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PARC LAKE ESTATES DESIGN GUIDELINES

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Stan Stewart
COUNTY CLERK
HARRIS COUNTY TEXAS

Builder Guidelines and Construction Standards For Single-Family Residences

W
Per
Joe Watson
3311 Yupon #309
Houston, Tx 77006

As Adopted
July 5, 2011
by
Parc Lake Estates

2011-99-220 RP

**Parc Lake Estates
Architectural Control Committee
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PARC LAKE ESTATES BUILDER GUIDELINES
*****THESE GUIDELINES ARE SUBJECT TO CHANGE WITHOUT NOTICE*****

**ALL IMPROVEMENTS TO PROPERTY
ARE REQUIRED TO BE SUBMITTED TO:
THE PARC LAKE ESTATES ARCHITECTURAL REVIEW COMMITTEE (ARC)
FOR REVIEW AND APPROVAL PRIOR TO THE INCEPTION OF ANY CONSTRUCTION.**

**FURTHER, IT IS THE APPLICANT'S RESPONSIBILITY TO ENSURE COMPLIANCE
WITH THE LATEST REVISIONS TO THESE GUIDELINES.
COPIES WILL BE MADE AVAILABLE UPON REQUEST TO THE ARC**

PURPOSE OF GUIDELINES

The Design Guidelines have been established for use by third party builders in the Parc Lake Estates community. They are aimed at ensuring an attractive, coordinated physical environment both during and after construction. Design diversity is encouraged in order to create a specific identity for each residence. However, certain standards have been adopted for key elements to provide continuity and to maintain overall quality. The property owner should familiarize himself and his building team with the requirements of the Design Guidelines and confirm that he has the latest revision.

Remember that Parc Lake Estates is located within The City of Houston ETJ and is, therefore, subject to Houston ETJ's guidelines. The City of Houston ETJ, and Harris County, or any other applicable governmental agency, should be contacted at the beginning of the building process to insure compliance with all applicable regulations. Compliance with all governmental regulations is the obligation of the third party builder.

The Architectural Review Committee (the "ARC") reserves the right to modify and change the Design Guidelines as well as grant variances to the Design Guidelines.

For purposes of these Guidelines, the term "dry lot(s)" will be used to refer to lots which do not have a rear yard facing one of the three lakes. The term "waterfront lot(s)" will be used to refer to lots which do have rear yards facing one of the three lakes. The word "lake(s)" will refer to the any or all of the three lakes which are both a detention lake and recreational lake.

Builders within Parc Lake Estates are responsible for compliance with all applicable city, county, state, and federal.

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SECTION 1 – SITE LAYOUT

1.1 GENERAL

The builder/owner is to construct homes and maintain individual lots in a manner prescribed by the Declaration of Covenants, Conditions and Restrictions, the recorded plat/re-plats, rules and regulations of the Parc Lake Estates Homeowners Association, Inc. and these Design Guidelines.

Compliance with building setback lines, lot layouts, driveways, sidewalks, garages, and etc. is required of the builder/owner. Ties to utilities are the responsibility of the builder/owner.

The builder/owner shall comply with any and all ordinances that may be in effect from the City of Houston ETJ, Harris County and/or any other governmental agency having applicable jurisdiction.

1.2 Building Setbacks

Certain front, rear and side set-backs are shown on the recorded final plat for, "Parc Lake Estates."

All set backs are as follows:

1. Side yard set-backs will be 5 feet on all waterfront lots and 5 feet on all dry lots.
2. Front yard set-backs will be 25 feet on all lots
3. Dry lots will have a rear yard set-back of 20.
4. Waterfront lots will have a rear yard set-back of 20 feet. In no event may any structure taller than 5 feet (except for wrought iron fences which have been approved by the ARC) be built closer than 20 feet from the rear property line.
5. As Parc Lake Estates is within the Houston ETJ, to the extent that the City of Houston ordinances are more restrictive they will prevail.

1.3 Driveways

The builder is required to construct a driveway into the street right-of-way to connect to the existing street. Such driveway shall be placed in accordance with the City of Houston ETJ and Harris County requirements.

Builders are responsible for the design, installation, and cost of all driveways. Builders will make every practical effort to preserve healthy trees in the location and construction of the driveway.

Driveways may be paved with concrete or unit masonry although use of materials should be consistent with the architectural character of the entire neighborhood. The use of stamped or colored concrete, interlocking pavers, brick pavers, and brick borders is encouraged, but must be approved by the ARC. In some cases, the ARC may approve crush or decomposed grant (or similar materials) to preserve health of trees. Asphalt paving is prohibited.

Driveways should not be constructed over inlets or manholes.

1.4 Pools & Spas

All swimming pools, spas/and or hot tubs as well as their associated installed equipment must be approved by the ARC as to design, location, color, materials, etc. No swimming pools, spas/and hot tubs will be allowed to be built in such a manner that may negatively impact the lake edge wall or the rear lot retaining walls. A signed, stamped drawing from a professional, licensed structural engineer will be required and presented to the ARC prior to authorization by the ARC. The ARC has the unconditional right to disapprove any engineering design or require

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an alternate design by the same or different engineer all at the expense of the builder/owner.

Above ground pools are not permitted. However, above ground spas and/or hot tubs are permitted with the restriction that above ground spas and/or hot tubs for dry lots shall not be visible from streets or common areas. Swimming pool appurtenances such as rock waterfalls, slides, and diving boards must not be over six feet (6') in height.

For dry lots, skimmer nets, long handle brushes, pool chemicals, filters, pumps, heaters, plumbing, etc. must be properly screened or stored so as to not be visible from public view. For waterfront lots, every reasonable effort will be made to screen from public view skimmer nets, long handle brushes, pool chemicals, filters, pumps, heaters, plumbing, etc.

On dry lots, swimming pools, spas and accompanying decks and equipment must be screened from public view, including public streets, and other common areas and on waterfront lots every reasonable effort will be made to accomplish same.

All other structures including gazebos, storage buildings, playhouses, decks, greenhouses, trellises, etc. must be approved by the ARC and may require screening from public view as well.

Pool walls shall not encroach on any utility easement. If pool plumbing is required in the utility easements, contact the appropriate utility company before digging. Wood or concrete pool decks may be placed on utility easements, but are subject to removal by utility companies in the future.

1.5 Fences

1.5.1 ARC Approval:

All fencing and/or modifying of existing fencing requires ARC approval.

All fencing must be kept in good repair and appropriately maintained.

Neighbors are encouraged to consult with each other and work together in a harmonious and considerate fashion on all matters and particularly as it relates to fencing and screening. The ARC will take into consideration the mutual desires of adjacent neighbors who have found agreement among themselves.

1.5.2 Dry Lots:

1. All rear and side yards are required to be fenced upon the completion on the home. Side yard fencing must be wood as described herein below. Rear yard fencing may be wrought iron or metal tubular material of a design, style, location, material, and color as approved by the ARC. Currently approved wrought iron fence material is Secure Weld Plus (Vista Style) manufactured by Merchants Metals. You may wish to contract the ARC for pre-approved design/materials as the currently approved fence material may change. If rear yard fencing is wood, it must be constructed as described herein below.
2. A minimum fence setback of ten feet (10') from the front facade of the house is required unless otherwise approved by the ARC.
3. A maximum fence height of eight feet (8') is allowed.
4. Wood fences are only to be constructed with 1" x 6" pickets of pine, cedar or spruce material. Posts and rails may be constructed with wood or metal material. On all lots with wood fencing visible from the street, the fence must be constructed with the finished side out. A horizontal top cap of 2" x 6" with an adjacent 1"x4" trim

is required.

5. Posts and rails are not to be seen from the street or any common area. In addition, all lots with wood fencing abutting a storm sewer easement must also be constructed with the finished side out.
6. Diagonal and horizontal fencing is strictly prohibited. No "used" material may be used to construct any fence.
7. All fences are to be kept in good repair. Staining or sealing of wood fences requires ARC approval.
8. Electric meters, A/C units, and other facilities located on the street side of a lot are to be placed behind the fence or screened by landscaping.
9. Side yard gates are discouraged on the street side of a lot.
10. All fencing is to be staggered or stair-stepped down slopes. The tops of these fences are to be level with the horizon. Height levels should be changed at normal column spacing.
11. Notwithstanding anything foregoing which might be to the contrary, the following will apply. All rear yard fences for lots 11 through 40 in Section 1 will be placed adjacent to the lot side edged of the rear yard stone retaining wall. Lots 41 through 45 in Section 1 which are adjacent to Pine Drive must be wood fences, as described herein below and placed immediately inside the rear lot property line, not on the rear lot property line. Depending on the home design and due to special lot circumstances, special fencing requirements will be necessary and approved by the ARC for lots 1 through 3, and lots 45 through 49, and lot 56 of Section 1. Note that a masonry wall is being built along the rear of lots 3 through 10, Section 1 and therefore no wood or wrought iron rear lot retaining wall will be required.

1.5.3 Waterfront Lots:

1. Note that notwithstanding that lots 11 through 17 of Section 1 have rear lots which face the Harris County detention pond lake, for purposes of these Builder Guidelines, these lots are considered to be Dry lots.
2. No wood or opaque fencing is allowed.
3. All fencing will be wrought iron or metal tubular material of a design, style, location, material, and color as approved by the ARC. Currently approved wrought iron fence material is Secure Weld Plus (Vista Style) manufactured by Merchants Metals. You may wish to contract the ARC for pre-approved design/materials as the currently approved fence material may change.
4. Rear yard fencing, if constructed by the builder/owner, will be approximately parallel to the water edge and may be placed on closer than 10 feet from the land side edge of the lake edge wall.
5. A minimum fence setback of ten feet (10') from the front facade of the house is required unless otherwise approved by the ARC.
6. All fencing is to be staggered or stair-stepped down slopes. The tops of these fences are to be level with the horizon. Height levels should be changed at normal column spacing.

7. The builder/owner will provide side yard fencing prior to the time of the earlier of sale or occupancy of the home. All waterfront homes will have side yard fencing which will extend to the water side edge of the lake edge wall.
8. Side yard fencing can be no taller than six (6) feet. If a rear yard fence is used, the six foot side yard fence will transition to four (4) feet near the rear yard fence. All rear yard fences will be four (4) feet.
9. All fences are to be kept in good repair.
10. Hedgerows, if used for screening purposes, are to be planted inside the fence and are not to exceed four (4) feet in height.

1.6 Lot Drainage

It will be the responsibility of each builder to provide adequate drainage for each lot in conformance with the drainage plan so as to not negatively impact other lots.

The builder must establish a drainage pattern upon completion of the house to insure that each lot has positive drainage away from the house foundation and drain to an adjacent street or common area.

While the builder must establish an appropriate drainage pattern upon completion of the house, it is the homeowner's responsibility to maintain this drainage pattern and not alter the flow of water from their lot. Any changes in the drainage plan must have ARC approval.

A drainage system has been built along the rear of lots 11 through 44 of Section 1. Builder/owners and home owners must respect the established drainage system and not modify it in any way that might cause water to either run over the back property line or onto their neighbor,s property. The rear lot drainage of all waterfront lots is planned to drain into the adjacent lake.

SECTION 2 - ARCHITECTURE

2.1 General

The following guidelines are not intended to limit the creativity of the architects or builders in the design or construction of homes in Parc Lake Estates. They are intended to provide a basis for design concepts, forms, and materials to create a comfortable living environment while fitting into the overall sense of community.

The builder/owner shall be responsible for installation and maintenance of the area within the public street right-of-way (between the back of the street curb and property lines).

Each builder/owner shall be responsible for street cleaning and trash pickup in the area immediately adjacent to where the home is being constructed.

2.1.1 Minimum Floor Area

The following floor area requirements must be adhered to unless otherwise approved by the ARC. These requirements meet or exceed the minimum requirements set forth in the Declaration of Covenants, Conditions, and Restrictions and may be modified by the ARC.

The floor area is to be calculated as the total square footage of the air-conditioned floor area of any single-family residence exclusive of open porches, garages, or breezeways.

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All residences constructed shall have a minimum floor area of 2,800 square feet for a one story and a minimum of 3,300 square feet for a two story. If the square footage calculation falls within one percent (1 %) of the square footage requirements, a variance may be granted by the ARC.

2.1.2 Site Massing and Exterior Elevations

It is preferred that corner lots located at the principal entry of a neighborhood contain a single story residence. Because of its high visibility from the adjoining collector street, the ARC will exert strict control over site elements such as exterior materials, residence orientation and driveway location.

Where a single story occurs next to a double story residence, the common single story elements should be adjacent to each other. Whenever possible, all single story residences should include some variation of the ridge line.

2.2 Elevation Repetition

Location of house designs should be carefully reviewed to avoid excessive repetition in the street scene. The intent is to avoid the negative "look-alike" effect of frequent repetition, but still allow sufficient latitude in satisfying market demand.

- a. When building the same plan, different elevation, on the same side of the street, two (2) lots must be skipped and a different color brick used
- b. When building the same plan, same elevation, on the same side of the street or both sides of the street, four (4) lots must be skipped and a different color brick used.

The ARC reserves the right to reject an elevation that closely resembles that of a nearby house or in any way detracts from the overall street scene. Identical uses in brick type, color and siding color is generally prohibited on homes that are adjacent to one another.

2.3 Exterior Materials

Samples of all finish materials must be submitted by the builder to the ARC for approval.

Soft subdued paint colors as approved by the ARC should be used. Bold primary colors are prohibited. Each builder is required to submit a color palette to the ARC for approval.

Brick and stone selections must be approved by the ARC prior to installation. Repetition of Masonry, as defined below, materials will not be permitted on adjacent houses.

Unless otherwise approved by the ARC, at least fifty (75%) percent of the exterior walls, excluding windows and gables, must be of Masonry construction.

In Masonry construction, all mortar joints are to be tooled with mortar color complementary to the brick color.

Gable ends of a uniform material tend to be more appealing than those that change at the eave line and are strongly encouraged.

High contrast trim or material variation should be avoided in favor of those that are chosen to blend the elements and color.

"Masonry", as defined for purposes of these Design Guidelines, shall be considered materials of brick, stone, stucco or a combination of the same. Hardi-Plank® siding is not considered a masonry product.

No aluminum siding shall be permitted as an approved exterior material in Parc Lake Estates.

Roofs on all buildings in Parc Lake Estates shall be covered with fiberglass composition

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shingles with a life of no less than twenty (20) years. The color of any shingles shall be of wood tone, earthtone or in harmony with earthtones and shall be subject to the approval of the ARC.

Any other type of roofing material may be used only if approved in writing by the ARC prior to installation. All residential dwellings constructed on the lots in Parc Lake Estates shall have a cast stone address plaque installed into the front elevation thus giving the community a consistent theme for such plaques. The ARC prior to installation must approve any other type of address plaque. No window in any residential dwelling or other approved improvement that is visible from any other lot, residence, street or common area may be covered with any aluminum foil or other reflective material. Window coverings must be compatible with the design and color of the residence and the overall appearance of the community. The ARC shall have the sole authority to determine whether particular window coverings are compatible with the design and color of the residence and the overall appearance of the community. Residents are strongly encouraged to use window covering materials which are white or very light in color, such as beige, on the side of the window covering that can be seen from the outside of the house. The use of tubular steel ornamentation on the exterior of any window is prohibited without the prior written approval of the ARC.

2.3.1 Chimneys

All chimneys located on the exterior portion of a dwelling unit shall be constructed of brick, stone, stucco or Hardi-plank siding. Prefabricated metal fireplaces and metal flues may be used but their chimneys must be masonry clad to present the appearance of traditional masonry chimneys.

The height of the chimney should be in proportion to the roofline and adhere to the fire codes

2.4 Exterior Lighting

The builder/owner may install and maintain lighting on individual lots in a manner so as to not cause distraction, nuisance, or be unsightly. Baffling of light fixtures is encouraged so as to not impose on the enjoyment of a neighbor of his or her home.

Ground lighting or decorative light fixtures are acceptable. Decorative fixtures must be of high quality materials and workmanship, and be in scale with the residence.

Freestanding decorative fixtures are acceptable with ARC approval. Mercury vapor and other lights, when used for special landscape lighting affect (hung in trees as up or down lights), are permissible only with prior approval from the ARC.

Incandescent, low voltage incandescent, metal halide, quartz, and natural gas lights are all acceptable with ARC approval.

Spotlights are to be directed to avoid light spill onto any adjacent property.

2.5 Screening

When practical all air conditioning units, water purification systems, mechanical and electrical devices, garbage containers, etc. are to be placed away from public view, preferably in the rear or fenced side yards. Meters shall be placed in a manner that limits their visibility from the street and shall be screened from view with landscaping. Wood fences and/or shrubs are acceptable screening materials.

Hedges may be used for screens if plants are mature enough and spaced close enough to provide adequate screening. Screening with plants is to be accomplished with the initial installation and not assumed for growth at maturity. Staggered spacing of shrubs for hedges makes a good screen.

2.6 Roof Top Antennae & Satellite Dish

The roof, as a design element, should be kept as visually unobstructed as possible.

No rooftop antennae will be permitted on the outside of a residence. All antennae must be concealed within the attic or otherwise completely concealed.

Without the prior written approval of the ARC, roof mounted radio/television antennae, satellite dishes and radio towers are prohibited. If they are necessary, they are to be installed on the rear roof. Rear roof is defined as any area of the roof that faces the backyard and is behind the roof ridgeline, so as not to be visible from the public street in any way.

2.6.1 Roof Protrusions

Vent stacks and other necessary roof protrusions, where possible, should be located to be away from view from the adjacent street. All vent stacks and flashing are to be painted to match color of shingles. Shingles are to be overlapped at valleys so that no valley flashing is exposed.

2.6.2 Roof Gutters & Downspouts

Gutters and downspouts are not required. If used, however, they should be integrated with the architectural design in color, shape, and location.

If gutters are not used, positive drainage away from the house should be provided.

Downspouts are to be located to provide a clean, unobtrusive appearance, terminated by either splash blocks or drained underground to appropriate termination.

2.6.3 A/C Equipment

No window or roof top HV AC equipment is permissible. Extreme care should be taken in the location of condensers to avoid noise infiltration of adjoining bedrooms and other "quiet" zones. Special consideration will be given to avoid placement of condensers close to bedrooms of adjacent homes bedrooms and their "quiet" zones.

2.7 Carports

No carports shall be constructed on any lot in Parc Lake Estates. With the prior written consent of the ARC, a porte cochere may be approved; however any approved porte cochere will be an addition to and not a replacement of the garage requirement stipulated in the Declaration of Covenants, Conditions and Restrictions.

2.8 Garage Placement

Detached garages are not permitted on lots that back onto lakes. On corner lots, detached and attached garages may not face the side street and must be placed on the opposite lot side from the side street.

Detached garages on corner lots which are located at the rear of the lot on the street side are permissible but these are required to be side loading. A three and one-half-foot (3-1/2') high masonry wall between the house and garage is encouraged. These walls shall be constructed of masonry materials that match the front and street side of the residence.

2.9 Outbuildings

Provided the express written consent of the ARC is secured prior to installation and placement on a Lot, one (1) lawn storage building and/or one (1) children's playhouse may be utilized. The playhouse is limited to a maximum height of 16 feet, measured from the ground to the highest point of the structure,

The storage building is limited to a maximum height of 8 feet, measured from the ground to the highest point of the structure, and limited in size to a maximum of 400 square feet of floor area. The roof of any outbuilding shall be the same color of the house on the lot on which it is located. In no case can the outbuilding be placed in a utility easement, within seven and one half feet of a side property line, or within ten feet of the back property line. Additionally, no outbuilding structure of any type is permitted unless the specific Lot involved is completely enclosed by fencing in accordance with Section 1.5 herein. Otherwise, no building or structure of any kind (except for a residence or garage) shall ever be placed or erected on any lot within Parc Lake Estates. All outbuildings on lake lots shall have a row of hedges planted on the side of the building facing the lake.

2.10 Playground Equipment

No jungle gyms, swing sets, basketball goals or similar playground equipment shall be erected or installed on any lot without prior written approval of the ARC. Specific rules as to the size, color, nature, and location of such items will be promulgated from time to time by the ARC and such specific rules are available upon request. These items shall be positioned on the lot so as not to be visible from any street. Basketball goals are acceptable as long as they are no closer than ten (10) feet from the back of the curb on a cul-de-sac lot and fifteen (15) feet from the back of the curb on a typical lot. In no case can the basketball goal be placed in the street right of way. Basketball goals are not to be attached to the roof in any way.

Any playground equipment or other play areas or equipment furnished by the Parc Lake Estates Homeowners Association, Inc. or in behalf of such association shall be used at the risk of the user, and the association or the entity who supplied such equipment shall not be held liable to any person for any claim, damage, or injury occurring thereon or related to the use thereof.

SECTION 3 –LANDSCAPE

3.1 – Native Tree Preservation

The native trees in Parc Lake Estates are a valued asset to be enjoyed to the greatest extent possible by all Owners and their guest.

For purposes of this sub paragraph, native trees shall refer to any tree 19" or larger in diameter as measured four feet from natural ground.

Builders/Owners are strongly encouraged to design site plans for homes, driveways, patios, pools, and landscaping with the intent of preserving and maintaining in good health as many of the native trees as possible.

Owners have a continuing responsibility to preserve and maintain all native trees as well as trees required to be planted under these guide lines in good health which includes utilizing professional arbor services if necessary.

Builders and Owners may not remove native trees with a diameter of greater than 19" as measured four feet above natural ground without the prior written approval of the ARC.

While it will be necessary in some cases to remove trees to provide space for homes, in approving plans, the ARC will have the right to require reasonable adjustments to preserve trees.

Plans should show the location of all natural trees when making presentations to the ARC.

3.2 Minimum Landscape Requirements

Prior to start of construction of a home, a landscape plan shall be submitted to and approved by the ARC for each type of floor plan. Thereafter, an approved landscape plan for a particular floor plan need not be submitted to the ARC unless the landscape plan is materially changed. Material changes to landscaping from the ARC approved landscape plans must be submitted to and approved by the ARC prior to installation or modification of the change.

A single row of foundation planting is not acceptable. Planting beds are to be curvilinear with varied widths, with the shrub mass in tiers, smaller shrubs and ground cover in the front and larger shrubs in the rear of the beds. Grouping of shrubs of the same species provides a substantial look. Avoid planting shrubs at a constant distance from the foundation.

Mulch all planting beds with 2" deep shredded pine bark.

No gravel of any size or color is permitted for use or substitution for shrubs, ground cover, mulch, or grass lawns. Specimen boulders and rock borders are permitted.

All front yards shall be planted with sod to cover the entire front yard and side yards up to the fence less any landscaped area.

Planting bed edging is not required, but is encouraged for maintenance purposes and to define the shape of planting beds. Plastic, corrugated aluminum, wire wicket, vertical timbers, railroad ties, etc., are not in character with the desired landscape effect and are prohibited. Acceptable edging is ryerson steel, bricks set in mortar or buried halfway into ground, horizontal timber (2 inches by 4 inches, 2 inches by 6 inches, 4 inches by 4 inches, and 4 inches by 6 inches), stone set in mortar laid horizontally and continuous in concrete bands.

Two "yard" trees with a minimum size of 3" caliper shall be planted in the front yard of each lot plus one 5" tree in the front yard. One additional tree with a minimum size of 3" caliper will be required in the side yards of corner lots. The species of the trees shall come from the approved list in Section 3.2. Caliper sizing shall be measured 12" from the base of the tree.

The builder shall install, at a minimum, the following landscaping package prior to the home being occupied by a home buyer:

1. Four (4) large plants (minimum fifteen (15) gallon)
2. Twelve (12) medium plants (minimum five (5) gallon)
3. Twenty four (24) smaller plants (minimum one (1) gallon)
4. The required front and side yard trees as described above.

The shrubs to be used shall be from the list found in section 3.3

3.3 Lake And Dry Lots

A minimum of three (3) trees from the Residential Lot Master Plant List must be planted in the front yards. The trees must have a minimum three (3) inch caliper when measured six (6) inches above grade and must have a minimum height of twelve (12) feet.

Rear yard areas that are adjacent to the common lake shall have additional improvements to increase the Visual quality as viewed from adjacent common areas.

3.4 Lake Lot

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In addition to the landscape requirements indicated above, lake lots will have:

1. One five (5) inch caliper tree planted in the back yard located in the general area of and no more than ten feet from the top of bank of the lake.
2. Lake lots will have sufficient foundation shrub and ground cover planting to completely screen the foundation of the house and patio.
3. Should a hedgerow be planted within a rear yard tubular steel fence, it shall be a species with a mature height not exceeding forty eight inches (48") in height.

All home owners shall design, manage, maintain, and continually cultivate all landscaping and amenities in their backyards in a manor to be reasonable and respectful of their neighbor's view, sight line, and right to enjoyment of their own back yard. In the case of lake lots, the sight lines to the lake are particularly important and should be given special consideration. All home owners are encouraged to consult with their neighbors prior to installation of rear yard landscaping and amenities prior to submissions to the ARC and prior to installation.

3.5 Corner Lots

Supplemental landscaping specifications for all corner lots include the following:

Five (5) ornamental trees (minimum size -15 gallon containers) are to be planted along the side street portion of corner lots. The five trees are to be planted informally and not aligned in a straight row.

3.6 Master Plant List

Residential Master Plant List provided below is to be used by Builders and Owners for assistance in selecting allowed species for landscaping lawns and landscape easements. This list will be amended from time to time. Prior to design and submission to the ARC, the most current Master Plant List should be obtained from the ARC.

SECTION 4 – BUILDER SIGNAGE

4.1 Builder Signage – Lots

One sign per single family lot is allowed until occupancy.

The sign may be a 24" x 36" panel displaying the builder's name and/or logo or trademark. Color graphics must be submitted to the ARC.

Information to be conveyed:

Name of Builder

Phone Number-Builder Sales Office

In addition, one construction address sign not to exceed 18" x 24" shall be allowed on each lot during construction of the home. The sign shall display the home address, legal description, and Builder name.

5.0 MODEL HOME SALES/MARKETING

5.1 Presentation

With the exception of sales offices in a garage, the models should be presented as much as

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possible as the finished product would be sold.

Planters, flowerpots, benches, and other small decorations can provide a sense of scale and "lived in" appearance. The use of annual flowers is encouraged.

It is expected that the landscape planting should exceed minimum requirements for other lots. Plants are to be selected from the plant list in the landscape section of the Design Guidelines.

If planting beds are extended from one lot to another to create a park like atmosphere, care is to be taken to not block the drainage down side lot lines.

5.2 Signage/Fencing

Each model home shall be permitted one sign to display the name of the builder. The sign face shall not exceed six feet (6') in width and four feet (4') in height. The total height above the existing lot grade may not be more than five feet six inches (5' 6"). If placed on a corner lot, the sign must be located within the property line and within the side set back lines.

Graphics on the sign may include: builder name, logo, and/or slogan, price range, phone number, and business hours. Signs may not be internally lighted.

Sign colors are to be selected to enhance quality. Color samples should be submitted to the ARC prior to building signs.

Signs designating model names, sales office, entrances, and exits may not exceed twelve inches (12") in height and eighteen inches (18") in width.

"Trap" fencing is permitted, but must be of wrought iron design. As a temporary fence, the trap fence may be installed on the property line. Other types of fencing may be given consideration by the ARC if the overall concept of the model home park requires a variance.

U.S. and Texas flags are permitted with prior approval from the ARC.

Exterior fluorescent lighting is prohibited. Exterior landscape lighting highlighting the key elements of the home and yard is encouraged.

5.3 Sales Office

When model homes are no longer used for sales purposes, they are to be converted to standard residences. The ARC is to approve all aspects of the conversion. Sales offices must be put in condition of typical homes in the builder product line. Garages constructed for use as sales offices must be converted back to a standard garage. Meandering sidewalks on lots are to be removed, unless they are tastefully incorporated into the final design for finished lots. Off street parking lots are to be removed after closing model units.

SECTION 6 - ARC SUBMITTALS

6.1 General

The submittal of plans and specifications to the Architectural Review Committee provides a review process to ensure conformance to the guidelines and standards adopted by the ARC.

All new construction, modification, remodeling with exterior exposure, expansion, and demolition of structures must be reviewed and approved by the ARC prior to commencement of any construction activity. The ARC reserves the right to alter the review process in order to ensure a thorough review of all submissions while accommodating the needs of builders and property owners.

The plans and specifications for a home must be approved in writing by the ARC before construction of a residence can begin.

Submittals shall be sent to the attention of:

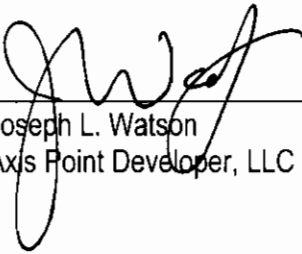
Joe Watson
Axis Point Developers, LLC
3311 Yupon, Suite 309
Houston, Texas 77006

6.2 Requirements Production Builders

The ARC will consider pre-approval of standard builder plans and landscaping specifications for each home to be constructed in Parc Lake Estates.

Prior to construction of each residence the builder shall submit to the ARC the submittal form, as found, in Section 6.3 of the Design Guidelines, where the builder shall indicate the floor plan, elevation, brick and trim color to be used on such residence. Builder shall not commence construction of any residence without the ARC's written approval of the floor plan, elevation, brick selection and trim color of the residence to be built on an individual lot.

ANY PROVISION HEREIN WHICH RESTRICTS THE SALE, RENTAL, OR USE OF THE DESCRIBED REAL PROPERTY BECAUSE OF COLOR OR RACE IS VOID AND UNENFORCEABLE UNDER FEDERAL LAW.
THE STATE OF TEXAS
COUNTY OF HARRIS
I hereby certify that this instrument was FILED in File Number Sequence on the date and at the time stamped herein by me, and was duly RECORDED, in the Official Public Records of Real Property of Harris County, Texas


Joseph L. Watson
Axis Point Developer, LLC

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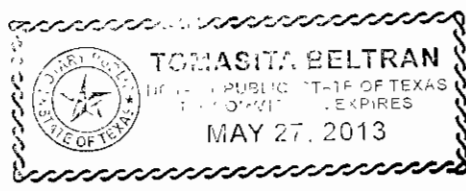


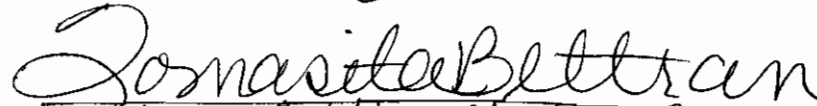

COUNTY CLERK
HARRIS COUNTY, TEXAS

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State of Texas
County of Harris

This instrument was acknowledged before me on the 6 day of July, 2011




Notary Public, State of Texas

My commission expires:
5/27/13

Notary's Printed name:
Tomasita Beltran

RECORDER'S MEMORANDUM:
At the time of recordation, this instrument was found to be inadequate for the best photographic reproduction because of illegibility, carbon or photo copy, discolored paper, etc. All blockouts, additions and changes were present at the time the instrument was filed and recorded.

RP 077-99-1122