

Lenox Terrace Association of Concerned Tenants (LT-ACT)



October 2019

OLNICK'S PROPOSED REZONING GOES FOR FIRST VOTES

Community Board 10 First Stop in ULURP Process

Olnick's proposal to rezone Lenox Terrace from its current Residential Zoning District to a Commercial Zoning District (C6-2) goes before Community Board 10 (CB10). **The first vote at CB10 will be at the Land Use Subcommittee hearing on Thursday, October 17th. The second vote will be at the CB10 General Board Meeting on Wednesday, November 6th.** Both meetings are open to the public and all tenants are encouraged to attend these important meetings.

While the Community Board votes are "advisory" according to the NYC Planning Commission (CPC), the votes are important.

After CB10 votes, the next step in the ULURP process is for the proposed rezoning proposal to go before the CPC for a vote. (See next page on "The ULURP Process.")

Areas with a commercial C6-2 designation are normally found in the "central business district and regional commercial centers" like the **Bronx Terminal Market** and areas such as the 34th Street corridor that travels through **Herald Square**, and **Times Square**. **They are not found in residential areas** such as the current Lenox Terrace property, nor does any other similar commercial zoning exist in the surrounding Community Board 10 Central Harlem area, except on 125th Street.

LT-ACT strongly opposes the proposed rezoning by Olnick of Lenox Terrace from residential zoning to commercial zoning (zoning akin to a regional shopping mall).

In addition to adding overscale retail, Olnick's proposed development includes building five new 28-story luxury towers. The proposed plan requires approval from CB10, Manhattan Borough President Gale Brewer, and Councilmember Bill Perkins' office to succeed. Brewer and Perkins have publicly stated they are against the current proposed plan.

Lenox Terrace's **current Residential Zoning District R7-2**, with a very limited C1-4 commercial overlay, **allows for smaller-scale neighborhood retail development and reasonable residential infill.**

In recent years, with the help of the Councilmember's Office and the Manhattan Borough President's Office, Community Boards 9 and 11 in West Harlem and East Harlem instituted a zoning plan that was community driven. LT-ACT believes it is time for CB10 to do the same for the Central Harlem community.

Upcoming CB10 Meetings

Land Use Subcommittee

Thurs. – Oct. 17th
6:30 pm

Location: Touro College
231 W. 124th St. 2nd Flr.
(Land Use Votes on Proposed Rezoning)

General Board Meeting

Wed. - Nov. 6
6:00 pm

163 W. 125th Street
2nd Floor Art Gallery
(CB10 Votes on Proposed Rezoning)

ALL TENANTS ARE
ENCOURAGED TO ATTEND!

LT-ACT Annual Meeting

Thurs., Dec. 5th
Kennedy Center
6:30-8:30

Contributing Writers:

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THE UNIFORM LAND REVIEW PROCESS – ULURP

On August 26, 2019 Olnick went before the NY City Planning Commission (CPC) to present their Draft Environmental Impact Statement (DEIS). The DEIS was approved by the CPC to begin the ULURP process. The process can take up to approximately seven months.

At each stage of the ULURP process residents of Lenox Terrace can make their voices heard. Each building will be distributing postcards for residents to sign to send to our elected officials as well as to the CPC voicing our objection to the oversized rezoning proposal by Olnick. A one question survey will also be distributed to tenants.

To see the entire DEIS go to:
<https://www1.nyc.gov/site/planning/applicants/env-review/lenox-terrace.page>

You can also call or email your elected official to voice your objections:

Community Board 10
mn10cb@cb.nyc.gov
212-662-4215

Manhattan Borough President Gale Brewer
gbrewer@manhattanbp.nyc.gov
212-669-8300

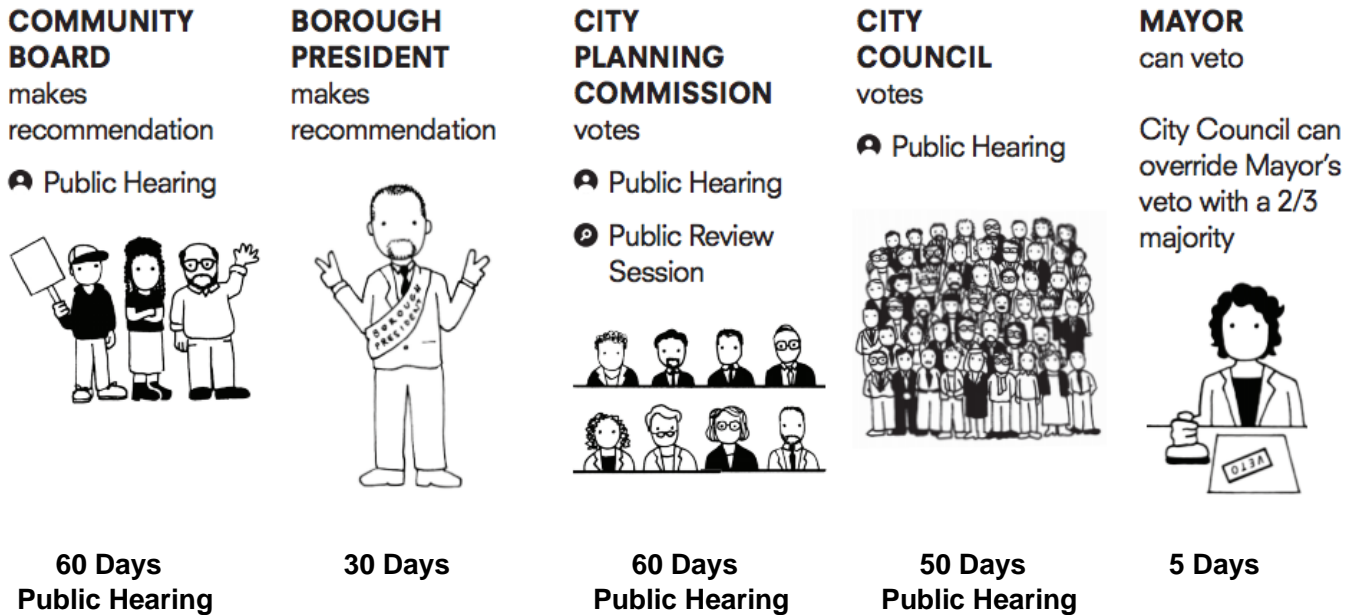
Councilmember Bill Perkins
D09Perkins@council.nyc.gov
212-678-4505

NYC Council Speaker Corey Johnson
SpeakerJohnson@council.nyc.gov
212-564-7757

ULURP Timeline*

ULURP is set up to allow community members and local government from the most local level to the citywide level to weigh in on land-use proposals for their community. The whole process can take up to a maximum of 215 days.

Here is the basic timeline for what happens after a city agency or developer submits a ULURP application:



* From: What Is ULURP? By the Center for Urban Pedagogy