

TOWN OF ATTICA
ZONING PERMIT APPLICATION

Arick Bremiller
Town of Attica Zoning Officer
(585) 813-3939

PERMIT No.: _____	
Application No.: _____	Application Date: _____
Tax Map No.: _____	
Owner: _____	Phone No.: _____
Address: _____	
(Street)	(City) (State) (Zip)

All permits are subject to the approval of the Wyoming County Health Department and/or the Wyoming County Building and Fire Code Inspector. *New Construction driveways are the responsibility of the Town of Attica Highway Department (Sluice Pipe Installation Permit Required). Landowners of driveways on County and State roads must contact the County and State Highway Departments, respectively.*

PLEASE NOTE: This is not a Building Permit. In most cases a building permit is required through the Wyoming County Building and Codes Department. Please call (585) 786-8820 for Building Permit requirements.

Present Use of Land: _____ Intended Use of Improvements: _____

Type of Work: ___Garage ___Sign ___Driveway ___Sidewalk ___Home/Addition
___Fence ___Barn ___Porch/Deck ___Parking Lot ___Other: _____

1. I propose to do the following work: (Erect) (Alter) (Move) (Enlarge) (Use)
(___ Story) (_____ Building) (_____ type of construction) (_____ feet high)
(Type of use _____)
2. On the (front) (rear) (side) of the premises known as _____ located in the Agricultural/Residential district
3. _____
4. Size of building: _____ feet wide, _____ feet deep; or Area: _____ square ft.
Est. Cost \$ _____
5. On a lot _____ feet wide x _____ feet deep. Or Area _____ square feet or _____ acres
6. Located on the _____ side of _____ (Street) (Avenue) (Road)
7. The following other buildings are located on the lot: _____
Size: _____ feet wide x _____ feet long _____ Story, _____ feet high, area: _____ sq. feet
8. Number of families to be housed in premises (if applicable) _____
9. Building will be used for: _____
10. Sketch map below showing dimensions of proposed building, its reference to street and sidelines and distance from building on adjoining lots hereby made a part of this application.

11. If such permit is granted, applicant agrees that the provisions of the Zoning Ordinance of the Town of Attica, and all other ordinances that may be applicable, will be complied with. Each home of dwelling shall have a foundation around the perimeter to a depth below the frost line. **Such permit shall expire and be of no effect unless construction is started within twelve (12) months of the date of issuance, and unless completed within fifteen (15) months of the date of issuance.** The applicant(s) allege that the proposed zoning permit use property (is) (is not) in a flood zone and:

a. Would not create a hazard to health, safety, morals or public welfare because

b. Would not be detrimental to the neighborhood or to residents thereof because

c. Would not alter the essential character of the surrounding area because

12. List any additional information which applicant(s) desire to be considered with this application:

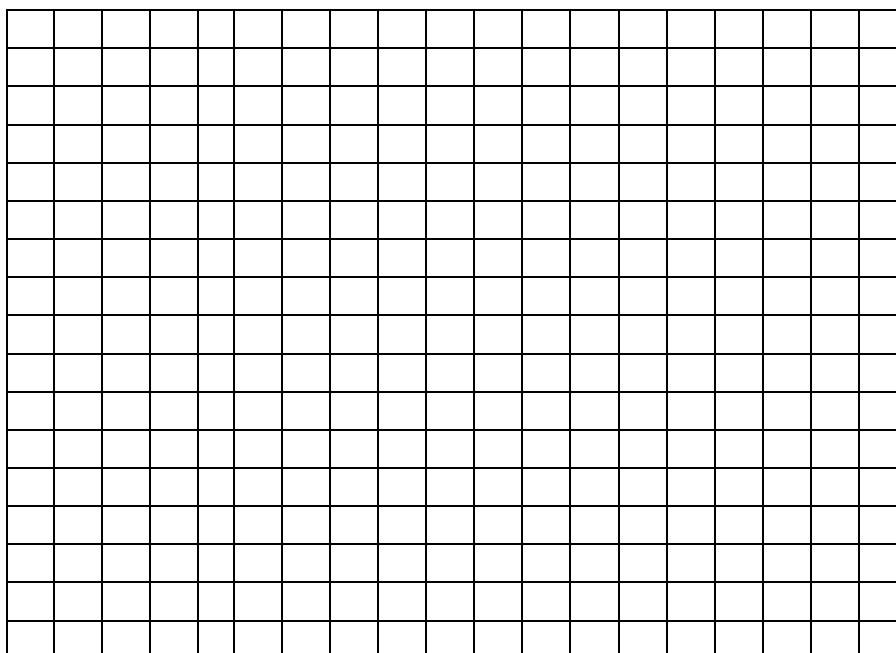
Name & Address of Contractor: _____

Lot coverage may not exceed 25% in dwellings and 35% in buildings other than residential. The surface grade of the front yard at the front wall of the principal building will not be less than two (2) feet above the elevation of the centerline of the traveled way of the road.

SKETCH MAP

Please sketch proposed project in area below. Include the distance to adjacent lotlines and all buildings on property.

Road: _____



Plans Attached: Yes No Number of Sheets: _____ Value of Work: \$ _____
Survey Map Attached: Yes No

A Zoning Permit, issued based upon the above information, authorizes the above-listed type of work and no other. It does not relieve the designated permit holder of the responsibility of obtaining the approvals of other applicable state and county agencies.

I hereby certify that I have read, examined and understand this application and know the same to be true, correct and to the best of my knowledge.

Signature of Applicant: _____ Date: _____

Print Name/Title: _____

For Office Use Only

Application Reviewed: Yes No By: _____ Date: _____
Application Approved: Yes No By: _____ Date: _____
Application Fee Paid: Yes No If yes, amount: \$ _____ Date: _____

Comments:

The denial, if so manifest above, is based on a violation of section _____ of the Zoning Ordinance as follows:

COPIES: Applicant Zoning Officer Assessor Town Clerk Planning Board & ZBA Chairman(s)

The determination within is (affirmed) (revised) (modified) by the Board of Appeals
this _____ day of _____, 20__ as follows:

Zoning Board of Appeals

BY: _____

SCHEDULE IV ZONING FEES

All of the below fees are subject to change upon resolution of the Town Board (ADOPTED 6/15/15)

Building Type	Description, if Applicable	Fees
Addition	Up to 100 square feet	\$15
Addition (2)	Over 100 square feet	\$20
Addition (3)	Raising the Roof	\$20
Addition (4)	5,000 cubic feet or under	\$20
Barns	Principal barn structure or building to be used in connection with an industrial-agricultural type operation	\$1 per 100 square feet or a minimum of \$30
Chimney or Solid Flue		\$15
Commercial Industrial Building		\$100
Demolition Permit		\$25
Dwelling		\$25
Garages & Storage Buildings		\$15
Land Separation		\$50; \$30 each additional
Land Subdivision		\$100
Multiple Dwellings		\$50
Non-Residential Buildings	10,000 cubic feet of volume or more	\$100
Outdoor Furnace		\$50
Picnic Shelter		\$20
Pond Special Use Permit		\$125
Porches and Decks		\$15
Property Line Fence		\$20
Renovations	Equaling 50% of value is considered a new building	\$25
Sign	Fee is per sign	\$10
Silo	Grain, bunk or other	\$30
Sluice Pipe Installation		\$500
Special Use Permit		\$125
Swimming Pools		\$25
Utility Building	Over 100 square feet	\$15
Variance	Area or Use	\$125
Alternative Energy Device (Per Device)	Small Wind Solar Panels-Residential Solar Panels-Commercial	\$250 \$50 \$500 first 10 acres, \$100 per acre thereafter
Zoning Fees (other)		\$10

