



GreenLeaf Designs  
Tulsa, OK  
918-524-9721

GreenLeafArchitecture.com

**SAMPLE PLAN  
CUSTOM HOME**

Stamp:

Revisions:

1. NOT FOR CONSTRUCTION
- 2.
- 3.
- 4.
- 5.
- 6.
- 7.

Print Scale:

24"x36"

Date:

Title:

COVER SHEET

Sheet:

**A.0**

GENERAL NOTES

Drawings are intended to be printed on 24"x36" (Arch D) paper. Printing these drawings at a different size will impact the scale. The Contractor, Owner and/or recipient of these Drawings shall be responsible for any errors resulting from incorrect copying or printing or any other alteration that causes a change of scale.

General Contractor shall refer to all applicable construction procedures as provided in these Drawings or as stated below.

Before performing any work or ordering any materials, the General Contractor and/or all Subcontractors shall be responsible for verifying all conditions, inclusions and dimensions of the work.

Written dimensions shall take precedence over scaled dimensions. Dimensions indicated are from finished wall surface to finished wall surface unless otherwise indicated.

As a minimum standard, all work and materials installed shall be in strict accordance with all applicable codes, regulations and ordinances having jurisdiction.

Install all Manufacturer's items, materials and/or equipment in strict accordance with the Manufacturer's recommended instructions, methods and specifications.

The General Contractor must maintain a current, complete set of Construction Drawings at the site for review by Subcontractors and others on the Construction Site through all phases of construction.

Owner to coordinate with General Contractor for location of project materials staging, temporary office facilities, temporary restroom facilities, and/or temporary utilities for this project, if applicable.

Construction shall comply with the accessibility requirements, if applicable, per the Building Code and the Americans with Disabilities Act Accessibility Guidelines.

Size, placement and orientation of framing members on Engineered Structural Details override size, placement and orientation of framing members shown on the Construction Drawings.

Plumbing, Mechanical, and Electrical Contractors shall not penetrate or cut structural members without written authorization from a licensed Professional Structural Engineer and/or Architect.

Provide solid 2x wood blocking within wood stud walls at the anchorage locations of cabinets, door stops, toilet room accessories, mantels, ADA Handbars, TV stands or any other wall anchorage point. Anchorage through gypsum board on new walls is not acceptable.

Contractor to obtain any and all required Building Construction Permits associated with the work included in these Construction Drawings.

Contractor, Subcontractors and Owner to verify that site conditions are similar to the plans. Any discrepancies that arise from varying site conditions shall be reported to the Owner and Designer prior to construction. Contractor, Subcontractor and/or Owner assumes all liability for construction of project and results of construction using Construction Drawings.

DESIGN CRITERIA

CODE: 2012 International Residential Code (2012 IRC)  
BUILDING TYPE: Light Framed Wood, Single-Family Residential Structure  
LOADS:

Dead Loads:  
Roof- 22 PSF  
Floor- 32 PSF

Live Loads:  
Roof- 20 PSF  
First Floor & Stairs- 100 PSF  
Second Floor- 50 PSF  
Second Floor Corridors- 80 PSF

Snow Loads:  
Ground Snow Load (Pg)- 15 PSF  
Roof Snow Load (Ps)- 15 PSF  
Snow Roof Slope Factor (Cs)- 1.0  
Importance Factor (Is)- 1.0

Wind Loads: (ASCE 7-05)  
Basic Wind Speed (3 sec gusts)- 100 MPH  
Exposure- C  
Importance Factor (Iw)- 1.0

Seismic Load: (ASCE 7-05)  
Importance Factor (Ie)- 1.0  
Seismic Use Group- II - Normal  
Seismic Soil Profile Type- D  
Seismic Design Category- B  
Basic Seismic Force Resisting System- Light Framed Walls w/ Shear Panels  
Seismic Response Modification Factor (R)- 6.5  
Analysis Procedure Used- Equivalent Lateral Force

Soils:  
Undisturbed Earth- 2,500 PSI  
Bedrock- 25,000 PSI

FIRE SPRINKLER: No

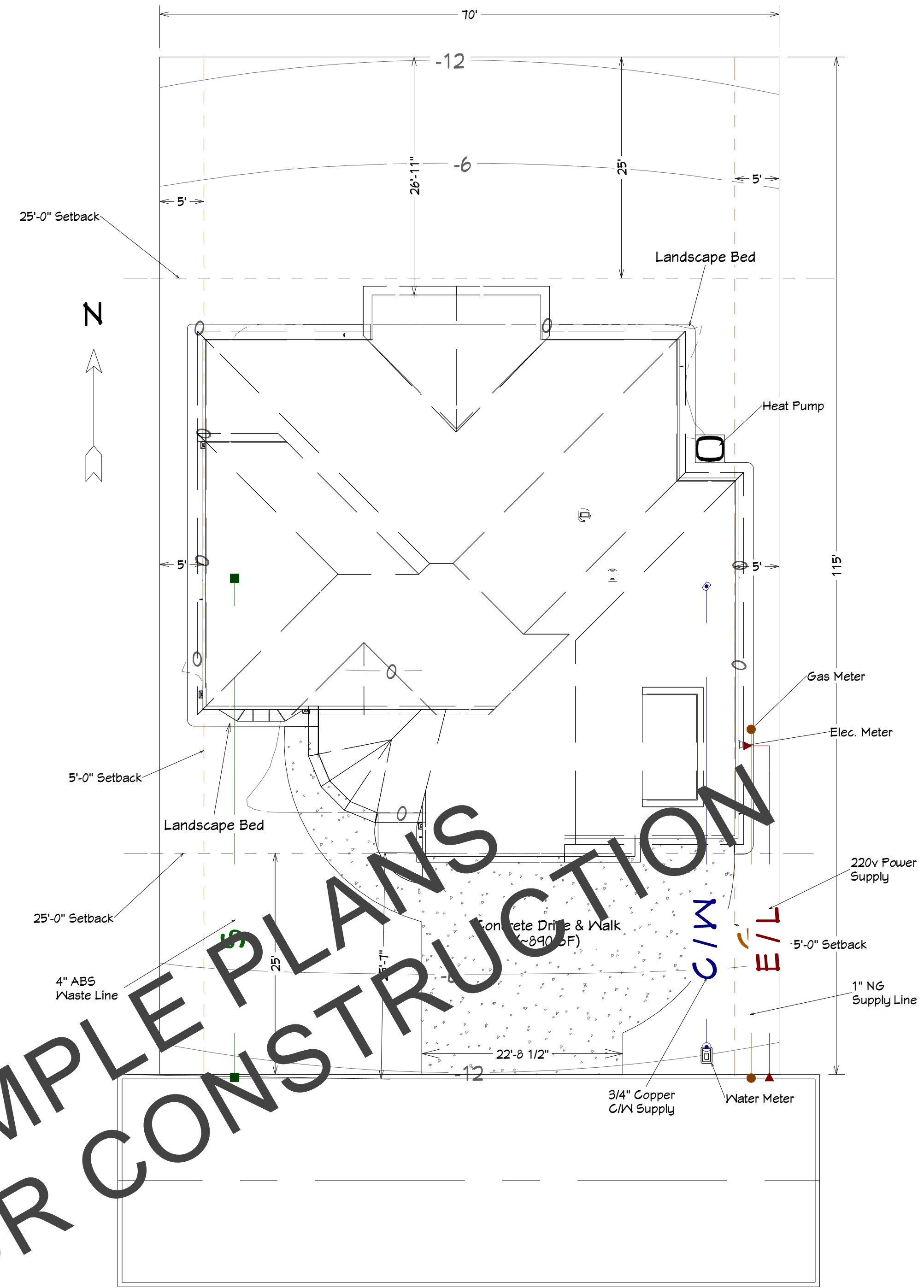
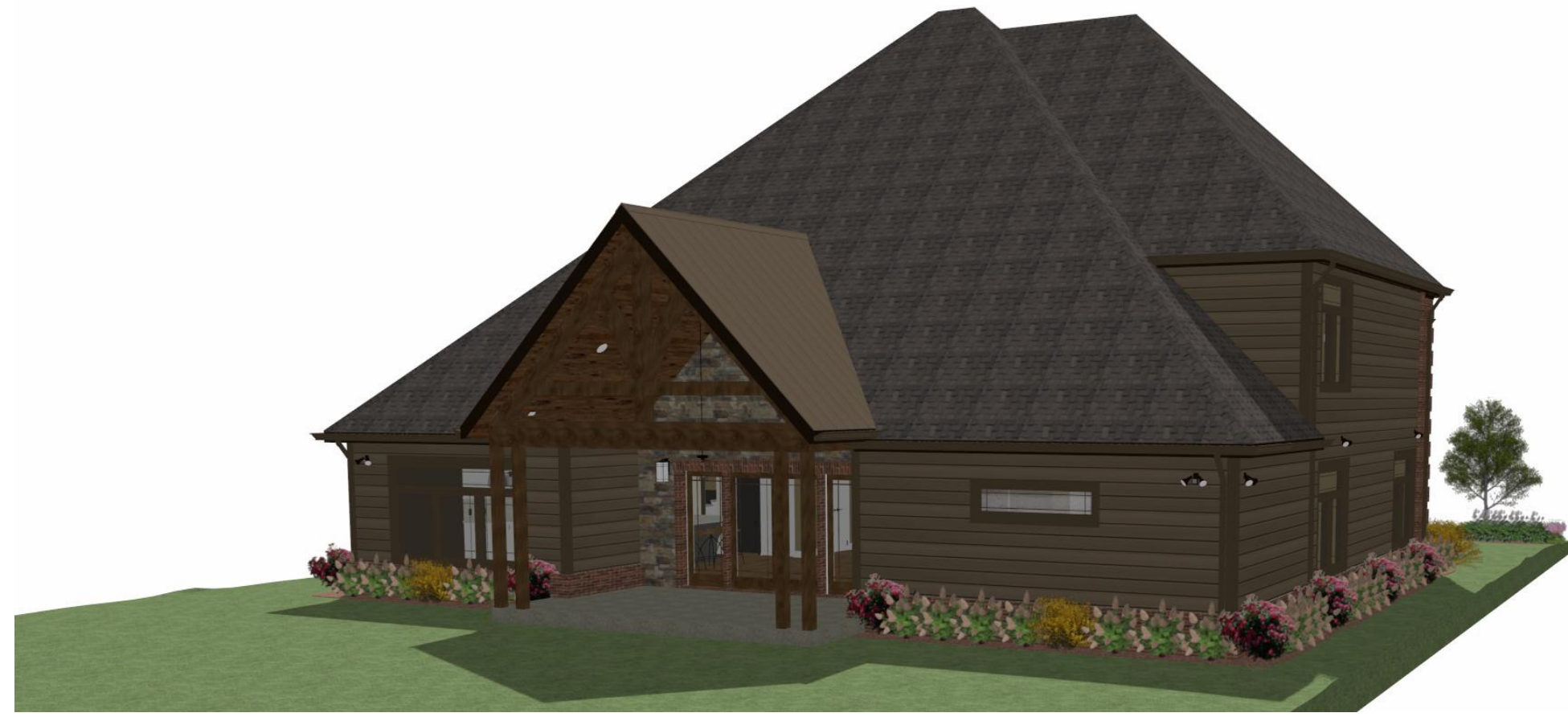
FIRE ALARM SYSTEM: Yes



NOT FOR CONSTRUCTION

**CONTENTS:**

- |                              |                             |                         |
|------------------------------|-----------------------------|-------------------------|
| A.0: Cover Sheet             | A.11: Building Sections     | S.1: Foundation Plan    |
| A.1: Site Plan               | A.12: Framing Plan          | S.2: Foundation Details |
| A.2: Main Level Floor Plan   | A.13: Framing Plan          | S.3: Foundation Details |
| A.3: Second Level Floor Plan | A.14: Shear Wall Details    | E.1: Electrical Plan    |
| A.4: Building Elevations     | A.15: Framing Details       | E.2: Electrical Plan    |
| A.5: Building Elevations     | A.16: Framing Details       | M.1: Mechanical Plan    |
| A.6: Building Cut-through    | A.17: Framing Details       | M.2: Mechanical Plan    |
| A.7: Kitchen Elevations      | A.18: Stair/Railing Details |                         |
| A.8: Bathroom Elevations     | A.19: Framing Details       |                         |
| A.9: Interior Elevations     | A.20: Framing Details       |                         |
| A.10: Roof & Ceiling Plan    |                             |                         |



SAMPLE PLANS  
NOT FOR CONSTRUCTION

Site Plan  
Scale: 1"=10'

**ZONING**

Setbacks:

	Required	Actual
Front-	25'	25'
Rear-	25'	27'
Left-	5'	5'
Right-	5'	5'
Height-	56'	35'
Lot Size-	5,000 SF	8,625 SF

Occupancy: Building Use: Residential- Single Family

Floodplain: No

**LEGEND**

WATER SUPPLY LINES

C/W

SANITARY SEWER LINES

S

ELECTRICAL SERVICE

E/L

GAS LINE

G

**UTILITY LOCATE**

Prior to excavation Contractor to schedule a utility locate.  
Okie Dig Phone number:  
811 or 1-800-522-OKIE (6543)

**EROSION CONTROL NOTES:**

- Install silt fence prior to any excavation or construction.
- Minimize site disturbance by tight control of excavation limits.
- All exposed soil shall be mulched with straw or wood chips to minimize soil erosion. No soil shall be left in an exposed condition. It is recommended that the contractor maintain a stock pile of this material on site for quick application.
- Hydroseed with a wood cellulose fiber mulch applied at a rate of 2,000#/acre. Use an organic tackifier at no less than 150 #/acre or per manufacturer's recommendation if higher. Application of tackifier shall be heavier at edges, in valleys and at crests of banks and other areas where seed can be moved by wind or water.
- Dispersion trenches shall overflow onto native undisturbed ground. No site disturbance below trenches.

**GRADING NOTES:**

- Contractor to verify location of all existing utilities.
- Provide positive drainage away from building.
- Final grade to convey surface drainage toward rock channels and dispersion trenches.
- Areas to be filled shall be cleared, grubbed to remove trees, vegetation, roots and other objectionable material and stripped of topsoil.
- Place fill slopes with a gradient steeper than 3:1 in lifts not to exceed 8 inches, and make sure each lift is properly compacted.

**SHEET NOTES:**

- Final grade to slope 6" per 10'-0" away from the house for the first 10'-0".
- All concrete pads to slope at 5% or 2" per 1'-0" away from building.
- General Contractor responsible for all utility locates and subsurface utility engineering for this project.
- General Contractor responsible for contacting Site Wise prior to digging for utility locate service. Call 811 or 1-800-522-6543
- General Contractor to immediately notify Site Wise if un-located utilities are encountered.
- 3/4" Domestic water line to be type 'K' copper.
- Drives and walks to be 4" concrete, minimum 3,000 psi at 28 days.
- The General Contractor shall be responsible for repairing any trenches or excavations that settle for a minimum of 1 year.
- The General Contractor shall prevent sediment, debris and all other pollutants from entering the storm sewer system during all construction operations.

SAMPLE PLAN  
CUSTOM HOME

**Stamp:**

---

**Revisions:**

- NOT FOR CONSTRUCTION
- 
- 
- 
- 
- 
- 

**Print Scale:**  
24"x36"

**Date:**

**Title:**  
SITE PLAN

**Sheet:**  
A.1

**PROJECT NOTES:**

- Foundation**
- Perimeter Footing: 21"x18" cont. min. 3,500 psi @28 days
  - Interior Footing: 21"x18" / 36"x36", min. 3,500 psi @ 28 days
  - Walk/Drive Footing: 12"x18" min. 2,500 psi @ 28 days
  - Concrete Slab: 4" concrete slab, min. 3,000 psi @ 28 days
  - Drives/Walks: 4" concrete slab, min. 3,000 psi @ 28 days

- Framing**
- Exterior walls to be framed with 2"x6" lumber, 16" OC.
  - Interior partition walls to be framed with 2"x4" lumber, 16" OC.
  - Floor Joist framing shall be 11-7/8" engineered TJI floor joists, 16" OC.
  - Ceiling Joist framing to be 2"x8", 16" OC.
  - Roof Ridges to be 2"x14" LVL
  - Roof Rafters to be 2"x12" lumber 16" OC.

- Exterior Veneer**
- Wall Veneer: Hardie Siding / Masonry/ Cultured Stone
  - Fascia: 7-1/2" HardieTrim HZ10
  - Soffit: 18" HardieSoffit vented HZ10
  - Porch Ceiling: Stain Grade T&G 6" Cedar Planks.
  - Corner Boards: 1"x6" HardieTrim HZ10

- Roofing**
- Certaineed Residential Asphalt Shingle
  - Gutters to be 5" (6" ok) seamless metal gutters w/ downspouts.

- Electrical**
- All electrical fixtures to be Energy Star rated when possible.
  - All ceiling fans to be Energy Star rated.
  - All bath fans to be Energy Star rated.
  - All recessed light fixtures to have LED bulbs and have dimmer controlled switches.
  - All switches to be 'toggle' style.
  - Undercabinet LED lighting to be installed in Kitchen, switch controlled.
  - Install new security system, to be selected by Owner.

- Plumbing/Mechanical**
- Install new undermount sink in Kitchen, Bar and Baths.
  - Install new adult height, elongated toilets.
  - All bath fans to be ducted to exterior.
  - New >15 SEER Heat Pump System, 1-zones.

- Insulation**
- Wall insulation to be min. R-20 Blown-in insulation.
  - Rafter insulation to be min R-38 Kraft faced batt insulation (vaulted ceilings only)
  - Ceiling Joist Insulation to be min. R-38 Kraft-faced batt/Blown-in insulation.
  - Floor Joist insulation to be a min R-30 Kraft faced batt insulation. (floors)

- Drywall**
- Install 1/2" on new framed interior partition walls, to be screwed, mud, taped and textured.
  - Install 5/8" Type-C ceiling rock on ceiling surfaces. mud, taped and finished.
  - Install 1/2" moisture board in shower area.
  - Install 5/8" Type-X fire rock on Garage, Utility and under stair wall and ceiling surfaces.
  - All corners to be 'radius' edging.
  - Drywall to wrap to windows.
  - All walls and ceilings to have 'knockdown' texture.
  - All drywall to be installed with 1-1/4" coarse thread screws, no nails to be permitted.

- Flooring**
- Install tile flooring in all Baths, Kitchen, Laundry areas.
  - Install hardwood flooring in Bedroom 2, Hall, Gallery and Living Rooms.
  - Install carpet in Master Bedroom, Hall 2, Bedroom 3 and Bedroom 4.
  - Install hardwood treads and risers w/ carpet runner on all stair cases.
  - Utility Room and Garage areas to have unfinished concrete floor.

- Windows**
- Install new Energy Star compliant, Andersen 100 Series Single Hung windows on all floors.
  - Bedroom windows to meet egress requirements.
  - All windows to be sealed with minimum expansion foam.

- Doors**
- Install Energy Star compliant exterior Entry, Side and Rear doors.
  - Front, Side and Rear doors keyed alike.
  - All doors to be sealed with minimum expansion foam.
  - Utility Room and Garage walk doors to be self-closing with spring loaded hinges.

- Cabinetry**
- Install adult height (36") vanity cabinets in Master Bathroom and Hall Bath.
  - Install standard height (32") vanity cabinets in Bedroom Bathrooms.
  - All cabinets to be installed as shown.
  - All cabinetry to have plywood boxes.
  - Kitchen cabinetry to have crown molding and light rail moldings on upper cabinets.
  - Cabinets visible from upper level to have finished skin attached to top of upper cabinets.
  - Built-in Cabinetry to have finished wood tops w. 1-1/2" Edge.

- Countertops**
- Install 3-cm granite with 6" backsplash, under-mount sink in all Kitchens and Baths.
  - Install new Formica laminate countertops in Laundry Room.
  - Granite to have 'eased edge' edging.

**PROJECT NOTES CONT:**

- Appliances**
- All standard appliances to meet or exceed Energy Star standards when possible.
  - Water Heater to be 50 Gallon, 12-year tanked heater.
  - All Garbage Disposals to be minimum 3/4 HP.
  - Appliances to be installed per Manufacturer's Installation Instructions.

- Interior Millwork**
- All base molding to be 5-1/2" paint grade wood.
  - All casing to be 3-1/2" paint grade wood.
  - Install paint-grade wood closet shelves w/ heavy duty hangar rods, as shown.
  - Install new hollow-core, paint grade interior doors throughout, as shown.
  - Decorative beams to be stained.
  - Fireplace mantle to be stain grade wood, basic pattern. See Fireplace Elevation.

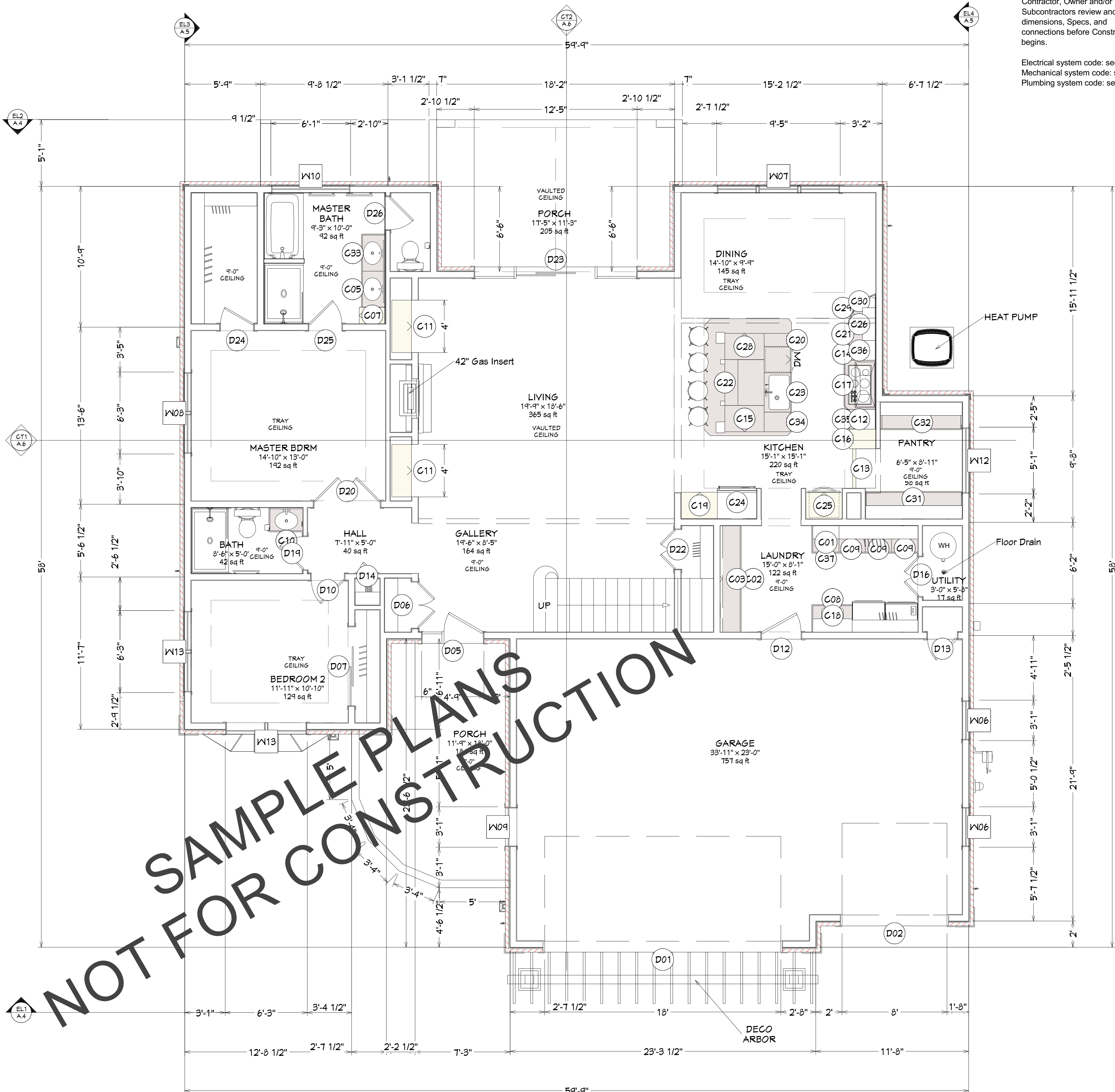
- Paint**
- All Kitchens, Baths, Garages and Laundry rooms to be painted with semi-gloss paint. One coat primer, two coats paint.
  - All Living, Dining, Hall, Entry, Closet and Bedrooms to be painted with satin/eggshell paint. One coat primer, two coats paint.
  - All trim moldings and doors to be stained with gloss or semi-gloss stain. One coat primer, two coats paint.
  - All Exterior paint to be painted with semi-gloss paint. Three coats paint. 100% Acrylic
  - All Exterior trim, metal railings and doors to be painted with gloss paint. Three coats paint. 100% Acrylic

- Glazing**
- New tempered 3/8" heavy glass shower panels with frameless hardware.
  - Install new beveled vanity mirror in Baths.
  - Glass panels in interior doors and cabinets to be tempered.

- Hardware**
- Install new door hardware on all interior doors.
  - Install new towel bars, TP holders and other bath accessories in Bathrooms, fixture location to be verified with Owner.
  - Install new white metal HVAC registers.

- SHEET NOTES:**
- All wall lumber and posts shall be treated where comes in contact with concrete.
  - No roof penetrations allowed on street facing roof planes. All roof penetrations to be located in rear of home where possible.
  - Every bedroom shall be provided with an egress window with finish sill height not greater than 42" above the finish floor height and shall have a minimum openable area of 5.7 sq. Ft. (5.0 sq. ft. on first level).
  - Doors between Garage and living area shall be 1-3/4" tight fitting solid core doors with a rating of 60 minutes. Door shall be self-closing.
  - Exterior exit doors to be 36" min.

LIVING AREA	
Main Level Area:	1,543 S.F.
Second Level Area:	673 S.F.
Bonus Room Area:	403 S.F.
Utility Room Area:	17 S.F.
Garage Area:	757 S.F.
Covered Porch Area:	389 S.F.
Total H/C Area W/O Bonus: 2,216 S.F.	
Total H/C Area W/ Bonus: 2,619 S.F.	



Contractor, Owner and/or Subcontractors review and verify all dimensions, Specs, and connections before Construction begins.

Electrical system code: sec.2701  
 Mechanical system code: sec.2801  
 Plumbing system code: sec.2901



GreenLeaf Designs  
 Tulsa, OK  
 918-524-9721

GreenLeafArchitecture.com

**SAMPLE PLAN  
 CUSTOM HOME**

Stamp:

**Revisions:**

1. NOT FOR CONSTRUCTION
- 2.
- 3.
- 4.
- 5.
- 6.
- 7.

**Print Scale:**

24"x36"

**Date:**

**Title:**

MAIN LEVEL FLOOR PLAN

**Sheet:**

**A.2**

**Main Level Floor Plan  
 Scale: 1/4"=1'**

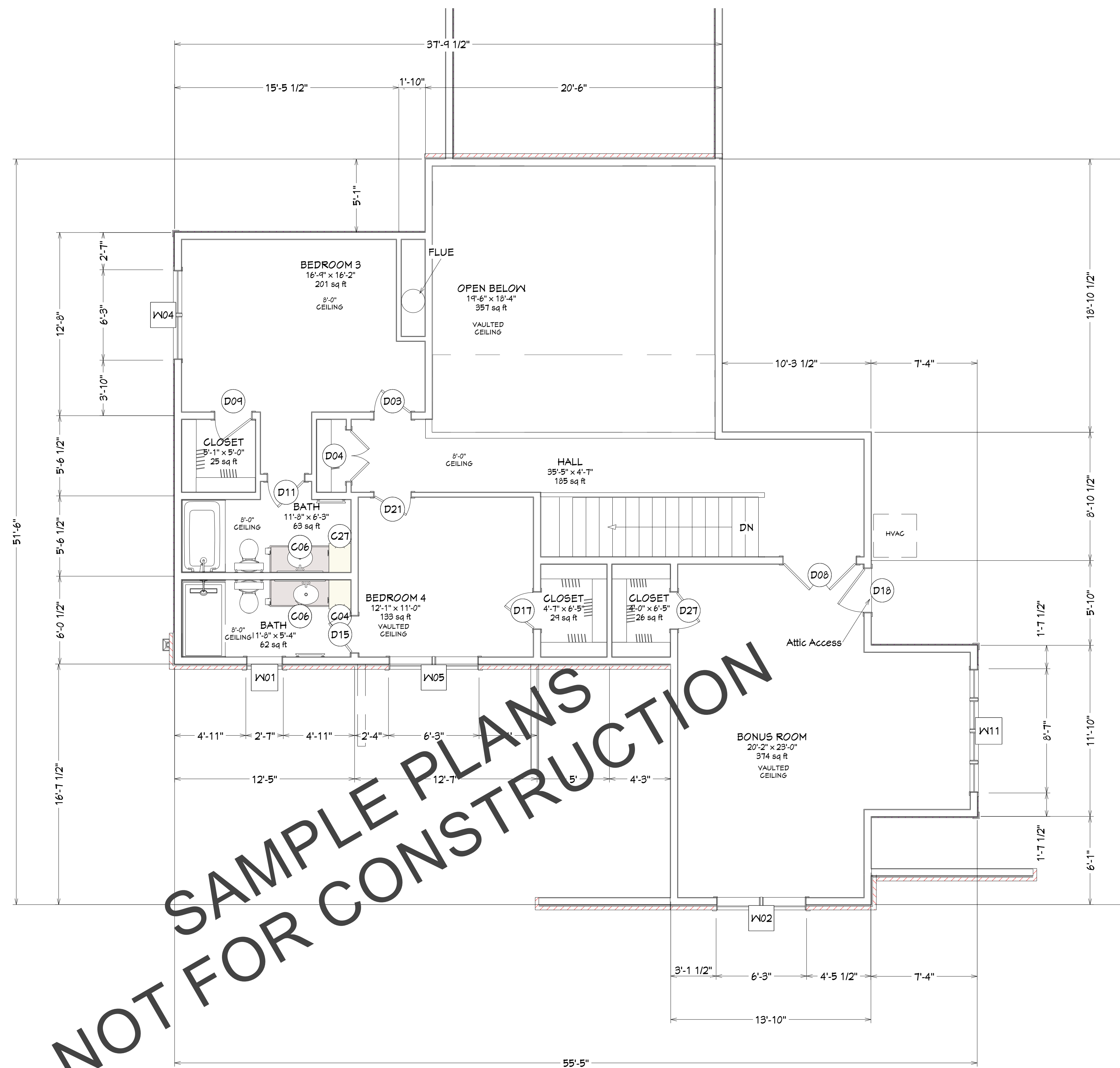
**NOT FOR CONSTRUCTION**



GreenLeaf Designs  
Tulsa, OK  
918-524-9721

GreenLeafArchitecture.com

# SAMPLE PLAN CUSTOM HOME



NOT FOR CONSTRUCTION

**SHEET NOTES:**

- All wall lumber and posts shall be treated where comes in contact with concrete.
- No roof penetrations allowed on street facing roof planes. All roof penetrations to be located in rear of home where possible.
- Every bedroom shall be provided with an egress window with finish sill height not greater than 42" above the finish floor height and shall have a minimum openable area of 5.7 sq. Ft. (5.0 sq. ft. on first level).
- Doors between Garage and living area shall be 1-3/4" tight fitting solid core doors with a rating of 60 minutes. Door shall be self-closing.
- Exterior exit doors to be 36" min.

**Second Level Floor Plan**  
Scale: 1/4"=1'

Stamp:

**Revisions:**

1. NOT FOR CONSTRUCTION
- 2.
- 3.
- 4.
- 5.
- 6.
- 7.

Print Scale:

24"x36"

Date:

Title:

2ND LEVEL  
FLOOR PLAN

Sheet:

**A.3**

EXTERIOR FINISH NOTES:

- Exterior finish to be siding and masonry over 7/16 OSB ply. Window & door trim color by owner.
- Roofing to be dimensional asphalt over 30# felt, 7/16" OSB ply.
- Downspouts to collect roof run off to be directed away from structure.
- Finish grade shall slope away from structure min. 1/2" per 1'-0" of run for first 10'.

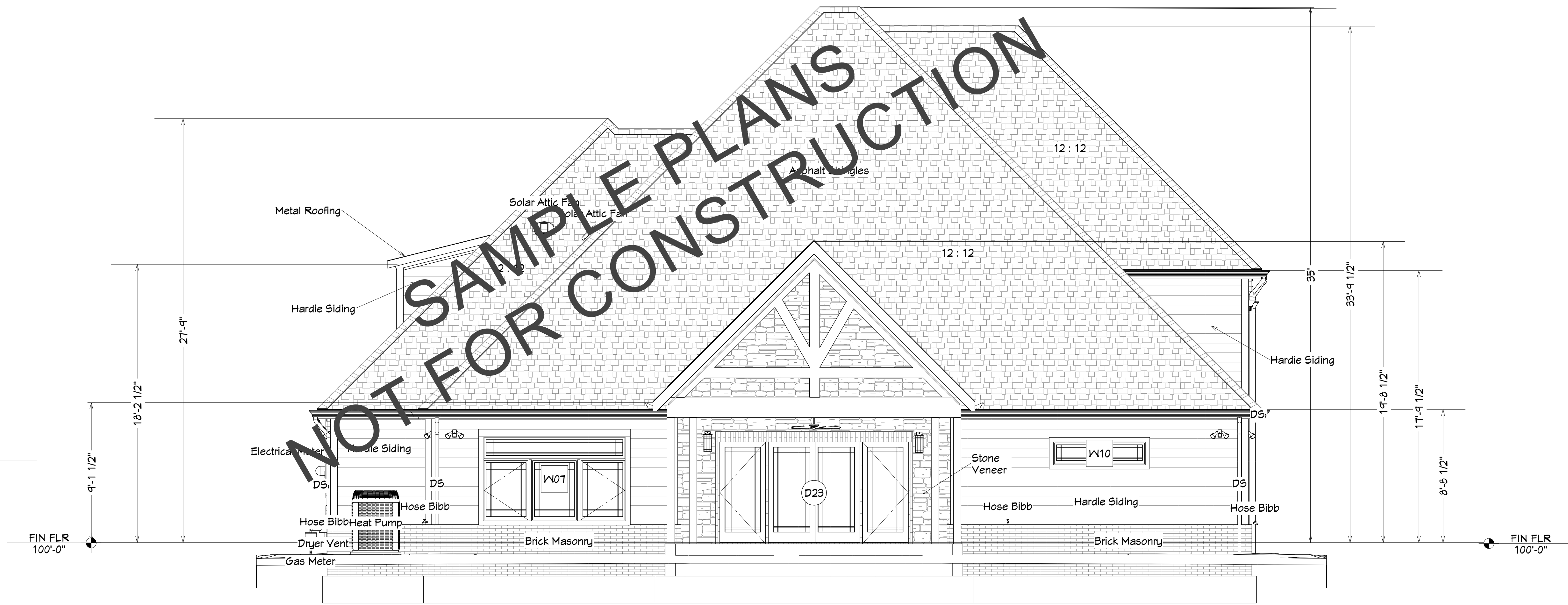
ROOFING NOTES:

- Main Roof : 12:12
- Front Porch/Dormer Roof: 3:12
- Gutters: 5" (6" ok) Seamless Metal Gutters
- Roofing: Dimensional Architect Asphalt Shingle
- Roof Overhang to be 12" Gables and 12" Eaves

EL1  
A.4 North Elevation  
Scale: 1/4" = 1'



EL2  
A.4 South Elevation  
Scale: 1/4" = 1'



NOT FOR CONSTRUCTION



GreenLeaf Designs  
Tulsa, OK  
918-524-9721

GreenLeafArchitecture.com

SAMPLE PLAN  
CUSTOM HOME

Stamp:

Revisions:

1. NOT FOR CONSTRUCTION
- 2.
- 3.
- 4.
- 5.
- 6.
- 7.

Print Scale:

24"x36"

Date:

Title:

EXTERIOR  
ELEVATIONS

Sheet:

A.4

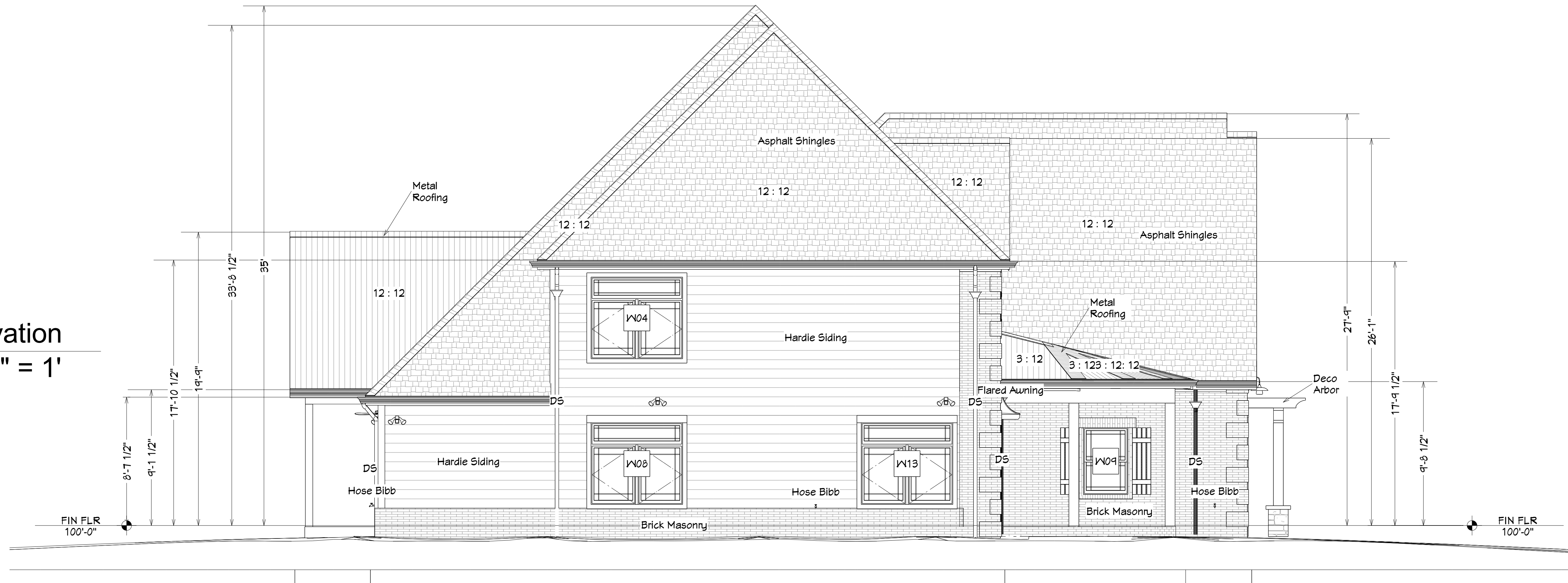
EXTERIOR FINISH NOTES:

- Exterior finish to be siding and masonry over 7/16 OSB ply. Window & door trim color by owner.
- Roofing to be dimensional asphalt over 30# felt, 7/16" OSB ply.
- Downspouts to collect roof run off to be directed away from structure.
- Finish grade shall slope away from structure min. 1/2" per 1'-0" of run for first 10'.

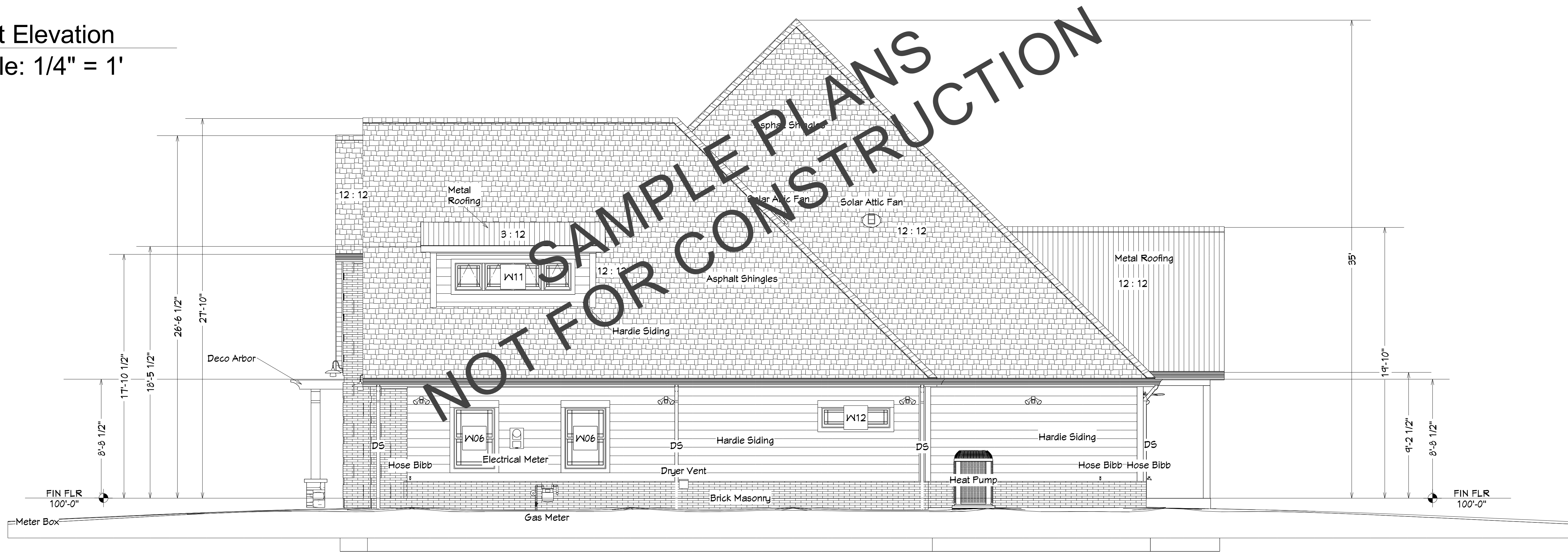
ROOFING NOTES:

- Main Roof : 12:12
- Front Porch/Dormer Roof: 3:12
- Gutters: 5" (6" ok) Seamless Metal Gutters
- Roofing: Dimensional Architect Asphalt Shingle
- Roof Overhang to be 12" Gables and 12" Eaves

EL3  
A.5  
West Elevation  
Scale: 1/4" = 1'



EL4  
A.5  
East Elevation  
Scale: 1/4" = 1'



GreenLeaf Designs  
Tulsa, OK  
918-524-9721

GreenLeafArchitecture.com

SAMPLE PLAN  
CUSTOM HOME

Stamp:

Revisions:

1. NOT FOR CONSTRUCTION
- 2.
- 3.
- 4.
- 5.
- 6.
- 7.

Print Scale:

24"x36"

Date:

Title:  
EXTERIOR  
ELEVATIONS

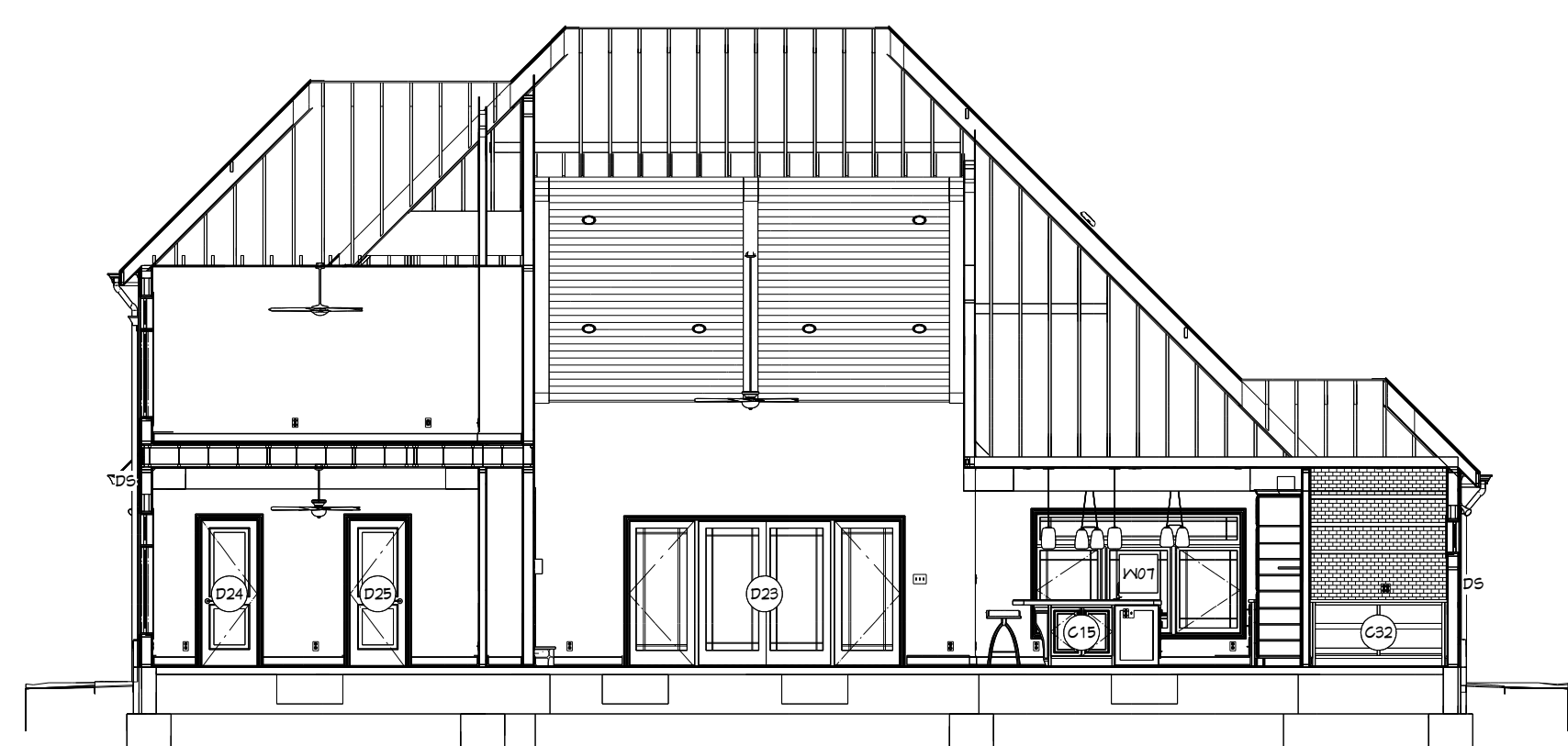
Sheet:

A.5



GreenLeaf Designs  
Tulsa, OK  
918-524-9721

GreenLeafArchitecture.com



CT1  
A.6  
Cut-Through  
Section Detail

**SAMPLE PLAN  
CUSTOM HOME**



CT2  
A.6  
Cut-Through  
Section Detail

**NOT FOR CONSTRUCTION**

Stamp:

Revisions:

1. NOT FOR CONSTRUCTION
- 2.
- 3.
- 4.
- 5.
- 6.
- 7.

Print Scale:

24"x36"

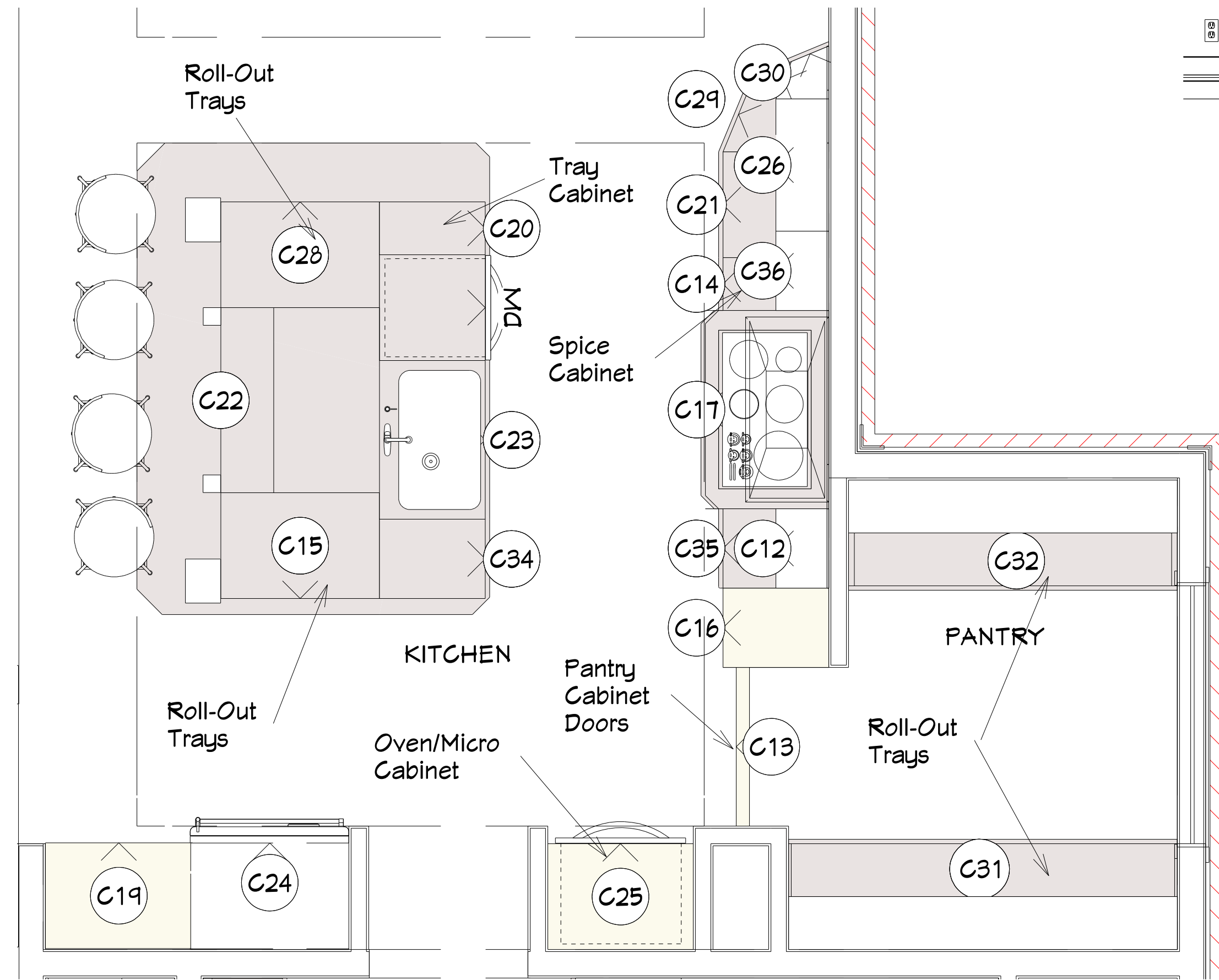
Date:

Title:  
BUILDING  
CUT-THROUGH  
Sheet:

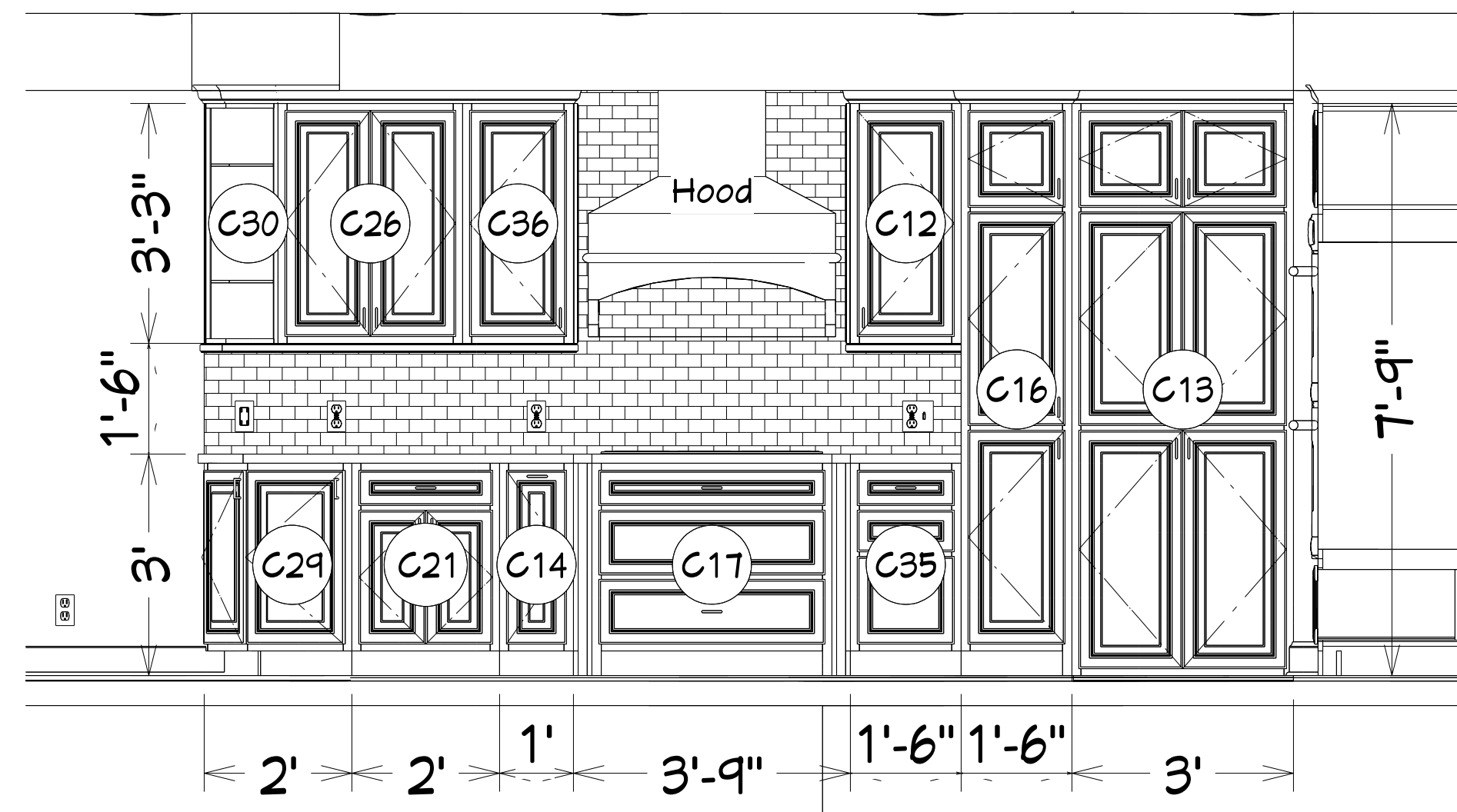
**A.6**

**KITCHEN NOTES:**

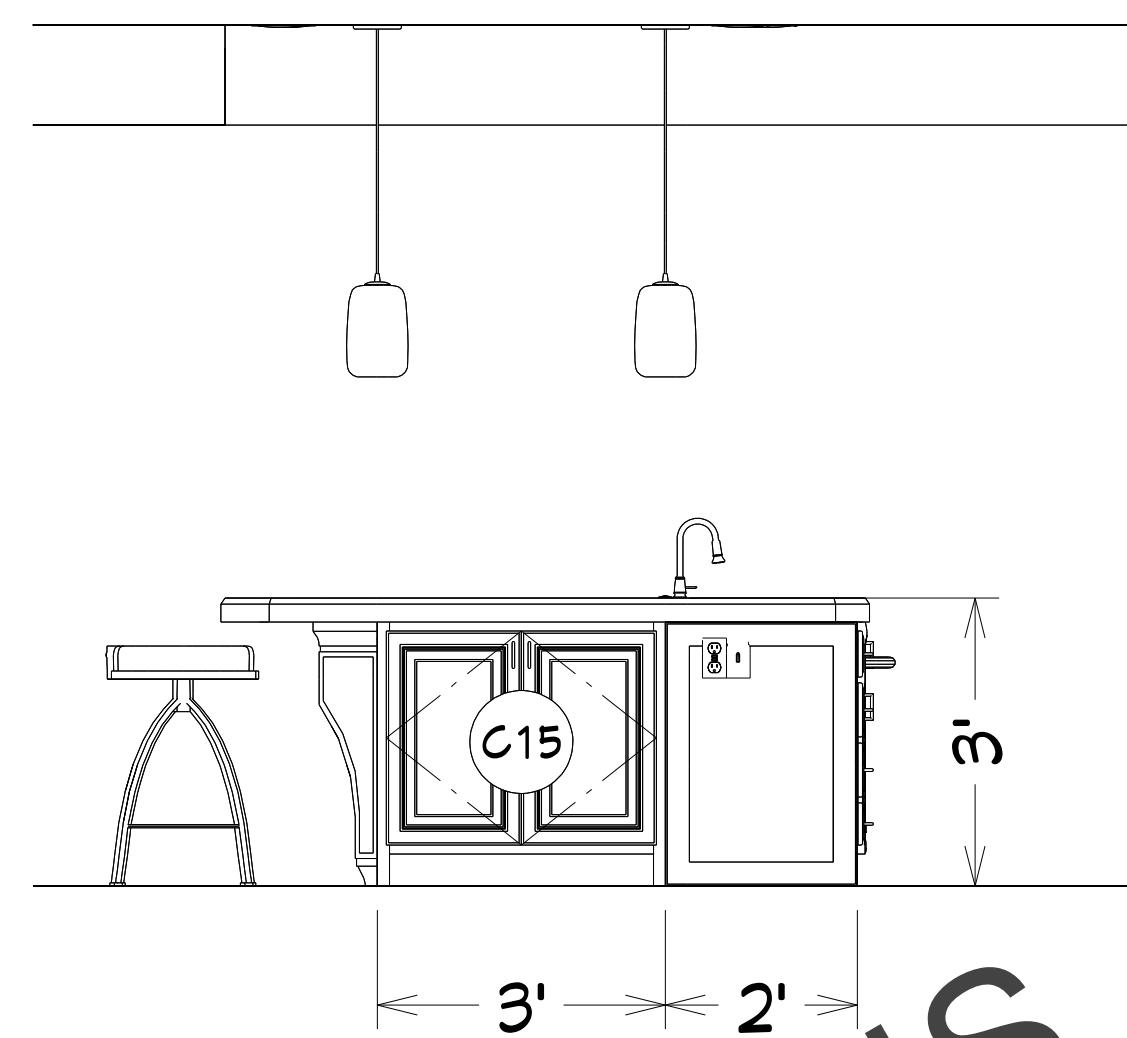
- Confirm cabinet color and species with Owner prior to ordering.
- Confirm cabinet door & drawer styles with Owner prior to ordering.
- Install cabinet door and drawer hardware on site.
- Cut all cabinet openings on site, see manufacturer appliance specifications.
- Trim Mouldings include: 3" Crown Molding, 1-1/2" Light Rail, 3/4" Scribe, 4" Toe-kick moldings.
- Install moldings on site; match cabinet color; confirm profile and dimension with Owner.
- Confirm final materials for backsplash and countertop with Owner prior to ordering.
- Install all appliances per Manufacturers Installation Instructions.



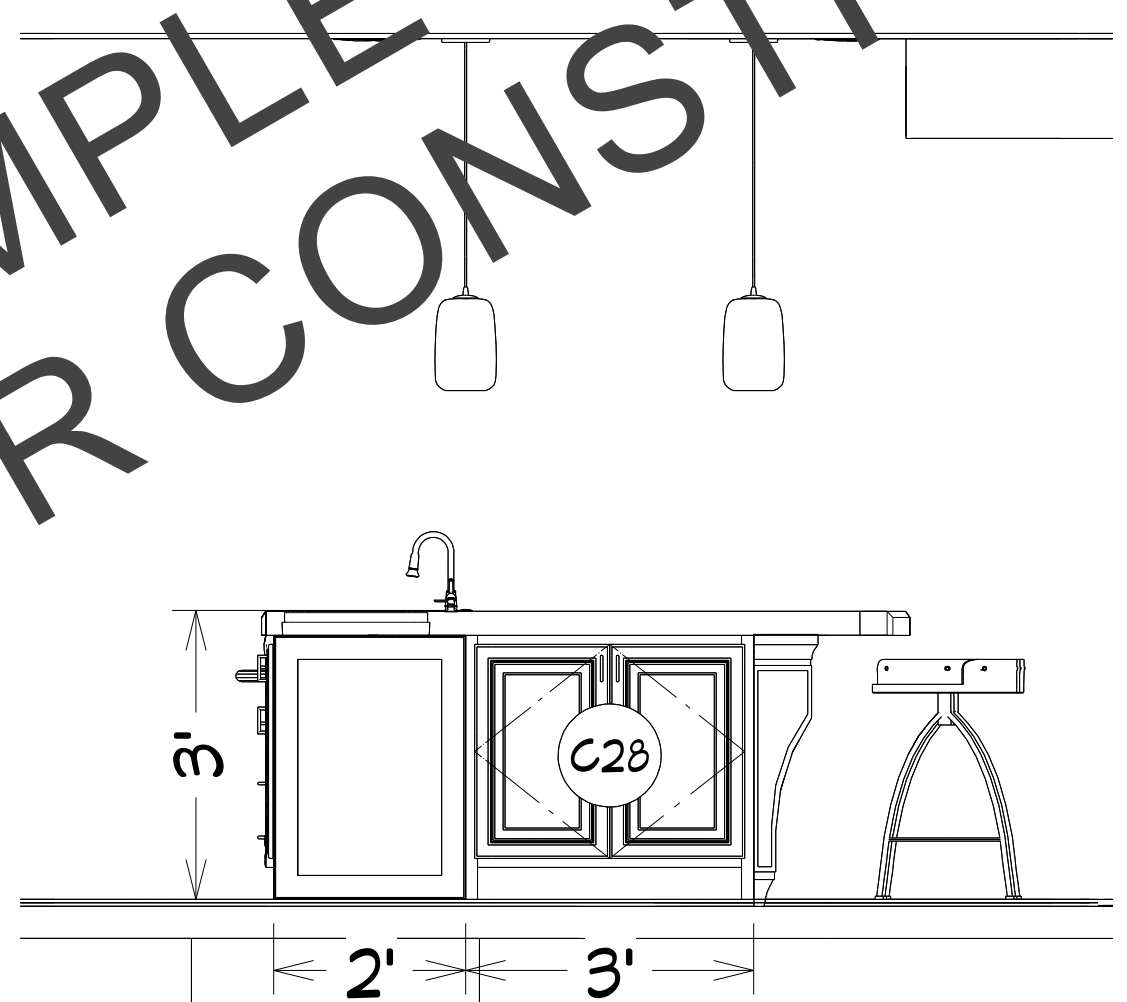
Kitchen Floorplan  
Scale: 1/2" = 1'



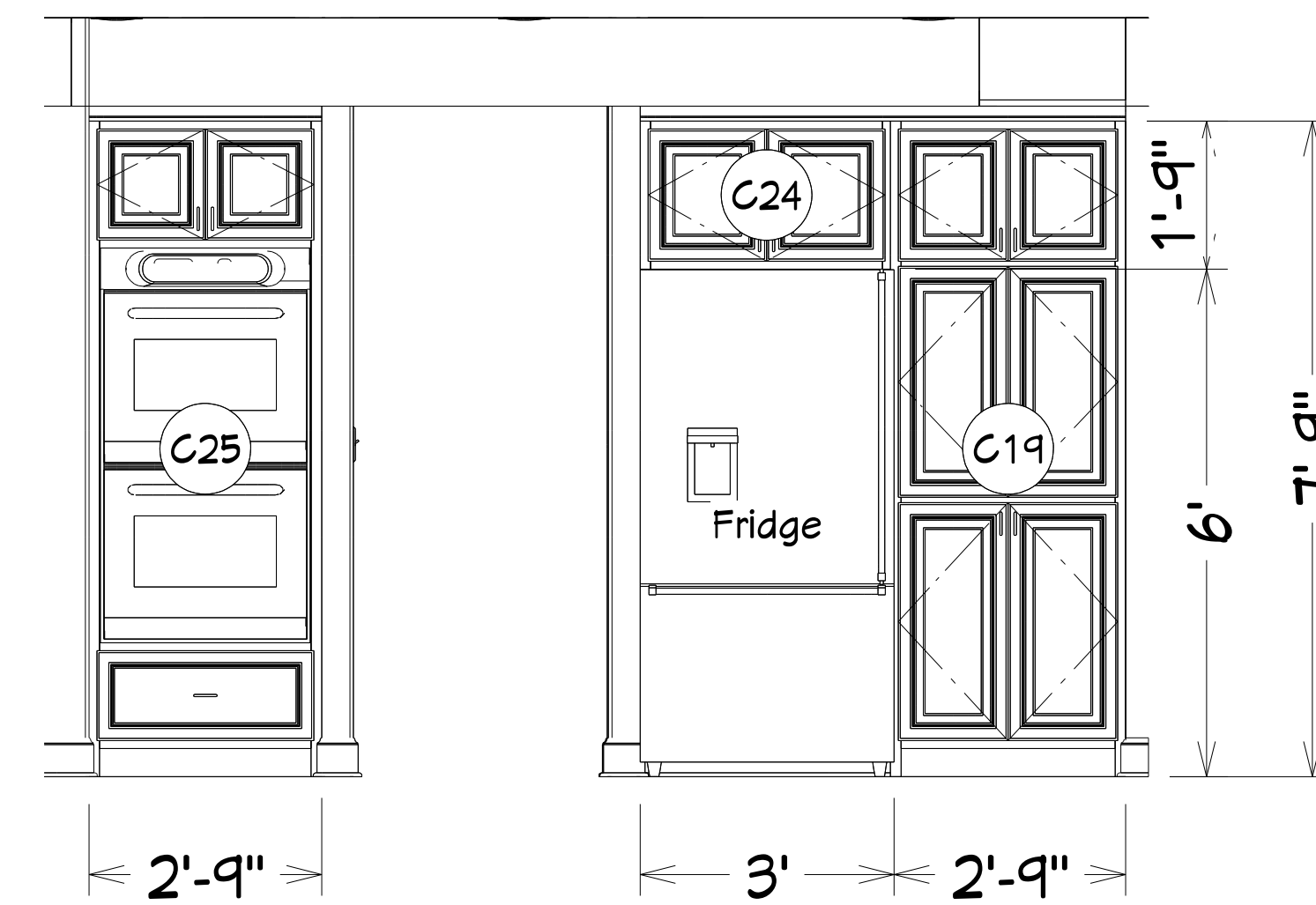
Kitchen Elevation



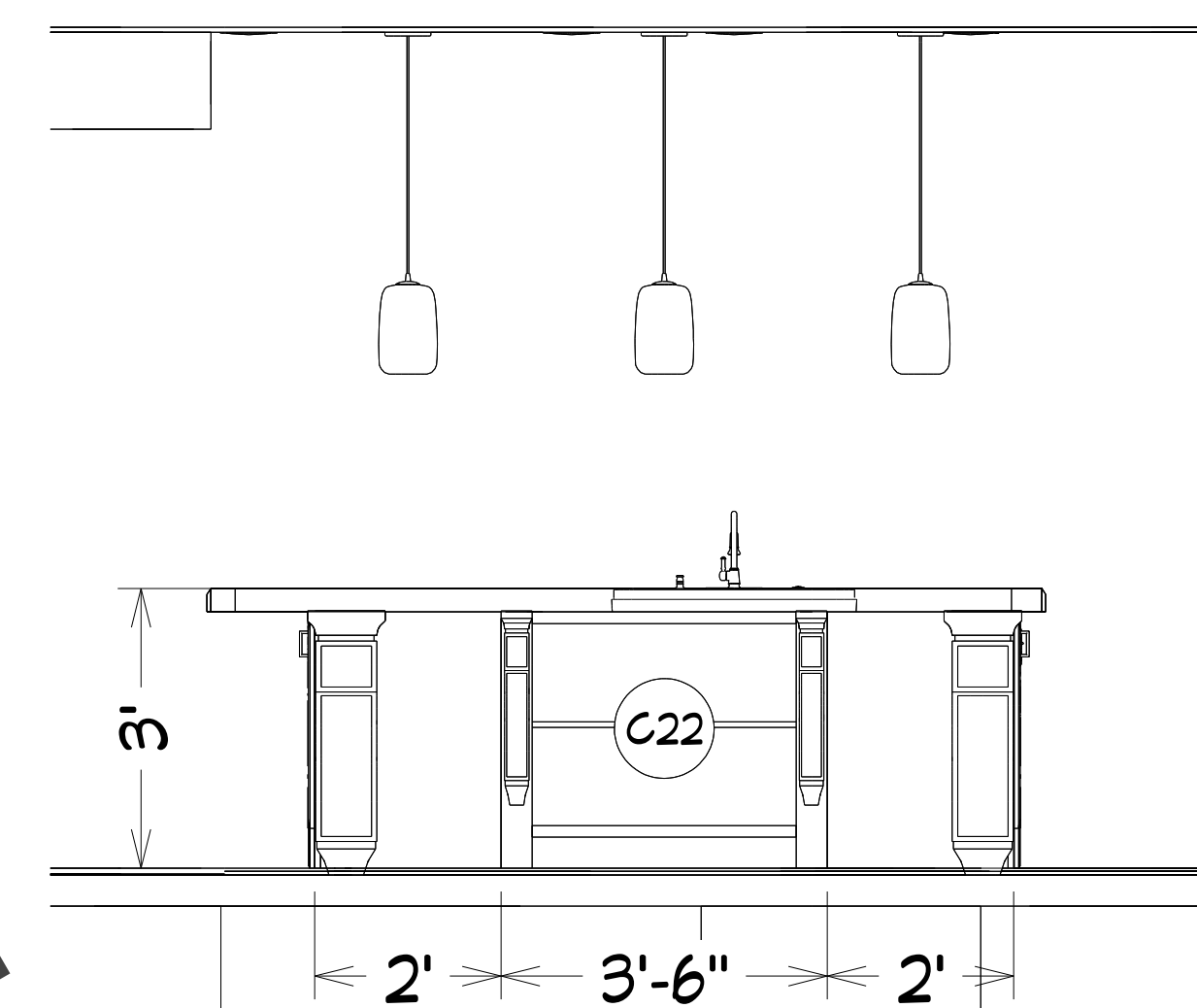
Kitchen Elevation



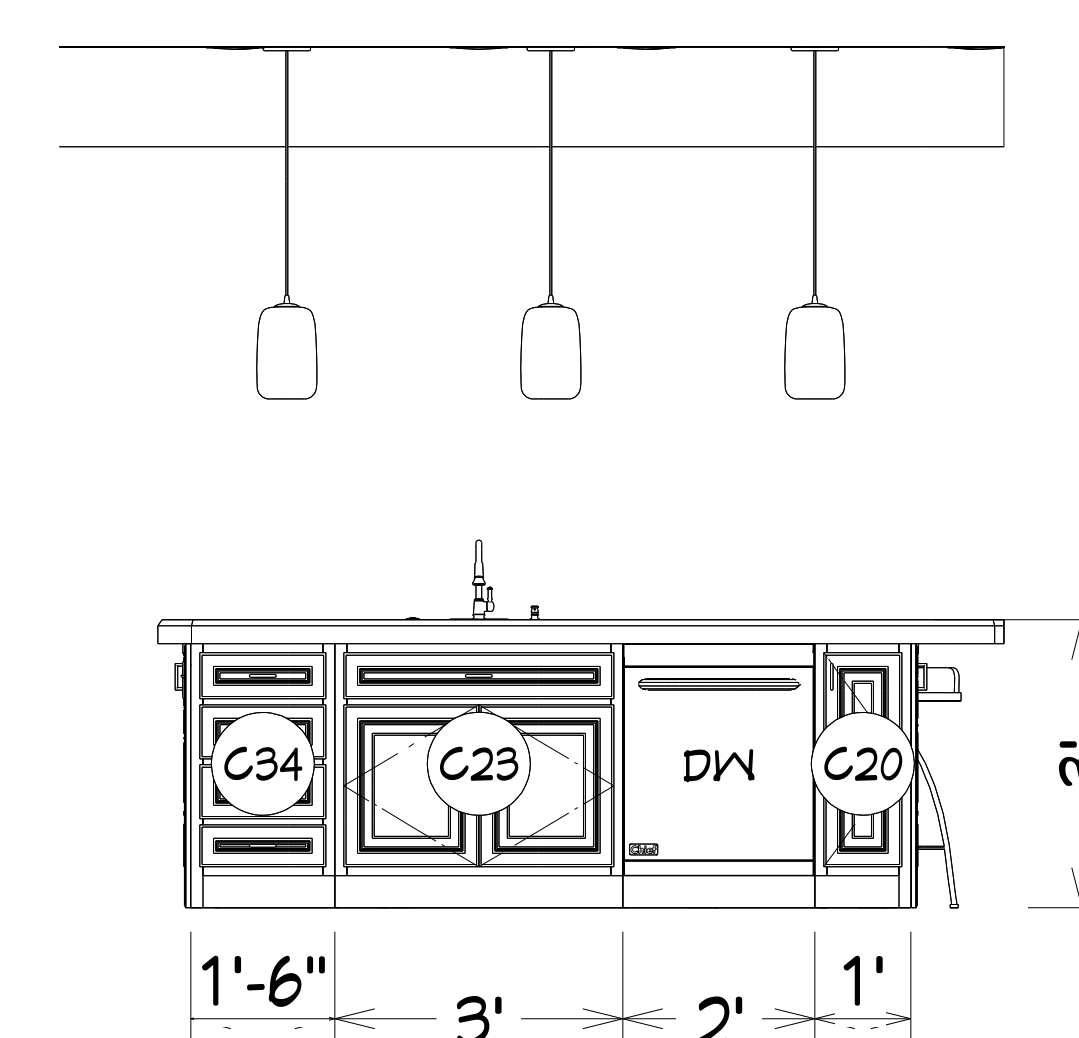
Kitchen Elevation



Kitchen Elevation



Kitchen Elevation



Kitchen Elevation

SAMPLE PLANS  
NOT FOR CONSTRUCTION



GreenLeaf Designs  
Tulsa, OK  
918-524-9721

GreenLeafArchitecture.com

SAMPLE PLAN  
CUSTOM HOME

Stamp:

**Revisions:**

1. NOT FOR CONSTRUCTION
- 2.
- 3.
- 4.
- 5.
- 6.
- 7.

**Print Scale:**

24"x36"

Date:

**Title:**

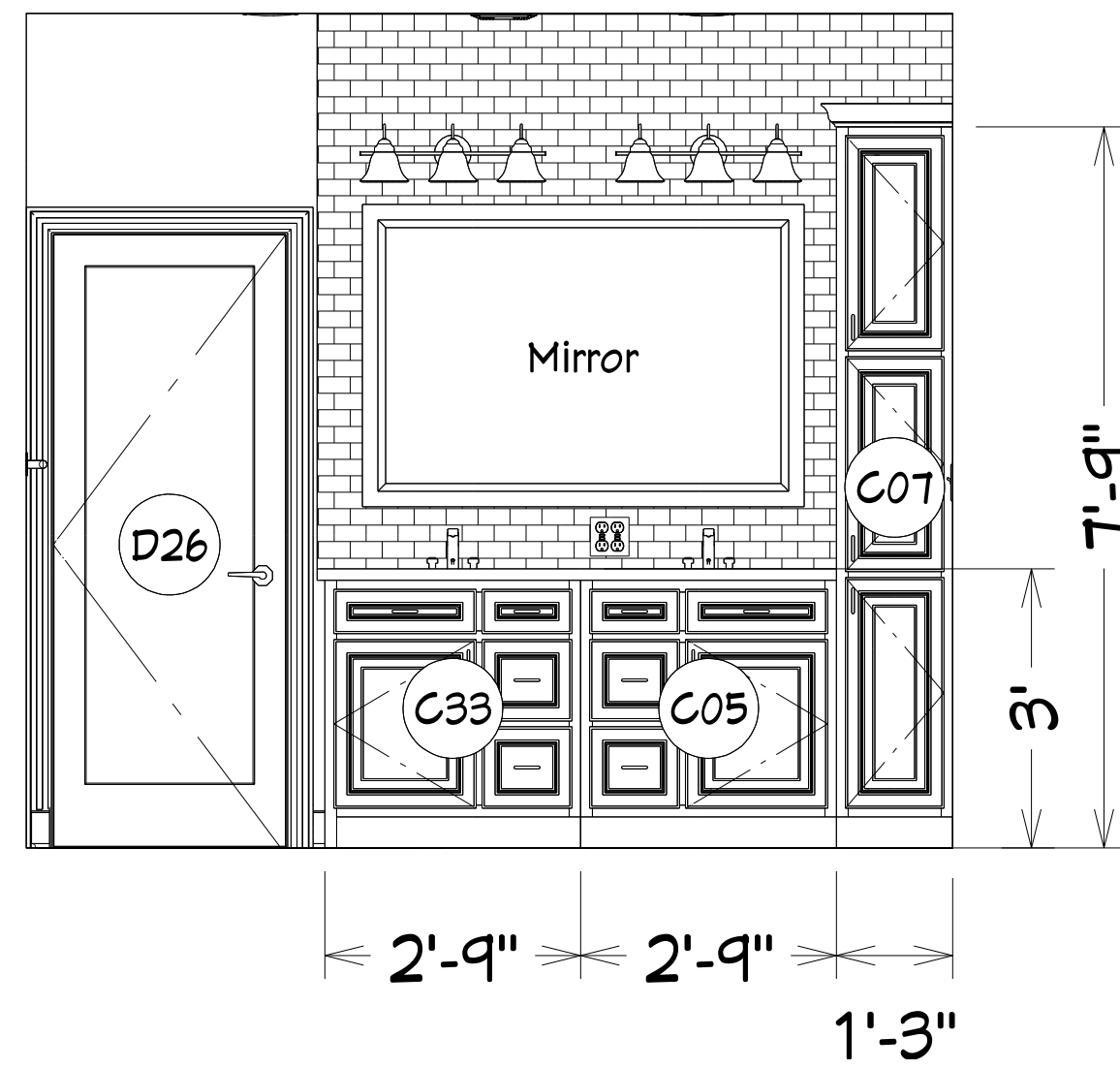
KITCHEN  
ELEVATIONS

Sheet:

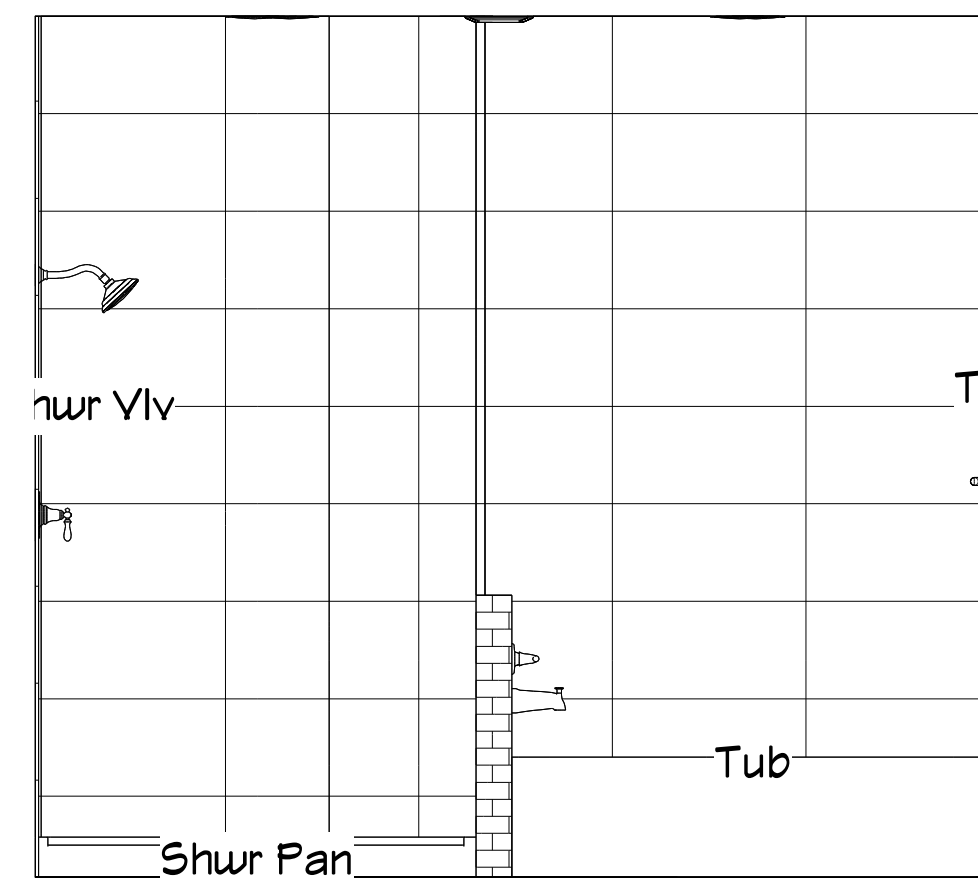
A.7



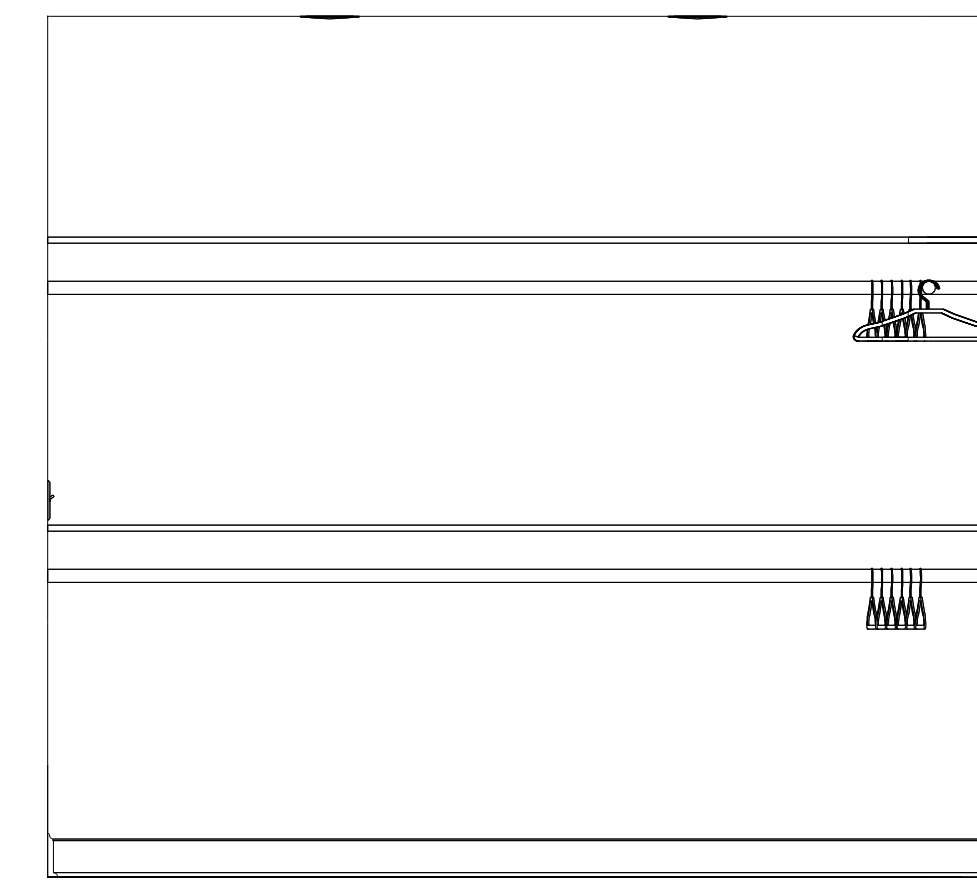
**BATHROOM NOTES:**  
 - Confirm cabinet color and species with Owner prior to ordering.  
 - Confirm cabinet door & drawer styles with Owner prior to ordering.  
 - Install cabinet door and drawer hardware on site.  
 - Cut all cabinet openings on site, see manufacturer appliance specifications.  
 - Trim Moldings include: 3" Crown Molding, 3/4" Scribe, 4" Toe-kick moldings.  
 - Install moldings on site; match cabinet color; confirm profile and dimension with Owner.  
 - Confirm final materials for backsplash and countertop with Owner prior to ordering.



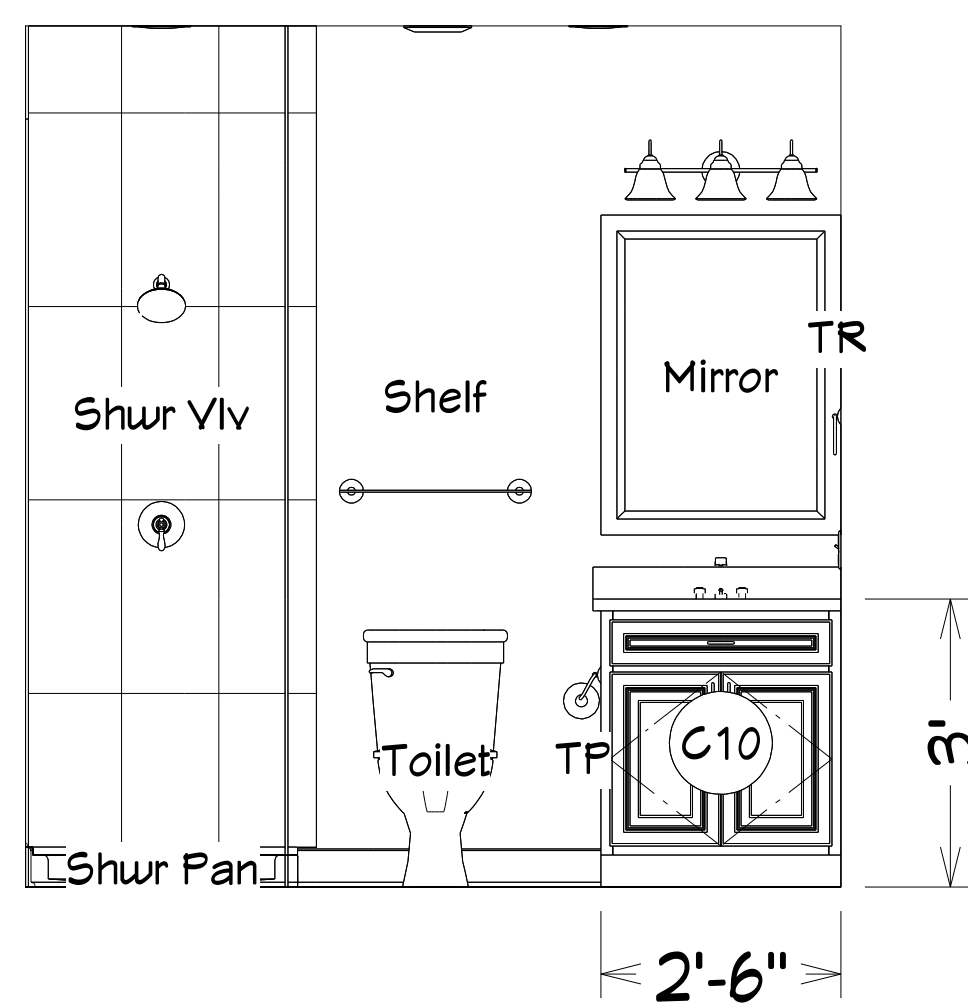
Master Bath  
Elevation



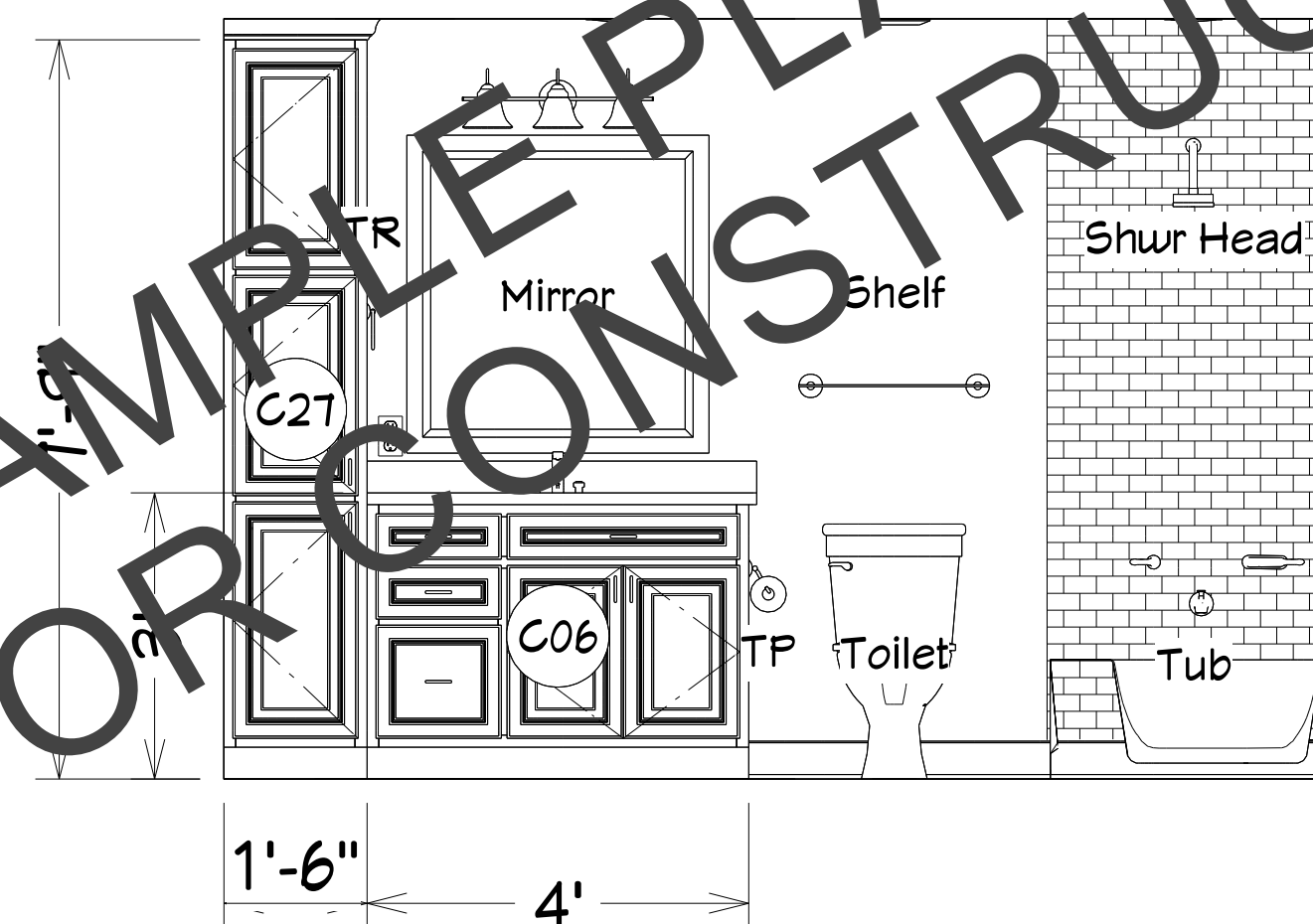
Master Bath  
Elevation



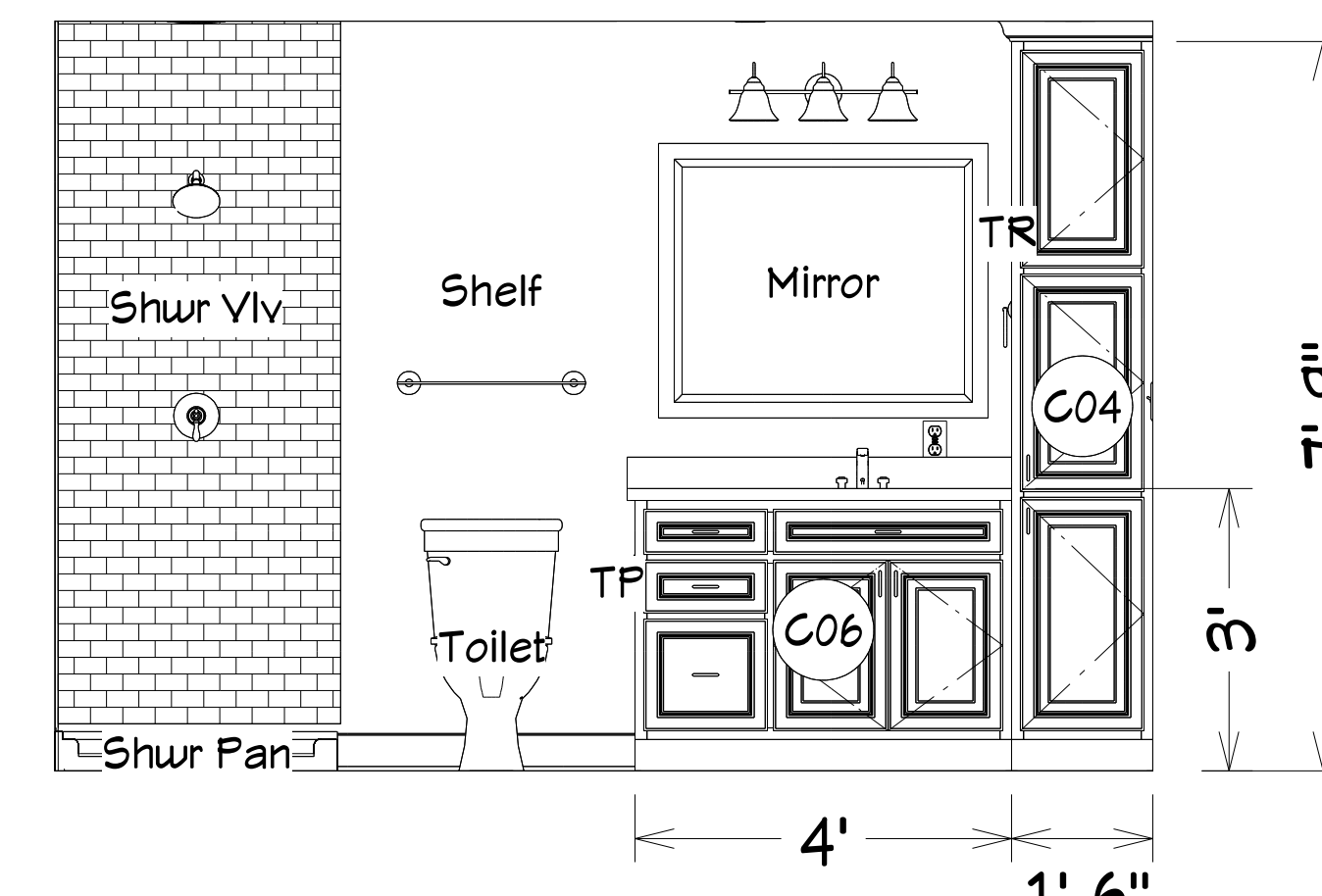
Closet  
Elevation



Hall Bath  
Elevation



Bed 3 Bath  
Elevation



Bed 4 Bath  
Elevation

NOT FOR CONSTRUCTION



GreenLeaf Designs  
Tulsa, OK  
918-524-9721

GreenLeafArchitecture.com

SAMPLE PLAN  
CUSTOM HOME

Stamp:

Revisions:

1. NOT FOR CONSTRUCTION
- 2.
- 3.
- 4.
- 5.
- 6.
- 7.

Print Scale:

24"x36"

Date:

Title:

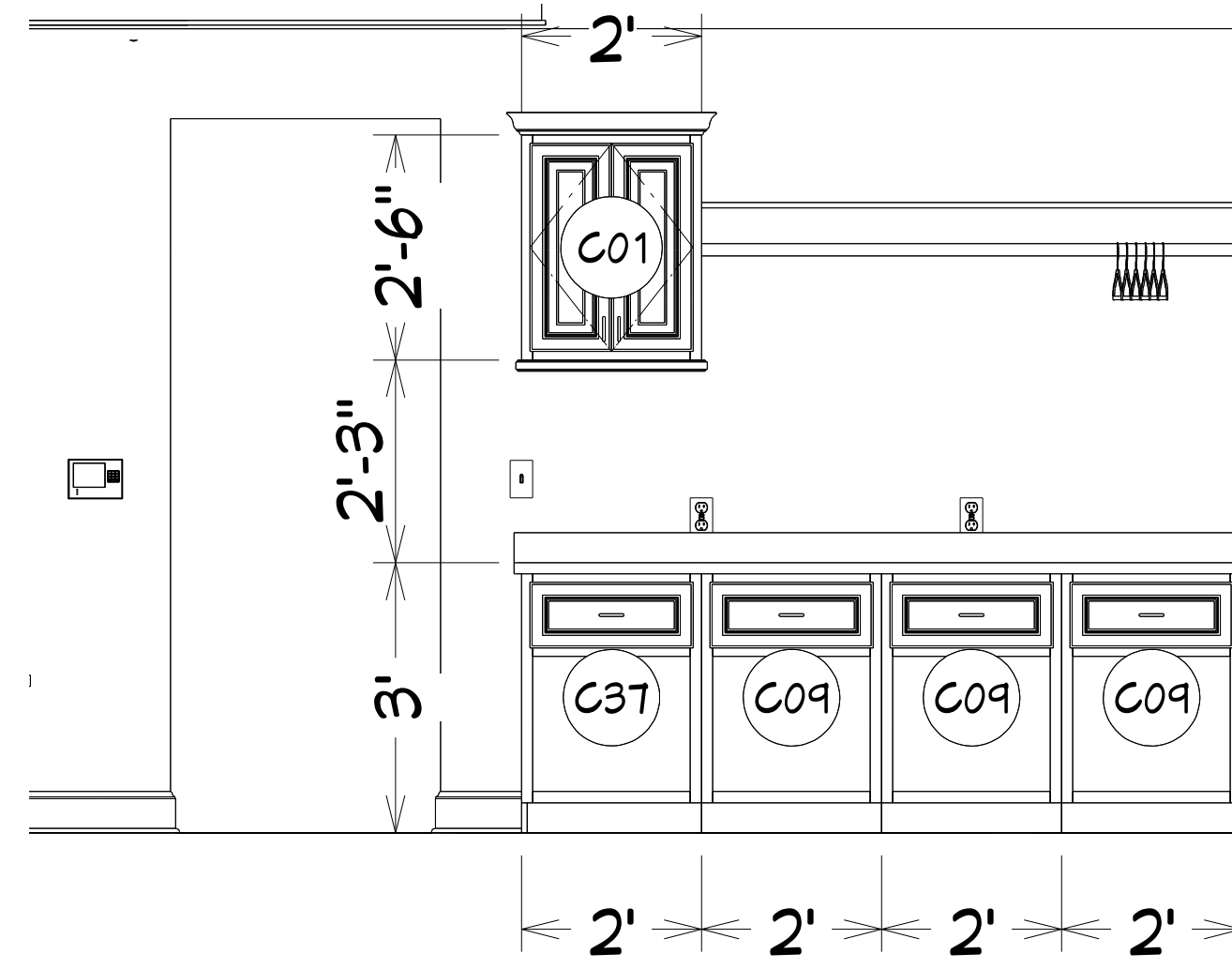
INTERIOR  
ELEVATIONS

Sheet:

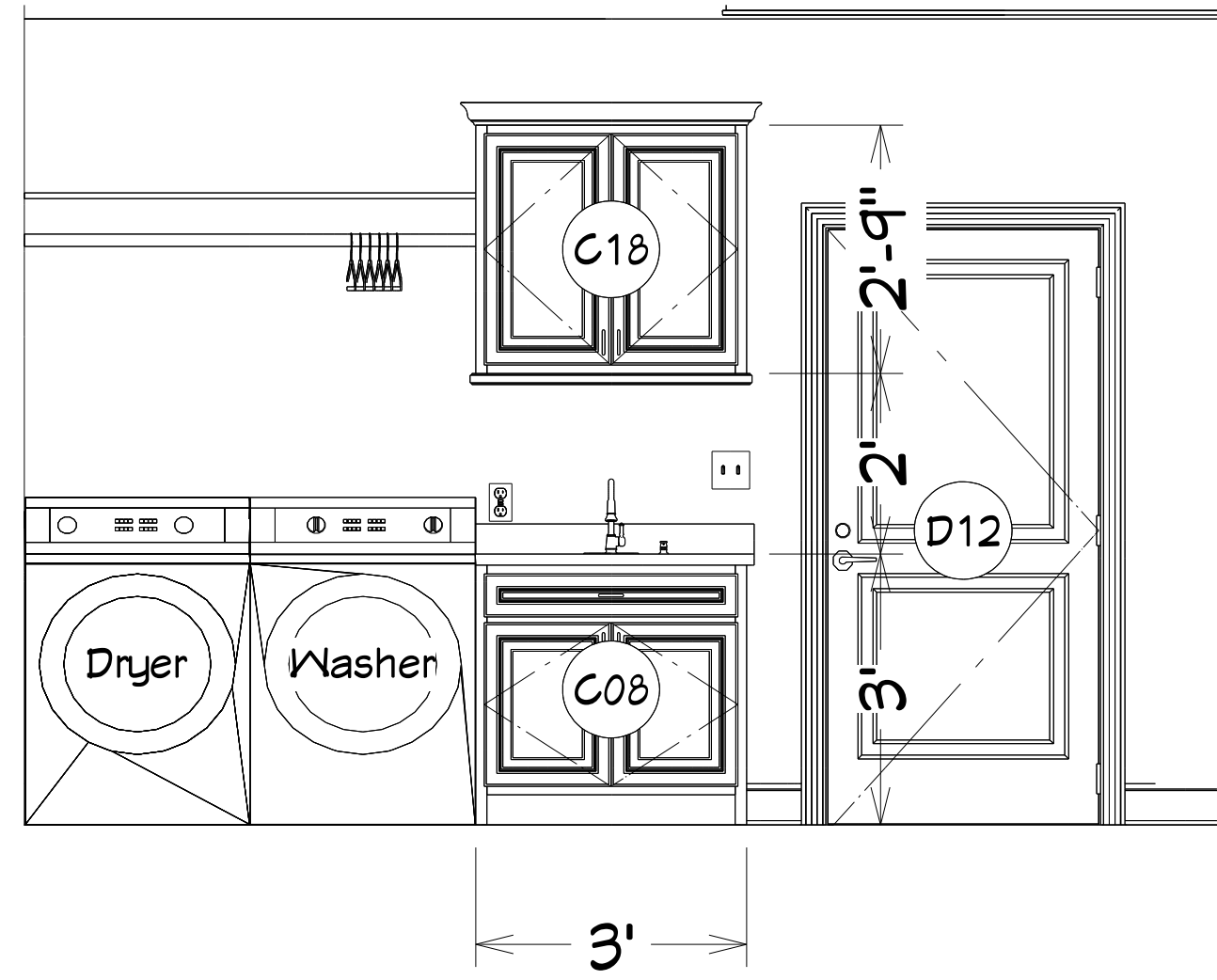
A.8

**LAUNDRY & PANTRY NOTES:**

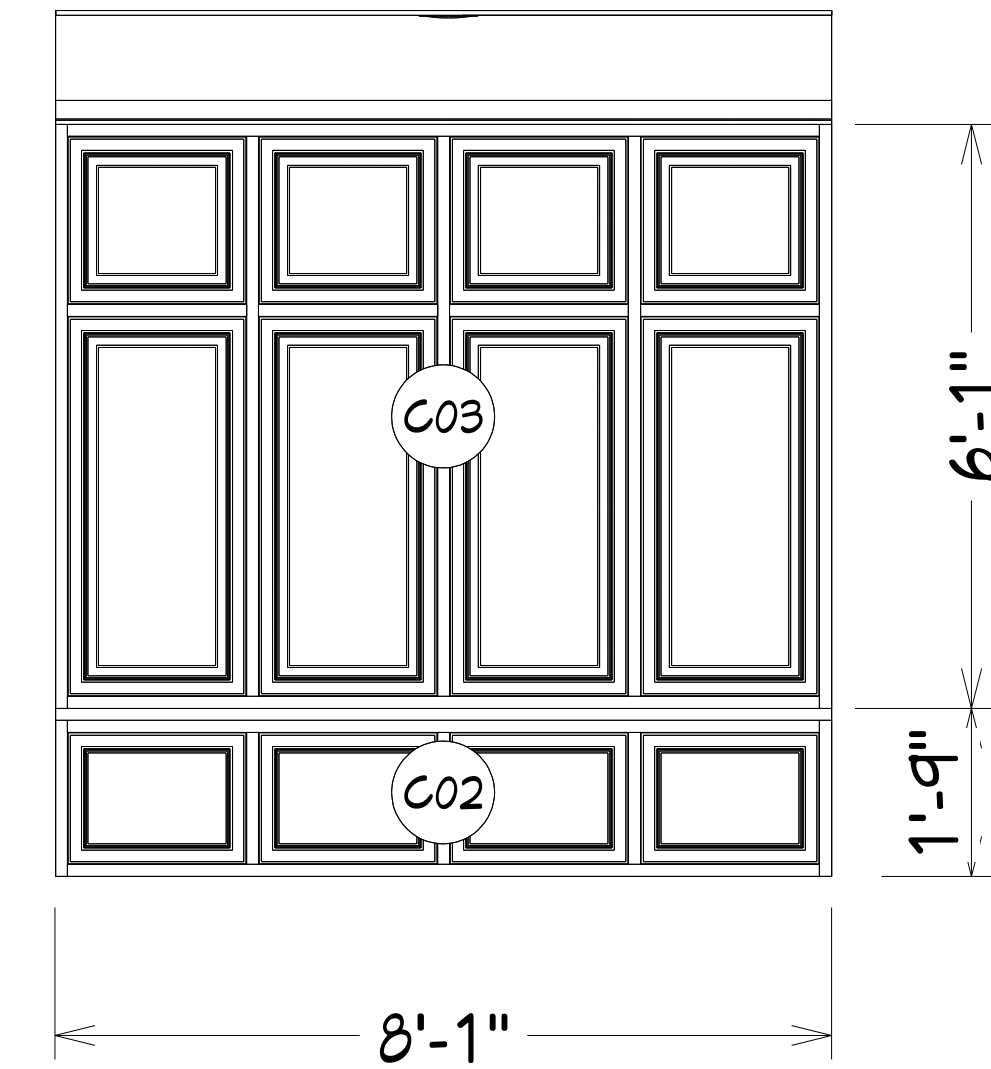
- Confirm cabinet color and species with Owner prior to ordering.
- Confirm cabinet door & drawer styles with Owner prior to ordering.
- Install cabinet door and drawer hardware on site.
- Cut all cabinet openings on site, see manufacturer appliance specifications.
- Trim Moldings include: 3" Crown Molding, 3/4" Scribe, 4" Toe-kick moldings.
- Install moldings on site; match cabinet color; confirm profile and dimension with Owner.
- Confirm final materials for backsplash and countertop with Owner prior to ordering.



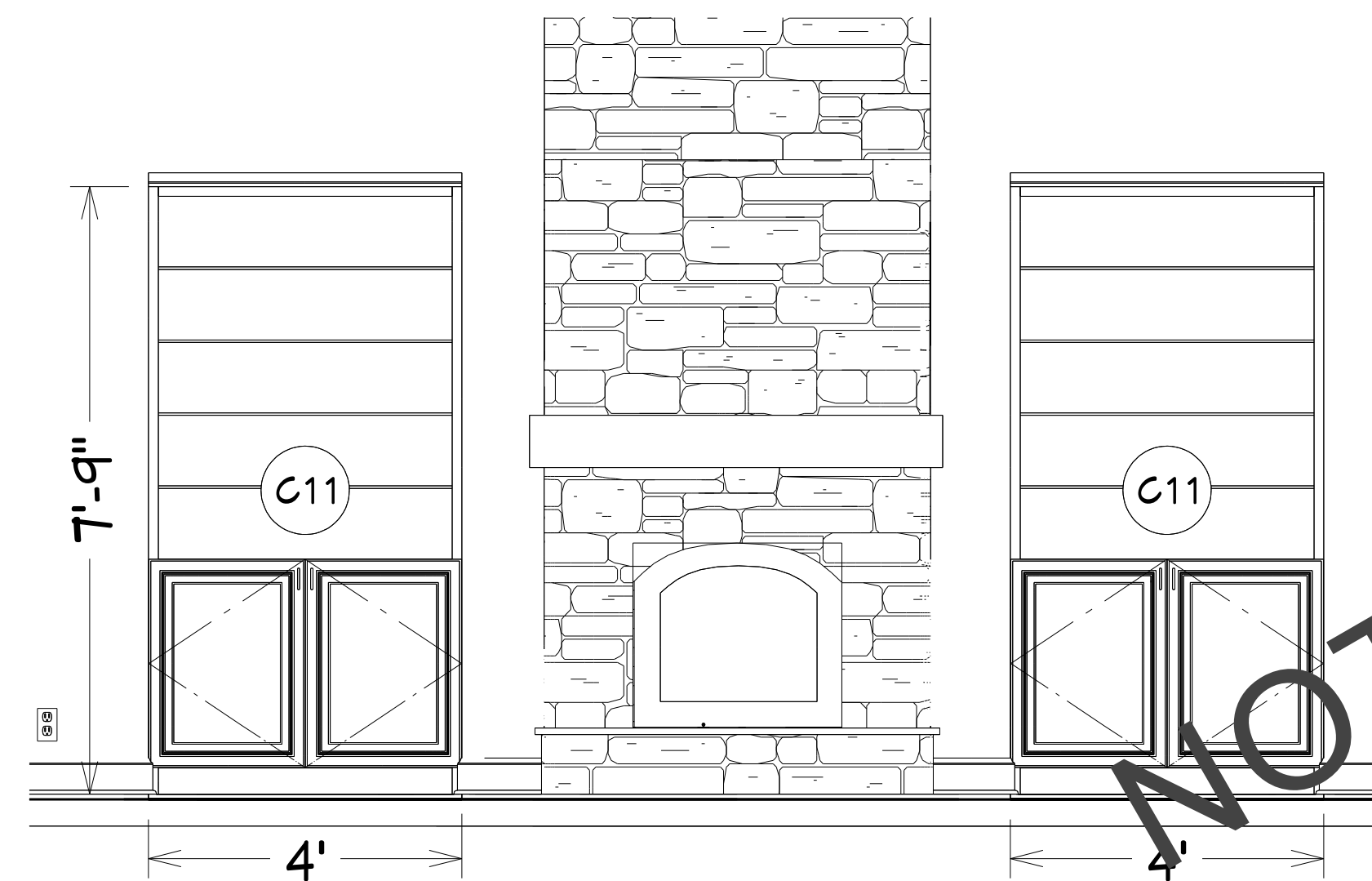
Laundry Room Elevation



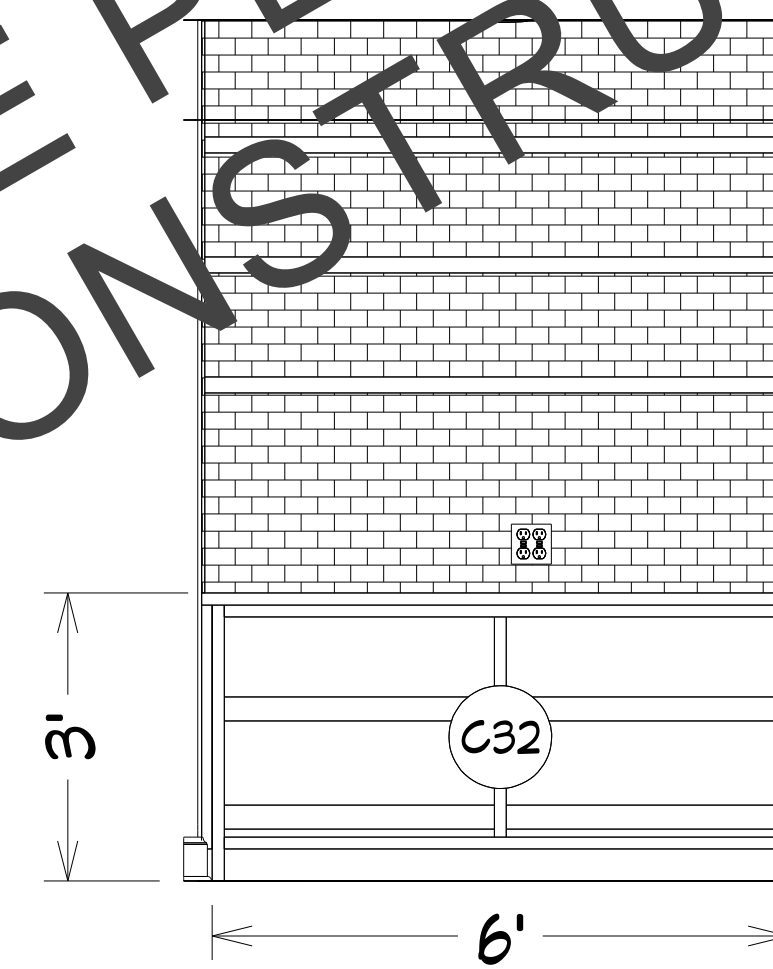
Laundry Room Elevation



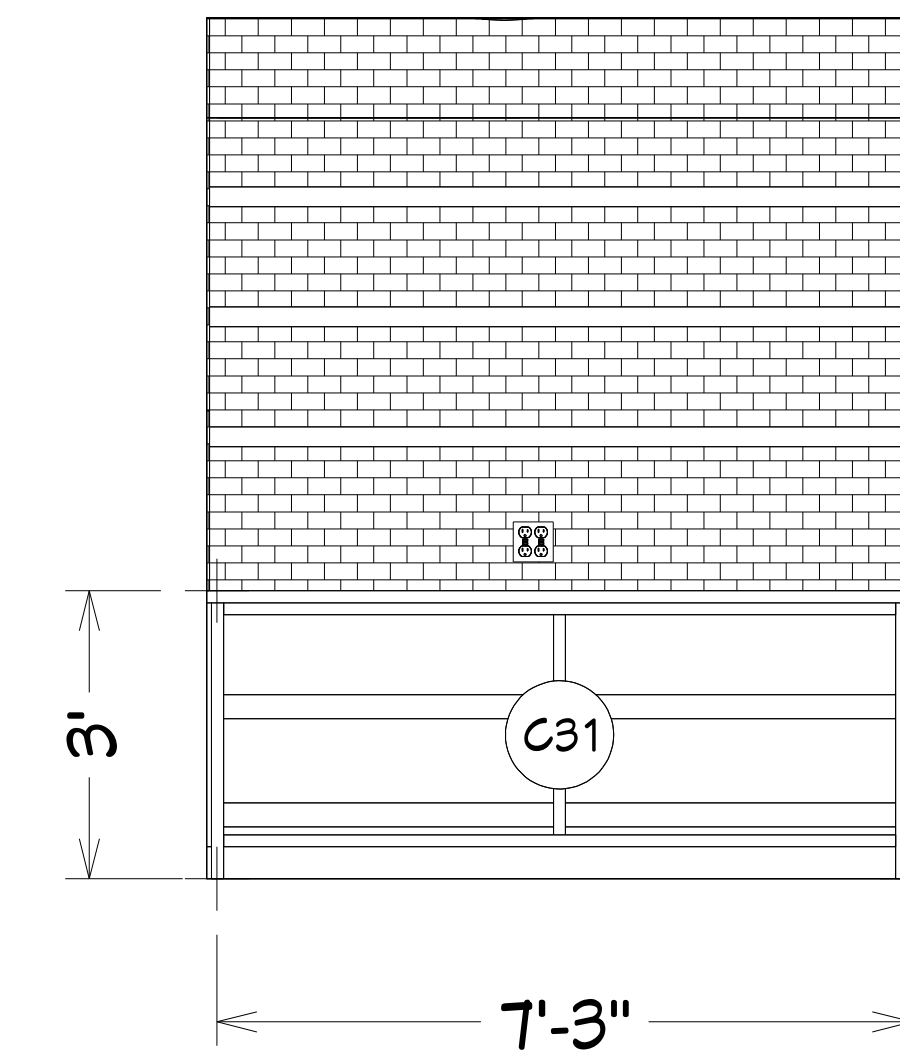
Laundry Room Elevation



Fireplace Elevation



Pantry Closet Elevation



Pantry Closet Elevation

SAMPLE PLANS  
NOT FOR CONSTRUCTION



GreenLeaf Designs  
Tulsa, OK  
918-524-9721

GreenLeafArchitecture.com

SAMPLE PLAN  
CUSTOM HOME

Stamp:

Revisions:

1. NOT FOR CONSTRUCTION
- 2.
- 3.
- 4.
- 5.
- 6.
- 7.

Print Scale:

24"x36"

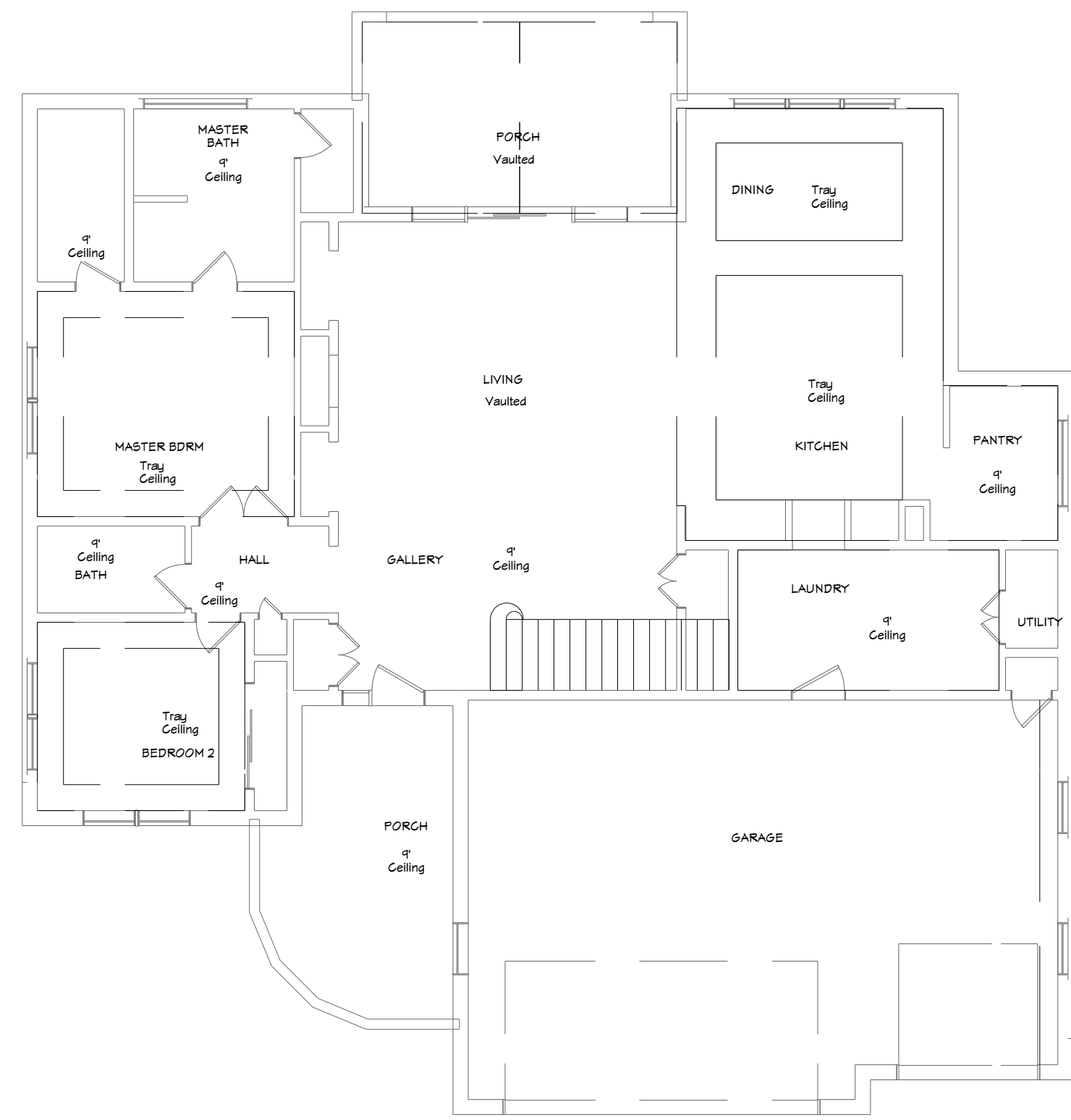
Date:

Title:

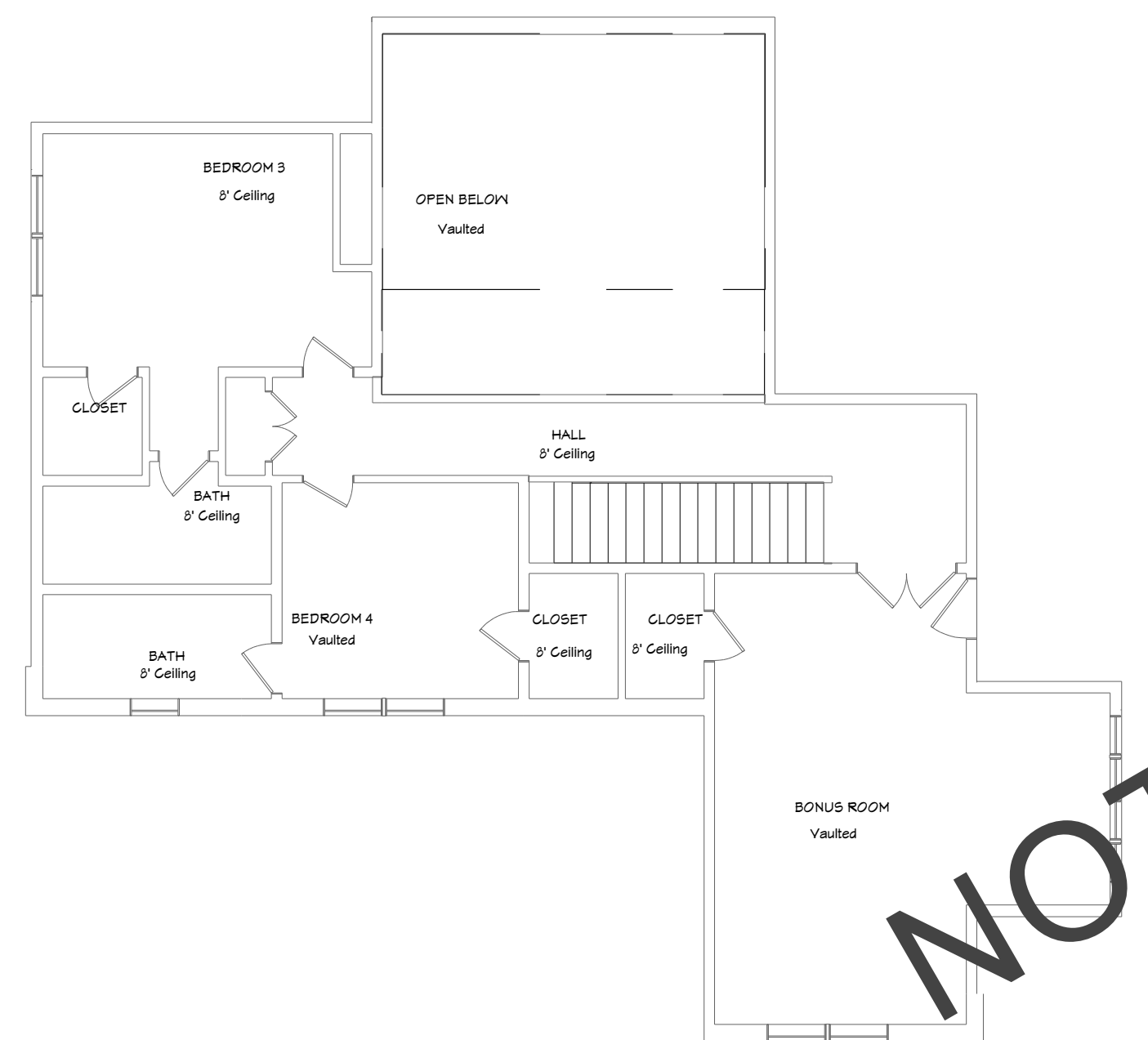
INTERIOR  
ELEVATIONS

Sheet:

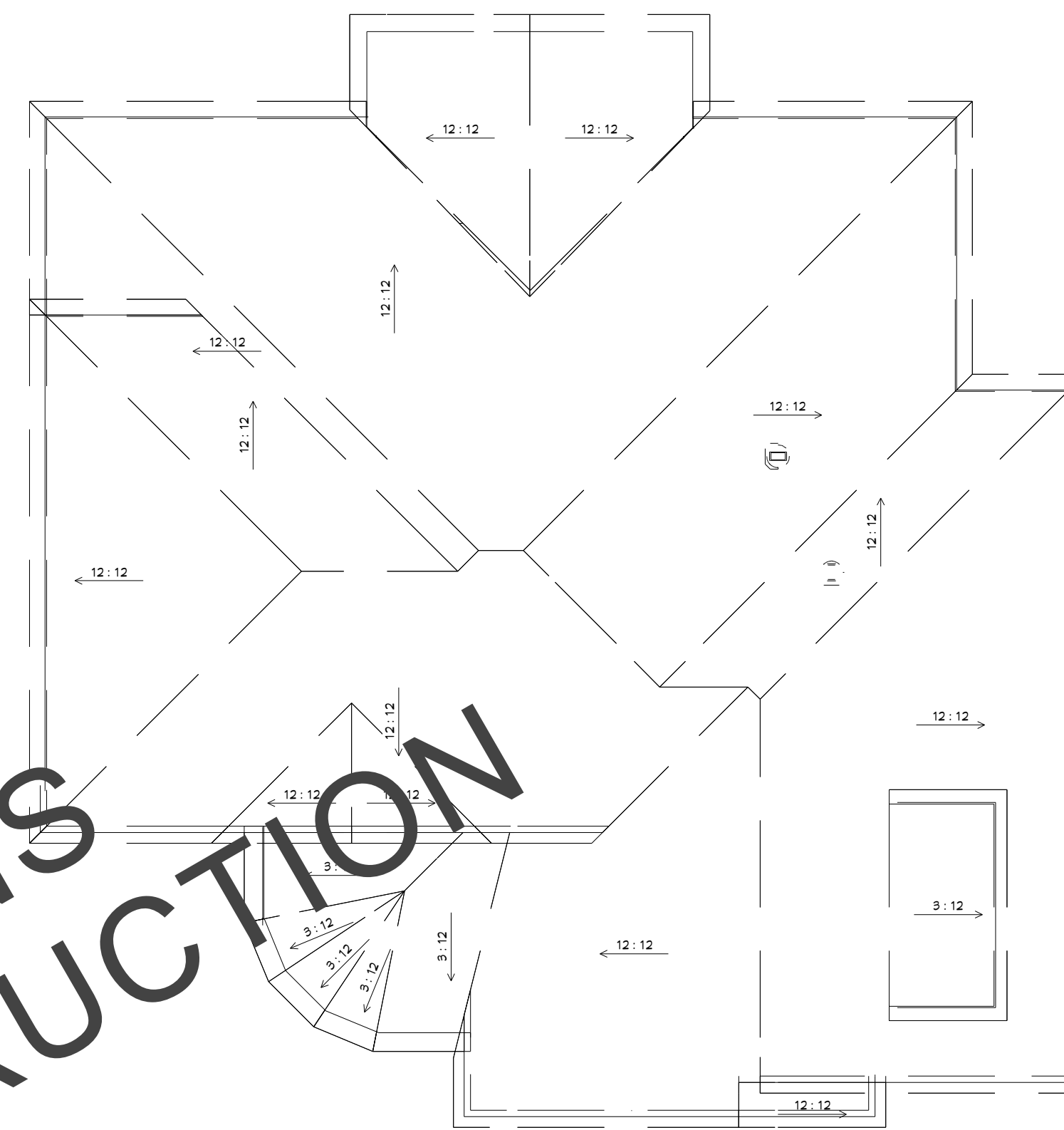
A.9



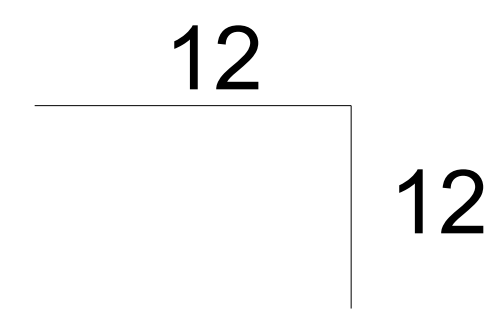
1st Level  
Ceiling Plan  
Scale: 1/8"=1'



2nd Level  
Ceiling Plan  
Scale: 1/8"=1'



Roof Plan  
Scale: 1/8"=1'



ROOF NOTES:  
All roof framing 16" O.C.  
All overhangs 12".  
Install polyisocyanurate foam type insulation at floor and plate lines, openings in plates, corner stud cavities and around door and window rough opening cavities.  
Attic ventilation required.



GreenLeaf Designs  
Tulsa, OK  
918-524-9721

GreenLeafArchitecture.com

**SAMPLE PLAN  
CUSTOM HOME**

Stamp:

Revisions:

1. NOT FOR CONSTRUCTION
- 2.
- 3.
- 4.
- 5.
- 6.
- 7.

Print Scale:  
24"x36"

Date:

Title:  
ROOF &  
CEILING PLAN

Sheet:

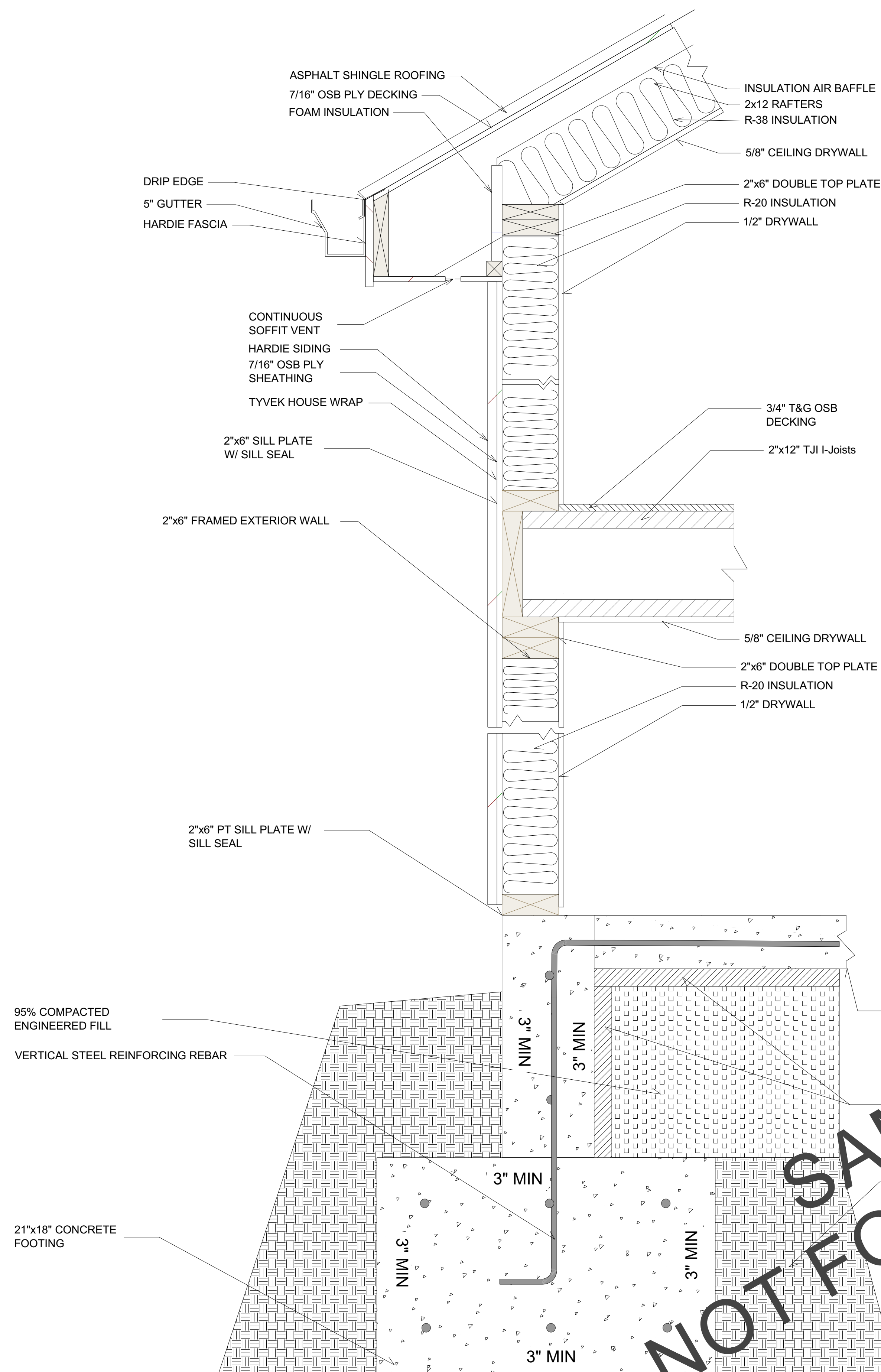
**A.10**



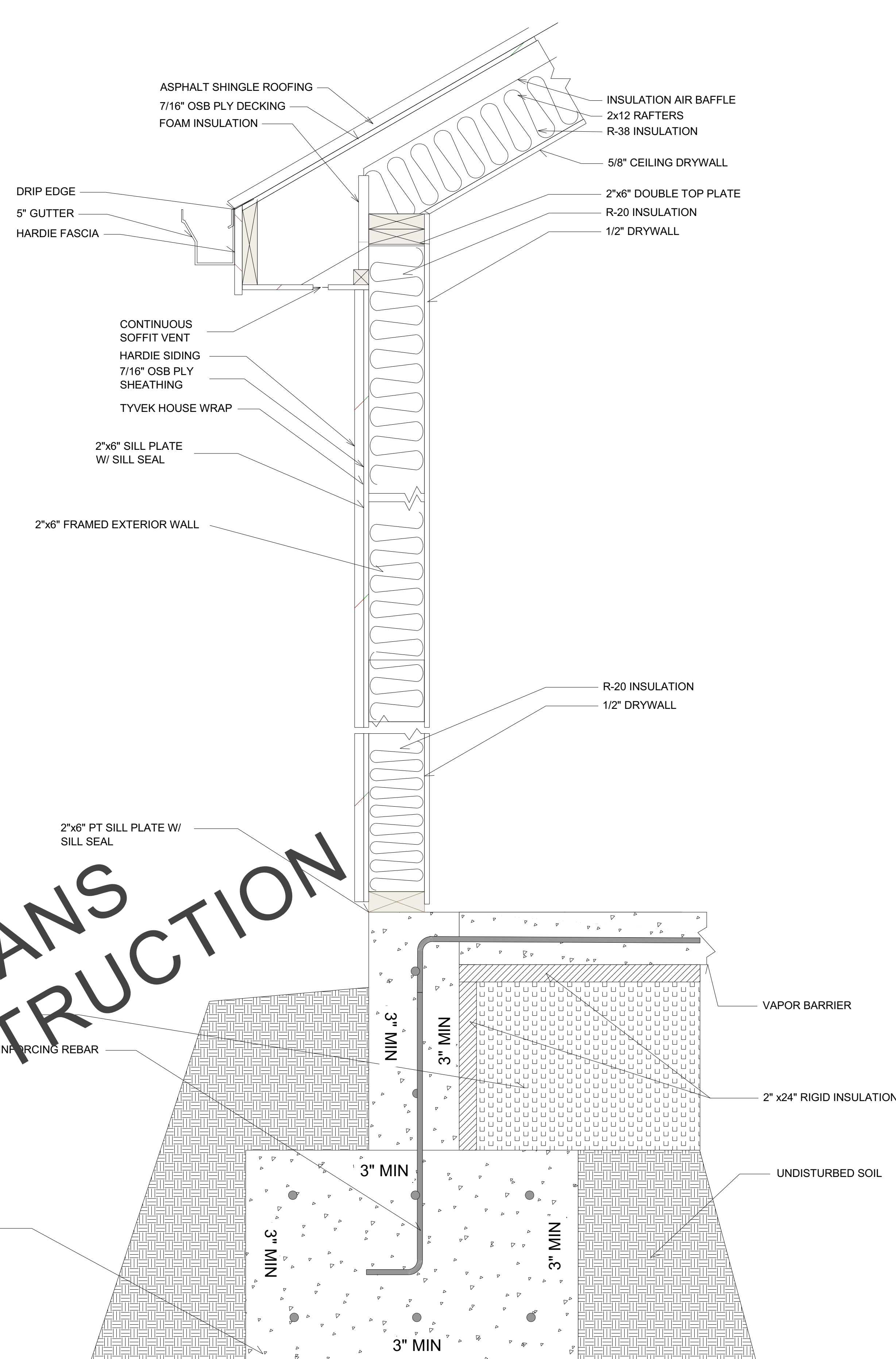
GreenLeaf Designs  
Tulsa, OK  
918-524-9721

GreenLeafArchitecture.com

# SAMPLE PLAN CUSTOM HOME



BS1  
A.11 Building  
Section



BS2  
A.11 Building  
Section

NOT SAMPLE PLANS  
FOR CONSTRUCTION

Stamp:

Revisions:

1. NOT FOR CONSTRUCTION
- 2.
- 3.
- 4.
- 5.
- 6.
- 7.

Print Scale:

24"x36"

Date:

Title:  
BUILDING  
SECTIONS

Sheet:

A.11



GreenLeaf Designs  
Tulsa, OK  
918-524-9721

GreenLeafArchitecture.com

**SAMPLE PLAN  
CUSTOM HOME**

Stamp:

Revisions:

1. NOT FOR CONSTRUCTION
- 2.
- 3.
- 4.
- 5.
- 6.
- 7.

Print Scale:

24"x36"

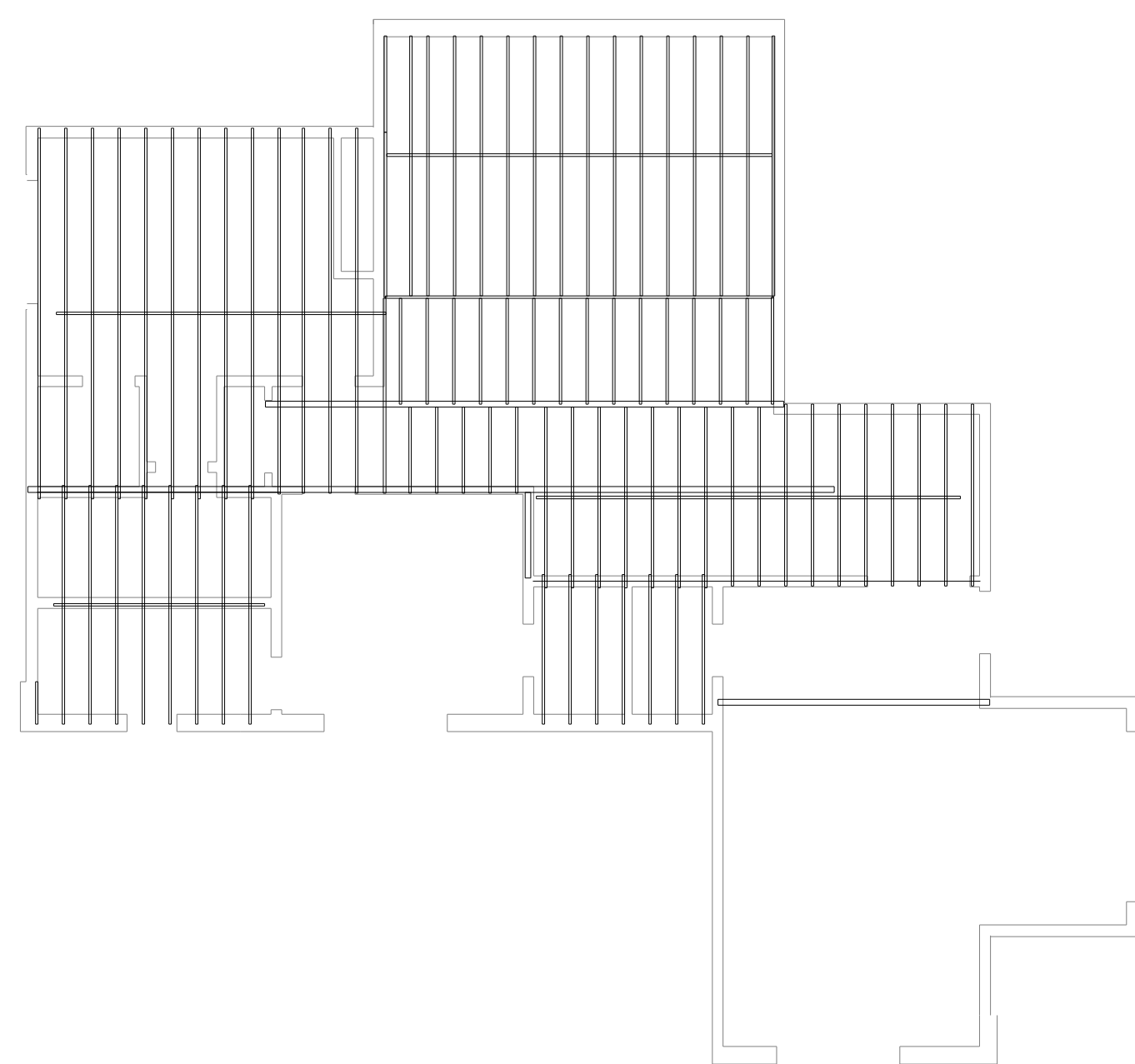
Date:

Title:

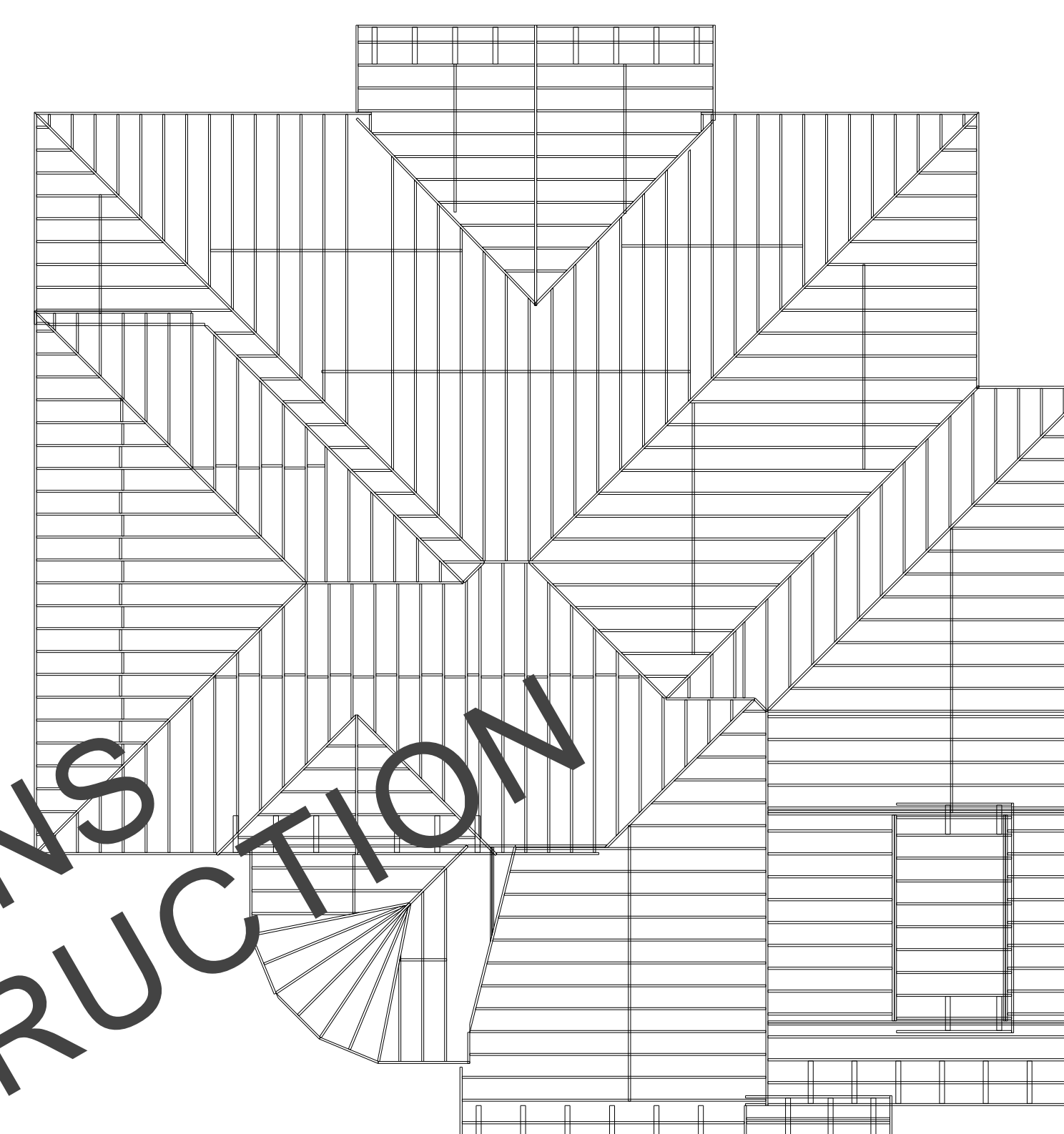
FRAMING PLAN

Sheet:

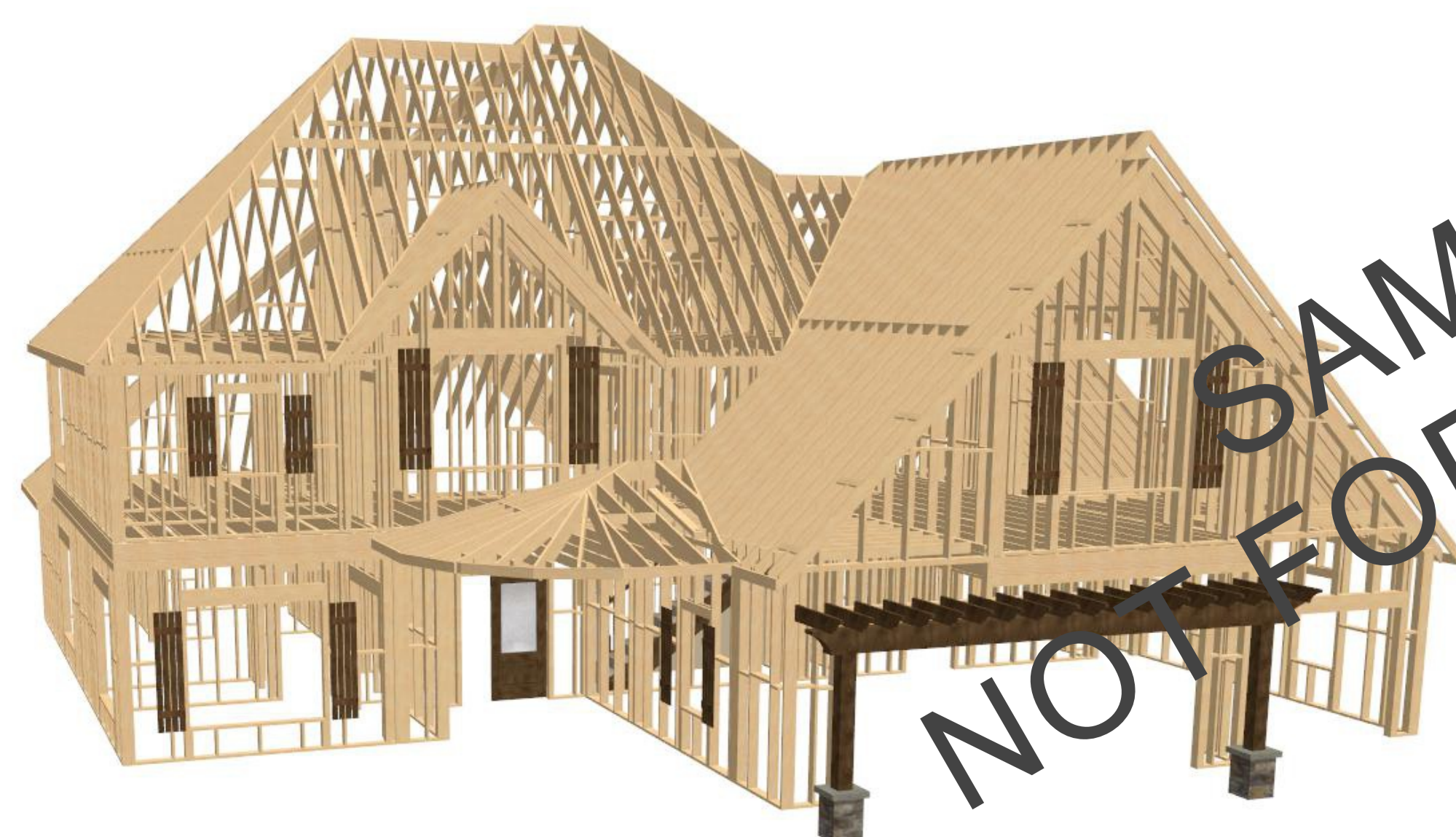
**A.12**



Ceiling Framing  
Plan



Roof Framing  
Plan



**NOT FOR CONSTRUCTION**  
**SAMPLE PLANS**