



# Lazy Bend ACC Guidelines

A Helpful Document for Getting Approval for Your Building Project in Lazy Bend.

# Why This Document?

- This is a starting point for new projects to make it clear for all homeowners what is allowed and what is not for getting approval.
- The ACC believes that having information available for everyone makes communication easier and benefits both the board and the homeowner in the end.

# Do I Need to get Approval?

- The Answer is YES IF:
  - You are building a house or any structure.
  - If you are remodeling any of the exterior features of your house. (ie. Roof, siding, windows, etc.)
  - If you are adding a pool or other outdoor deck or patio.
  - If you are putting a fence, gate, or wall on the property.
  - If you are building a boat house.
  - If you are elevating your existing house.
  - Putting a new roof on your existing house.
  - Painting your house.

# Approval Process

- Homeowner submits plans to ACC
  - Submit two copies (one for LB HOA records and one for the homeowner).
  - ACC has 30 days to get back to homeowner.
- Homeowner must have approval **BEFORE** building begins.
- No changes to plans are allowed **WITHOUT** written approval from ACC.

# What Do I Need to Submit?

- If You Are:
  - Building a house, garage, or boat house:
    - 2 Complete sets of build plans and survey showing location on the property of new building.
  - Updating existing house:
    - 2 sets of plans showing what you plan to do including the materials used.
  - Adding anything else like a fence, deck, pool, or other structures:
    - Drawing that shows where the improvement is located on the property and details of the improvement and a copy.

# Do I Need to Hire Someone for my Drawing?

- Yes
  - If you are building a house, garage, or boathouse. There needs to be professional drawings completed.
- No
  - If you are doing improvements to your house or adding something small like a fence.

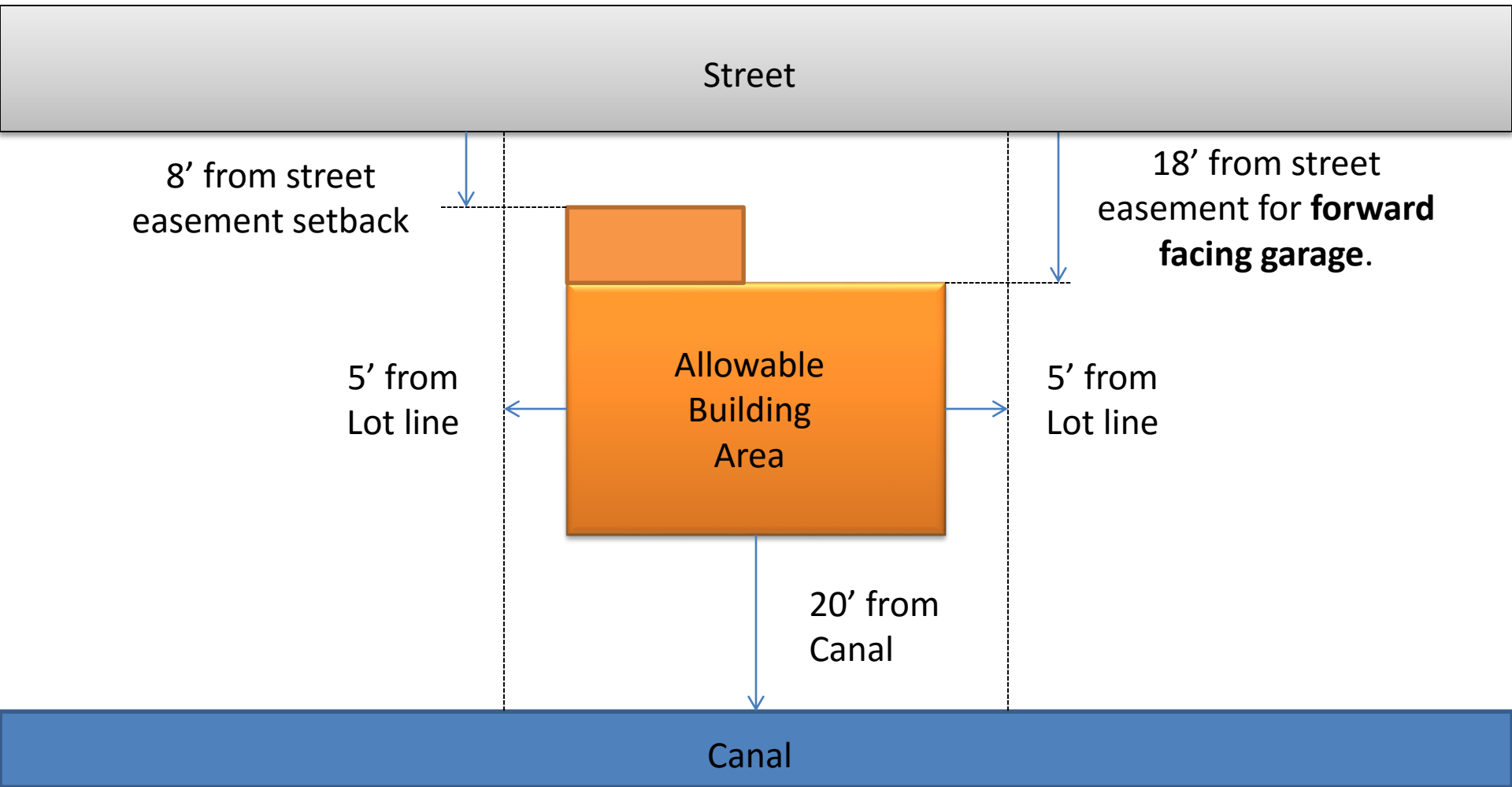
Hand drawings are acceptable for most small projects as long as they show all of the needed information. Marked up surveys or marked up old plans can be acceptable as well.

# Basic Building Guide

- From the Deed Restrictions:
  - 1500 sq feet minimum (excluding portches/decks)
  - 51% of external needs to be:
    - Brick, brick veneer, stone, stone veneer, hardy board, concrete or other masonry.
  - Roof constructed of:
    - Composition shingles, crushed marble slag or pea gravel in a built up type roof, tile, or any deemed acceptable by ACC.
  - House “faces” the canal. Front of the house is the canal.

# Building Setbacks

- Building “faces” the water.

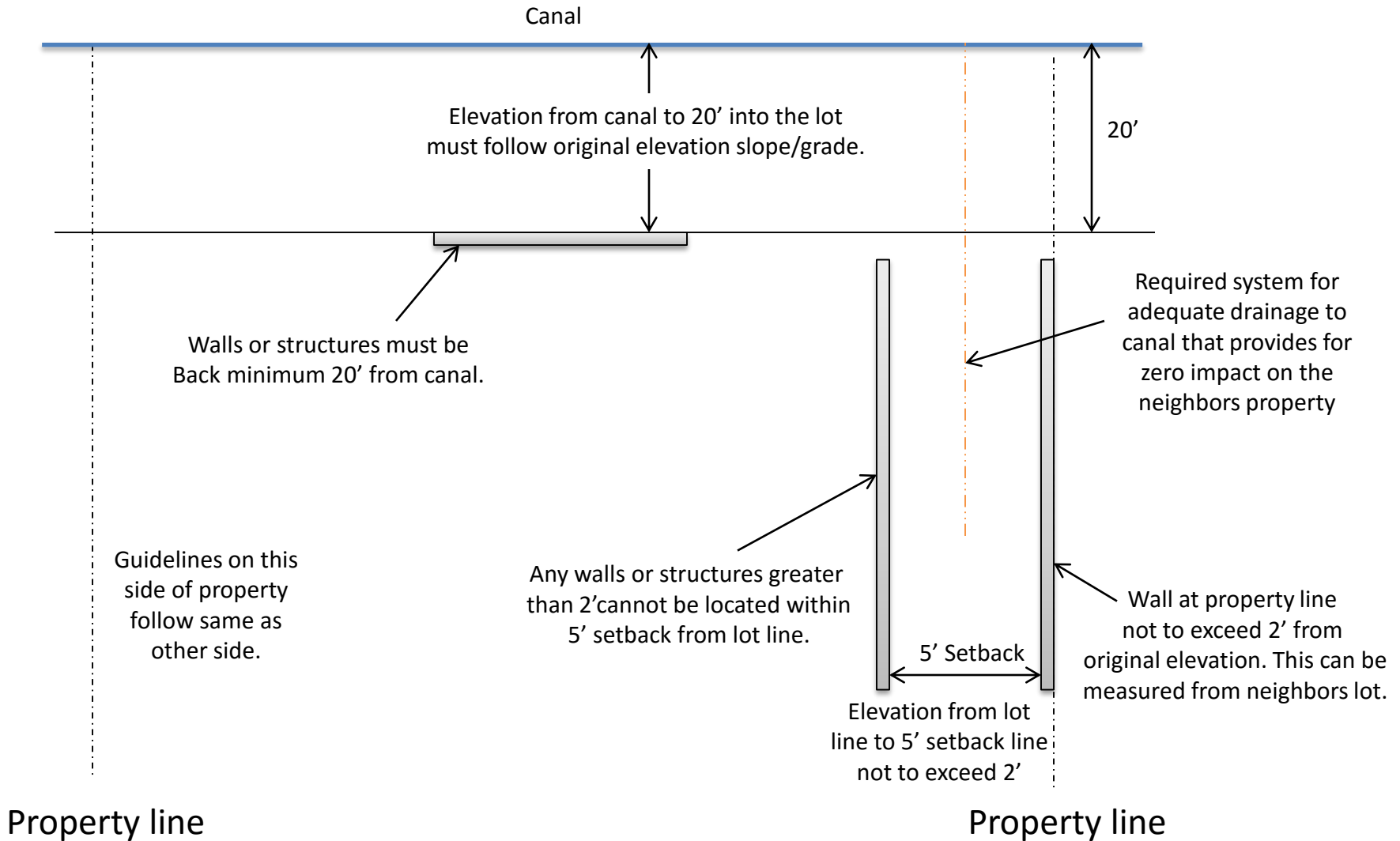




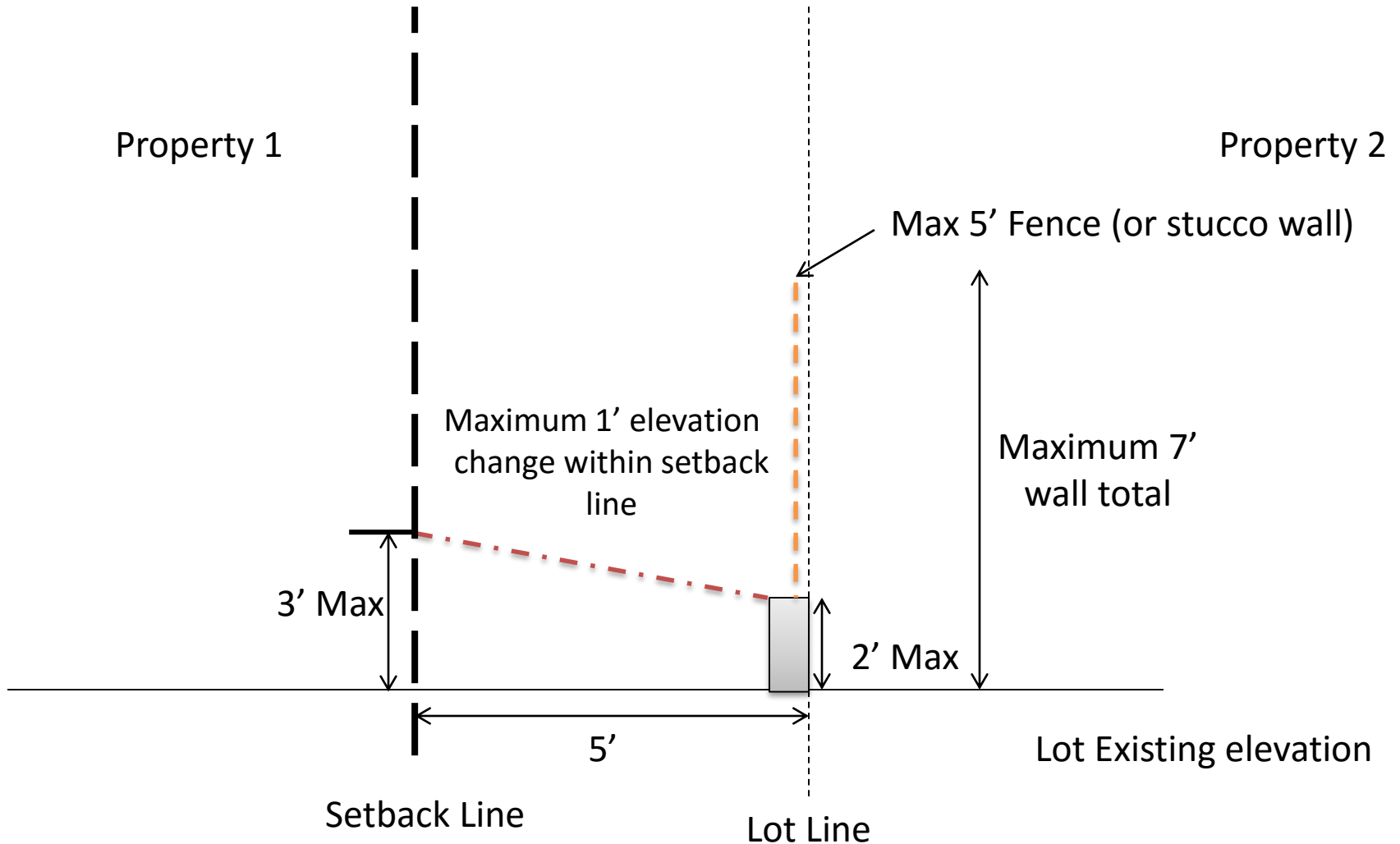
# Lot Elevation

- If adding elevation via earth, the guideline is:
  - On the property line:
    - No more than 2' high measured from the elevation of the adjacent lot within setbacks.
  - In the setback area:
    - Slope of no more than 1' in the 5' setback area.
  - Fences:
    - Cannot exceed 7' as measured from the ADJACENT property elevation.

# Lot Elevation Guide

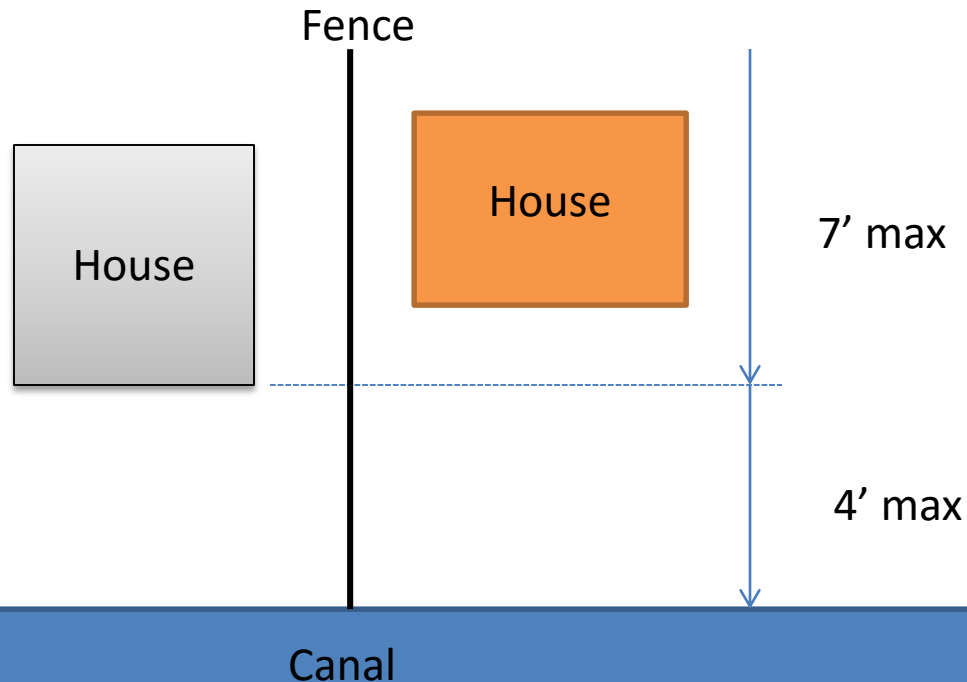


# Lot Elevation and Fences/Walls



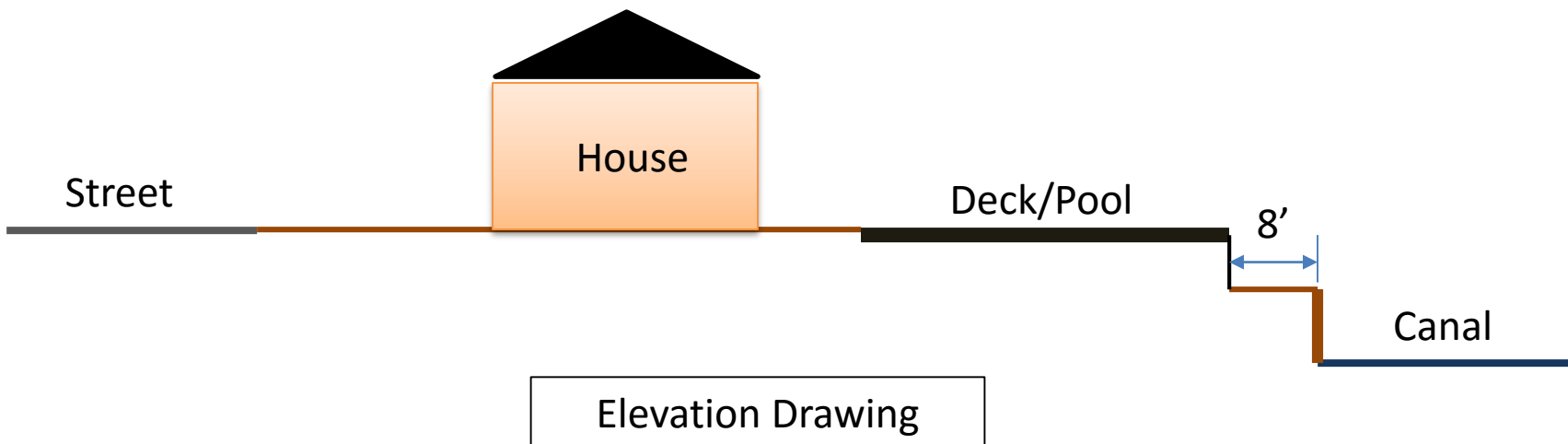
# Fences and Walls

- Height:
  - Maximum 7' from front of property to between houses.
  - 4' from last house to canal.
  - Always 4' within 20' from canal. “See through” fences preferred.



# Decks / Pools / Elevated Yards

- Height of deck or pool deck cannot be higher than elevation of street.
- Elevated area cannot be less than 8' from canal.

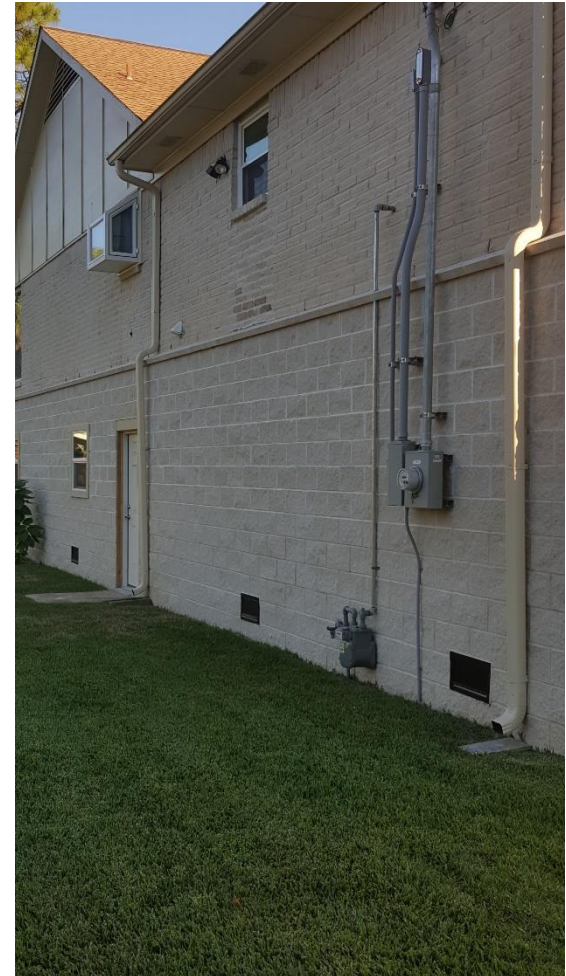


# Raising a House (Including FEMA)

- Do I need approval? **YES**
- What if it is a FEMA project? **YES**
- Does the LB HOA have authority on FEMA projects? **YES**
- These guidelines **MUST** be adhered for approval:
  - ALL house and decks stay within building setback lines.
  - Bottom level is enclosed with suitable material or approved “breezeway” matching existing houses.
  - Previous garage doors must be replaced on second level.
  - No decks to be built in setback area.
  - Bottom level foundation is cement (no dirt allowed).

# Raising a House (Including FEMA)

- Building decks in side setbacks for access to meters is NOT allowed.
- Example of electrical service without extra side deck in setback area for access.



# Raising a House (Including FEMA)

- You must replace the garage doors on second level with appropriate enclosed materials (siding, windows, etc.)
- Example of what **NOT TO DO**:





# Boat Houses

- Boathouses must:
  - Have a “Flat built-up roof” that does not extend past bulkhead line.
  - Have a water cut out for floating boat storage.
  - Needs to be “see through” with minimal side wall construction. (Cannot be enclosed).
- Lot must have a house within 1 year of boathouse construction if no house is there.

# Exterior Lifts

- Exterior lifts are allowed as long as it is not visible from the street or canal.
- The house must include a “visual architectural barrier that obstructs the view of the lift from the street or canal”
- How to accomplish this is up to the homeowner to make it incorporate into the existing architecture of the house.



Example of how **NOT** to have a lift. This lift is exposed to view from the street and/or canal.

# Patio Structures

- All patio structures need to be **WITHIN ALL** building setback lines.
- Maximum height of 12’.
- No two story decks or two story Palapas not attached to houses.
- Semi-permanent structures need approval as well as permanent structures (i.e., tents and pop up structures) if you plan on leaving it up for an extended period of time.

# Palapas

- All palapas must be approved.
- All palapas need to be within building setback lines.
- Palapas must be inspected by fire marshal based on palapa document passed by LBHOA.
- Refer to the palapa document for more information.

# Painting Colors

- House color choice must meet within the “look and feel” of the Lazy Bend neighborhood as determined by the ACC.
- Painted murals on houses are not allowed in Lazy Bend.

# Questions?

- Contact ACC Chair:

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