER	TOL TOLERANCE	WF WALL FABRIC
APA AMERICAN PLYWOOD ASSOC.	EX EXHAUST	DES DESIGN	EX EXISTING	GALV GALVANIZED	JAN JANITOR CLOSET	LKR LOCKER	OPP OPPOSITE	SHWR SHOWER	SHWR SHOWER	T&G TONGUE & GROOVE	WC WATER CLOSET
APPROX APPROXIMATE	EXIST EXISTING	DET DETAIL	EXPN EXPANSION	GEN GENERAL	JT JOINT	LKR LOCKER	OD OUTSIDE DIAMETER	SHWR SHOWER	SHWR SHOWER	T.O.B. TOP OF BEAM	WH WATER HEATER
ARCH ARCHITECT (URAL)	EXPAN EXPANSION	DIA DIAGONAL	EB EXPANSION BOLT	GC GENERAL CONTRACTOR	JST JOIST	LKR LOCKER	OA OVERALL	SHWR SHOWER	SHWR SHOWER	T.O.C. TOP OF CURB	WHD WALL HYDRANT
ASSEM ASSEMBLY (IES)	EXPN EXPANSION	DIA DIAGONAL	EB EXPANSION BOLT	GC GENERAL CONTRACTOR	JST JOIST	LKR LOCKER	OFD OVERFLOW DRAIN	SHWR SHOWER	SHWR SHOWER	T.O.J. TOP OF JOIST	WP WATER PROOFING
AUTO AUTOMATIC	EXP EXPOSED	DM DIMENSION	EJ EXPANSION JOINT	GC GENERAL CONTRACTOR	JST JOIST	LKR LOCKER	OH OVERHEAD/OVERHANG	SHWR SHOWER	SHWR SHOWER	T.O.M. TOP OF MASONRY	WR WATER RESISTANT
BS BACKSPASH	EXT EXTERIOR	DW DISH WASHER	EXP EXPOSED	GC GENERAL CONTRACTOR	JST JOIST	LKR LOCKER	OZ OUNCE	SHWR SHOWER	SHWR SHOWER	T.O.S.L. TOP OF SLAB	WS WATER STOP
BSMT BASEMENT	EXT EXTERIOR	DISP DISPOSAL	EXP EXPOSED	GC GENERAL CONTRACTOR	JST JOIST	LKR LOCKER	MC MEDICINE CABINET	SHWR SHOWER	SHWR SHOWER	T.O.S. TOP OF STEEL	WT WEIGHT
BRG BEARING	EXT EXTERIOR	DISP DISPOSAL	EXP EXPOSED	GC GENERAL CONTRACTOR	JST JOIST	LKR LOCKER	MEM MEMBER	SHWR SHOWER	SHWR SHOWER	T.O.W. TOP OF WALL	WWM WELDED WIRE MESH
BETW BETWEEN	EXT EXTERIOR	DISP DISPOSAL	EXP EXPOSED	GC GENERAL CONTRACTOR	JST JOIST	LKR LOCKER	MET METAL	SHWR SHOWER	SHWR SHOWER	T.O.P. TOP OF PARAPET	W WEST/WASHER
BEVL BEVEL (ED)	EXT EXTERIOR	DISP DISPOSAL	EXP EXPOSED	GC GENERAL CONTRACTOR	JST JOIST	LKR LOCKER	MT METAL THRESHOLD	SHWR SHOWER	SHWR SHOWER	T&P TEMPERATURE & PRESSURE	WDW WINDOW
BIT BITUMINOUS	EXT EXTERIOR	DISP DISPOSAL	EXP EXPOSED	GC GENERAL CONTRACTOR	JST JOIST	LKR LOCKER	MM MILLIMETER	SHWR SHOWER	SHWR SHOWER	T. TRASH COMPACTOR	WG WIRE GLASS
BLK BLOCK	EXT EXTERIOR	DISP DISPOSAL	EXP EXPOSED	GC GENERAL CONTRACTOR	JST JOIST	LKR LOCKER	MWK MILLWORK	SHWR SHOWER	SHWR SHOWER	T. TREAD	WM WIRE MESH
BLKG BLOCKING	EXT EXTERIOR	DISP DISPOSAL	EXP EXPOSED	GC GENERAL CONTRACTOR	JST JOIST	LKR LOCKER	MN MINIMUM	SHWR SHOWER	SHWR SHOWER	TYP TYPICAL	W/W WITH
BD BOARD	EXT EXTERIOR	DISP DISPOSAL	EXP EXPOSED	GC GENERAL CONTRACTOR	JST JOIST	LKR LOCKER	MIR MIRROR	SHWR SHOWER	SHWR SHOWER	UC UNDERCOUNTER	WO W/O
BOT BOTTOM	EXT EXTERIOR	DISP DISPOSAL	EXP EXPOSED	GC GENERAL CONTRACTOR	JST JOIST	LKR LOCKER	MOD MODULAR	SHWR SHOWER	SHWR SHOWER	UNFIN UNFINISHED	W/W W/O
	EXT EXTERIOR	DISP DISPOSAL	EXP EXPOSED	GC GENERAL CONTRACTOR	JST JOIST	LKR LOCKER		SHWR SHOWER	SHWR SHOWER	UNLESS NOTED OTHERWISE	W/W W/O
	EXT EXTERIOR	DISP DISPOSAL	EXP EXPOSED	GC GENERAL CONTRACTOR	JST JOIST	LKR LOCKER		SHWR SHOWER	SHWR SHOWER	URNL URINAL	YD YARD

#### HOUSE RENOVATION

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300 BROCHARDT BLVD  
FARRAGUT, TN 37934

#### COVER SHEET & PROJECT DATA

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CHECKED BY:	DAF
ISSUED:	09/15/21
REVISION(S):	
FILE:	2021-021

# G-001

**GENERAL NOTES AND SPECIFICATIONS**

- ALL NEW CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE FEDERAL, STATE, AND LOCAL BUILDING CODES AND RESTRICTIVE ORDINANCES FOR CONSTRUCTION, PLUMBING, ELECTRICAL, MECHANICAL, AND FIRE PROTECTION SYSTEMS.
- DO NOT SCALE THESE DRAWINGS. WORK TO ALL DIMENSIONS.
- THE INTENT OF THESE DRAWINGS IS TO PROVIDE THE BUILDER WITH GENERAL GUIDELINES FOR THE SOUND CONSTRUCTION OF THE STRUCTURE INDICATED WITHIN. DEVIATIONS FROM THESE DRAWINGS ARE AT THE OWNER/CONTRACTOR'S RISK UNLESS APPROVED IN WRITING, AND WITH SUPPLEMENTARY DRAWINGS FROM ARCHITECT.
- NOT USED.
- OWNER/CONTRACTOR TO SECURE AND PAY FOR ALL NECESSARY FEES AND PERMITS FOR CONSTRUCTION, ELECTRICAL AND PLUMBING INSPECTIONS, ETC.
- DIMENSIONS INDICATED ON DRAWINGS ARE TO OUTSIDE FACE OF EXTERIOR CONCRETE BLOCK OR STUD WALL TO CENTERLINE OF INTERIOR STUDS AND COLUMNS UNLESS NOTED OTHERWISE.
- IT IS THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR TO CHECK THE LOCAL AND STATE BUILDING CODES, SUB-DIVISION RESTRICTIONS AND HEALTH DEPARTMENT GUIDELINES AND ADHERE TO THEIR REQUIREMENTS.
- ANY DISCREPANCIES CONTAINED WITHIN THESE DRAWINGS ARE TO BE IMMEDIATELY REPORTED TO ARCHITECT.
- NOT USED.
- ALL EXISTING SITE CONDITIONS ARE TO BE VERIFIED BY OWNER/CONTRACTOR BEFORE START OF CONSTRUCTION.
- NOT USED.
- LANDSCAPING EXISTING TO REMAIN.
- NOT USED.
- THE DESIGN ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, ETC. FOR ALL WORK DONE BY THE OWNER/CONTRACTOR IS THE SOLE RESPONSIBILITY OF THE OWNER/CONTRACTOR. WALLS WHICH SUPPORT JOISTS, RAFTERS, ETC., AND ARE Laterally SUPPORTED BY SAME SHALL BE BRACED UNTIL ALL CONSTRUCTION IS COMPLETED.
- NOT USED.
- CONTRACTOR SHALL CAULK AND SEAL ALL JOINTS AND CRACKS AROUND WINDOWS, CHIMNEYS, DOORS, COUNTER TOPS, MUD SILLS, SILL PLATES, ETC. WITH PROPER EXTERIOR OR INTERIOR COMPOUNDS. INSTALL AS PER MANUFACTURER'S PRINTED INSTRUCTIONS.
- ALL FINISHES, WALL COVERINGS, CARPET, PANELING, FLOOR TILES, COUNTER TOPS, FURNITURE, FURNISHINGS, HARDWARE, AND PAINT: THEIR COLORS, PATTERNS AND TEXTURES TO BE SELECTED BY OWNER UNLESS NOTED OTHERWISE.
- ALL WATER LINES SHALL BE INSULATED.
- ALL WATERPIPING AT FIXTURES CONNECTIONS SHALL BE THOROUGHLY SECURED IN OR ON WALL OF PIPE CHASE BEHIND FIXTURES.
- OFFSET PLUMBING VENTS THROUGH ROOF AS REQUIRED TO AVOID ANY OBSTRUCTIONS. ALL ROOF PENETRATIONS, WHERE PRACTICAL, TO BE SIMILAR IN COLOR TO ROOF FINISH.
- PROVIDE 110V, UL APPROVED SMOKE/CO DETECTORS IN NUMBERS AS REQUIRED BY LOCAL CODES. DETECTORS SHALL BE LISTED AND MEET THE INSTALLATION REQUIREMENTS OF NFPA 72A AND 74.
- CONTRACTOR TO PRE-WIRE FOR TELEPHONE, CABLE TV, DOOR CHIMES, INTERNET AND SOUND SYSTEMS AS PER OWNER'S DIRECTION.
- WINDOWS FROM ALL SLEEPING ROOMS MUST HAVE A MINIMUM NET CLEAR OPENING HEIGHT OF 24" AND A MINIMUM NET CLEAR OPENING WIDTH OF 20". THE SILL HEIGHT CANNOT EXCEED A MAXIMUM OF 44" ABOVE THE FLOOR.  
TOTAL OPEN AREA TO BE 5 SQ. FT. AT GROUND LEVEL ROOMS AND 5.7 SQ. FT. AT UPPER LEVEL ROOMS (WHERE ALLOWED BY LOCAL CODES).
- NO QUALIFYING STATEMENTS OR EXCEPTIONS TO PLANS OR NOTES TO BE PERMITTED.

**BUILDING CODE NOTES:**

- MUNICIPAL JURISDICTION: TOWN OF FARRAGUT
- CODES:
  - 2018 INTERNATIONAL RESIDENTIAL CODE INCLUDING ALL LOCAL AMENDMENTS.
  - 2018 INTERNATIONAL EXISTING BUILDING CODE.
  - TOWN OF FARRAGUT ZONING ORDINANCE
- OCCUPANCY GROUP: SINGLE FAMILY RESIDENTIAL
- CONSTRUCTION TYPE: V-B, UN-SPRINKLERED
- STRUCTURAL:
  - SEISMIC DESIGN CATEGORY: C
  - DESIGN WIND SPEED: 90mph, 3-SECOND GUST: 110mph
  - DESIGN SNOW LOAD: 10psf
  - LIVE LOADS:
    - 40 psf
    - 30 psf (BEDROOMS)
- ENERGY CODE: 2018 INTERNATIONAL ENERGY CONSERVATION CODE
  - SEE A-301 thru A-303 FOR NEW ROOF/ATTIC INSULATION DUE TO NEW CEILING FRAMING/ ROOF SUPPORT. CONFORM TO TOWN OF FARRAGUT REPORTING STANDARDS.
  - NO CHANGES TO EXTERIOR ENVELOPE. EXISTING FLOOR & WALL INSULATION TO REMAIN.
- OWNER SHALL:
  - BE RESPONSIBLE FOR ALL BUILDING PERMITS AND INSPECTIONS UNLESS DELEGATED IN WRITING TO THE GENERAL CONTRACTOR.
  - VERIFY SEWER AND SEPTIC REQUIREMENTS WITH LOCAL UTILITIES AND HEALTH DEPARTMENTS.
  - SCHEDULE ALL SITE UTILITY CONNECTIONS INCLUDING WATER, SEWER, ELECTRICAL AND COMMUNICATIONS.

**WOOD NOTES**

- WHERE NOTED, CONTRACTOR SHALL USE "SIMPSON STRONG-TIE" (OR EQUIVALENT) WOOD FRAMING ANCHORS, CONNECTORS, HANGERS, ETC. FOR ALL WOOD TO WOOD CONNECTIONS, ALL ANCHORS ETC. TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S PRINTED SPECIFICATIONS.
- NOT USED.
- UNLESS NOTED OTHERWISE ON PLANS HEADERS TO BE AS FOLLOWS:
  - UP TO 10'-0" -----(2) 2 x 12
  - ANY OP'G IN 2x6 BEARING WALL -----(3) 2 x 12
  - OVER 10'-0" -----LVL PER FRAMING PLAN
- CUTTING, NOTCHING, BORED HOLES IN STUD WALLS, RAFTERS, BEAMS, COLUMNS, ETC., SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL RESIDENTIAL CODE
- NOT USED.
- ALL WOOD BUILT-UP GIRDERS, BEAMS, STUDS TO SOLE PLATE, ETC., TO BE CONNECTED AS PER INTERNATIONAL RESIDENTIAL CODE
- AT OPENINGS IN EXTERIOR WALLS, A WALL STUD SHALL BE AT EACH SIDE OF THE OPENING WITH THE ENDS OF THE HEADER SUPPORTED AS FOLLOWS (UNLESS OTHERWISE NOTED):
  - FOR OPENINGS LESS THAN 3 FT. IN WIDTH EACH END OF HEADER SHALL REST ON A SINGLE HEADER STUD OR MAY BE SUPPORTED BY FRAMING ANCHORS ATTACHED TO WALL STUD;
  - FOR OPENINGS OVER 3 FT. TO LESS THAN 6'-0" IN WIDTH, EACH END SHALL BEAR ON SINGLE HEADER STUD;
  - FOR OPENINGS MORE THAN 6'-0" IN WIDTH, EACH END SHALL BEAR ON DOUBLE HEADER STUD;
  - ANY LENGTH HEADER SUPPORTING CONCENTRATED LOADS FROM BEAMS ABOVE, EACH END SHALL BEAR ON DOUBLE HEADER STUD.
  - ANY LENGTH HEADER SUPPORTING CONCENTRATED LOADS FROM BEAMS ABOVE, EACH END SHALL BEAR ON DOUBLE HEADER STUD.
  - SUPPLY KING STUDS IN QUANTITY TO MATCH JACK STUDS, KING STUDS TO RUN FULL HEIGHT OF WALL FROM BOTTOM PLATE TO TOP PLATE
- WHERE WOOD BEAMS BEAR ON STUD WALLS, PROVIDE MIN. DOUBLE OR TRIPLE STUD, DEPENDING ON BEAM WIDTH, UNDER BEAM BEARING.
- ALL WOOD IN CONTACT WITH MASONRY, CONCRETE, OR EXPOSED TO THE WEATHER SHALL BE PRESSURE TREATED AS FOLLOWS:
  - TREATED LUMBER: SOUTHERN PINE OR DOUGLAS FIR CONSTRUCTION GRADE S4S, AWPA STANDARD C1 & C2.
  - ALL FIELD CUTS AND DRILLED HOLES IN TREATED LUMBER AND POSTS SHALL BE TREATED IN ACCORDANCE WITH AWPA M-4.
- WHEN PRE-FINISHED METAL IS INSTALLED OVER PRESSURE TREATED WOOD, USE (1) LAYER OF 15# FELT BETWEEN WOOD AND METAL TO PREVENT CORROSION. SOME PRE-FINISHED METALS CAN BE ORDERED WITH ORGANIC POLYMER COATINGS FOR THE SAME PURPOSE.

**ENVELOPE REQUIREMENTS (CLIMATE ZONE 4)**

TYPE	SIZE	CAVITY INSUL.	CONT. INSUL.	INSULATION	SPECIFICATION (EQ. TO)
ROOF		5.35" R-38 <sup>(1)</sup>		SPRAYED CLOSED CELL FOAM	ICYNENE "PROSEAL" R-7.1/1"
<sup>(1)</sup> INSULATION CONTINUOUS ABOVE TOP OF EXTERIOR WALL					

DOORS AND WINDOWS ARE EXISTING TO REMAIN.

MECHANICAL EQUIPMENT AND LIGHTING SEE M-101, E-101, & E-102.

**ENERGY CODE GENERAL NOTES:**

- CONFORM TO LOCAL AUTHORITY ENERGY CODE REPORTING STANDARDS.
- SEE SECTIONS A-301 thru A-303 FOR LOCATIONS OF INSULATION.
- INSULATION VALUES AND SPECIFICATIONS SHOWN IN TABLE AND DETAILS THIS SHEET.
- SEE M-101 FOR MECHANICAL EQUIPMENT AND DESIGN.
- SEE P-101 FOR PLUMBING AND WATER HEATING EQUIPMENT AND DESIGN.
- THE DESIGN INTENT IS FOR ROOF/ATTIC INSULATION TO CONTINUE ABOVE TOP OF EXTERIOR WALLS, THEREBY QUALIFYING FOR 100% RULE IN IECC (R)402.2.1 AND (R)402.2.2

**EXISTING BUILDING ENERGY CODE COMPLIANCE:**

- EXISTING WALL, FLOOR OR ROOF INSULATION WHICH IS EXISTING TO REMAIN, DOES NOT NEED TO BE REPLACED (IECC R503.1.1 EXCEPTION 2).
- EXISTING WALL, FLOOR OR ROOF INSULATION WHICH IS NOT EXPOSED AS PART OF THE ALTERATION, DOES NOT NEED TO BE REPLACED (IECC R503.1.1 EXCEPTION 3).
- NEWLY INSTALLED OR REPLACEMENT INSULATION SHALL COMPLY WITH THE TABLE ABOVE.
- NEWLY INSTALLED WINDOWS OR DOORS SHALL COMPLY WITH THE ENERGY CODE FOR NEW CONSTRUCTION.
- EXISTING MECHANICAL EQUIPMENT IS EXISTING TO REMAIN. ANY NEW ELEMENTS OF THE MECHANICAL SYSTEM MUST MEET REQUIREMENTS FOR NEW CONSTRUCTION.
  - EXISTING DUCTS WHICH ARE LESS THAN 40 LINEAR FEET DO NOT REQUIRE TESTING (IECC 503.1.2 EXCEPTION)
- NEW LIGHTING SYSTEMS SHALL COMPLY WITH THE ENERGY CODE FOR NEW CONSTRUCTION.

**INSTALLATION OF LAG SCREWS**

LEAD HOLES FOR LAG SCREW SHALL BE BORED AS FOLLOWS TO AVOID SPLITTING THE WOOD MEMBER DURING CONNECTION FABRICATION. THE DATA ARE APPLICABLE TO:

LAG SCREW (in.)	PILOT HOLE (in.)
1/4"	5/32"
3/8"	1/4"
1/2"	5/16"
5/8"	3/8"
3/4"	1/2"
7/8"	9/16"
1"	5/8"

WESTERN HEMLOCK  
DOUGLAS FIR LARCH  
LOGGE POLE PINE/ENGLERMAN SPRUCE (WALL LOG 40)  
WESTERN HEMLOCK (WALL LOG 40)  
SOUTHERN YELLOW PINE (WALL LOG 40)  
SOUTHERN PINE

- THE CLEARANCE HOLE FOR THE SHANK OF THE LAG SCREW SHALL BE THE SAME AS THE DIAMETER OF THE LAG SCREW, AND THE SAME DEPTH OF PENETRATION AS THE LENGTH OF THE UNTHREADED SHANK.
- THE PILOT HOLE FOR THE THREADED PORTION SHALL BE OF THE DIAMETER SHOWN IN CHART AND THE LENGTH AT LEAST THE LENGTH OF THE THREADED PORTION.

**WOOD LVL NOTES:**

- ENGINEERED WOOD LVL SIZES AND SPECIFICATIONS ARE BASED ON "VERSA-LAM" PRODUCTS AS MANUFACTURED BY BOISE CASCADE. IF ANOTHER MANUFACTURER IS TO BE SUBSTITUTED, VERIFY SIZES AND LOADING CONDITIONS PRIOR TO ORDERING.
- LVL THICKNESS INDICATED ON DRAWINGS IS TO BE ACHIEVE BY BUILT-UP PLYS OF 1 3/4" THK. LVLS.
  - "2-PLY" REFERS TO (2) 1 3/4" WIDE PLYS FASTENED TOGETHER PER MANUFACTURER'S INSTRUCTIONS.
  - "3-PLY" REFERS TO (3) 1 3/4" WIDE PLYS FASTENED TOGETHER PER MANUFACTURER'S INSTRUCTIONS.
- PLYs SHALL BE FACTORY ASSEMBLED OR SHALL BE FIELD ASSEMBLED IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS FOR ASSEMBLY.
- MINIMUM FASTENERS (2 OR 3 PLY): (2) ROWS OF 16d NAILS OR SDS 1/4" x 3 1/2" WS35 SCREWS AT 12" O.C. ON BOTH SIDES OF THE BEAM, WITH ROWS STAGGERED 1/2 O.C. SPACING.
- FOR MORE THAN 3-PLY, REFER TO MANUFACTURER'S PRINTED LITERATURE.

- LVL DEPTHS SHALL BE AS INDICATED ON DRAWINGS.
- FOLLOW MANUFACTURER'S PRINTED INSTALLATION INSTRUCTIONS WITH REGARDS TO:
  - BEARING CONDITIONS
  - LATERAL BRACING
  - DELIVERY, STORAGE AND HANDLING
  - NOTCHING, BORING, CUTTING AND OTHER HOLES AND CUTS
- PROVIDE SIMPSON STRONG-TIE CONNECTORS AND ATTACHMENTS WHICH HAVE BEEN SPECIFIED OR DESIGNED FOR USE WITH ENGINEERED WOOD. ALL STEEL CONNECTORS SHALL BE GALVANIZED.
- DO NOT NOTCH, CUT, BORE HOLES OR OTHERWISE MODIFY LVLS WITHOUT EXPRESS WRITTEN DIRECTION OF ARCHITECT AND AS NOTED IN MANUFACTURER'S PRINTED LITERATURE.

**TIMBER FASTENER SPECIFICATION**

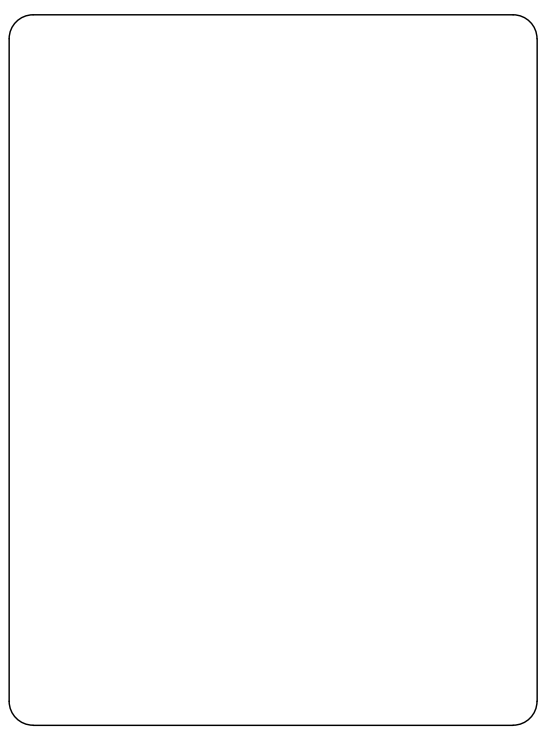
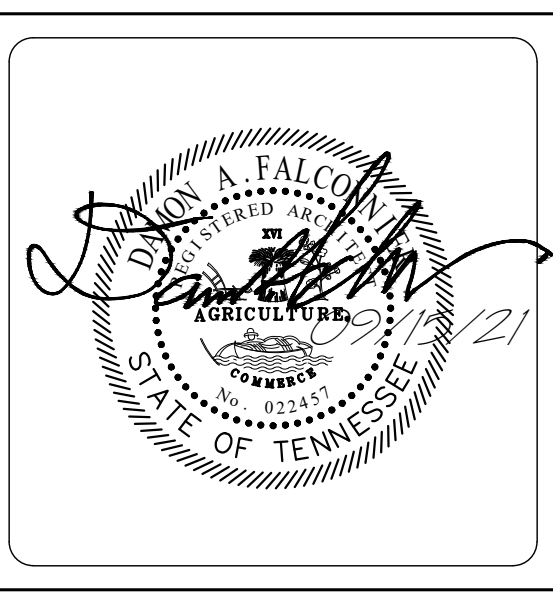
"LHOG" CONNECTORS HEREIN SPECIFIED SHALL BE EQUAL TO "LOG HOG" EXTRA HEAVY DUTY LOG HOME FASTENERS AS MANUFACTURED BY FASTENMASTER WITH THE FOLLOWING CHARACTERISTICS:

- 1.15/64" SHANK DIAMETER
- 2.3" (MIN) THREAD LENGTH W/ 5/16" MAJOR DIAMETER.
- 3.5/16" HEX HEAD WITH WIDE INTEGRAL WASHER
- 4.PROVIDE IN LENGTHS AS INDICATED ON DRAWINGS OR AS REQUIRED BY FIELD CONDITIONS.

LENGTH SCHEDULE:

LHOG009 - 9"  
LHOG010 - 10"  
LHOG011 - 11"  
LHOG012 - 12"  
LHOG013 - 13"  
LHOG015 - 15"

ALTERNATE SPECIFICATION: SIMPSON STRONG-TIE "STRONG-DRIVE" SDWS LOG SCREWS



**HOUSE RENOVATION**

BILL & MARLENE BRYAN  
300 BROCHARDT BLVD  
FARRAGUT, TN 37934

**GENERAL NOTES**

AS INSTRUMENTS OF SERVICE, THESE DRAWINGS AND THE DESIGN REPRESENTED BY THEM ARE THE PROPERTY OF DAMON A. FALCONNIER AND AS SUCH ARE PROTECTED BY STATE AND FEDERAL COPYRIGHT LAWS. REPRODUCTION OR USE OF THESE DRAWINGS OTHER THAN FOR THE PROJECT INTENDED WITHOUT WRITTEN CONSENT FROM DAMON A. FALCONNIER IS PROHIBITED. UNAUTHORIZED USE WILL BE SUBJECT TO LEGAL ACTION.

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CHECKED BY:	DAF
ISSUED:	09/15/21
REVISION(S):	
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FILE:	2021-021

**G-101**

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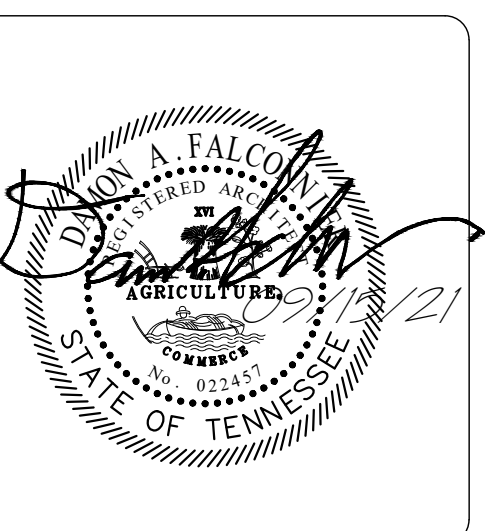
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**FALCONNIER**  
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**HOUSE RENOVATION**

**BILL & MARLENE BRYAN**  
300 BROCHARDT BLVD  
FARRAGUT, TN 37934

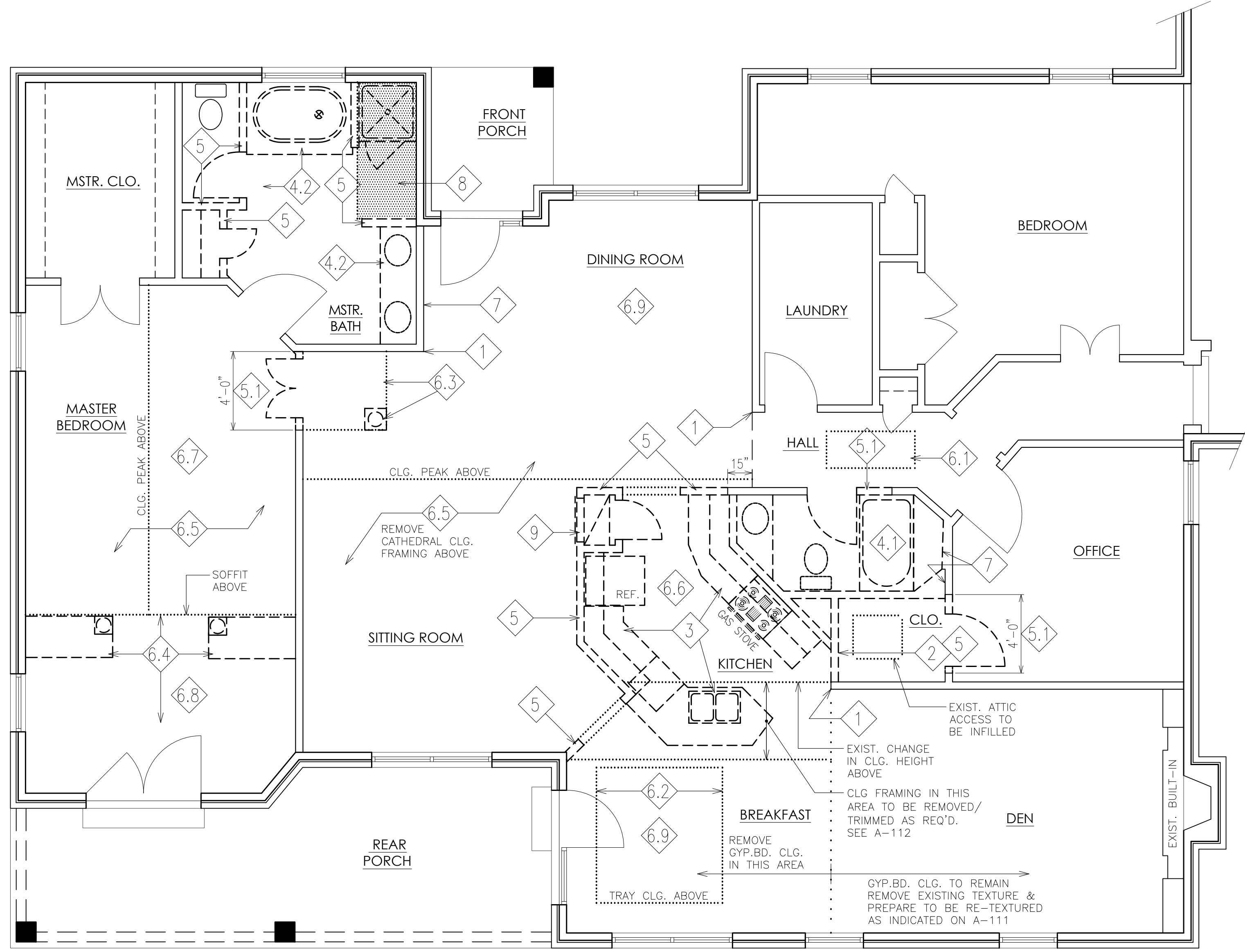
**DEMOLITION PLAN & NOTES**

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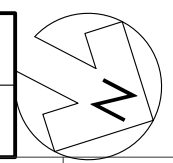
**D-101**

- DEMOLITION PLAN NOTES:**
- REMOVE CORNER BEAD FOR NEW WALL ADDITION.
  - SECURITY PANEL IN THIS LOCATION TO BE RELOCATED.
  - KITCHEN: REMOVE KITCHEN IN ITS ENTIRETY, INCLUDING WALL, CABINETS, BASE CABINETS, REF/FRZ, OVEN/RANGE, MICROWAVE, SINK, REFRIGERATOR, DISHWASHER, PANTRY, COUNTERTOPS, SURROUNDING WALLS, & FINISHED FLOORING. CAP PLUMBING & RE-WIRE ELECTRICAL TO ACCOMMODATE NEW KITCHEN IN THIS AREA. SEE A-110, MECH., PLUMB., & ELEC. SHEETS.
  - BATHS:
    - REMOVE EXISTING WATER CLOSET, TUB, SINK, VANITY, EXHAUST FAN, LIGHT FIXTURES, & ALL APPURTENANCES. REMOVE WALL TILE & FLOOR TILE. CAP ALL PLUMBING. PREPARE CEILING TO RECEIVE NEW GYP.BD.
    - REMOVE EXISTING TUB, TUB ENCLOSURE, SHOWER, SINKS, VANITY, EXHAUST FAN, & ALL APPURTENANCES. REMOVE WALL & FLOOR TILE. CAP ALL PLUMBING. PREPARE CEILING TO RECEIVE NEW GYP.BD. COORDINATE WITH OWNER IF EXISTING LIGHT FIXTURES ARE TO REMAIN OR TO BE REMOVED/RELOCATED. SEE E-102.
  - WALLS: REMOVE THIS WALL IN ITS ENTIRETY, ALONG WITH ANY CORRESPONDING OPENINGS OR DOORS & DOOR FRAMES, BASEBOARDS, ELECTRICAL RECEPTACLES, LIGHT SWITCHES, & LIGHT FIXTURES (IF APPLICABLE).
    - CUT NEW OPENING IN WALL AS INDICATED ON A-110 & PROVIDE NEW SUPPORT AS REQ'D.
  - CEILING:
    - NEW OPENING IN CEILING AS REQUIRED FOR NEW PULL-DOWN STAIR. SEE A-110.
    - REMOVE EXISTING CEILING JOISTS AT TRAY CEILING & PREPARE OPENING TO BE FILLED TO MATCH SURROUNDING. SEE A-112. PROVIDE TEMPORARY SUPPORT AS REQ'D.
    - REMOVE SOFFIT ABOVE & CORRESPONDING COLUMN. PREPARE SURROUNDING WALLS TO RECEIVE NEW GYP.BD. WHERE SOFFIT IS REMOVED.
    - REMOVE SOFFIT IN THIS AREA, CORRESPONDING COLUMNS, & BUILT-IN ROOM DIVIDER/ BOX-OUTS.
    - REMOVE GYP.BD. FROM CLG. IN THIS ROOM & PREP. FOR NEW CEILING AT A DIFFERENT HEIGHT.
    - REMOVE CEILING JOISTS ABOVE EXISTING KITCHEN & CORRESPONDING GYP.BD. & RECESSED LIGHT FIXTURES.
    - REMOVE CEILING FAN/ LIGHT COMBINATION FROM THIS ROOM.
    - REMOVE LIGHT FIXTURE ABOVE.
    - REMOVE CHANDELIER ABOVE.
    - PREPARE THIS WALL FOR FURR-OUT AS INDICATED ON A-110.
    - REMOVE PORTION OF EXISTING PLYWOOD SUBFLOOR AS REQUIRED FOR NEW ROLL-IN SHOWER & TRIM EXISTING 2x10 FLOOR JOISTS IN THIS AREA. SEE DETAILS D2, D5, & E6/A-301.
    - HVAC RETURN LOCATION TO BE MODIFIED ACCORDING TO M-101.
- \*G.C. TO VERIFY WITH OWNER WHETHER REMOVED ITEMS WILL BE RETURNED TO OWNER OR DISPOSED OF. TYPICAL THROUGHOUT INTERIOR OF HOME. SEE GEN. DEMO. NOTES #5, #9, & #10.
- REMOVE FLOORING THROUGHOUT WORK AREA & PREPARE SURFACES TO RECEIVE NEW FINISHED FLOORING AS SELECTED BY OWNER.
- REMOVE GYP.BD. CEILING THROUGHOUT WORK AREA.
- REMOVE ALL EXISTING HIGH COLLAR TIES IN ATTIC.



**A1 DEMOLITION PLAN**

1/4" = 1'-0"



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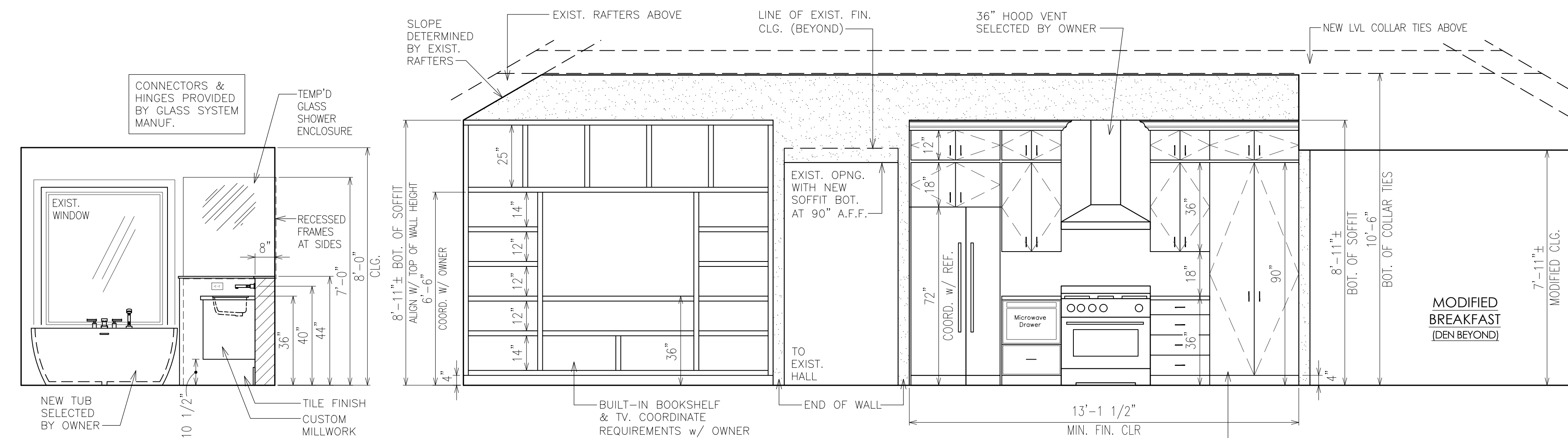
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**PLAN NOTES**

- ALIGN FINISHES. REMOVE EXISTING CORNER BEAD PRIOR TO FINISHING, WHERE APPLICABLE.
- WALL AT 44" w/ GLASS BUILT IN UP TO CEILING.
- 35"x12"x19" h WOODEN BENCH PROVIDED BY OWNER. SHOWER INSIDE CLEAR TO ACCOMMODATE TEAK BENCH. NESTED STUDS BELOW NEW UP-SET HEADER FOR NEW CEILING JOISTS. CONTINUE DOWN TO FOUNDATION OR SOLID BLOCKING BETWEEN FLOOR JOISTS, AS FIELD CONDITIONS REQUIRE. SEE A-112. ADD SOLID BLOCKING OR PIERS BELOW IF REQUIRED.
- 8" FURR-OUT FOR FLOATING VANITY & WALL MOUNTED WATER FAUCET. SEE DETAIL D2, THIS SHEET.
- MINIMUM DISTANCE BETWEEN EDGE OF NEW TUB & FACE OF WALL TO BE 6" MIN. TO ALLOW FOR FREE-STANDING TUB FILLER & ROOM FOR CLEANING BEHIND TUB. COORDINATE TUB FILLER SELECTION WITH SPACE AVAILABLE. ROLL-IN TILE SHOWER WITH LINEAR DRAIN & GLASS TO 7'-0" A.F.F. MODIFY FLOOR FRAMING IN THIS AREA AS INDICATED ON PLAN, THIS SHEET & ON DETAILS, SHEET A-301.
- 2x4 FURR-OUT AT EXIST. WALL.
- NEW 22 1/2"x54" PULL-DOWN STAIR ATTIC ACCESS ABOVE. ADJUST LOCATION AS REQUIRED TO AVOID EXISTING HALL LIGHT FIXTURES IF POSSIBLE.
- TOWEL BAR WITH 1" MAX LENGTH SCREWS.



**D2 BATHROOM ELEVATION**  
3/8" = 1'-0"

**D3 INTERIOR ELEVATION**  
3/8" = 1'-0"

NOTE: PLUMBING FIXTURES TO BE SELECTED BY OWNER.

PROVIDE NEW 2x BLOCKING BETWEEN EXISTING JOISTS UNDER NEW WALLS, WHERE NEW WALLS ARE BETWEEN EXISTING FLOOR JOISTS. CONTRACTOR TO INSPECT EXISTING CONDITIONS AND PROVIDE AS NECESSARY. SEE DETAIL D6/A-301.

**GRAPHIC LEGEND**

- INDICATES DETAIL REFERENCE. TOP NUMBER IS DETAIL NUMBER. LOWER NUMBER IS SHEET ON WHICH DETAIL MAY BE FOUND.
- INDICATES SECTION/ELEVATION REFERENCE. TOP NUMBER IS DETAIL NUMBER. LOWER NUMBER IS SHEET ON WHICH DETAIL MAY BE FOUND.

**WALL LEGEND** \*SEE GENERAL NOTES, THIS SHEET.

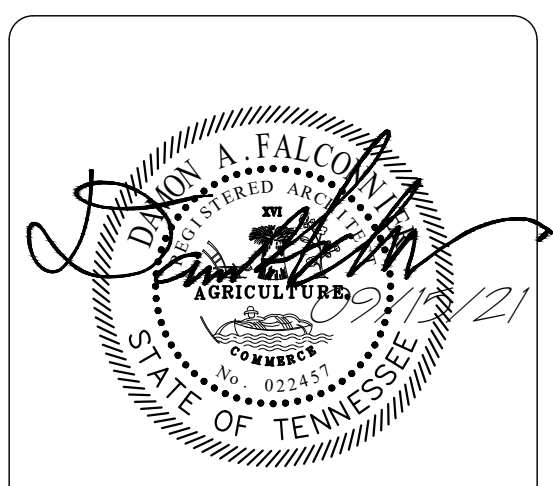
- EXISTING 2x WOOD STUD WALL TO REMAIN. PROVIDE NEW 1/2" GYP.BD. WHERE INDICATED.
- EXISTING EXTERIOR 2x WOOD STUD WALL w/ BRICK VENEER TO REMAIN.
- NEW 2x4 (U.N.O.) WOOD STUD AT 16" O.C. WALL w/ 1/2" GYP.BD. EACH SIDE. UNLESS NOTED OTHERWISE. INSULATE ALL WALLS AROUND BEDROOMS & BATHROOMS (2x6 NOTED ON PLAN. SEE GENERAL NOTES, THIS SHEET).

NOTE: WHERE EXISTING WALLS HAVE BEEN REMOVED, PATCH/INFILL CEILING FINISH & TRIM, & PATCH/INFILL WALL FINISH & TRIM ALONG ENTIRE HEIGHT OF WALL TO MATCH SURROUNDING. FINISHED FLOORING WILL BE REPLACED THROUGHOUT WORK AREA.

**GENERAL NOTES**

- ALL WOOD IN CONTACT w/ CONCRETE OR CONCRETE MASONRY SHALL BE PRESSURE TREATED.
- ALL WOOD TO WOOD CONNECTORS SHALL BE BY SIMPSON STRONG-TIE. UBS CONNECTORS ARE AN ACCEPTABLE ALTERNATIVE IF LOADING SPECIFICATIONS MEET OR EXCEED SIMPSON STRONG-TIE. ALL WOOD TO WOOD CONNECTORS SHALL BE GALVANIZED.
- EXTERIOR FINISHES: EXISTING TO REMAIN.
- EXTERIOR WOOD:
  - ALL SCREWS SHALL BE GALVANIZED OR STAINLESS STEEL OR SHALL HAVE POLYMER ORGANIC COATING TO PREVENT CORROSION.
  - THROUGH BOLTS SHALL BE STAINLESS STEEL WITH STAINLESS STEEL NUTS AND WASHERS.
  - PRESSURE TREATED WOOD SHALL BE SEPARATED FROM PRE-FINISHED METAL w/ 15# FELT OR PROVIDE METAL w/ ORGANIC POLYMER COATING
- PROVIDE SOLID BLOCKING WHERE REQUIRED FOR NOTCHING AND NAILING.
- INTERIOR WALLS:
  - SHALL BE OF 2x4 WOOD STUDS AT NOT MORE THAN 16" O.C. WITH (1) LAYER OF 1/2" GYP.BD. EACH SIDE UNLESS NOTED OTHERWISE.
  - 2x6 WALLS ARE NOTED ON PLAN.
  - USE MOISTURE RESISTANT GYP.BD. IN BATHROOMS, KITCHENS OR OTHER LOCATIONS EXPOSED TO MOISTURE.
- INTERIOR FINISHES, PAINT COLORS, AND TRIMS SHALL BE SELECTED BY OWNER.
- PLUMBING FIXTURES, FAUCETS AND TRIMS SHALL BE SELECTED BY OWNER. CONSULT WITH OWNER TO ENSURE CORRECT FRAMING DIMENSIONS.
- KITCHEN CABINETS AND MILLWORK TO BE SELECTED BY OWNER.
- RENOVATION NOTES:
  - SEE DEMOLITION NOTES SHEET D-101.
  - ONLY NEW DOORS HAVE SIZES AND TYPES INDICATED. OTHER DOORS AND WINDOWS ARE EXISTING TO REMAIN.
  - CONSTRUCTION WILL NECESSITATE COORDINATION WITH OWNER AS TO CONSTRUCTION SCHEDULE, MATERIALS STORAGE AND ACCESS TO OTHER PARTS OF THE HOUSE. PROTECT EXISTING SPACES FROM WEATHER AND WATER INFILTRATION DURING CONSTRUCTION.
  - CONSTRUCTION WILL REQUIRE ACCESS TO MAIN FLOOR AND ATTIC, & CRAWLSPACE. COORDINATE ACCESS WITH OWNER.
  - CONSTRUCTION WILL REQUIRE THE REMOVAL AND REPLACEMENT OF SOME EXISTING WALL, FLOOR AND CEILING FINISHES TO INSTALL ADDITIONAL STRUCTURAL COMPONENTS. ALL DAMAGE TO EXISTING FINISHES SHALL BE REPAIRED AND REPLACED IN A NEAT, WORKMANLIKE MANNER WHICH SHALL MATCH EXISTING, ADJACENT FINISHES SO AS TO BE INDISTINGUISHABLE FROM UN- DAMAGED ADJACENT MATERIALS.
  - ANY AND ALL INCIDENTAL DAMAGE TO THE EXISTING HOUSE, FINISHES, STRUCTURE, ETC. WHICH MAY RESULT FROM CONSTRUCTION ACTIVITIES, SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
  - ALL SUBSURFACE PREPARATION OF SUBFLOORS, WALLS AND CEILINGS FOR NEW FINISHES SHALL BE INCLUDED IN PROJECT PRICING. FOR DEMOLISHED AND RENOVATION AREAS, GC TO EXAMINE ALL SUBSTRATES AND PREPARE AS REQUIRED FOR NEW FINISH INSTALLATION.
  - CONSTRUCTION ACTIVITIES SHALL NOT IMPEDE OR BLOCK ANY PUBLIC STREET OR SIDEWALK AND SHALL IN NO WAY DISRUPT VEHICULAR TRAFFIC (ESPECIALLY EMERGENCY FIRST RESPONDER ACCESS) OR NEIGHBORS' ACCESS TO ADJACENT PROPERTIES. INFORM LOCAL AUTHORITIES IF UNLOADING OR TEMPORARY PARKING IS NECESSARY FOR MATERIALS DELIVERY AND OTHER CONSTRUCTION ACTIVITIES.

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**HOUSE RENOVATION**

BILL & MARLENE BRYAN  
300 BROCHARDT BLVD  
FARRAGUT, TN 37934

**MAIN FLOOR PLAN**

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**A1 MAIN FLOOR PLAN**  
1/4" = 1'-0"

**A-110**

E

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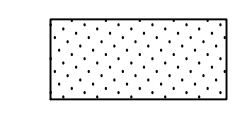
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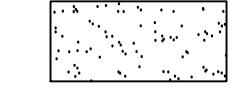
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### CEILING LEGEND

#### CEILING TYPE



INDICATES GYPSUM BOARD SOFFIT OR SLOPING CEILING AS INDICATED WITH SMOOTH FINISH. SEE PLAN FOR HEIGHT. ALSO REFER TO BUILDING SECTIONS A-301 thru A-303.



INDICATES NEW FLAT GYPSUM BOARD CEILING WITH SMOOTH FINISH. SEE PLAN FOR HEIGHT. ALSO REFER TO BUILDING SECTIONS A-301 thru A-303. \*USE MOISTURE RESISTANT GYP.BD. IN BATHROOMS, KITCHENS OR OTHER LOCATIONS EXPOSED TO MOISTURE.

#### RCP NOTES:

1. PROVIDE DIMENSIONAL SYMMETRY WHERE POSSIBLE.
  2. FIXTURE LOCATIONS DEMONSTRATE DESIGN INTENT ONLY. COORDINATE ACTUAL FIXTURE LOCATIONS WITH EXISTING FRAMING.
- \*SEE ELECTRICAL LIGHTING PLAN E-102 FOR RCP/ LIGHTING LEGEND AND FIXTURE TYPES.

**FALCONNIER**  
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### HOUSE RENOVATION

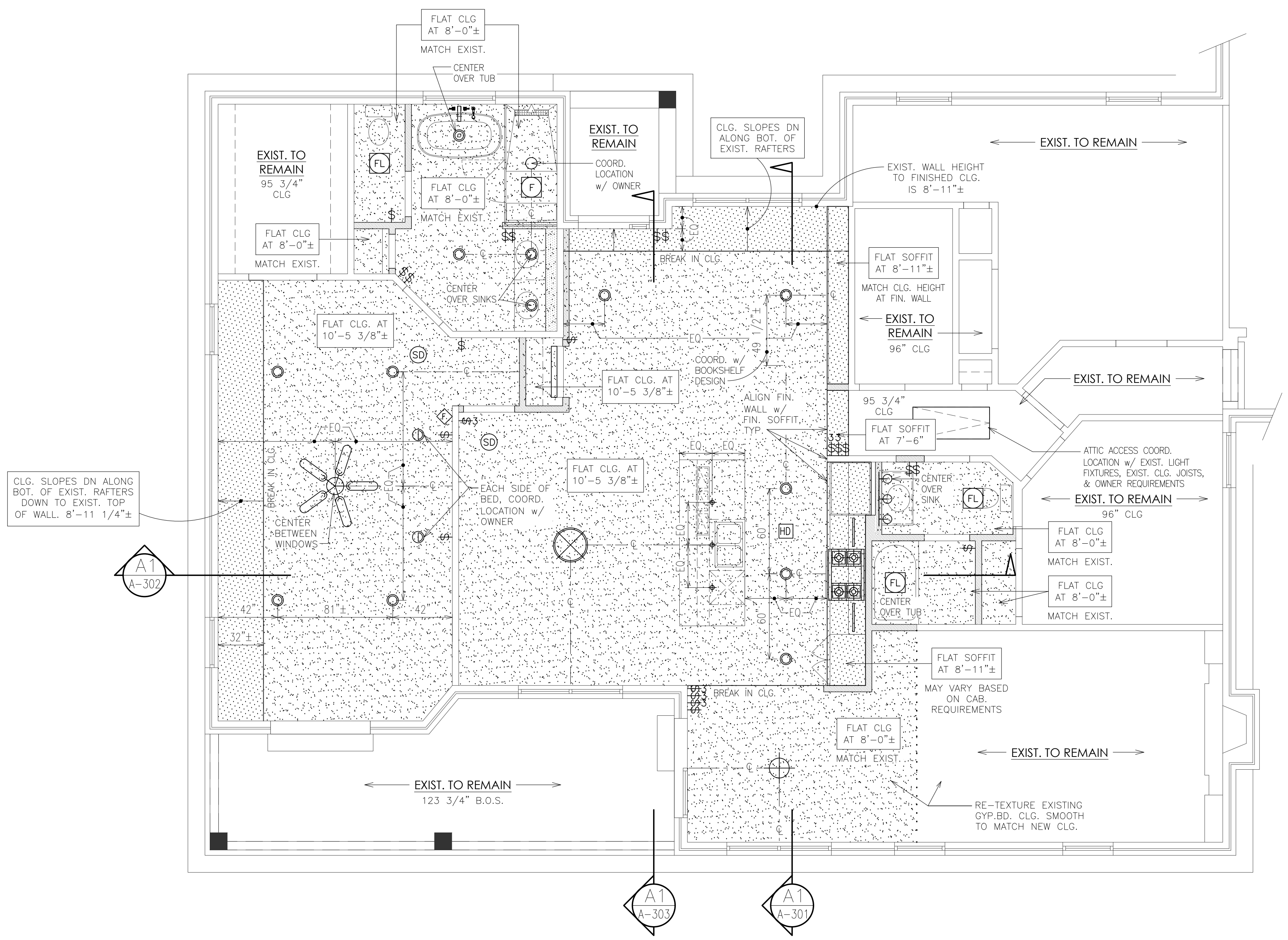
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### REFLECTED CEILING PLAN

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# A-111



**A1** REFLECTED CEILING PLAN  
1/4" = 1'-0"

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**HOUSE  
RENOVATION**

BILL & MARLENE BRYAN  
300 BROCHARDT BLVD  
FARRAGUT, TN 37934

**BUILDING  
SECTION &  
DETAILS**

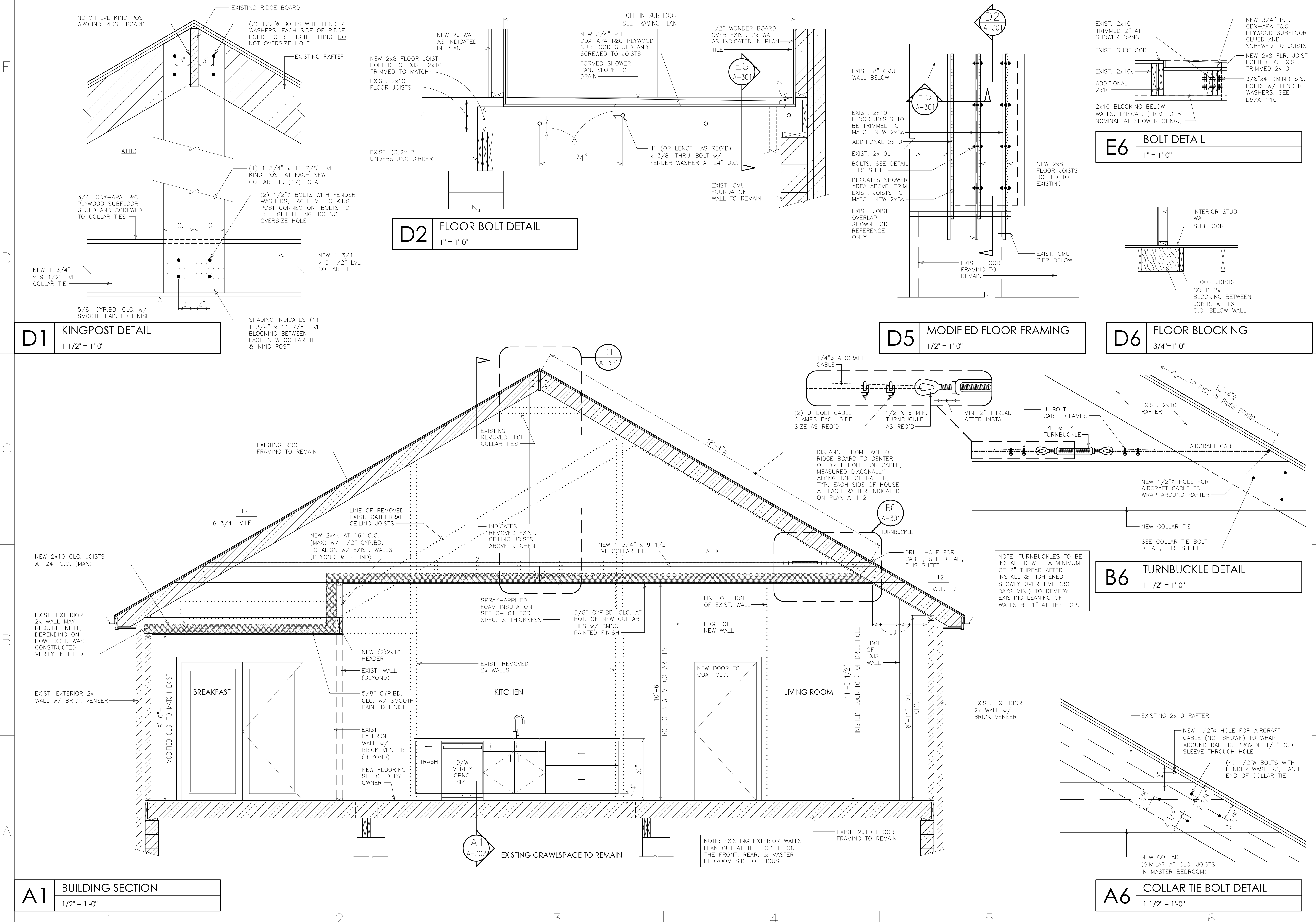
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**A-301**



**D1 KINGPOST DETAIL**  
1 1/2" = 1'-0"

**D2 FLOOR BOLT DETAIL**  
1" = 1'-0"

**D5 MODIFIED FLOOR FRAMING**  
1/2" = 1'-0"

**D6 FLOOR BLOCKING**  
3/4" = 1'-0"

**B6 TURNBUCKLE DETAIL**  
1 1/2" = 1'-0"

**A6 COLLAR TIE BOLT DETAIL**  
1 1/2" = 1'-0"

**A1 BUILDING SECTION**  
1/2" = 1'-0"



**HOUSE  
RENOVATION**

**BILL & MARLENE BRYAN**  
300 BROCHARDT BLVD  
FARRAGUT, TN 37934

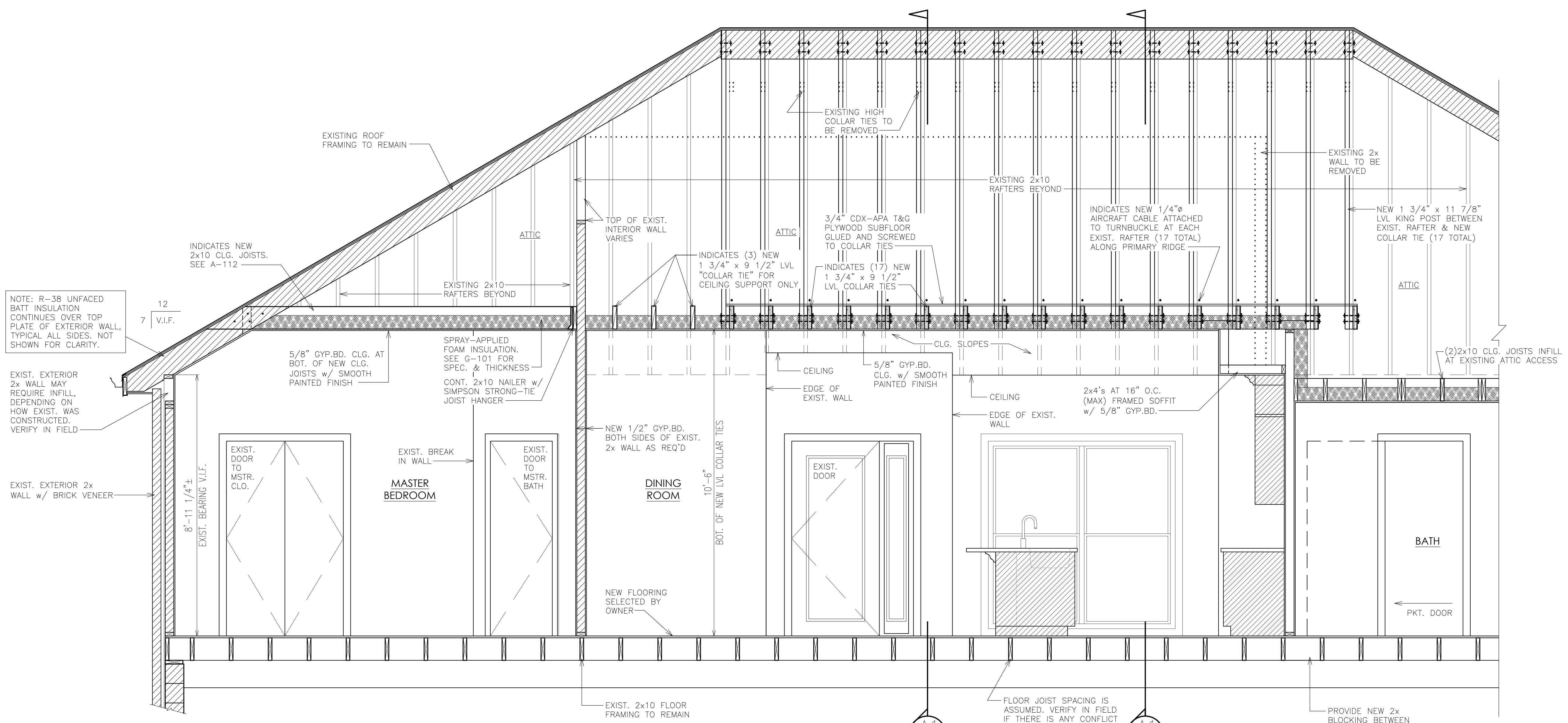
**BUILDING  
SECTION**

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**A-302**



**A1** BUILDING SECTION  
1/2" = 1'-0"

E  
D  
C  
B  
A

1 2 3 4 5 6





**HOUSE  
RENOVATION**

BILL & MARLENE BRYAN  
300 BROCHARDT BLVD  
FARRAGUT, TN 37934

**BUILDING  
SECTION**

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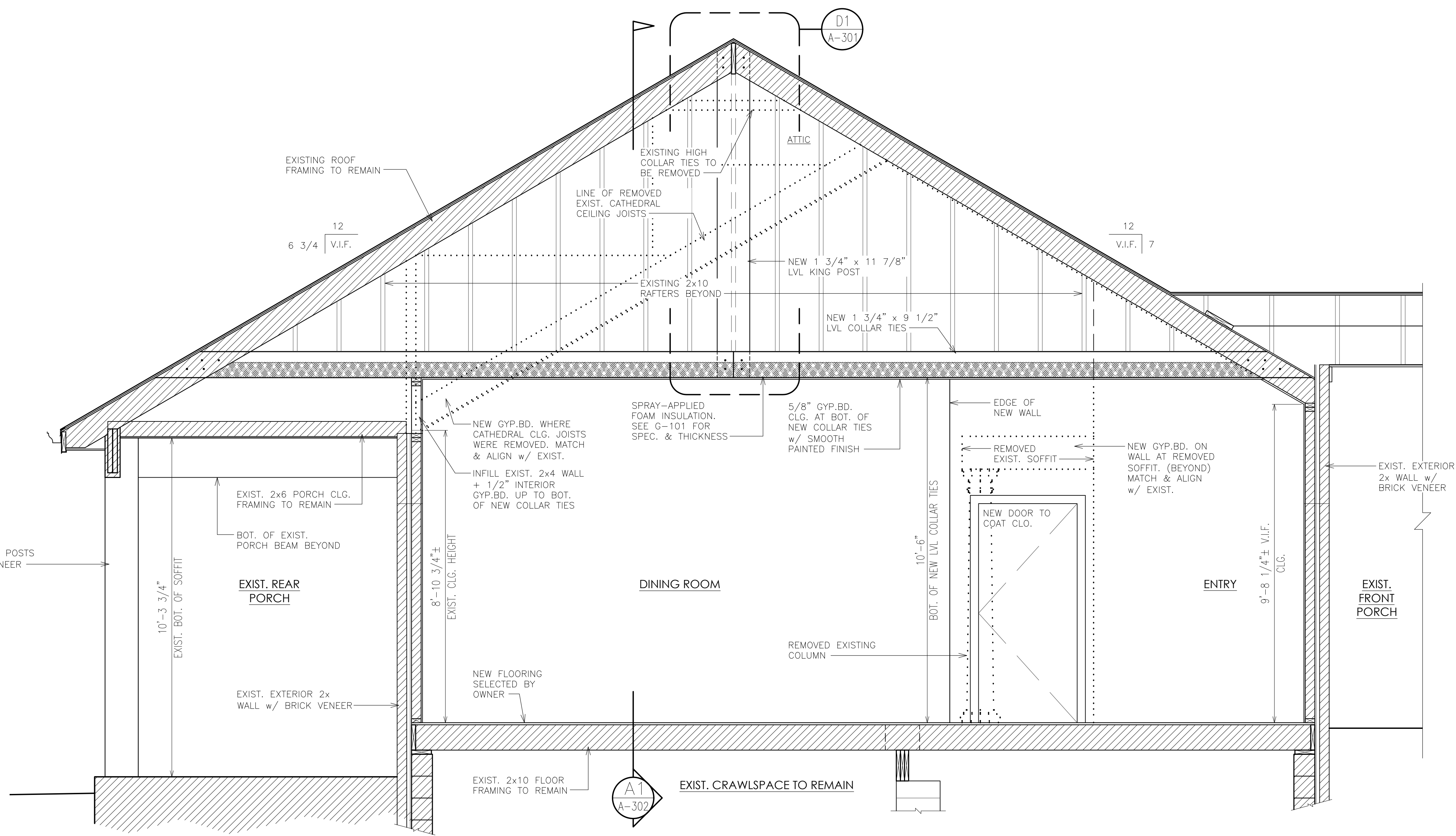
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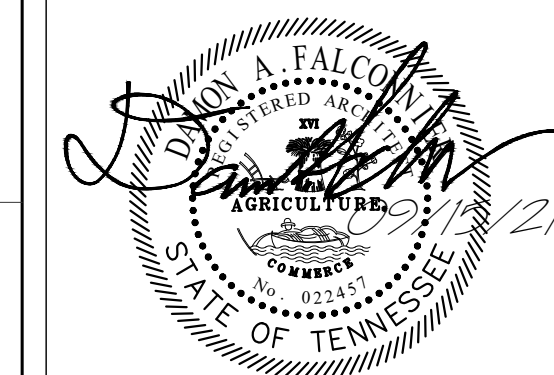
**A-303**



**A1** BUILDING SECTION  
1/2" = 1'-0"

E  
D  
C  
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**LEGEND**

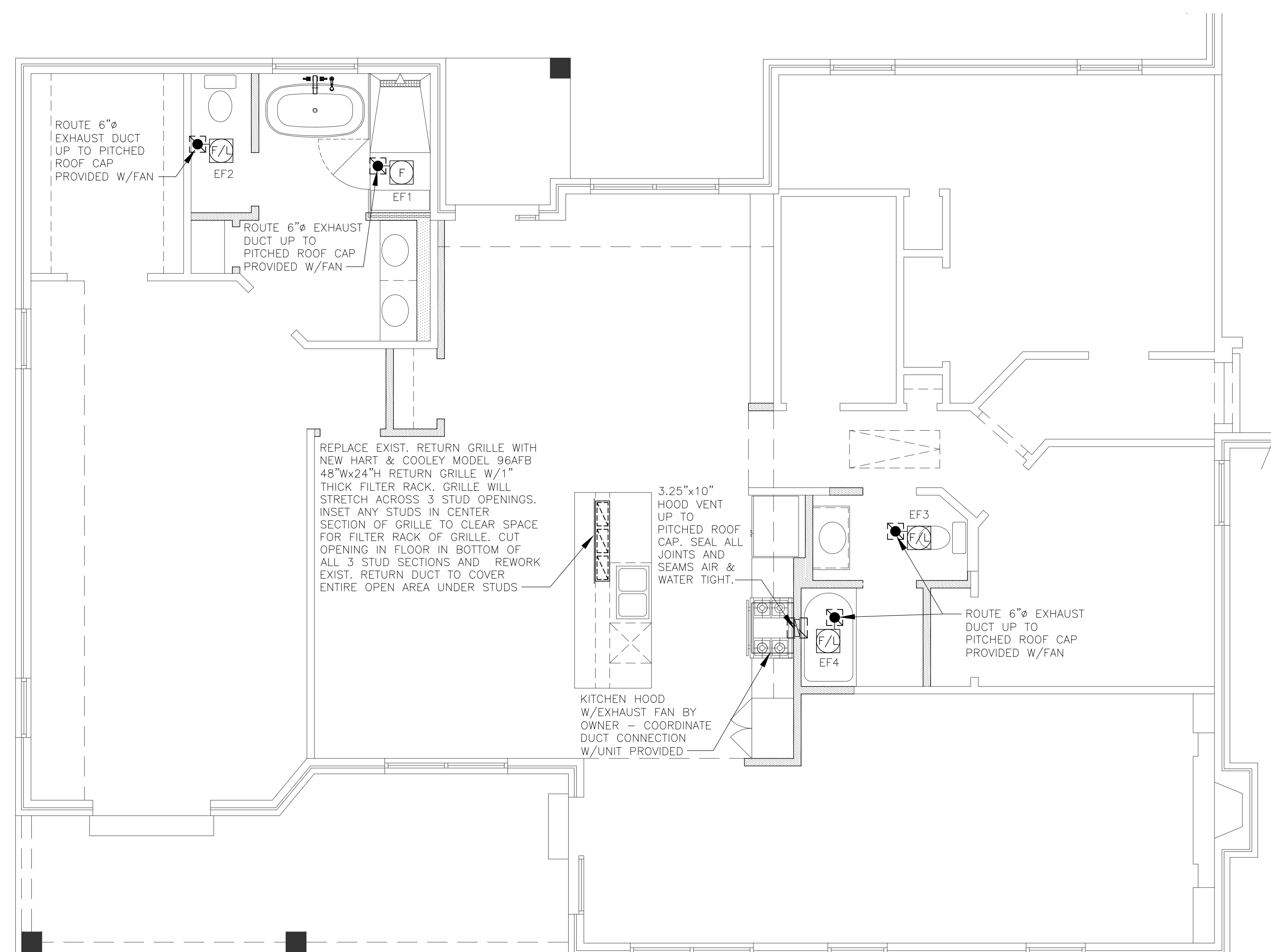
- RETURN
- BUTTERFLY DAMPER
- BATHROOM EXHAUST FAN
- BATHROOM EXHAUST FAN W/LIGHT

EXHAUST FAN SCHEDULE						
UNIT	CFM	S.P. IN 0.0" W.G.	SONES	VOLTS	WEIGHT (LBS.)	BROAN MODEL
EF-1	100	0.25	1.4	120/1	16	AE50110DC
EF-2,3&4	70	0.25	0.9	120/1	16	AE50110DCL

1. CEILING MOUNTED UNIT WITH INTEGRAL GRILLE.
2. ROUTE 6" EXHAUST DUCT FROM EACH FAN TO PITCHED ROOF CAP PROVIDED W/FANS. (SEE ELEVATIONS FOR LOCATIONS) CAP SHALL BE PROVIDED W/BIRD SCREEN.
3. EF-2,3 & 4 - SWITCH FAN AND ROOM LIGHT FUNCTIONS TOGETHER. SEE ELEC.
4. ALTERNATE MANUFACTURERS PERMITTED AT OWNER'S DISCRETION.

**23 05 00 Basic HVAC Materials and Methods**

1. General:
  - 1.1. Furnish all labor, materials and equipment required to install a complete Mechanical System in accordance with International Mechanical Code, local and state codes and manufacturer's recommendations and instructions and as specified on drawings.
  - 1.2. Work shall comply with all applicable laws, ordinances, codes of the state of [Tennessee] and local authorities having jurisdiction.
  - 1.3. Contractor shall obtain all permits and inspections required for the completion of the work, and pay all fees and costs in connection therewith.
  - 1.4. The mechanical drawings are generally diagrammatic and unless specifically dimensioned, the locations of ductwork and equipment and the routing of ductwork is approximate only and shall not be scaled from the mechanical drawings.
  - 1.5. Coordinate with other trades and actual structural and architectural conditions as well as reflected ceiling plan and lighting layout.
  - 1.6. Shop Drawings:
    - 1.6.1. Provide complete shop drawings for all specified and required fixtures and components, including complete descriptions and specification of any proposed substitutions, manufacturer's shop drawings, rough-in drawings and any other information required or requested for the proper installation of the work.
    - 1.6.2. If substitutions are submitted, provide adequate documentation showing that proposed products' performance is equal to or superior to that specified.
  - 1.7. When installation is complete, it shall be run and adjusted by the contractor. Any excessive noise or vibration is to be corrected.
  - 1.8. Submit written air-balance to the architect a minimum of 10 days prior to the final inspection. Air balance contractor shall be AABC or NEBB certified.
  - 1.9. The contractor shall instruct the Owner in the operation of equipment and provide the owner with a complete set of operating instructions for equipment installed under his or her contract.
  - 1.10. [All HVAC controls and temperature sensors shall communicate with existing direct digital control system. Verify type in field.]
  - 1.11. Contractor shall provide 1-year warranty on new installed work from date of substantial completion.
2. Duct work:
  - 2.1. Return duct shall be galvanized metal fabricated in accordance with SMACNA standards. Seal all joints and seams with tape or mastic per ASHRAE 90.1 standards.
    - 2.1.1. Duct Insulation: Insulate all return ducts with minimum R-6, 2.2" thick, 3/4 pound density fiberglass duct insulation with FRK/FSK vapor barrier jacket. All joints shall be joined with outward clinching staples. All joints and seams shall be taped with foil tape.
3. Exhaust Fans:
  - 3.1. Shall be Broan, Greenheck, Loren Cook, or approved equal.
  - 3.2. See drawings for fan schedule and required accessories and performance criteria.
  - 3.3. Fan motors shall have built-in thermal overload protection. Units shall be furnished with unit-mounted safety disconnect. Units shall be UL listed and bear the AMCA certified ratings seal for sound and air performance.



**A1** MECHANICAL FLOOR PLAN  
1/4" = 1'-0"

**HOUSE RENOVATION**

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300 BROCHARDT BLVD  
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**MECHANICAL - HVAC**

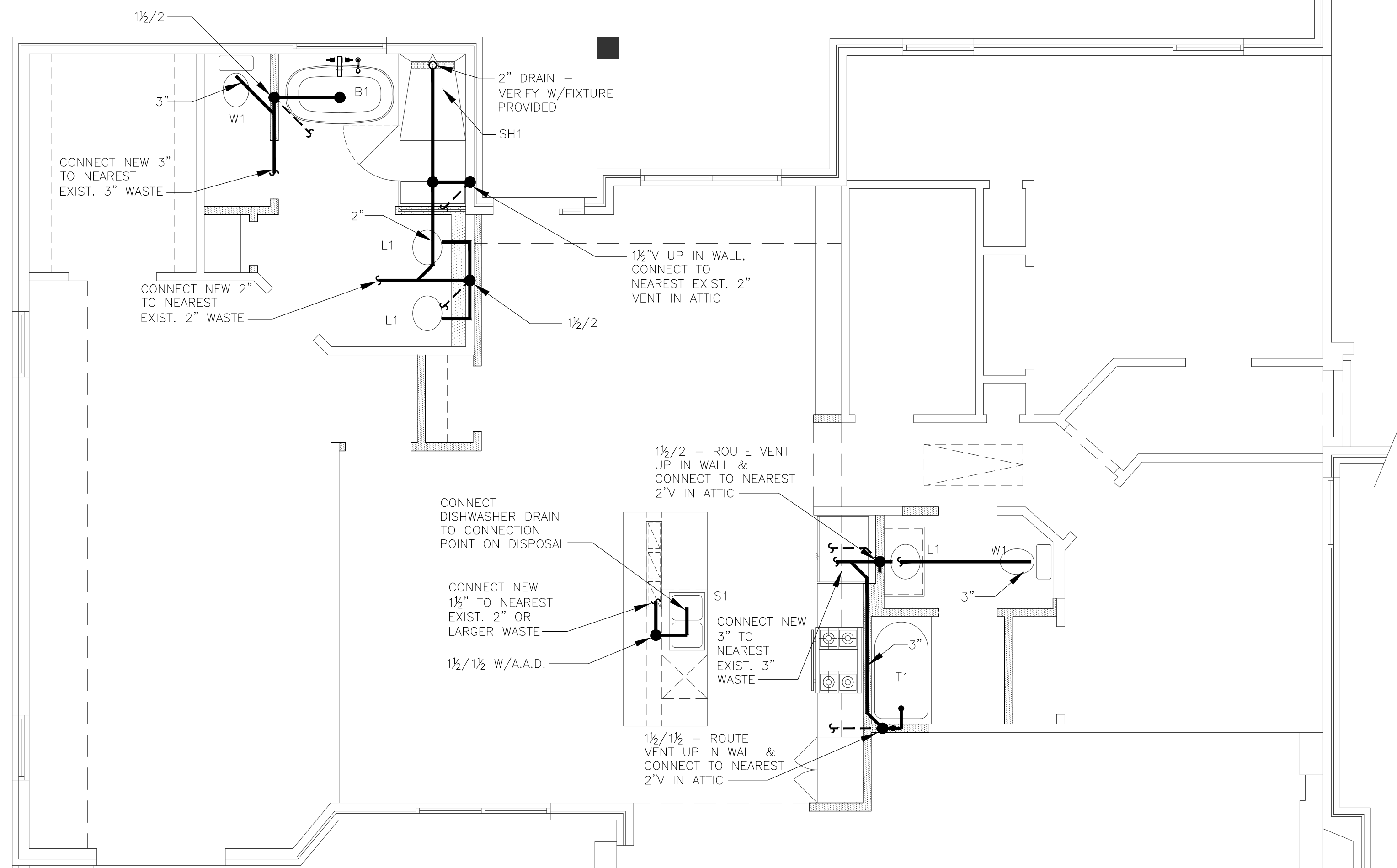
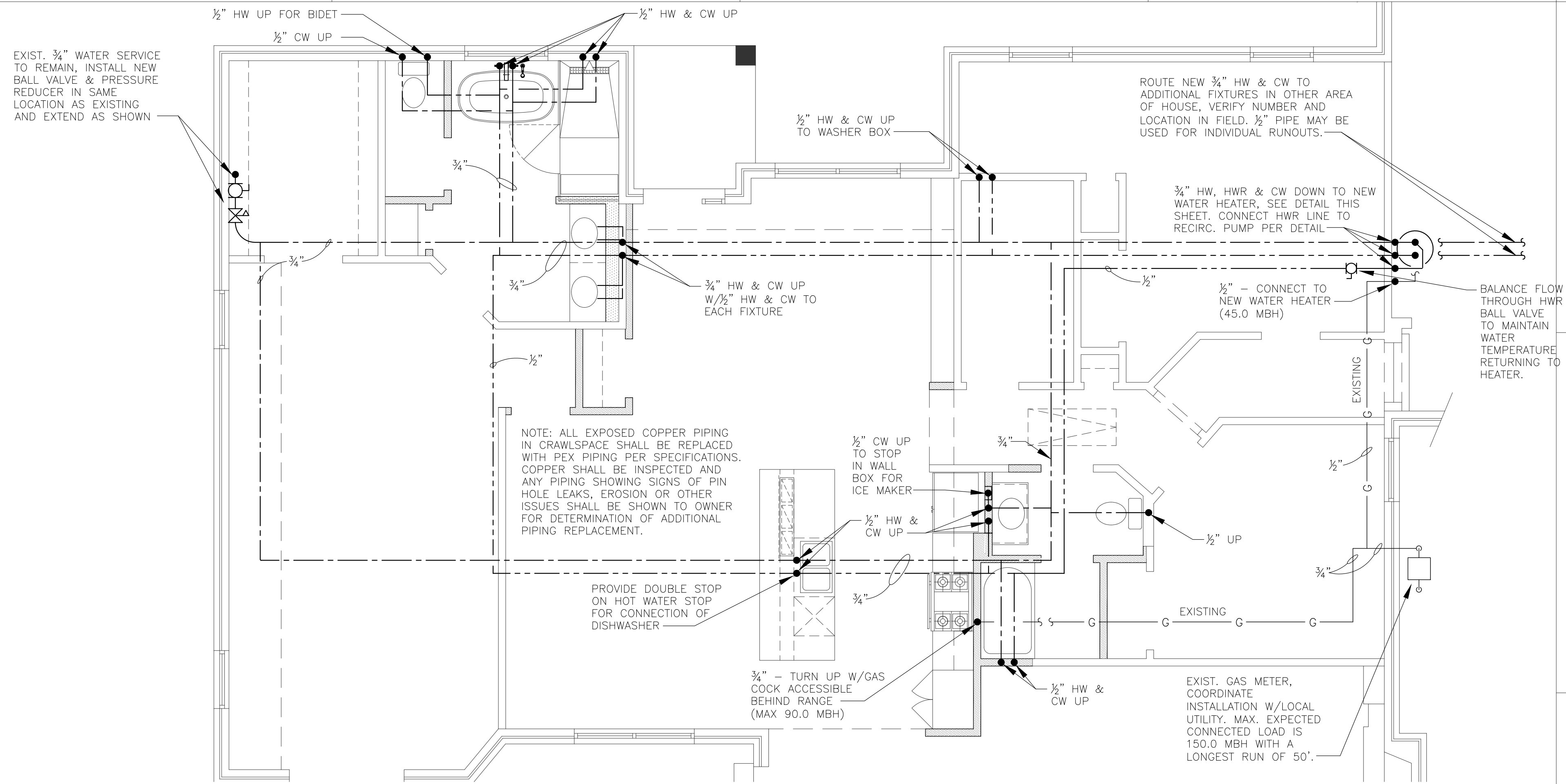
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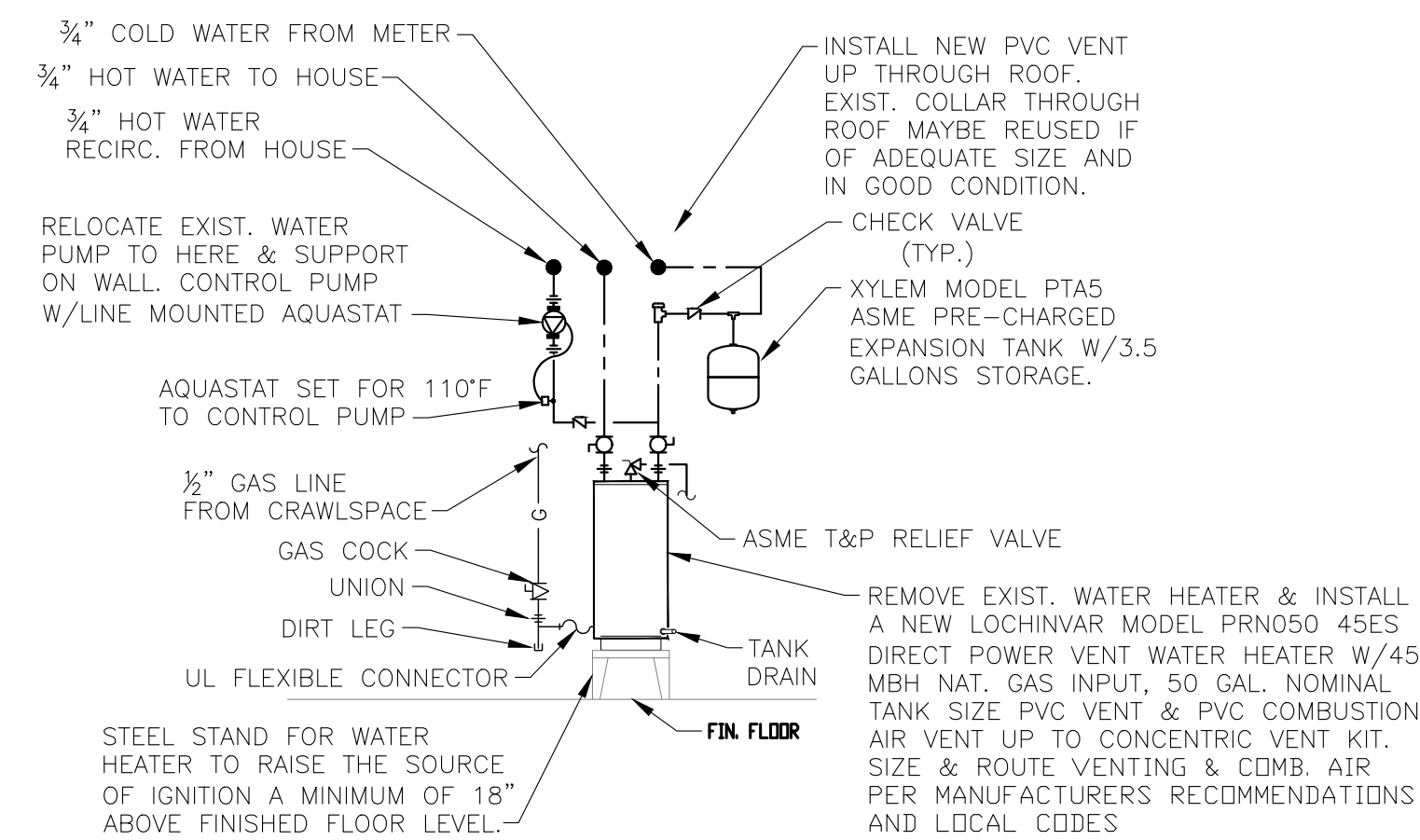
**M-101**

22 05 00 Basic Plumbing Materials and Methods

1. General:
  - 1.1. Provide and install a complete and operable plumbing system as indicated on the drawings, as specified, and as required by the international plumbing code and all applicable building codes and restrictive ordinances.
    - 1.1.1. Provide all labor, materials, and equipment necessary to install plumbing as shown on these drawings unless noted otherwise
    - 1.1.2. Install all equipment and appurtenances in accordance with manufacturers recommendations, contract documents, and applicable codes and regulations.
    - 1.1.3. Furnish and install all rough-in connections for all equipment furnished by others requiring water, drains, etc. The equipment manufacturer shall furnish, to the contractor, shop drawings showing size and location of service required. Roughing-in shall be in accordance with these drawings
    - 1.1.4. Obtain and pay for all permits and inspections required. Retain certificates of inspection and notify when work is completed and approved
    - 1.1.5. Contract document drawings for plumbing are diagrammatic and are intended to convey scope and general arrangement only. Unless specifically dimensioned, the locations of fixtures and equipment and the routing of piping is approximate only and shall not be scaled from the plumbing drawings.
    - 1.1.6. Coordinate construction of all plumbing work with architectural, structural, civil, mechanical, and electrical work shown on other contract document drawings. Modifications and offsets necessary to avoid interferences with other trades shall be done at no cost to the owner.
  - 1.2. Shop drawings:
    - 1.2.1. Provide complete shop drawings for all specified and required fixtures and components, including complete descriptions and specification of any proposed substitutions, manufacturer's shop drawings, rough-in drawings and any other information required or requested for the proper installation of the work.
    - 1.2.2. If substitutions are submitted, provide adequate documentation showing that proposed products' performance is equal to or superior to that specified.
    - 1.2.3. Where applicable, provide actual material samples for selection. Color swatches or color selectors printed from the Internet are not acceptable.
  - 1.3. The entire plumbing installation where new work is performed, shall be guaranteed against all defective materials and workmanship for a period of one year after acceptance. The plumbing contractor shall make all necessary corrections without cost to the owner
2. Sewer:
  - 2.1. Interior and exterior sanitary sewer piping shall be schedule 40 PVC-DWV assembled with solvent weld joints
  - 2.2. Install cleanouts in accessible locations at base all soil and waste stacks and elsewhere as indicated on the drawings. Coordinate clean out locations with architect's drawings
3. Venting:
  - 3.1. Interior soil, waste and vent piping shall be schedule 40 PVC-DWV assembled with solvent weld joints. Assure that vent terminations are minimum 10 feet away from any hvac fresh air intakes.
4. Gas:
  - 4.1. The contractor is to arrange with the local utility company for installation of the gas service, meter, regulator, etc. and pay all costs for permits, fees, installation and inspections.
  - 4.2. Installation of gas piping shall comply with the local utility, International Gas Code, NFPA and all other agencies having jurisdiction. Above ground piping shall be schedule 40 black steel assembled with malleable iron fittings and ground joint unions. Gas piping at each appliance shall have dirt leg and union downstream of an AGA gas cock. If space is not adequate for this trim to be located at the appliance dirt leg union and gas cock may be located in crawlspace. If gas cock is located in crawlspace, an additional gas cock shall be located adjacent to appliance.
    - 4.2.1. Paint all steel gas piping from meter to appliance with 2 coats of exterior grade "caution yellow" paint. Piping from meter to crawlspace may be painted to match surroundings in accordance with the owner's directions.
5. Domestic Water:
  - 5.1. Domestic water piping may be cross-linked polyethylene "PEXA" or "PEXB" as manufactured by Zurn, Rehau or Uponor. Fitting shall be as recommended by the PEX manufacturer. Pipe sizes listed on the drawings are based upon copper, increase sizes as recommended by the manufacturer.
  - 5.2. All cold, hot and hot water re-circulating lines shall be insulated with 1/2" thick Armstrong 2000 (or equal) with a flame spread not to exceed 25 and smoke developed rating not to exceed 50.
  - 5.3. Existing hot water recirculator may be reused and piped in accordance with detail on this sheet. If existing circulator is not working replace with Grundos UPS 15-55 SFC (or approved equal) stainless steel housing, ceramic axial bearings, stainless steel rotor can and bearing plate and corrosion-resistant composite impeller capable of circulating 4 gpm at 10 feet head, furnished with manual starter and strap-on aquastat.]
6. Miscellaneous:
  - 6.1. Unless noted otherwise, all fixture stops shall be brass craft No. CS400A angle stop with copper sweat extension tube and escutcheon or approved equal.
  - 6.2. Unless noted otherwise, all "P" traps shall be Dearborn brass model 507 semi-cast for 1 1/4" size and Model 510 for 1 1/2" size. Waste arm shall be 17-gauge chrome plated brass.
7. Coordinate plumbing fixture selection with owner and other trades.
  8. After the system has been leak tested and before the system is placed in use, introduce HTH solution, chlorine gas or other similar chlorinating solution in sufficient quantity to produce a residual of 100 PPM throughout the entire system and allow to stand filled for 24 hours. After the 24-hour period, flush clean water through entire system until all noticeable traces of chlorine gas has disappeared. Verify cleaning and testing procedures with the public health agency having jurisdiction.



**C5 FLOOR PLAN - WATER**  
1/4" = 1'-0"



**FIXTURE SCHEDULE**

B1	SELF STANDING BATHTUB
L1	SELF-RIMMING CHINA LAVATORY
SI	DUAL BOWL S.S. KITCHEN SINK W/SPRAYER
SH1	THERMOSTATIC SHOWER VALVE W/LINEAR DRAIN
T1	CAST IRON TUB UNIT
W1	TANK TYPE WATER CLOSET W/SEAT

**PIPING LEGEND**

	WASTE PIPING
	VENT PIPING
	COLD WATER PIPING
	HOT WATER PIPING
	HOT WATER RECIRC.
	GAS PIPING
	PIPE TURNING UP OR DOWN
	BALL VALVE
	UNION
	CLEAN OUT
	AAD - AIR ADMITTANCE DEVICE

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**PLUMBING - WASTE & WATER**

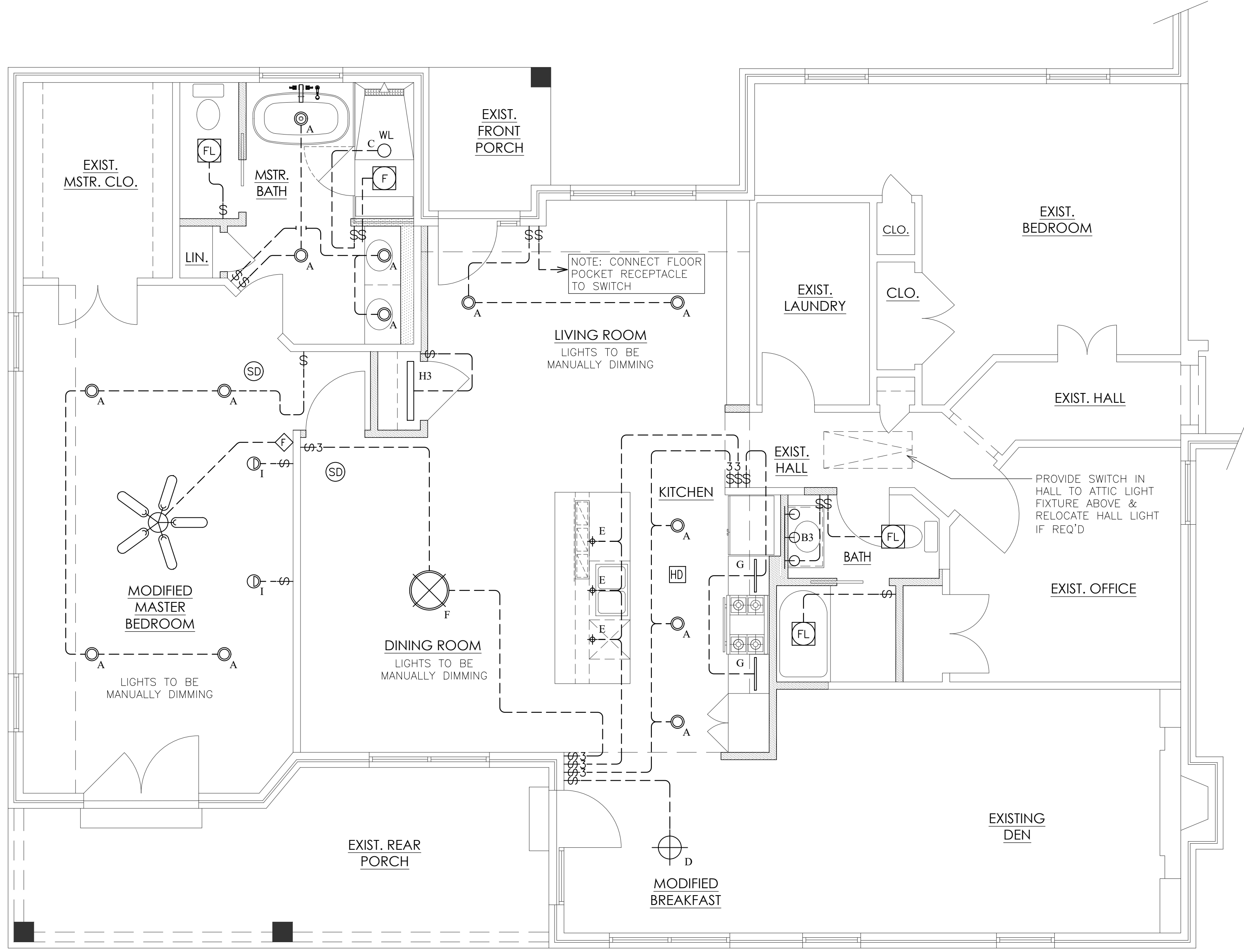
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E  
D  
C  
B  
A



**LIGHTING & CONTROLS LEGEND:**  
NOTE: LOWER-CASE LETTERS INDICATE SWITCHING CIRCUIT.

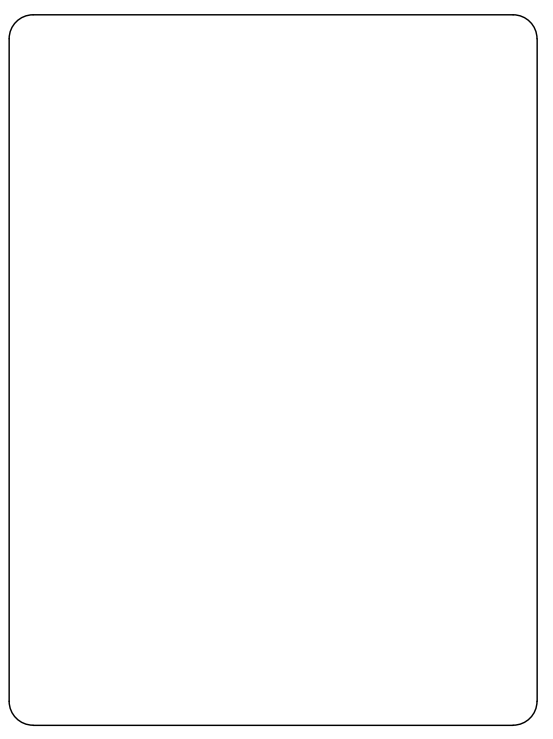
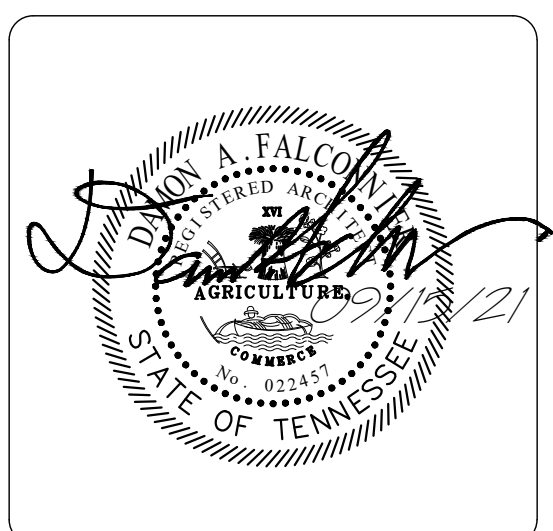
- ⊙ INDICATES 6" RECESSED LED CAN LIGHT w/ 0-10 DIMMING DRIVER AND GYP.BD. TRIM RING
- ⊙ B INDICATES VANITY WALL FIXTURE  
B2 = 24" LONG; B3 = 36" LONG
- ⊙ WL INDICATES 6" RECESSED LED CAN LIGHT LOCATION w/ GYP.BD. TRIM RING
- ⊙ C
- ⊙ D DECORATIVE LED LIGHT FIXTURE SELECTED BY OWNER. VERIFY WITH OWNER BEFORE SETTING BOX.
- ⊙ E DECORATIVE KITCHEN PENDANT
- ⊙ F DECORATIVE KITCHEN CHANDELIER w/ DIMMING DRIVER. CENTERED ABOVE TABLE. VERIFY WITH OWNER BEFORE SETTING BOX. HEIGHT DETERMINED BY OWNER, BUT SHALL NOT EXTEND BELOW 7'-0" A.F.F.
- G UNDERCOUNTER LED LIGHTING
- H INDICATES LED UTILITY FIXTURE, WALL MOUNT AND CENTER ABOVE DOOR.  
H2 = 24" LONG; H3 = 36" LONG
- ⊙ I INDICATES SMALL APERTURE RECESSED LED TRAINABLE LIGHT w/ 0-10 DIMMING DRIVER AND GYP.BD. TRIM RING
- ⊙ 60" FLUSH MOUNTED FAN WITH LIGHT KIT. VERIFY WITH OWNER.
- ⊙ INDICATES PROPRIETARY FAN CONTROL SWITCH COMBINING LIGHT KIT DIMMER AND SPEED CONTROL.
- ⊙ SD HD HARDWIRED INTERCONNECTED COMBINATION SMOKE/CO DETECTORS OR HEAT DETECTORS w/ BATTERY BACK UP
- ⊙ SWITCH
- ⊙ FL EXHAUST FAN AND LIGHT COMBINATION UNIT WITH DEDICATED POWER. SWITCH FAN & ROOM LIGHT FUNCTIONS TOGETHER. VERIFY UNIT w/ OWNER
- ⊙ F EXHAUST FAN ONLY

ALL FIXTURES, STYLES, & COLORS SELECTED BY OWNER. VERIFY DIMMING FIXTURE LOCATIONS WITH OWNER (SEE GENERAL LIGHTING NOTE 4 BELOW).

SEE A-111 FOR DIMENSIONED LIGHT LOCATIONS.

- GENERAL LIGHTING NOTES:**
1. ALL LIGHTING FIXTURES AND FANS SHALL BE SELECTED BY OWNER.
  2. ALL SWITCHING AND CONTROL OPTIONS WILL BE REVIEWED AND APPROVED BY OWNER.
  3. LIGHTING DIMENSIONS SHOWN ON PLAN (SEE A-111) ARE ALONG AN ASSUMED FLAT PLANE AND DO NOT TAKE SLOPE INTO CONSIDERATION. LIGHT LOCATIONS MAY BE ADJUSTED TO ACCOMMODATE FIELD CONDITIONS (SUCH AS RAFTER OR TRUSS LOCATIONS). ALIGN CENTERLINES IF ADJUSTMENTS ARE NECESSARY. DO NOT CUT RAFTERS TO INSTALL LIGHTING.
  4. DIMMING:
    - 4.1. OWNER REQUIRES SOME LIGHT FIXTURES TO BE MANUALLY DIMMING. OWNER TO ADVISE ON LOCATIONS & REQUIREMENTS.
    - 4.2. PROVIDE 3-POLE DIMMERS WHERE REQUIRED.
  5. FAN CONTROLS AND SWITCHING:
    - 5.1. (1) DIMMER FOR THE LIGHT KIT (WHERE PROVIDED)
    - 5.2. (1) REOSTAT FOR FAN SPEED CONTROL
  6. EXISTING EXTERIOR LIGHTING TO REMAIN UNLESS NOTED OTHERWISE. EXISTING INTERIOR LIGHTING TO REMAIN UNLESS NOTED OTHERWISE.
  7. LED LIGHTING NOTES:
    - 7.1. COLOR TEMPERATURE OF 2700k TO 3000k RECOMMENDED WITH A MINIMUM OF 80 CRI.
    - 7.2. DO NOT MIX COLOR TEMPERATURES IN THE SAME ROOM UNLESS DIRECTED TO DO SO BY OWNER.
    - 7.3. ALL LED FIXTURES IN A GIVEN ROOM SHALL HAVE COMMON BINNING TO ASSURE COLOR MATCHING ACROSS MANUFACTURERS AND FIXTURES. FIXTURES IN THE SAME ROOM WITH NOTICEABLY DIFFERENT LIGHT TEMPERATURES OR COLORS SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.

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**ELECTRICAL - LIGHTING**

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**A1 FLOOR PLAN - LIGHTING**  
1/4" = 1'-0"