# Phase I Environmental Site Assessment

# SR 0030 Corridor Improvement Project

North Versailles and North Huntingdon Townships Allegheny and Westmoreland Counties, Pennsylvania

# **Prepared for:**



Pennsylvania Department of Transportation Engineering District 12-0 825 North Gallatin Avenue Extension Uniontown, PA 15401

# Prepared by:



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Markosky Project File No. 15-003B

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#### I. INTRODUCTION

The Pennsylvania Department of Transportation (PennDOT) Engineering District 12-0 is proposing corridor improvements along SR 0030 extending from North Huntingdon Township in Westmoreland County to North Versailles Township in Allegheny County. The project involves full depth reconstruction of approximately 2.6 miles of the existing roadway. The project is located in western Westmoreland County and eastern Allegheny County. A Project Location Map showing the project corridor can be found in Appendix A of this report.

This report is a summary of the Phase I Environmental Site Assessment (ESA) activities and investigations conducted for the project. Information about past and present land use, the presence of regulated substances and hazardous waste materials, and waste disposal areas within the project area were acquired from various sources (described below) to complete a comprehensive search of the area. The methodology for this study conforms to the statutes and guidelines detailed within PennDOT's Publication 281 Waste Site Evaluation Procedures Handbook, The Transportation Project Development Process (Revised, May 2019). The publication requires an investigation including: public and historical records review, site reconnaissance, interviews, and site maps.

Based on the information obtained for the project area one of the following recommendations will be made:

- No Further Action Required,
- No Further Action Required at this Time, or
- Initiate Phase II or Phase III Activities, or
- Initiate Immediate Action

#### II. PROJECT DESCRIPTION

The project is located along SR 0030 in North Huntingdon and North Versailles Townships in Westmoreland and Allegheny Counties, Pennsylvania, respectively. The project limits extend from the Michigan Lane in Westmoreland County to Bach Drive in Allegheny County. The roadway will be slightly widened throughout the project area to add curb gutter and median areas. Along with the full depth reconstruction and minor widening, a median barrier will be added to the roadway in an effort to eliminate left turn traffic movements which are primarily unrestricted through this portion of the corridor. Several intersection improvements are proposed for the project to allow for controlled left turn movements in the corridor. "Jug handle" type intersections are proposed approximately every 0.7 miles through the length of this corridor to allow traffic access to opposite sides of the roadway and provide turn-around opportunities. Improvements to the existing roadway drainage network will also be implemented to adequately move water away from the roadway. There is a proposed excavation depth of approximately one to four feet throughout the corridor to construct the majority of the proposed pavement and widening, base drain, concrete curb and barrier, guiderail, surface level ESP features, and proposed signage. Proposed drainage features will be installed along the length of the project requiring excavation depths of four to ten feet. Numerous utility features will be relocated along the length of the project and will require excavation depths of three to six feet. Widened areas that may require larger cuts and features that may require deeper excavation are described in the table below.

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Larger Cut Areas	Maximum Excavation Depths (feet)
SR 0030	
Proposed Widening and Cut Slope (STA 1029+00 RT to 1032+00 RT)	6
Proposed Widening and Cut Slope (STA 1060+00 LT to 1062+50 LT)	13
SR 0048	
Proposed Widening and Cut Slope (STA 905+50 RT to 908+00 RT)	6
SR 4019 North Jughandle	
Proposed Widening and Cut Slope (STA 400+00 LT/RT to 404+50 LT/RT)	15
SR 4019 North	_
Proposed Widening and Cut Slope (STA 505+00 LT/RT to 505+50 LT/RT)	10
Old Jacks Run Road Jughandle	
Proposed Widening and Cut Slope (Entire Length LT/RT)	18
Edwin Drive	
Proposed Widening and Cut Slope (Entire Length LT/RT)	18
Ardara Road	
Proposed Widening and Cut Slope (Entire Length LT/RT)	30
Ardara Road Jughandle	
Proposed Widening and Cut Slope (Entire Length LT/RT)	30
Stormwater Management Ponds / Ditches	
1010+00 RT (SR 4019 North Jughandle)	25
1052+00 RT (Peterson Drive Jughandle)	18
1054+00 LT (Old Jacks Run Road Jughandle)	10
1070+50 RT	7
1075+50 RT (Ardara Road Jughandle)	35
1089+50 LT	8
Walls	
SR 0030 (1043+00 RT to 1046+50 RT	10
SR 0030 (1081+00 RT to 1082+00 RT)	10
SR 0030 (1100+00 LT to 1104+00 LT)	15
SR 0030 (770+00 LT to 775+50 LT)	20
SR 0048 (900+00 RT to 900+50 RT)	8
Ardara Road Jughandle (300+00 RT to 304+50 RT)	35

The project corridor has been segmented into two main study areas; Michigan Lane to Old Jacks Run Road and Old Jacks Run Road to SR 0048. The study areas are denoted on separate Site Maps located in Appendix A.

#### III. METHODOLOGY

The following subsections are a summary of the methods used to determine former and current land uses within the project area and surrounding areas.

#### a. Local Government Agency and Landowner Interviews

Interviews were performed as a means of determining whather regulated materials may be or have been present within the project area. Interviews were performed with people knowledgeable and familiar with the project area. Summaries of the interviews are included in Appendix B.

#### b. State and Federal File Reviews

(PA Pennsylvania Environmental Protection DEP) website Department of eMapPA (http://www.emappa.dep.state.pa.us/emappa/viewer.htm), the PA **DEP eFACTS** website (http://www.ahs.dep.pa.gov/eFACTSWeb/default.aspx), and the PA DEP Activity & Use Limitation Registry website (http://www.depgis.state.pa.us/pa-aul/) were reviewed to identify the presence of regulated facilities and environmental covenants within the project area. The U.S. EPA Envirofacts website (www.epa.gov/enviro/index.html) was also reviewed to identify any environmental activities within the project area. The findings are discussed in Section IV and are listed in their entirety in Appendix C.

#### c. Database Search

The environmental search agency, Environmental Data Resources (EDR) Radius Map<sup>TM</sup>, was used to evaluate all state and federal databases for potential environmental concerns. As stated in the project description, the study area has been segmented into two main study areas; Old Jacks Run Road to SR 0048 and Michigan Lane to Old Jacks Run Road, therefore two EDR reports were reviewed and are included in Appendix D. A discussion of the combined findings is located in <u>Section IV Investigation Results</u>. A complete listing of the state and federal databases searched is included in the EDR Radius Map<sup>TM</sup> Report located in Appendix D.

## d. Aerial Photography, Topographic, and Sanborn Map Investigation

The EDR Aerial Photo Decade Package provided aerial photography. The aerial photographs provided are dated 1938, 1940, 1949, 1956, 1957, 1959, 1967, 1969, 1973, 1983, 1988, 1993, 2002, 2006, 2010, 2013, and 2017. These aerial photographs were reviewed to identify changes in land use and are located in Appendix D with the EDR Report.

The EDR Historical Topo Map Report provided topographic maps. The historical topographic maps provided are dated 1904, 1906, 1907, 1953, 1960, 1969, 1977, 1979, 1994 and 2013. These topographic maps were reviewed to identify changes in land use and are located in Appendix D with the EDR Report.

The EDR Certified Sanborn Map Report was unable to locate Sanborn mapping. EDR certifies that the complete holdings of the Sanborn Library, LLC collection were searched and fire insurance maps covering the target property were not found. The report verifying this absence of information is located in Appendix D with the EDR Report.

#### e. Field Reconnaissance

On September 5, 2019 and September 19, 2019, the project area was visited to identify current land use within the vicinity of the project and any obvious signs of contamination such as stained soils, stressed or absent vegetation, discolored water, and odiferous areas. The Site Maps are included in Appendix A while the Field Review Checklist and Photographs are included in Appendix E.

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#### IV. INVESTIGATION RESULTS

#### a. Local Government Agency and Landowner Interviews

Interviews were conducted with all available property owners during the field reconnaissance to determine past land uses and the potential presence of regulated materials located on the properties. Telephone memos, email responses, and attachments are included in Appendix B.

On September 5, 2019, Markosky interviewed Jenn, the manager of the Sheetz gasoline station located at the intersection of SR 0030 and Carpenter Lane in North Huntingdon. She reported having been a manager there for seven years and that the Sheetz had been in business here for about 18 years. She was not aware of what was located here prior to the Sheetz station. She stated that the Sheetz has not experienced any LUSTs or previous or current remediation. She could not recall any environmental spills or issues along the SR 0030 corridor around the Sheetz station.

On September 5, 2019, Markosky spoke with Joe Ponsi, owner of multiple properties and businesses located in the southern portion of the project area such as the LaDonna Villagio at 13380 Route 30, Ponsi Shoes and Medical Supplies at 13389 Route 30, and the trailer court at Michigan Lane. He reported to Markosky that the Barn Shop was formerly a dry cleaner business and that contaminated soil was found on that property. He stated that stormwater issues and former mined areas are big problems for this section of Route 30.

On September 5, 2019, Markosky spoke with Michelle of MC Quality Cars located at 13460 Route 30 in North Huntingdon. She relayed that MC Quality Cars have been there since 2008. She mentioned that the property was formerly owned by Shorkey Automotive for the parking lot and that the business was never used as a gasoline station. Regarding neighboring businesses and former uses, she mentioned that the neighboring property housing State Farm was an art gallery in the 1980s.

On September 5, 2019, Markosky interviewed Chuck Hadad of Hadad Used Auto Sales located at the intersection of SR 0030 and Old Jacks Run Road. Chuck has owned this location for 31 years and reported that it had formerly been used as a bar. He is unsure of the businesses prior to the bar. Regarding the pizza shop in the northwestern quadrant, he stated the building has been multiple pizza shops over the past thirty years, but that it had formerly been used as a gas station. He also mentioned that he believes the tanks are still in the ground. Across SR 0030, Vangura is a countertop manufacturer / supplier, but it had been built on a former Drive-In theater property. He also reported a public pool having been located across SR 0030 from his business but could not report exactly where it was located. The property located south of his business has been reported to have always been vacant. When asked about Massung Poultry Sales (located north of the pizza shop), he stated that the business has always been a poultry sales business as long as he could recall.

On September 5, 2019, Markosky spoke with Vince, owner of Pecora Flooring located north of Old Jacks Run Road on SR 0030. He mentioned that he purchased the property in 1995 from Snap-On tools. He couldn't speak on the uses of the property before Snap-On but mentioned that the business was not a gasoline station and that no underground tanks are located on the property.

On September 5, 2019, Markosky spoke will Bill, an employee of Allstate Insurance near the intersection of SR 0030 and Magnus Lane near Vangura. He reported living in the area and working at this location for most of his life. He mentioned that the building was used as an electric retail business prior to its current use as a Salon. He stated that the auto sales lot located north of his business had been a dog grooming business formerly. He reported the pizza shop at the corner of SR 0030 and Edwin Drive was a gasoline station in the 1970s or 1980s.

On September 5, 2019, Markosky spoke with Jim of Carl's Signs, located near SR 0030 and Michigan Lane. Jim stated that he knew the area for the past 50 years. The Laser Wash Car Wash across the road from his shop was reported to have been a gas station while also being used as a car wash. Jim reported that the gas station was removed and environmental assessments were completed. In fact, he relayed that a second environmental assessment was completed when the property was sold. He recalled that the assessments were

done about 14 years ago around 2005. When asked about his property, he mentioned the building was a brothel formerly. Additionally, a trailer park was located behind the building, but has since been filled in with fill provided from the North Huntingdon Water Authority. He also reported that a junkyard was located southeast of his property but has since been filled in and the neighboring businesses have built on the fill material. He described one of the two-story buildings located southeast of his property had sunk and cracked. Regarding the Park and Ride next to the Sheetz, he described this had formerly been a restaurant.

On September 5, 2019, Markosky spoke with Michael Britner, the owner of Britner Automotive Electrical Services/Starters and Alternators, located at 14240 Route 30 in North Huntingdon. No additional information was provided on his property. Regarding other businesses and properties in the area, he relayed that across Route 30 from his location was formerly a gentlemen's club and day care, on the south side of Keystone Lane, Guardian Storage self-storage was a former hotel, and farther down Route 30 that Carl's Car Wash former was a gas station.

On September 5, 2019, Markosky spoke with Kurt and Dell of Kreiser Distributing, located at 13800 Route 30 in North Huntingdon. They mentioned that they have been in business at this location for 40 years selling food service equipment for restaurants and supermarkets. Regarding the two former businesses located north of their location, the adjacent lot to the north reportedly sold firearms, forklifts, and equipment. Currently, only a concrete pad remains at this location. Beyond the adjacent business was a former nail salon which is currently a vacant building.

On September 12, 2019, Markosky spoke with John, Chuck, and Rafal of Rafal Kolankowski Allstate Insurance. They reported having grown up in the area and knew a good bit of the former uses of buildings in the surrounding area. They reported that a gas station was formerly located across from the currently unused Rivertown Pub and Grille building (near Penn Lincoln Memorial Park). Currently, only concrete slabs and overgrown vegetation are observed in this area. Regarding another vacant lot with visible concrete slabs, at the intersection of Old Jacks Run Road and SR 0030, across from Hadad's Motor Sales is a dirt and gravel lot with concrete slabs. They reported that this was the location of a diner formerly. Markosky's search revealed there was a diner associated with and located in close proximity to the former pool and former drive-in theater in this area and aligns with their statement. When asked about Britner Automotive Electrical Services, a neighboring property, they reported it used to be a Gulf gas station. Casa De Ice, a building located on SR 0030 near the former Kmart plaza, is reported to be of newer construction although the building façade appears to be older. It has always only been a bar that sells ice.

On September 12, 2019, Markosky spoke with Pete, the owner of Elite Motors, located at 14380 Route 30 in North Huntingdon. He relayed that he has owned the business for 23 years. Formerly, this was the location of a pet grooming business. The building associated with that business was razed and the current building was constructed in 1999.

On September 12, 2019, Markosky spoke with a receptionist at the United Steel Workers District 10 building located at 1945 Lincoln Highway. She reported that she's been familiar with the area for 25 years. She reported that no gas stations have existed (in areas adjacent to the USW building). She described fill being dropped off behind the building that is creating a nuisance to the neighboring properties. She also mentioned that the Casa De Ice is a newer building.

On September 12, 2019, Markosky spoke with Bill at Leader Auto Sales located at 1957 Lincoln Highway in North Versailles. He stated that they have been in business at their location since 1985. When asked about fuel tanks above or below ground he only discussed underground lines and wires and directed Markosky to a one call for more information. He described that they own a lot of the area including the Full Pint brewery which is over five years old. Many of buildings in this area are built using light tan brick with a tan shingle roof. These buildings are owned by his company. He stated that they also own the green convenience store located at 1967 Lincoln Highway, but couldn't describe the history of the property.

On September 12, 2019 Markosky spoke with an employee of the 84 Lumber business located at 1955 Lincoln highway in North Versailles. He described the lumber business has been there for 30 years but couldn't provide much more info on the business due to his limited knowledge of the property. He did describe Serv Pro located at 1951 Lincoln Highway had previously been a used car lot.

On September 12, 2019 Markosky spoke with Mary Maroadi, president of Maroadi Transfer & Storage, located at 1801 Lincoln Highway in North Versailles. She stated that her father owned the business since 1967. It had been Ryan's Furniture prior to their purchase. The business used to have underground fuel tanks, but they were removed in the 1980s. They have a closure report for the tanks; however, this was not available during the interview. She showed Markosky the approximate location of the former tanks; outside the side window near the western corner of the building.

On September 12, 2019 Markosky spoke with the owner's wife of Belback services located at 1725 Lincoln Highway near the northern limit of the project area. She reported they bought the business in 1993 which was formerly a U-Haul. There was a single pump used by the U-Haul business on the northwest side of the building, but it was removed prior to purchase. She reported that they have a closure report, however the report was not accessible during the site visit.

On September 12, 2019 Markosky spoke with the owner of SR 0030 Trading Post Antiques and Collectibles located at 14806 Lincoln Highway (at the southwestern quadrant of SR 0030 and Glendale Drive). He described owning the business for four years but has been familiar with the business his entire life. He reported the dry cleaners occupied only the southern portion of the building. He reported that no environmental assessments have been conducted on the building to his knowledge.

On March 24, 2020, Markosky had called the North Huntingdon Police Department to discuss the SR 0030 Expansion project as well as the extent of any accidents that occurred on SR 0030 within their jurisdiction. The dispatcher, Jeremy, stated that he nor his fellow officers responded to any accidents or spills involving fuel or chemical tankers. When asked if any current businesses had previously been gas stations, he stated that Ferrari's Pizza could have been, but before his time. Jeremy asked the other officers if they could remember and they could not recall. Markosky had also asked if there was knowledge if the Sheetz Store 313 had always been a gas station and what was on the property beforehand. Jeremy responded that the Sheetz had been there for at least 20 years to his knowledge.

Fire departments within North Versailles and North Huntingdon townships were contacted, as the date of this report's submission, no information was provided from any of the fire departments.

#### b. State and Federal File Reviews

#### PA DEP EMAP

As stated previously, the Pennsylvania Department of Environmental Protection (PA DEP) eMapPA website was reviewed to identify the presence of regulated facilities within the project corridor. The database revealed nine Envirofacts Facilities: Maroadi Transfer, Merck-Medco RX Services of PA, Monro Muffler Brake 110, Exxon Buy-N-Fly #3, Penske Auto Center, Plaza Cleaners, Ross Kenny Ford, Hi-Way Cleaners & Tux Shop Inc., and Vangura Laminated Products. Eight Storage Tank locations were identified: Maroadi Transfer, Monro Muffler, Marathon, North Versailles Ice, Penn Lincoln Memorial, Sheetz Number 313, Carl's Car Wash, and Freedom River Inc. Six captive hazardous waste facilities were listed within the project area: Monzaks Auto Service, Model Cleaners and Uniform, Penske Auto Service, Kmart Store 4064, Sunoco Service Station, and SuperAmerica Station 5206. Five Conventional Wells are displayed within the project area. Three are operated by Huntley and Huntley, one by Diversified Prod LLC, and one by Peoples Natural Gas. Three X-Ray machines are present within the project area at the following businesses; Kalkstein Family Chiropractic, Myron J Kaufman Dental, and Joseph D Pasquino Podiatrist Office. One Residual Waste

Operation Generator, Vangura Laminated Products, was identified within the project area. A map of the search results is provided in Appendix C.

#### PA DEP EFACTS

The PA DEP eFACTS website was searched for properties identified within the project corridor. The following businesses were listed within eFACTS: Carl's Car Wash, Freedom River, K-Mart Store 4064, Marathon, Maroadi Transfer, Monro Muffler Brake, North Versailles Ice, Penske Auto Center, Sheetz Store No 313, and Vangura Laminated Products.

- Norwin Dodge, located at 13230 Route 30, was listed on the website under client names "Norwin Dodge 132447" and "Pennzoil Quaker State Co 110995" and participates in the Environmental Cleanups & Brownfields and Waste Management DEP programs.
- Freedom River, located at 13460 Route 30, was listed on the website under the client name "Budget Rent A Car Sys Inc 123681" and participates in the Environmental Cleanups & Brownfields DEP Programs.
- Carl's Car Wash, located at 13539 Route 30, was listed on the website under the client name "Karl Singer 164921" and participates in the Environmental Cleanup & Brownfields DEP Program.
- Sheetz Store No. 313, located at 13700 Route 30, was listed on the website and participates in the Environmental Cleanups & Brownfields and Waste Management DEP programs. No information regarding inspections or storage tank registrations were available.
- Vangura Laminated Products, located at 14431 Route 30, was listed on the website and participates in the Waste Management DEP Program. This facility lists violations associated with inspections conducted in 2009. The most recent inspection occurred in November 2009. Violations were recorded and immediately corrected.
- North Versailles Ice, located at 1901 Lincoln Highway, was listed on the website through the client name "William Balsamico 181392" and participates in the Environmental Cleanup & Brownfields DEP Program. A violation was noted in August of 2003 pertaining to "Tank Handling and Inspection Requirements", but it also noted to be "corrected/abated".
- Penske Auto Center, located at 1901 Lincoln Highway, was listed on the website and participates in the Waste Management DEP program.
- K-Mart Store 4064, located at 1901 Lincoln Highway, was listed on the website through the client name "Sears Holdings Corp 63573" and participates in the Environmental Cleanups & Brownfields and Waste Management DEP programs.
- Marathon, located at 1826 Lincoln Highway, was listed on the website through the client names "KRG North Versailles 338173", "Mon Valley Petro Inc 146025", and "Radokovic Enterprises LLC 304129", participates in the Environmental Cleanup & Brownfields DEP program, and had multiple violations listed between 1997 and 2018. The facility's most recent inspection occurred in March of 2018 and noted a violation pertaining to "Failure to meet underground storage tank system operational requirements", but is also noted to be "corrected/abated".
- Monro Muffler Brake 110, located at 1813 Lincoln Highway, was listed on the website through the client name "Crompton Corp 172941" and participates in the Environmental Cleanups & Brownfields and Waste Management DEP programs.
- Maroadi Transfer, located at 1801 Lincoln Highway, was listed on the website and participates in the Environmental Cleanups & Brownfields and Waste Management DEP programs.

Copies of the documents obtained from the eFACTS website are included in Appendix C.

## PA DEP AUL REGISTRY

The Department of Environmental Protection (PA DEP) Activity and Use Limitations Registry (AUL) website was reviewed for listed properties within the project corridor. Two facilities, Former Plaza Cleaners and Kmart Plaza and 35<sup>th</sup> Strouss Associates, were identified within the northwestern section of the project corridor. The Environmental Covenant (EC) documents are included in Appendix C.

<u>Former Plaza Cleaners and Kmart Plaza</u> facility is located at 1901 Lincoln Highway in North Versailles. A former retail strip building located in the south central portion of the Kmart parking lot housed dry cleaning businesses between 1971 and 1988. Various dry cleaners operated in the building until it was razed in 1999.

Preliminary investigations performed on the property in 2017 identified soil and groundwater impacted with dry cleaning related solvents, including tetrachloroethene (PCE), trichloroethene (TCE), and cis-1,2-dichloroethene (cDCE). These contaminates identified at concentrations above the residential statewide health standard (SHS) medium specific concentrations (MSCs). In July 2019, the PA DEP approved a combined cleanup plan and final report. The report concluded that there were no current exposure pathways associated with the impacts at the property and that potential future exposure pathways could be eliminated by engineering and administrative controls implemented through AULs within an EC. A summary of the AULs are as follows:

- Any future building constructed in the area of impacted soil and/or groundwater at the property that is
  designed for human occupancy shall incorporate either a vapor barrier and/or a vapor mitigation
  system unless adequate testing is done to ensure vapor intrusion from soil and/or groundwater will
  not exceed applicable criteria in place at the time the building is constructed.
- The existing parking lot covering the area of impacted soil shall remain in place and be maintained or replaced with a building slab or two feet of clean earthen fill to eliminate the potential for direct contact with impacted surface soil.
- Any future excavation or disturbance in the area of soil impact shall be conducted in accordance with the Soil Management Plan (provided as Exhibit F in the EC) to eliminate the potential for direct contact with impacted surface or subsurface soil.
- Compliance reporting to the holder/owner and PA DEP of a change in ownership or land use.

The approximate location of the impacted soil and groundwater contaminate plume as well as areas requiring future vapor mitigation on the property can be found on the Site Map in Appendix A.

<u>35<sup>th</sup> Strouss Associates</u> is located at 1810 Lincoln Highway in North Versailles. It was formerly used as an electrical brush manufacturing facility, a prescription distribution center, and a call center. The site has been unoccupied/unused since 2014. The historic industrial use by the electric brush manufacturer whose operations included cleaning, degreasing, and pressure washing has impacted the site.

1,1-Dichloroethylene (1,1-DCE) was detected in the subsurface from the site at concentrations that slightly exceeded the soil vapor screening value for non-residential soil. Cadmium and 1,1-DCE were detected in groundwater from the site at concentrations that non-residential, used aquifer groundwater Medium Specific Concentrations (MSCs). No current or probable exposure pathways have been documented at the site, so the site did not require a Cleanup Plan or Risk Assessment. A report titled "Remedial Investigation Report and Final Report, 1810 Lincoln Highway, North Versailles" (RIR/FR) was submitted to the DEP. The proposed Post-Remediation Care Plan to satisfy the requirements in the RIR/FR consist of this Uniform Environmental Covenant and monitoring well abandonment. The DEP approved the RIR/FR on May 4, 2017 as it demonstrated Site Specific Standard (SSS) for soil and groundwater based on non-residential use

assumptions. Since the RIR/FR utilized activity and use limitations and post remedial care plan obligations to meet and or attain the Site Specific Standards, activity and use limitations and reporting shall be required to meet and/or continue to attain the SSS. The property (and its owner, tenants, employees, etc) is subject to the following activity use and limitations:

- Acknowledgement of the presence of groundwater impacts
- Restrict the Site to non-residual use which excludes schools, nursing homes, or other residential-style facilities or recreational areas.
- Prohibit the use of groundwater for any purpose.
- Reporting to Department the results of Site evaluations validating ongoing maintenance of the conditions in the EC.

The location of monitoring wells that were installed on this property can be found on the Site Map in Appendix A of this Phase I ESA.

### U.S. EPA ENVIROFACTS

The U.S. EPA Envirofacts website was also searched for potential environmental conditions within the current project corridor. The following facilities were identified within (or contiguous to) the project study area: Maroadi Transfer, Merck-Medco RX Services of PA, Monro Muffler Brake 110, Exxon Buy-N-Fly #3, Penske Auto Center, K-Mart Store 4064, Ross Kenny Ford, Hi-Way Cleaners & Tux Shop Inc., Vangura Laminated Products, and North Huntingdon Hauling Division. Maroadi Transfer, Monro Muffler Brake 110, Penske Auto Center, Ross Kenny Ford, Hi-Way Cleaners & Tux Shop Inc., and Vangura Laminated Products are listed in the RCRAInfo database. North Huntingdon Hauling Division is listed in the RCRAInfo and ICIS/NPDES databases. Merck-Medco RX Services of PA is a Hazardous Waste Biennial Reporter and is listed in the RCRAInfo database. Exxon Buy-N-Fly #3 is listed ICIS-Air database. Envirofacts search results are provided in Appendix C.

# PA DEP INFORMAL FILE REVIEW

The Pennsylvania Department of Environmental Protection (PA DEP) Southwest Regional Office was contacted for an informal file review of facilities within and in the vicinity of the project corridor. Due to DEP offices currently being closed to the public (due to COVID-19), files on available facilities were mailed to Markosky from the Southwest Regional Office and received in October 2020. Summaries of the files received are included below and are included in Appendix C:

Norwin Dodge (Permit #65-09871 & 65-80917) Norwin Dodge is located at 13230 Lincoln Highway in North Huntingdon and is currently a Jim Shorkey car dealership. This property, location, and business are currently beyond the southeast limit of the project. Former uses of the property associated with auto repair, hydraulic lifts, and gasoline and waste oil USTs have led to contamination of BTEX and solvents in portions of the property; northwest and southeast areas surrounding the building along with an outfall located beyond the asphalt parking lot southwest of the building. In June 1998, DEP sent a letter stating that the Final Report Interim Approval has received Final Approval and that Norwin Dodge has been afforded the relief of liability for further remediation provided by the Land Recycling and Remediation Standards Act. The condition regarding maintenance of the concrete floor of the building remains in effect. In 2003, DEP sent a letter to Norwin Dodge stating that the appropriate deed notice or use restriction has not been recorded as required. No additional correspondence was provided.

As this property and business is located outside of the project limits, no additional investigations will be necessary at this time.

Carls Car Wash (Permit #65-26999) – Carl's Car Wash is a business currently providing car wash and self-storage services located at 13540 Route 30 in North Huntingdon. Three 8,000-gallon gasoline tanks, installed in September 1980, were removed in July 1999 by South Pittsburgh Environmental Group from the business then providing car wash and fueling services. The tanks were located in the northwestern portion of the developed lot while the dispensers were located in a central portion of the lot between Route 30 and the car wash. A UST Closure Report was provided to DEP in September of 1999, however; DEP noted in a letter to Carl Singer, the owner of Carl's Car Wash, that the Department revoked the individual certification license from South Pittsburgh Environmental Group in November 2002 due to falsified information and improper handling of samples. A discrepancy noted within the Closure Report was that uncontaminated soil was returned to the excavation as fill, but without proper sampling being documented. So DEP could not make a final determination regarding actual contaminate levels and conditions on the property. The letter also stated that DEP did not require any further action at that time, but they also don't consider this property to be in compliance with the Storage Tank and Spill Prevention Act or other applicable laws. No additional correspondence between Carl Singer and the DEP regarding additional investigations were provided.

Waste Management (Permit #65-81945) – This site is currently a Waste Management hauling and repair site, but was formerly utilized by Westinghouse. The Westinghouse site activities were unknown. Two 8,000-gallon diesel tanks, previously utilized on site to fuel trucks, were removed in April 2019 by Petroleum Technical Services. A release was confirmed when a sheen was observed on the tank cavity water. Three monitoring wells were installed on the property, but did not encounter water so water samples could not be collected. In December 2019, PA DEP stated that no further action was required for groundwater at that time. In February 2020, DEP completed their review of the Site Characterization Report / Remedial Action Completion Report and provided an approval letter for the report. A relief of liability was granted for soils at the site as the SHS MSC was attained. Potential exposure pathways to human receptors were evaluated and determined to not be a concern. In April 2020, monitoring wells were abandoned at the site.

As this property and business is located outside of the project limits, no additional investigations will be necessary at this time.

- XPO Logistics (Permit #65-27142) — The property currently owned by XPO Logistics formerly contained eight underground storage tanks used by a roadway trucking facility (Warehouse Development Co.). The tanks were used to fuel company vehicles. The tank's contents are as follows: Six 4,000-gallon diesel, one 6,000-gallon used motor oil tank, and one 10,000-gallon diesel tank. In November 1990, Petroleum Industry Maintenance was contracted to remove all eight tanks. A closure report was submitted to DEP however, it was deemed to be incomplete as no disposal records for the underground storage tanks and wastewater/sludge removed during the tank closures were included in the report. In April 1993, American Geosciences, Inc. was contracted to conduct an investigation to evaluate whether soil near the former UST cavity met current DEP criteria for a potential property divestiture. American Geosciences, Inc. submitted Site Investigation Reports that meet DEP criteria for "no further action" in October 1993.

As this property and business is located outside of the project limits, no additional investigations will be necessary at this time.

Sheetz #313 (Permit #65-38177) – The Sheetz Store #313 has operated as a retail petroleum distribution facility and convenience store from 2001 through present. The property contains four underground storage tanks; three 15,000-gallon gasoline tanks and one 6,000-gallon kerosene tank. Site work conducted in November and December 2013 and January 2014 included a partial system replacement. Gasoline product piping and dispensers associated with USTs 002, 003, and 004 were closed by removal and replaced with new piping. The kerosene product line and dispenser associated with UST 001 were closed by removal. The kerosene UST was converted to auto diesel and piping was installed between the diesel UST and the diesel pumps. Additionally, new tank top equipment was installed on the gasoline and diesel USTs. Twenty four samples collected met the PA DEP residential statewide health standards (R-SHS). A Closure Report was submitted to DEP and in March 2014, DEP approved the Closure Report. The soil boring depths appeared to

be approximately three feet for replacement of the new gasoline and diesel lines; however, the excavation depths were not recorded in the report. Tanks were not removed during the replacement work.

- North Versailles Ice (Permit #02-83605) North Versailles Ice, located at 1901 Lincoln Highway in north Versailles, listed four USTs on the property (two 8,000-gallon steel tanks containing gasoline and two 4,000-gallon steel tanks that contain diesel fuel. All four tanks were removed in June 1993. Minor soil contamination was reported during the removal, but no sample results were provided. In December of 2000 and August of 2001, the DEP sent letters to the facility owner in regard to the status of the four registered tanks that were listed as temporarily out of service. The letters also requested payment of UST registrations from 1993 through 2001 due to the temporality out of use status. In April 2003, a notice of violation was issued regarding a failure to have a facility inspection performed. No additional correspondence or documentation was provided. The locations (or former locations) of the USTs were not disclosed by map or text within the documents provided to Markosky.
- Former Plaza Cleaners and Kmart Plaza (LRP #5-2-132-19616) The Plaza Cleaners and Kmart Plaza facility was a former retail strip building housing various dry cleaning businesses located at 1901 Lincoln Highway in North Versailles. Various dry cleaners operated in the former retail strip building between 1971 and 1988. The building was razed in 1999. The building was located in the southeastern portion of the asphalt parking lot of the former Big Kmart structure.

Preliminary investigations performed on the property in 2017 identified soil and groundwater impacted with dry cleaning related solvents, including tetrachloroethene (PCE), trichloroethene (TCE), and cis-1,2dichloroethene (cDCE). These contaminates identified at concentrations above the residential statewide health standard (SHS) medium specific concentrations (MSCs). In July 2019, the PA DEP approved a combined cleanup plan and final report. The report stated that attainment of the Site Specific Standard (SSS) has been demonstrated for methylene chloride, PCE, and TCE in soil and cDCE, PCE, and TCE in groundwater. The report also described groundwater impacts being restricted to a localized, perched zone on the property with lack of recharge at depth (greater than 20 feet bgs), so no current or future exposure to impacted groundwater would occur from future excavation activities. Five soil gas sample points were installed around the Former Plaza Cleaners footprint. Soil vapor readings collected from soil gas sample point VP-01, installed in a central area of the former plaza cleaner's structure, returned a soil gas reading exceeding the Act 2 nonresidential vapor intrusion screening values for sub-slab soil gas for PCE. Soil gas sample points, VP-04 and VP-05, were collected near known utility line connections upgradient of the Former Plaza Cleaners footprint and approximately 150 feet northeast of Route 30. These sample points reported results equal to or less than 22 ug/m3 of PCE and TCE, below the Act 2 nonresidential vapor intrusion screening values. The report concluded that there were no current exposure pathways associated with the impacts at the property and that potential future exposure pathways could be eliminated by engineering and administrative controls implemented through AULs within an EC. The EC was approved by DEP in November 2019. A summary of the AULs are as follows:

- Any future building constructed in the area of impacted soil and/or groundwater at the Property that is
  designed for human occupancy shall incorporate either a vapor barrier and/or a vapor mitigation
  system unless adequate testing is done to ensure vapor intrusion from soil and/or groundwater will
  not exceed applicable criteria in place at the time the building is constructed.
- The existing parking lot covering the area of impacted soil shall remain in place and be maintained or replaced with a building slab or two feet of clean earthen fill to eliminate the potential for direct contact with impacted surface soil.
- Any future excavation or disturbance in the area of soil impact shall be conducted in accordance with the Soil Management Plan (provided as Exhibit F in the EC) to eliminate the potential for direct contact with impacted surface or subsurface soil.
- Compliance reporting to the holder/owner and PA DEP of a change in ownership or land use.

The approximate location of the impacted soil and groundwater contaminate plume as well as areas requiring future vapor mitigation on the property can be found on the Site Map in Appendix A.

Marathon (Permit #02-23316) – The Marathon property, located at 1820 Lincoln Highway in North Versailles, operated a retail gasoline station dating back to at least 1965; however, specific owner and operation information is reportedly unknown prior to 1982. Mon Valley Petroleum, Inc. owned the property in 1982 and operated as an Exxon Mobil Buy & Fly #3, a convenience store with retail sales of gasoline and diesel. KRG North Versailles, LLC (KRG) purchased the property on November 22, 2016 and sold the property to Giant Eagle /Get Go on August 10, 2018.

In January 1998, three 10,000-gallon USTs were removed and upgraded. Potentially impacted soil was encountered during excavation to which DEP issued a notice of violation, but did not follow up with the consultant regarding their response.

- In May 2005, five soil borings converted into five monitoring wells were part of a site characterization. The soil and groundwater analytical results showed no exceedances above SHS Medium Specific Concentrations (MSC) for either soil or groundwater.
- In April 2018, twelve soil borings (four had temporary groundwater piezometers installed) were part of a Phase II ESA. The soil samples had no SHS MSC exceedances. Only one of the four groundwater samples had SHS MSC exceedances. This was located between the two UST fields.
- In December 2018, all six USTs (three 10,000-gallon unleaded gasoline USTs, three 4,000-gallon diesel) were removed. Water collected within the gasoline tank cavity was found to exceed statewide health standards for select volatile organics (benzene, toluene, and 1,2,4-Trimethylbenzene). No collected soil samples in the cavity exceeded standards. The release was not believed to have come from the removed tanks.
- In May 2019, five soil borings, which were converted into temporary monitoring wells (TMWs), were advanced to delineate the extent of observed impacted soil during UST removals. The five TMWs were placed to assess upgradient, side-gradient, and downgradient groundwater flow directions from the previously identified groundwater impact in 2018. There were no SHS MSC exceedances in either media.
- In September 2019, DEP reported that groundwater samples collected to assess upgradient, side-gradient, and downgradient groundwater flow directions from the previous identified groundwater impact in 2018 resulted in no SHS exceedances. Furthermore, the lone water exceedance in 2018 may have been from a soil saturated zone above the established groundwater table and isolated to this localized area between the two tank fields. There is no evidence of an on-site groundwater contaminant plume. Excavation of suspected contaminated soils during the UST removals has removed the source area and thus effectively remediating the impacted area. DEP approved the August 2019 Site Characterization Report in October 2019 stating that interim remedial actions have attained the residential statewide health standard.

<u>35<sup>th</sup> Strouss Associates</u> – The 35<sup>th</sup> Strouss Associates site, located at 1810 Lincoln Highway in North Versailles, was used as an electrical brush manufacturing facility named Trans Tech Inc. between 1956-1989. The site was later used as prescription distribution center named Flex Rx. Inc. between 1989-2008 and lastly a call center between 2008-2014. The site has been unoccupied/unused since 2014. 35<sup>th</sup> Strouss Associates has owned the site since 2014. The historic industrial use by the electric brush manufacturer whose operations included cleaning, degreasing, and pressure washing has impacted the site.

Phase II investigative efforts were initiated in 2016 which included advancement of soil borings, installation of groundwater monitoring wells, and collection of sub-slab vapor samples. Dissolved cadmium and 1,1-dichloroethylene (1,1-DCE) were identified in groundwater at concentrations greater than their non-residential, used aquifer MSCs. Chlorinated solvents were detected in sub-slab vapor samples in concentrations less than volatilization to indoor air screening (VIAS) values. Metals and 1,1,1-

trichloroethane (1,1,1-TCA) were detected in soil sampling from monitoring well borings; however, the concentrations were less than their respective non-residential MSCs.

The report also stated the site is underlain by varying amounts of fill ranging from one-foot thick to twenty feet thick. In general, the fill is thickest to the south and east of the on-site building and consists of varying amounts of slag, gravel, sand, clay, and rock fragments. Bedrock was found as shallow as two feet and as deep as twenty-eight (28) feet. The shallow bedrock encountered was sandstone. The water table was encountered within sandstone bedrock at depths ranging from nine feet to 19 feet. Groundwater beneath the site flows generally in a south/southwest direction.

The report concluded that no current or probable exposure pathways have been documented at the site so the site does not require a cleanup plan or a risk assessment. A post-remediation care plan proposed for the site includes activity and use limitations and monitoring well abandonment. The activity and use limitations to be included in an Environmental Covenant (EC) are as follows:

- Acknowledge the presence of groundwater impacts.
- Restrict the site to non-residential use.
- Prohibit the use of groundwater for any purpose.
- Reporting requirements to the PA DEP.

The four monitoring wells installed in March 2016 were properly abandoned in September 2017. In May 2017, PA DEP approved the final report and stated that the project attained a Non-Residential, Site Specific Standard for soil and groundwater.

**Speedway (Permit #02-34090)** – The Speedway property, located at 1700 Lincoln Highway in North Versailles, is currently operating as a retail gasoline station. The property contains four USTs installed in December 2014: One (1) 10,000-gallon gasoline UST, one (1) 8,000-gallon gasoline UST, one (1) 4,000-gallon Gasohol UST, and one (1) 12,000-gallon diesel UST. In October 2018, an Underground Storage Tank Facility Operation inspection occurred and the facility was found to be noncompliant for spill prevention as all spill containments were almost full with a water and fuel mixture. No other violations, spills, or leaks were reported.

As this property and business is located outside of the project limits, no additional investigations will be necessary at this time.

#### c. Database Search

Review of the two Environmental Data Resources Inc. (EDR) Radius Reports (Appendix D) identified 66 database listings for 19 facilities within one mile of the project area. The sites identified within or contiguous to the project corridor are as follows:

#### Michigan Lane to Old Jacks Run Road:

- Carls Gas Company is listed at 13539 SR 0030. This facility was found in the PA Archive UST database. The Archive UST lists three 8,000-gallon tanks that contain gasoline. There were no incidents or violations listed on the report.
- Karls Gas Company is listed at 13540 SR 0030. This facility was found on the EDR Historical Auto list. The EDR Historical Auto List shows that Karl's Gas Company was potentially a gasoline service station from 1994 through 2014.
- Vangura Surfacing/Laminated Products is listed at 14431 SR 0030. This facility was found in the PA Manifest and RCRA-SQG databases. The PA Manifest Database lists manifests in 2006, 2015, and 2017. Manifests were provided for spent non-halogenated hydrocarbons (F003 and F005), ignitable waste (D001), and corrosive wastes (D002). The RCRA-SQG database listed Vangura as

handling waste codes D001, F003, and F005. It was noted that Vangura has received several notices of violation in the years 1995, 1996, 1998, and 2009, but compliance was achieved for each violation.

- George Luhovey is listed at 13660 SR 0030 in the current location of Northern Sky Dental. It is found in the EDR Historical Auto database as a gasoline service station from 1974 through 1978.
- Sheetz Store No 313 is listed at 13700 SR 0030. This facility was listed in the RCRA-CESQG, PA UST, and Historical Auto databases. According to the RCRA-CESQG database, this business was listed to have handled ignitable waste and benzene. No violations were reported at this site. The UST database lists three 15,000-gallon gasoline tanks and one 6,000-gallon diesel fuel tank that are all currently in use. The historical auto database lists Sheetz 313 as a gasoline service station from 2002 through 2014.
- Arnolds Harry Mobil located at SR 0030 W and Carpenter Lane was found in the EDR Historical Auto Database. While an exact address was not provided, its location is approximate. This business was listed as a gasoline service station from 1972 through 1977.
- Freedom River Inc. is listed at 13460 SR 0030 in the current location of MC Quality Cars. This facility was found in the PA LUST, PA Archive AST, and PA Archive UST databases. Two former LUSTs occurred at this location in 1989. Cleanups were reported to have been completed in 1994. One 275-gallon AST containing new motor oil is listed to be exempt at the facility. The PA Archive UST database listed one 2,000-gallon diesel UST that was closed without a permit at this location.

#### Old Jacks Run Road to SR 0048:

- Merk-Medco RX Services is listed at 1810 Lincoln Highway on SR 0030. This facility was found in the RCRA-LQG database and was listed to have handled ignitable waste (D001), corrosive waste (D002), reactive waste (D003), arsenic (D004), chromium (D007), mercury (D009), selenium (D010), silver (D011), Lindane (D013), benzene (D018), O-Cresol (D023), M-Cresol (D024), P-Cresol (D025), Cresol (D026), pyridine (D038), multiple spent halogenated wastes (F001 and F002), spent non-halogenated hydrocarbons (F003, F004, and F005), multiple acute hazardous wastes (P-wastes), and multiple toxic (non-acute, U-Wastes) hazardous waste. No violations were reported at this site.
- Maroadi Transfer and Storage is listed at 1801 Lincoln Highway. This facility was found in the PA Archive UST and RCRA-SQG databases. The PA Archive UST database listed two 2,000-gallon gasoline tanks that were closed without a permit. This business was listed to have handled ignitable waste (D001). No violations were reported at this site.
- U Haul CTR Lincoln Highway is listed at 1725 Lincoln Highway and is currently the location of Belback Services. This facility is found in the PA Archive UST database and lists two 6,000-gallon gasoline UST, a 2,000-gallon diesel UST, and a 550-gallon used oil UST all installed in December 1977 and all closed without a permit.
- Bobs Esso is listed at 1815 Lincoln Highway which is currently the address of Ferguson Plumbing Supplies. The facility was found in the EDR Historical Auto database as a gasoline service station in 1972.
- Monro Muffler Brake is listed at 1813 Lincoln Highway. This facility was found in the RCRA-SQG database. This business was listed to have handled ignitable waste. No violations were reported at this site.
- Hi-Way Cleaners and Tux is listed at 14800 RT 30. This facility was found in the RCRA-SQG, FINDS, and ECHO databases. This business was listed to have handled ignitable waste. No violations were reported at this business.

- Penn Lincoln Memorial Park is listed at 14679 RT 30. This facility was found in the PA Archive UST database. The database listed one 500-gallon diesel UST that was closed without a permit at this location.
- Plaza Cleaners is listed at 1901 Lincoln Highway within the Kmart Plaza. This facility was found in the RCRA-SQG database. This business was listed to have handled Tetrachloroethylene (D039) and other spent halogenated solvents (F002). No violations were reported at this site.
- Model Cleaners and Uni is listed at 1901 Lincoln Highway within the Kmart Plaza. This facility was found in the RCRA-SQG database. This business was listed to have handled Tetrachloroethylene (D039) and other spent halogenated solvents (F002). No violations were reported at this site.
- Red Cap Cleaners is listed at 1901 Lincoln Highway within the Kmart Plaza. This facility was found in the EDR Historical Cleaner database. The EDR Historical Cleaner List shows that Red Cap Cleaners was a dry-cleaning plant from 1971 through 1980 and a linen supply/clothing company from 1994 through 1996.
- Penske Auto Center is listed at 1901 Lincoln Highway within the Kmart Plaza. This facility was found in the RCRA-CESQG, FINDS, and ECHO databases. The RCRA-CESQG database states that this business was listed to have handled ignitable waste, benzene, and tetrachloroethylene (D039). No violations were reported at this site.
- Elizabeth Hata International is listed at 14559 RT 30. This facility was listed in the RCRA-CESQG, FINDS, and ECHO databases. This business was listed to have handled ignitable waste. No violations were reported at this site.
- Kmart Store 4064 is listed at 1901 Lincoln Highway. This facility was found in the RCRA-CESQG, FINDS, ECHO, PA VCP, PA Archive UST, and PA Manifest databases. The RCRA-CESQG database states that this business was listed to have handled ignitable waste, cadmium, lead, benzene, methyl ethyl ketone, tetrachloroethylene, and trichloroethylene. No violations were reported at this site. The PA VCP database shows that Kmart is in progress with a site-specific standard for both soil and groundwater. This was received on January 25, 2018. The PA Archive UST database listed one 1,000-gallon used oil tank as closed without permit.
- North Versailles Ice is listed at 1901 Lincoln Highway within the Kmart Plaza however, the facility is recorded in the EDR report under Kmart Store 4064. This facility was listed within the PA Archive UST and PA Manifest databases. The PA Archive UST database notes two 8,000-gallon gas tanks that were temporarily out of use and two 4,000-gallon diesel tanks that were temporarily out of use. Manifests of ignitable wastes (D001), corrosive wastes (D002), barium (D005), cadmium (D006), chromium (D007), lead (D008), and warfarin and salts greater than 0.3% in concentration (P001) are associated with this facility.
- Radokovic Store B (Marathon) is listed at 1826 Lincoln Highway. This facility was found in the PA LUST and PA Archive UST databases. The PA LUST database lists that tank #7 leaked unleaded gasoline and impacted the surrounding soil in 1998. The LUST released the following chemicals: benzene, cumene, ethylbenzene, methyl-tert-butyl ether (MTBE), naphthalene, toluene, and total xylenes. The facility completed the cleanup in December 2005. The LUST database also indicated, in 2018, that Marathon was involved in a property transfer and that interim or remedial actions were initiated. The Archive UST database lists one 2000-gallon kerosene tank was closed without a permit.

Four orphan sites that cannot be mapped due to poor or inadequate address information were listed within the reports. All four sites (Ross Appliance, Sewickley Township Westmoreland County, Pittsburgh Brass Manufacturing, and Irwin Nike Site Pl 36) were identified outside of the project area. Irwin Nike Site Pl 36 is located on Sandy Hill Road in Irwin and is approximately five miles east of the project corridor. Irwin Nike Site Pl 36 is a Pennsylvania Voluntary Clean Up Site. The remaining three sites; Sewickley Township

Westmoreland County, Ross Appliance, and PGH Brass MFG are all listed in LUST databases. Sewickley Township Westmoreland County is located on Mars Hill Road, although an address wasn't provided. 2288 Mars Hill Road in Irwin is the location of the Sewickley Township building provided by Google. This location is over five miles south-southeast of the project corridor. Ross Appliance is currently located at 4221 Northern Pike in Monroeville which is approximately 5 miles north of the project corridor. PGH Brass Mfg is located on Sandy Hill Road in Irwin. A possible location is near the Irwin Nike Site (also located on Sandy Hill Road) which is located approximately 5 miles east of the project corridor.

# d. Aerial Photography, Topographic, and Sanborn Map Investigation

# Aerial Photography:

# Michigan Lane to Old Jacks Run Road:

1938-1949: SR 0030 is observed within the photograph traveling from the southeast corner of the photograph through the center of the photo and exits in a northern direction. The 1938 photo largely displays agricultural areas with associated residential structures. A commercial swimming pool is observed in the northern portion of the photograph. The 1949 photograph displays earth moving activities throughout the photo for residential and commercial construction and strip mining. A drive in theater is observed in the northern portion of the photograph south of the swimming pool. Overall, development of both residential and commercial activities has increased in relation to the 1938 photograph.

<u>1957-1973</u>: Residential development has increased largely through review of these photographs. Increased residential and commercial development is observed in the southern portions of the photographs as well.

<u>1983-1993:</u> Additional development of commercial and larger buildings is observed in the southern and central portions of the photograph.

<u>2006-2017</u>: The land use on these photographs remains largely forested in the northeastern portions, residential in the northwest and southwest portions, and commercial along SR 0030. Commercial development appears to have increased slightly. Two car dealerships are displayed on the southeast portions of the photographs. Commercial and residential properties remain constant from 2006 through 2017 and appear similar to present day use.

# Old Jacks Run Road to SR 0048:

<u>1938-1940</u>: The main land uses on these photographs include agricultural activity in the southern and western portions, residential and forested in the northeastern portion, and transportation in southeast and northwest portions. Present day SR 0030 and SR 0048 are apparent in the photographs. The 1940 photograph is of poor quality and therefore only changes to transportation features can be observed.

<u>1949-1959:</u> Commercial development appears throughout the photograph while expansive residential communities are constructed. Agricultural areas begin to grow in and become forested.

<u>1967-1983</u>: The land use on these photographs remains residential, commercial, and forested. The northeastern and southwestern portions of the photograph remain largely forested. Residential areas have become more densely populated in the southeastern and the northwestern portions of the photograph. Commercial development has increased in these areas as well. Overall development has increased along State Route 48 and SR 0030 throughout the photograph.

<u>1988-2002</u>: The land use on these photographs remains residential, commercial, and forested. The northeast and southwest portions remain largely forested. Residential areas have become more densely populated in the southeastern corner of the photograph. Additional commercial and residential development has increased throughout the photograph.

<u>2006-2017:</u> Increased commercial development is noticed along the SR 0030 corridor. The project area appears to be similar to present day conditions.

An increase in residential and commercial structures and a decrease in agricultural activity has occurred within the study area when comparing the 1938 aerial photograph with the 2017 photograph. The most notable features are the construction of large residential developments and commercial facilities displayed in 1967 through present day. Copies of the aerial photography are included in Appendix D.

# Topographic Maps:

<u>1906-1953</u>: An increase of transportation infrastructure improvements such as township roads throughout the map are apparent from 1906 to 1953. The existence of pipelines and strip mining are apparent in the 1953 maps. Additional residential housing is apparent throughout the map from 1906 to 1953. SR 0030 is labeled as a highway and establishes its final corridor in the 1953 map.

<u>1969-2013</u>: The most notable change on these topographic maps is the recognition of SR 0030 labeled as a 4-lane highway on the 1969 map. An increase of residential and commercial infrastructure throughout the map is easily apparent and the most notable changes on the 1969, 1979, and 1994 maps.

#### Sanborn Maps:

Sanborn Fire Insurance Maps were not available for the study area. The EDR documents stating this area is unmapped are included in Appendix D.

#### e. Field Reconnaissance

On September 5, 2019 and September 19, 2019, the project study area was visited to identify any obvious signs of contamination, such as stained soils, stressed or absent vegetation, discolored water, and odiferous areas. Markosky investigated businesses and properties that were identified by government databases to have handled hazardous substances or are likely to handle hazardous substances. Additionally, businesses and/or properties identified during the site reconnaissance to potentially contain or handle hazardous substances were investigated. The following resources or sites were observed and investigated during the field reconnaissance for this project:

Michigan Lane to Old Jacks Run Road: A field view revealed former and current fueling stations along with utilities, electrical transformers, and drainage structures along SR 0030 within the study area. This section of the corridor features developed commercial structures and residential housing plans, as well as used car dealerships and automotive repair shops. Minimal staining was observed along roadways consistent with typical vehicular use. No obvious signs of contamination were observed. The following properties and businesses were investigated during the site reconnaissance. They are listed in order from Michigan Lane north to Old Jacks Run Road.

- Trailer Park Office at Michigan Lane, located at 13489 Route 30, was investigated. The building was vacant and appeared to be unused. A fill port was located off the eastern side of the building in the sidewalk. The fill port indicates the presence of an underground tank likely used for storing heating oil for the building. Odd shaped pavement markings and repairs were noticed in the current parking lot located east of and adjacent to the building. Markosky was informed at a later time that this was a former location of a propane tank used for distribution of propane to the residences of the trailer court.
  - <u>Carl's Sign Service</u>, located across LaserWash Car Wash, was investigated. Asphalt was placed east and north around the business. The business is located inside a building that appears to have formerly been a residential structure. The owner reported the former use of this building had been a brothel and that areas both northeast and southwest of his business (Carl's Sign Service) contained fill. He also reported to have also previously owned the LaserWash Car Wash. Stormwater grates observed within the parking lot

did not display any oily sheens. A dumpster was located near the southern portion of the property. No staining was observed below or surrounding the dumpster.

- Carl's Car Wash, currently known as LaserWash Car Wash, is located in the southern portion of the project at the intersection of SR 0030 and Maine Lane. This business was investigated for evidence of former underground tanks and oil water separators. This one story business features two bays for a car wash and eight bays used for self-storage. The driving surface at this location is asphalt. Local business owners stated the property was previously a fueling station. An interview conducted with the owner stated that the gas station was closed, the fueling tanks were removed, and an environmental assessment was completed. He also mentioned that a second environmental assessment was conducted in 2005, when the property was sold. He provided additional information that a junkyard was located southeast of his property, but has since been filled in and that neighboring businesses have built on the fill material. No evidence of former tanks such as vent pipes, dispensers, or a fueling island were observed at the car wash.
- Northern Sky Dental, located in the southwestern quadrant of the Carpenter Lane and SR 0030 intersection, was investigated due its address appearing as a fueling station in the EDR report. An interview was conducted, but none of the current employees had knowledge of the previous land use of the property. The current building is used as a dental office and features an asphalt parking lot. No evidence of a former fueling station or underground tanks were observed during the site visit.
- Sheetz Store 313, located in the northwestern quadrant of the intersection of SR 0030 and Carpenter lane, is listed on the EDR Report and was investigated. The UST basin was observed in the southeast corner of the parking lot. The Sheetz convenience store is located in the northwest corner of the property. An interview with the store manager was conducted and they did not recall any environmental issues with the storage tanks or with the facility itself.
- A Park n Ride, located north of and adjacent to Sheetz Store 313, was investigated. Multiple interviews with local business owners described that the eastern portion of the property was previously occupied by a restaurant that had burned down. The portion of the park and ride closest to SR 0030 featured an asphalt parking surface while western portions were dirt. The Park N Ride was full of cars during the site reconnaissance so observation of the ground surface was greatly hindered. No environmental concerns were noted at this location.
- A vacant lot (13810 SR 0030) and one vacant building (13820 SR 0030), located between the Park N Ride and the Huntingdon Inn Motel, were investigated. The vacant lot was mostly graveled and contained a concrete foundation pad with vegetative growth throughout the property. This was reportedly the former location of a firearms dealership. No staining or stressed vegetation were present on the property. No evidence of environmental concerns were observed on the property. The vacant building resembling an A-frame type building with detached garage was also investigated. This building appeared to be have been a former off-road ATV/Dirt Bike sales and/or repair shop. A large roll off dumpster was placed south of the building blocking access to vehicles to reach the detached garage. No staining was observed below the dumpster. A 55-gallon drum was observed north of and adjacent to the building. The drum felt heavy and contained a liquid, however no labeling was observed on the drum. No staining or leaking was noted around the drum at the time of the investigation. No additional environmental concerns were noted at this location.
- Britner Automotive Electrical Service, located at 14240 Lincoln Highway, in the northwest quadrant of the intersection of SR 0030 and Keystone Lane, was investigated. The structure is a one story concrete block building with a basement and one large garage bay. Concrete pads and separate circular concrete structures flush with the ground surface were observed in the gravel lot surrounding the business. Small patches of asphalt remained as well. Additionally, fill was observed to be placed in the hillside north of Britner's business between Britner and Allstate Insurance to increase the parking area. Discussions with the owner of the businesses revealed the shop was used formerly as an Audi repair shop and a former Gulf Station. The owner didn't have any information as to the fate of the former underground tanks but was not aware of any tanks on the property. No vent pipes, dispensers, or remains of a dispenser island

were observed during the site reconnaissance however, the remaining concrete pads and circular concrete structures present an environmental concern.

- Elite Motors located at 14380 SR 0030, near the intersection of SR 0030 and Magnus Lane was observed. This business operates as a used car sales lot. The parking lot was mostly gravel and contained several vehicles, hindering observation of the gravel below. The owner reported this business to have been built recently in place of a pet grooming service.
- <u>Vangura Laminated Products</u> is located upslope from SR 0030 and is located outside of PennDOT's right-of-way so the entrances to Vangura on Vangura Lane and Magnus Lane were investigated. No staining or stressed vegetation was noticed near or within PennDOT's right-of-way.
- <u>Hadad Motors</u> is located in the central portion of the project area, in the southern quadrant of the intersection of Old Jacks Run Road and SR 0030. This business operates as a used car sales lot as well as an auto repair station. A separate one story office building and detached one story repair garage with two large bays were observed on the property. An asphalt parking lot extends from the office and the garage to SR 0030. The parking lot of the facility contained multiple vehicles, hindering observation of the asphalt below. Slight stained areas, likely vehicular fluids, were noticed throughout the parking area. The two story garage located downgradient and west of the office was not investigated due to its lower elevation and distance (~150 feet) from SR 0030.
- A vacant lot located in the southeast quadrant of the intersection of SR 0030 and Old Jacks Run Road was investigated. Only concrete pad foundation remains were observed to be surrounded by a former asphalt driving surface, also in very poor condition. Through internet research and interviews with local businesses, this was the location of a former restaurant diner. No environmental concerns were discovered at this location.

Multiple stormwater grates were located within the shoulder along SR 0030. No sheens or staining were observed in the drains observed.

Photographs and field checklists are included in Appendix E.

Old Jacks Run Road to SR 0048: A field view revealed one cemetery, former fueling stations and former dry cleaners, two Environmental Covenants, active automotive repair stations, restaurants, utilities, electrical transformers, and drainage structures along S.R 0030 in a corridor featuring recent development of commercial structures within the study area. The following properties and businesses were investigated during the site reconnaissance. They are listed in order from Old Jacks Run Road north to SR 0048.

- Ferrari's Pizzeria, located in the northwestern quadrant of SR 0030 and Old Jacks Run Road, was investigated due to the prime location of the business and the suspect appearance of the building as a former auto service station and a gas station. Interviews with multiple local business owners confirmed that this location was formerly a fueling station. The building was most recently a pizza shop but is currently not in use so interviews with employees or owners could not be conducted. A brick rectangle filled with overgrown vegetation was observed in front of the building in the location of a possible former fueling island. The remaining portion of the parking lot is covered in asphalt.
- <u>Massung Poultry Sales</u> is located in the central portion of the study area, approximately 425 feet north of the intersection of SR 0030 and Old Jacks Run Road. The property contained what appeared to be a vacant one story brick and block building with a parking area consisting of grass and gravel. The business appeared to sell meats and featured multiple loading docks. A pole mounted transformer was found north of the building. There was no sign of leakage from the transformer and no obvious environmental conditions present at this location.
- <u>Hi-Way Cleaners and Tux</u>, currently known as Antiques and Collectables, is located in the southeastern quadrant of the intersection of SR 0030 and Glendale Drive. Antiques and Collectibles is a second hand store / resale shop operating within a two story building with a basement. An asphalt parking lot is

located east and north of the building. Hi-Way Cleaners and Tux was listed in the EDR Report as a historic cleaner from 1974 through 1990 and was investigated during the site visit. An interview with the current owner was also conducted. Although the owner acknowledged the past use of facility, he did not recall performing any environmental reports prior to his purchase or if any issues or remediation have occurred in relation to the former dry cleaning business. During the investigation, a solid waste dumpster was observed to the southwest of the building. Additionally, 55-gallon drums were adjacent to the dumpster although they appeared to be new and unused. A large pile of refuse containing tires and other solid waste was observed during the site visit. Stormwater grates were located on the east side of the parking lot, along SR 0030. No evidence of stressed vegetation or equipment indicating remedial efforts were undertaken was noticed during the site reconnaissance.

- <u>Penn Lincoln Memorial Park</u> was investigated during the site visit as it was listed in the EDR Report to have contained a registered UST. Solid waste dumpsters were visible at the east end of the parking lot. A building with four garage bays containing a tractor and snow removal equipment was noticed on site. Evidence of the former UST was not identified.
- A vacant lot along westbound SR 0030 was observed. This lot is located adjacent to the northeast corner of the Penn Lincoln Memorial Park (cemetery) and across SR 0030 from Liz's Catering and Restaurant (14840 Lincoln Highway). This property was investigated due to the presence of a concrete slab foundation remaining on the lot. Additionally, interviews of local business owners stated that the location was formerly used as a fueling station. The property displayed several concrete slabs that were overgrown with vegetation however no signs of UST fill ports, vent pipes, or monitoring wells were identified. No solid waste was observed to be dumped at this location.
- <u>Leader Auto Sales</u> is located in the northern portion of the project area between Woodside Road and Tracy Drive on westbound SR 0030. This facility operates as a used car sales lot as well as an auto repair and detail station. The Leader Auto Sales property was covered largely by asphalt parking areas; however, the offices and the service center were observed in a one story brick building with two large garage doors. Although the interior areas of the repair station were not observed, no evidence of current or former USTs or ASTs were observed.
- Victory Lane Auto Service is located in the northern portion of the project area, south of 84 Lumber and west of Leader Auto Sales. This facility operates as a used car sales lot as well as an auto repair station. Victory Lane Auto Service contained a mix of concrete, old asphalt, and gravel parking surfaces. The brick service facility contained three garage bays. A smaller, three garage bay vinyl sided building labeled as "Auto Service Dept" is located northeast of the main building. This building is observed in historic aerials to date back to at least the 1950s. The parking lot of the facility contained multiple vehicles, hindering observation of the asphalt below. Multiple dark stain areas, likely vehicular fluids, were noticed throughout the parking area. A solid waste dumpster was located adjacent to the smaller building.
- North Versailles Ice is located in the southern portion of the Kmart parking lot. North Versailles Ice, now known as Casa D'Ice, was reported to be a restaurant and bar, but appeared in the EDR report as registering four underground storage tanks; two gasoline and two diesel, all with temporarily out of use status. No evidence of the tanks was observed during the site reconnaissance. It appears that the building is not currently in use at least as a restaurant and bar; however, it was reported that the owner lives in the building. Interviews with other business owners had reported that this building has been built recently and has no history of other uses. The registered USTs pose an environmental concern for the project.
- The vacant Kmart Store 4096 and parking lot is located in the eastern quadrant of the intersection of SR 0048 and SR 0030, was investigated, but was closed and vacant during the site reconnaissance. Additionally, a former Burger King restaurant located in this parking lot, was also observed to be vacant and closed. A large green tank was surrounded by chain link privacy fence within the eastern portion of the parking lot north of Casa De Ice. According to eMap, the fenced area is an oil and gas facility owned by Diversified Products LLC. The facility is approximately 275 feet northeast of SR 0030. No staining

was apparent surrounding the facility during the field view. No other staining or environmental concerns were observed. The EDR report reported former registered tanks, auto service centers, and dry cleaning facilities at this location. However, no indications of the tanks or the dry cleaners were observed during the site reconnaissance. After the site reconnaissance was performed, the eastern portion of the Kmart parking lot was displayed within the PA DEP AUL website. This was the former location of the dry cleaning business listed within the EDR report (Plaza Cleaners) sharing an address with Kmart. Contaminated soil and groundwater were identified at this site. Refer to b. State and Federal Reviews for more information on the PA DEP AUL / Environmental Covenant on this property. The Environmental Covenant describes that multiple dry cleaners have been in business at that location. No evidence of the former building was observed during the site reconnaissance.

- Popeye's Louisiana Kitchen, located in the southeast quadrant of the intersection of SR 0030 and SR 0048, was investigated. An asphalt parking lot covers the majority of the site while a drive thru lane surrounds the building. Interviews were conducted with the staff. The manager stated that they have only been there a few years and was not aware of the previous land use of the property. No evidence of tank vent pipes or other equipment indicative of former tanks or pumps was observed around the property. While the property has been used as a fast food restaurant since 1976, as reported by the Allegheny County Real Estate Portal, its use prior to 1976 was not disclosed. Historical aerial imagery indicates a former building, used as a business with an asphalt parking lot, was located in a different position than the current building which was built between 1973 and 1983. This former business was not disclosed and its prime location at the intersection of SR 0048 and SR 0030 represents a potential environmental concern for the project.
- The Marathon gas station located in the western quadrant of the intersection of SR 0048 and SR 0030 was under construction and fenced off during the site reconnaissance. All structures were razed, and the driving surface removed and excavated to dirt. Only the billboard and the Marathon fuel price advertisement sign located in the northeastern corner of the property remained. As the property was entirely fenced off, a more detailed investigation could not be performed.
- Ferguson Plumbing Supply, located northwest of Aldi Drive and SR 0030, was investigated. The building featured an asphalt parking lot in the southern and eastern areas adjacent to the building. Minimal dark staining, likely vehicle fluids, were visible on the asphalt. The asphalt entrance of the parking lot building contained a stormwater grate. No visible staining on the water within the grate was observed. The address for this location was identified within the EDR report as a gasoline station in 1972. The employees interviewed had no knowledge of the building being used as a gasoline station in the 1970s but also couldn't state the building's use farther back than the 1990s. No evidence of vent pipes, former dispenser islands, or other indicative signs of a former fueling station were observed during the site reconnaissance. A graveled throughway providing direct access to Aldi Drive from the business was noted between Aldi drive and the asphalt parking lot of the Ferguson Plumbing business. Historical aerial imagery displayed structures and parked vehicles within a parking lot in the current gravel throughway. A more defined use of the structures and parking area could not be determined through observation of the historical aerials. No evidence of structures or former tanks was observed in this area, however; this address (1815 Lincoln Highway) reported as a gasoline station in the EDR report presents an environmental concern for this area.
- Monro Muffler, located between Ferguson Plumbing and Maroadi Transfer and Storage, was investigated. Although the business was visited on a weekday, no one was present for an interview and the doors were locked. The building features six commercial sized garage doors with an asphalt parking lot. No evidence of underground or above ground tanks, an oil water separator, or staining were observed around the building or in the parking lot.
- An <u>unused commercial office building</u> located at 1810 Lincoln Highway, adjacent to the Marathon gasoline station site, was listed on the PA DEP AUL website and was investigated as a result. The AUL website provided an Environmental Covenant for 35<sup>th</sup> Strouss Associates. Soil and groundwater

contamination were discovered on the property. The commercial building was listed as "For Sale or For Lease" and appeared to be unoccupied and unused as the large parking area was empty during the site reconnaissance. Neighboring businesses could not provide any information on former uses of this business or property.

- Maroadi Transfer and Storage is a moving company located northwest of the intersection of SR 0048 and SR 0030 and adjacent to and east of Dix Drive. This business was listed on the PA eMap website and the U.S. EPA Envirofacts website. An investigation of property took place as a result. The commercial sized building contained three large bay doors and two smaller bay doors. The surrounding area of the building was asphalt and was used as a travel/parking lane for cargo trucks. There was no visible staining on the asphalt. The owner of the business reported former USTs near the western corner of the building, but they were removed in the 1980s. The owner reported to have a closure report for the tanks; however, this was not available during the interview. The owner had shown Markosky the approximate location of the former tanks; outside the side window near the western corner of the building.
- <u>Belback Service</u> is a specialized automotive repair station located northwest of the intersection of PA-48 and SR 0030 and adjacent to and east of the intersection of Bach Drive and SR 0030. The building contained six bay doors to service their customers. The surrounding parking area was mostly asphalt. The parking lot of the facility contained multiple vehicles, hindering observation of portions of the asphalt below. Observations and background research indicate that underground storage tanks were present on the property. Discussions with employees of the business reported that the UST(s) were removed prior to purchase of the building from U-Haul.

Multiple pole-mounted transformers were identified within this section of the total project area. None of the transformers identified appeared to be in poor condition or leaking during the site reconnaissance.

Multiple stormwater grates were located within the shoulder along SR 0030. No sheens or staining were observed in any of the drains observed.

Photographs and a study area map are included in Appendix E.

#### V. CONCLUSION

# SR 0030 from Michigan Lane to Old Jacks Run Road Segment: Michigan Lane to Carpenter Lane

Trailer Park Office at Michigan Lane, located at 13489 Route 30, was vacant and unused during the site reconnaissance. A fill port indicating the presence of an underground tank was located off the eastern side of the building in the sidewalk. The fill port and tank were likely used for storing heating oil for the building. No additional environmental concerns were noted at this location.

MC Quality Cars is located at 13460 SR 0030 in North Huntingdon and provides used car sales as well as vehicle service. This property is formerly known [in this report] as Freedom River Inc. This facility was found in the PA LUST, PA Archive AST, and PA Archive UST databases within the EDR report. Two former LUSTs occurred at this location in 1989, but cleanups were reported to have been completed in 1994. One 275-gallon AST containing new motor oil is listed to be exempt at the facility. The PA Archive UST database listed one 2,000-gallon diesel UST that was closed without a permit at this location. Although a UST permit number was supplied to PA DEP for this facility (65-81229), no information was provided to Markosky. Through an interview with an employee, this facility was never used as a gas station. Additionally, interviews, historic photographs, and aerials show this location (and other structures in this area) to be built on fill material brought onsite in the mid-1900s to bring these areas to grade.

The structure labeled "The Barn Shop" and "Crafts", located at 13500 Route 30 in North Huntingdon (between Carl's Signs and the plaza housing State Farm Insurance), was used formerly as an Auto Parts and Auto Service business in the 1950s (as displayed in a photograph provided by a neighboring business owner) and as a dry cleaner business as reported by a separate business owner and local resident. This resident also reported known contamination on this property from the dry cleaning business. This property was not found in any database (likely due to the years in operation prior to regulation) and the owners or employees of the business were not able to be contacted.

Carls Car Wash is located at 13540 US Route 30 and is currently known as LaserWash Touch Free Car Wash. This business currently offers car wash and self-storage services, but had also operated as a gasoline station in the 1980s and 1990s. This business was found in multiple state databases. The gasoline tanks, dispensers, and associated piping were removed without incident in July 1999; however due to a license revocation of the contractor who performed the removal services, DEP did not sign off or approve of the UST Closure Report. As the license revocation occurred after the project had been completed, DEP could not make a final determination regarding actual contaminate levels and conditions on the property. DEP did not require any further action at that time, but they also don't consider this property to be in compliance with the Storage Tank and Spill Prevention Act or other applicable laws. Jim Singer, the reported former owner, stated that a second environmental assessment had been completed in 2005 prior to the sale of the property. The 2005 environmental assessment was not able to be accessed and reviewed for this Phase I ESA. Currently, the Westmoreland County GIS Viewer lists the owner of the property to be James Singer, transferred from Jane Singer in 2004.

Overflow vehicle storage was observed at the intersection of Leger Road and Crown Road. Pre-owned vehicles are stored here and blocked in on this vegetated lot. Due to the placement of the vehicles (close proximity and blocked in) and the numbers and notes written on them, they appear to be trade-in vehicles from the Jim Shorkey dealership. This parcel is owned by Courtesy Land Holdings who also owns the Jim Shorkey dealership.

George Luhovey was a facility found in the EDR Historical Auto database as a gasoline service station from 1974 through 1978. The address of 13660 Route 30 is the current location of Northern Sky Dental. No information was provided on this former use from the employees or the owner of the property. The Westmoreland County GIS Viewer shows the current owners had taken ownership of this property in 1983.

### **Carpenter Lane to Magnus Lane**

Sheetz Store #313 has operated as a retail petroleum distribution facility and convenience store from 2001 through present day. Information supplied from PA DEP described a partial system replacement of piping and dispensers. The tanks were not removed during the replacement. The EDR report found a gasoline service station named "Arnolds Harry Mobile" located at Route 30 West and Carpenter Lane recorded from 1972 through 1977. As "George Luhovey" was a gas station located in the south-southwestern quadrant of the intersection (in the current location of Northern Sky Dental) in 1974 through 1978, "Arnolds Harry Mobile" would be located in the northwestern corner of the Route 30 and Carpenter Lane intersection, in the present location of the Sheetz gas station. No information was provided to Markosky regarding the former use of the property or any environmental assessments or cleanups performed before the Sheetz station was constructed.

A Park n Ride, located north of and adjacent to Sheetz Store #313, was investigated during the site visit. The address of 13760 Route 30 in North Huntingdon is provided for this area. The portion of the park and ride closest to SR 0030 featured an asphalt parking surface while western portions were dirt. The Park N Ride was full of cars during the site reconnaissance so observation of the ground surface was greatly hindered. Multiple interviews

conducted with local business owners described that the eastern portion of the property was previously occupied by a restaurant that had burned down. No environmental concerns were noted at this location.

Britner Automotive Electrical, located at 14240 Lincoln Highway in North Huntingdon is an automotive repair station specializing in electrical repair. During the site visit Mr. Britner was interviewed and reported owning this location since 1979. He mentioned that the property was formerly a Saab repair shop and Gulf Station. He didn't think underground tanks remained on the property; however concrete pads and separate circular concrete structures flush with the ground surface were observed in the gravel lot surrounding the business. In addition, fill was observed to be placed in the hillside north of Britner's business between Britner and Allstate Insurance to increase the parking area.

#### Magnus Lane to Old Jacks Run Road

Hadad Motor Sales, located at 14550 Route 30, is a used auto sales and auto repair business situated in the Southwest corner of the Old Jacks run Road intersection. The owner of the business reported owning this location for 31 years (in 2019) and that its former use was a bar. This location did not appear in any databases searched. No evidence of current or former USTs were observed during the site visit.

Vacant Lot in SE quadrant of Old Jacks Run Road Intersection (Parcel ID # 54-03-00-0-020) displayed only a concrete pad surrounded by broken asphalt. Through interviews and desktop research, this quadrant housed a diner associated with the Blue Dell Drive-In Theater (currently the location of Vanguard Surfacing Products) and a public swimming pool, formerly located north of Peterson Road, a few hundred feet East of Route 30. While there was no activity at this quadrant of the intersection during the site reconnaissance, Google street view shows this area has been used for a roadside farmer's stand and idling and parking of vehicles. No staining or dumping was observed in this location during the site reconnaissance.

# SR 0030 from Old Jacks Run Road to SR 0048 Segment: Old Jacks Run Road to Ardara Road

Ferrari's Pizzeria is a former pizza shop located at 14562 Route 30 in Irwin. This property is located in the northwestern quadrant of SR 0030 and Old Jacks Run Road. Interviews with multiple local business owners confirmed that this location was formerly a fueling station, but was most recently used by multiple pizza shops. These business owners also reported that the fuel tanks still remain on the property. The building was vacant during the site visit so interviews with employees or owners could not be conducted. A brick rectangle in the middle of the parking lot is likely a former fueling island. It was formerly landscaped and was observed to be filled with overgrown vegetation.

Massung Poultry Sales was a business selling meats located at 14688 Route 30 in Irwin. The structure featured concrete block construction and multiple loading docks. The man doors in the southern portion of the building appear to be constructed in former garage bay doors due to the non-matching concrete block used to fill in these areas. A third garage bay door was blocked off, using concrete block, behind the "split breasts" sign on the building. Open vertical pipes were noticed in the gravel parking lot of the building, but their use is unknown.

Antiques and Collectibles, located at 14800 RT 30, is a second hand store. This was the former location of Hi-Way Cleaner and Tux. This facility was found in the RCRA-SQG, FINDS, and ECHO databases and is listed in the EDR Report as a historic cleaner from 1974 through 1990. An interview with the owner revealed that no environmental studies have been conducted on this facility in association with the former use as a dry cleaning business.

Penn Lincoln Memorial Park is located at 14679 Route 30 in North Huntingdon. This facility was found in the PA Archive UST database and listed one 500-gallon diesel UST that was closed without a permit at this location. No employees were available for interview during the site reconnaissance and evidence of the former UST was not identified. The maintenance shed for the memorial park is located over 300 feet east of Route 30 and is presumably the location of the closed UST. Although a UST permit number was supplied to PA DEP for this facility (65-82646), no information was provided to Markosky.

Former Gas Station Lot (Parcel ID # 54-03-00-0-017) is located adjacent to the northwestern corner of the Penn Lincoln Memorial Park (cemetery) and across SR 0030 from Liz's Catering and Restaurant (14840 Lincoln Highway). Interviews of local business owners stated that the location was formerly used as a fueling station. The site reconnaissance revealed a former concrete foundation, but no visual evidence of USTs remaining on site. It should be noted that this area was heavily vegetated during the site visit which hindered observation of the area.

#### **Ardara Road to Tracy Drive**

Leader Auto Sales is located at 1957 Lincoln Highway in North Versailles and has operated as a used car sales lot as well as an auto repair and detail station since 1985. The owner of the business did not provide any information to Markosky regarding the history or former uses of the property or of the multiple other properties owned by his business along Route 30 such as The Café on 30, Anchor Hoagies, and Victory Lane Auto Service. No underground tanks were listed on this property and this property was not found in any databases searched.

Victory Lane Auto Services is an auto repair station and used car lot located at 1954 Lincoln Highway in North Versailles. This building is observed in historic aerials dating to at least the 1950s. The northern building is labeled as "Auto Service Dept" and appears to be an original building on the property. The parking lot was composed of a mix of concrete, old asphalt, and gravel. The concrete and gravel was noted to be in poor condition. Multiple dark stains, likely automotive fluids, were noticed throughout the parking area. Although no strong evidence of former USTs was noticed, it should be noted that multiple vehicles parked in the parking lot hindered observation of the ground below.

#### **Tracy Drive to SR 0048**

North Versailles Ice, currently known as Casa D'Ice, is located at 1901 Lincoln Highway in North Versailles and listed four USTs that were reportedly removed in June 1993. Minor soil contamination was reported during the removal, but no investigative efforts or sample results were provided. The locations of the USTs were not disclosed by map or text within the documents provided to Markosky. In December 2000 and August 2001, the DEP sent letters to the facility owner in regards to the status of the four registered tanks that were listed as temporarily out of service. No additional information was provided. It is unknown if USTs remain on the property.

Former Plaza Cleaners facility within the former Kmart Plaza was a former retail strip building housing various dry cleaning businesses located at 1901 Lincoln Highway in North Versailles. Various dry cleaners operated in the former retail strip building between 1971 and 1988. The building was razed in 1999. The building was located in the southeastern portion of the asphalt parking lot of the former Big Kmart structure. Investigations performed around the former building footprint identified soil and groundwater impacted with dry cleaning related solvents, including tetrachloroethene (PCE), trichloroethene (TCE), and cis-1,2-dichloroethene (cDCE) above the residential statewide health standard (SHS). DEP file review information reported a perched aquifer with a lack of recharge at a depth greater than 20 feet bgs. Soil vapor readings VP-04 and VP-05 were collected near known utility lines upgradient of the Former Plaza Cleaners footprint and approximately 150 feet northeast

of Route 30 reported results equal to or less than 22 ug/m3 of PCE and TCE, below the Act 2 nonresidential vapor intrusion soil screening value. Route 30 is upgradient of the former plaza cleaner's footprint. An EC is placed on this portion of the former Kmart Plaza parking lot and implements activity and use limitations (AULs) to eliminate current and future exposure pathways from the impacts. The EC is included in Appendix C. A summary of the AULs are as follows:

- Any future building constructed in the area of impacted soil and/or groundwater at the Property that is designed for human occupancy shall incorporate either a vapor barrier and/or a vapor mitigation system unless adequate testing is done to ensure vapor intrusion from soil and/or groundwater will not exceed applicable criteria in place at the time the building is constructed.
- The existing parking lot covering the area of impacted soil shall remain in place and be maintained or replaced with a building slab or two feet of clean earthen fill to eliminate the potential for direct contact with impacted surface soil.
- Any future excavation or disturbance in the area of soil impact shall be conducted in accordance with the Soil Management Plan (provided as Exhibit F in the EC) to eliminate the potential for direct contact with impacted surface or subsurface soil.
- Compliance reporting to the holder/owner and PA DEP of a change in ownership or land use.

A UST permit number was supplied to PA DEP for this facility, Former Kmart Plaza Cleaners, (02-15259), but no information was provided to Markosky regarding the underground tank.

Popeyes Louisiana Kitchen is located at 1900 Lincoln Highway and operates as a fast food restaurant. While the property has been used as a fast food restaurant since 1976, as reported by the Allegheny County Real Estate Portal, its use prior to 1976 was not disclosed. Historical aerial imagery indicates a former building was situated in a different position that the current building and faced the center of the intersection. Two rectangular "islands" are observed in the parking lot of the former building; one located parallel to SR 0048 and the other located parallel to Route 30. The uses of the "islands" is unknown at this time. The current building was built between 1973 and 1983.

#### SR 0048 to Luehm Ave / Naser Road

The Marathon property operated a retail gasoline station dating back to at least 1965; however, specific owner and operation information is reportedly unknown prior to 1982. The Allegheny County Real Estate Portal (http://www2.alleghenycounty.us/RealEstate/Search.aspx) displays ownership dating to 1952 although the use of the site at that time is not disclosed. Mon Valley Petroleum, Inc owned the property in 1982 and operated as an Exxon Mobil Buy & Fly #3, a convenience store with retail sales of gasoline and diesel. KRG North Versailles, LLC (KRG) purchased the property on November 22, 2016 and sold the property to Giant Eagle /Get Go on August 10, 2018. In December 2018, all six USTs (three 10,000-gallon unleaded gasoline and three 4,000-gallon diesel) were removed. In September 2019, DEP reported "that groundwater samples collected to assess upgradient, side-gradient, and downgradient groundwater flow directions from the previous identified groundwater impact in 2018 resulted in no SHS exceedances. Furthermore, the lone water exceedance in 2018 may have been from a soil saturated zone above the established groundwater table and isolated to this localized area between the two tank fields. There is no evidence of an on-site groundwater contaminant plume. Excavation of suspected contaminated soils during the UST removals has removed the source area and thus effectively remediating the impacted area". DEP approved the August 2019 Site Characterization Report in October 2019 stating that interim remedial actions have attained the residential statewide health standards. A reported depth to groundwater was not found within the information provided, but was reported on an adjoining property (35<sup>th</sup> Strouss Associates) to range from 9 to 19 feet bgs and flow in a south-southwestern direction.

During the September 2019 site visit, the property appeared to be completely razed with no structures present and no constructed driving surfaces. Bare earth was observed throughout the property.

Ferguson Plumbing is a plumbing supply store located at 1815 Lincoln Highway, northwest of Aldi Drive and SR 0030. This address was identified within the EDR report as a gasoline station in 1972 labeled as "Bob Esso". The employees interviewed had no knowledge of the building being used as a gasoline station in the 1970s, but also couldn't state the building's use farther back than the 1990s. No evidence of vent pipes, former dispenser islands, or other indicative signs of a former fueling station were observed during the site reconnaissance. A graveled throughway providing direct access to Aldi Drive from the business was noted between Aldi drive and the asphalt parking lot of the Ferguson Plumbing business. Historical aerial imagery from 1969 through 1993 displayed structures and parked vehicles within a parking lot in the current gravel throughway. This gravel throughway is part of parcel ID # 750-F-280, which is separate from the Ferguson Supply parcel.

The 35<sup>th</sup> Strouss Associates site, located at 1810 Lincoln Highway in North Versailles, was used as an electrical brush manufacturing facility between 1956-1989. The historic industrial use by the electric brush manufacturer whose operations included cleaning, degreasing, and pressure washing has impacted the site. Phase II investigative efforts revealed dissolved cadmium and 1,1-dichloroethylene (1,1-DCE) in groundwater at concentrations greater than their non-residential, used aquifer MSCs. These exceedances were found in locations beyond the southwestern corner of the building. Metals and 1,1,1-trichloroethane (1,1,1-TCA) were detected in soil samples from monitoring well borings; however, the concentrations were less than their respective non-residential MSCs. Chlorinated solvents were detected in sub-slab vapor samples in concentrations less than volatilization to indoor air screening (VIAS) values. The water table was encountered within sandstone bedrock at depths ranging from nine feet to nineteen feet. RCRA metals were detected in all soil samples collected.

The report concluded that no current or probable exposure pathways have been documented at the site so the site does not require a cleanup plan or a risk assessment. To meet and/or continue to obtain Site Specific Standards for the site, the activity and use limitations included in the Environmental Covenant (EC) on the site are as follows:

- Acknowledge the presence of groundwater impacts;
- Restrict the site to non-residential use;
- Prohibit the use of groundwater for any purpose; and
- Reporting requirements to the PA DEP.

Monro Auto is an auto service and repair station located at 1813 Lincoln Highway. This facility was found in RCRA and PA DEP databases. No violations were reported at this site. No interviews were conducted for this property as the location was closed at the time of the site visit. Oil staining was noticed on the asphalt parking lot in the parking spaces; however no major cracks were observed in the asphalt in the parking spaces. Additionally, stormwater drains, a strip drain, and an asphalt curb directing stormwater flow toward the drains should prevent build up and accumulation of petroleum products in pools and puddles of water on this site. No stained soil was observed in the vegetated right-of-way. There were no signs of any underground used oil tanks or fuel tanks at this location.

Maroadi Transfer is a business providing truck transport, storage, and moving servies at 1801 Lincoln Highway. This facility was found in multiple state databases. The PA Archive UST database listed two 2,000-gallon gasoline tanks that were closed without a permit, but no violations were reported at this site. Mary Maroadi, president of Maroadi Transfer & Storage, stated that her father owned the business since 1967. It had been

Ryan's Furniture prior to their purchase. The business formerly utilized underground fuel tanks, but they were removed in the 1980s. She reported having a closure report for the tanks, but it was not available during the interview. She shown Markosky the approximate location of the former tank basin; outside the side window near the western corner of the building. Although a UST permit number was supplied to PA DEP for this facility (02-27689), no information was provided to Markosky.

Belback Services is a repair shop for specialized and heavy equipment located at 1725 Lincoln Highway. This location was formerly a U Haul business. This facility was found in the PA Archive UST database and lists two 6,000-gallon gasoline USTs, a 2,000-gallon diesel UST, and a 550-gallon used oil UST all installed in December 1977 and all closed without a permit. The employees of the business reported that the UST(s) were removed prior to purchasing the property from U-Haul. Although a UST permit number was supplied to PA DEP for this facility (02-13312), no information was provided to Markosky.

Speedway, located at 1700 Lincoln Highway in North Versailles, is currently operating as a retail gasoline station. The property contains four USTs installed in December 2014: One 10,000-gallon gasoline UST, one 8,000-gallon gasoline UST, one 4,000-gallon Gasohol UST, and one 12,000-gallon diesel UST. In October 2018, an Underground Storage Tank Facility Operation inspection occurred, and the facility was found to be noncompliant for spill prevention as all spill containments were almost full of a water and fuel mixture. No other violations, spills, or leaks were reported. The UST basin is located in the northern portion of the property. Interviews were not conducted regarding the property as it is located outside of the project area.

#### **Lead-Based Paint**

In 1978 the Consumer Product Safety Commission banned both the sale and use of lead-based paint. Based on the age of certain structures within the project area, it is possible that the paint applied to these structures could contain lead and other toxic elements such as arsenic, cadmium, and chromium.

#### Asbestos

Federal National Emission Standards for Hazardous Air Pollutants (NESHAP) regulations regarding asbestos (40 CFR 61, Subchapter M) apply to the demolition of structures that were constructed prior to 1985. Asbestos containing materials (ACMs) that may have been used in the construction of buildings and structures prior to 1985 include: insulation coverings on utility pipes; "transite" pipes (asbestos product); resilient floor coverings, asphalt roofing products, and fiber-reinforced materials such as joint caulks, joint sealants, and water proofing sheet membranes. The presence or absence of ACM cannot be determined unless an asbestos inspection by a PA Department of Labor and Industry (PA DLI) certified asbestos inspector is conducted on the structures to be demolished. As many structures along this corridor were built prior to 1985, it is possible that asbestos containing materials (ACM) could be present within the structures.

#### VI. RECOMMENDATIONS

Markosky recommends the following actions for the Phase I ESA sites within the project area:

# SR 0030 FROM MICHIGAN LANE TO OLD JACKS RUN ROAD

# Michigan Lane to Carpenter Lane

#### No Further Action Required at this Time for the Trailer Park Office

The trailer park office at Michigan Lane, located at 13489 Route 30, was vacant and unused during the site reconnaissance. A fill port indicating the presence of an underground tank was located off the eastern side of the

building in the sidewalk. Proposed corridor improvement plans display a legal slope easement through the building. Markosky assumes that this structure will not be razed as the project limits start north of the structure.

If plans change and the trailer park office will be impacted, additional investigations may be needed to remove the tank and to determine if soil and groundwater were impacted from the tank.

#### No Further Action Required at this Time for MC Quality Cars / Freedom River Inc.

This used car facility was found in multiple databases pertaining to registered ASTs and USTs as well as leaking underground tanks (LUSTs) in 1989. Cleanup has been reported in relation to these LUST events in 1994. An archive UST database reports a 2,000-gallon diesel tank was closed without a permit at this location. Information on the cleanup efforts were not found or provided to Markosky. Additionally, fill material was brought onsite in the mid-1900s to bring these areas to grade. As fill material was used to bring this area to grade prior to 1988, the soil may qualify as historic fill by the PA DEP Management of Fill Policy. The proposed project area starts within 19 feet of the northern corner of the property boundary of MC Quality Cars, but the property will not be impacted by the project.

If plans change and the MC Quality Cars property will be impacted, additional investigations may need to be completed to determine if residual contamination remains from the former LUST events and to determine if the fill can be managed as clean fill as defined by the PA DEP Management of Fill Policy, Document Number 258-2182-773, Effective Date January 1, 2020.

### Initiate Phase II / Phase III Activities for The Barn Shop

As historical photographs display this property to have formerly been used as an auto parts and auto service business in the 1950s and reported by a business owner and a local resident to have also been used as a dry cleaner business with known contamination on this property, Markosky proposes Phase III activities in the form of soil and groundwater sampling (if applicable) to determine if contamination exists and at what level. Proposed corridor improvement plans show widening activities encroaching on the property along with drainage improvements in the northern portion of the property.

### Initiate Phase II / Phase III Activities for Carls Car Wash

Carls Car Wash formerly operated as a fueling station in the 1980s and 1990s, with the USTs removed in 1999. However, PA DEP could not provide a final determination regarding contaminate levels and conditions on the property due to falsified information provided in the UST Closure Report. Mr. Jim Singer described an additional environmental assessment of the property in 2005 prior to sale of the property. The current owner is reported to be James Singer. As the reported 2005 environmental assessment could not be reviewed and because proposed corridor improvement plans will encroach on the former location of the UST basin, Phase III soil and groundwater samples should be obtained to verify the absence of contaminates in this area.

#### No Further Action Required at this Time for the Intersection of Leger Road and Crown Road

Overflow vehicle storage was observed at the intersection of Leger Road and Crown Road. The pre-owned and trade-in vehicles stored here are placed on a vegetated lot. Due to the amount of vehicles stored, the close proximity to each other, and the vegetated brush on the site, the site was not easily accessed or observed. The vehicles placed here did not appear to be stored for an extended period of time. Markosky assumes this area is a holding area for the vehicles until they can be transported off site. As these are trade-in and pre-owned vehicles, it is possible that fluids may leak from these vehicles onto the soil in this area; however, if the vehicles are stored here for a short period of time, hazardous fluids should not be able to accumulate in large quantities. As corridor improvements are proposed in this area and will reconstruct this intersection, it is possible that soil staining and stressed vegetation could be encountered in this area. As per Publication 281, minor or easily handled amounts of contamination, may be addressed by a special provision in the Plans, Specification, and Estimate (PS&E) package in the Final Design. Therefore, special provisions should be included in the contract for the handling of excavated materials and for a worker health and safety plan.

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#### Initiate Phase II / Phase III Activities for George Luhovey / Northern Sky Dental

The address of 13660 Route 30 was found in the EDR Historical Auto database as a gasoline service station from 1974 through 1978. The address of 13660 Route 30 is the current location of Northern Sky Dental. As a gasoline station reportedly operated out of this location prior to environmental regulation, as no information was provided on the former use of the property and fate of the underground tanks, and proposed corridor improvement plans will encroach on the northern portion of the parking lot, Markosky proposes a Phase II geophysical survey to determine if USTs may remain in the subsurface and also Phase III soil and groundwater sampling in the area to be disturbed.

#### Carpenter Lane to Magnus Lane

# Initiate Phase II / Phase III Activities for Sheetz Store #313

Sheetz Store #313 has operated as a retail petroleum distribution facility and convenience store since 2001; however, no environmental reports were provided to Markosky regarding the former use of property or the environmental status prior to the construction of the Sheetz. A 2013/2014 closure of fuel piping and dispensers did not include removal of tanks and required only excavation depths of approximately three feet. Soil samples collected for the closure along the pipe routes met the residential statewide health standard. As the former use of the property was revealed to be a gasoline station in the mid-1970s and prior to environmental regulations and reporting/inspection requirements contaminated soil could remain on the property. The proposed corridor improvements show roadway widening and drainage upgrades along the southern and eastern portions of the Sheetz property. Markosky recommends Phase III soil sampling to occur in areas to be excavated for the corridor improvements.

#### No Further Action Required for the Park N Ride

A former restaurant was reported to be located in this area which is currently used as a Park n Ride. This parcel and the adjacent parcel located to the southwest is owned by the Westmoreland County Transit Authority. The Park N Ride was full of cars during the site reconnaissance so observation of the ground surface was greatly hindered. No environmental concerns were observed at this location. Proposed corridor improvements appear to only impact the asphalt parking surface adjacent to Route 30. No further action is required at this site.

# Initiate Phase II / Phase III Activities for Britner Automotive Electrical Services

Britner Automotive Electrical is an automotive repair station. Formerly this property was used as a Gulf gas station and Saab automotive repair. The owner has owned this property since 1979, but was unsure if the gasoline tanks remained on the property. Proposed corridor improvement plans show only minor encroachment of the roadway on the property; however, due to excavation depths needed for roadway reconstruction and drainage improvements, contaminated media from former use of the USTs could be encountered by the project. Markosky proposes a Phase II geophysical survey to determine if USTs remain in the subsurface and also Phase III soil and groundwater sampling in the area to be disturbed along the roadway.

Fill was observed to be placed in the hillside north of Britner's business; however, the proposed project does not appear to encounter the soil. If plans change and the fill located north of Britner's business will be impacted, additional investigations may need to be completed to determine if the fill can be managed as clean fill as defined by the PA DEP Management of Fill Policy, Document Number 258-2182-773, Effective Date January 1, 2020.

#### Magnus Lane to Old Jacks Run Road

# <u>Initiate Phase II / Phase III Activities</u> for the vacant lot in the SE quadrant of the Old Jacks Run Road Intersection

Based on the information provided to and gathered by Markosky, the concrete pad and asphalt surrounding the pad belonged to a diner located in the southeast quadrant of the Old Jacks Run Road intersection. No visible environmental concerns were noted with this quadrant as no staining was noticed on the ground, no dumping of

solid waste was found, and no evidence of former tanks was observed. As limited information was gathered on this area and as this area will be fully excavated to provide a jug handle to connect to Peterson Drive as well as construction of a stormwater retention pond and associated drainage improvements, a geophysical survey should be performed in this area to determine if tanks or other obstructions exist below the surface and could be encountered during construction.

#### No Further Action Required at this Time for Hadad Motor Sales

Hadad Motor Sales, located at 14550 Route 30, is a used auto sales and service business situated in the Southwest corner of the Old Jacks Run Road intersection. While auto repair services are performed at this location, no evidence of former fuel tanks were observed on site. No environmental concerns were visually apparent on site, were reported to Markosky, or are associated with the reported former uses of the site so no further action is required at this time for Hadad Motor Sales.

# SR 0030 FROM OLD JACKS RUN ROAD TO SR 0048

#### Old Jacks Run Road to Ardara Road

# Initiate Phase II / Phase III Activities for Ferrari's Pizza

The location of the former Ferrari's Pizzeria has been reported through multiple interviews to be a former fueling station. These interviewees also reported the tanks to remain on the property. The site visit revealed a former dispenser island located in the parking lot of the business. The corridor improvement plans propose razing this business and the residential structure on this property to construct a jug handle. Markosky recommends a Phase II geophysical survey to identify the locations of the underground tanks, and also Phase III soil and groundwater sampling to determine if contamination exists on this property as a result of the underground tanks.

### **Initiate Phase II / Phase III Activities** for Massung Poultry Sales

The construction of the Massung Poultry Sales business alludes to the business initially being constructed for auto repair as former garage bays are observed in the southern section of the building. Additionally, open vertical pipes of unknown use were observed in the gravel parking lot. As corridor improvements propose roadway widening in this area to encroach on the parking lot for Massung Poultry Sales, Markosky recommends a Phase II geophysical survey to be conducted on the parking lot of this property to determine if obstructions or former underground tanks may exist on the property. If underground tanks are identified, Markosky proposes Phase III soil and groundwater sampling to determine if contamination is present in the subsurface.

#### Initiate Phase II / Phase III Activities for Antiques and Collectibles / Hi-Way Tux

Dry Cleaners have been known to release Tetrachloroethylene (PCE/PERC) to the environment through typical business practices. As a dry cleaning business operated out of this location for an extended period of time (at least 1974 through 1990), it is likely that contaminated soil and groundwater may be encountered during excavation of this area. Corridor improvement plans propose roadway widening and cuts to Route 30 and Glendale Drive and drainage improvements in this area which will encroach on the property. Markosky recommends Phase III soil and groundwater sampling to be conducted in areas where excavation is planned.

# No Further Action Required at this Time for the Penn Lincoln Memorial Park

A UST was reported to be closed without a permit at the Penn Lincoln Memorial Park. While information could not be obtained from PA DEP, the presumed location of this tank would be at the maintenance shed located over 300 feet east of Route 30. Proposed corridor improvements will not occur in the vicinity of the maintenance shed so no further action is required at this time.

## <u>Initiate Phase II / Phase III Activities</u> for the Former Gas Station Lot

This vacant lot (Parcel ID # 54-03-00-0-017) was reportedly a gas station previously although no records were found pertaining to this former use. No evidence of USTs were observed during the site visit, but it should be noted that this area was heavily vegetated during the site visit which hindered observation of the area. As corridor

improvements plans propose a stormwater retention pond, drainage improvements, and roadway widening requiring excavation at depth on this property, Markosky recommends a Phase II geophysical survey to be conducted to determine if USTs remain in the subsurface. Markosky also recommends Phase III soil sampling to be conducted to determine if contaminates remain from the former gas station.

#### **Ardara Road to Tracy Drive**

#### No Further Action Required at this Time for Leader Auto Sales

No information was provided on the former uses of this property or other properties along Route 30 owned by Leader Auto (Café on 30, Anchor Hoagies, Victory Lane Auto Sales, etc). Additionally, no information was found in databases searched on this property. It is known that auto repair and detailing is performed by this business. As the service building is located at a higher elevation than the used car lot, surface water runoff from rain events or car washing would flow to the southern corner of the property and pool or enter a stormwater inlet. The lot was investigated during the site visit and the asphalt lot appeared to be in good condition without obvious pathways to the subsurface. The corridor improvement project proposes drainage improvements and roadway widening in the southern corner of the property, but no obvious signs of contamination were identified. No further action is required at this time for Leader Auto Sales.

#### <u>Initiate Phase III / Phase III Activities</u> for the Victory Lane Auto Services

Victory Lane Auto Services appears to have been an auto service business dating to at least the 1950s. Dark staining was observed on this ground at this location. Multiple parking surfaces (concrete, asphalt, and gravel) were noted as well in poor condition. Proposed corridor plans display this property being razed for roadway widening and construction of a storm water retention pond. As excavation at depth will occur on this property, Markosky recommends a Phase II geophysical survey to determine if underground fuel or waste oil tanks exist on the property and Phase III soil and groundwater sampling to determine if contamination exists on the site due to its lengthy service as an auto repair business.

#### **Tracy Drive to SR 0048**

#### No Further Action Required at this Time for the Former Plaza Cleaners facility

The EC on the property details current contaminates and outlines contaminate boundaries associated with the former use of the section of property and discusses AULs placed on the property to eliminate exposure pathways. Proposed corridor improvements do not intersect or encroach on the environmental covenant; however, proposed plans show "Development By Others (To Be Determined)" on a neighboring property (housing a former bank, parcel ID# 750-P-225) which lead onto the former Kmart parking lot housing the EC. Prior DEP notification will be required if any sliver takes or excavations are planned on the Former Plaza Cleaners facility as it carries the EC and activity and use limitations. Any future excavations or disturbance of the area of soil impact shall be conducted in accordance with the soil management plan provided with the EC.

#### Initiate Phase III / Phase III Activities for North Versailles Ice / Casa D'Ice

North Versailles Ice, currently known as Casa D'Ice, is located at 1901 Lincoln Highway in North Versailles. This facility formerly utilized four USTs (gasoline and diesel) in an unknown location on the property. Minor soil contamination was reported during the removal, but no investigative efforts or sample results were provided. As proposed corridor improvements necessitate razing and removal of this structure for installation of an off-ramp to the former Kmart structure, Phase III sampling of soil should be conducted on this property to determine the location for the former tanks and contaminate levels remaining in the soil, if any.

# <u>Initiate Phase III / Phase III Activities</u> for Popeyes Louisiana Kitchen property

Historical aerial imagery presents a suspect layout of the building on site and two rectangular "islands" situated parallel to SR 0048 and Route 30. The position of the "islands" is similar to fueling islands positioned parallel to roadways at the time for quick fueling and advertising purposes. The use of the property prior to 1976 was not

disclosed. The current position of the Popeyes building, in the southeastern portion of the property, is not located over the former structure foundation or the islands. This portion of the property is currently covered in asphalt. As proposed corridor improvements will encroach on the parking lot in the northwestern portion of the property, Markosky proposes a Phase II geophysical survey to determine if fueling islands, piping, underground tanks, or other obstructions may be present on the property. If former fueling islands, piping, or tanks is discovered by geophysical equipment, Markosky proposes Phase III soil sampling to be conducted to determine if contamination exists in this area.

#### SR 0048 to Luehm Ave / Naser Road

# Initiate Phase II / Phase III Activities for the Marathon Fueling Station

The Marathon property operated a retail gasoline station dating back to at least 1965. A convenience store with retail sales of gasoline and diesel has operated at this location since 1982. Giant Eagle /Get Go purchased the property in August 2018. In December 2018, all six USTs were removed. DEP approved the August 2019 Site Characterization Report in October 2019 stating that interim remedial actions have attained the residential statewide health standards. Through review of the DEP file review documentation, samples collected were obtained from areas within tank cavities, under former dispensers, and along piping routes. Two soil samples were collected from test pits excavated between the two tank cavities. Samples were not collected from other locations of the property as they were not associated with the tank removal. Due to the long history of the site as a fueling station and because samples were not collected from locations to be impacted in the proposed corridor improvements, contaminated material could be encountered during excavation of these area. Proposed corridor improvements show roadway widening and stormwater drainage improvements within the required right of way. Markosky proposes Phase III soil and groundwater sampling in this area to determine if any contamination will be encountered during excavation for the roadway improvements.

# Initiate Phase II / Phase III Activities for Ferguson Plumbing and adjacent gravel throughway

As the address of this location was tagged as a gasoline station in the 1970s with no knowledge of a UST basin location or UST closure reports, it is possible that tanks may remain in the subsurface of the Ferguson Plumbing property or adjacent gravel throughway located on Home Depot property. Proposed corridor improvements show cut and fill proposed near the gravel throughway and Ferguson Plumbing parking lot, respectively, and drainage improvements in the right of way. Markosky proposes a Phase II geophysical survey to be conducted over the gravel throughway and the parking lot of the Ferguson plumbing parking lot to determine if underground tanks remain. Markosky also proposes Phase III soil and groundwater sampling to be conducted in this area in the event that former tanks (that may or may not remain in the subsurface) have released leaded petroleum products to the surrounding soil and groundwater in the area.

#### No Further Action Required at this Time for 35th Strouss Associates

The EC discusses AULs placed on the property to meet and/or continue to obtain the site specific standards. No current or probable exposure pathways have been documented at the site. Proposed corridor improvements will encroach on the property and Hoffman Road, so DEP notification will be required prior to any sliver takes or excavations planned on the 35th Strouss Associates property. RCRA metals were detected in soil samples collected from the property, but did not exceed the statewide health standards. The EC does not list a soil management plan, but does prohibit the use of groundwater for any purposes. If groundwater is encountered during construction, small volumes of dewatered groundwater could be treated/filtered onsite or collected in drums and disposed of. If a large volume of water is anticipated, due to the size of the proposed excavations in this area, a National Pollutant Discharge Elimination System (NPDES) permit will be required. Coordination with the PA DEP regarding the environmental covenant and handling contaminated materials will be necessary.

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#### No Further Action Required at this Time for Monro Muffler Brake

While this business handles and utilizes oils, lubricants, and solvents, no evidence of major releases to the environment were observed on site or recorded in any database searched. Additionally, no underground tanks or evidence of underground tanks was observed or discovered through completion of this report. For these reasons, no further action is required at this time. Proposed corridor improvement plans display placement of fill, minor widening, and drainage improvements along the right-of-way in this area.

# Initiate Phase II / Phase III Activities for Maroadi Transfer

Mary Maroadi described removal of USTs formerly used by the business in the 1980s. She stated that she had a closure report for the tank removal, but this was not available for the interview and was not provided by the PA DEP. Proposed corridor improvements display roadway widening in this area which will include approach work and improvements to Dix Drive. The work on Dix Drive will occur in the vicinity of the former tank basin. As Markosky was unable to review the closure report and confirmation analysis performed, if any, after removal of the tanks, Markosky proposes Phase III soil and groundwater sampling in this area to determine if any contamination remains from the former tanks.

#### Initiate Phase II / Phase III Activities for Belback Services

A brief interview with the employees of Belback Services revealed that a gasoline tank formerly located outside of the western corner of the building was removed. The proposed corridor improvements include roadway widening and cuts which will encroach on the property, but the widening will not encounter the former location of the tank or the building. The database listed multiple underground tanks which were not reported to Markosky by the employees of the business. Additionally, closure reports, laboratory analysis, and former tank locations were not provided to Markosky for review so it is unknown if all tanks were removed from this property, the locations of all former tanks on the property, and the status of the soil and groundwater below the property. For these reasons, Markosky recommends sampling of soil and groundwater along the right-of-way to ensure that former tanks have not impacted areas to be excavated for the roadway improvements.

#### **Lead-Based Paint**

While lead based paint may be encountered during demolition of structures to accommodate the proposed roadway improvements, landfills are permitted to accept painted demolition waste without test results for the paint. If renovations or repairs are proposed to any structures that contain suspect lead paint, a lead paint inspection should be conducted by an EPA and PA Department of Labor and Industry (PA DLI) certified lead paint inspector.

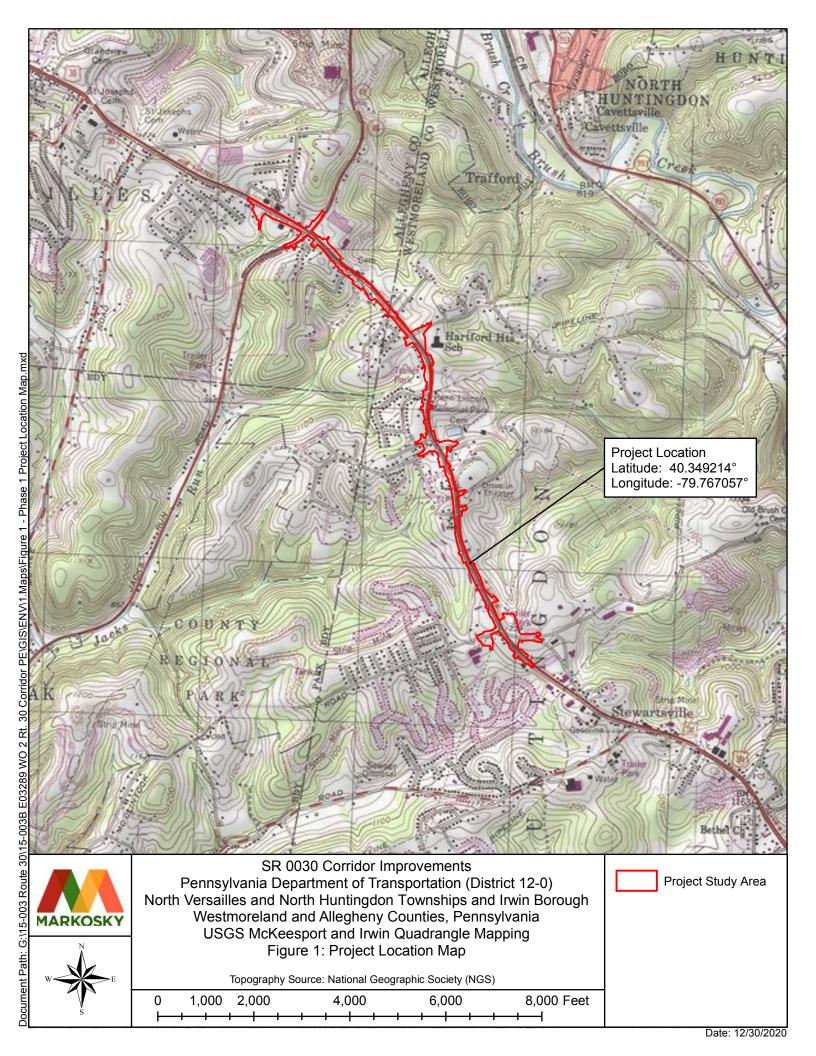
#### **Asbestos**

Asbestos containing materials (ACM) could be present in structures to be demolished to accommodate the proposed roadway improvements. An asbestos inspection of all structures to be demolished should be conducted by a PA DLI asbestos inspector prior to demolition.

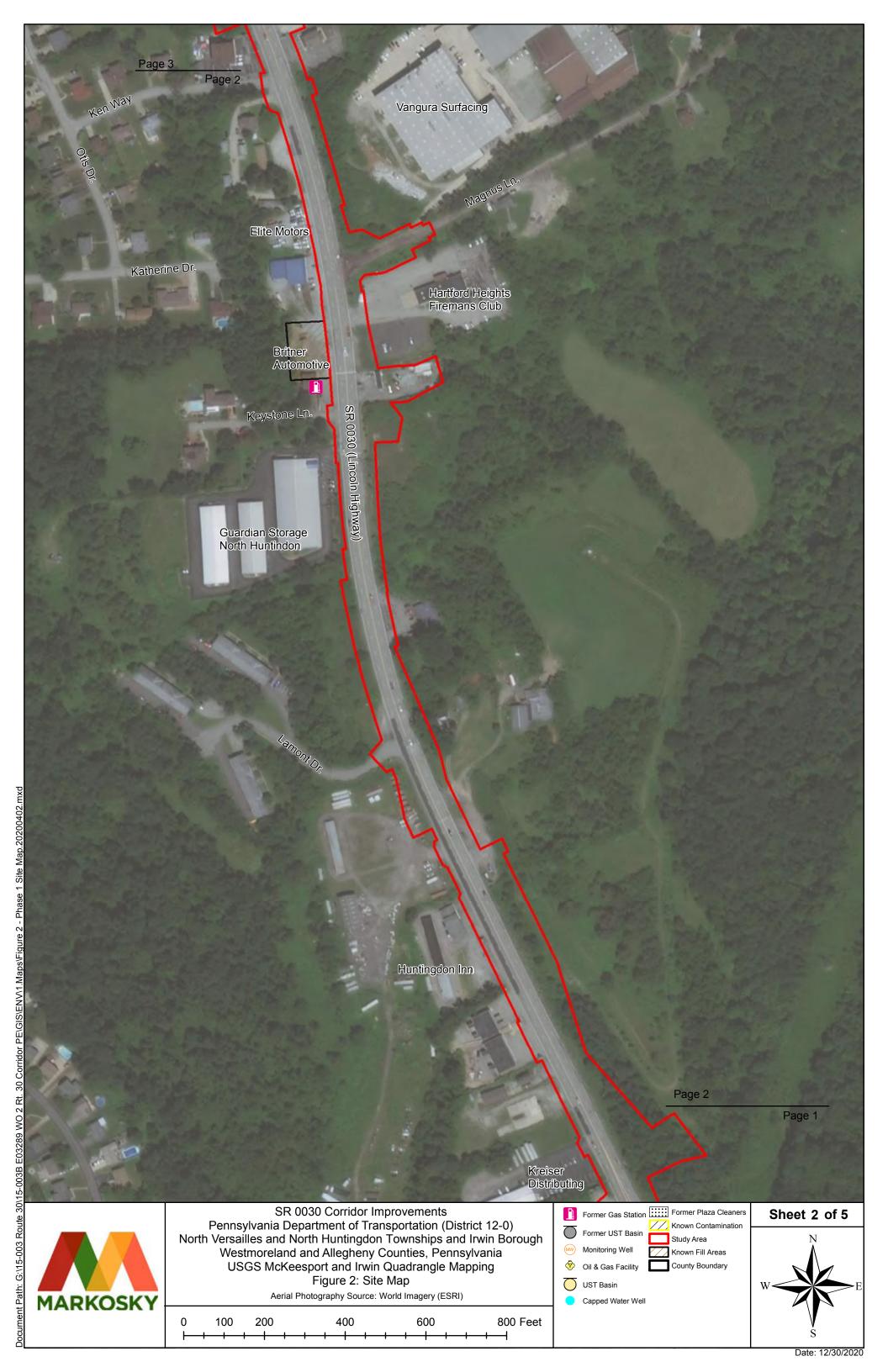
### **Special Attention**

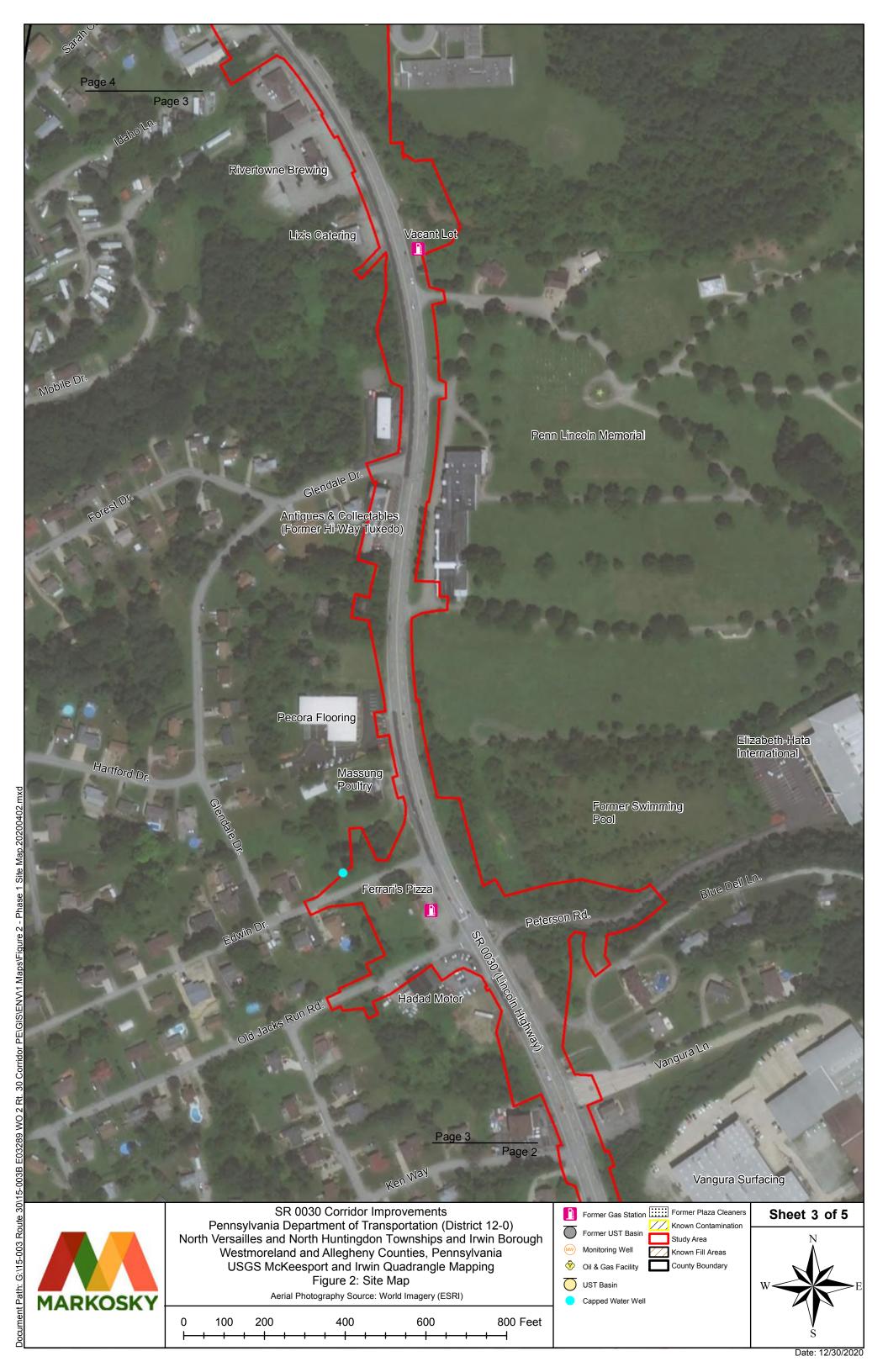
If contamination (suspected or verified) is found, the PennDOT District 12-0 Environmental Unit should be contacted immediately. If design plans should change, including but not limited to construction and excavation limits, the conclusions provided in this report should be reviewed as further waste related investigations may be required.

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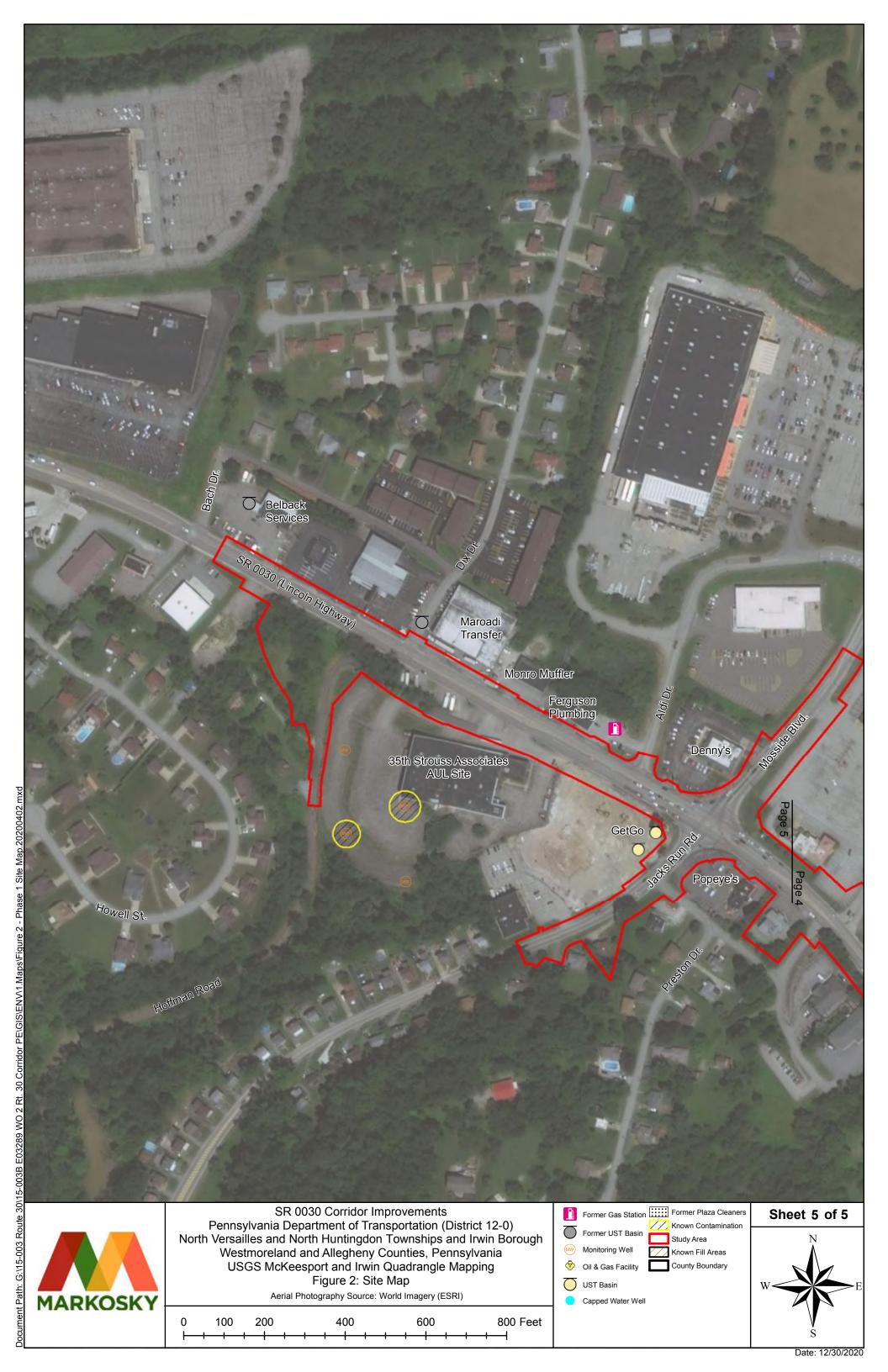




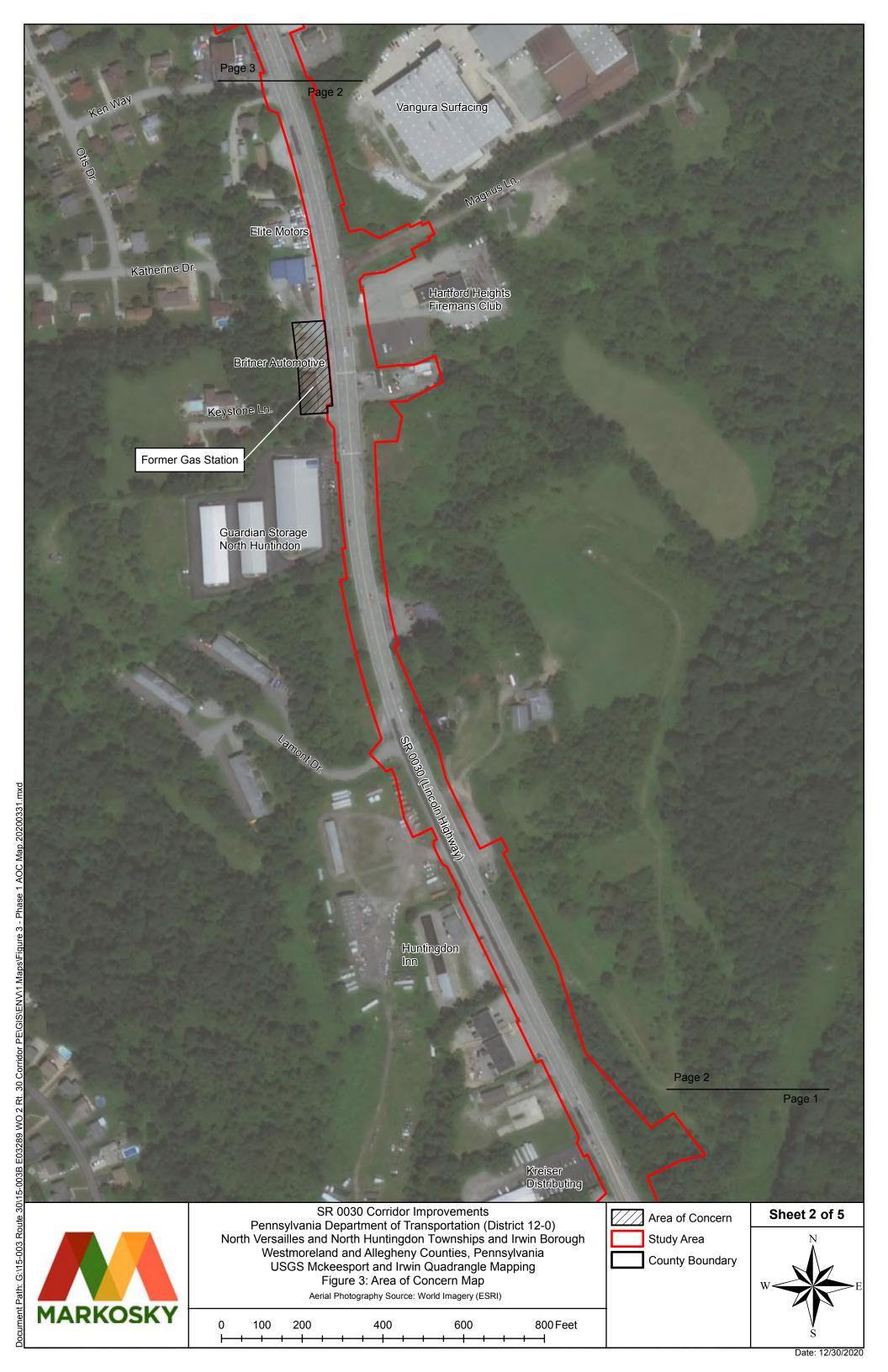


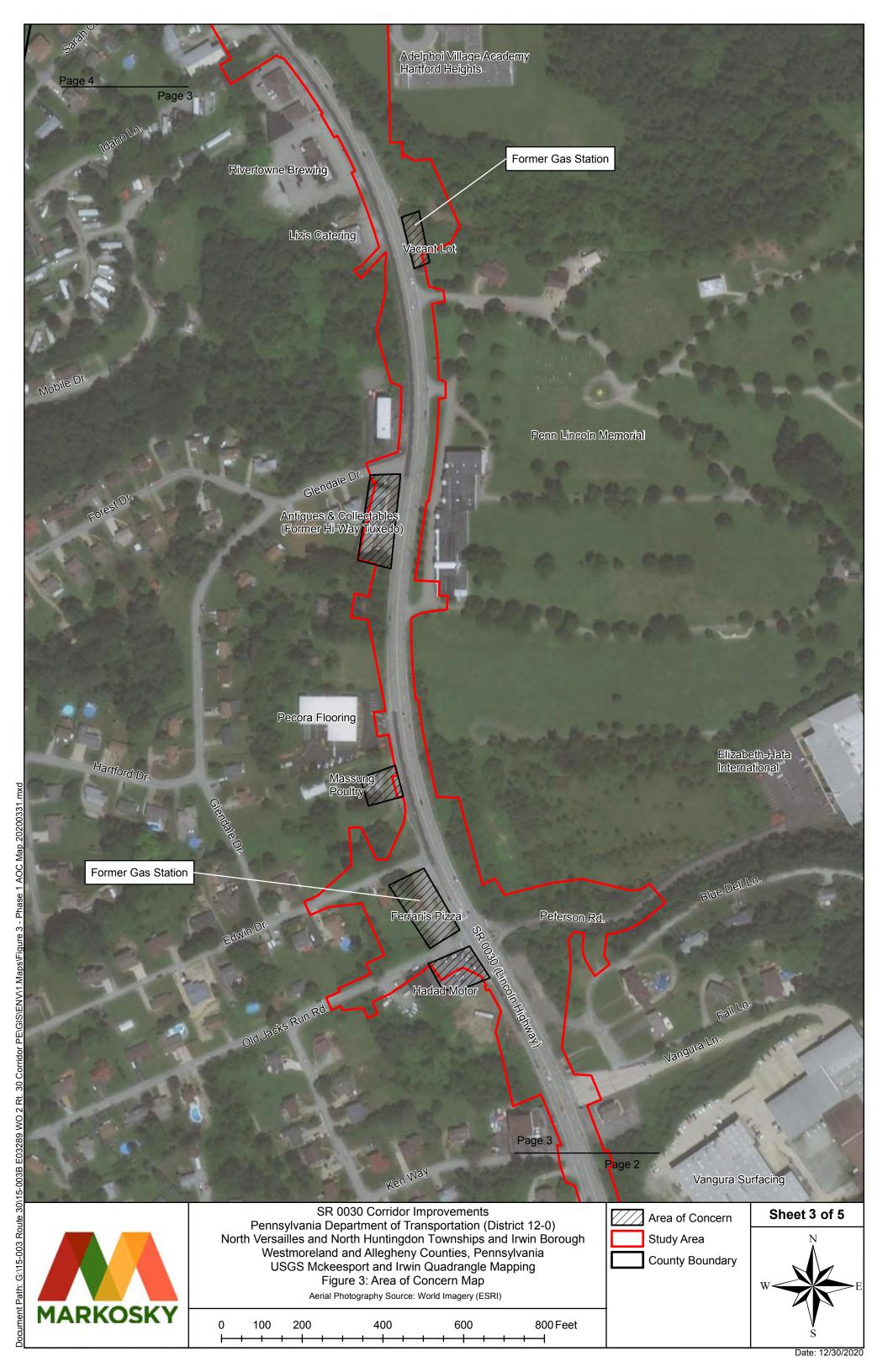


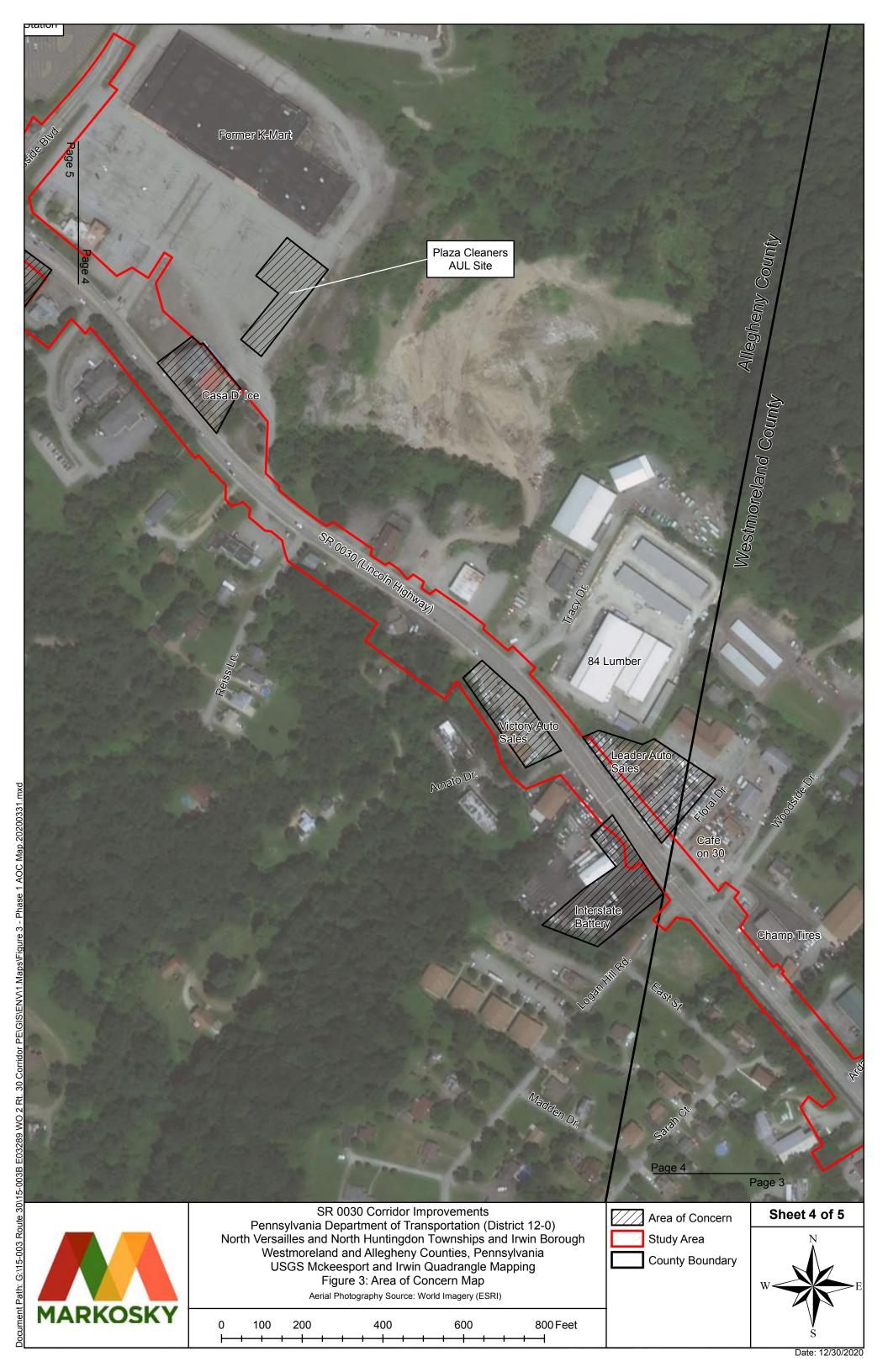


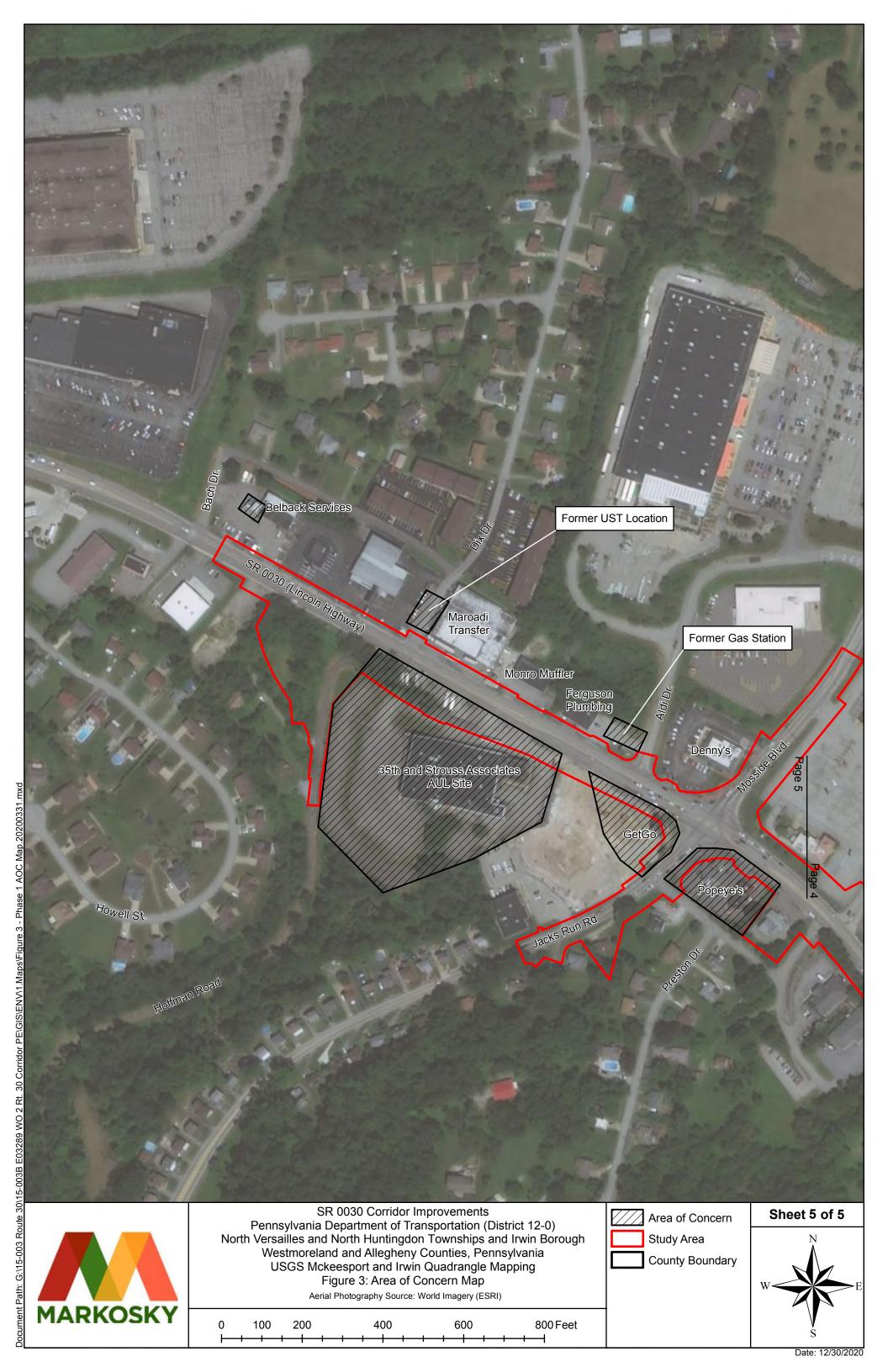




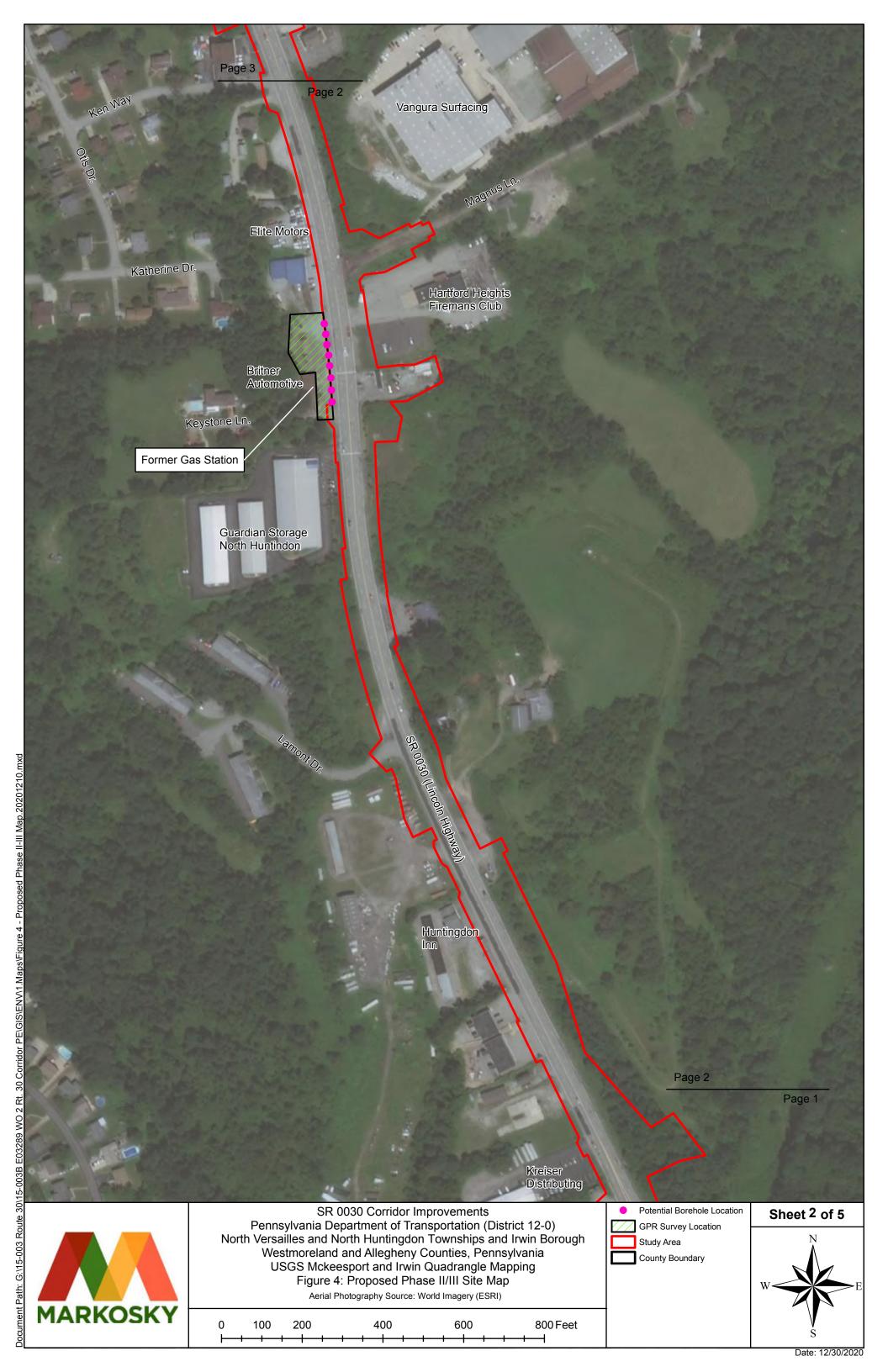


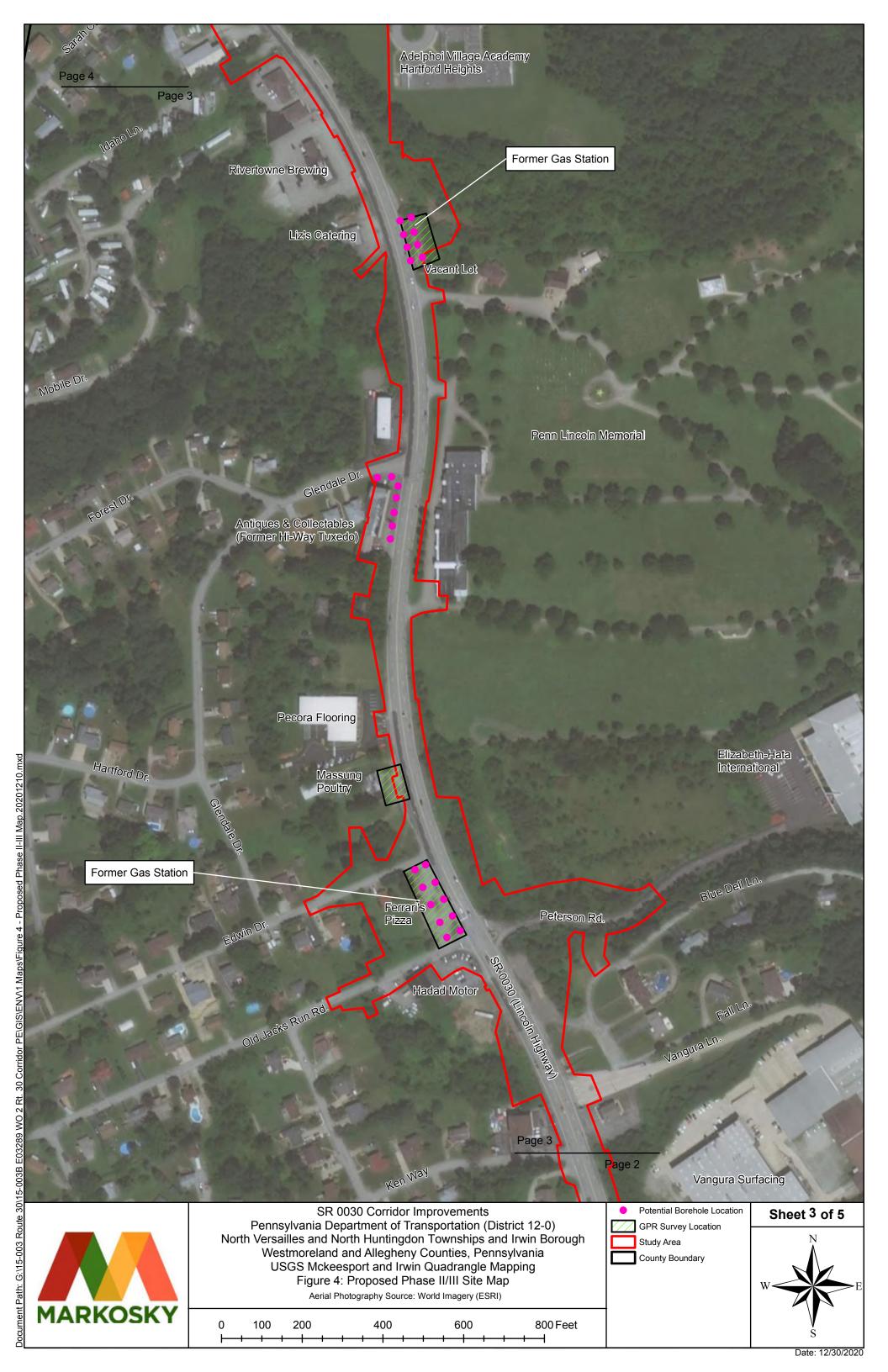


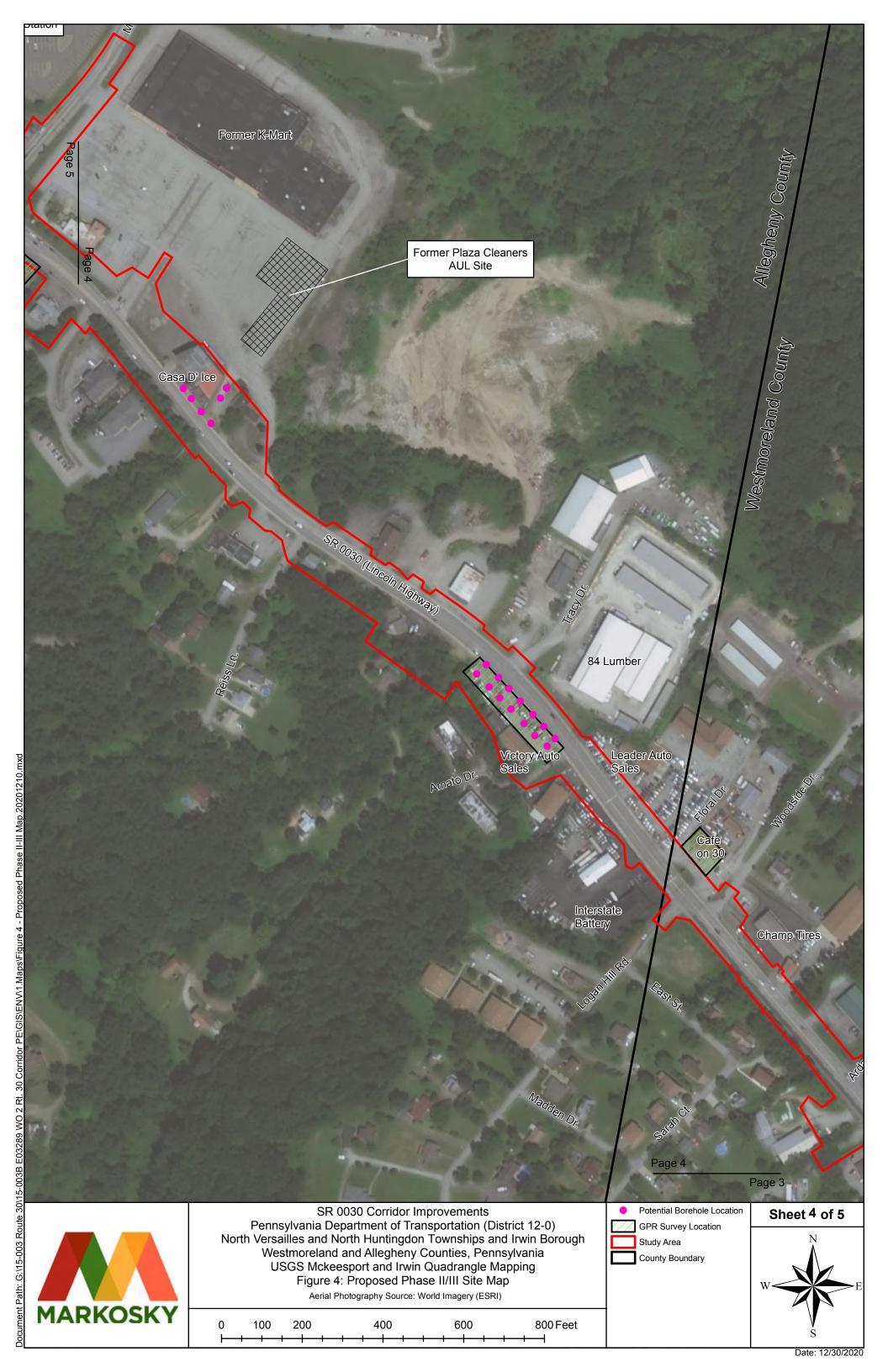


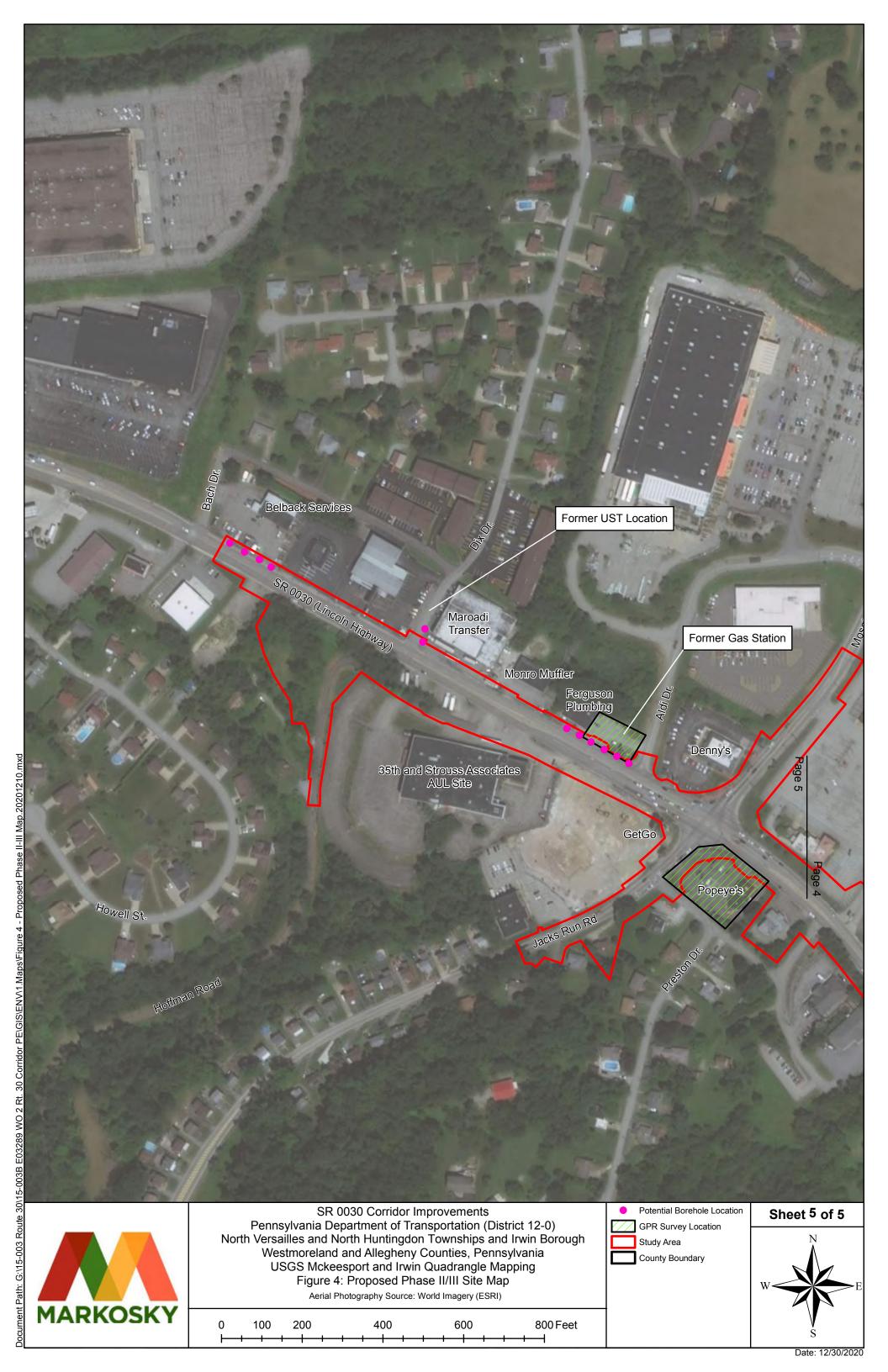












PLAN PREPARATION

PROJECT ENGINEER: JASON SKVARLA, P.E. DESIGN ENGINEER: NICHOLAS BUBAN, P.E.

WHITMAN, REQUARDT & ASSOCIATES, LLP 2009 MACKENZIE WAY, SUITE 240 CRANBERRY TOWNSHIP, PA 16066

DEPARTMENT PROJECT MANAGER: JOSHUA ZAKOVITCH, P.E.

# COMMONWEALTH OF PENNSYLVANIA

S.R. 0030 PREVIOUSLY KNOWN AS L.R. 0120 S.R. 0048 PREVIOUSLY KNOWN AS ROUTE NUMBER 277-288

ROUTE | SECTION TOTAL SHEETS

ECMS NO. 32040

S.R. 4019 PREVIOUSLY KNOWN AS ROUTE NUMBER 64252, ROUTE NUMBER 64266, AND ROUTE NUMBER 64281

0030



## DEPARTMENT OF TRANSPORTATION

## **DRAWINGS**

**FOR** 

## DESIGN FIELD VIEW SUBMISSION

OF

STATE ROUTE\_ 0030 SECTION A10

#### WESTMORELAND COUNTY

FROM STA. 1001+50.00 TO STA. 1084+75.95 LENGTH 8275.95 FT. 1.567 MI.

FROM SEG. 0030 OFFSET 2030 TO SEG. 0010 OFFSET 0000 FROM SEG. 0031 OFFSET 2155 TO SEG. 0011 OFFSET 0000

STATE ROUTE 0030 SECTION A39

#### ALLEGHENY COUNTY

FROM STA. 1084+75.95 TO STA. 780+50.00 LENGTH 3934.28 FT. 0.745 MI.

FROM SEG. 0340 OFFSET 2370 TO SEG. 0330 OFFSET 0370

FROM SEG. 0341 OFFSET 2342 TO SEG. 0331 OFFSET 0380

#### AND

0048 SECTION A43 STATE ROUTE\_

#### **ALLEGHENY** \_COUNTY

FROM STA. 244+00.00 TO STA. 910+50.00 LENGTH 1101.61 FT. 0.209 MI.

FROM SEG. 0270 OFFSET 1708 TO SEG. 0280 OFFSET 0785

TOTAL LENGTH 13311.84 FT. 2.521 MI.

#### **ALSO**

4019 SECTION A10 STATE ROUTE\_\_\_\_

#### WESTMORELAND COUNTY

FROM STA. 35+75.00 TO STA. 500+50.00 FROM SEG, 0020 OFFSET 1150 TO SEG, 0030 OFFSET 0884

DATE:

PREPARED BY:

COUNTY

12-0 WESTMORELAND NORTH HUNTINGDON

TOWNSHIP

ALSO INCLUDED:

TRAFFIC CONTROL PLAN SIGNING AND PAVEMENT MARKING PLAN EROSION AND SEDIMENT POLLUTION CONTROL PLAN TRAFFIC SIGNAL PLAN CROSS SECTIONS

RECOMMENDED DATE: DISTRICT EXECUTIVE RECOMMENDED DEPUTY SECRETARY APPROVED DATE: SECRETARY OF TRANSPORTATION (ON BEHALF OF THE GOVERNOR AS WELL AS THE SECRETARY)

SCALE

HORIZONTAL

### DESIGN DESIGNATION

#### SR 0030

HIGHWAY CLASSIFICATION - PRINCIPAL ARTERIAL / OTHER HIGHWAYS ROADWAY TYPOLOGY - REGIONAL ARTERIAL, SUBURBAN CORRIDOR

DESIGN SPEED

PAVEMENT WIDTH - VARIES 44' TO 76'-6" SHOULDER WIDTH - 3'-31/2" CURB GUTTER LT & RT

CURRENT A.D.T. - 24957 (2023) DESIGN YEAR A.D.T. - 28146 (2043)

D. H. V. - 2252 - 53% - 6%

### SR 0048

HIGHWAY CLASSIFICATION - PRINCIPAL ARTERIAL / OTHER HIGHWAYS ROADWAY TYPOLOGY - REGIONAL ARTERIAL, SUBURBAN CORRIDOR

DESIGN SPEED

PAVEMENT WIDTH - VARIES 25' TO 53'

SHOULDER WIDTH - VARIES (1'-0" MIN) OFFSET TO CONCRETE CURB. LT & RT

#### TRAFFIC DATA

CURRENT A.D.T. - 18619 (2023) DESIGN YEAR A.D.T. - 20436 (2043)

D. H. V. - 2044 - 55% - 5%

12-0 AND 11-0	
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\*\* WESTMORELAND AND ALLEGHENY

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*	**	0030	A10/A39	2 0	F 92
NORT	H HUNTINGDON AN	D NORTH	VERSAILLE	S TWP	· <b>.</b>
REVISION NUMBER	REV	ISIONS		DATE	BY

### RECORD OF EXISTING ROAD TYPES

### SR 0030

LIMIT OF SEG 0030 SEG 0030	0FF 20	то	24' 24' 24' 24' 22' 20' 20'	OF OF OF OF OF	1.50" 0.50" 1.50" 2.00" 1.00" 2.50" 10.00"	SPAV, HMA WEARING, 64-22, 9.5MM, H SPAV, HMA WEARING LEVEL, 64-22, 9.5MM, H SPAV, HMA BINDER, 64-22, 19MM ID-2 BINDER COURSE BITUMINOUS WEARING COURSE ID-2 BITUMINOUS WEARING COURSE ID-2 REINFORCED CEMENT CONCRETE PAVEMENT
SEG 0030 SEG 0010		то	24' 24' 24' 20' 20'	OF OF OF OF	1.50" 0.50" 1.50" 2.50" 10.00"	SPAY, HMA WEARING, 64-22, 9.5MM, H SPAY, HMA WEARING LEVEL, 64-22, 9.5MM, H ID-2 BINDER COURSE BITUMINOUS WEARING COURSE ID-2 REINFORCED CEMENT CONCRETE PAVEMENT
SEG 0010 SEG 0010		то	24' 24' 24' 20' 20'	OF OF OF OF	1.50" 0.50" 1.50" 2.50" 10.00"	SPAY, HMA WEARING, 64-22, 9.5MM, H SPAY, HMA WEARING LEVEL, 64-22, 9.5MM, H ID-2 BINDER COURSE BITUMINOUS WEARING COURSE ID-2 REINFORCED CEMENT CONCRETE PAVEMENT
SEG 0340 SEG 0330		то	24' 24' 24' 21' 21' 20' 20'		1.50" 2.00" 0.50" 8.00" 1.00" 3.00" 4.00" 8.00"	SPAV, HMA WEARING LEVEL, 64-22, 9.5MM, H SPAV, HMA BINDER, 64-22, 19MM BITUMINOUS CONCRETE BASE COURSE REINFORCED CEMENT CONCRETE PAVEMENT ID-2 BINDER COURSE BITUMINOUS CONCRETE BASE COURSE BITUMINOUS WEARING COURSE ID-2 ID-2 BINDER COURSE PARABOLIC REINFORCED CEMENT CONCRETE PAVEMENT
SEG 0330 SEG 0330 LIMIT OF	OFF O	то	20' 21' 21' 20' 20' 20'	OF OF OF OF OF	1.50" 2.00" 0.50" 2.50" 4.00" 8.00"	SPAV, HMA WEARING LEVEL, 64-22, 9.5MM, H SPAV, HMA BINDER, 64-22, 19MM BITUMINOUS CONCRETE BASE COURSE BITUMINOUS WEARING COURSE ID-2 ID-2 BINDER COURSE PARABOLIC REINFORCED CEMENT CONCRETE PAVEMENT

#### SR 0048

LIMIT OF WORK  SEG 0270 OFF 1708 TO SEG 0270 OFF 2141	22' OF 1.50" SPAY, HMA WEARING, 64-22, 9.5MM, H 22' OF 1.00" SPAY, HMA WEARING LEVEL, 64-22, 9.5MM, H 22' OF 1.00" SPAY, HMA BINDER, 64-22, 19MM 22' OF 1.00" SPAY, HMA WEARING, 64-22, 9.5MM, H 18' OF 8.50" PARABOLIC REINFORCED CEMENT CONCRETE PAVEMEN	т
SEC 0280 OFF 0000 TO SEC 0280 OFF 0785 LIMIT OF WORK	33' OF 1.50" SPAV, HMA WEARING, 64-22, 9.5MM, H 33' OF 0.75" SPAV, HMA WEARING LEVEL, 64-22, 9.5MM, H 22' OF 1.50" ID-2 BINDER COURSE 20' OF 8.00" PARABOLIC REINFORCED CEMENT CONCRETE PAVEMEN	т

### SR 4019

LIMIT OF	WORK			
SEG 0020 SEG 0020	OFF 1150 TO OFF 1629	21' OF 18' OF 20' OF 21' OF	1.00" 1.00" 4.00" 10.00"	UNKNOWN WEARING COURSE WEARING COURSE, FJ-1 ID-2 WEARING COURSE CRUSHED STONE SUBBASE
SEG 0030 SEG 0030 LIMIT OF	OFF 0000 TO OFF 0884 WORK	22' OF 22' OF 16' OF 22' OF	1.00" 2.00" 6.00" 6.00"	UNKNOWN WEARING COURSE ID-2 WEARING COURSE BITUMINOUS CONCRETE BASE COURSE PLAIN CEMENT CONCRETE PAVEMENT

### TABULATION OF SEGMENT EQUALITIES

### SR 0030

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STA 1023+05.00 = SEG 0030 OFFSET 0000 (EAST)
STA 1023+05.00 = SEG 0031 OFFSET 0000 (WEST)
STA 1055+18.00 = SEG 0020 OFFSET 0000 (WEST)
STA 1055+18.00 = SEG 0021 OFFSET 0000 (WEST)
STA 1084+75.95 = SEG 0010 OFFSET 0000 (WEST)
STA 1084+75.95 = SEG 0011 OFFSET 0000 (WEST)
STA 1108+43.00 = SEG 0340 OFFSET 0000 (WEST)
STA 1108+15.00 = SEG 0341 OFFSET 0000 (WEST)
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### SR 0048

STA 902+65.00 = SEG 0280 OFFSET 0000

### SR 4019

STA 203+99.21 = SEG 0020 OFFSET 1624 STA 505+85.95 = SEG 0030 OFFSET 0348

#### EARTHWORK SUMMARY ENTIRE PROJECT

THE INF A WAIVE						HAS BEEN USED IT AND CONTRACTS.	N THE PRELIMINARY	ESTIMATE. DO NO	T USE AS
	CUB I	C YARDS (	OF EXCAVA	TION		CUBIC YARDS OF	CUBIC YARDS	CUBIC YARDS	CUBIC
CLASS 1	CLASS 1A	CLASS 1B	CLASS 2	CLASS 3	CLASS 4	COMPLETED EMBANKMENT	OF BORROW EXCAVATION	OF SELECT BORROW	YARDS OF WASTE
126298						118000	32268	21	60364

### TABULATION OF OVERALL LENGTH

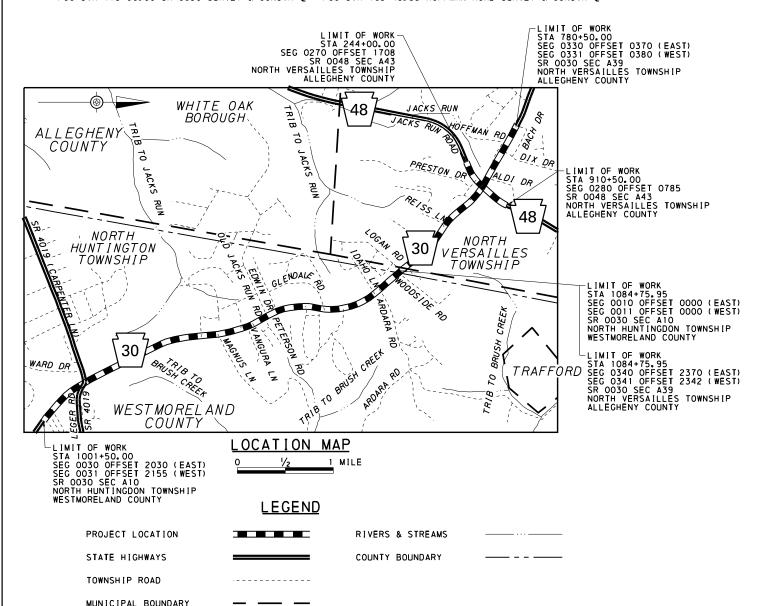
SR 0030 STA 1001+50.00 TO STA 1108+78.89 = 10728.89 FT = 2.032 MILES SR 0030 STA 764+56.52 TO STA 780+50.00 = 1593.48 FT = 0.302 MILES SR 0048 STA 244+00.00 TO STA 245+68.39 = 168.39 FT = 0.032 MILES SR 0048 STA 900+00.00 TO STA 910+50.00 =1050.00 FT = 0.199 MILES TOTAL = 2.565 MILES

#### TABULATION OF CONSTRUCTION LENGTH

SR 0030 STA 1002+00.00 TO STA 1108+98.89 = 10678.89 FT = 2.023 MILES SR 0030 STA 764+56.52 TO STA 779+87.86 = 1531.34 FT = 0.290 MILES SR 0048 STA 244+50.00 TO STA 245+68.39 = 118.39 FT = 0.022 MILES SR 0048 STA 900+00.00 TO STA 909+83.22 = 983.22 FT = 0.186 MILES TOTAL = 2.521 MILES

#### **EQUALITIES**

POC STA 1012+35.71 SR 0030 SURVEY & CONSTR ( = POT STA 407+55.15 SR 4019 NORTH JUGHANDLE SURVEY & CONSTR ( POC STA 1012+47.52 SR 0030 SURVEY & CONSTR ( = POT STA 203+99.21 SR 4019 SOUTH SURVEY & CONSTR ( POC STA 1041+91.51 SR 0030 SURVEY & CONSTR ( = POT STA 200+00.00 MAGNUS LANE SURVEY & CONSTR ( POT STA 1052+87.02 SR 0030 SURVEY & CONSTR ( = POT STA 404+07.39 OLD JACKS RUN ROAD SURVEY & CONSTR ( POT STA 1052+87.02 SR 0030 SURVEY & CONSTR ( = POT STA 200+00.00 PETERSON DRIVE SURVEY & CONSTR ( POT STA 1076+48.31 SR 0030 SURVEY & CONSTR ( = POT STA 200+00.00 ARDARA ROAD SURVEY & CONSTR ( POT STA 1076+51.31 SR 0030 SURVEY & CONSTR ( = POT STA 401+80.38 IDAHO LANE SURVEY & CONSTR ( POC STA 1108+29.20 SR 0030 SURVEY & CONSTR ( = POC STA 904+51.02 SR 0048 SURVEY & CONSTR ( POC STA 775+90.00 SR 0030 SURVEY & CONSTR ( = POC STA 105+48.35 HOFFMAN ROAD SURVEY & CONSTR ( )



#### GENERAL NOTES

\* 12-0 AND 11-0

\*\* WESTMORELAND AND ALLEGHENY

THE LEGAL RIGHT-OF-WAY ON SR 0030, FORMERLY LR 120, FROM STATION 642+00.00 TO STATION 672+60.00 IS 60 FEET, BASED ON PLAN OF ROUTE NO. 120 SECTION NO 10A, 10B AND 10C, SIGNED ON AUGUST 06, 1936, FROM STATION 672+60.00 TO STATION 685+20.59 IS 30 FEET RIGHT, FROM STATION 672+60.00 TO STATION 685+20.59 IS VARIABLE LEFT, FROM STATION 672+60.00 TO STATION 740+39.60 BK IS 60 FEET, BASED ON PLAN OF ROUTE NO. 120 SECTION NO 10A, 10B AND 10C, SIGNED ON AUGUST 06, 1936, AND ON FILE AT THE DISTRICT 11-0 OFFICE.

THE LEGAL RIGHT-OF-WAY ON SR 0030, FORMERLY LR 120, FROM STATION 752+02.75 AHD TO STATION 760+31.21 IS 60 FEET, FROM STATION 768+75.38 TO STATION 782+23.26 IS 60 FEET, BASED ON PLAN OF ROUTE NO 120 SECTION NO 9, SIGNED ON DECEMBER 14, 1936, AND ON FILE AT THE DISTRICT 11-0 OFFICE.

THE LEGAL RIGHT-OF-WAY ON SR 0030, FORMERLY LR 120, FROM STATION 760+31.21 TO STATION 762+88.41 IS 70 FEET AND FROM STATION 762+88.41 TO STATION 765+15.18 IS VARIABLE AND FROM STATION 765+15.18 TO STATION 768+75.38 IS 70 FEET, BASED ON PLAN OF LEG ROUTE NO 120 SECTION 57T R/W, SIGNED ON FEBRUARY 27, 1973, AND RECORDED IN THE ALLEGHENY COUNTY DEPARTMENT OF REAL ESTATE IN STATE HIGHWAY PLAN BOOK VOLUME 73. PAGFS 88-99.

THE LEGAL RIGHT-OF-WAY ON SR 0048, FORMERLY ROUTE NO 277-288, FROM STATION 241+00.00 TO STATION 247+50.00 IS 60 FEET AND FROM STATION 247+50.00 TO THE INTERSECTION OF SR 0030 IS VARIABLE, BASED ON PLAN OF ROUTE NO 377-288 APPL 5566, SIGNED ON MAY 01, 1929, REVISED AND SIGNED ON JANUARY 11, 1935, AND ON FILE AT THE DISTRICT 11-0 OFFICE.

THE LEGAL RIGHT-OF-WAY ON SR 0048, FORMERLY LR 02251, FROM THE INTERSECTION OF SR 0030 TO STATION 1+65.47 IS VARIABLE AND FROM STATION 1+65.47 TO STATION 6+73.33 IS 60 FEET AND FROM STATION 6+73.33 TO STATION 9+00.00 IS 30 FEET RIGHT, BASED ON PLAN OF LEG ROUTE 02251 SECTION 12M R/W, SIGNED ON FEBRUARY 20, 1987, AND RECORDED IN THE ALLEGHENY DEPARTMENT OF REAL ESTATE IN STATE HIGHWAY PLAN BOOK VOLUME 97, PAGES 80-96.

THE LEGAL RIGHT-OF-WAY ON SR 0048, FORMERLY LR 02251, FROM STATION 6+73.33 TO STATION 9+00.00 IS 55 FEET LEFT, BASED ON ALDI PLAN OF LOTS RECORDED IN THE ALLEGHENY DEPARTMENT OF REAL ESTATE ON JANUARY 22, 1999, IN PLAN BOOK VOLUME 212, PAGES 186-187. BY THIS PLAN, THE COMMONWEALTH HEREBY ACCEPTS THE AREAS DEDICATED FOR STATE HIGHWAY PURPOSES.

THE LEGAL RIGHT-OF-WAY ON SR 4019, FORMERLY ROUTE NO 64266, FROM STATION 20+00.00 TO STATION 39+72.92 IS 40 FEET AND FROM STATION 39+72.92 TO THE INTERSECTION OF SR 0030 IS VARIABLE, BASED ON PLAN OF ROUTE NO 64266 SECTION NO 1, SIGNED ON OCTOBER 30, 1959, AND RECORDED ON JANUARY 14, 1960, IN THE WESTMORELAND COUNTY RECORDER OF DEEDS OFFICE IN PLAN BOOK 35, PAGE 1.

THE LEGAL RIGHT-OF-WAY ON SR 4019, FORMERLY ROUTE NO 64281, FROM STATION 654+00.00 TO STATION 659+93.36 IS 33 FEET, BASED ON THE ACT OF MAY 1, 1933, P.L. 103, SECTION 1105, AS AMENDED. PRIOR TO THE ADOPTION OF LR 64281 AS A STATE HIGHWAY IN 1942, IT HAD BEEN OPENED AND MAINTAINED FOR TWENTY-ONE (21) YEARS OR MORE BY NORTH HUNTINGDON TOWNSHIP, A SECOND-CLASS TOWNSHIP. THERE IS NO PUBLIC RECORD OF ANY OTHER WIDTH.

THE LEGAL RIGHT-OF-WAY ON SR 4019, FORMERLY ROUTE NO 64281, FROM STATION 659+93.36 TO STATION TO STATION 660+54.70 IS VARIABLE RIGHT AND 16.5 FEET LEFT AND FROM STATION 660+54.70 TO STATION 662+00.00 IS 40 FEET AND FROM STATION 662+00.00 TO THE INTERSECTION 0F SR 0030 IS 55 FEET RIGHT AND FROM STATION 662+00.00 TO STATION 662+80.26 IS 20 FEET LEFT AND FROM STATION 662+80.26 TO THE INTERSECTION 0F SR 0030 IS VARIABLE RIGHT, BASED ON PLAN OF ROUTE NO 120 SECTION NO 2B, SIGNED ON JULY 12, 1928, AND ON FILE AT THE DISTRICT OFFICE.

THE LEGAL RIGHT-OF-WAY ON ALDI DRIVE FROM THE INTERSECTION OF SR 0030 TO STATION 30+73.17 IS VARIABLE AND FROM STATION 30+73.17 TO STATION 37+90.84 IS 50 FEET AND FROM STATION 37+90.84 TO THE INTERSECTION OF SR 0048 IS VARIABLE, BASED ON NORTH VERSAILLES TOWNSHIP ORDINANCE NO 987, DATED DECEMBER 27, 2000, AND ON FILE AT THE NORTH VERSAILLES TOWNSHIP BUILDING.

THE LEGAL RIGHT-OF-WAY ON ARDARA ROAD FROM THE INTERSECTION OF SR 0030 TO STATION 70+91.74 IS VARIABLE AND FROM STATION 70+91.74 TO STATION 72+75.00 IS 50 FEET, BASED ON PLAN OF ROUTE NO. 120 SECTION NO 100, 10B AND 10C, SIGNED ON AUGUST 06, 1936, AND ON FILE AT THE DISTRICT OFFICE.

THE LEGAL RIGHT-OF-WAY ON BACH DRIVE IS 40 FEET.

THE LEGAL RIGHT-OF-WAY ON CROWN ROAD TO STATION 642+06.35 IS 33 FEET, FROM THE STATION 642+06.35 TO STATION 644+03.53 IS 25 FEET RIGHT AND FROM STATION 644+03.53 TO THE INTERSECTION OF SR 4019 IS 33 FEET, BASED ON SHORKEY PLAN OF LOTS, RECORDED IN THE WESTMORELAND COUNTY RECORDER OF DEEDS OFFICE ON MARCH 6, 1996, IN PLAN BOOK VOLUME 90 PAGE 286.

THE LEGAL RIGHT-OF-WAY ON DIX DRIVE FROM THE INTERSECTION OF SR 0030 TO STATION 45+00.00 IS 50 FEET, BASED ON NORTH VERSAILLES TOWNSHIP ORDINANCE NO 420, DATED JANUARY 19, 1959, AND ON FILE AT THE NORTH VERSAILLES TOWNSHIP BUILDING.

THE LEGAL RIGHT-OF-WAY ON EDWIN DRIVE FROM STATION 50+00.00 TO THE INTERSECTION OF SR 0030 IS 33 FEET, BASED ON ROAD DOCKET 12-98, FILED NOVEMBER 4, 1959, AND ON FILE AT THE NORTH HUNTINGDON TOWNSHIP BUILDING.

THE LEGAL RIGHT-OF-WAY ON GLENDALE DRIVE FROM STATION 60+00.00 TO STATION 62+59.03 IS 50 FEET AND FROM STATION 62+59.03 TO INTERSECTION OF SR 0030 IS VARIABLE, BASED ON HARTFORD MANOR PLAN OF LOTS, RECORDED IN THE WESTMORELAND COUNTY RECORDER OF DEEDS OFFICE ON MAY 25, 1953, IN PLAN BOOK VOLUME 13, PAGE 103.

DISTRICT	COUNTY	ROUTE	SECTION	SHE	ET
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REVISION NUMBER	REV	ISIONS		DATE	BY

#### LIST OF PUBLIC UTILITIES

--- CT1

COMCAST (ALLEGHENY COUNTY) 1075 ROSTRAVER ROAD BELLE VERNON, PA 15012 ATTN: DAVE SCHADE 724-388-1652

COMCAST CABELVISION (WESTMORELAND COUNTY)
201 N TREMONT AVENUE
GREENSBURG, PA 15601
ATTN: BRIAN WOLLER
724-221-6479

NORTH HUNTINGDON TOWNSHIP MUNICIPAL AUTHORITY 11265 CENTER HIGHWAY NORTH HUNTINGDON, PA 15642 ATTN: CHRISTOPHER SANNER 412-751-4571

NORTH VERSAILLES TOWNSHIP SANITARY 14920 ROUTE 30 NORTH HUNTINGDON, PA 15642 ATTN: RICH HINKLE 412-824-9550 EXT. 114

MUNICIPAL AUTHORITY OF WESTMORELAND COUNTY 124 PARK AND POOL ROAD NEW STANTON, PA 15672 ATTN: CURTIS FONTAINE 724-755-5955

NORTH HUNTINGDON TOWNSHIP 11279 CENTER HIGHWAY NORTH HUNTINGDON, PA 15642 ATTN: MICHAEL TURLEY 724-863-3806 EXT. 144

NORTH VERSAILLES TOWNSHIP 1401 GREENSBURG AVENUE SUITE 5 NORTH VERSAILLES, PA 15137 ATTN: JAMES BIVINS

WILKINSBURG PENN JOINT WATER AUTHORITY 800 RAMSEY STREET WILKINSBURG, PA 15221 ATTN: BILL GRASSI

CNX GAS COMPANY 280 INDIAN SPRINGS ROAD SUITE 333 INDIANA, PA 15701 ATTN: PERRY LUPINETTI 724-464-1551

KRIEBEL MINERALS INC. P.O. BOX 765 633 MAYFIELD DRIVE CLARION, PA 16214 ATIN: BARB FLINSPACH 814-226-4160 EXT. 130

PEOPLES NATURAL GAS COMPANY LLC 1201 PITT STREET PITTSBURGH, PA 15221 ATTN: DAN ADREE 724-832-2859

EQT CORPORATION 303 SAND CUT ROAD CLARKSBURG, WV 26301 ATTN: JOSH MILLER 304-627-6448

VERIZON PENNSYLVANIA LLC 15 E MONTGOMERY AVENUE PITTSBURGH, PA 15212 ATIN: DAN BARREN 412-633-4341

DUQUESNE LIGHT COMPANY 2645 NEW BEAVER AVENUE PITTSBURCH, PA 15233 ATTN: DAVE MORAN 412-393-2916

WEST PENN POWER
JEANETTE SERVICE CENTER
143 WEST PENN DRIVE
JEANETTE, PA 15644
ATTN: DAN EVANS
724-523-7237

\* 12-0 AND 11-0

\*\* WESTMORELAND AND ALLEGHENY

DISTRICT

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COUNTY

ROUTE SECTION SHEET

#### GENERAL NOTES

THE LEGAL RIGHT-OF-WAY ON HOFFMAN ROAD FROM THE INTERSECTION OF SR 0030 TO THE INTERSECTION OF SR 0030 IS 40 FEET, BASED ON LETTER OF ABANDONMENT BY PENNSYLVANIA DEPARTMENT OF TRANSPORTATION, DATED SEPTEMBER 6, 1935.

THE LEGAL RIGHT-OF-WAY ON KEN WAY FROM STATION 30+00.00 TO STATION 30+66.35 IS 40 FEET AND FROM STATION 30+66.35 TO THE INTERSECTION OF SR 0030 IS 50 FEET, BASED ON HILAND TERRACE PLAN NO 3, RECORDED IN THE WESTMORELAND COUNTY RECORDER OF DEEDS OFFICE ON AUGUST 12, 1957, IN PLAN BOOK VOLUME 31, PAGES 29-30.

THE LEGAL RIGHT-OF-WAY ON LOGAN ROAD IS 40 FEET.

THE LEGAL RIGHT-OF-WAY ON MAGNUS LANE FROM INTERSECTION OF SR 0030 TO STATION 21+03.74 IS VARIABLE AND FROM STATION 21+03.74 TO STATION 22+50.00 IS 50 FEET, BASED ON PLAN OF ROUTE NO. 120 SECTION NO 10A, 10B AND 10C, SIGNED ON AUGUST 06, 1936, AND ON FILE AT THE DISTRICT OFFICE.

THE LEGAL RIGHT-OF-WAY ON MAGNUS LANE FROM STATION 22+50.00 TO STATION 23+50.00 IS 33 FEET, BASED ON ROAD BOOK 1-344, MAY SESSION 1860, AND ON FILE AT THE NORTH HUNTINGDON TOWNSHIP BUILDING.

THE LEGAL RIGHT-OF-WAY ON OLD JACKS RUN FROM STATION 40+00.00 TO STATION 44+43.00 IS 33 FEET, BASED ON ROAD BOOK 4-175, MAY SESSION 1837, AND ON FILE AT THE NORTH HUNTINGDON TOWNSHIP BUILDING.

THE LEGAL RIGHT-OF-WAY ON OLD JACKS RUN FROM STATION 44+43.00 TO STATION 44+64.40 IS 50 FEET AND FROM STATION 44+64.40 TO THE INTERSECTION OF SR 0030 IS VARIABLE, BASED ON PLAN OF ROUTE NO. 120 SECTION NO 10A, 10B AND 10C, SIGNED ON AUGUST 06, 1936, AND ON FILE AT THE DISTRICT OFFICE.

THE LEGAL RIGHT-OF-WAY ON PRESTON DRIVE FROM THE INTERSECTION OF SR 0048 TO STATION 25+00.00 IS 40 FEET, BASED ON NORTH VERSAILLES TOWNSHIP ORDINANCE NO 296, DATED JULY 13, 1953, AND ON FILE AT THE NORTH VERSAILLES TOWNSHIP BUILDING.

THE LEGAL RIGHT-OF-WAY ON REISS LANE IS 40 FEET.

THE LEGAL RIGHT-OF-WAY ON WEBER COURT IS 50 FEET, BASED ON WEBSTER ESTATES RESIDENTIAL DEVELOPMENT SUBDIVISION PLAN RECORDED IN THE WESTMORELAND COUNTY RECORDER OF DEEDS OFFICE ON APRIL 09, 2018, IN INSTRUMENT NO 201804090010423.

THE LEGAL RIGHT-OF-WAY ON WOODSIDE DRIVE FROM THE INTERSECTION OF SR 0030 TO STATION 81+54.74 IS 16.5 FEET RIGHT, BASED ON ROAD DOCKET 10-131, FILED MARCH 2, 1949, AND ON FILE AT THE NORTH HUNTINGDON TOWNSHIP BUILDING.

THE LEGAL RIGHT-OF-WAY ON WOODSIDE DRIVE FROM STATION 81+54.74 TO STATION 83+50.00 IS 25 FEET RIGHT, BASED ON MCCALMONT PLAN OF LOTS, RECORDED IN THE WESTMORELAND COUNTY RECORDER OF DEEDS OFFICE ON APRIL 16, 1987, IN PLAN BOOK VOLUME 89, PAGE 987.

THE LEGAL RIGHT-OF-WAY ON WOODSIDE DRIVE FROM THE INTERSECTION OF SR 0030 TO STATION 83+50.00 IS 25 FEET LEFT, BASED ON DIBIASE PLAN OF LOTS, RECORDED IN THE WESTMORELAND COUNTY RECORDER OF DEEDS OFFICE ON NOVEMBER 19, 1985, IN PLAN BOOK VOLUME 89, PAGE 422.

DETAILS, OTHER THAN THOSE INDICATED, ARE ON THE FOLLOWING STANDARD DRAWINGS:

RC-10M RC-13M RC-20M RC-22M RC-25M RC-38M RC-30M RC-31M RC-31M RC-33M RC-33M RC-33M RC-46M	(1 SHEET) (1 SHEETS) (12 SHEETS) (4 SHEETS) (2 SHEETS) (2 SHEETS) (2 SHEETS) (2 SHEETS) (1 SHEET) (2 SHEETS) (30 SHEETS) (30 SHEETS) (34 SHEETS)	JUNE JUNE APRIL FEB FEB FEB JUNE JUNE SEPT SEPT SEPT	1, 2010 1, 2010 29, 2019 8, 2019 8, 2019 1, 2010 1, 2010 1, 2010 15, 2016 15, 2016	RC-70M RC-71M RC-72M RC-73M RC-73M RC-80M RC-81M RC-82M RC-82M RC-83M RC-84M	(3 SHEETS) (4 SHEETS) (7 SHEETS) (4 SHEETS) (1 SHEET) (2 SHEETS) (1 SHEET) (2 SHEETS) (2 SHEETS) (2 SHEETS) (2 SHEETS) (2 SHEETS)	FEB AUG FEB FEB JUNE JUNE JUNE JUNE JUNE JUNE	8, 8, 8, 1, 1, 1, 8,	2019 2017 2019 2019 2010 2010 2010 2010 2010
RC-51M RC-54M RC-57M RC-58M RC-60M RC-61M RC-64M RC-65M	(14 SHEETS) (12 SHEETS) (6 SHEETS) (4 SHEETS) (3 SHEETS) (1 SHEET) (1 SHEET) (1 SHEET)	FEB FEB JUNE AUG JUNE JUNE JUNE AUG	8, 2019 8, 2019 1, 2010 4, 2017 1, 2010 1, 2010 28, 2017	TC-8600 TC-8602 TC-8604 TC-8702B TC-8702C TC-8702D TC-8702E	(13 SHEETS) (4 SHEETS) (4 SHEETS) (9 SHEETS) (2 SHEETS) (13 SHEETS) (5 SHEETS)	JUNE JUNE JUNE JUNE JUNE JUNE JUNE	13, 13, 13, 13,	2013 2013 2013 2013 2013 2013 2013

#### GENERAL NOTES CONT'D

DO NOT INTERFERE WITH THE OPERATION OF ANY FIRE HYDRANT, FIRE CALL BOX OR POLICE CALL BOX.

THIS IS A FEDERAL-AID PROJECT AND AS SUCH IS SUBJECT TO INSPECTION BY REPRESENTATIVES OF THE FEDERAL HIGHWAY ADMINISTRATION AND THE PENNSYLVANIA DEPARTMENT OF TRANSPORTATION.

THREE WORKING DAYS PRIOR TO EXCAVATION, THE CONTRACTOR MUST CONTACT THE PA ONE CALL SYSTEM, INC., PHONE 1-800-242-1776, SERIAL NO.20181940922/20181940968/20181941003 FOR NORTH VERSAILLES TOWNSHIP/NORTH HUNTINGDON TOWNSHIP/NORTH HUNTINGDON TOWNSHIP

TEMPORARY CONSTRUCTION EASEMENT. AN EASEMENT TO USE THE LAND AS NECESSARY DURING CONSTRUCTION OF THE PROJECT. THE EASEMENT IS REQUIRED ONLY UNTIL THE CONSTRUCTION OR WORK INDICATED BY THE PLAN IS COMPLETED, UNLESS SOONER RELINQUISHED IN WRITING BY THE DEPARTMENT.

SLOPE EASEMENT. AN EASEMENT FOR THE SUPPORT AND PROTECTION OF THE HIGHWAY, INCLUDING THE RIGHT TO CONSTRUCT, INSPECT, MAINTAIN, REPAIR, RECONSTRUCT AND ALTER DRAINAGE FACILITIES AND THE CONTOUR OF THE LAND. THE EASEMENT SHALL NOT PREVENT THE PROPERTY OWNER FROM MAKING ANY LEGAL USE OF THE AREA WHICH IS NOT DETRIMENTAL TO THE NECESSARY SUPPORT AND PROTECTION OF THE HIGHWAY RIGHT-OF-WAY AND THE SAFETY OF THE TRAVELING PUBLIC.

PROJECT TIED TO PENNSYLVANIA STATE PLANE SOUTH ZONE COORDINATE SYSTEM NAD83 (2011). (COMBINED SCALE FACTOR FOR THE PROJECT IS 0.999925063)

THE HORIZONTAL SURVEY INFORMATION IS BASED ON THE PENNSYLVANIA STATE PLANE SOUTH ZONE COORDINATE SYSTEM (NAD 83).

THE VERTICAL CONTROL IS BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88).

REFER TO DESIGN MANUAL, PART 2 PUBLICATION 13M, CHAPTER 13, 13.2 SEEDING AND MULCHING STABILIZATION.

CONSTRUCT PROJECT IN ACCORDANCE WITH PUBLICATION 408 SPECIFICATIONS, DATED 2020.

SR 0030 FORMERLY KNOWN AS LEGISLATIVE ROUTE 120.

SR 0048 FORMERLY KNOWN AS LEGISLATIVE ROUTE 02251.

SR 4019 FORMERLY KNOWN AS LEGISLATIVE ROUTE 64266.

THERE ARE NO NAVIGABLE STREAMS ON THE PROJECT.

INDICATES THE SLOPE LIMITS:

CUT FILL \_\_\_\_\_

THE DEPARTMENT RESERVES THE RIGHT TO ELIMINATE ANY OR ALL OF THIS WORK. DO NOT PERFORM WORK EXCEPT THAT WHICH IS WITHIN THE HIGHWAY RIGHT-OF-WAY OR A TEMPORARY CONSTRUCTION EASEMENT UNTIL SO ORDERED IN WRITING BY THE ENGINEER.

THE HALF CIRCLED NUMBER INDICATES A SCALED DIMENSION.

REMOVE BUILDINGS AND STRUCTURES MARKED R UNDER THE ITEM FOR CLEARING AND GRUBBING.

BUILDINGS AND STRUCTURES MARKED C HAVE BEEN OR ARE TO BE REMOVED OR ALTERED BY THE DEPARTMENT OR OTHER AUTHORITY RESPONSIBLE FOR THE PAYMENT OF PROPERTY DAMAGES AND SUCH WORK IS NOT PART OF THIS CONTRACT.

### SUMMARY OF PROJECT COORDINATES

BASED ON PA STATE PLANE SOUTH ZONE COORDINATE SYSTEM (NAD83)

DOUTE /			COORD	INATES	
ROUTE/ STREET	STATION	POINT	NORTH	EAST	BEARING
	654+00.00	POB	373489.0497	1408920.1843	
	667+17.51	EQNBK	374244.9917	1407841.1239	
	1000+00.00	EQNAHD	374244.9917	1407841.1239	N 54°59′12" W
	1000+36.63	PC	374266.0061	1407811.1271	
	1002+08.04	PI	374364.3606	1407670.7321	
	1003+78.92	PCC	374481.0265	1407545.1398	N 47°06′37" W
	1009+42.84	ΡI	374864.8199	1407131.9810	
	1014+93.91	PT	375371.8484	1406885.1618	
	1028+76.87	PC	376615.3074	1406279.8516	N 25°57′24" W
	1032+52.23	ΡI	376952.8001	1406115.5617	
	1036+17.30	PT	377327+7207	1406097.4768	
	1038+38.54	PC	377548.6946	1406086.8178	N 2°45′42" W
	1045+04.42	ΡI	378213.8086	1406054.7349	
	1051+47.19	PT	378796.9405	1405733.2335	
	1053+61.16	PC	378984.3245	1405629.9221	N 28°52′10" W
الدين _	1058+44.55	ΡI	379407.6380	1405396.5343	
SR 0030 SURVEY & CONSTR C	1062+92.01	PT	379884.7363	1405474.2604	
R O JRVE JNS1	1064+54.22	PC	380044.8344	1405500.3427	N 9°15′11" E
۰ ۲۶ ۲۶	1070+81.46	ΡI	380663.9164	1405601.2000	
	1076+30.55	PT	381144.5588	1405198.1893	70050. 45
	1089+22.70	PC	382134.7061	1404367.9673	N 39°58′45" W
	1091+15.90	ΡI	382282.7503	1404243.8347	
	1093+06.77	PT	382392.5168	1404084.8463	
	1096+37.18	PC	382580.2359	1403812.9497	N 55°22′43" W
	1098+51.75	PI	382702.1466	1403636.3714	
	1100+63.14	PT	382870.5408	1403503.3843	
	1103+32.61	PC	383082.0171	1403336.3738	N 38°17′58" W
	1106+07.26	ΡI	383297.5575	1403166.1536	
	1108+74.89	PT	383431.8990	1402926.6021	
	1108+78.89	EQNBK	383433.8562	1402923.1121	
	764+56.52	EQNAHD	383433.8562	1402923.1121	N 60°42′58" W
	777+69.09	PC	384075.8842	1401778.2775	
	779+96.66	ΡI	384187.1980	1401579.7879	
	782+23.28	PT/POE	384265.7802	1401366.2142	N 69°47′58" W
	242+00.00	POB	382998.8523	1402268.6035	
	245+68.39	PC	383139.4769	1402609.0969	
	245+68.39	EQNBK	383139.4769	1402609.0969	N 67°33′33" E
	900+00.00	EQNAHD	383139.4769	1402609.0969	
27 × × 8 ⊗ 9.	901+54.51	PI	383198.4589	1402751.9094	
SR 0048 SURVEY & CONSTR C	903+05.27	PT	383306.3807	1402862.4860	N 45°41′46" E
220	903+95.91	PC	383369.6938	1402927.3564	N 45 41 46 L
	904+52.09	ΡI	383408.9301	1402967.5578	
	905+08.21	PT	383451.0633	1403004.7119	N 41°24′24" E
	908+16.72	PC	383682.4535	1403208.7575	21 27 6
	909+79.36	PI	383804.4375	1403316.3259	
	911+39.17	PT	383954.2223	1403379.6945	
	911+40.29	EQNBK	383955.2523	1403380.1302	N 22°55′53" E
	7+02.05	EQNAHD	383955.2523	1403380.1302	
	8+00.00	POE	384045.4657	1403418.2963	

NOTE: FOUR (4) PLACE COORDINATES ARE USED ONLY AND DO NOT IMPLY A PRECISION BE

PROJECT TIED TO PENNSYLVANIA STATE PI
NADB3 (2011). (COMBINED SCALE FACTOR

DESIGNED BY: NPB DRAWN BY: MMM CHECKED BY: JDS NOTE: FOUR (4) PLACE COORDINATES ARE USED FOR COMPUTATIONAL PURPOSES ONLY AND DO NOT IMPLY A PRECISION BEYOND TWO (2) PLACES.

PROJECT TIED TO PENNSYLVANIA STATE PLANE SOUTH ZONE COORDINATE SYSTEM NAD83 (2011). (COMBINED SCALE FACTOR FOR THE PROJECT IS 0.999925063)

### SUMMARY OF PROJECT COORDINATES CONT.

BASED ON PA STATE PLANE SOUTH ZONE COORDINATE SYSTEM (NAD83)

ROUTE/	CTATION	DOINT	COORD	INATES	
STREET	STATION	POINT	NORTH	EAST	
	35+00.00	POB	374960.4772	1406488.5452	
₩	36+49.82	EQNBK	375011.7771	1406629.3086	
T T L	200+00.00	EQNAHD	375011.7771	1406629.3086	N 69°58′34" E
	200+00.00	PC	375011.7774	1406629.3095	
919	200+41.58	ΡI	375026.0162	1406668.3797	
SR 4019 SOUTH RVEY & CONSTR	200+83.15	PRC	375042.3977	1406706.6011	N 66°48′01" E
SR 4019 SOUTH	201+17.45	ΡI	375055.9106	1406738.1295	
	201+51.74	PT	375067.9682	1406770.2426	N 69°25′13" E
	203+99.21	POE	375154.9553	1407001.9168	
	300+00.00	POB	375030.4814	1406677.6530	
₩	300+38.10	PC	374994.8011	1406691.0147	S 20°31′49" E
WARD DRIVE SURVEY & CONSTR	300+80.64	ΡI	374954.9628	1406705.9336	
DRIVE	301+22.51	PT	374921.4943	1406732.1923	6 70807/00 5
WARD /EY &	302+01.48	PC	374859.3682	1406780.9354	S 38°07′02" E
√ × ve.	302+60.84	ΡI	374812.6647	1406817.5781	
l sui	303+15.16	PT	374753.3631	1406814.8913	S 2°35′39" W
1 1	303+98.72	P0E	374669.8967	1406811.1097	
σŏ	400+00.00	POB/PC	374730.5482	1407343.9266	N 20°55′26" W
<u>*</u>	400+53.60	PI	374780.6173	1407324.7833	20 33 20
NORTH	401+05.05	PT	374833.7984	1407331.5026	
N SI P	402+80.66	PC	375008.0300	1407353.5166	N 7°12′04" E
SR 4019 NORTH JUGHANDLE SURVEY CONSTR ©	405+61.65	ΡI	375286.8012	1407388.7390	
SR	406+29.74	PT	375188.6258	1407125.4605	S 69°32′59" W
"011"	407+55.15	POE	375144.8075	1407007.9524	3 69 32 33 11
	500+00.00	POB/PC	375032.6934	1407933.8285	
	500+65.24	PI	375021.6467	1407869.5355	S 80° 15′ 03" W
4019 NORTH SURVEY & CONSTR C	501+30.40	PT	375015.7503	1407804.5674	
RVE NST	504+80.34	PC	374984.1197	1407456.0566	S 84°48′51" W
	505+33.33	ΡI	374979.3307	1407403.2901	
<sup>85</sup>	505+85.95	POE/PT	374985.2484	1407350.6382	N 83°35′14" W
	600+00.00	POB/PC	374870.4793	1407866.8988	N 62°24′07" W
ROAD R &	600+66,57	ΡI	374901.3188	1407807.9036	N 02 24 01 W
S T S	601+32.92	PRC	374923.6784	1407745.2016	N 70°22′25" W
CROWN RC SURVEY CONSTR	601+80.88	PI	374939.7852	1407700.0343	
	602+18.25	P0E/PT	374987.5421	1407695.6999	N 05°11′09" W
MAGNUS LANE	200+00.00	POB	377899.3244	1406048.2161	
SURVEY & - CONSTR (L	203+42.70	POE	378050.6746	1406355.6862	N 63°47′30" E
	200+00.00	POB	378919.3925	1405665.7214	
│ <u></u>	200+45.78	PC	378938.3410	1405707.3926	N 65°32′53" E
STR	201+35.39	ΡI	378975.4361	1405788.9715	
	202+19.95	PT	378961.7072	1405877.5304	C 01811/16" F
%	202+79.95	PC	378952.5152	1405936.8238	S 81°11′16" E
PETERSON DRIVE SURVEY & CONSTR	203+53.78	ΡI	378941.2043	1406009.7859	
l sus	204+18.30	PT	378989.3810	1406065.7358	N 49°16′10" E
I	204+66.24	POE	379020.6657	1406102.0682	
N N	300+00.00	POB	378675.2842	1405828.8305	
			770027 7007	1405845.4488	N 6°24′06" E
SPS	301+49.04	PC	378823.3983	1403043.4400	
ON DRI	301+49.04 301+70.48	PC P I	378844.6968	1405847.8384	
PETERSON DRIVE JUGHANDLE SURVEY & CONSTR (					N 5°49′53" W

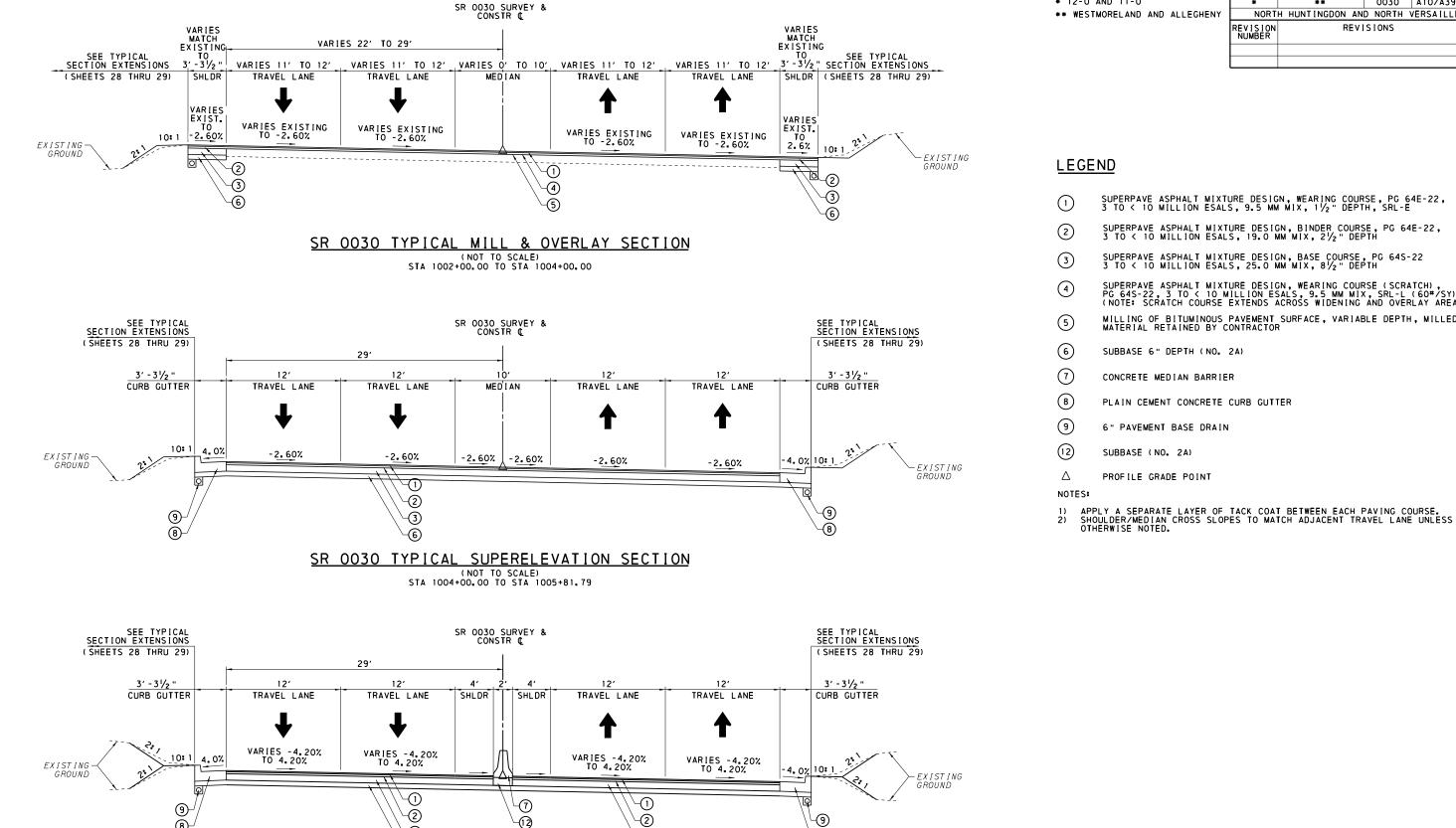
- \* 12-0 AND 11-0
- \*\* WESTMORELAND AND ALLEGHEN

	DISTRICT	COUNTY	ROUTE	SECTION	SHE	EΤ
	*	**	0030	A10/A39	8 0	F 92
NY	NORT	H HUNTINGDON AN	D NORTH	VERSAILLE	S TWP	
	REVISION NUMBER	REVI	SIONS		DATE	BY

### SUMMARY OF PROJECT COORDINATES CONT.

BASED ON PA STATE PLANE SOUTH ZONE COORDINATE SYSTEM (NAD83)

ROUTE/			COORD	INATES	BEARING	
ROUTE/ STREET	STATION	POINT	NORTH	EAST		
OLD JACKS RUN ROAD SURVEY & CONSTR Œ	400+00.00	РОВ	378750. 7608	1405294.8698	N 65°32′53" E	
	404+07.39	POE	378919.3925	1405665.7214	N 03 32 33 L	
OLD JACKS RUN ROAD JUGHANDLE SURVEY & CONSTR (C	500+00.00	РОВ	379185.8065	1405508.0121		
S T AN I	501+81.61	PC	379008.2509	1405469.8572	S 12°07′40" W	
OLD JACKS ROAD JUGHAI SURVEY CONSTR	502+31.19	ΡI	378959.7790	1405459.4411		
L ON SUR	502+77.37	PT	378914.6473	1405479.9631	S 24°27′07" E	
0L 80A	503+49.95	POE	378848.5849	1405510.0027		
Ψ.	600+00.00	РОВ	378984.2604	1405237.8554		
~ × ×	601+43.29	PC	379041.6264	1405369.1663	N 66°24′03" E	
DWIN DRI SURVEY CONSTR	601+83.58	ΡI	379057.7543	1405406.0831		
EDWIN DRIVE SURVEY & CONSTR C	602+21.24	PT	379049.2905	1405445.4699	S 77°52′20" E	
"	602+53.70	POE	379042.4698	1405477.2105		
۵	200+00.00	РОВ	381160.4697	1405184.8483		
ROA ~	203+71.23	PC	381417.3785	1405452.8256	N 46°12′29" E	
ARDARA ROAD SURVEY & CONSTR €	204+30.97	ΡI	381458.7211	1405495.9494		
SUR	204+89.57	PT	381483.4184	1405550, 3452	N 65°34′50" E	
⋖	205+30.73	POE	381500.4333	1405587.8204	N 65°34 50" E	
	300+00.00	РОВ	380873.0786	1405407.9645		
ARDARA ROAD JUGHANDLE SURVEY & CONSTR €	302+82.17	PC	381155.1988	1405402.5026	N 1°06′33" W	
RA HAN IVEY	303+48.59	ΡI	381221.6082	1405401.2169		
SUR	304+08.82	PT	381269.5553	1405355.2502	N 43°47′31" W	
₹ '	304+48.00	POE	381297.8384	1405328.1353		
ш	400+00.00	РОВ	381056.0211	1405038.0677		
IDAHO LANE SURVEY & CONSTR ©	400+87.38	PC	381103.6392	1405111.3372	N 56°58′48" E	
S Y E L	401+17.79	ΡI	381120.2068	1405136.8297		
SUS	401+48.12	PT	381139.7411	1405160.1268	N 50°01′15" E	
	401+80.38	POE	381160.4697	1405184.8483		
	99+50.00	РОВ	383414.3158	1401976.7617		
⊕' - ⊕'	101+50.70	PC	383614.0041	1401998.3623	N 06° 10′ 26 " E	
ROAL	102+04.95	ΡI	383667.9355	1402004.1962		
HOFFMAN ROAD SURVEY & CONSTR	102+56.65	PT	383717.4233	1401981.9797	N 248 107 7C " "	
± ×	104+12.68	PC	383859.7679	1401918.0771	N 24°10′36" W	
RVE	104+73.11	ΡI	383914.9004	1401893.3266		
l IS	105+24.65	PT	383967.6106	1401922.8868	N 29° 17′ 02 " E	
	105+48.35	POE	383988.2847	1401934.4809		
			•	•		



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-(3)

TOR: nbuban NAME: N:\3204

DESIGNED BY: NPB DRAWN BY: TMB CHECKED BY: JDS

SR 0030 TYPICAL SUPERELEVATION SECTION (NOT TO SCALE) STA 1005+81.79 TO STA 1008+82.49 STA 1029+13.83 TO STA 1035+80.34

STA 1044+50.00 TO STA 1051+20.46 STA 1054+04.06 TO STA 1062+07.17 STA 1065+43.66 TO STA 1074+51.23 STA 1089+65.60 TO STA 1092+63.87 STA 1096+80.08 TO STA 1097+34.11 \* 12-0 AND 11-0

*	**	0030	A10/A39	9 0	F 92
NORT	H HUNTINGDON AN	D NORTH	VERSAILLE	S TWP	·.
REVISION REVI		ISIONS		DATE	BY

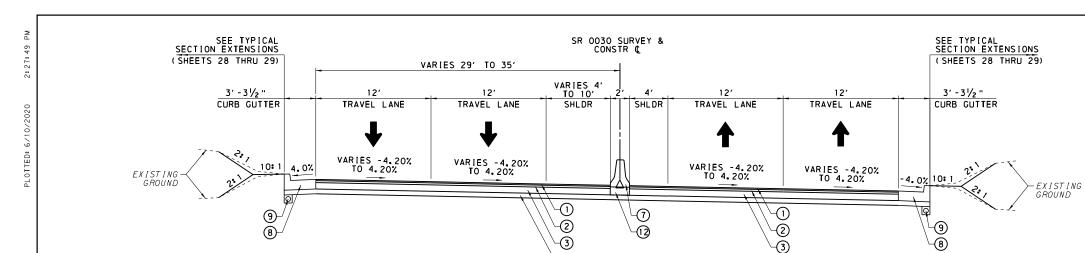
ROUTE SECTION SHEET

COUNTY

SUPERPAVE ASPHALT MIXTURE DESIGN, WEARING COURSE, PG 64E-22, 3 TO < 10 MILLION ESALS, 9.5 MM MIX,  $1\frac{1}{2}$ " DEPTH, SRL-E

DISTRICT

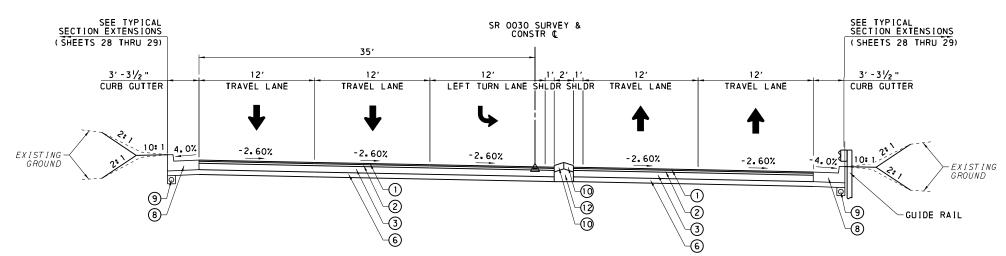
- SUPERPAVE ASPHALT MIXTURE DESIGN, BINDER COURSE, PG 64E-22, 3 TO < 10 MILLION ESALS, 19.0 MM MIX,  $2\,\%_2$  " DEPTH
- SUPERPAVE ASPHALT MIXTURE DESIGN, BASE COURSE, PG 64S-22 3 TO < 10 MILLION ESALS, 25.0 MM MIX,  $8\,{}^{\prime}\!\!/_{2}\,{}^{\prime\prime}$  DEPTH
- SUPERPAVE ASPHALT MIXTURE DESIGN, WEARING COURSE (SCRATCH), PG 64S-22, 3 TO < 10 MILLION ESALS, 9.5 MM MIX, SRL-L (60\*/SY) (NOTE: SCRATCH COURSE EXTENDS ACROSS WIDENING AND OVERLAY AREAS)
- MILLING OF BITUMINOUS PAVEMENT SURFACE, VARIABLE DEPTH, MILLED MATERIAL RETAINED BY CONTRACTOR



-(6)

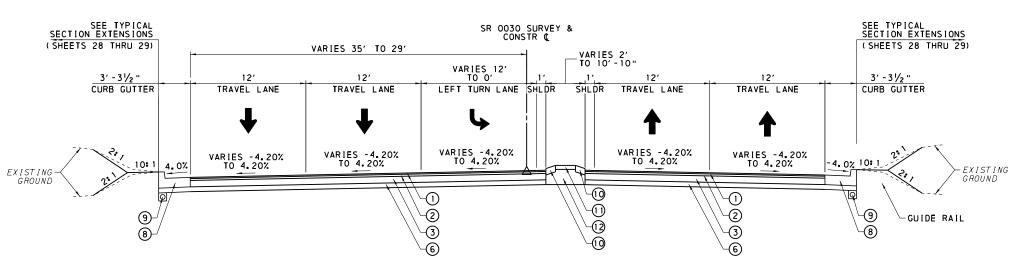
SR 0030 TYPICAL SUPERELEVATION SECTION

(NOT TO SCALE) STA 1008+82.49 TO STA 1013+13.91 STA 1074+51.23 TO STA 1076+38.82 STA 1097+34.11 TO STA 1099+59.13



SR 0030 TYPICAL SUPERELEVATION SECTION WITH TURN LANE

(NOT TO SCALE) STA 1013+13.91 TO STA 1014+67.18



SR 0030 TYPICAL SUPERELEVATION TRANSITION SECTION WITH TURN LANE

(NOT TO SCALE) STA 1014+67.18 TO STA 1016+53.98 STA 1076+38.82 TO STA 1078+30.72

DESIGNED BY: NPB DRAWN BY: TMB CHECKED BY: JDS

TOR: nbuban NAME: N: \32043

\* 12-0 AND 11-0

\*\* WESTMORELAND AND ALLEGHENY

DISTRICT	COUNTY	ROUTE	SECTION	SHE	ET
*	**	0030	A10/A39	10 0	F 92
NORTH HUNTINGDON AND NORTH VERSAILLES TWP					· <b>.</b>
REVISION NUMBER				DATE	BY

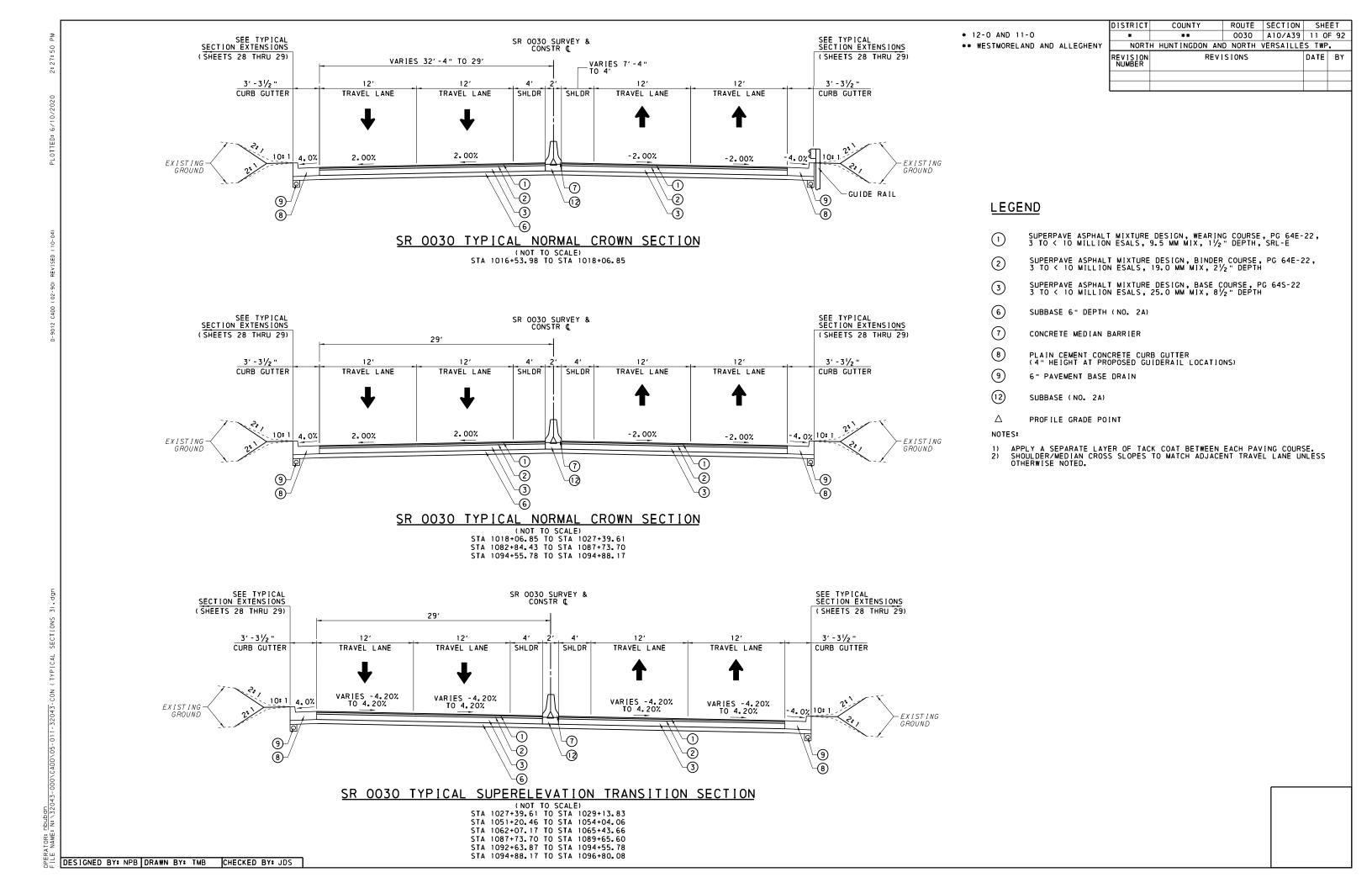
#### LEGEND

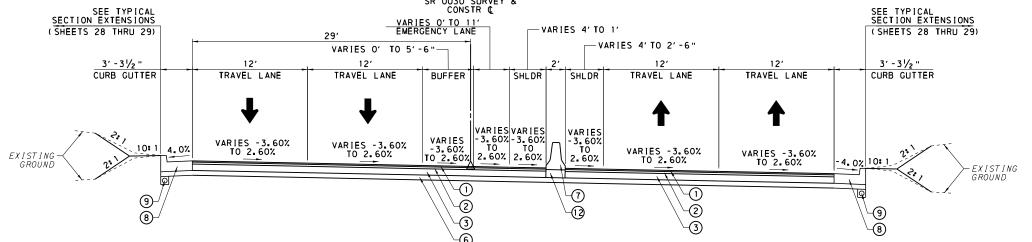
SUPERPAVE ASPHALT MIXTURE DESIGN, WEARING COURSE, PG 64E-22, 3 TO < 10 MILLION ESALS, 9.5 MM MIX,  $1\frac{1}{2}$ " DEPTH, SRL-E

- SUPERPAVE ASPHALT MIXTURE DESIGN, BINDER COURSE, PG 64E-22, 3 TO < 10 MILLION ESALS, 19.0 MM MIX,  $2\,\!\!\!/_2$  " DEPTH 2
- SUPERPAVE ASPHALT MIXTURE DESIGN, BINDER COURSE, PG 64E-22, 3 TO < 10 MILLION ESALS, 19.0 MM MIX,  $2\,\!\!/_2\,^{\rm w}$  DEPTH 3
- 6 SUBBASE 6" DEPTH (NO. 2A)
- CONCRETE MEDIAN BARRIER
- PLAIN CEMENT CONCRETE CURB GUTTER (4" HEIGHT AT PROPOSED GUIDERAIL LOCATIONS)
- 9 6" PAVEMENT BASE DRAIN
- (10) PLAIN CONCRETE MOUNTABLE CURB, TYPE A
- (1) PLAIN CEMENT CONCRETE PAVEMENT, 4" DEPTH
- SUBBASE (NO. 2A)
- PROFILE GRADE POINT Δ

#### NOTES:

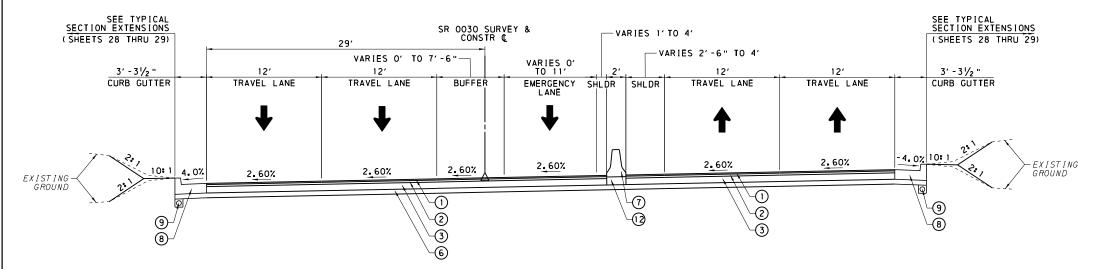
APPLY A SEPARATE LAYER OF TACK COAT BETWEEN EACH PAVING COURSE. SHOULDER/MEDIAN CROSS SLOPES TO MATCH ADJACENT TRAVEL LANE UNLESS OTHERWISE NOTED.





### SR 0030 TYPICAL SUPERELEVATION TRANSITION SECTION

(NOT TO SCALE) STA 1035+80.34 TO STA 1038+65.27



#### SR 0030 TYPICAL SUPERELEVATION SECTION

(NOT TO SCALE) STA 1038+65.27 TO STA 1039+92.77 STA 1041+77.12 TO STA 1044+50.00

#### **LEGEND**

SUPERPAVE ASPHALT MIXTURE DESIGN, WEARING COURSE, PG 64E-22, 3 TO < 10 MILLION ESALS, 9.5 MM MIX,  $1\frac{1}{2}$ " DEPTH, SRL-E

DATE BY

- SUPERPAVE ASPHALT MIXTURE DESIGN, BINDER COURSE, PG 64E-22, 3 TO < 10 MILLION ESALS, 19.0 MM MIX,  $2^{1}\!/_{2}$  " DEPTH
- SUPERPAVE ASPHALT MIXTURE DESIGN, BASE COURSE, PG 64S-22 3 TO < 10 MILLION ESALS, 25.0 MM MIX,  $8\,\rlap/_2\,"$  DEPTH
- SUBBASE 6" DEPTH (NO. 2A)
- CONCRETE MEDIAN BARRIER
- PLAIN CEMENT CONCRETE CURB GUTTER
- 6" PAVEMENT BASE DRAIN
- SUBBASE (NO. 2A)
- Δ PROFILE GRADE POINT

#### NOTES:

APPLY A SEPARATE LAYER OF TACK COAT BETWEEN EACH PAVING COURSE. SHOULDER/MEDIAN CROSS SLOPES TO MATCH ADJACENT TRAVEL LANE UNLESS OTHERWISE NOTED.

| UK: | | | DUDGI| | NAME: | N: \32043-000\CADD\05-C \* 12-0 AND 11-0

LEGEND

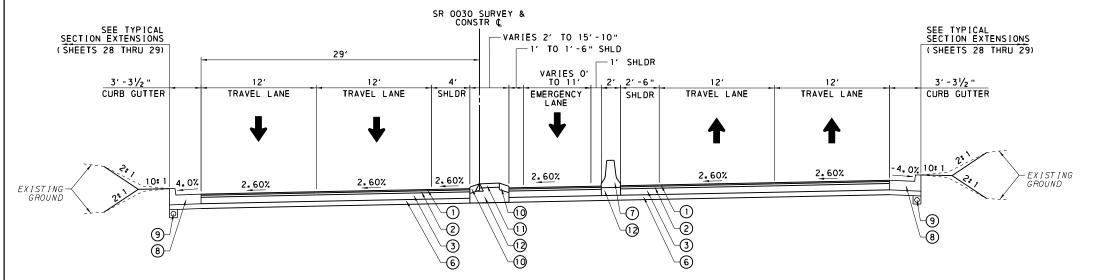
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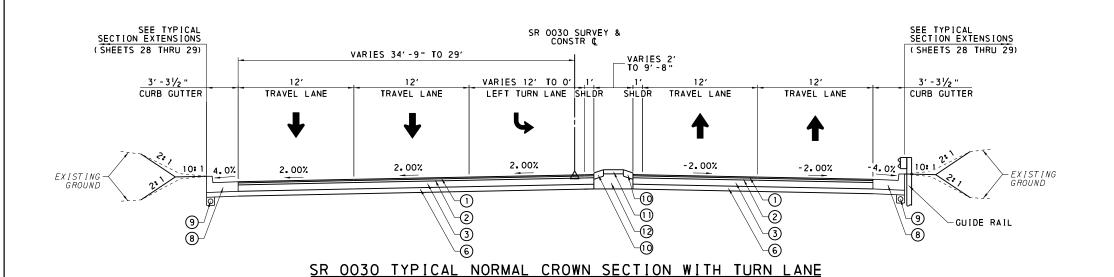
\*\* WESTMORELAND AND ALLEGHENY

DISIRICI	COUNTY	KUUIE	SECTION	240	:=!
*	**	0030	A10/A39	13 0	F 92
NORT	H HUNTINGDON AN	D NORTH	VERSAILLE	S TWP	•
REVISION NUMBER	REV	ISIONS		DATE	BY



### SR 0030 TYPICAL SUPERELEVATION SECTION

(NOT TO SCALE) STA 1039+92.77 TO STA 1041+77.12



(NOT TO SCALE) STA 1078+30.72 TO STA 1082+84.43

#### 27 SH OT

NOTES:

APPLY A SEPARATE LAYER OF TACK COAT BETWEEN EACH PAVING COURSE.
SHOULDER/MEDIAN CROSS SLOPES TO MATCH ADJACENT TRAVEL LANE UNLESS OTHERWISE NOTED.

SUPERPAVE ASPHALT MIXTURE DESIGN, WEARING COURSE, PG 64E-22, 3 TO < 10 MILLION ESALS, 9.5 MM MIX, 1½ " DEPTH, SRL-E

SUPERPAVE ASPHALT MIXTURE DESIGN, BINDER COURSE, PG 64E-22, 3 TO < 10 MILLION ESALS, 19.0 MM MIX,  $2\,\!\!/_2\,^{\rm w}$  DEPTH

SUPERPAVE ASPHALT MIXTURE DESIGN, BASE COURSE, PG 64S-22 3 TO < 10 MILLION ESALS, 25.0 MM MIX,  $8\,\rlap/_2$  " DEPTH

PLAIN CEMENT CONCRETE CURB GUTTER (4" HEIGHT AT PROPOSED GUIDERAIL LOCATIONS)

PLAIN CONCRETE MOUNTABLE CURB, TYPE A

PLAIN CEMENT CONCRETE PAVEMENT, 4" DEPTH

SUBBASE 6" DEPTH (NO. 2A)

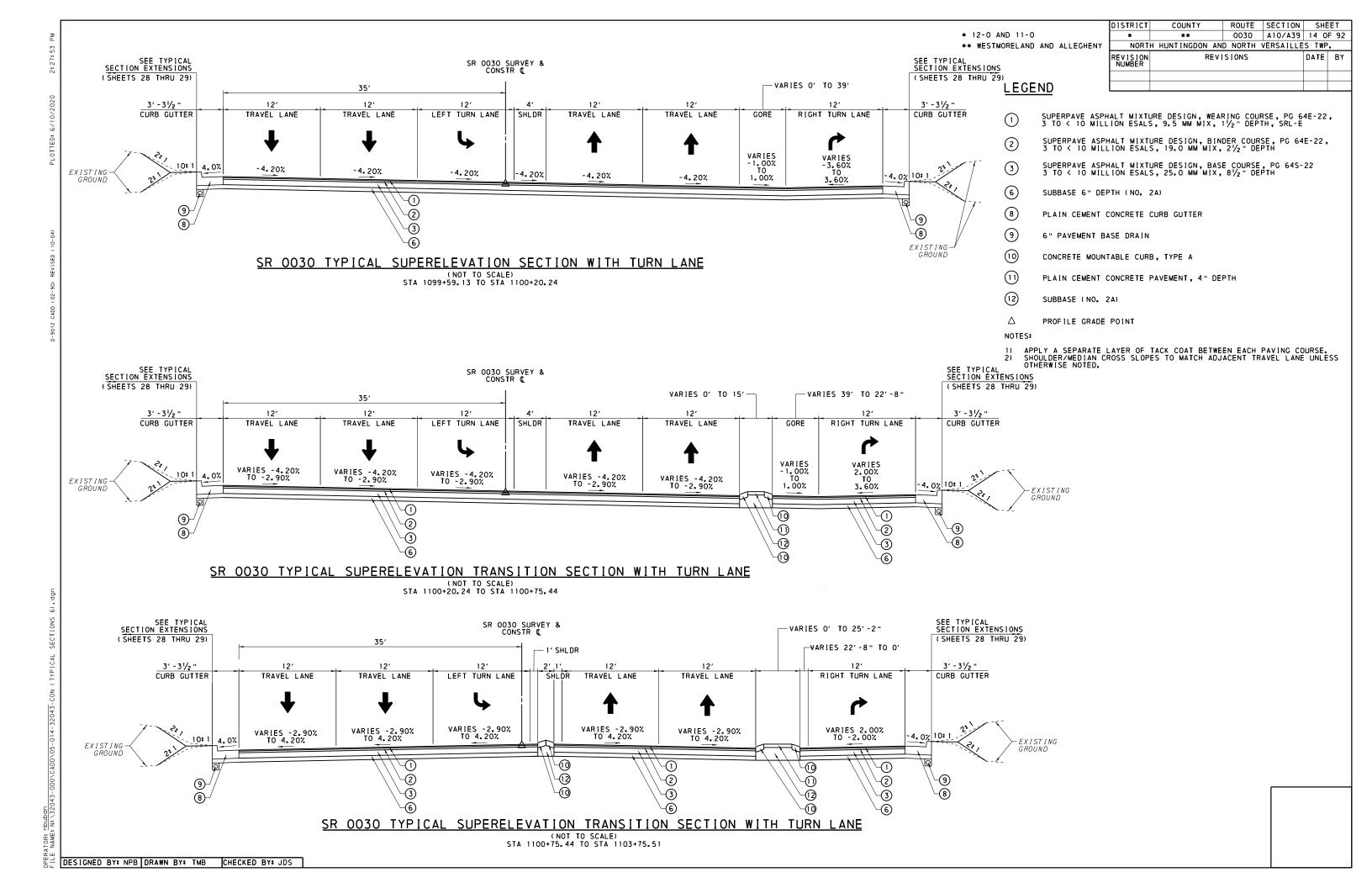
CONCRETE MEDIAN BARRIER

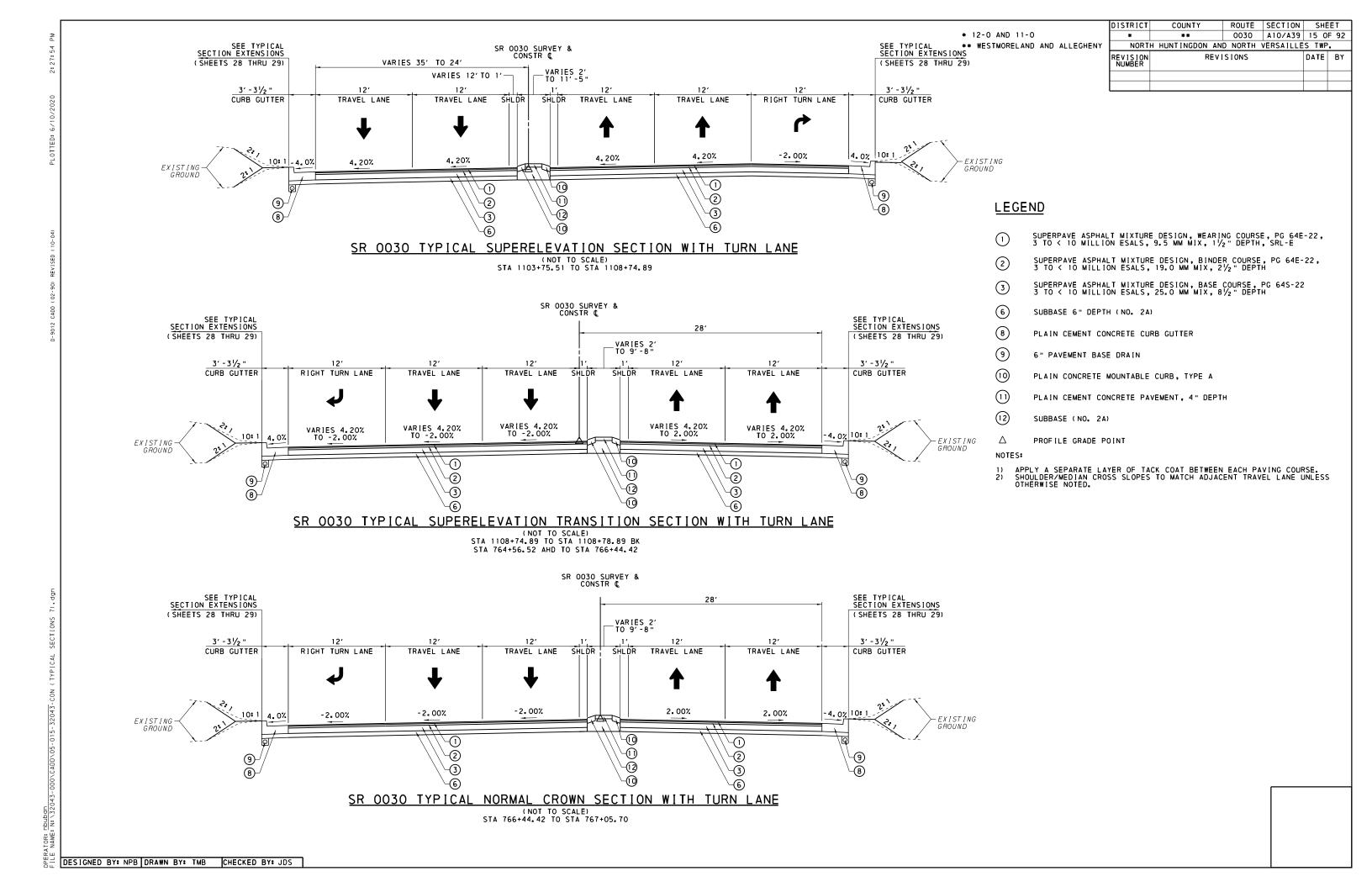
6" PAVEMENT BASE DRAIN

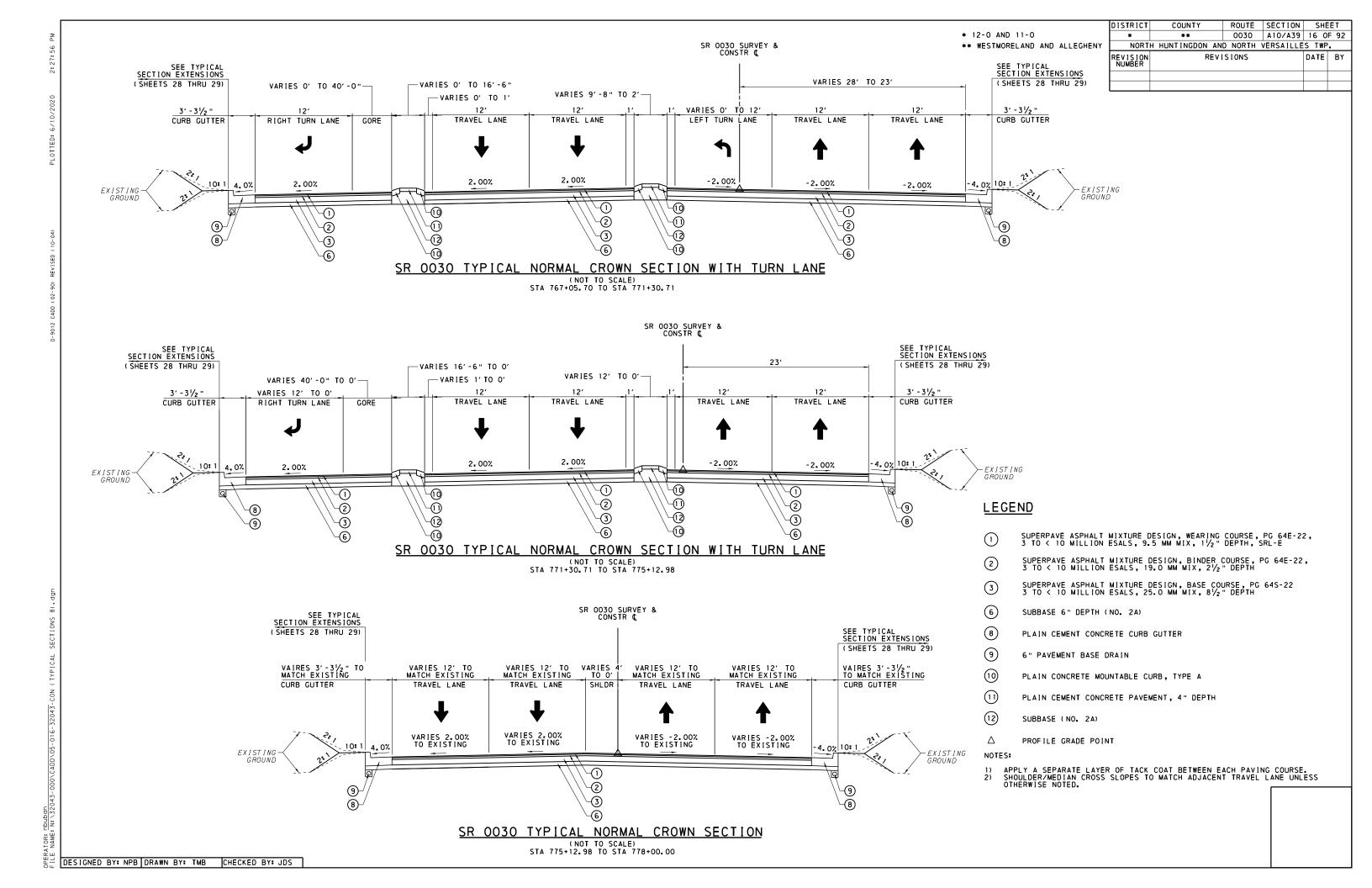
SUBBASE (NO. 2A)

PROFILE GRADE POINT

DESIGNED BY: NPB DRAWN BY: TMB CHECKED BY: JDS







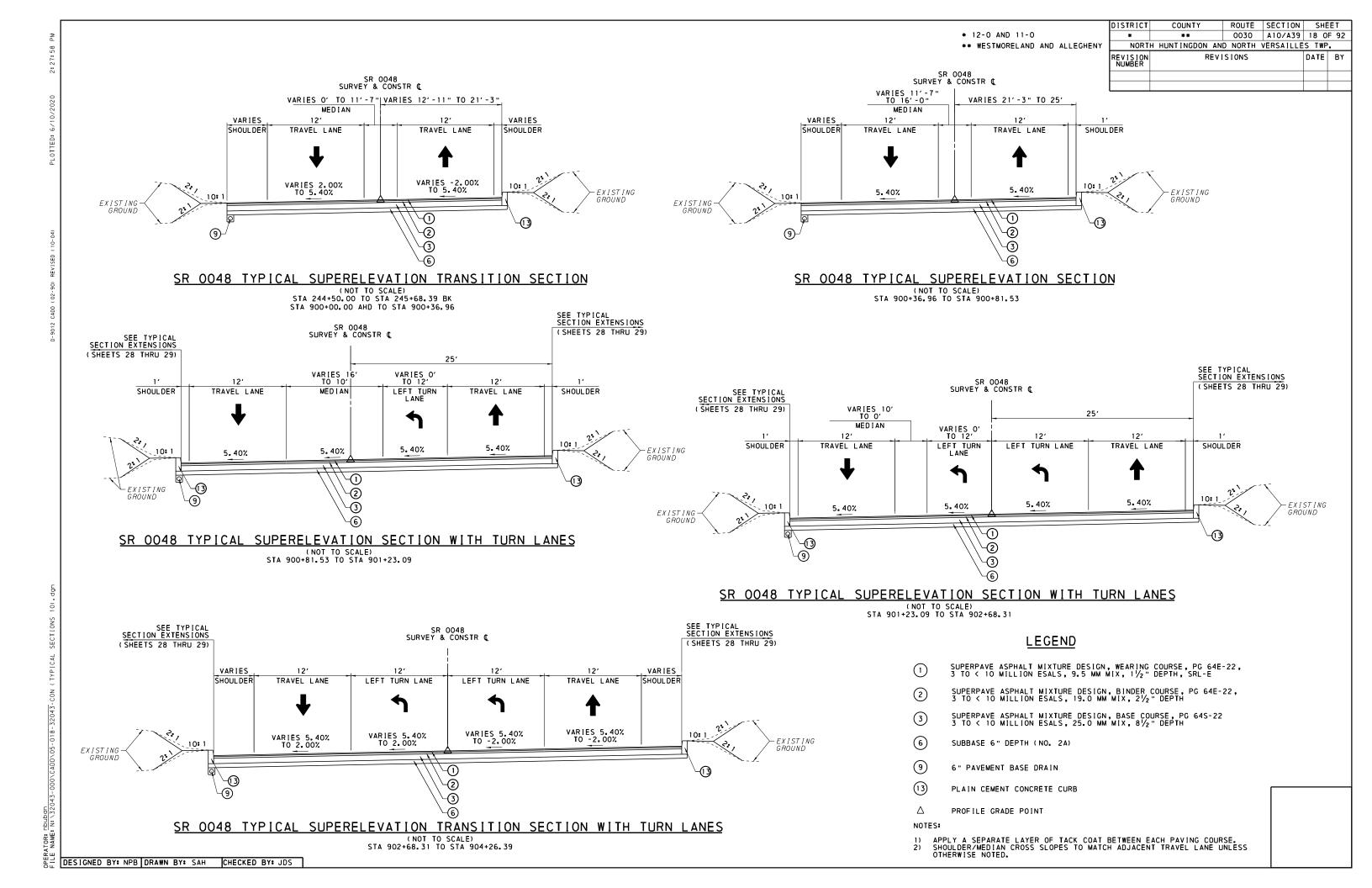
\* 12-0 AND 11-0

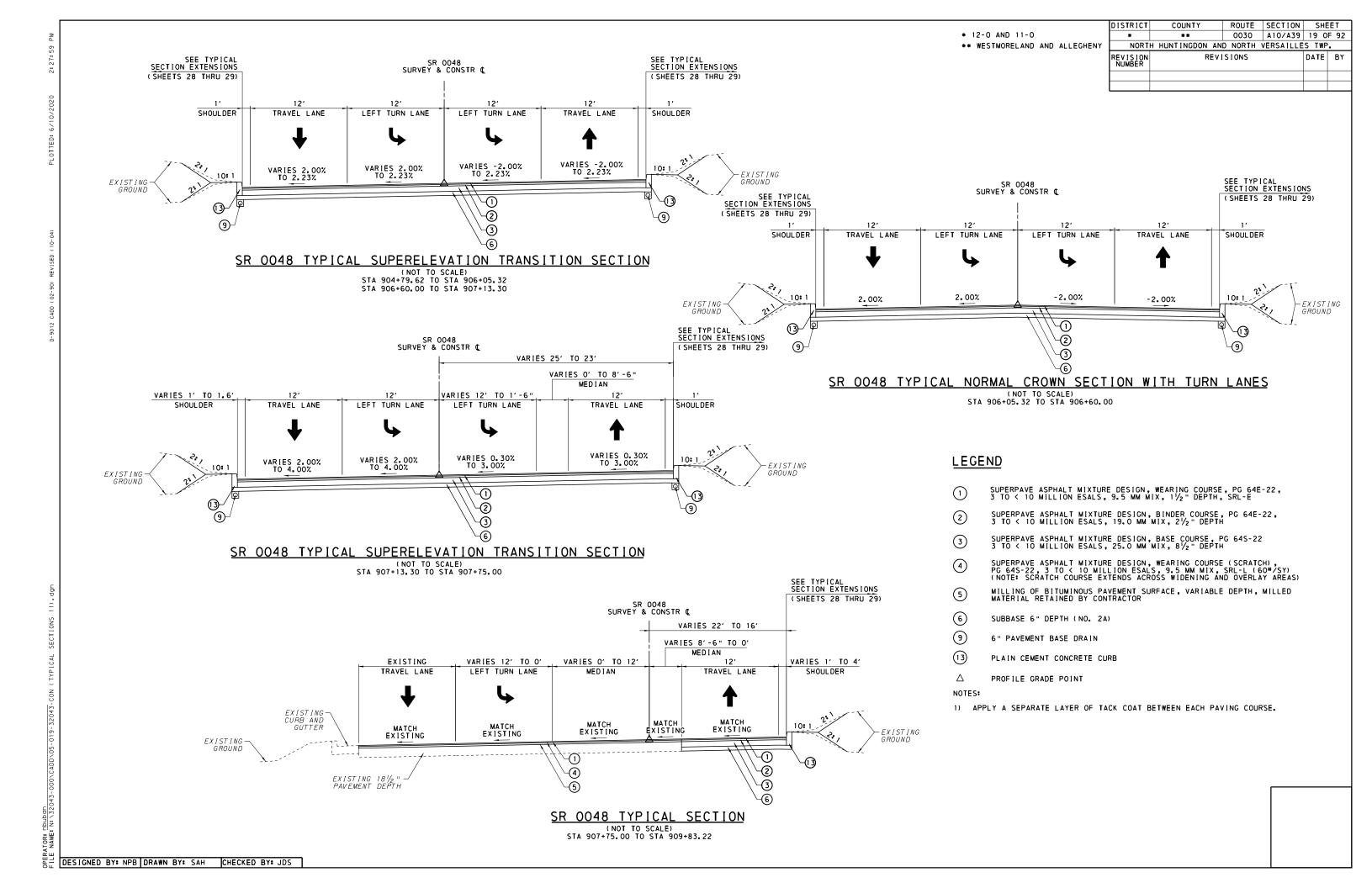
\*\* WESTMORELAND AND ALLEGHENY

	DISIRICI	COUNTY	KUUTE	SECTION	211	:=!
	*	**	0030	A10/A39	17 0	F 92
NY	NORT	H HUNTINGDON AN	D NORTH	VERSAILLE	S TWP	<b>'.</b>
	REVISION NUMBER	REVI	SIONS		DATE	ВҮ

## SR 0030 CROSS-SLOPE TRANSITIONS

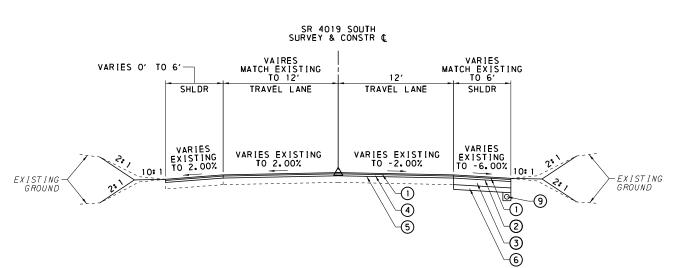
SR 0030 SURVEY & CONSTR (£	EB RIGHT TURN LANE CROSS-SLOPE	EB RIGHT THRU LANE CROSS-SLOPE	EB LEFT THRU LANE CROSS-SLOPE	EB LEFT TURN LANE CROSS-SLOPE	EB EMERGENCY LANE CROSS-SLOPE	WB LEFT THRU LANE CROSS-SLOPE	WB RIGHT THRU LANE CROSS-SLOPE	WB RIGHT TURN LANE CROSS-SLOPE
1002+00.00	N/A	EXISTING	EXISTING	N/A	N/A	EXISTING	EXISTING	N/A
1004+00.00	N/A	-2.60%	-2.60%	N/A	N/A	-2.60%	-2.60%	N/A
1014+67.18	N/A	-2.60%	-2.60%	-2.60%	N/A	-2.60%	-2.60%	N/A
1014+85.87	N/A	-2.00%	-2.00%	-2.00%	N/A	-2.00%	-2.00%	N/A
1016+10.48	N/A	2.00%	2.00%	N/A	N/A	-2.00%	-2.00%	N/A
1027+39.61	N/A	2.00%	2.00%	N/A	N/A	-2.00%	-2.00%	N/A
1028+64.05	N/A	-2.00%	-2.00%	N/A	N/A	-2.00%	-2.00%	N/A
1029+13.83	N/A	-3.60%	- 3. 60%	N/A	N/A	- 3. 60%	- 3, 60%	N/A
1035+80.34	N/A	-3.60%	-3.60%	N/A	N/A	- 3. 60%	-3.60%	N/A
1038+65.27	N/A	2.60%	2.60%	N/A	2.60%	2.60%	2.60%	N/A
1051+20.46	N/A	2.60%	2.60%	N/A	N/A	2.60%	2.60%	N/A
1054+04.06	N/A	-4.20%	-4.20%	N/A	N/A	-4.20%	-4.20%	N/A
1062+07.17	N/A	-4.20%	-4.20%	N/A	N/A	-4.20%	-4.20%	N/A
1065+43.66	N/A	4.20%	4. 20%	N/A	N/A	4. 20%	4.20%	N/A
1076+25.00	N/A	4.20%	4.20%	4.20%	N/A	4. 20%	4.20%	N/A
1077+07.65	N/A	2.00%	2.00%	2.00%	N/A	2.00%	2.00%	N/A
1078+30.72	N/A	2.00%	2.00%	2.00%	N/A	-2.00%	-2.00%	N/A
1087+73.70	N/A	2.00%	2.00%	N/A	N/A	-2.00%	-2.00%	N/A
1088+97.51	N/A	2.00%	2.00%	N/A	N/A	2.00%	2.00%	N/A
1089+65.60	N/A	4.20%	4. 20%	N/A	N/A	4. 20%	4.20%	N/A
1092+63.87	N/A	4.20%	4. 20%	N/A	N/A	4. 20%	4.20%	N/A
1093+31.97	N/A	2.00%	2.00%	N/A	N/A	2.00%	2.00%	N/A
1094+55.78	N/A	2.00%	2.00%	N/A	N/A	-2.00%	-2.00%	N/A
1094+88.17	N/A	2.00%	2.00%	N/A	N/A	-2.00%	-2.00%	N/A
1096+11.98	N/A	-2.00%	-2.00%	N/A	N/A	-2.00%	-2.00%	N/A
1096+80.08	N/A	-4.20%	-4.20%	N/A	N/A	-4.20%	-4.20%	N/A
1100+20.24	N/A	-4.20%	-4.20%	-4.20%	N/A	-4.20%	-4.20%	N/A
1103+75.51	N/A	4.20%	4.20%	4.20%	N/A	4. 20%	4.20%	-2.00%
1108+74.89	4.20%	4.20%	4.20%	4. 20%	N/A	4. 20%	4. 20%	-2.00%
765+20.61	2.00%	2.00%	2.00%	N/A	N/A	2.00%	2.00%	N/A
766+44.22	2.00%	2.00%	2.00%	N/A	N/A	-2.00%	-2.00%	N/A
777+50.00	N/A	2.00%	2.00%	N/A	N/A	-2.00%	-2.00%	N/A
778+00.00	N/A	EXISTING	EXISTING	N/A	N/A	EXISTING	EXISTING	N/A







TOR: nbuban



REVISION NUMBER SEE TYPICAL SECTION EXTENSIONS SR 4019 SOUTH SURVEY & CONSTR (L (SHEETS 28 THRU 29) VARIES 6' TO 4'-3" VARIES 6' 12' SHOULDER TRAVEL LANE TRAVEL LANE SHOULDER 2.00% -2.00% 2.00% -6.00% 10:1 10: 1 EXISTING -2 9 -(9) -(3)

\*\* WESTMORELAND AND ALLEGHENY

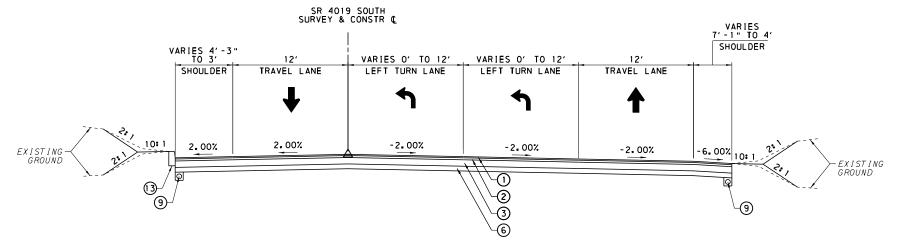
\* 12-0 AND 11-0

SR 4019 SOUTH (CARPENTER LANE) TYPICAL SECTION

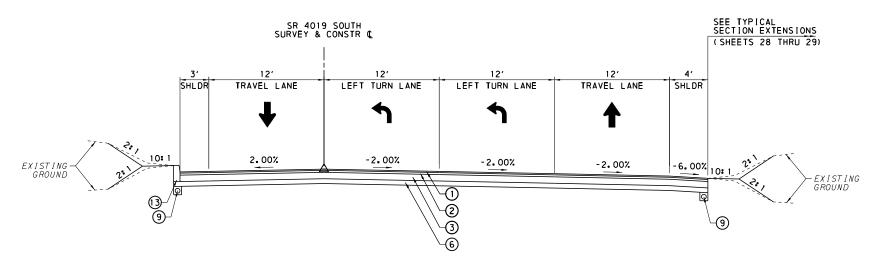
(NOT TO SCALE) STA 200+33.06 TO STA 200+78.00

# SR 4019 SOUTH (CARPENTER LANE) TYPICAL MILL & OVERLAY SECTION

(NOT TO SCALE) STA 36+25.00 TO STA 36+49.82 BK STA 200+00.00 AHD TO STA 200+33.06



# SR 4019 SOUTH (CARPENTER LANE) TYPICAL SECTION WITH TURN LANES (NOT TO SCALE) STA 200+78.00 TO STA 201+77.15



# SR 4019 SOUTH (CARPENTER LANE) TYPICAL SECTION WITH TURN LANES

(NOT TO SCALE) STA 201+77.15 TO STA 203+63.76

# LEGEND

SUPERPAVE ASPHALT MIXTURE DESIGN, WEARING COURSE, PG 64E-22, 3 TO < 10 MILLION ESALS, 9.5 MM MIX, 1 $\frac{1}{2}$ " DEPTH, SRL-E

DISTRICT

COUNTY

NORTH HUNTINGDON AND NORTH VERSAILLES TWP.

REVISIONS

ROUTE SECTION SHEET

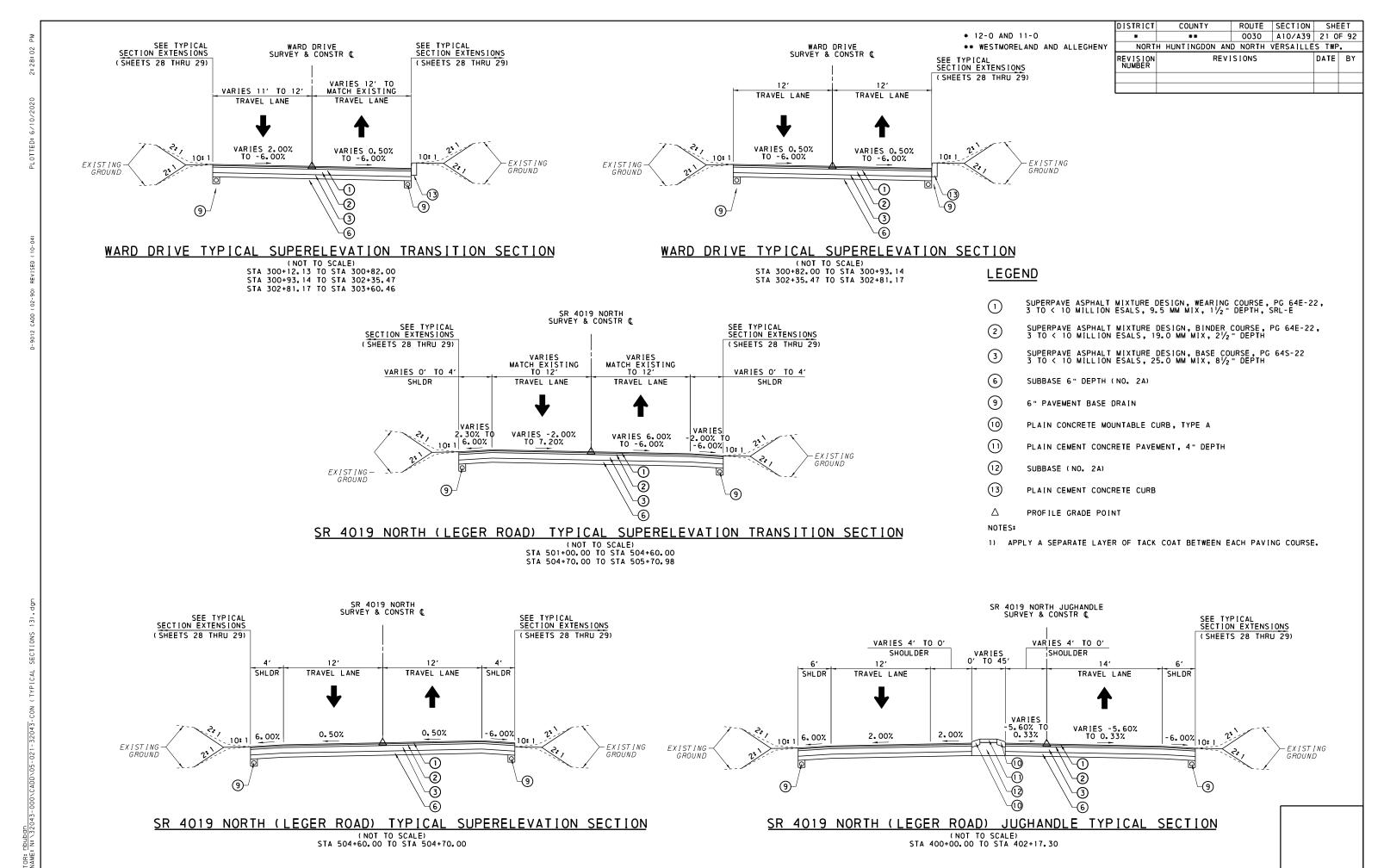
0030 A10/A39 20 OF 92

DATE BY

- SUPERPAVE ASPHALT MIXTURE DESIGN, BINDER COURSE, PG 64E-22, 3 TO < 10 MILLION ESALS, 19.0 MM MIX,  $2\frac{1}{2}$ " DEPTH
- SUPERPAVE ASPHALT MIXTURE DESIGN, BASE COURSE, PG 64S-22 3 TO < 10 MILLION ESALS, 25.0 MM MIX, 8½" DEPTH
- SUPERPAVE ASPHALT MIXTURE DESIGN, WEARING COURSE (SCRATCH), PG 64S-22, 3 TO < 10 MILLION ESALS, 9.5 MM MIX, SRL-L (60\*/SY) (NOTE: SCRATCH COURSE EXTENDS ACROSS WIDENING AND OVERLAY AREAS) 4
- MILLING OF BITUMINOUS PAVEMENT SURFACE, VARIABLE DEPTH, MILLED MATERIAL RETAINED BY CONTRACTOR
- SUBBASE 6" DEPTH (NO. 2A)
- 6" PAVEMENT BASE DRAIN
- PLAIN CEMENT CONCRETE CURB
- Δ PROFILE GRADE POINT

#### NOTES:

APPLY A SEPARATE LAYER OF TACK COAT BETWEEN EACH PAVING COURSE. SHOULDER/MEDIAN CROSS SLOPES TO MATCH ADJACENT TRAVEL LANE UNLESS OTHERWISE NOTED.



TOR: nbuban NAME: N:\3204 SR 4019 NORTH JUGHANDLE
SURVEY & CONSTR &

VARIES 14' TO 16' TO 3'-3"

SHOULDER TRAVEL LANE LEFT TURN LANE

VARIES 0'
TRAVEL LANE

VARIES 0'
TO 3'-3"

VARIES 2.00% TO 6.00%

6.00%

9

SR 4019 NORTH (LEGER ROAD) JUGHANDLE TYPICAL SUPERELEVATION TRANSITION SECTION WITH TURN LANE

(NOT TO SCALE)
STA 402+17.30 TO STA 403+14.65

VARIES 0.33% TO 6.00%

> ⊕ •@

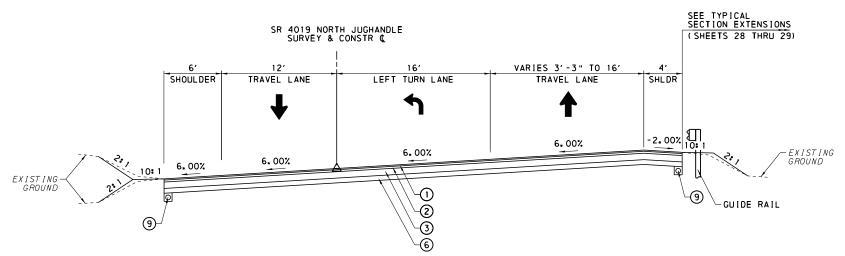
-3

0.33% TO | 6.00% |

10: 1\_

**-**(9)

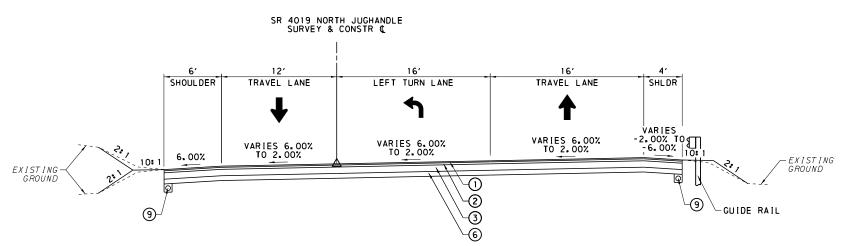
-EXISTING GROUND



SR 4019 NORTH (LEGER ROAD) JUGHANDLE TYPICAL SUPERELEVATION SECTION WITH TURN LANE

(NOT TO SCALE)

STA 403+14.65 TO STA 405+95.75



SR 4019 NORTH (LEGER ROAD) JUGHANDLE TYPICAL SUPERELEVATION TRANSITION SECTION WITH TURN LANE

(NOT TO SCALE)
STA 405+95.75 TO STA 407+25.66

\* 12-0 AND 11-0

\*\* WESTMORELAND AND ALLEGHENY

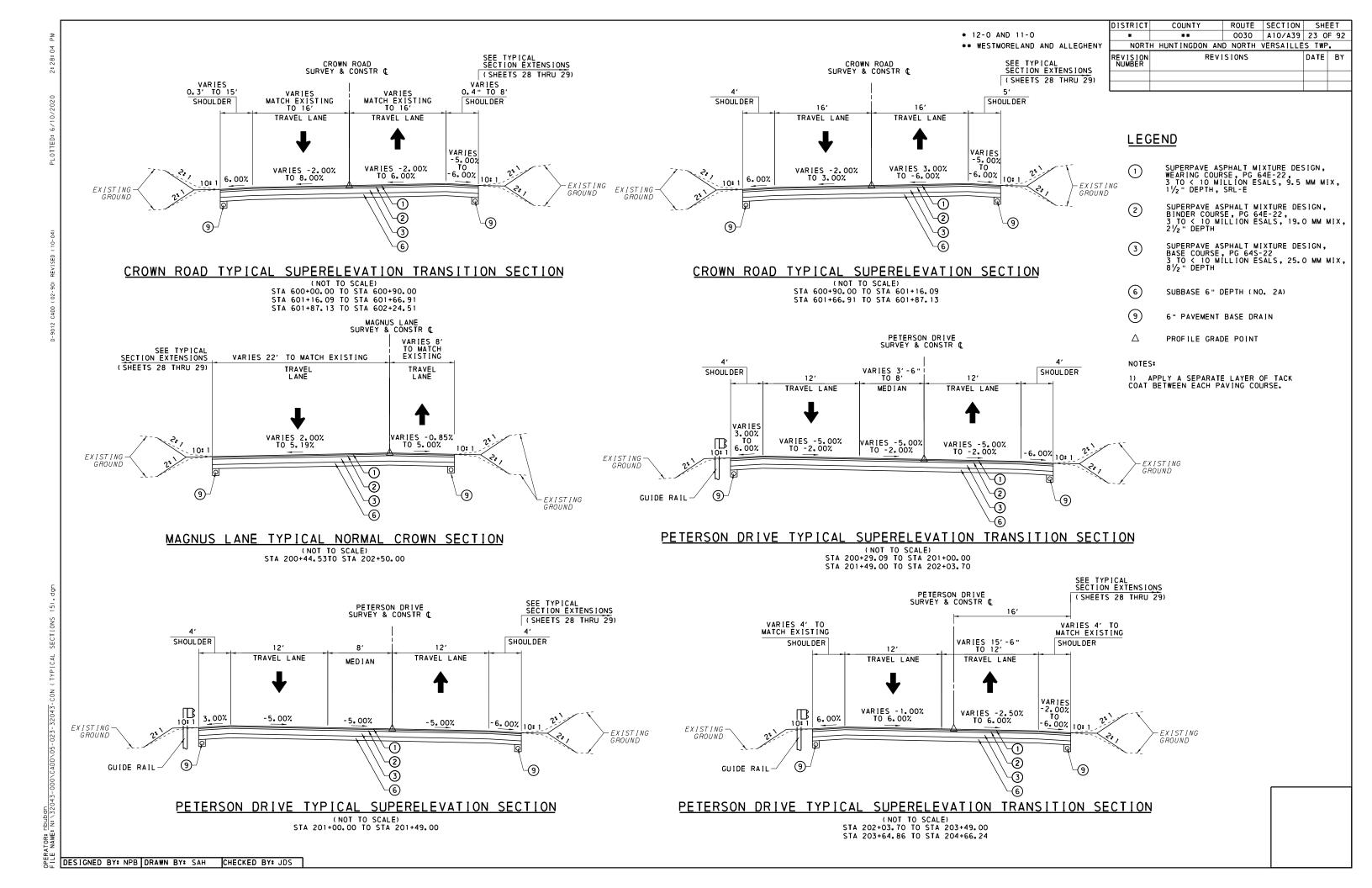
DISTRICT	COUNTY	ROUTE	SECTION	SHE	EΤ	
*	**	0030	A10/A39	22 0	F 92	
NORT	H HUNTINGDON AN	HUNTINGDON AND NORTH VERSAILLES TWP.				
REVISION REVISIONS NUMBER				DATE	BY	

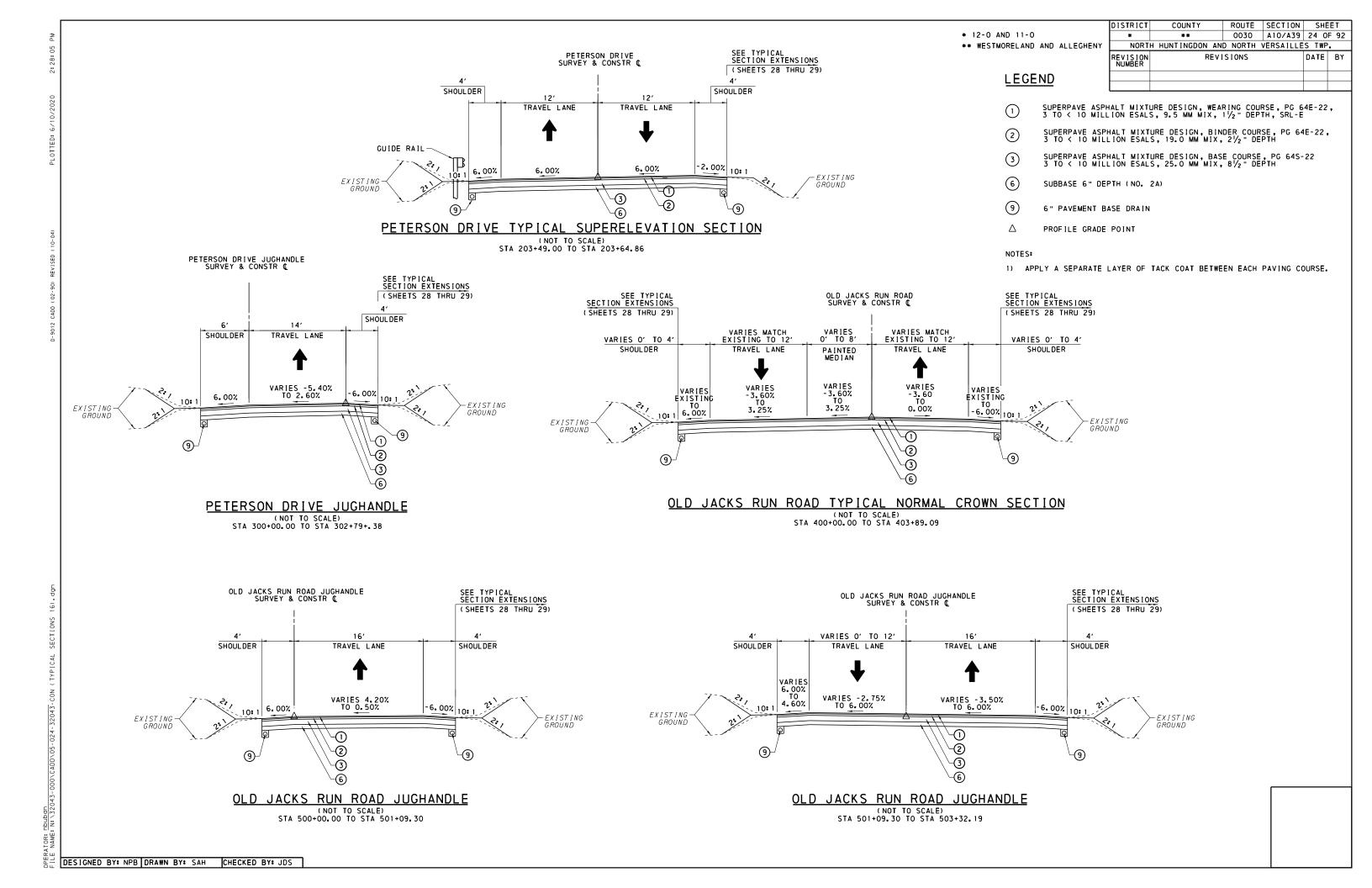
## LEGEND

- SUPERPAVE ASPHALT MIXTURE DESIGN, WEARING COURSE, PG 64E-22, 3 TO < 10 MILLION ESALS, 9.5 MM MIX, 1½" DEPTH, SRL-E
- SUPERPAVE ASPHALT MIXTURE DESIGN, BINDER COURSE, PG 64E-22, 3 TO < 10 MILLION ESALS, 19.0 MM MIX, 21/2 " DEPTH
- 3 SUPERPAVE ASPHALT MIXTURE DESIGN, BASE COURSE, PG 64S-22 3 TO < 10 MILLION ESALS, 25.0 MM MIX, 8½" DEPTH
- 6 SUBBASE 6" DEPTH (NO. 2A)
- 9) 6" PAVEMENT BASE DRAIN
- △ PROFILE GRADE POINT

#### NOTES:

1) APPLY A SEPARATE LAYER OF TACK COAT BETWEEN EACH PAVING COURSE.





SEE TYPICAL SECTION EXTENSIONS

VARIES MATCH EXISTING TO 10' EXISTING TO 10' TRAVEL LANE

VARIES 2.00% TO -6.00%

VARIES -2.00%

TO -6.00%

VARIES -2.00%

TO -6.00%

VARIES -2.00%

TO -6.00%

EXISTING GROUND

EXISTING GROUND

9

SECTION EXTENSIONS
(SHEETS 28 THRU 29)

10'

TRAVEL LANE

TRAVEL LANE

EXISTING
GROUND

10: 1

-6.00%

-6.00%

9

\* 12-0 AND 11-0

\*\* WESTMORELAND AND ALLEGHENY

DISTRICT COUNTY ROUTE SECTION SHEET

\* \*\* 0030 A10/A39 25 OF 92

NORTH HUNTINGDON AND NORTH VERSAILLES TWP.

REVISION REVISIONS DATE BY

### EDWIN DRIVE TYPICAL SUPERELEVATION TRANSITION SECTION

-2

-3

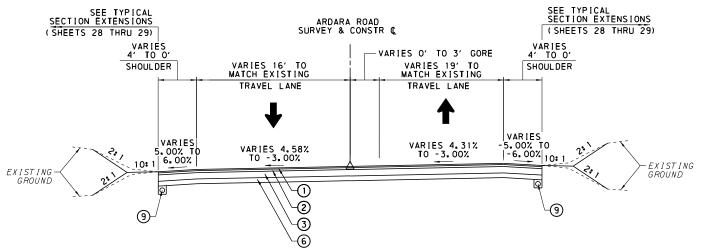
-(6)

(NOT TO SCALE) STA 600+00.00 TO STA 601+79.70 STA 601+96.77 TO STA 602+37.70

### EDWIN DRIVE TYPICAL SUPERELEVATION SECTION

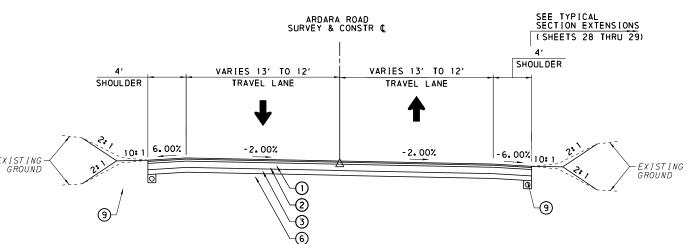
**⊸**⊚

(NOT TO SCALE) STA 601+79.70 TO STA 601+96.77



## ARDARA ROAD TYPICAL SUPERELEVATION TRANSITION SECTION

(NOT TO SCALE) STA 200+35.08 TO STA 204+25.00 STA 204+35.00 TO STA 205+00.00



# ARDARA ROAD TYPICAL SUPERELEVATION SECTION

(NOT TO SCALE) STA 204+25.00 TO STA 204+35.00

# <u>LEGEND</u>

- SUPERPAVE ASPHALT MIXTURE DESIGN, WEARING COURSE, PG 64E-22, 3 TO < 10 MILLION ESALS, 9.5 MM MIX,  $1\frac{1}{2}$ " DEPTH, SRL-E
- SUPERPAVE ASPHALT MIXTURE DESIGN, BINDER COURSE, PG 64E-22, 3 TO < 10 MILLION ESALS, 19.0 MM MIX,  $2\frac{1}{2}$ " DEPTH
- SUPERPAVE ASPHALT MIXTURE DESIGN, BASE COURSE, PG 64S-22 3 TO < 10 MILLION ESALS, 25.0 MM MIX,  $8\frac{1}{2}$ " DEPTH
- 6 SUBBASE 6" DEPTH (NO. 2A)
- 9 6" PAVEMENT BASE DRAIN
- △ PROFILE GRADE POINT

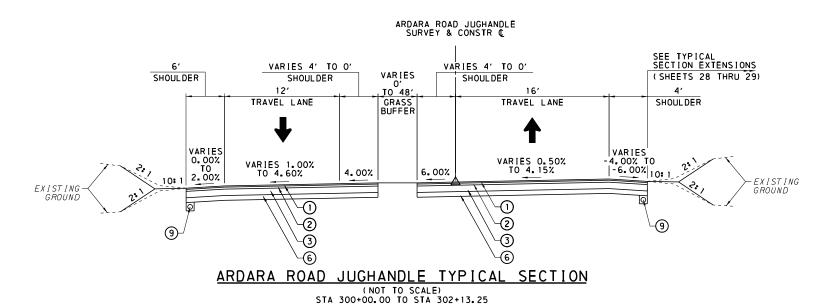
#### NOTES:

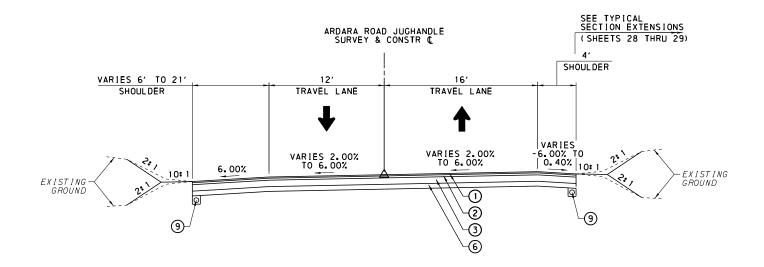
1) APPLY A SEPARATE LAYER OF TACK COAT BETWEEN EACH PAVING COURSE.

OPERATOR: <u>nbuban</u> File name: n:\32043\* 12-0 AND 11-0

\*\* WESTMORELAND AND ALLEGHENY

DISTRICT	COUNTY	ROUTE	SECTION	SHE	ΕT
*	**	0030	A10/A39	26 0	F 92
NORT	H HUNTINGDON AN	D NORTH	VERSAILLE	S TWF	
REVISION NUMBER			DATE	BY	





ARDARA ROAD JUGHANDLE TYPICAL SUPERELEVATION TRANSITION SECTION

(NOT TO SCALE)

STA 302+13.25 TO STA 304+32.00

# LEGEND

- SUPERPAVE ASPHALT MIXTURE DESIGN, WEARING COURSE, PG 64E-22, 3 TO < 10 MILLION ESALS, 9.5 MM MIX, 1½" DEPTH, SRL-E
- SUPERPAVE ASPHALT MIXTURE DESIGN, BINDER COURSE, PG 64E-22, 3 TO < 10 MILLION ESALS, 19.0 MM MIX, 2½ " DEPTH
- SUPERPAVE ASPHALT MIXTURE DESIGN, BASE COURSE, PG 64S-22 3 TO < 10 MILLION ESALS, 25.0 MM MIX, 8½" DEPTH
- 6) SUBBASE 6" DEPTH (NO. 2A)
- (9) 6" PAVEMENT BASE DRAIN
- △ PROFILE GRADE POINT

### NOTES:

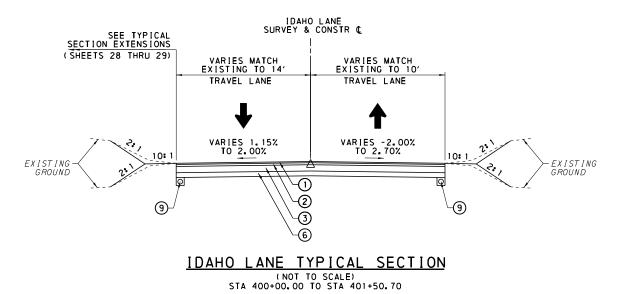
1) APPLY A SEPARATE LAYER OF TACK COAT BETWEEN EACH PAVING COURSE.

ATOR: Nbuban NAME: N: \32043-000\CADD\05-027-32043-CON (TYP|CAL SECTIONS 19).

\* 12-0 AND 11-0

\*\* WESTMORELAND AND ALLEGHENY

DISTRICT	COUNTY	ROUTE	SECTION	SHE	ET
*	**	0030	A10/A39	27 0	F 92
NORT	H HUNTINGDON AN	D NORTH	VERSAILLE	S TWF	· <b>.</b>
REVISION NUMBER	REVI	REVISIONS			BY

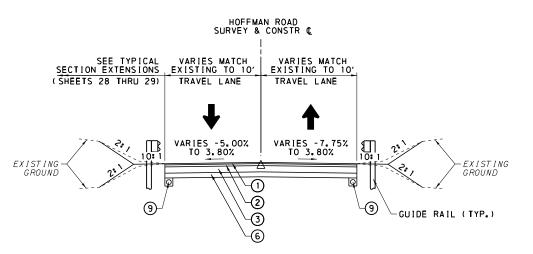


# LEGEND

- SUPERPAVE ASPHALT MIXTURE DESIGN, WEARING COURSE, PG 64E-22, 3 TO < 10 MILLION ESALS, 9.5 MM MIX,  $1\frac{1}{2}$ " DEPTH, SRL-E
- SUPERPAVE ASPHALT MIXTURE DESIGN, BINDER COURSE, PG 64E-22, 3 TO < 10 MILLION ESALS, 19.0 MM MIX,  $2\frac{1}{2}$  " DEPTH
- SUPERPAVE ASPHALT MIXTURE DESIGN, BASE COURSE, PG 64S-22 3 TO < 10 MILLION ESALS, 25.0 MM MIX,  $8\frac{1}{2}$ " DEPTH
- SUBBASE 6" DEPTH (NO. 2A)
- 6" PAVEMENT BASE DRAIN
- PROFILE GRADE POINT

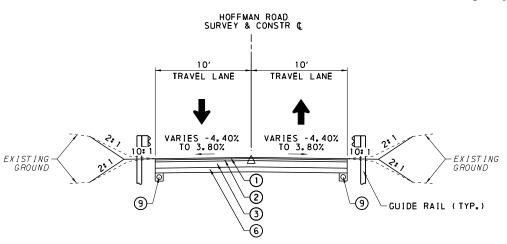
#### NOTES:

1) APPLY A SEPARATE LAYER OF TACK COAT BETWEEN EACH PAVING COURSE.



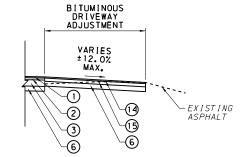
# HOFFMAN ROAD TYPICAL TRANSITION SECTION

(NOT TO SCALE)
STA 100+00.00 TO STA 101+69.84
STA 102+37.51 TO STA 104+35.12 STA 104+68.35 TO STA 105+23.64



# HOFFMAN ROAD TYPICAL SUPERELEVATION SECTION

(NOT TO SCALE) STA 101+69.84 TO STA 102+37.51 STA 104+35.12 TO STA 104+68.35



## TYPICAL SECTION EXTENSION A

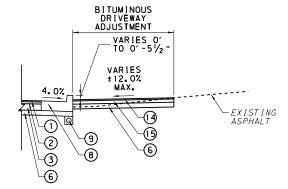
SR 0030						
STA. 1003+50 TO STA. 1004+00, LT. STA. 1029+71 TO STA. 1030+47, LT. STA. 1038+03 TO STA. 1030+47, LT. STA. 1038+03 TO STA. 1036+68, LT. STA. 1046+68 TO STA. 1047+30, LT. STA. 1064+44 TO STA. 1065+28, LT. STA. 1077+03 TO STA. 1077+73, LT. STA. 1083+28 TO STA. 1077+73, LT. STA. 1096+61 TO STA. 1097+13, LT. STA. 1003+50 TO STA. 1097+13, LT. STA. 1003+50 TO STA. 1004+07, RT. STA. 1090+47 TO STA. 1083+43, RT. STA. 1090+47 TO STA. 1091+27, RT. STA. 765+80 TO STA. 766+65, RT. STA. 772+41 TO STA. 772+96, RT.						
SR 0048						
STA. 902+40 TO STA. 902+91, RT.						
SR 4019 SOUTH (CARPENTER LN)						

STA. 200+33 TO STA. 201+02, LT.

WARD DRIVE STA. 300+54 TO STA. 301+29, RT. STA. 301+97 TO STA. 302+85, RT. SR 4019 NORTH (LEGER ROAD) STA. 501+00 TO STA. 501+49, LT. STA. 501+25 TO STA. 501+68, RT. STA. 503+81 TO STA. 504+11, RT. PETERSON ROAD

STA. 202+68 TO STA. 203+13, RT. OLD JACKS RUN ROAD STA. 402+02 TO STA. 402+78, LT. STA. 401+08 TO STA. 401+32, RT. STA. 402+66 TO STA. 403+07, RT.

EDWIN DRIVE STA. 601+69 TO STA. 601+87, LT STA. 600+08 TO STA. 600+28, RT. ARDARA ROAD STA. 201+86 TO STA. 202+32, LT. STA. 204+44 TO STA. 204+59, LT. IDAHO LANE STA. 400+45 TO STA. 401+14, LT. HOFFMAN ROAD STA. 101+41 TO STA. 101+63, LT.



#### TYPICAL SECTION EXTENSION C

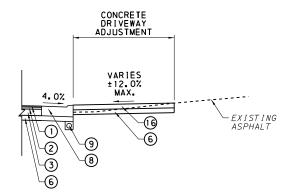
SR 0030 STA. 1004+61 TO STA. STA. 1005+95 TO STA. STA. 1010+55 TO STA. STA. 1014+77 TO STA. STA. 1014+77 TO STA. STA. 1019+16 TO STA. STA. 1021+69 TO STA. STA. 1022+73 TO STA. STA. 1022+73 TO STA.	1005+75, LT. 1006+29, LT. 1011+70, LT. 1015+30, LT. 1017+93, LT. 1019+39, LT. 1022+62, LT. 1026+11, LT.	STA. 1004+17 TO S STA. 1026+61 TO S STA. 1028+25 TO S STA. 1032+59 TO S STA. 1040+57 TO S STA. 1047+23 TO S STA. 1061+12 TO S STA. 1066+67 TO S	TA. 1027+86, RT. TA. 1028+66, RT. TA. 1033+93, RT. TA. 1041+15, RT. TA. 1047+92, RT. TA. 1061+47, RT. TA. 1067+00, RT.
STA. 1022+73 TO STA. STA. 1027+02 TO STA. STA. 1037+39 TO STA. STA. 1038+68 TO STA. STA. 1046+35 TO STA. STA. 1046+35 TO STA. STA. 1051+66 TO STA. STA. 1056+74 TO STA. STA. 1056+74 TO STA. STA. 1056+74 TO STA. STA. 1076+60 TO STA. STA. 1070+60 TO STA. STA. 1070+60 TO STA. STA. 1072+14 TO STA. STA. 1072+14 TO STA. STA. 1073+84 TO STA. STA. 1074+30 TO STA. STA. 1088+08 TO STA. STA. 1088+08 TO STA. STA. 1091+92 TO STA. STA. 1091+92 TO STA. STA. 1098+27 TO STA.			TA. 1067+00, RT. TA. 1069+24, RT. TA. 1079+56, RT. TA. 1080+55, RT. TA. 1088+33, RT. TA. 1093+43, RT. TA. 1094+10, RT. TA. 1094+76, RT. TA. 1096+47, RT. TA. 765+62, RT. TA. 768+42, RT. TA. 770+09, RT. TA. 770+41, RT. TA. 776+33, RT.
STA. 1107+24 TO STA. STA. 765+27 TO STA. STA. 776+28 TO STA.	1107+31, LT. 770+00, LT. 777+01, LT.		

SR 4019 SOUTH (CARPENTER LN) STA. 203+23 TO STA. 203+80, RT. SR 4019 NORTH JUGHANDLE STA. 400+00 TO STA. 400+15, RT. PETERSON DRIVE JUGHANDLE STA. 300+00 TO STA. 300+31, RT. OLD JACKS RUN ROAD STA. 403+31 TO STA. 403+89, RT. OLD JACKS RUN ROAD JUGHANDLE STA. 500+00 TO STA. 500+23, RT. ARDARA ROAD STA. 200+35 TO STA. 200+87, LT. STA. 200+35 TO STA. 200+62, RT.

#### BITUMINOUS DRIVEWAY ADJUSTMENT GRASS BUFFER ±12.0% MAX. MAX. 4.0% -(14) -EXISTING ASPHALT 1 -(15) -① (-<u>2</u>) (-<u>3</u>) -(9) -(6) -(8) (e)

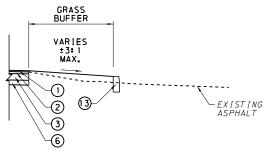
## TYPICAL SECTION EXTENSION B

SR 0030							
STA. STA. STA. STA. STA. STA. STA. STA.	1004+00 1005+75 1019+06 1058+34 1058+71 1070+52 1071+34 1072+39 1073+74 1074+09 1106+67 1026+47	TO TO TO TO TO TO TO TO TO	STA. STA. STA. SSTA. SSTA. SSTA. SSTA. SSTA.	1004+54, LT. 1005+95, LT. 1019+15, LT. 1058+42, LT. 1058+81, LT. 1070+60, LT. 1071+82, LT. 1072+49, LT. 1073+84, LT. 1074+23, LT. 1106+87, LT. 1026+61, RT. 1041+38, RT.			
STA. STA. STA.	1041+15 1061+47 1082+40 1102+26	TO TO	STA. STA. STA.	1041+38, RI. 1062+05, RT. 1082+88, RT. 1105+49, RT.			



## TYPICAL SECTION EXTENSION D

SR 0030 STA. 1048+00 TO STA. 1048+88, RT.



### TYPICAL SECTION EXTENSION F

OLD JACKS RUN ROAD STA. 401+33 TO STA. 401+92, RT.

- \* 12-0 AND 11-0
- \*\* WESTMORELAND AND ALLEGHENY

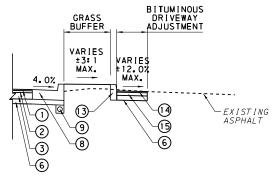
	DISTRICT	COUNTY	ROUTE	SECTION	SHE	EΤ	
	*	**	0030	A10/A39	28 0	F 92	
1	NORTH HUNTINGDON AND NORTH VERSAILLE				S TWF	TWP.	
	REVISION REVISIONS NUMBER			DATE	BY		
				-			

# LEGEND

SUPERPAVE ASPHALT MIXTURE DESIGN, WEARING COURSE, PG 64E-22, 3 TO < 10 MILLION ESALS, 9.5 MM MIX,  $1\frac{1}{2}$ " DEPTH, SRL-E

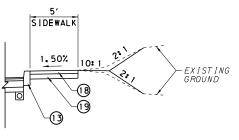
- SUPERPAVE ASPHALT MIXTURE DESIGN, BINDER COURSE, PG 64E-22, 3 TO < 10 MILLION ESALS, 19.0 MM MIX,  $2\,\!\!/_2$  " DEPTH
- SUPERPAVE ASPHALT MIXTURE DESIGN, BASE COURSE, PG 64S-22 3 TO < 10 MILLION ESALS, 25.0 MM MIX,  $8\,/_2\,^{\circ}$  DEPTH
- 6 SUBBASE 6" DEPTH (NO. 2A)
- (8) PLAIN CEMENT CONCRETE CURB GUTTER
- 6" PAVEMENT BASE DRAIN
- PLAIN CEMENT CONCRETE PAVEMENT, 4" DEPTH
- (13) PLAIN CEMENT CONCRETE CURB
- SUPERPAVE ASPHALT MIXTURE DESIGN, WEARING COURSE, PG 64S-22, 0.3 TO < 3 MILLION ESALS, 9.5 MM MIX, 1 $\frac{1}{2}$ " DEPTH, SRL-L 14
- SUPERPAVE ASPHALT MIXTURE DESIGN, BASE COURSE, PG 64S-22, 0.3 TO < 3 MILLION ESALS, 25.0 MM MIX, 4" DEPTH (15)
- PLAIN CEMENT CONCRETE, 6" DEPTH
- (18) CEMENT CONCRETE SIDEWALK
- SUBBASE 6" DEPTH (NO. 2A) INCIDENTAL TO (18)

NOTE: APPLY A SEPARATE LAYER OF TACK COAT BETWEEN EACH PAVING COURSE.



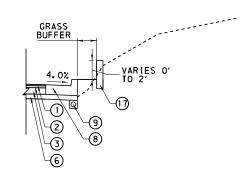
#### TYPICAL SECTION EXTENSION E

SR 0030 STA. 1013+21 TO STA. 1013+86, LT.



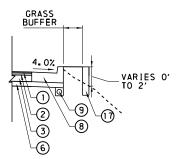
### TYPICAL SECTION EXTENSION G

WARD DRIVE STA. 301+16 TO STA. 302+11, RT. STA. 302+69 TO STA. 303+61, RT.



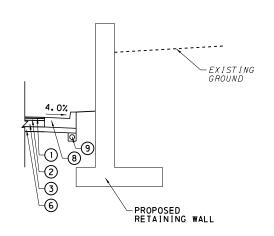
### TYPICAL SECTION EXTENSION H

STA. 1079+33 TO STA. 1081+26, LT.



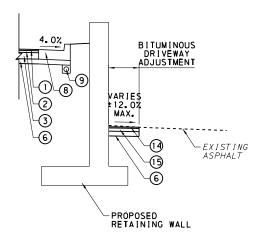
## TYPICAL SECTION EXTENSION I

SR 0030 STA. 1056+36 TO STA. 1058+89, RT.



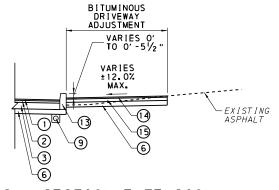
# TYPICAL SECTION EXTENSION J

STA. 1100+28 TO STA. 1104+28, LT. STA. 1042+87 TO STA. 1046+52, RT.



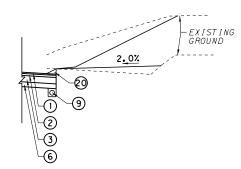
# TYPICAL SECTION EXTENSION K

SR 0030 STA. 770+00 TO STA. 775+55, LT. STA. 1080+81 TO STA. 1082+19, RT.



#### TYPICAL SECTION EXTENSION L

OLD JACKS RUN ROAD SR 0048 STA. 901+42 TO STA. 903+35, LT. STA. 906+54 TO STA. 906+90, LT. STA. 244+89 TO STA. 245+15, RT. STA. 244+30 TO STA. 245+49, RT. STA. 902+96 TO STA. 904+27, RT. STA. 908+23 TO STA. 908+77, RT. STA. 403+07 TO STA. 403+31, RT.



## TYPICAL SECTION EXTENSION M

WARD DRIVE STA. 300+12 TO STA. 300+60, LT. STA. 301+10 TO STA. 303+60, LT. MAGNUS LANE SR 4019 NORTH (LEGER ROAD) STA. 504+25 TO STA. 505+71, LT. STA. 501+00 TO STA. 501+25, RT. STA. 501+68 TO STA. 503+81, RT. STA. 504+11 TO STA. 505+71, RT. OLD JACKS RUN ROAD SR 4019 NORTH JUGHANDLE STA. 400+32 TO STA. 404+44, RT.

CROWN ROAD STA. 600+00 TO STA. 602+28, RT. STA. 201+50 TO STA. 202+50, LT. PETERSON DRIVE JUGHANDLE STA. 300+31 TO STA. 302+03, RT. STA. 401+27 TO STA. 402+02, LT. OLD JACKS RUN ROAD JUGHANDLE STA. 500+23 TO STA. 503+32, RT.

ARDARA ROAD STA. 200+87 TO STA. 201+86, LT. STA. 202+32 TO STA. 203+65, LT. STA. 202+58 TO STA. 204+97, RT.

ROUTE SECTION SHEET DISTRICT COUNTY 0030 A10/A39 29 OF 92 \*\* WESTMORELAND AND ALLEGHENY NORTH HUNTINGDON AND NORTH VERSAILLES TWP. REVISION NUMBER REVISIONS

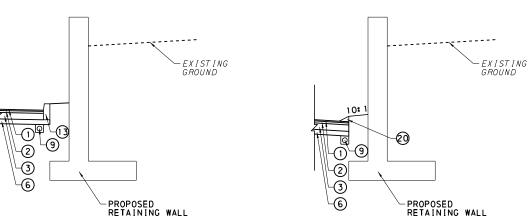
### LEGEND

- SUPERPAVE ASPHALT MIXTURE DESIGN, WEARING COURSE, PG 64E-22, 3 TO < 10 MILLION ESALS, 9.5 MM MIX, 1 $^{\prime}\!\!/_2$  " DEPTH, SRL-E
- SUPERPAVE ASPHALT MIXTURE DESIGN, BINDER COURSE, PG 64E-22, 3 TO < 10 MILLION ESALS, 19.0 MM MIX,  $2\,\!\!/_2$  " DEPTH 2
- SUPERPAVE ASPHALT MIXTURE DESIGN, BASE COURSE, PG 64S-22 3 TO < 10 MILLION ESALS, 25.0 MM MIX,  $8\,{}^{\prime}\!\!/_{2}\,{}^{\prime\prime}$  DEPTH
- 6 SUBBASE 6" DEPTH (NO. 2A)

\* 12-0 AND 11-0

- PLAIN CEMENT CONCRETE CURB GUTTER
- 6" PAVEMENT BASE DRAIN
- PLAIN CEMENT CONCRETE CURB
  (4" HEIGHT AT PROPOSED GUIDERAIL LOCATIONS)
- SUPERPAVE ASPHALT MIXTURE DESIGN, WEARING COURSE, PG 64S-22, 0.3 TO < 3 MILLION ESALS, 9.5 MM MIX, 1½ " DEPTH, SRL-L
- SUPERPAVE ASPHALT MIXTURE DESIGN, BASE COURSE, PG 64S-22, 0.3 TO < 3 MILLION ESALs, 25.0 MM MIX, 4" DEPTH (15)
- PLAIN CEMENT CONCRETE CURB, VARIABLE HEIGHT
- BITUMINOUS WEDGE CURB (INCIDENTAL TO 1)

NOTE: APPLY A SEPARATE LAYER OF TACK COAT BETWEEN EACH PAVING COURSE.

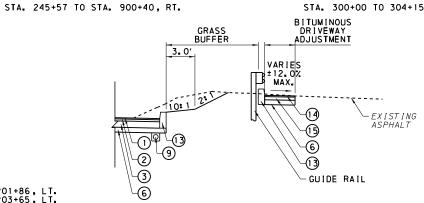


### TYPICAL SECTION EXTENSION N

SR 0048

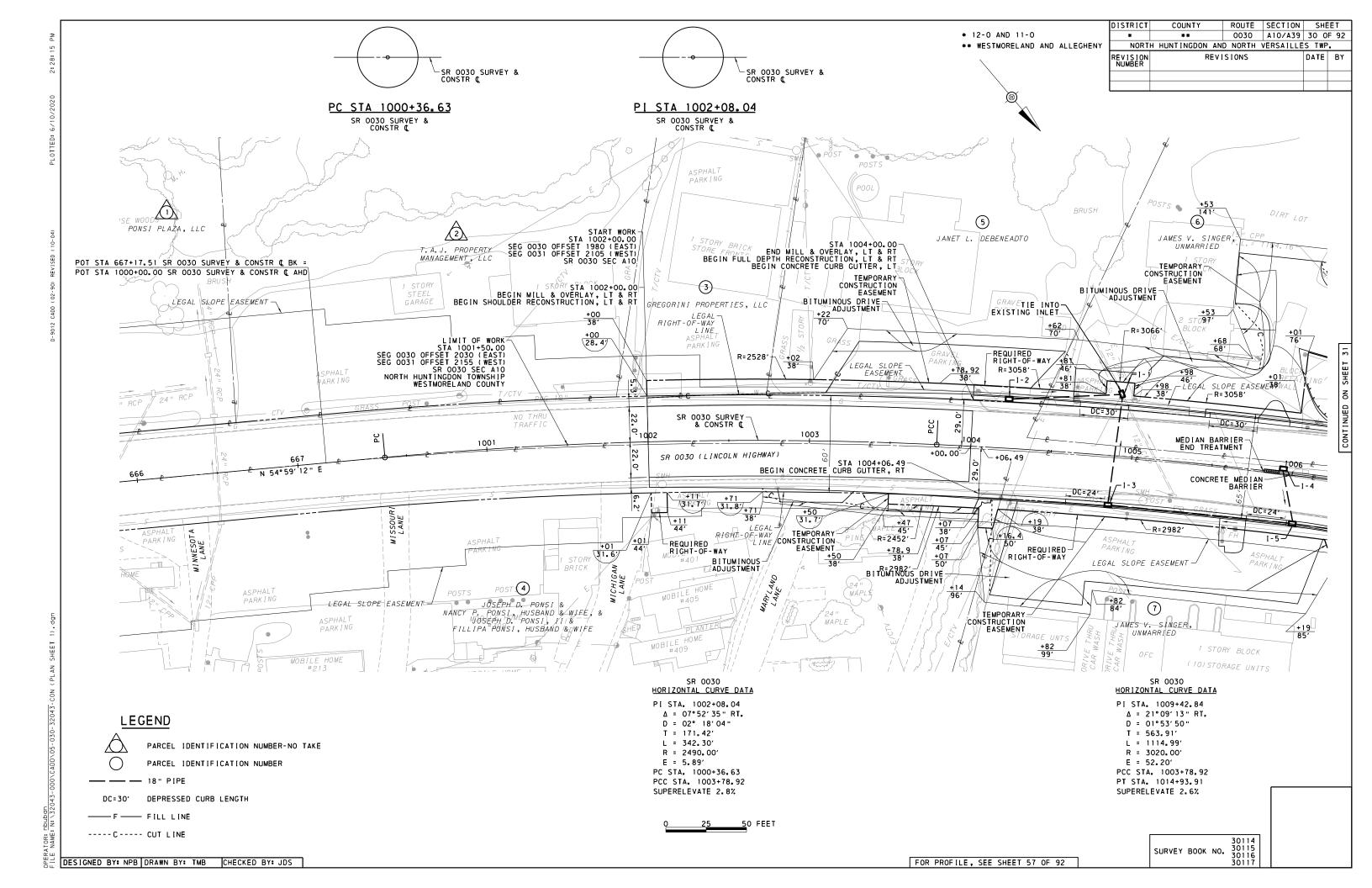
## TYPICAL SECTION EXTENSION O

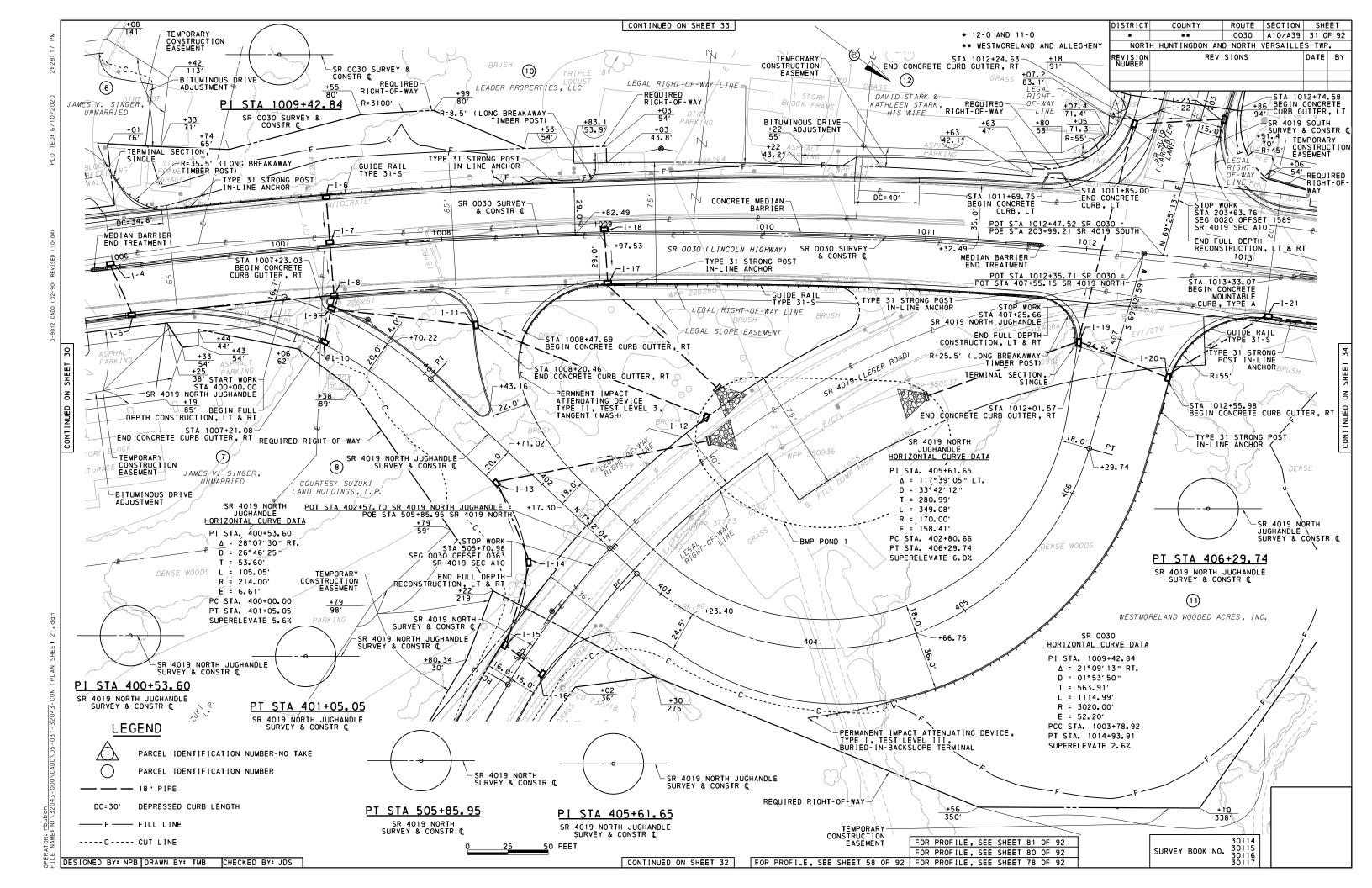
ARDARA ROAD JUGHANDLE STA. 300+00 TO 304+15.70, RT

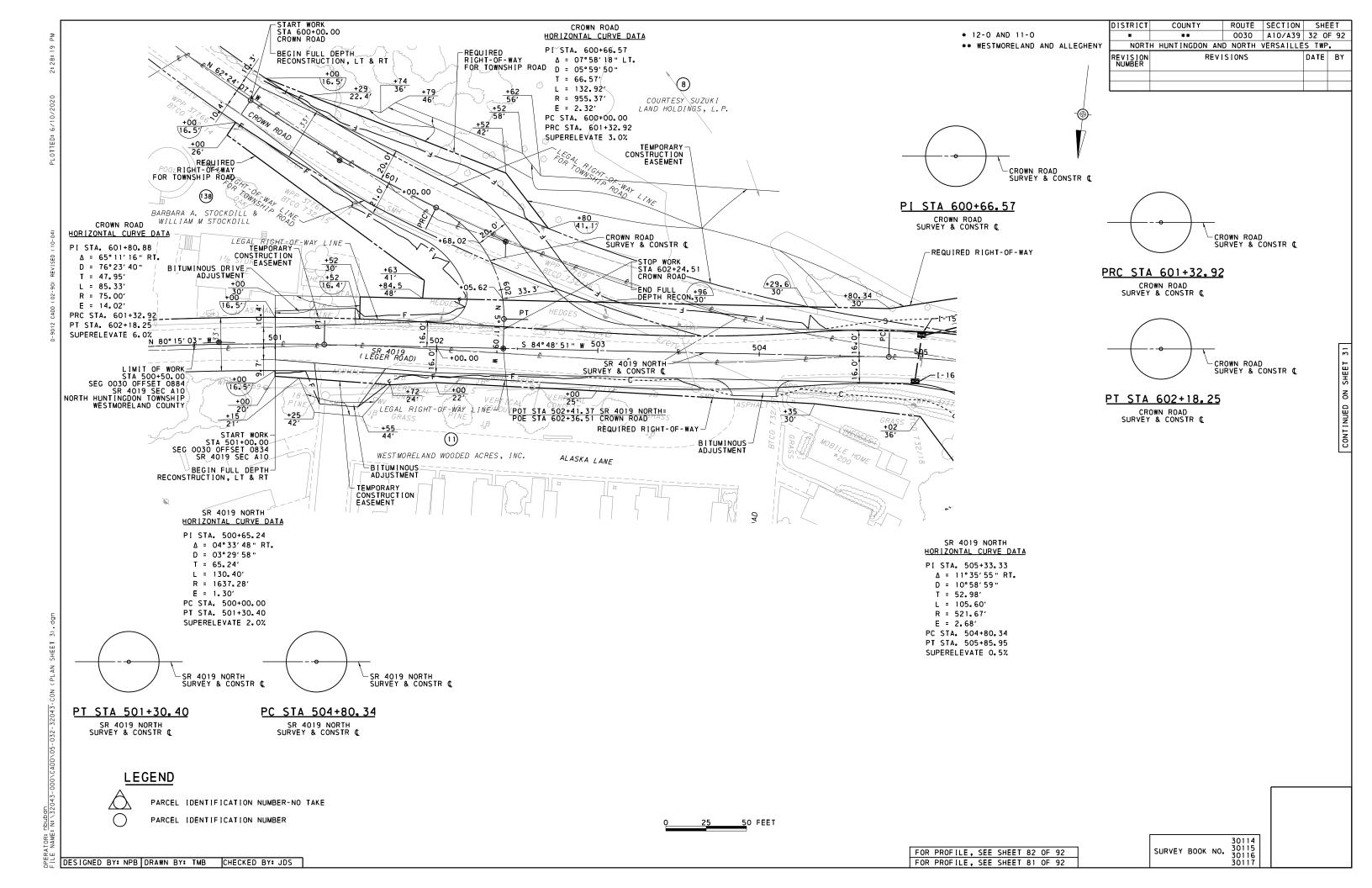


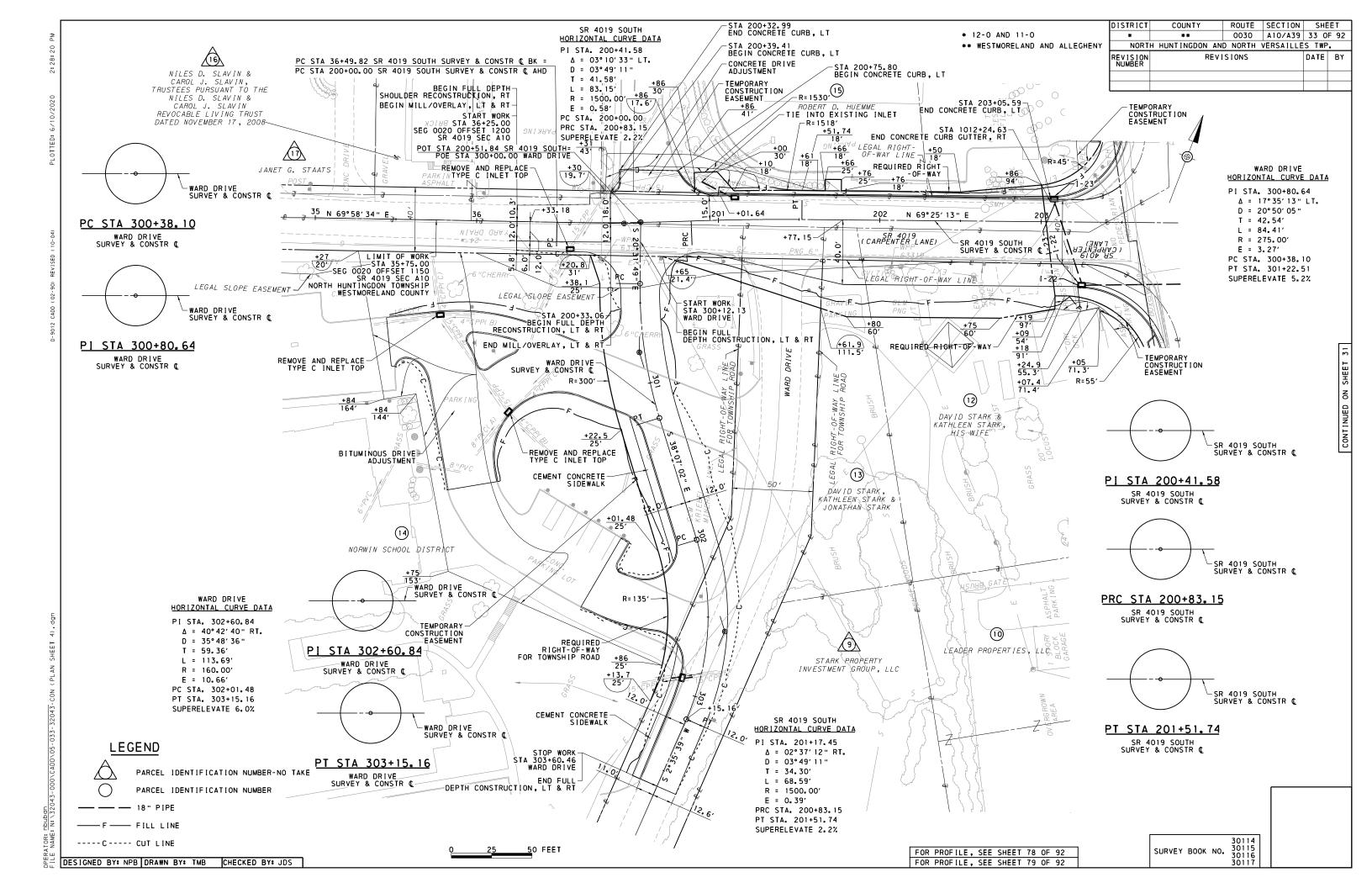
# TYPICAL SECTION EXTENSION P

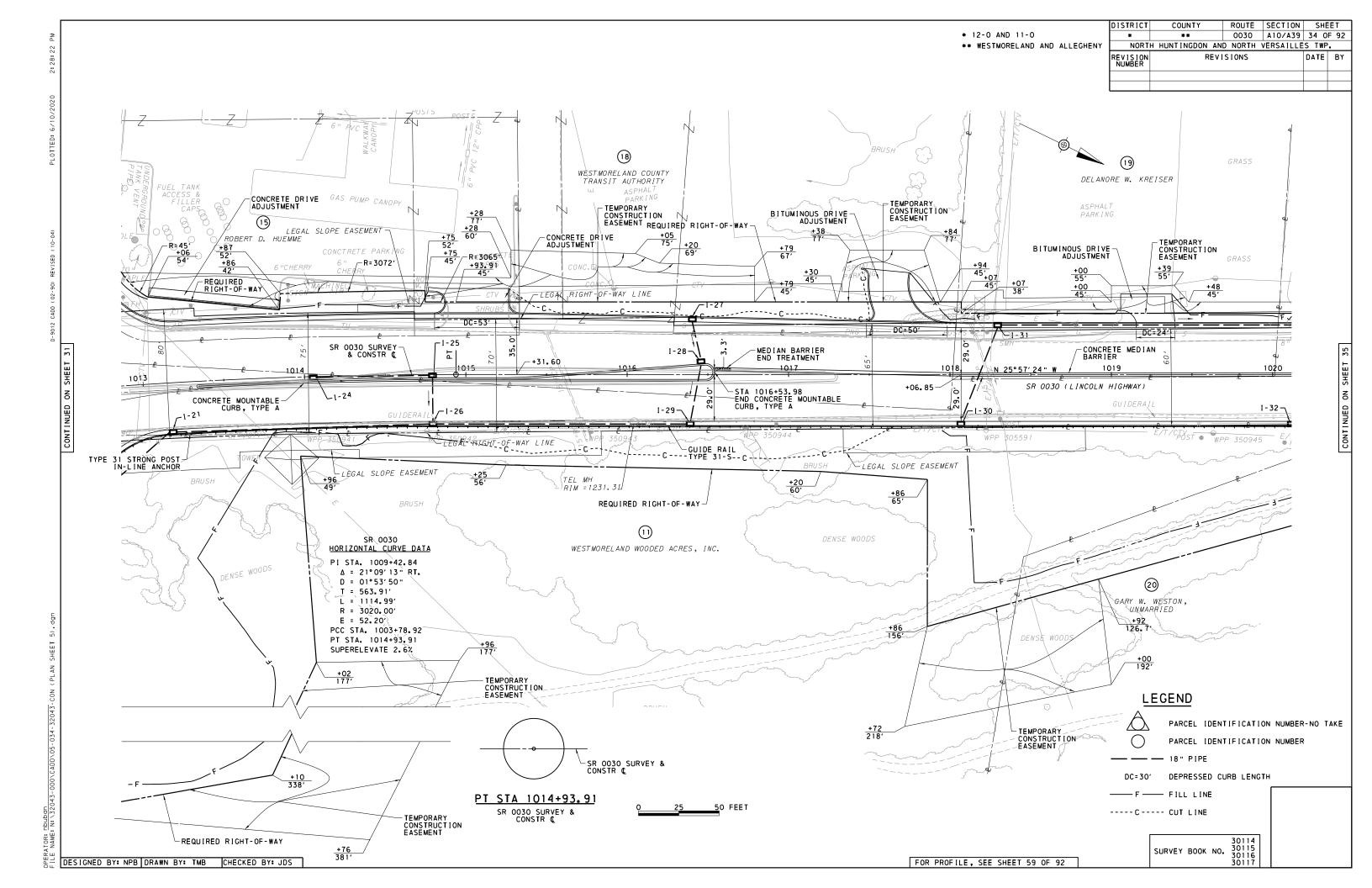
SR 0048 STA. 905+82 TO STA. 908+23, RT.

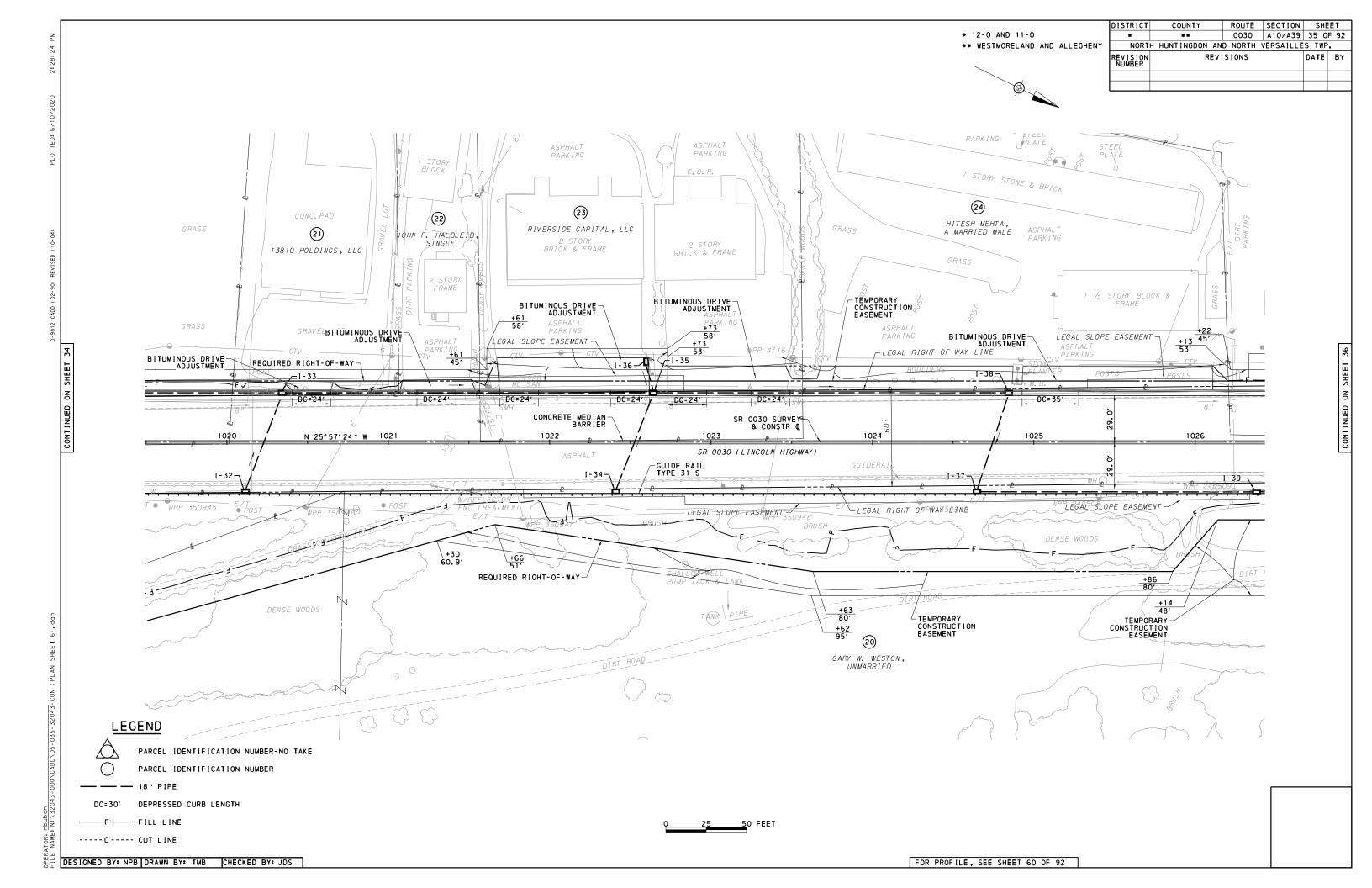


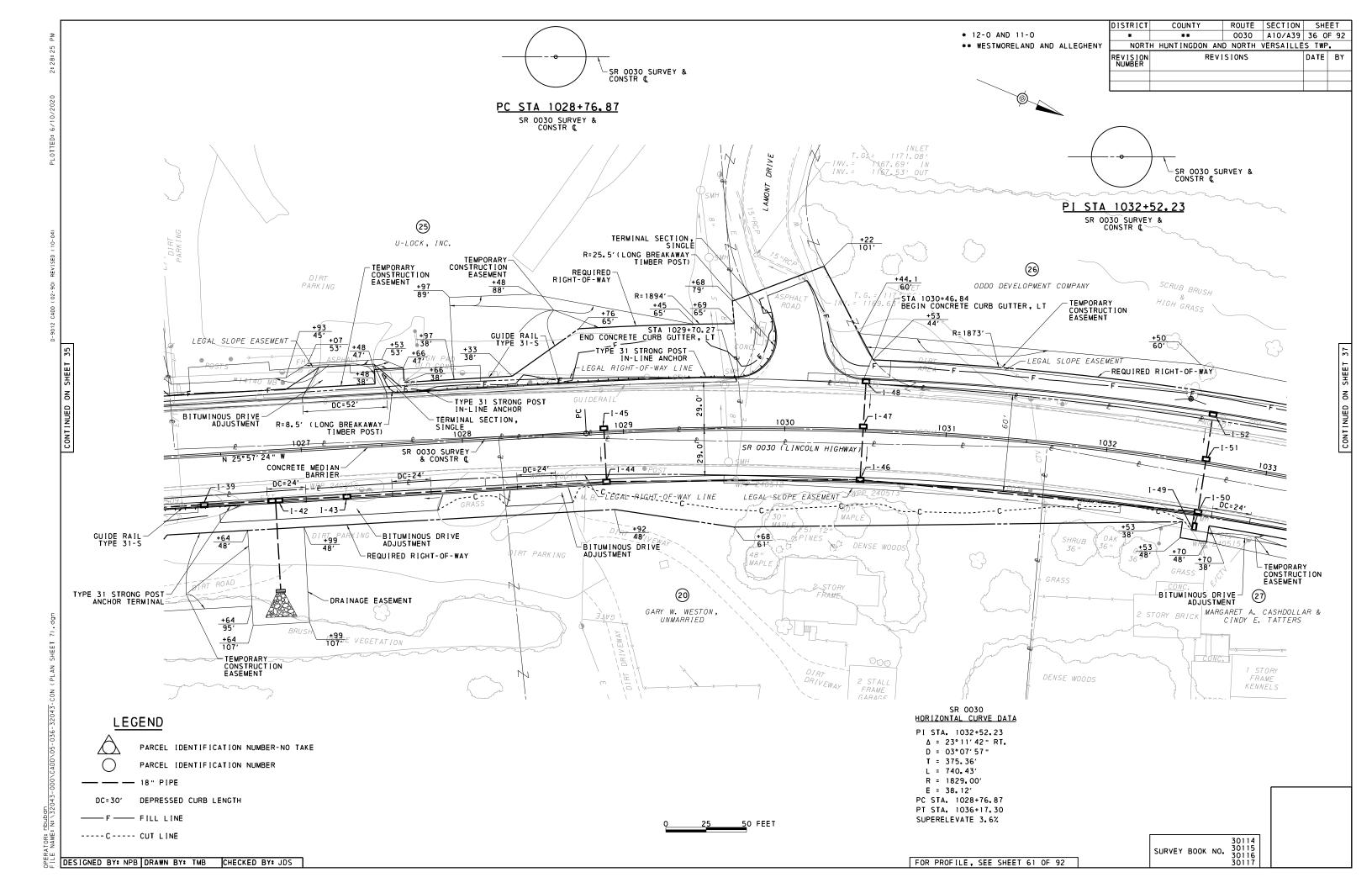


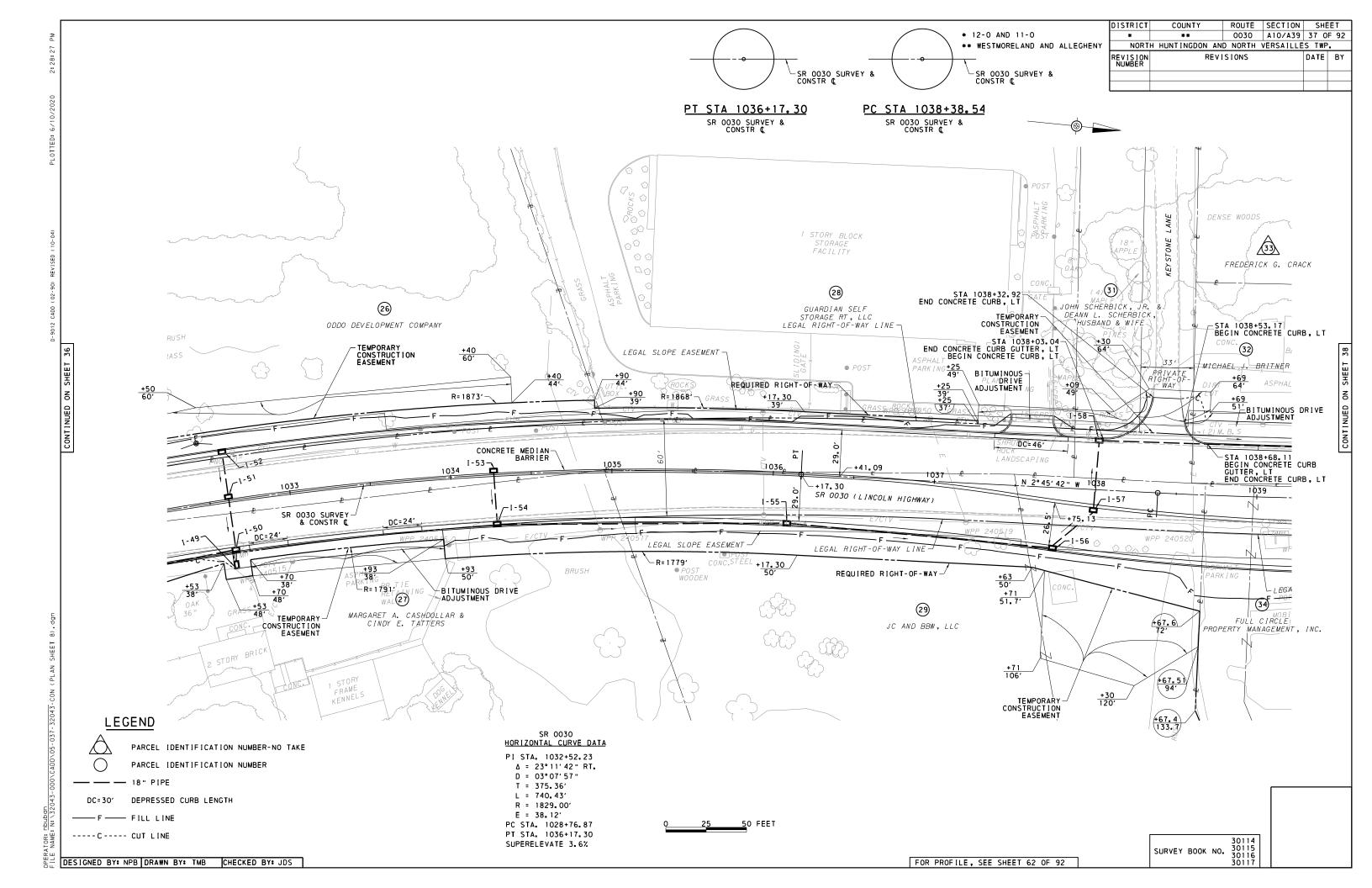


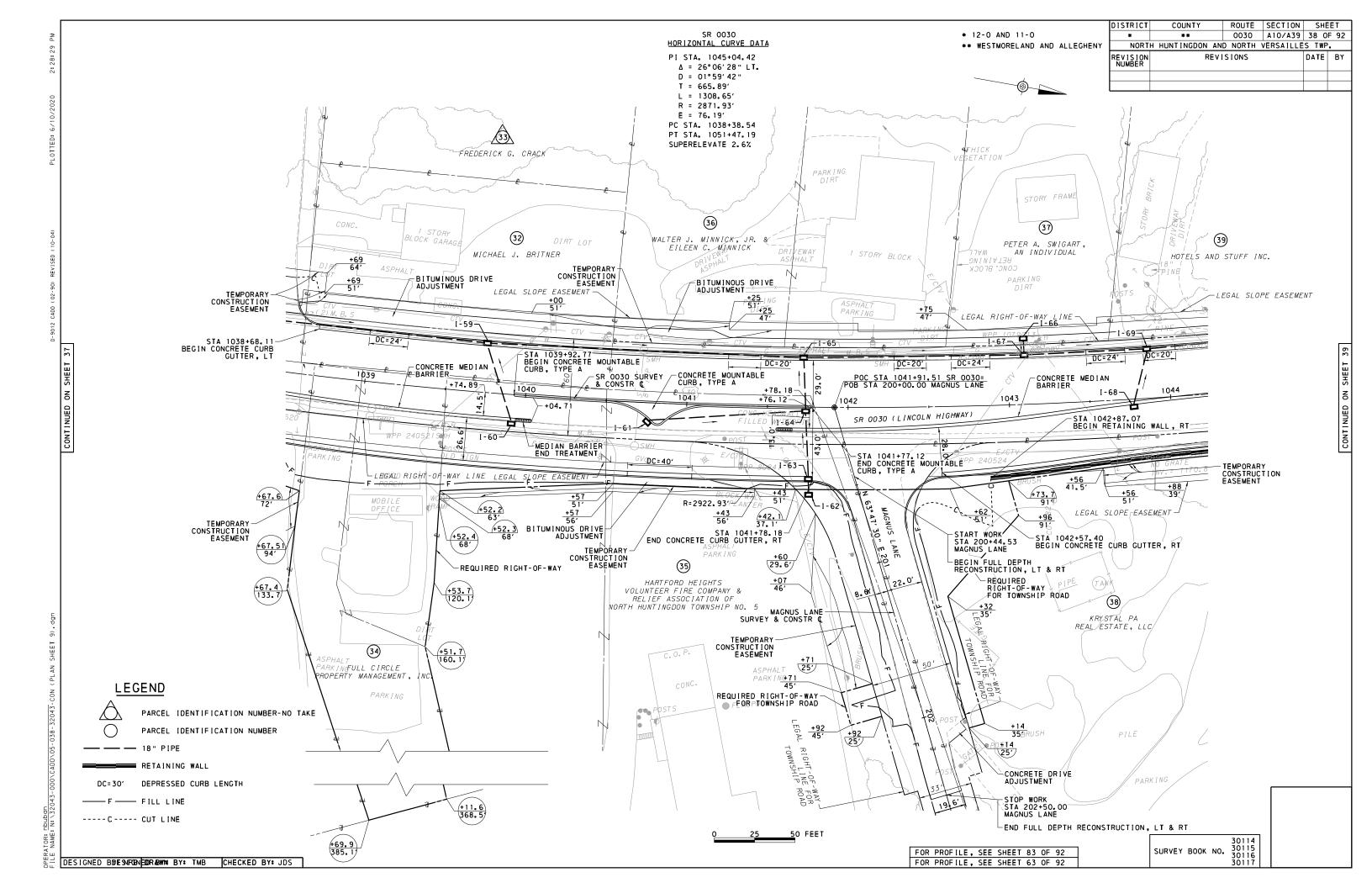


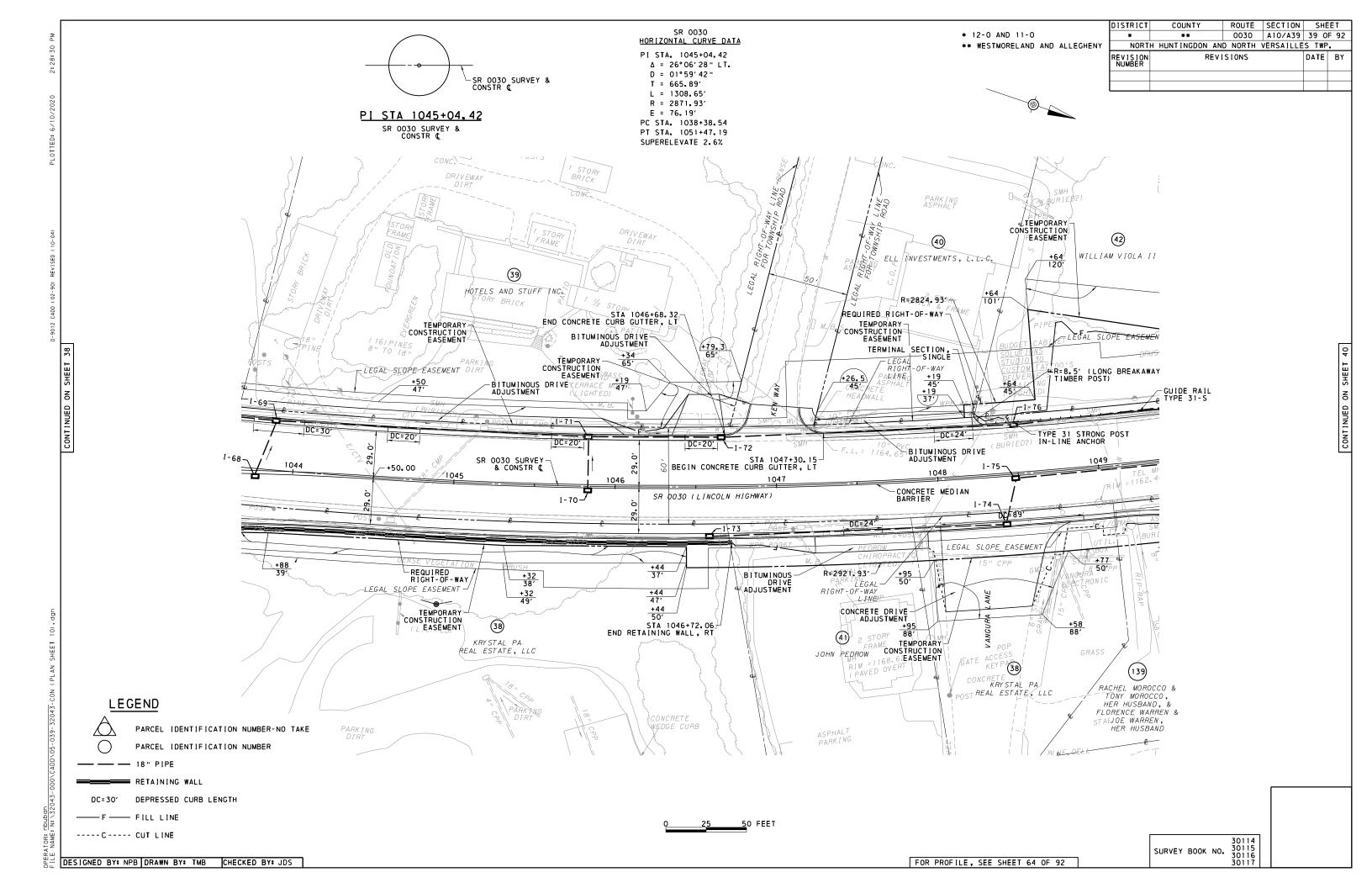


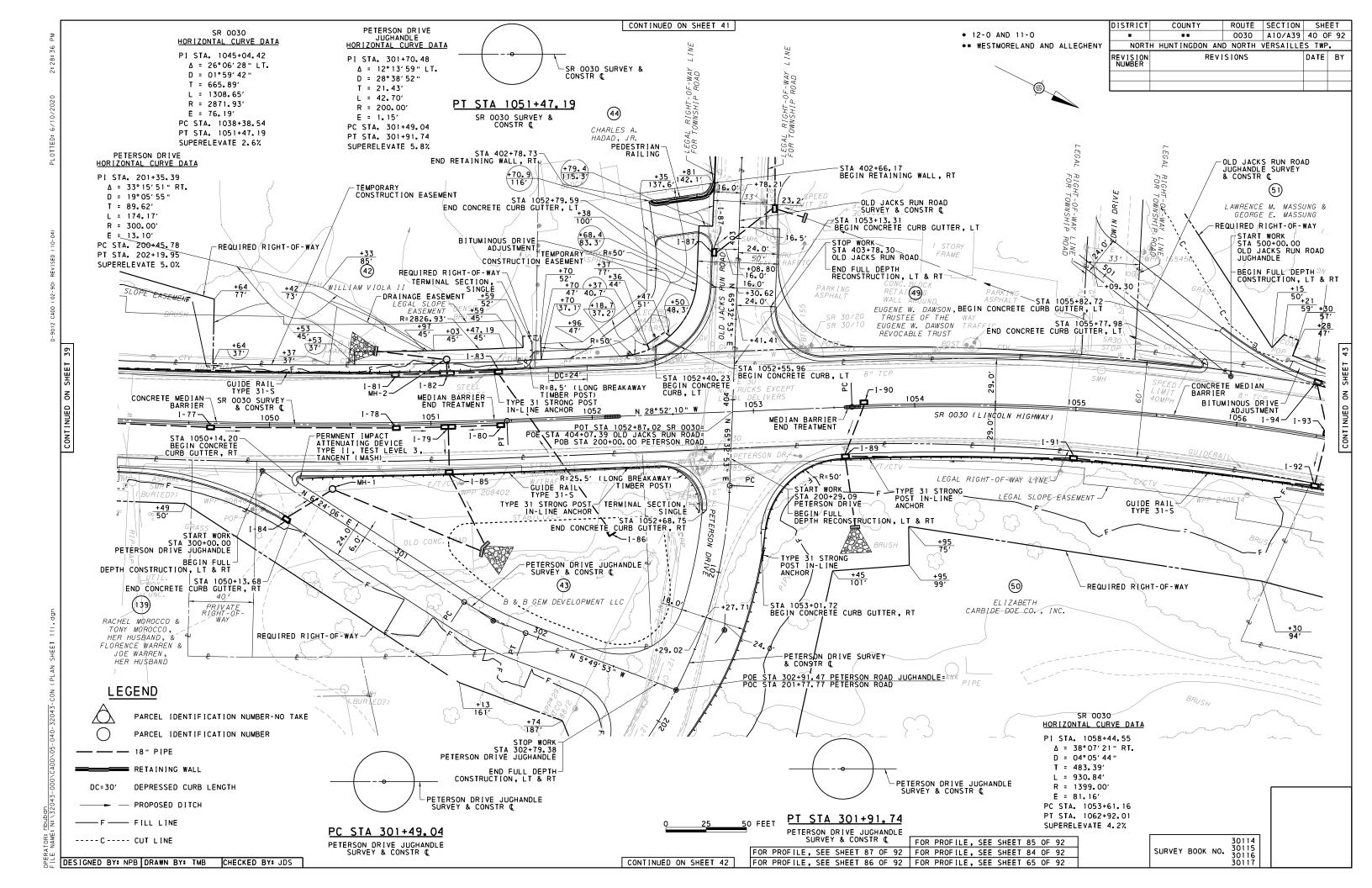


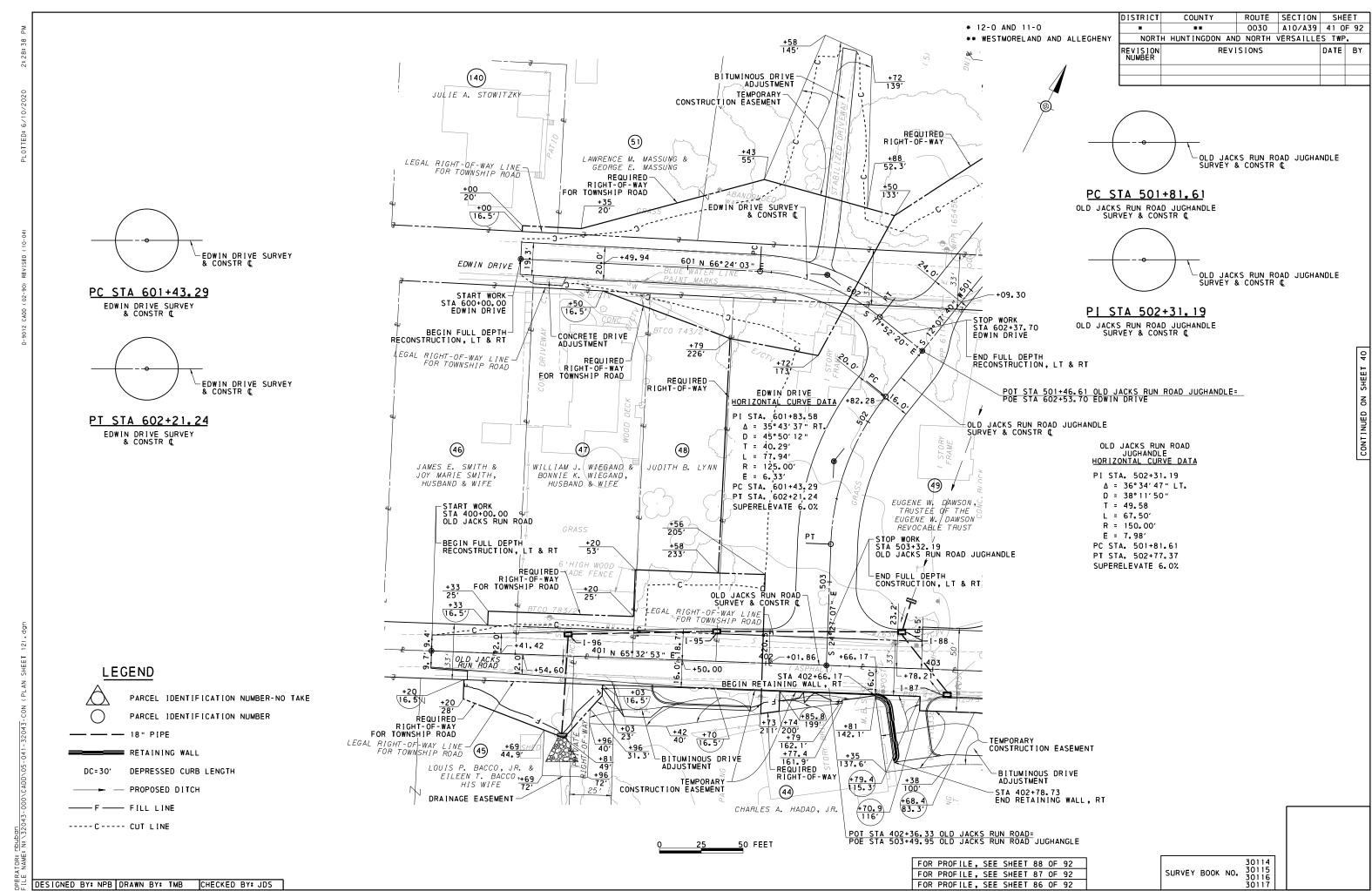


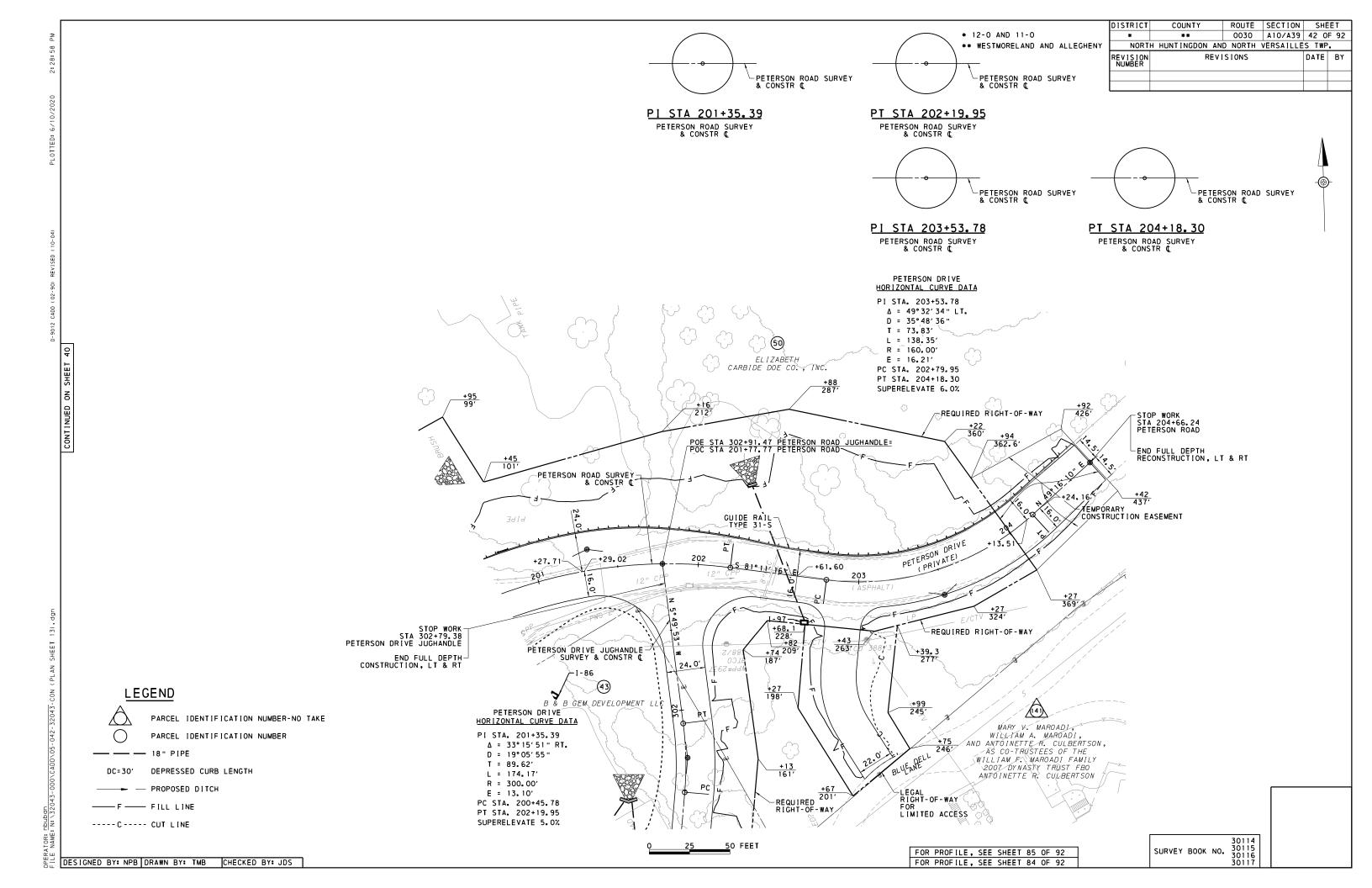


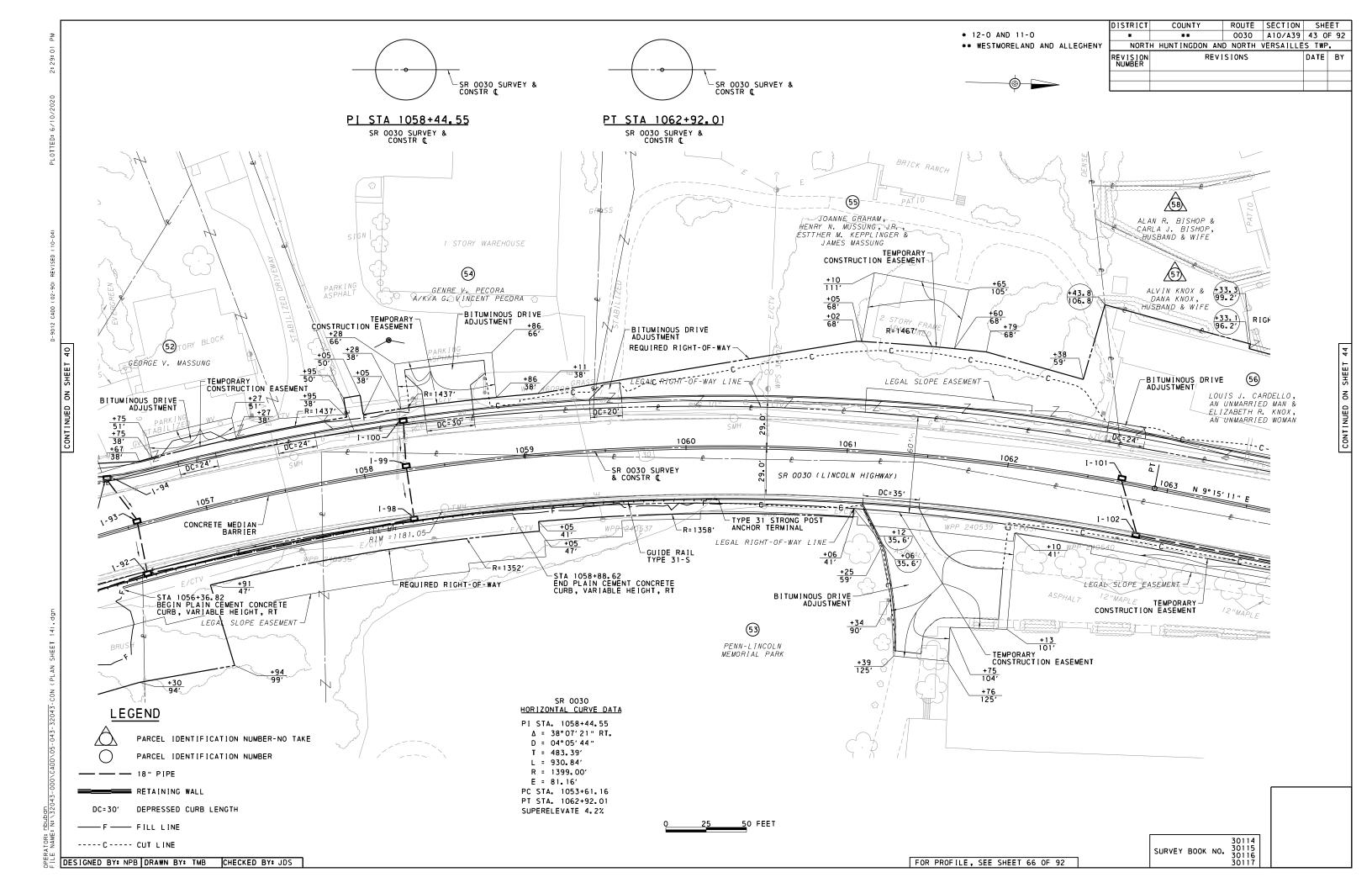


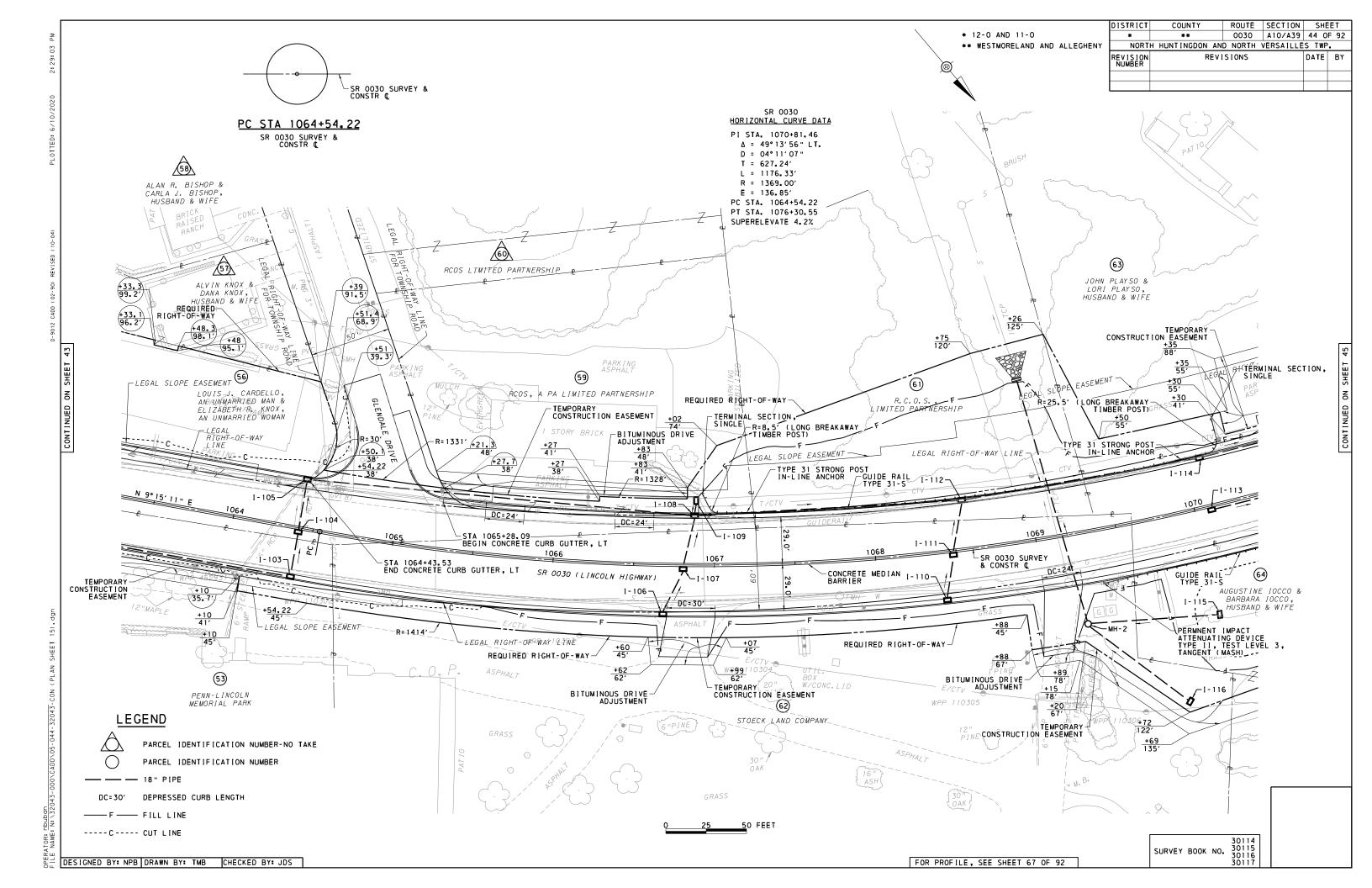


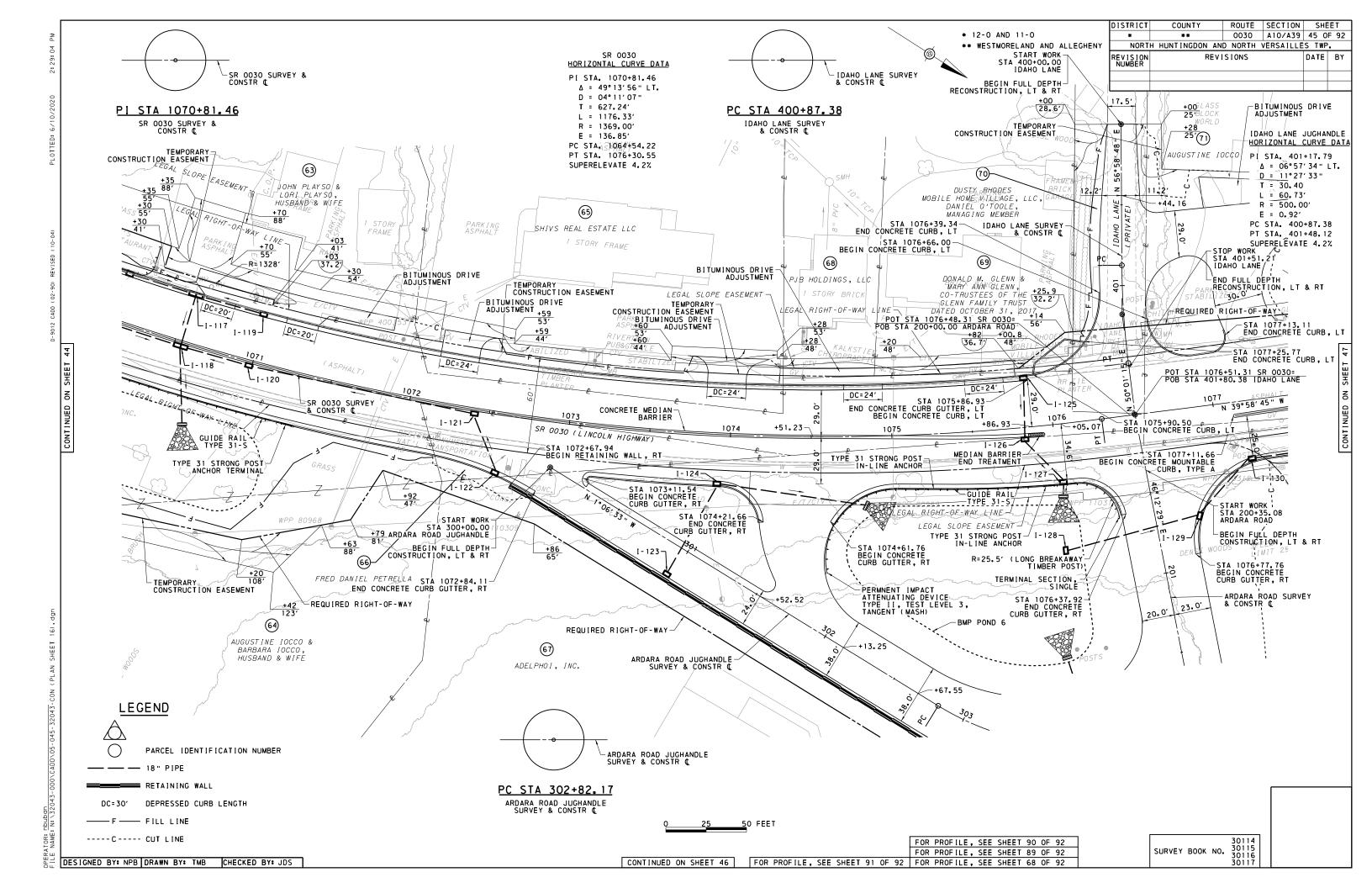


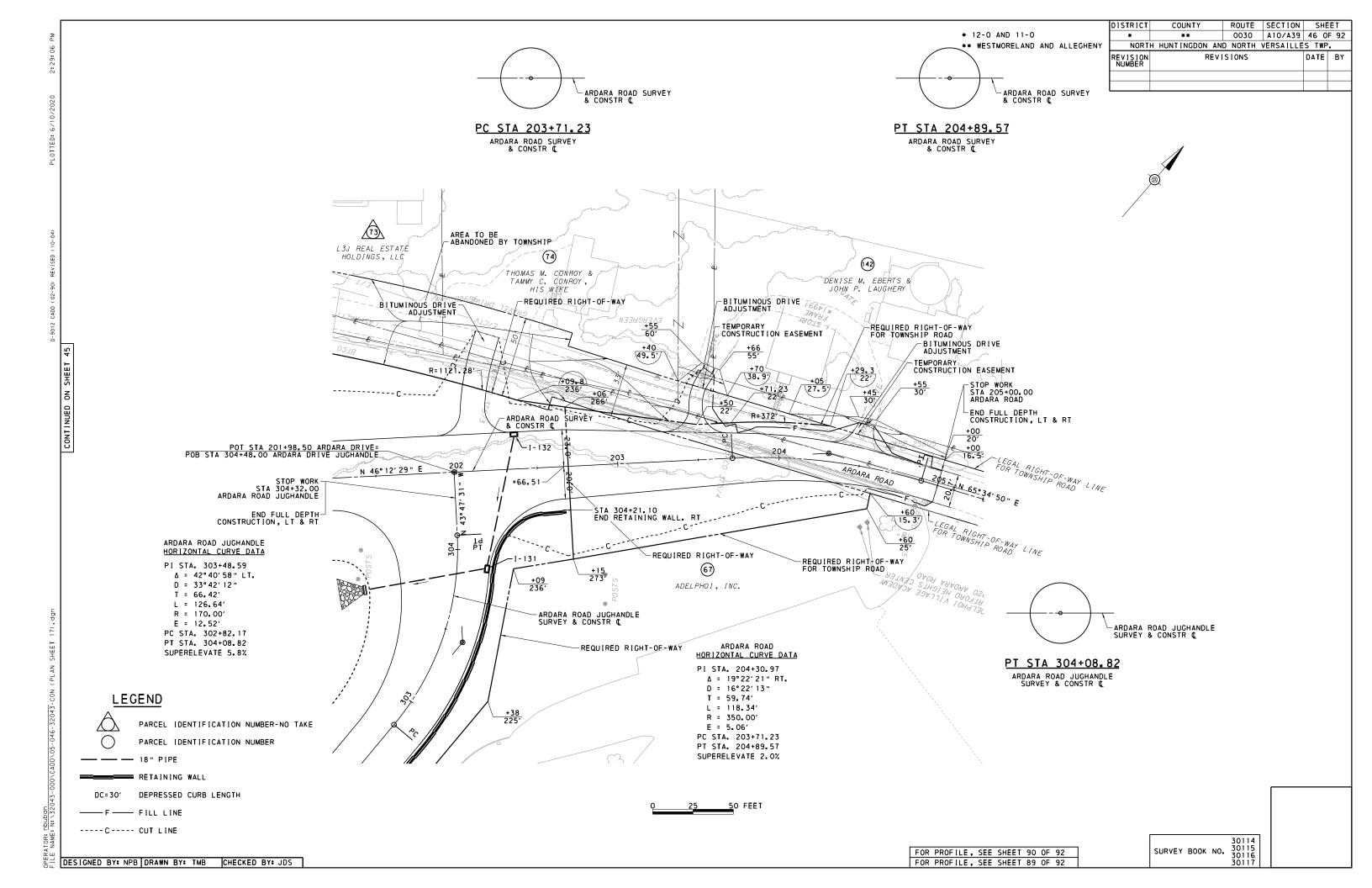


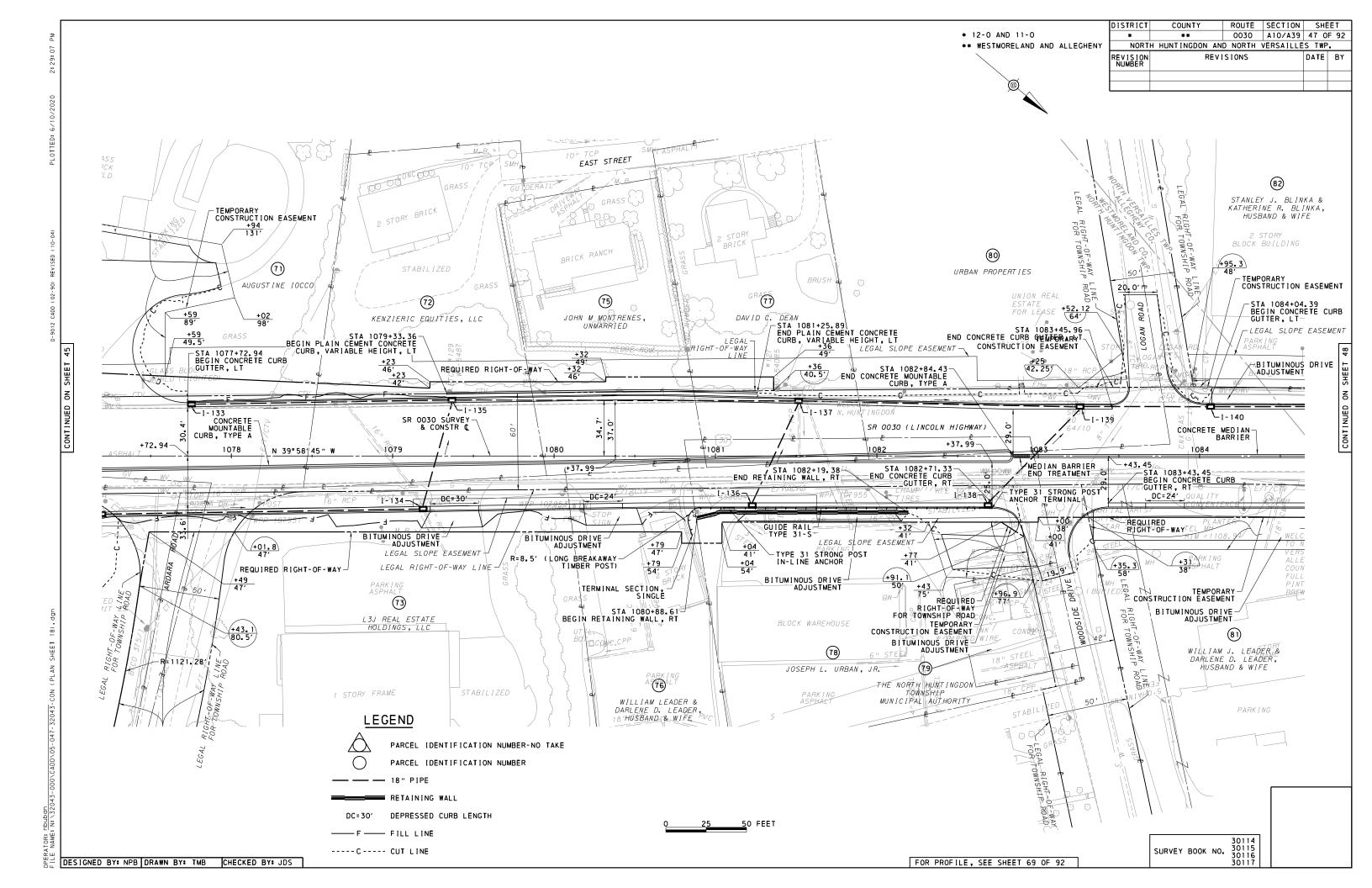


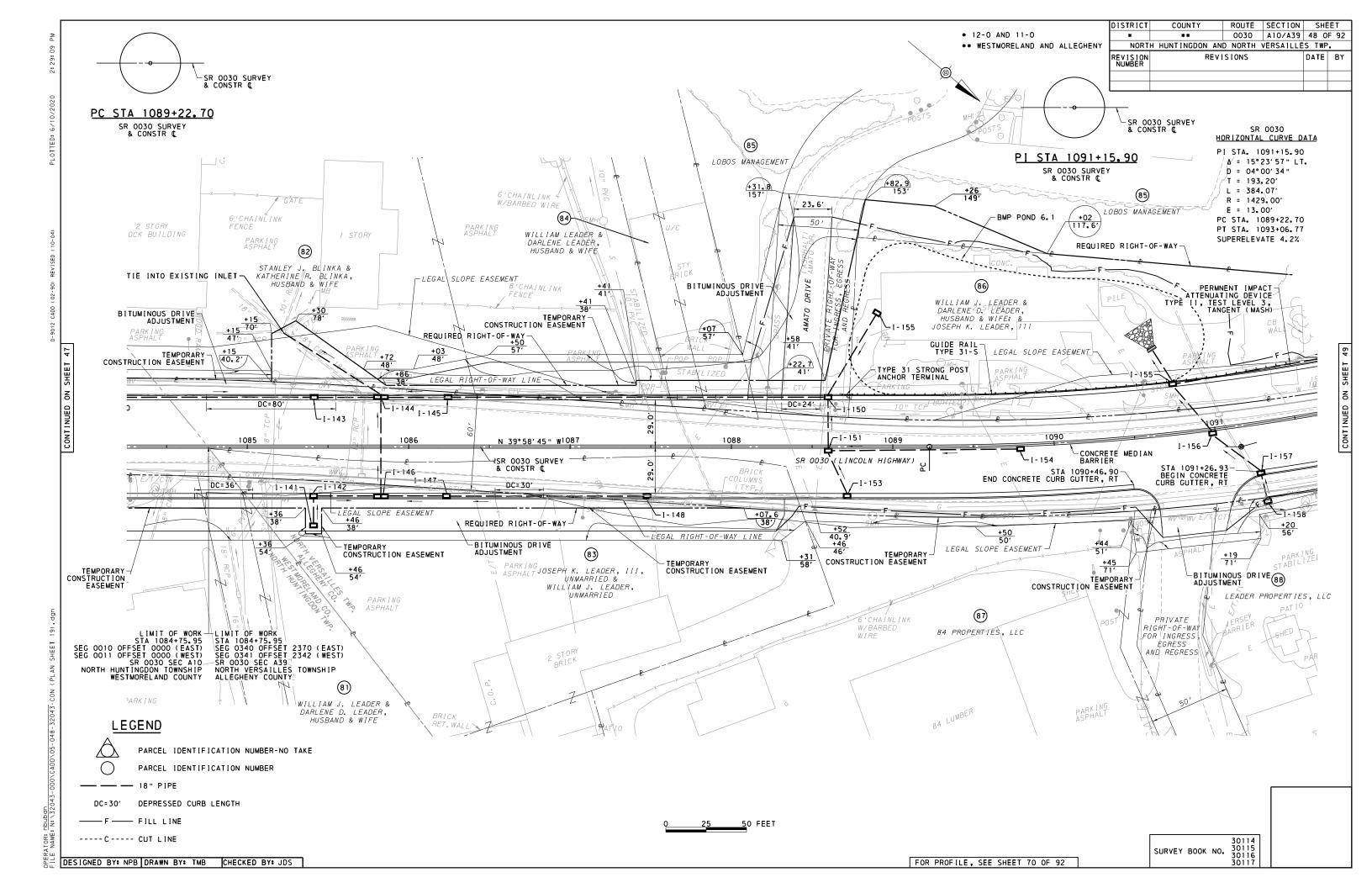


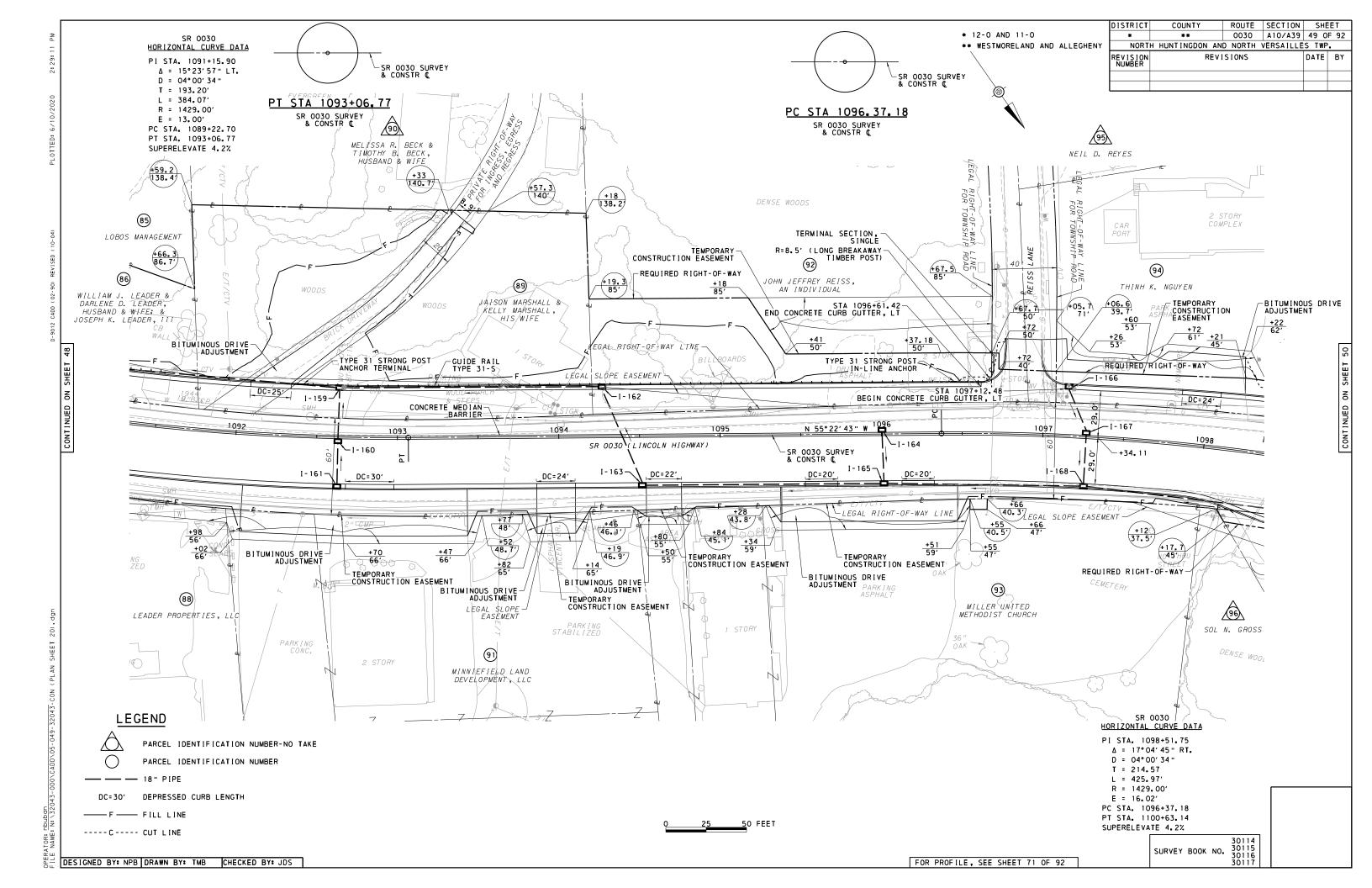


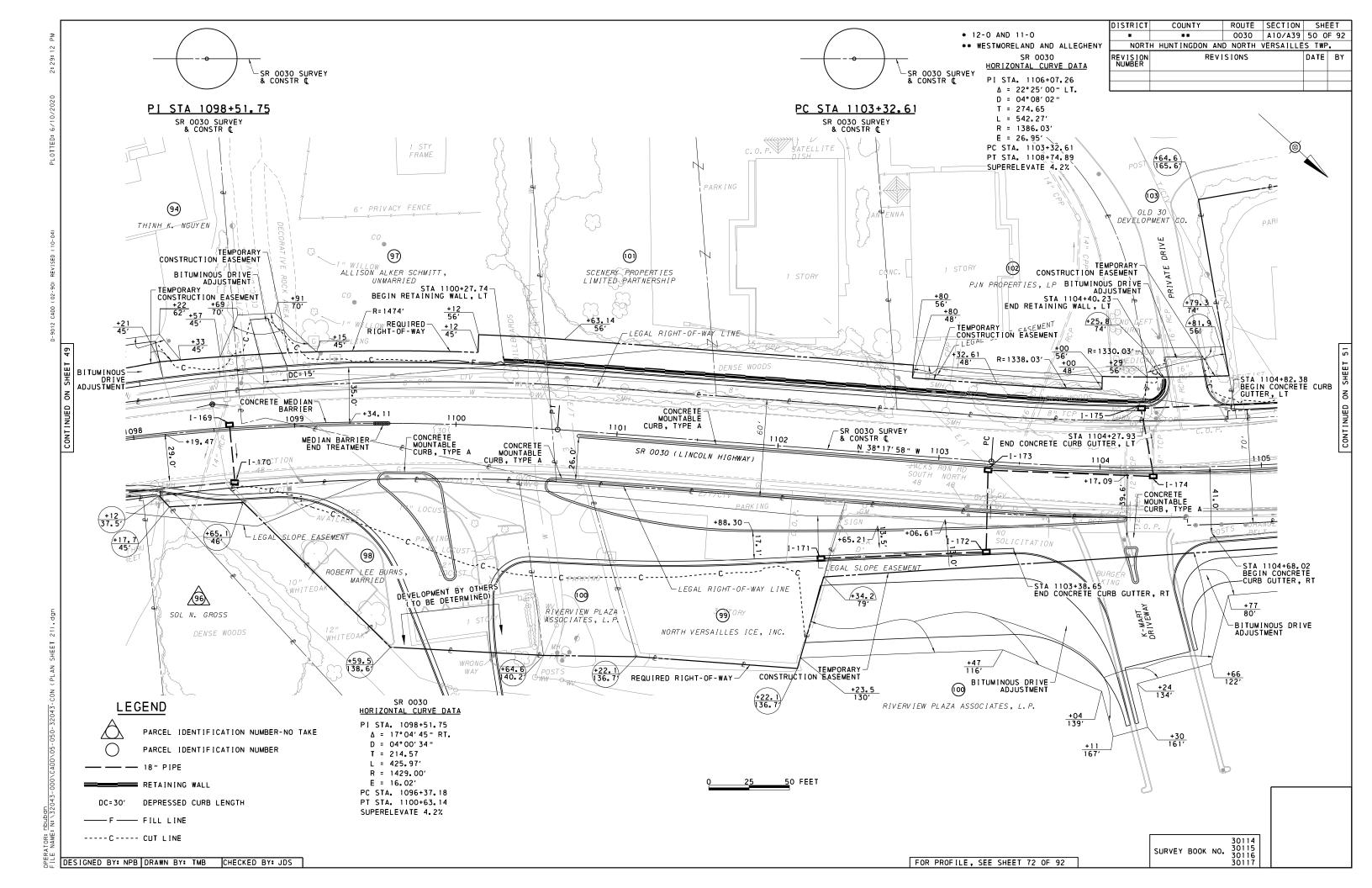


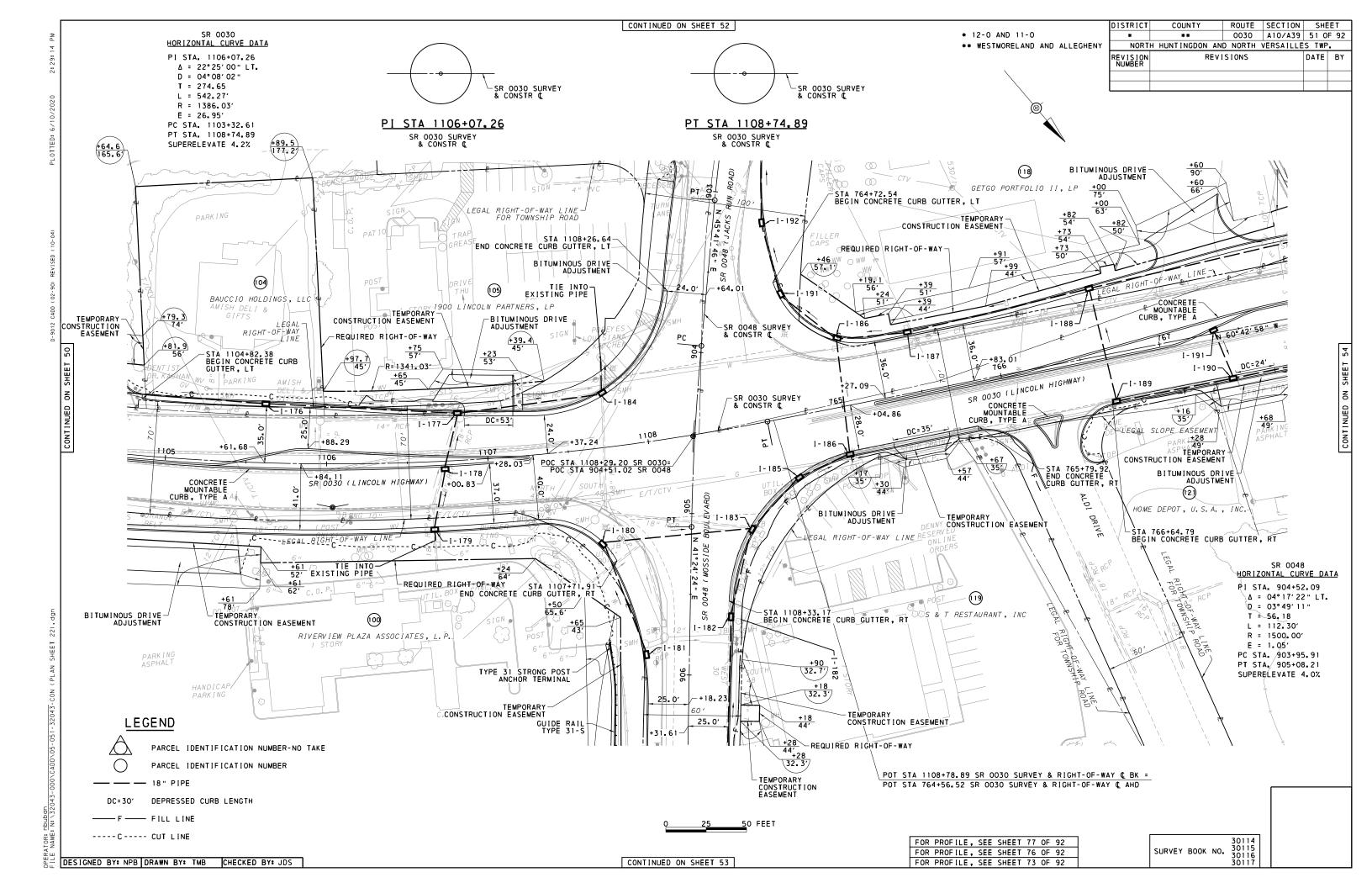


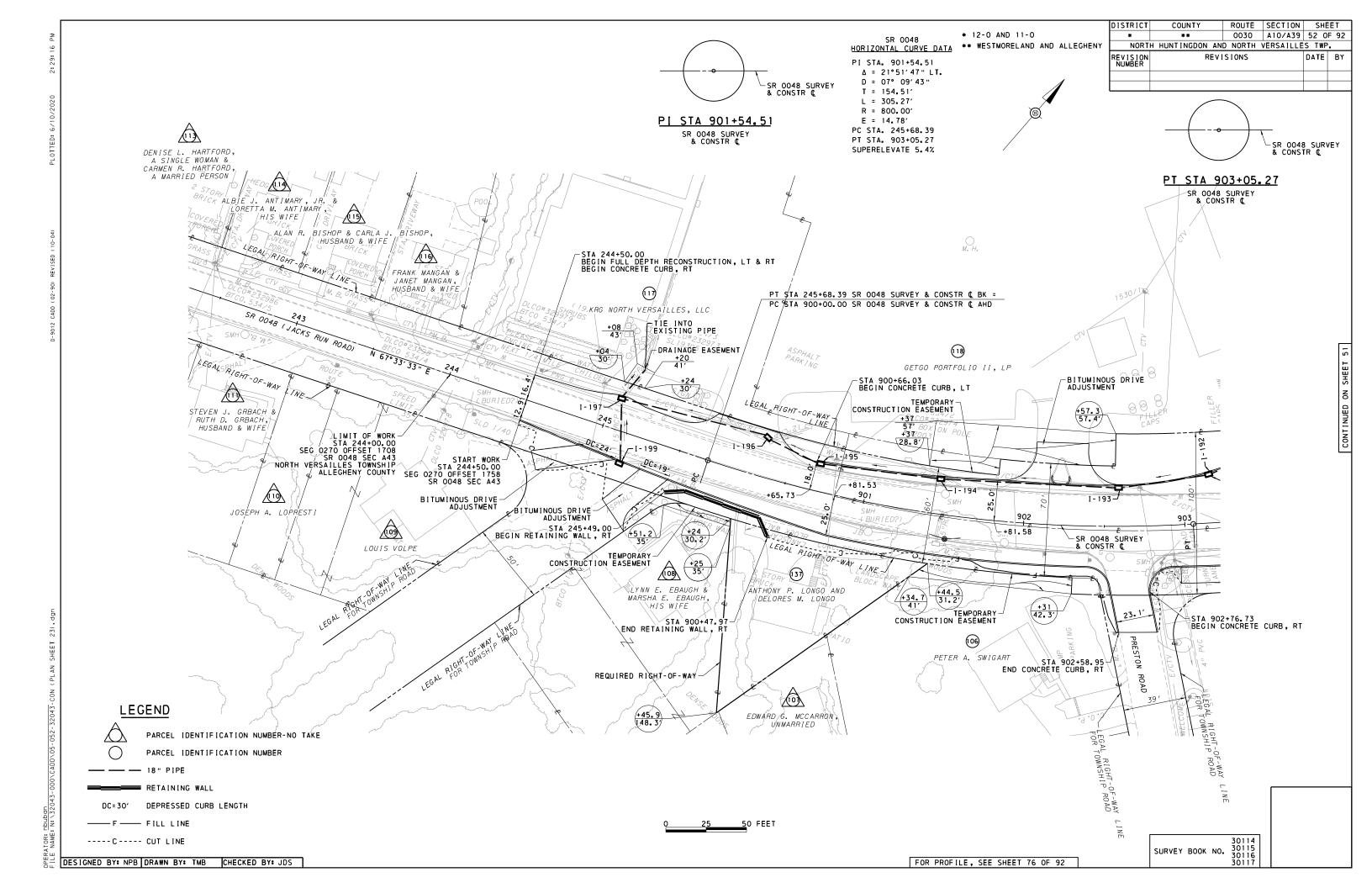


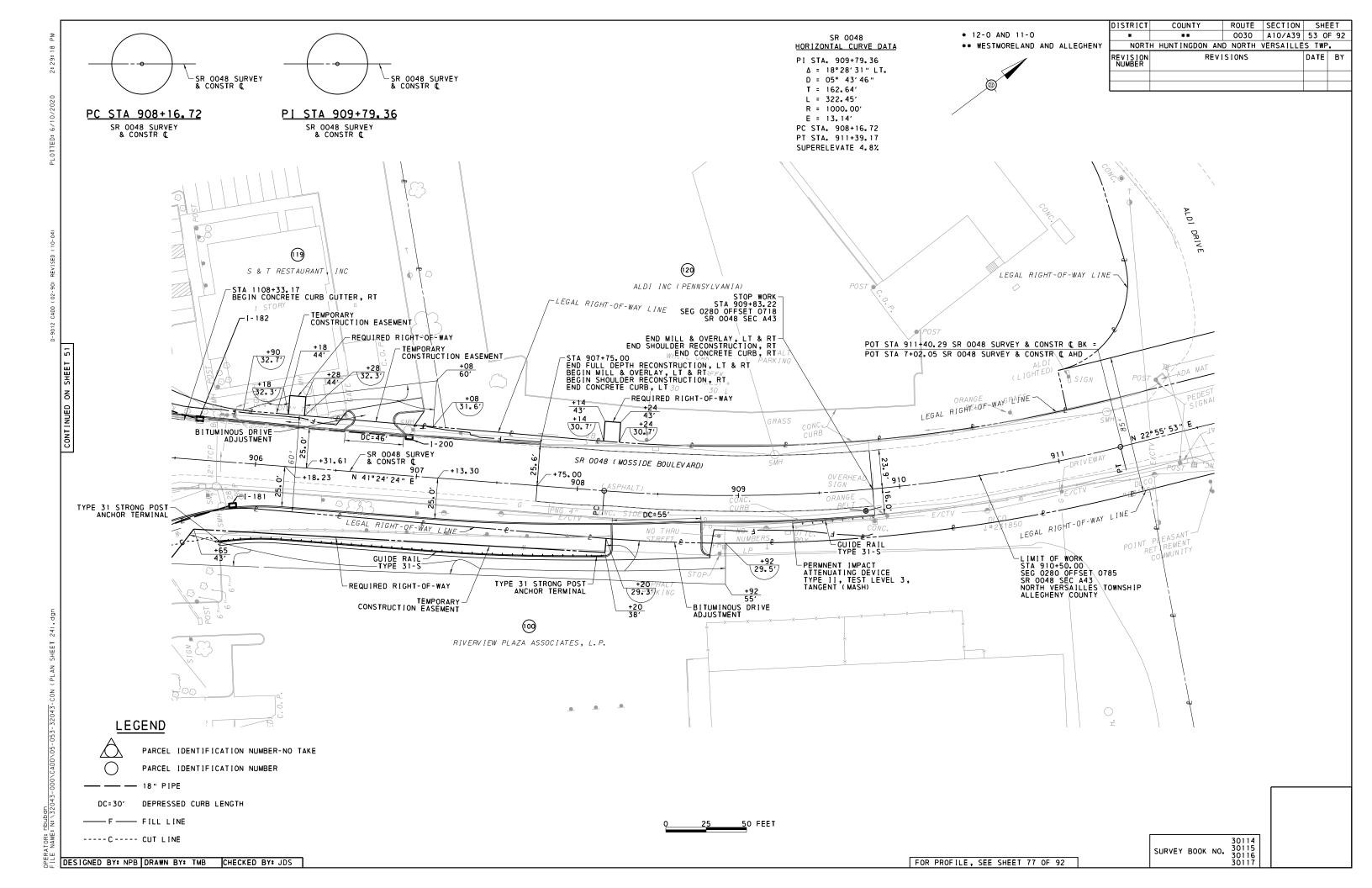


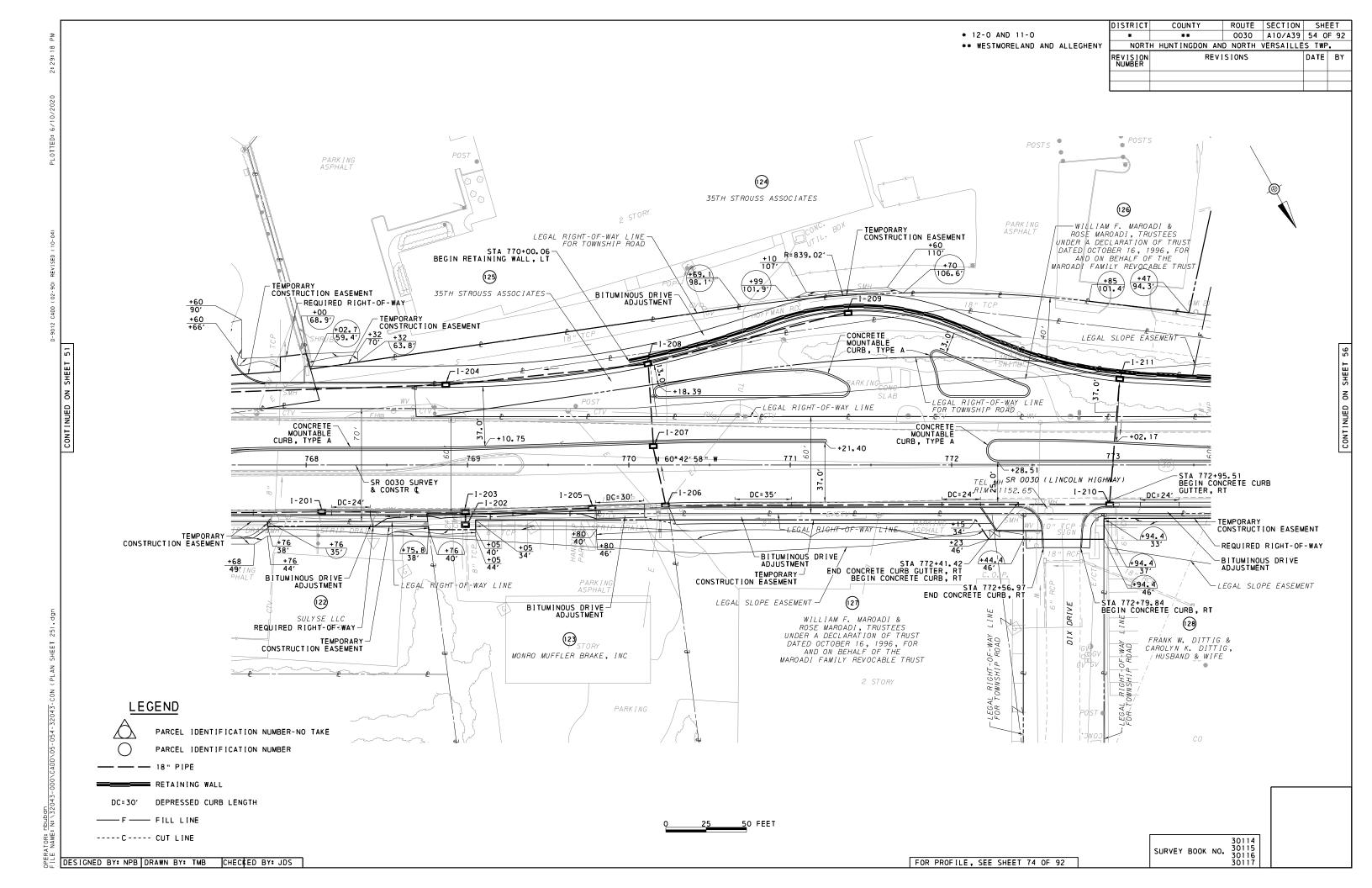


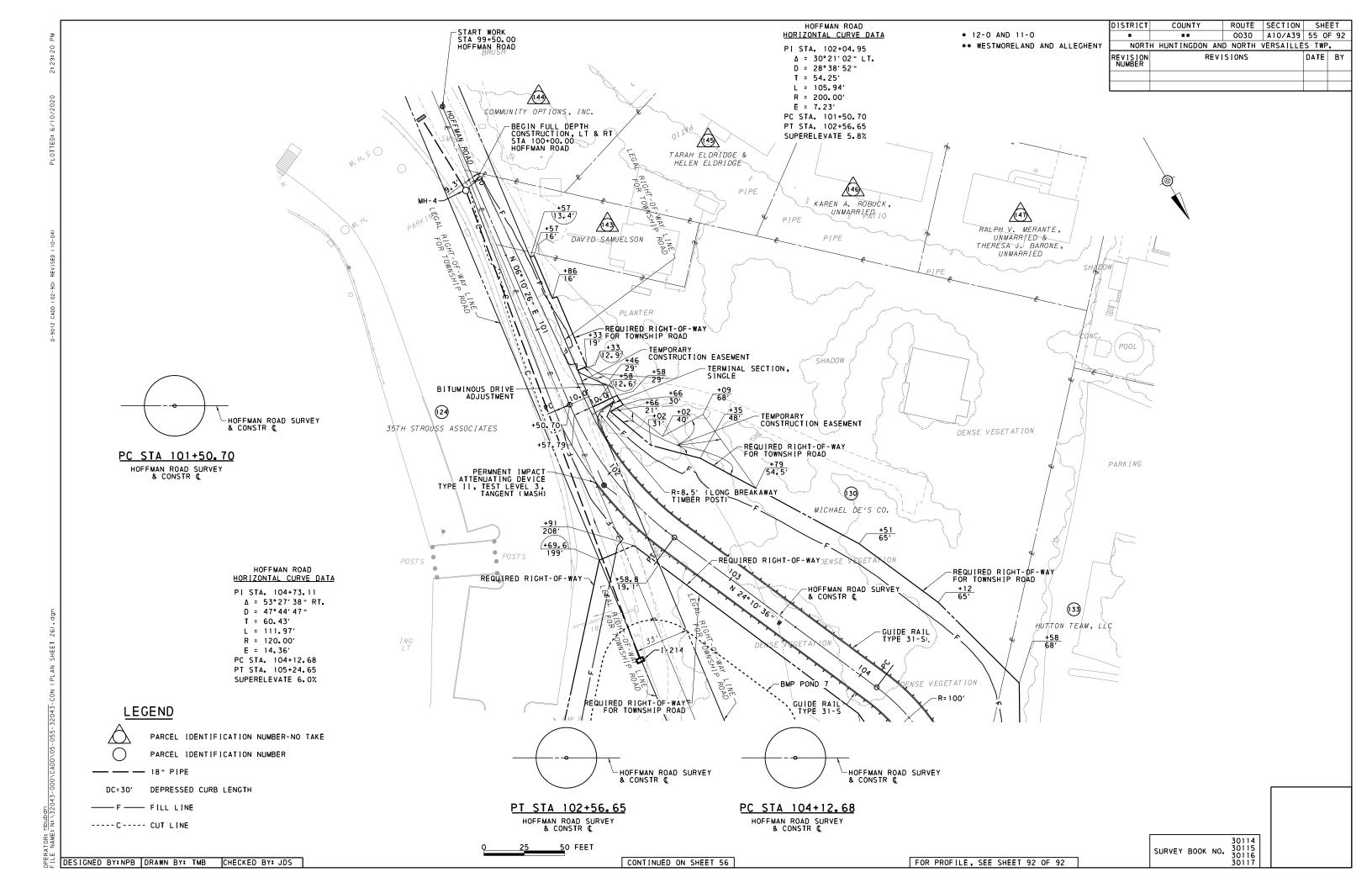


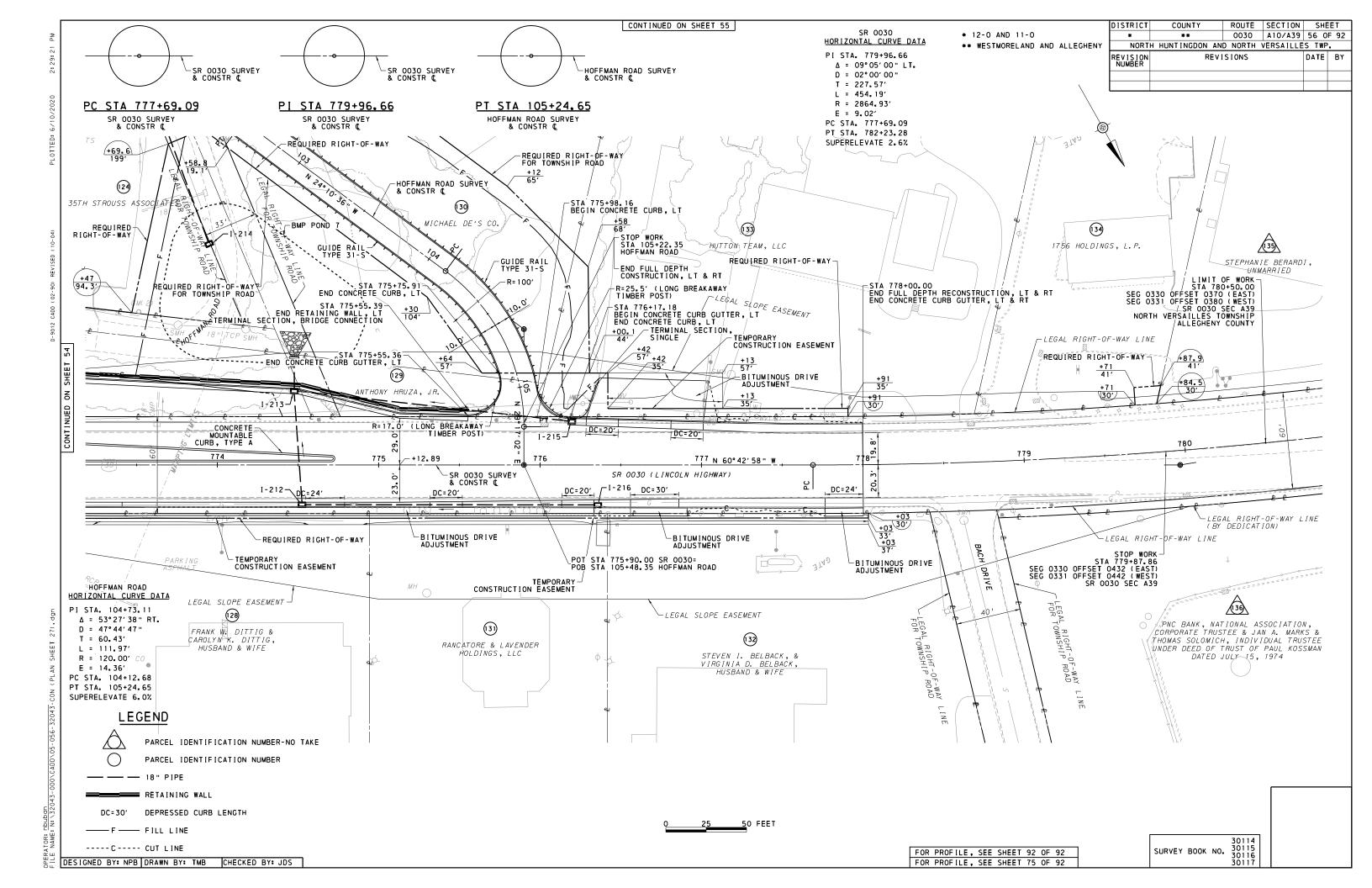


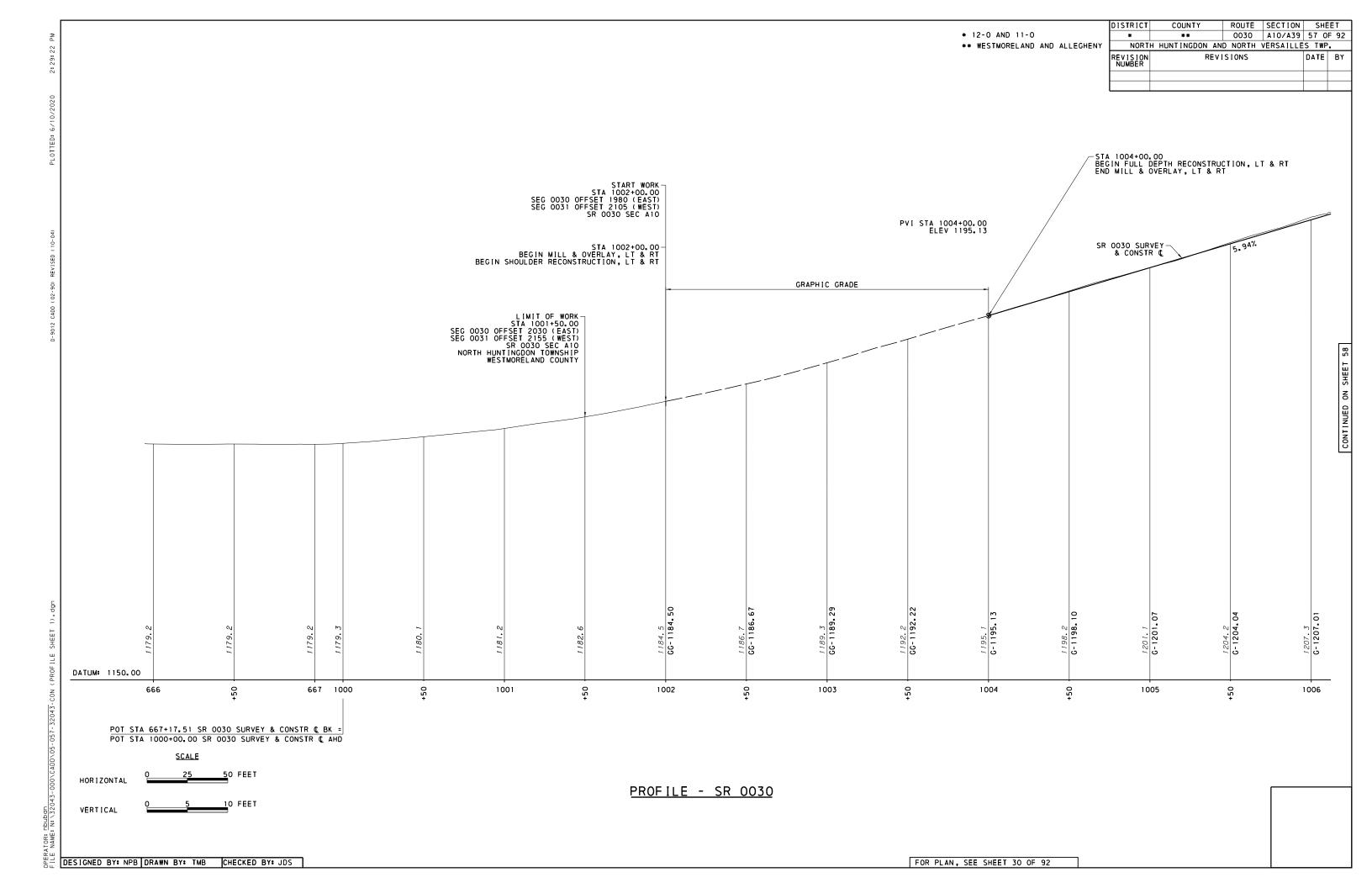


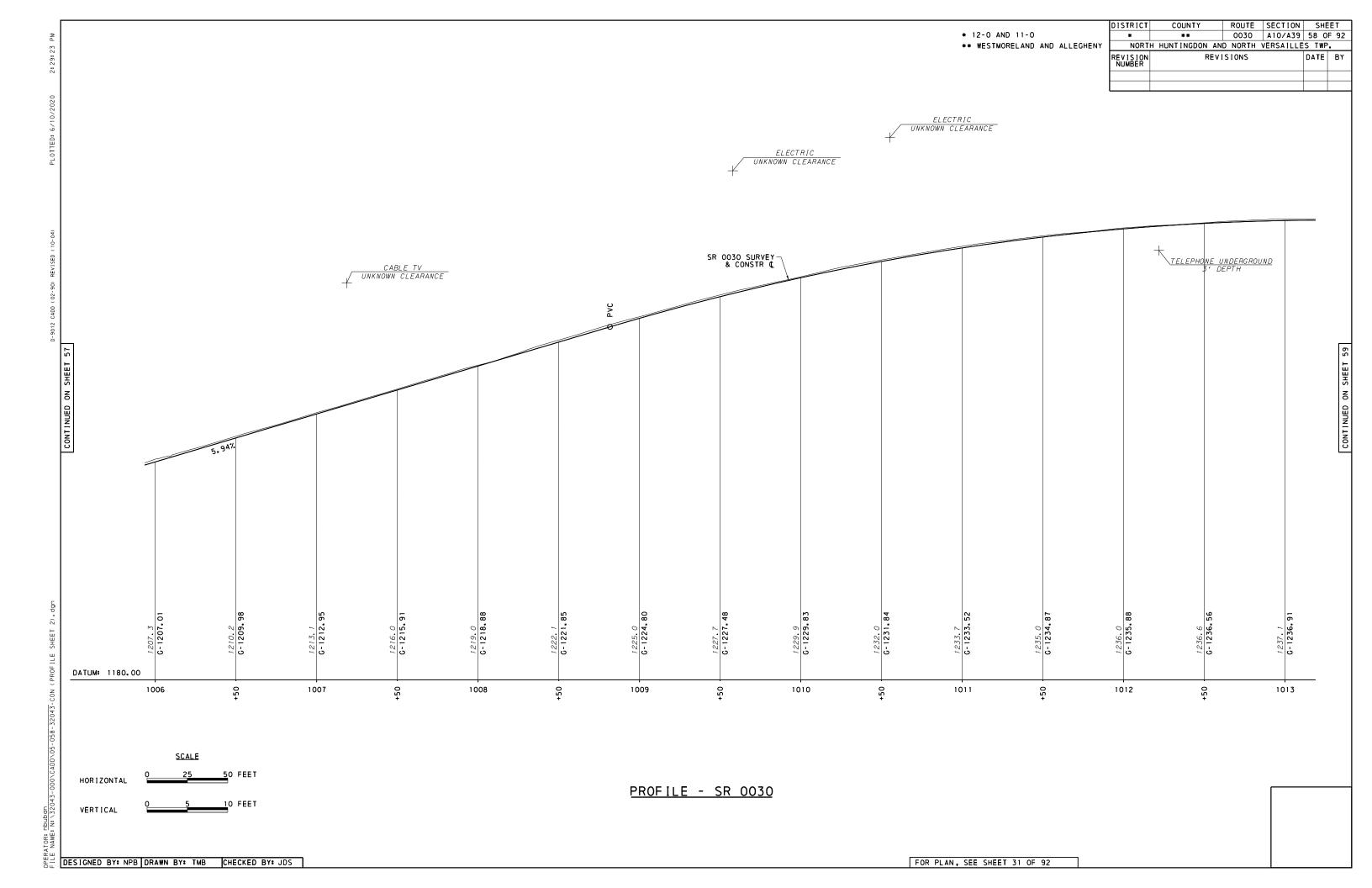


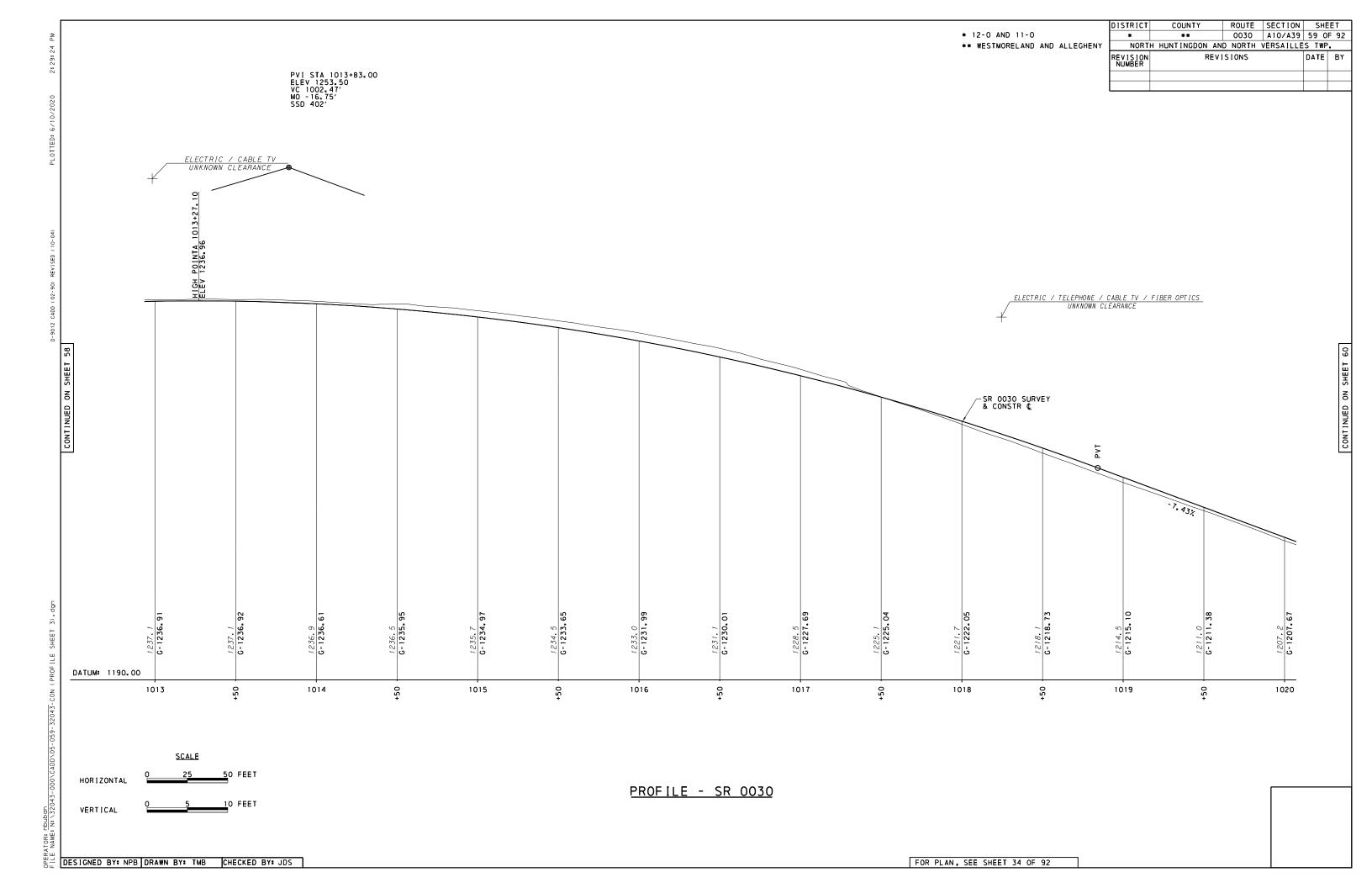


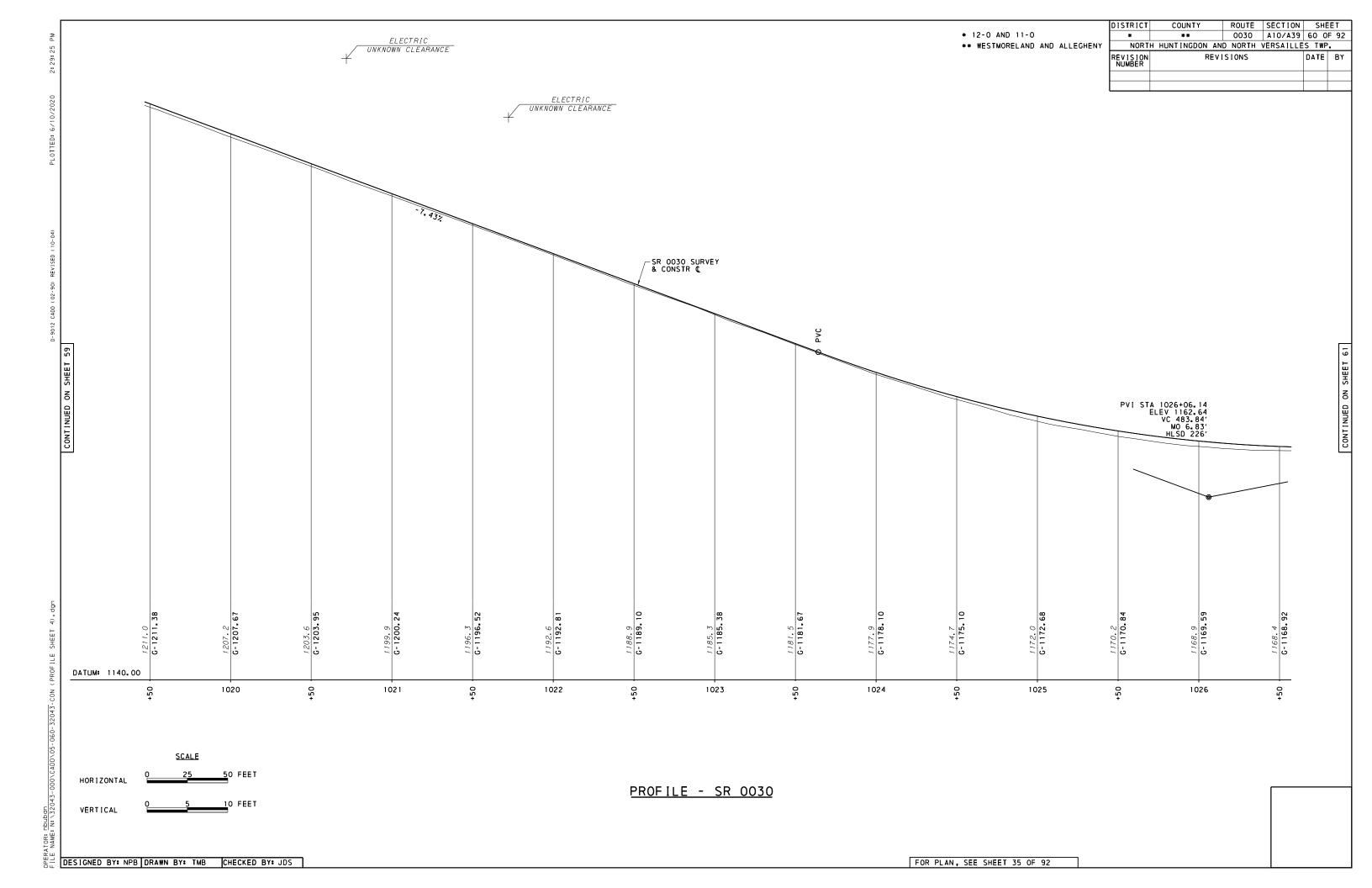


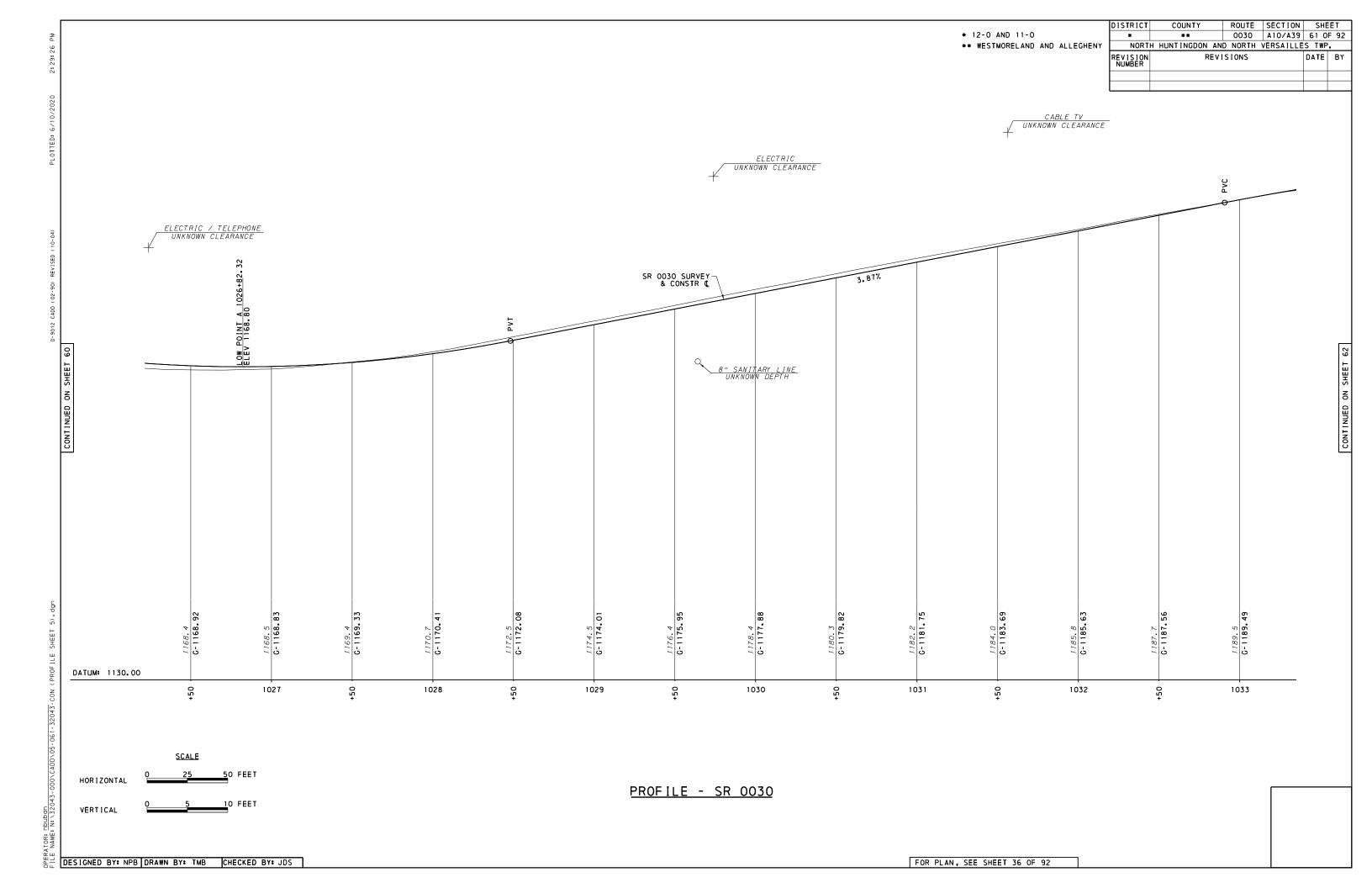


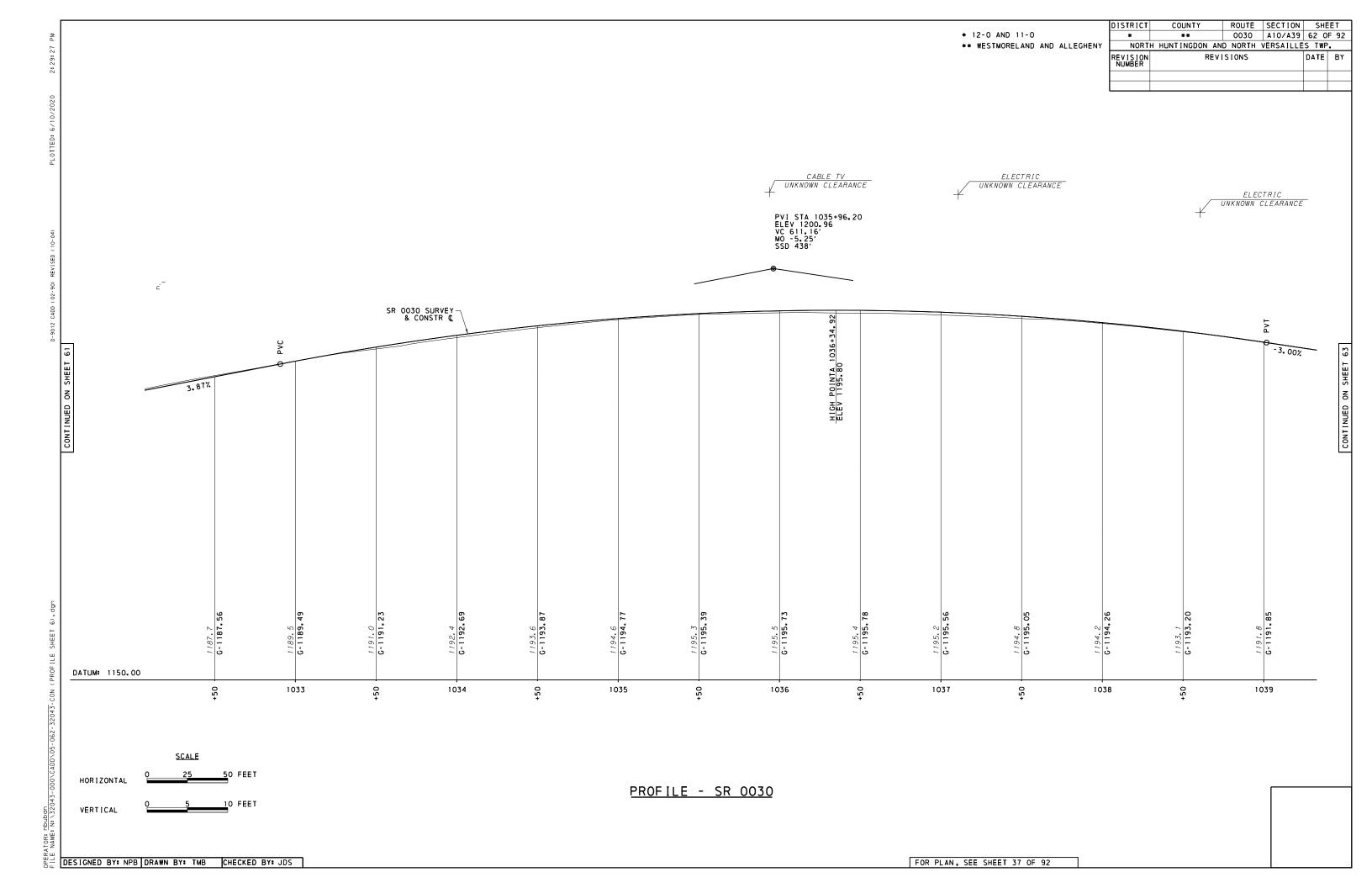


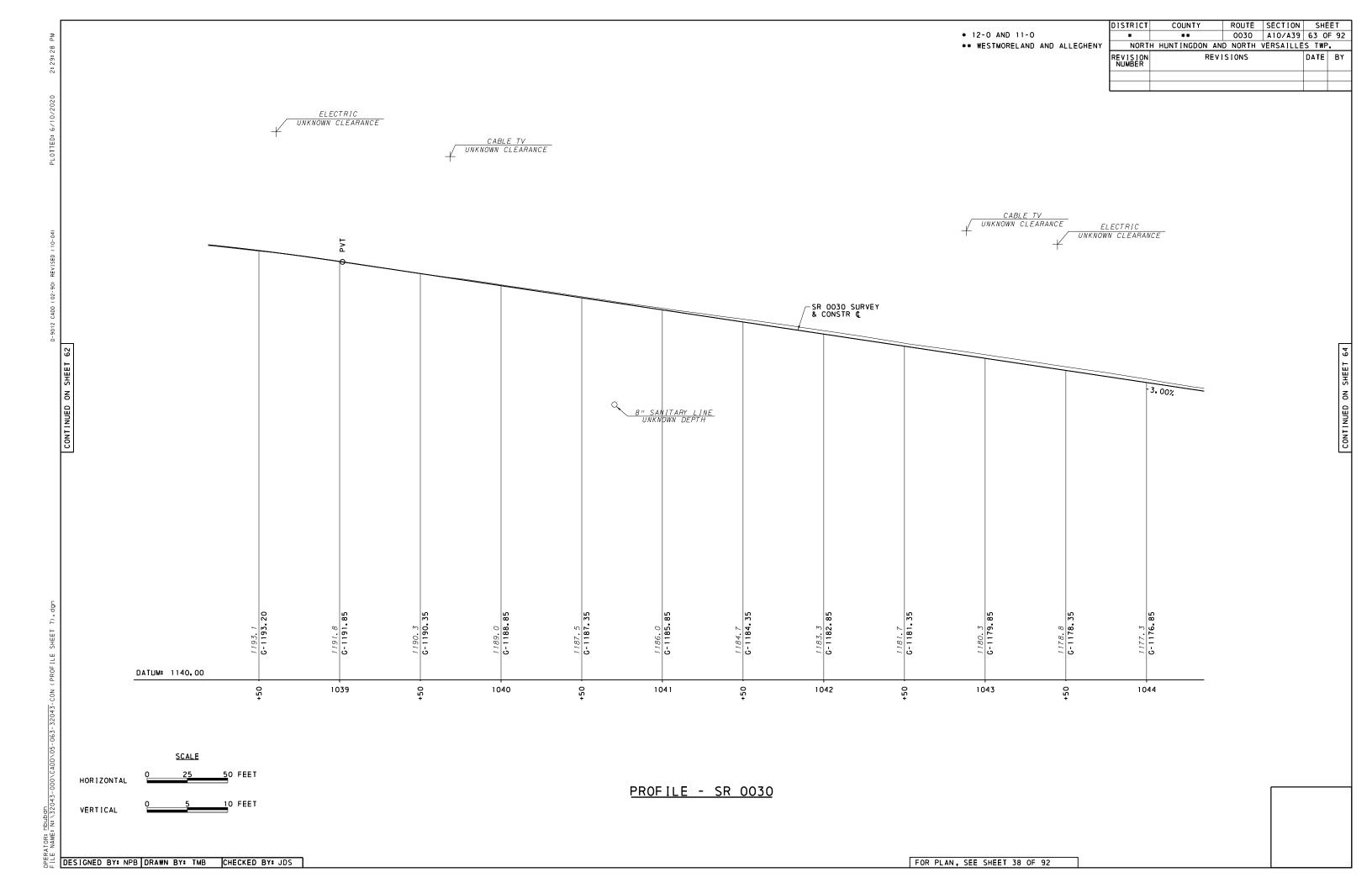


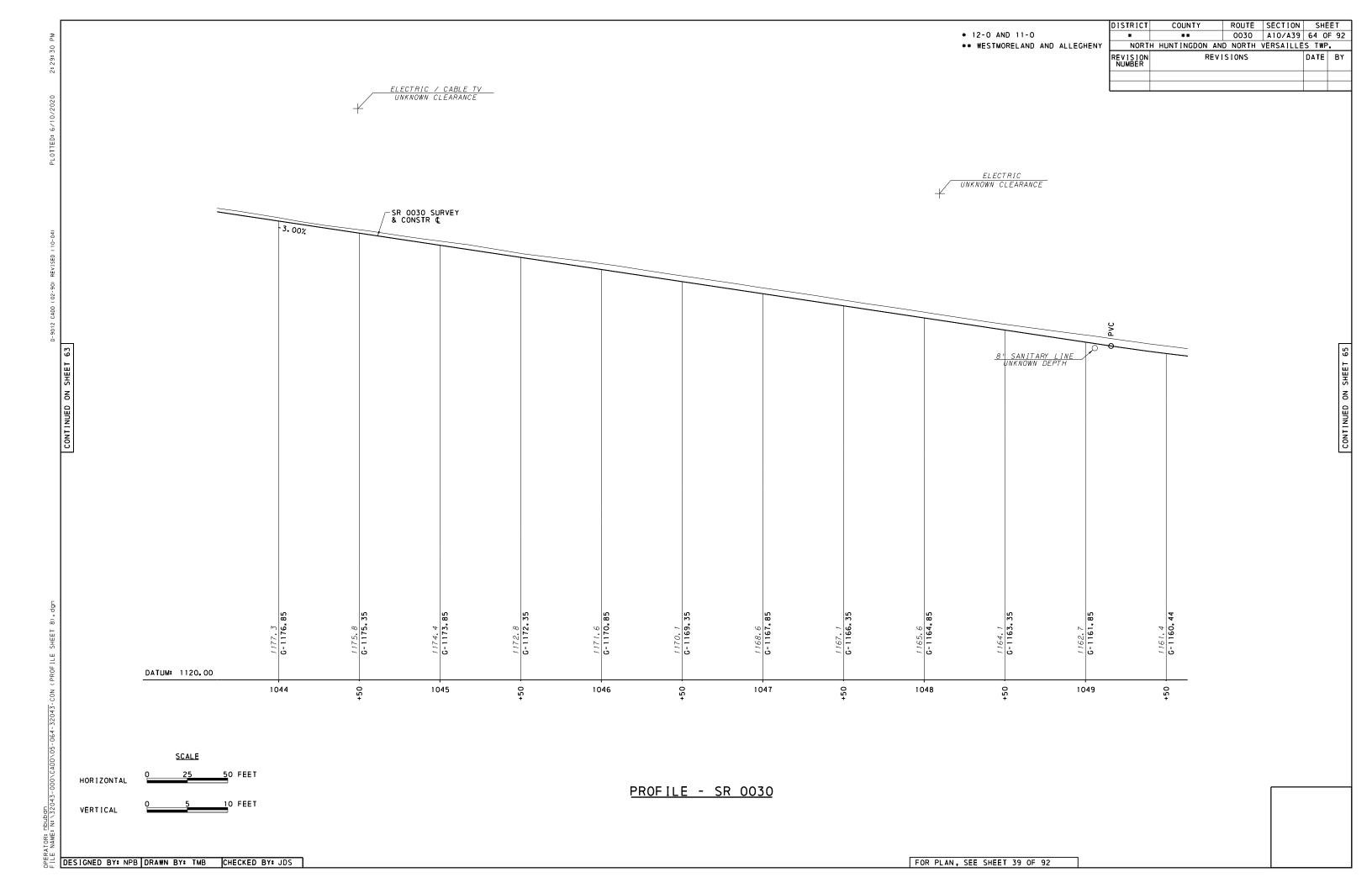


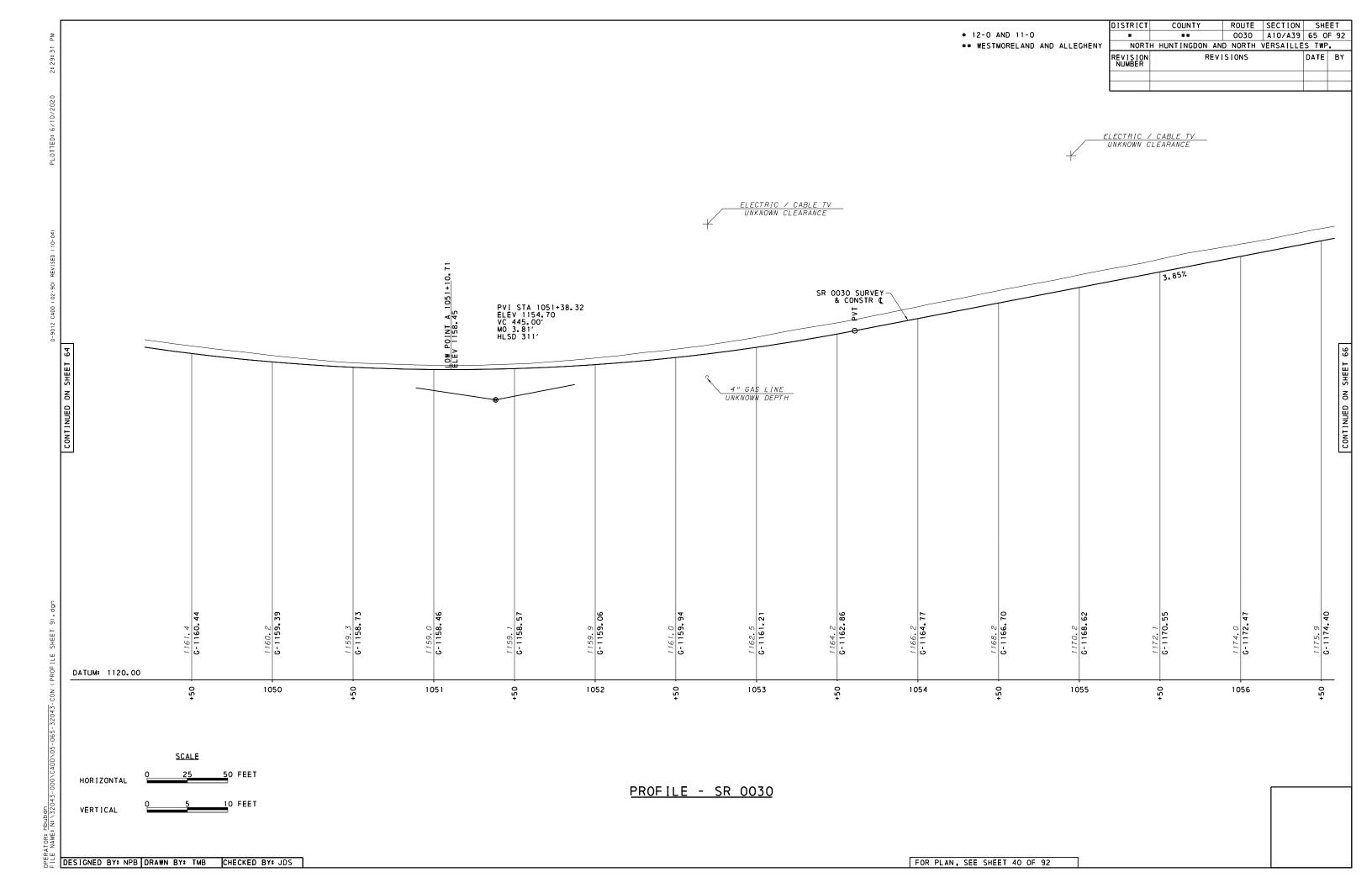


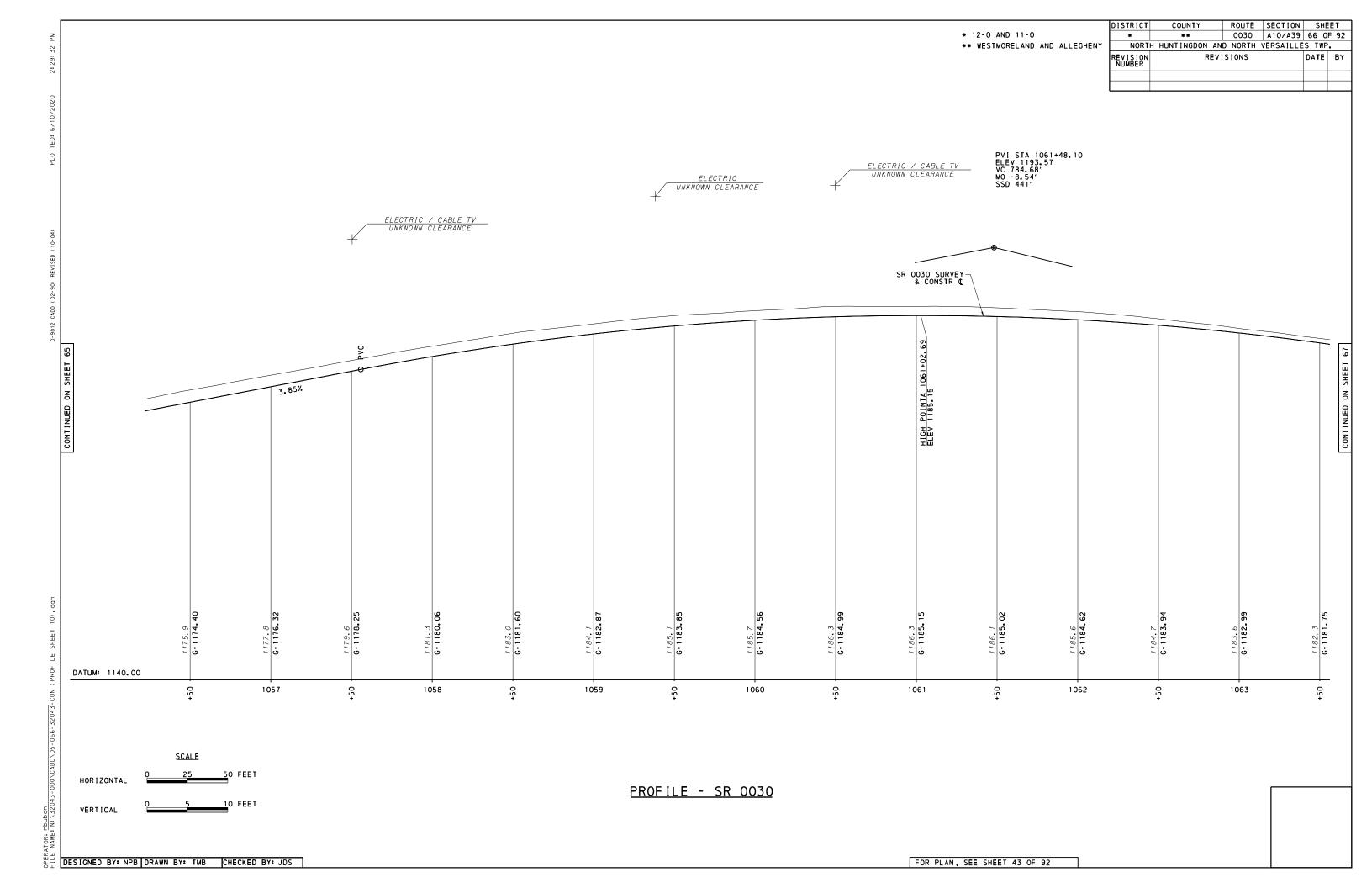


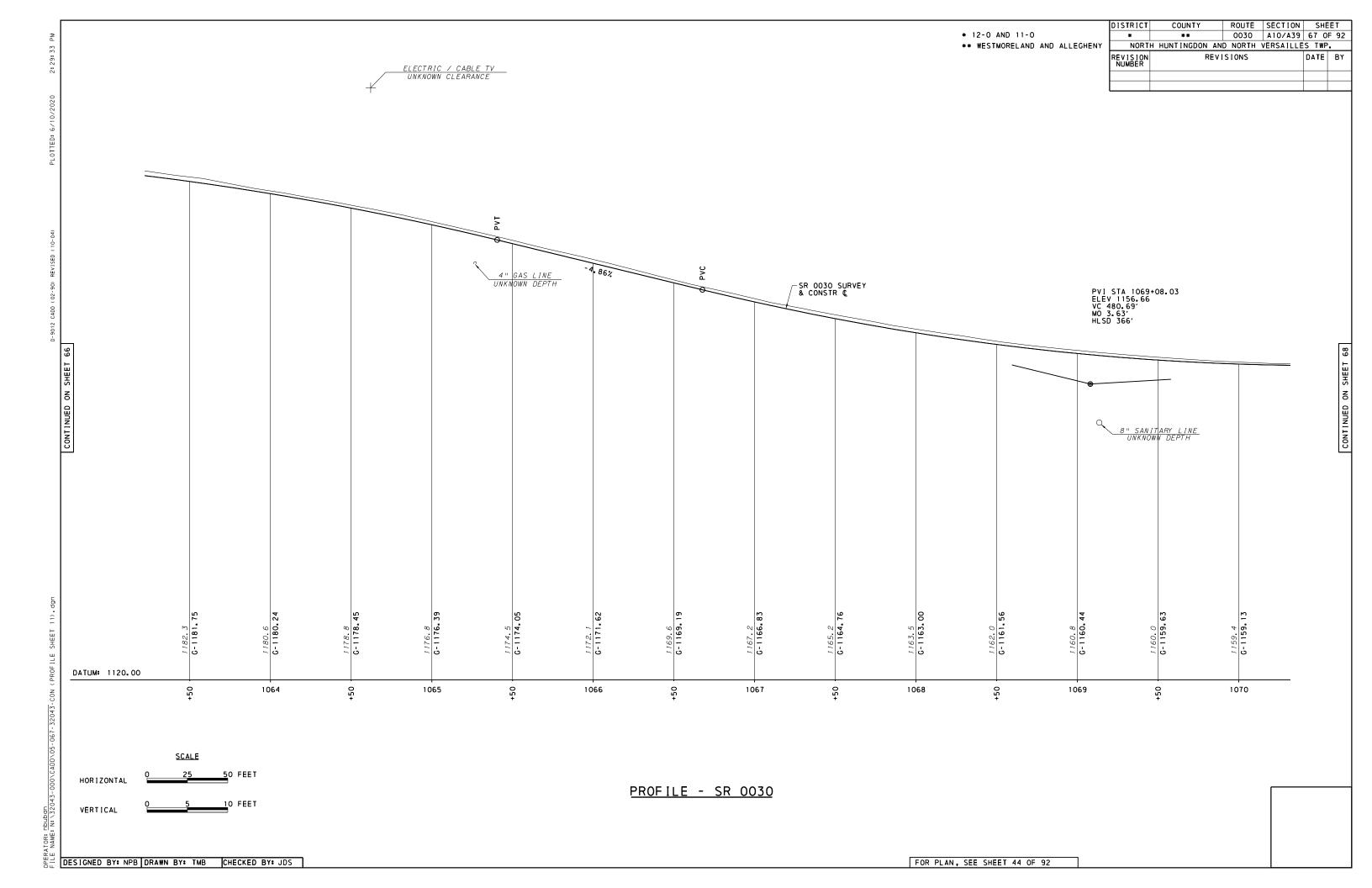


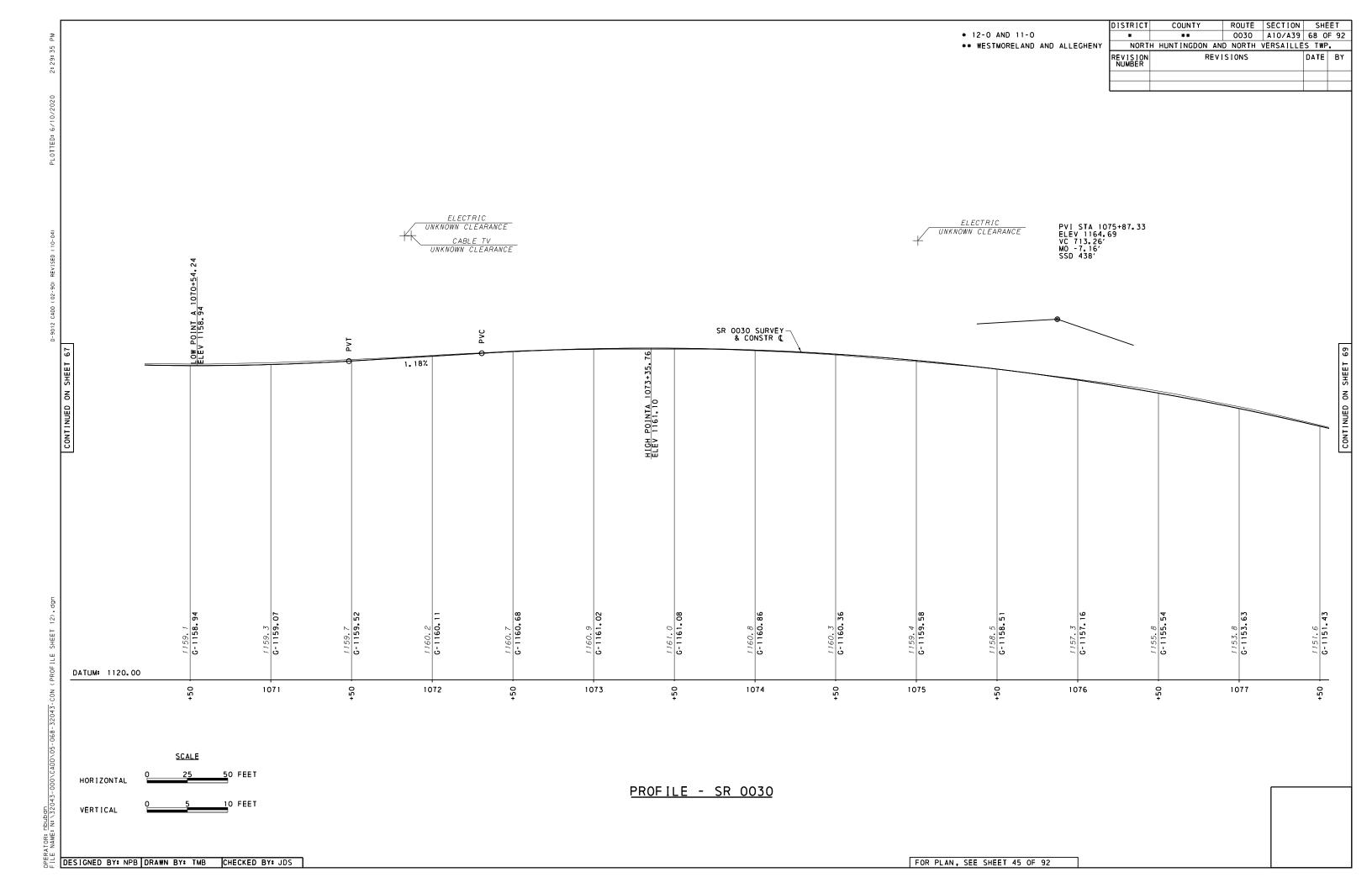


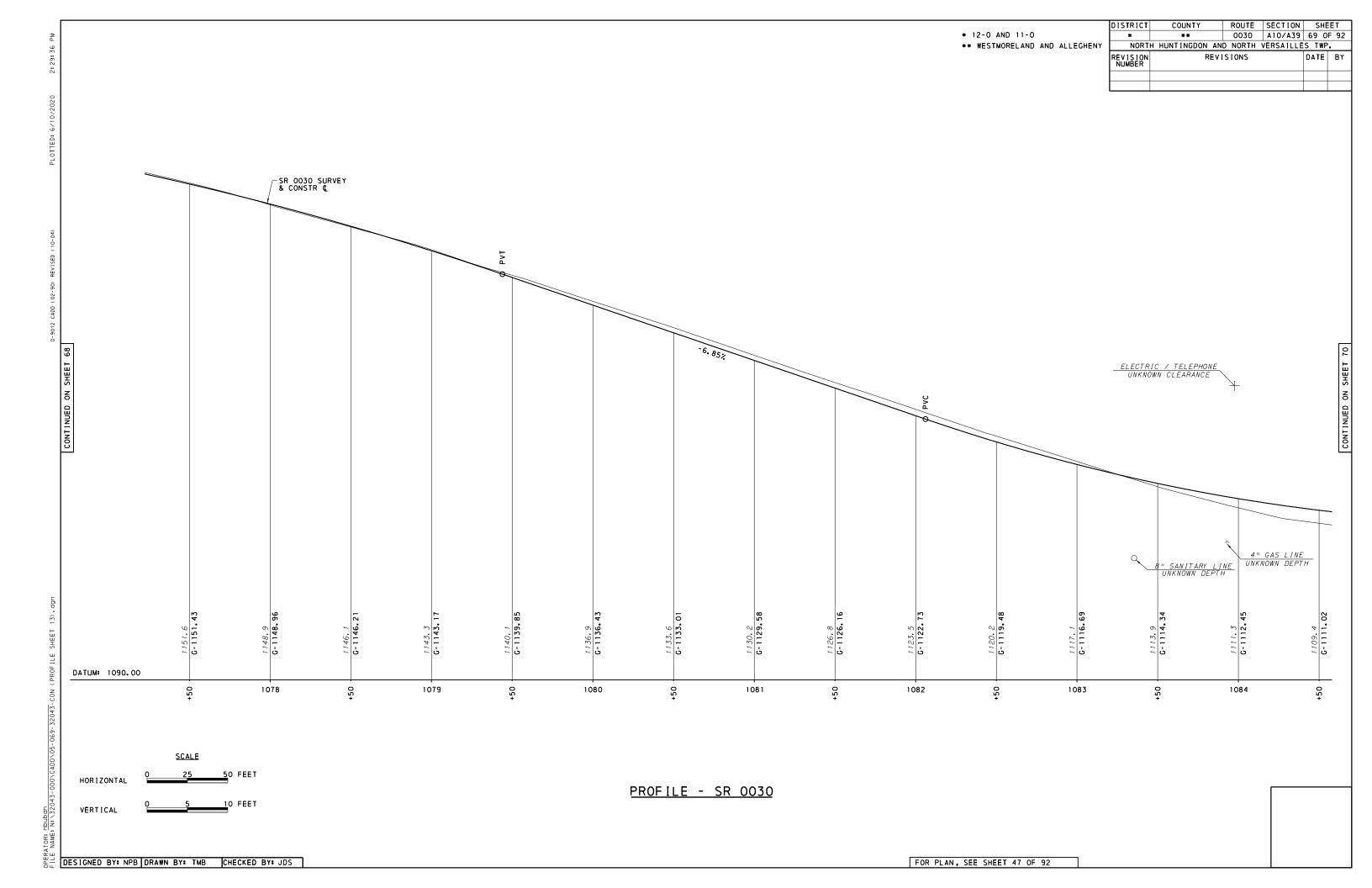


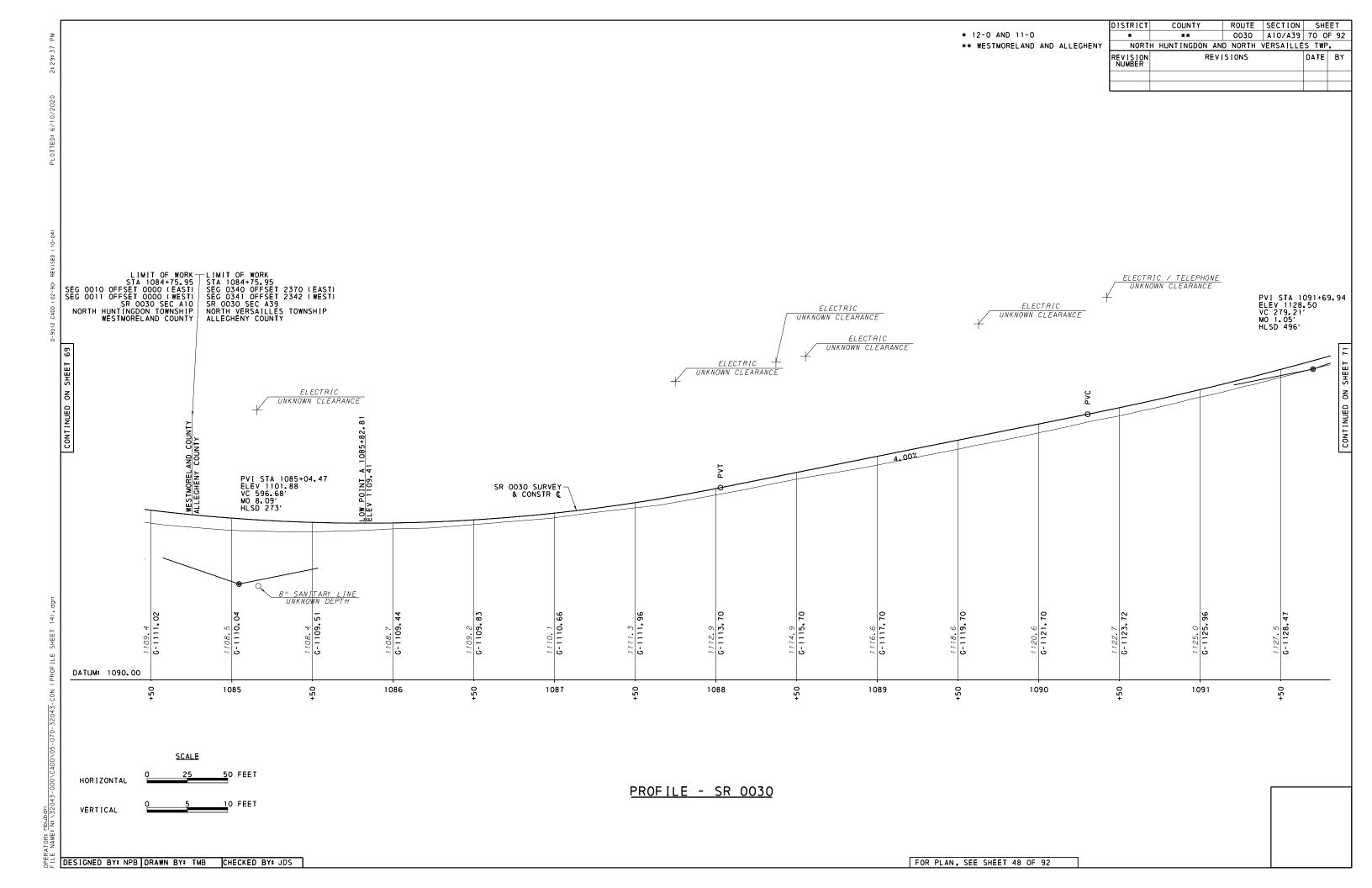


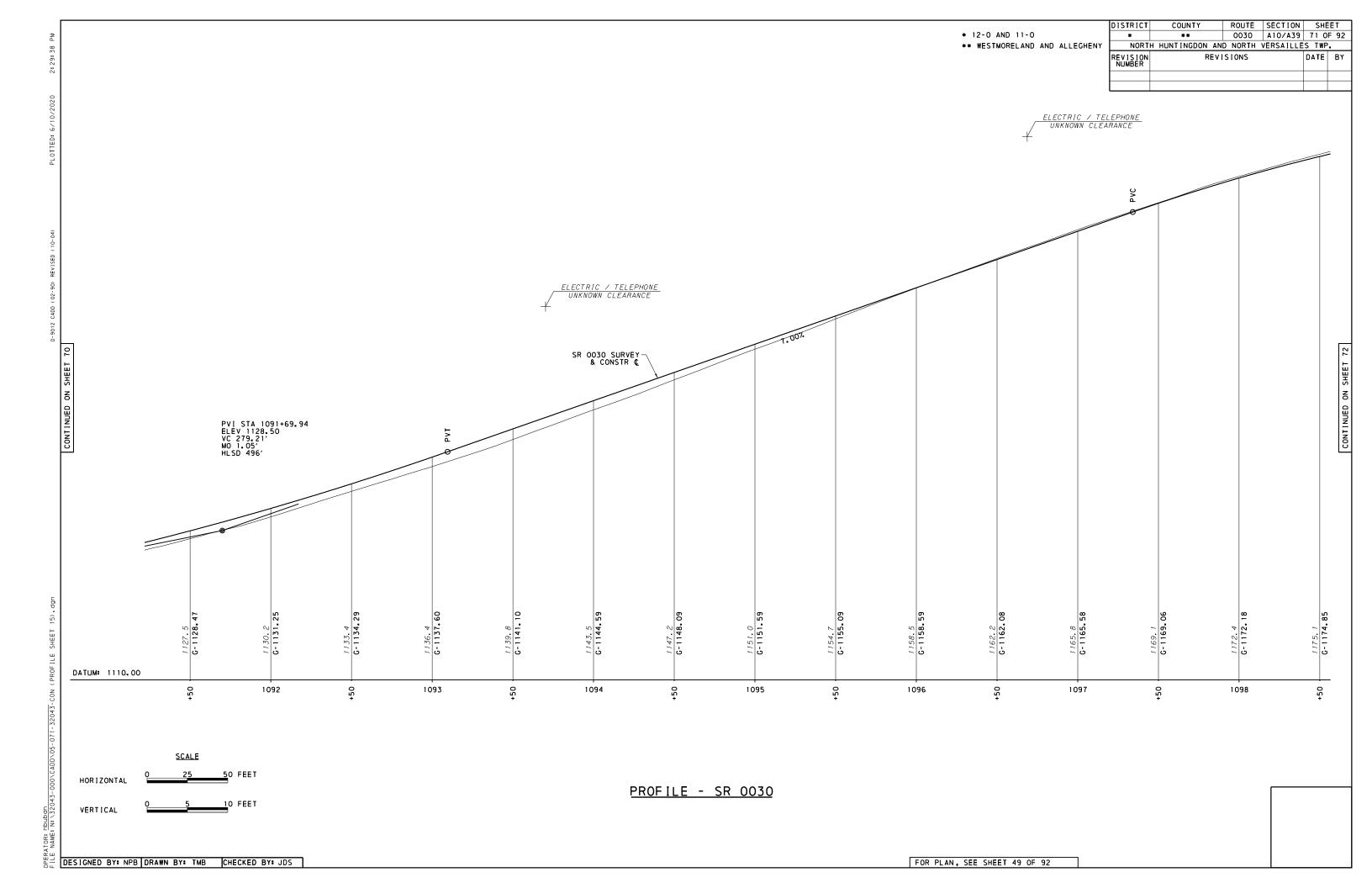


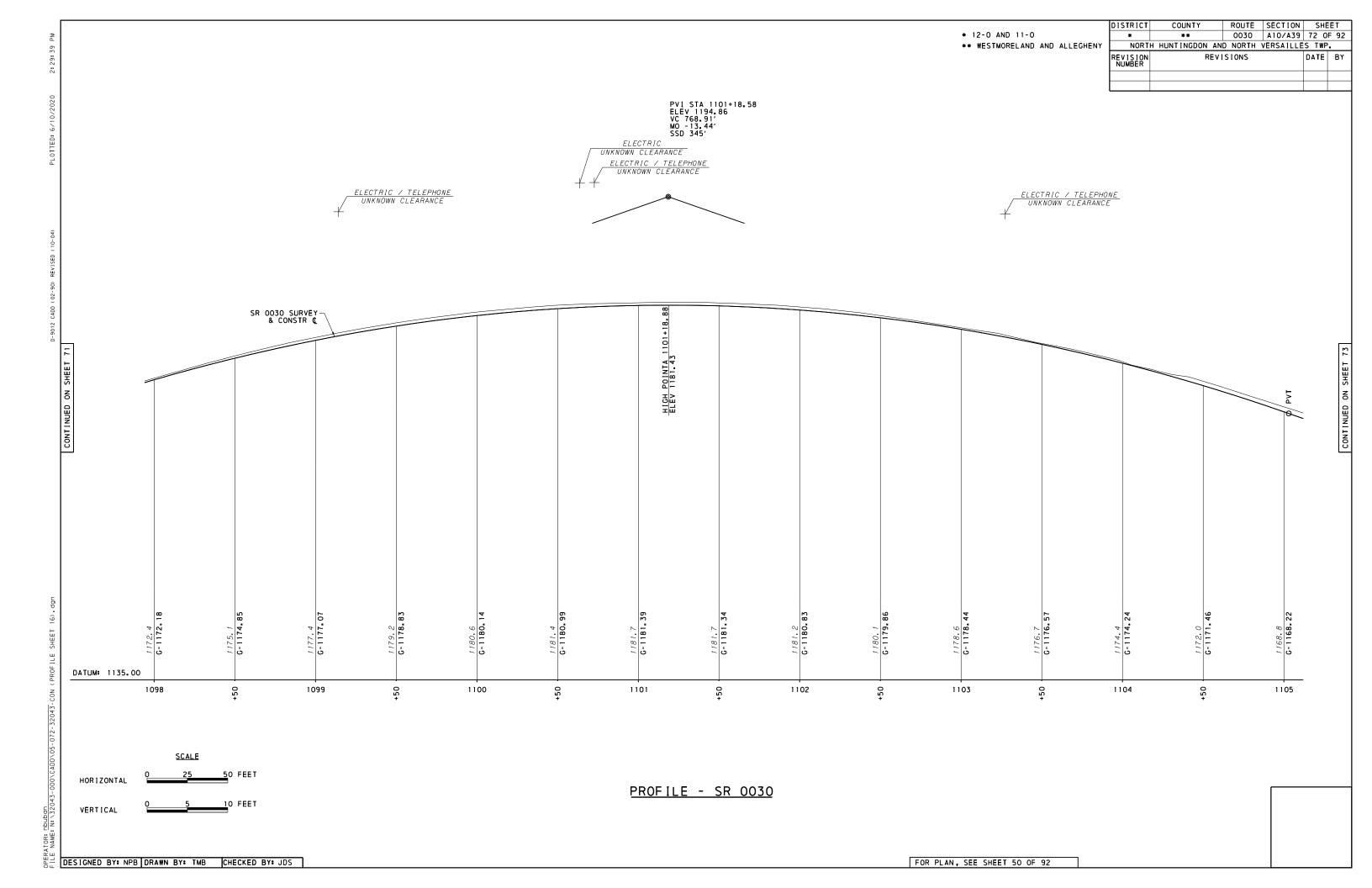


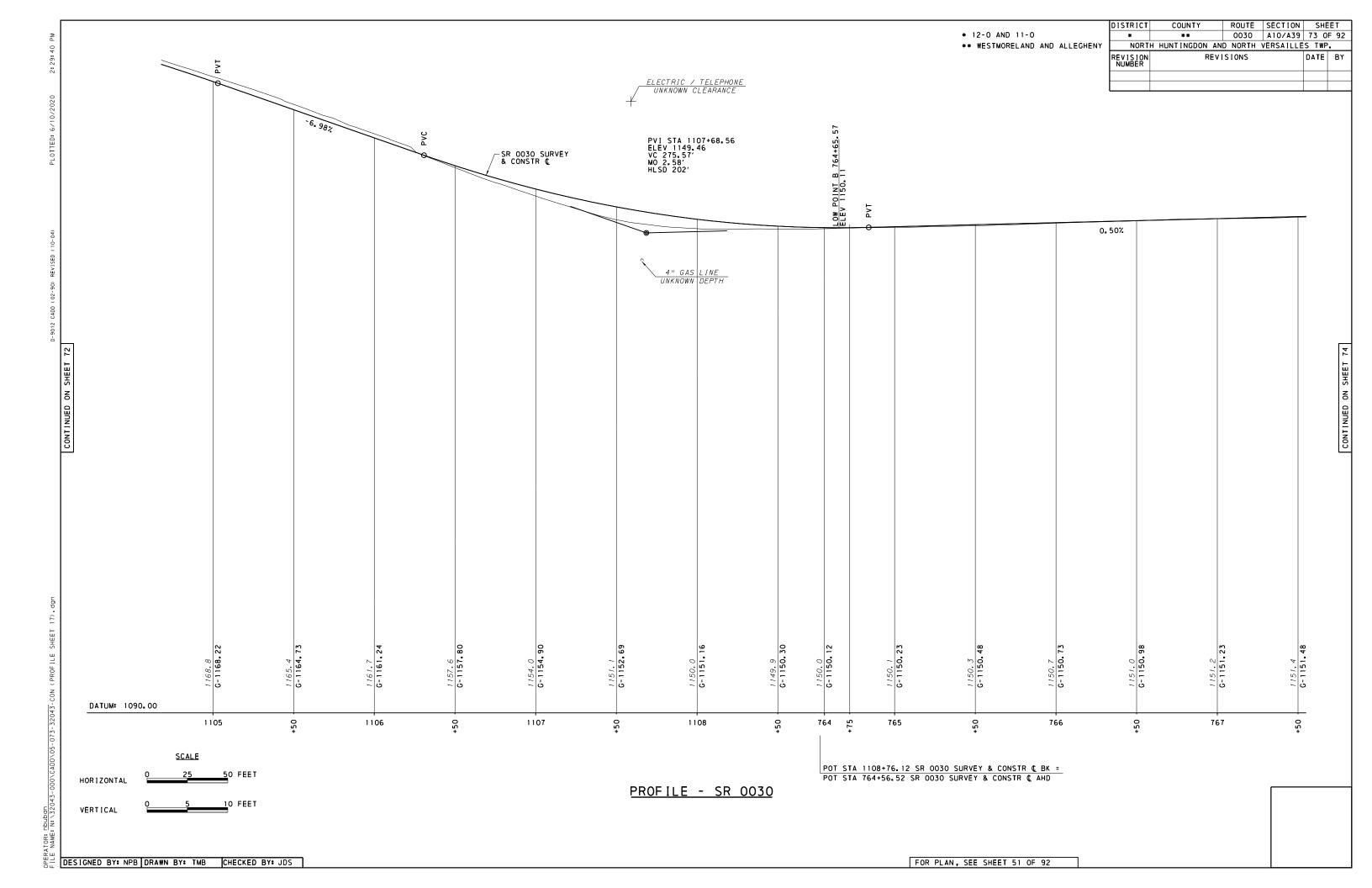


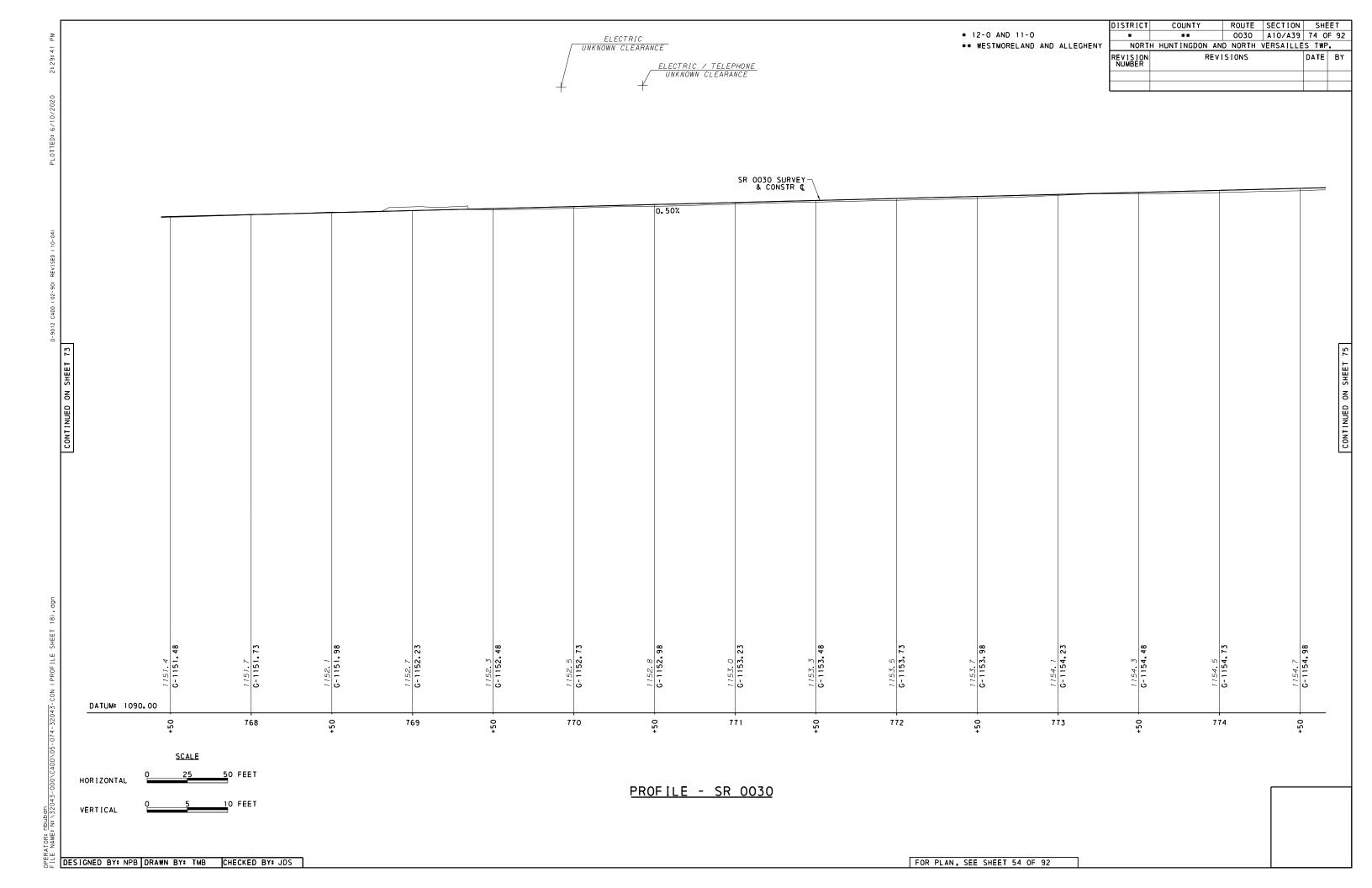


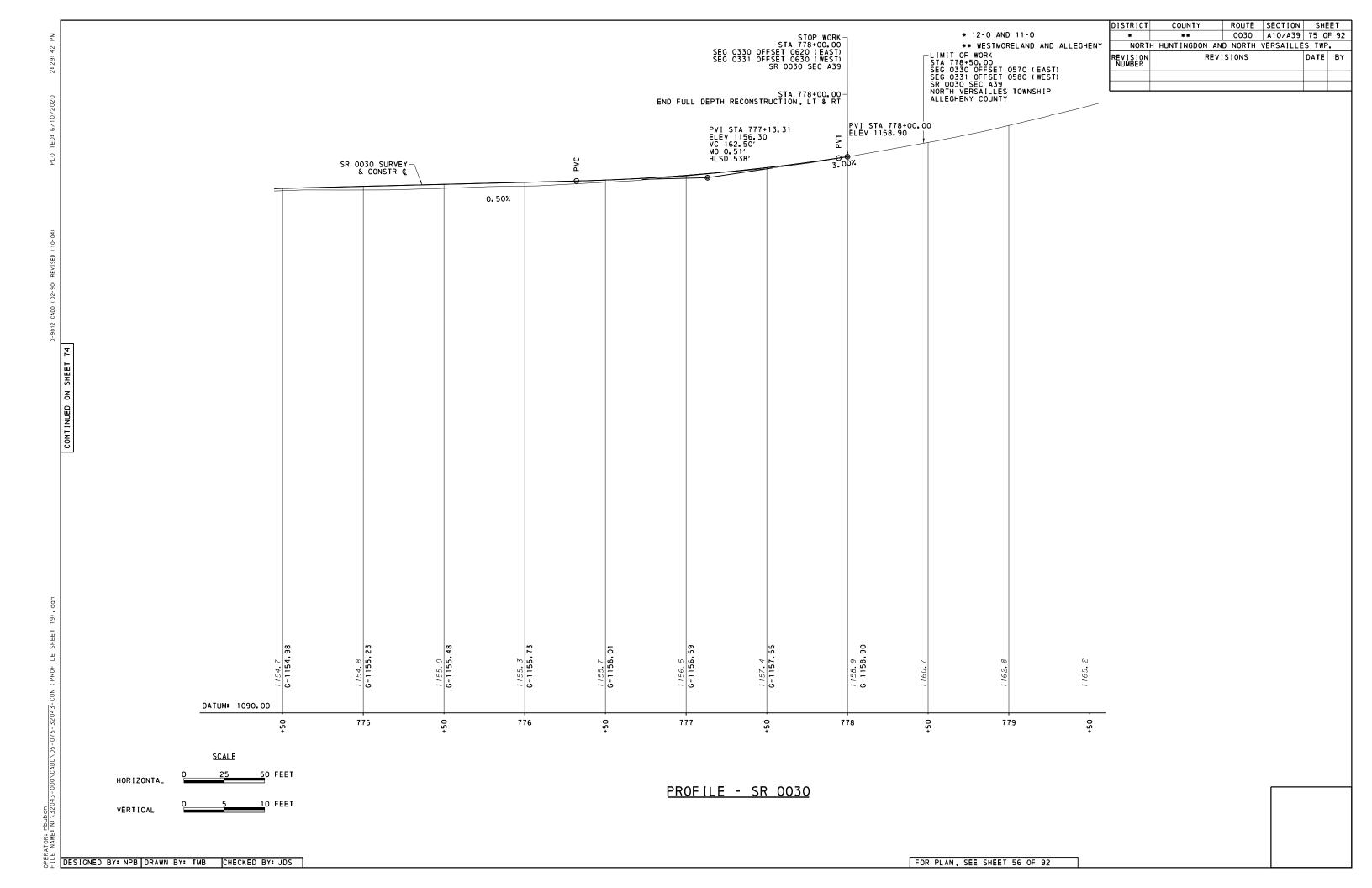


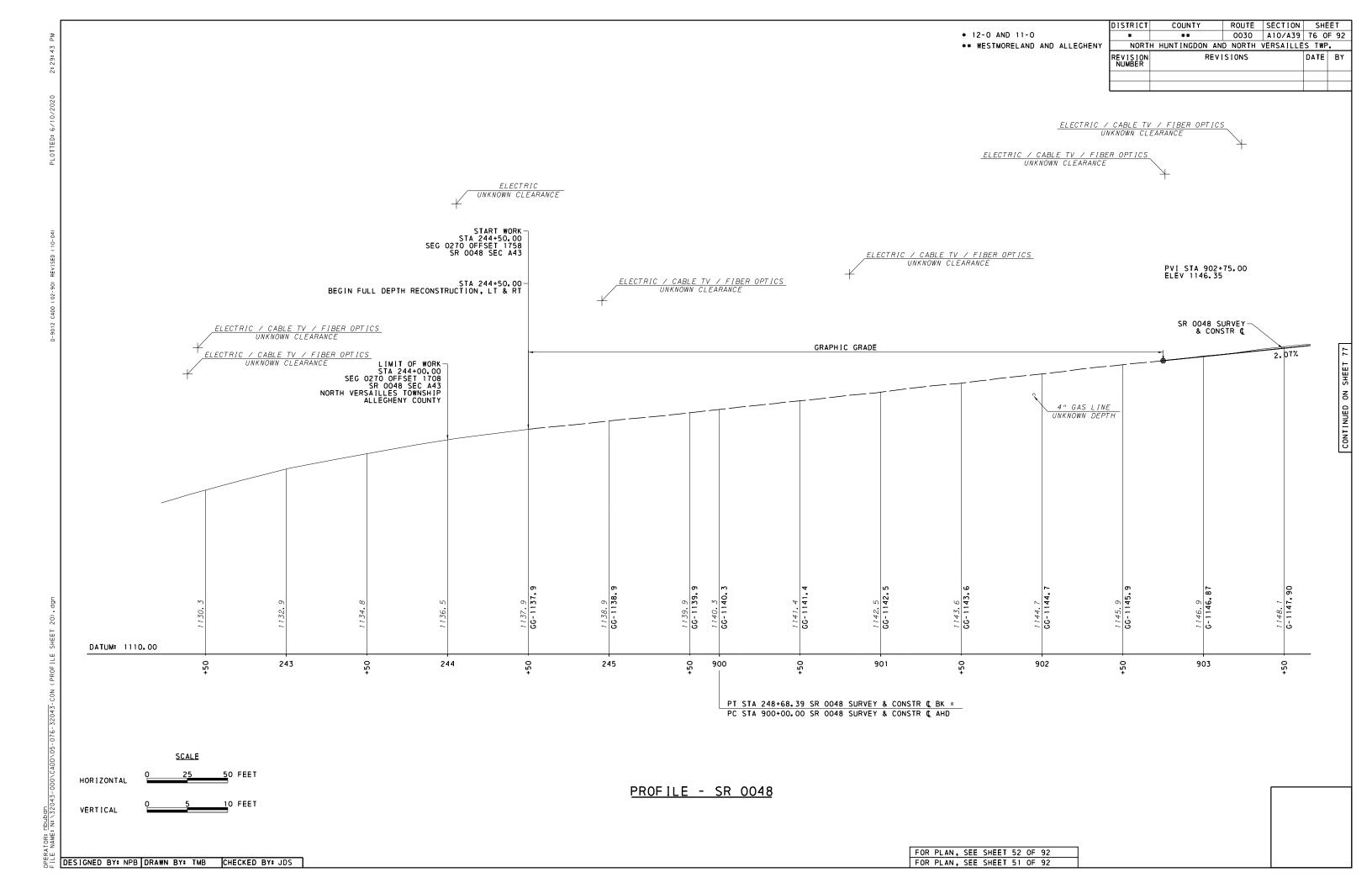


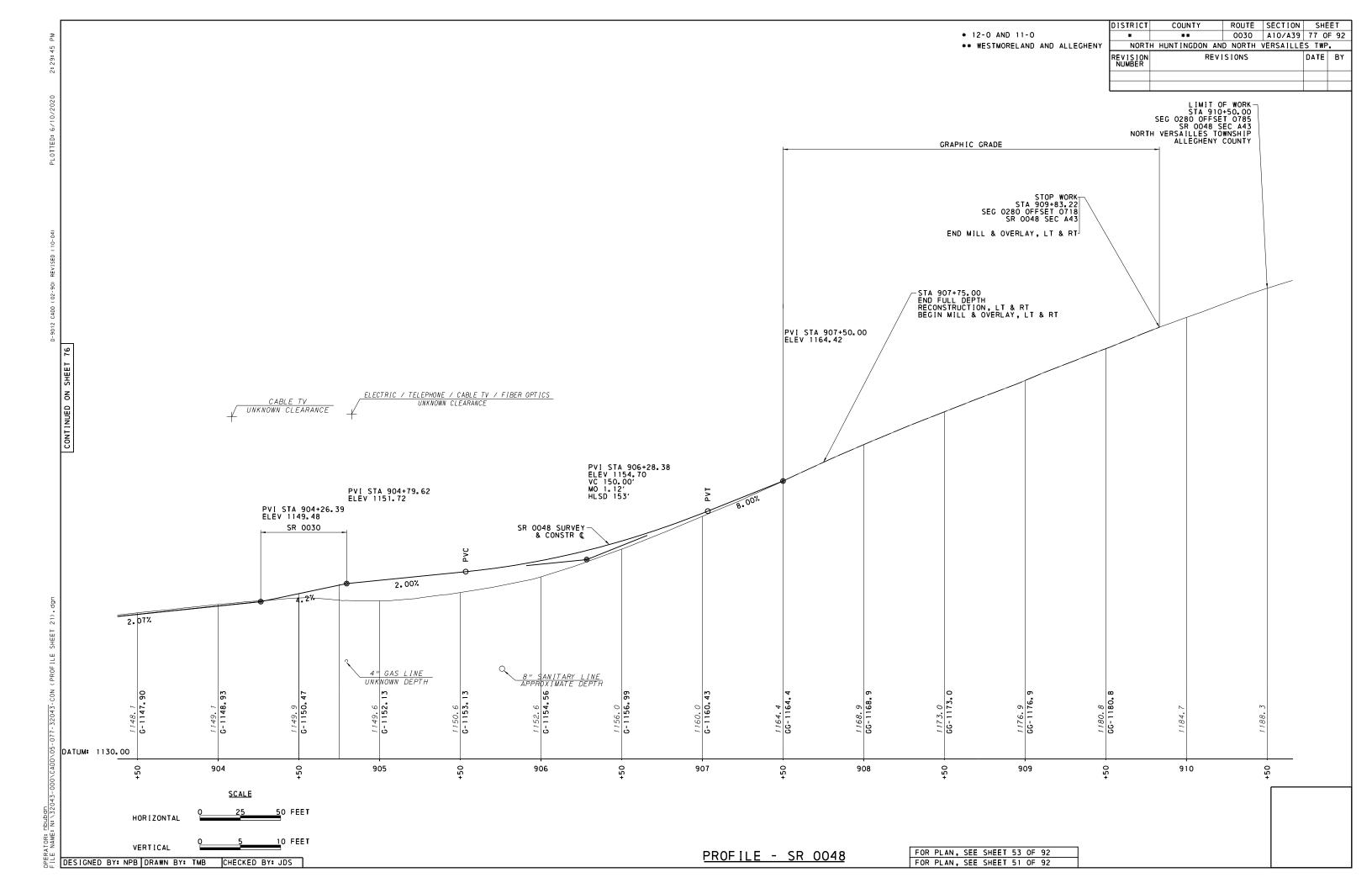


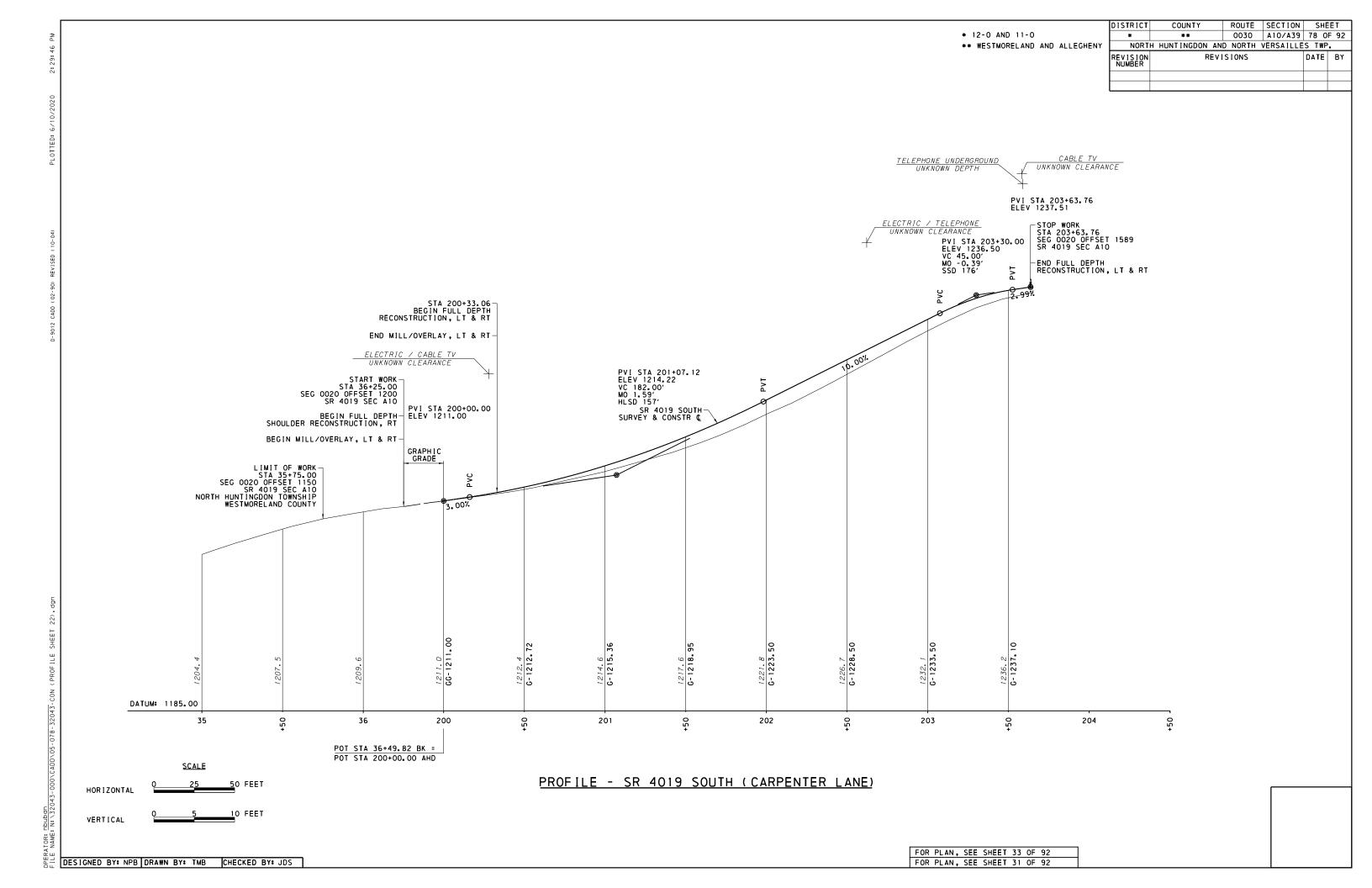












\* 12-0 AND 11-0 0030 A10/A39 79 OF 92 \*\* WESTMORELAND AND ALLEGHENY NORTH HUNTINGDON AND NORTH VERSAILLES TWP. 2:29:48 REVISIONS DATE BY PVI STA 300+12.13 ELEV 1212.55 START WORK-STA 300+12.13 WARD DRIVE BEGIN FULL DEPTH-RECONSTRUCTION, LT & RT -WARD DRIVE SURVEY & CONSTR (L PVI STA 303+13.78 ELEV 1188.42 VC 90.00' MO -0.34' SSD 405' PVI STA 303+60.46 ELEV 1183.28 STOP WORK STA 303+60.46 WARD DRIVE -END FULL DEPTH RECONSTRUCTION, LT & RT DATUM: 1160.00 +50 +50 +50 300 301 302 303 304 SCALE

HORIZONTAL

VERTICAL

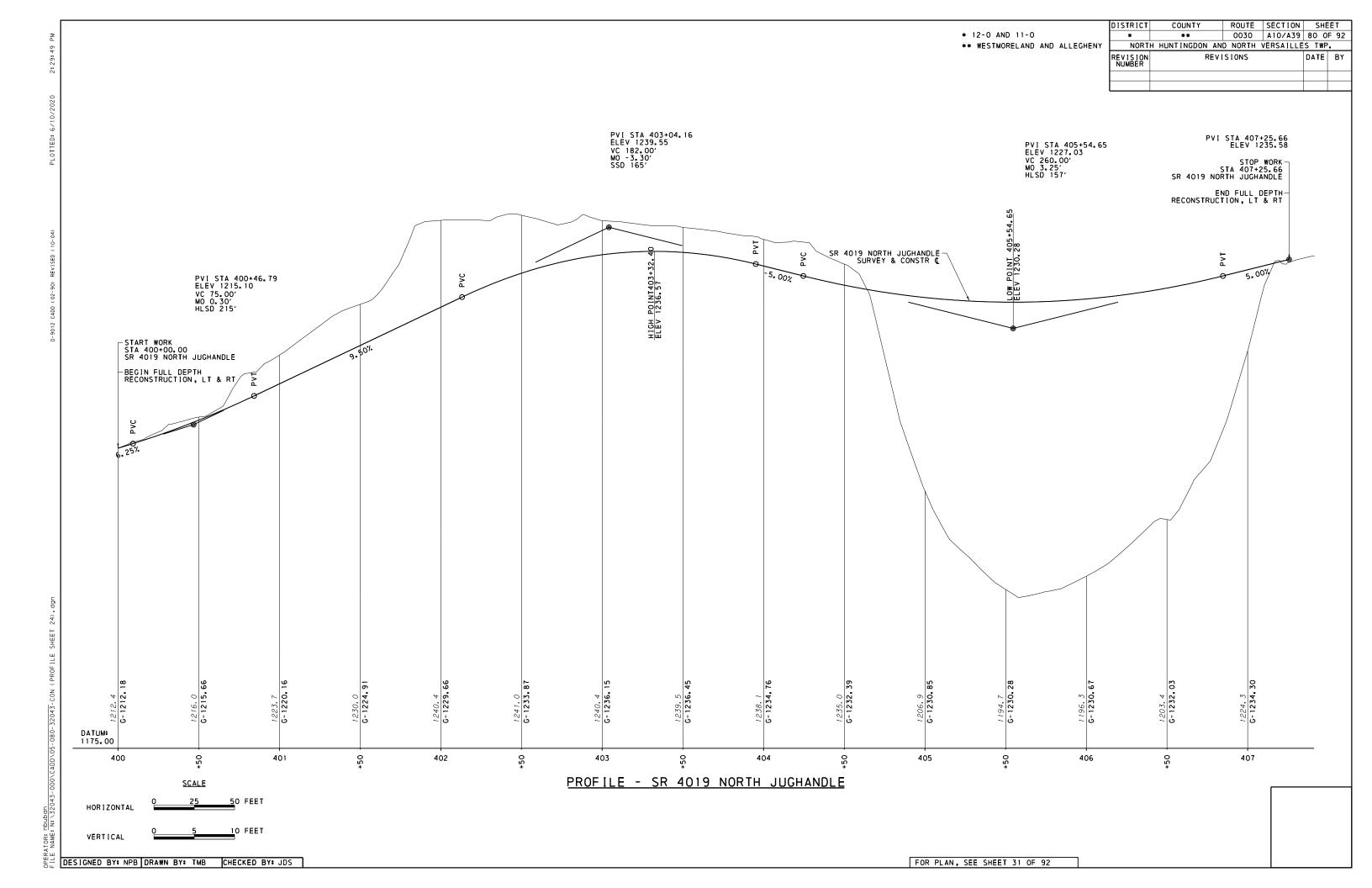
VERTICAL

DESIGNED BY: NPB DRAWN BY: TMB CHECKED BY: JDS PROFILE - WARD DRIVE FOR PLAN, SEE SHEET 33 OF 92

DISTRICT

COUNTY

ROUTE SECTION SHEET



START WORK-STA 501+00.00 SR 4019 NORTH PVI STA 501+75.00 ELEV 1241.75 PVI STA 505+70.98 ELEV 1234.78 BEGIN FULL DEPTH-RECONSTRUCTION, LT & RT GRAPHIC GRADE -STOP WORK STA 505+70.98 SR 4019 NORTH -SR 4019 NORTH SURVEY & CONSTR (L -END FULL DEPTH RECONSTRUCTION, LT & RT HIGH POINT503+04.03 ELEV 1244.54 4.00% -5. 10% DATUM: 1215.00 500 501 502 +50 503 504 +50 505 506 HORIZONTAL

VERTICAL

VERTICAL

DESIGNED BY: NPB DRAWN BY: TMB CHECKED BY: JDS PROFILE - SR 4019 NORTH (LEGER ROAD)

DISTRICT

\* 12-0 AND 11-0

FOR PLAN, SEE SHEET 32 OF 92 FOR PLAN, SEE SHEET 31 OF 92

\*\* WESTMORELAND AND ALLEGHENY

COUNTY

NORTH HUNTINGDON AND NORTH VERSAILLES TWP. REVISIONS

ROUTE SECTION SHEET

0030 A10/A39 81 OF 92

DATE BY

## 12-0 AND 11-0

## #ESTMORELAND AND ALLEGHENY

## ## 0030 | A10/A39| 82 0F 92

## WESTMORELAND AND ALLEGHENY

## ## 0030 | A10/A39| 82 0F 92

## RESTMORELAND AND ALLEGHENY

## ## 0030 | A10/A39| 82 0F 92

## RESTMORELAND AND NORTH HUNTINGOON AND NORTH HUNTING

END FULL DEPTH RECONSTRUCTION, LT & RT

+50

603

B" SANITARY LINE UNKNOWN DEPTH

602

CROWN ROAD SURVEY-& CONSTR (L

PVI STA 600+67.58 ELEV 1229.56 VC 52.00' MO 0.13' HLSD 1007'

601

PVI STA 600+25.00 ELEV 1226.15

+50

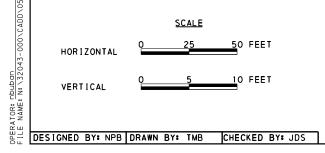
GRAPHIC GRADE

START WORK-STA 600+00.00 CROWN ROAD

DATUM: 1205.00

600

BEGIN FULL DEPTHRECONSTRUCTION, LT & RT



PROFILE - CROWN ROAD

1234. 1 G-1237. 80

FOR PLAN, SEE SHEET 32 OF 92

2:29:52 REVISIONS DATE BY PVI STA 202+13.07 ELEV 1212.01 VC 60.00' MO -1.13' SSD 102' PVI STA 202+50.00 ELEV 1213.49 -STOP WORK STA 202+50.00 MAGNUS LANE STA 202+07.86 END FULL DEPTH RECONSTRUCTION, LT & RT -END MILL & OVERLAY, LT & RT BEGIN MILL & OVERLAY, LT & RT PVI STA 200+79.52 ELEV 1186.64 VC 55.00' MO 0.76' HLSD 54' MA MAGNUS LANE SURVEY-& CONSTR (L ELECTRIC / CABLE TV UNKNOWN CLEARANCE PVI STA 200+44.53 ELEV 1183.84 START WORK-STA 200+44.53 MAGNUS LANE BEGIN FULL DEPTH-RECONSTRUCTION, LT & RT 1213.5 G-1213.49 DATUM: 1165.00 204 200 201 +50 202 203 +50 SCALE SCALE

HORIZONTAL

VERTICAL

VERTICAL

DESIGNED BY: NPB DRAWN BY: TMB CHECKED BY: JDS PROFILE - MAGNUS LANE FOR PLAN, SEE SHEET 38 OF 92

DISTRICT

\* 12-0 AND 11-0

\*\* WESTMORELAND AND ALLEGHENY

COUNTY

NORTH HUNTINGDON AND NORTH VERSAILLES TWP.

ROUTE SECTION SHEET

0030 A10/A39 83 OF 92

REVISION NUMBER REVISIONS PVI STA 200+29.09 ELEV 1160.39 START WORK-STA 200+29.09 PETERSON DRIVE BEGIN FULL DEPTH-RECONSTRUCTION, LT & RT PVI STA 201+38.49 ELEV 1151.09 VC 78.00' MO 0.29' HLSD 254' PVI STA 202+64.93 ELEV 1144.14 VC 70.00' MO -0.31' SSD 343' PETERSON DRIVE SURVEY & CONSTR (L POC STA 201+77.77 PETERSON DRIVE SURVEY & CONSTR C
POT STA 302+91.46 PETERSON DRIVE JUGHANDLE SURVEY & CONSTR C PVI STA 204+66.24 ELEV 1126.02 STOP WORK STA 204+66.24 PETERSON DRIVE -END FULL DEPTH RECONSTRUCTION, LT & RT DATUM: 1110.00 +50 200 201 202 +50 203 +50 204 205 SCALE

HORIZONTAL

VERTICAL

VERTICAL

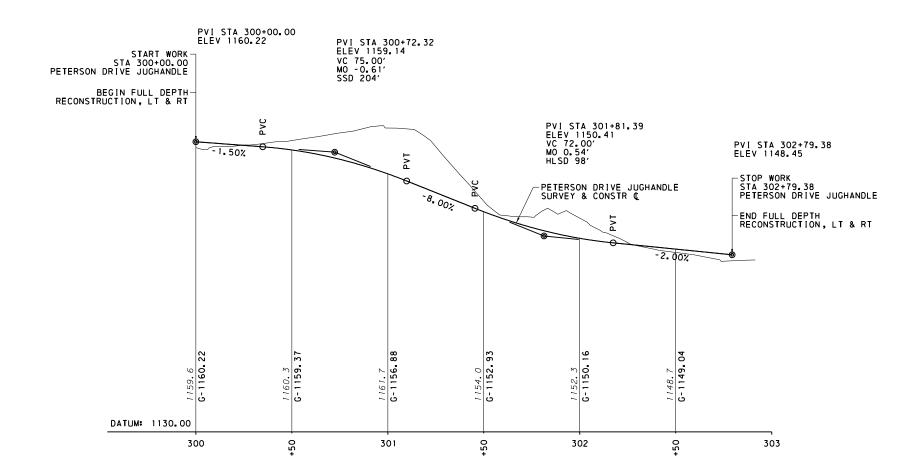
DESIGNED BY: NPB DRAWN BY: TMB CHECKED BY: JDS PROFILE - PETERSON DRIVE

2:29:53

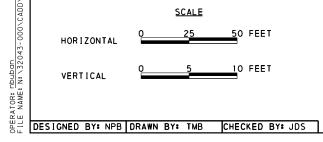
DISTRICT COUNTY ROUTE SECTION SHEET 0030 A10/A39 84 0F 92 \*\* WESTMORELAND AND ALLEGHENY NORTH HUNTINGDON AND NORTH VERSAILLES TWP. DATE BY

\* 12-0 AND 11-0

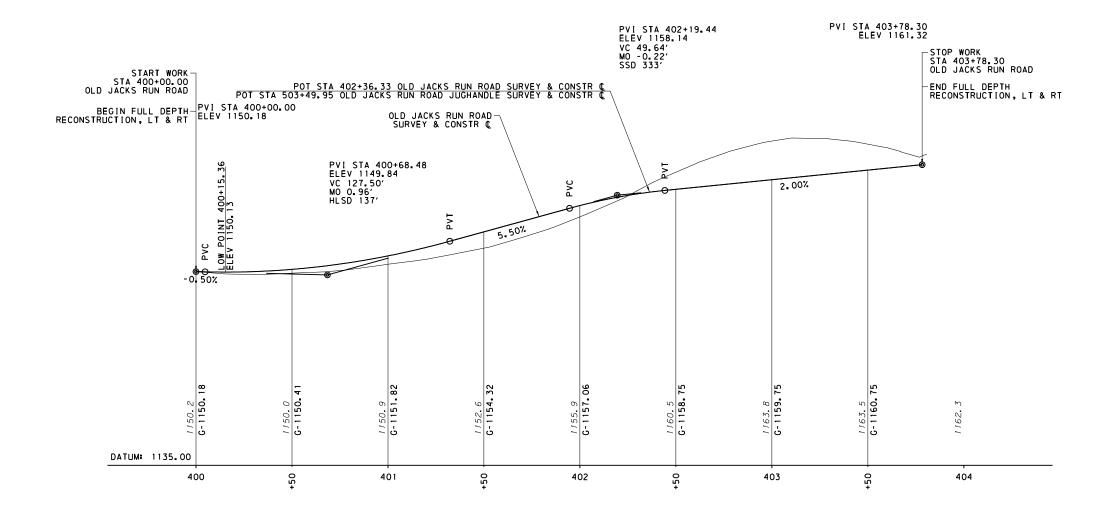
FOR PLAN, SEE SHEET 42 OF 92 FOR PLAN, SEE SHEET 40 OF 92



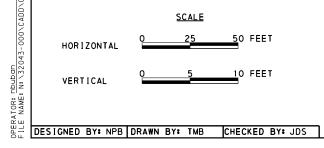
PROFILE - PETERSON DRIVE JUGHANDLE



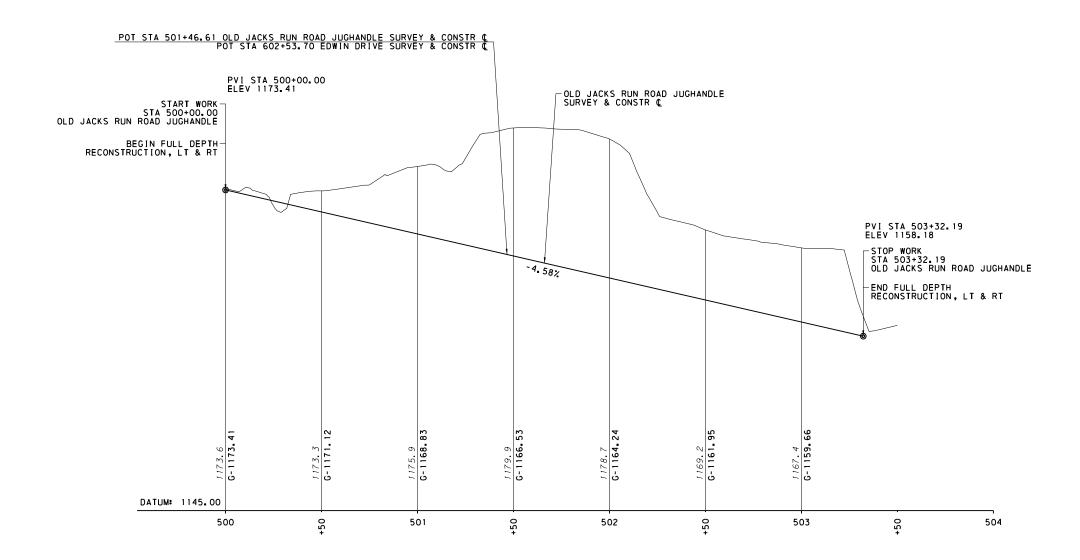
DATE BY



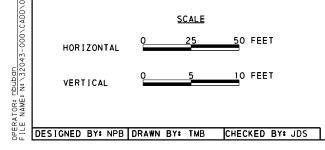
## PROFILE - OLD JACKS RUN ROAD



	DISTRICT	COUNTY	ROUTE	SECTION	SHE	ET		
	*	**	0030	A10/A39	87 0	F 92		
HENY	NORTH HUNTINGDON AND NORTH VERSAILLES TWP.							
	REVISION NUMBER	REVISIONS			DATE	BY		

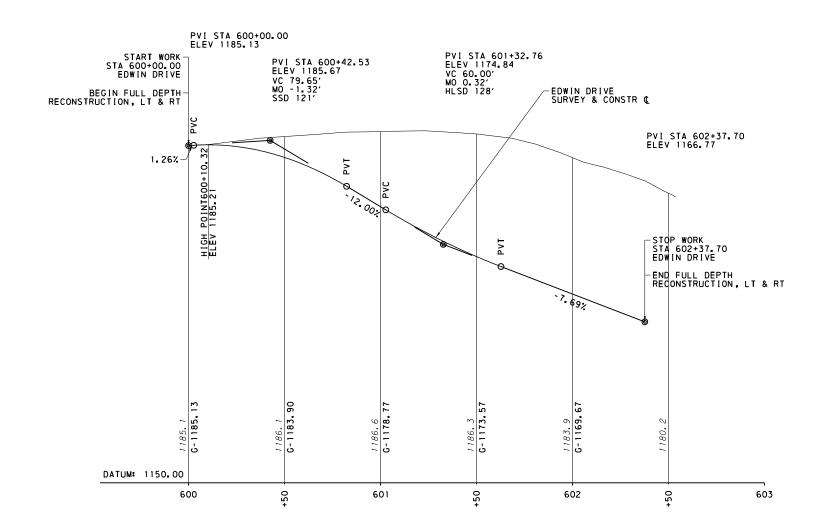


PROFILE - OLD JACKS RUN ROAD JUGHANDLE

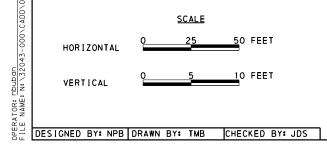


\* 12-0 AND 11-0

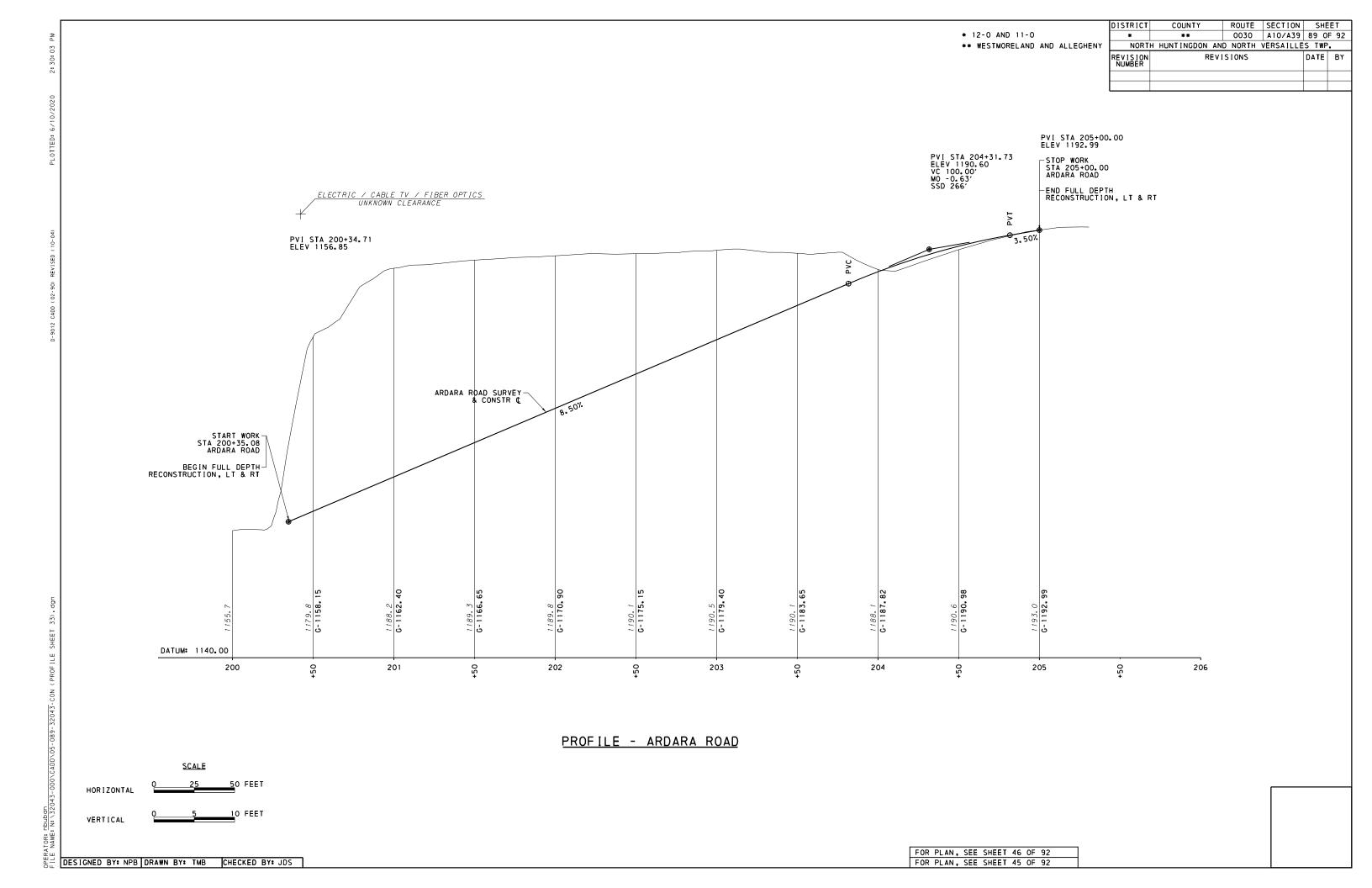
DISTRICT	COUNTY	ROUTE	SECTION	SHE	EΤ	
*	**	0030	A10/A39	88 0	F 92	
NORTH HUNTINGDON AND NORTH VERSAILLES TWP.						
REVISION NUMBER						



PROFILE - EDWIN DRIVE



2:30:02



DISTRICT COUNTY ROUTE SECTION SHEET \* 12-0 AND 11-0 0030 A10/A39 90 OF 92 \*\* WESTMORELAND AND ALLEGHENY NORTH HUNTINGDON AND NORTH VERSAILLES TWP. 2:30:04 REVISION NUMBER REVISIONS DATE BY ELECTRIC / CABLE TV / FIBER OPTICS
UNKNOWN CLEARANCE PVI STA 301+85.60 ELEV 1163.13 VC 250.00' MO 0.78' HLSD 683' PVI STA 304+32.00 ELEV 1170.52 ELECTRIC / CABLE TV / FIBER OPTICS
UNKNOWN CLEARANCE PVI STA 300+00.00 ELEV 1162.20 -STOP WORK STA 304+32.00 ARDARA ROAD JUGHANDLE -END FULL DEPTH RECONSTRUCTION, LT & RT START WORK-STA 300+00.00 ARDARA ROAD JUGHANDLE BEGIN FULL DEPTH-RECONSTRUCTION, LT & RT 3.00% 0.50% ARDARA ROAD JUGHANDLE SURVEY & CONSTR (L DATUM: 1145.00 300 301 +50 302 +50 303 +50 304 +50 305 PROFILE - ARDARA ROAD JUGHANDLE **SCALE** HORIZONTAL

O 25 50 FEET

VERTICAL

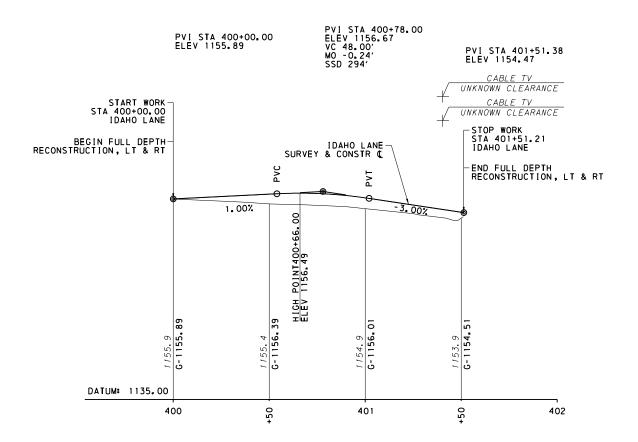
VERTICAL

O 5 10 FEET

VERTICAL

DESIGNED BY: NPB DRAWN BY: TMB CHECKED BY: JDS FOR PLAN, SEE SHEET 46 OF 92 FOR PLAN, SEE SHEET 45 OF 92

DISTRICT COUNTY ROUTE SECTION SHEET \* \*\* 0030 A10/A39 91 OF 92
NORTH HUNTINGDON AND NORTH VERSAILLES TWP. \* 12-0 AND 11-0 \*\* WESTMORELAND AND ALLEGHENY REVISION NUMBER REVISIONS DATE BY



PROFILE - IDAHO LANE

**SCALE** HORIZONTAL

O

25

50

FEET

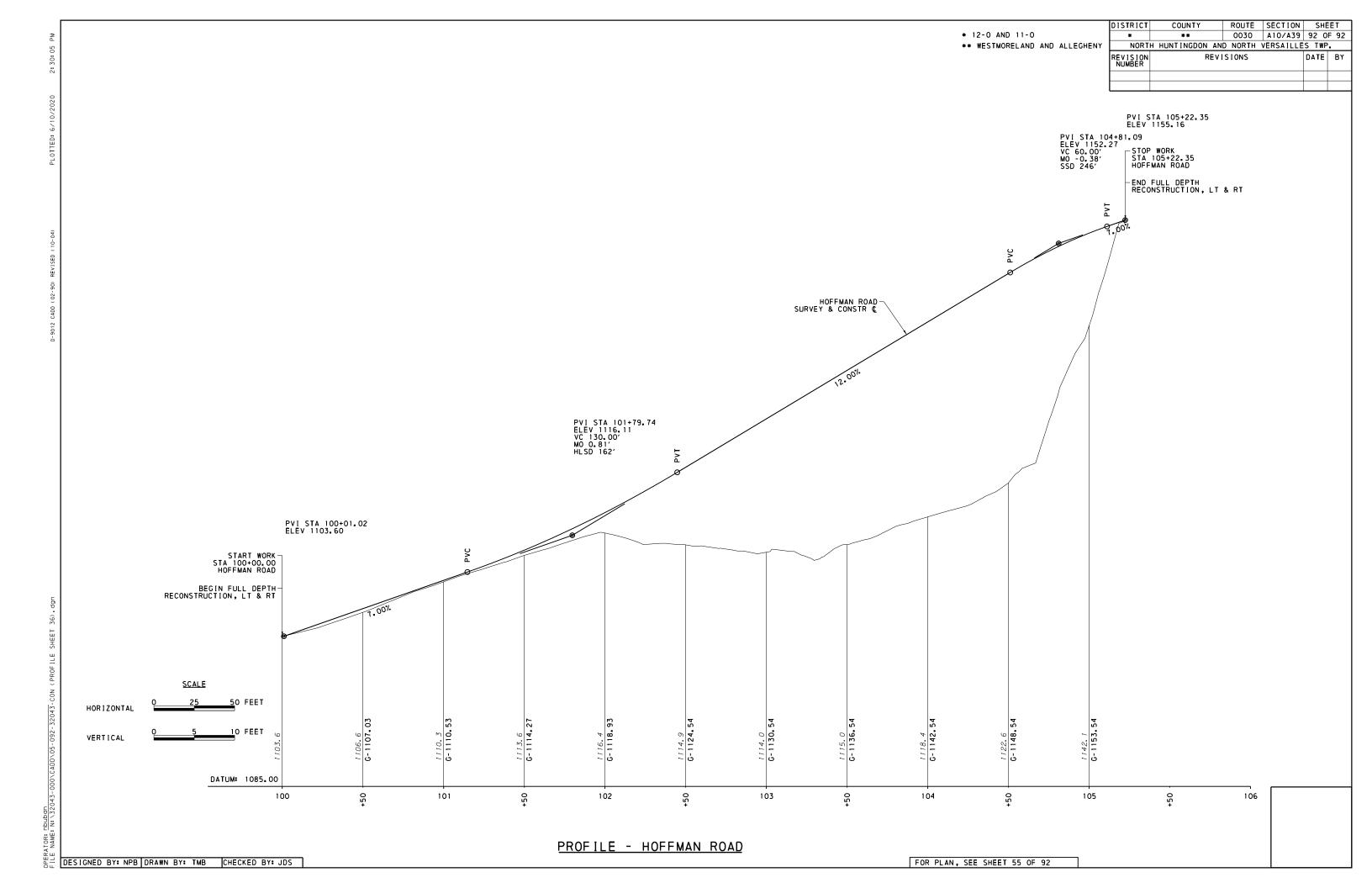
VERTICAL

VERTICAL

DESIGNED BY: NPB DRAWN BY: TMB CHECKED BY: JDS

2:30:05

FOR PLAN, SEE SHEET 45 OF 92



Appendix B Interviews



BY: CALL TO:	Adam Kimmerle  North Huntingdon Police Department	DATE: CALL FROM:	3-24-2020
OF: PHONE: PROJ. NO.:	724-863-8800 15-003B	OF: PHONE: PROJ. NAME:	412-583-1585  SR 0030 Corridor Improvement Project Phase I ESA

#### QUESTIONS AND CONCERNS ABOUT PROPOSED PROJECT

On March 24, 2020 14:05, Markosky had called the North Huntingdon Police Department to discuss the Route 30 Expansion project as well as the extent of any accidents that occurred on Route 30 within their jurisdiction. The dispatcher, Jeremy, stated that he nor his fellow officers responded to any accidents or spills involving fuel or chemical tankers.

When asked if any current businesses had previously been gas stations, he stated that Ferrari's Pizza could have been, but before his time. Jeremy asked the other officers if they could remember and they could not recall.

Markosky had also asked if there was knowledge if the Sheetz Store 313 had always been a gas station and what was on the property beforehand. Jeremy responded that the Sheetz had been there for at least 20 years to his knowledge.



BY:	Adam Kimmerle	DATE:	3-24-2020
CALL TO:	Hartford Heights Firemans Club	CALL FROM:	
OF:		OF:	
PHONE:	724-823-9354	PHONE:	
PROJ. No.:	15-003B	PROJ. NAME:	SR 0030 Corridor Improvement Project Phase I ESA

## QUESTIONS AND CONCERNS ABOUT PROPOSED PROJECT

On March 24, 2020 14:30, Markosky had called the Hartford Heights Firemans Club to discuss the Route 30 Expansion project as well as the extent of any accidents that occurred on Route 30 within their jurisdiction. There was no answer or an answering machine, therefore, a message was not left in the general voicemail box.



#### **TELECOM MEMO** Adam Kimmerle 3-24-2020 BY: DATE: North Huntingdon CALL TO: CALL Township Building FROM: OF: OF: 724-823-9354 PHONE: PHONE: SR 0030 Corridor 15-003B PROJ. PROJ. Improvement Project Phase I NO.: NAME: ESA

#### QUESTIONS AND CONCERNS ABOUT PROPOSED PROJECT

On March 24, 2020 15:00, Markosky had called the North Huntingdon Township Building to discuss the Route 30 Expansion project as well as the extent of any accidents that occurred on Route 30 within their jurisdiction. There was no answer or an answering machine, therefore, a message was not left in the general voicemail box.



BY:	Adam Kimmerle	DATE:	3-24-2020
CALL TO:	North Versailles Police Department	CALL FROM:	
OF:		OF:	
PHONE:	724-823-9354	PHONE:	
PROJ. No.:	15-003B	PROJ. NAME:	SR 0030 Corridor Improvement Project Phase I ESA

## QUESTIONS AND CONCERNS ABOUT PROPOSED PROJECT

On March 24, 2020 15:15, Markosky had called the North Versailles Police Department to discuss the Route 30 Expansion project as well as the extent of any accidents that occurred on Route 30 within their jurisdiction. The dispatcher transferred the phone call to the Chief's line. There was no answer, so a message was left on the Chief's voicemail.



BY:	Adam Kimmerle	DATE:	3-24-2020
CALL TO:	North Versailles Fire Department	CALL FROM:	
OF:		OF:	
PHONE:	724-823-9354	PHONE:	
PROJ. No.:	15-003B	PROJ. NAME:	SR 0030 Corridor Improvement Project Phase I ESA

## QUESTIONS AND CONCERNS ABOUT PROPOSED PROJECT

On March 24, 2020 15:35, Markosky had called the North Versailles Fire Department to discuss the Route 30 Expansion project as well as the extent of any accidents that occurred on Route 30 within their jurisdiction. There was no answer, so a message was left in the general voicemail box.

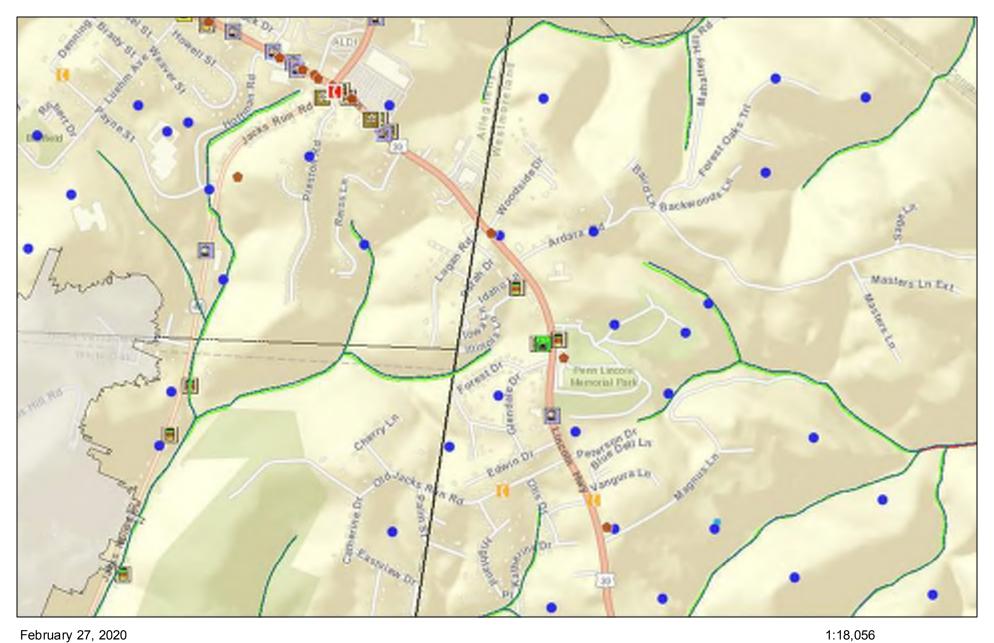


BY: CALL TO:	Adam Kimmerle  North Versailles Township Building	DATE: CALL FROM:	3-24-2020
OF: PHONE:	724-823-9354	OF: PHONE:	CD 0020 C
PROJ. No.:	15-003B	PROJ. NAME:	SR 0030 Corridor Improvement Project Phase I ESA

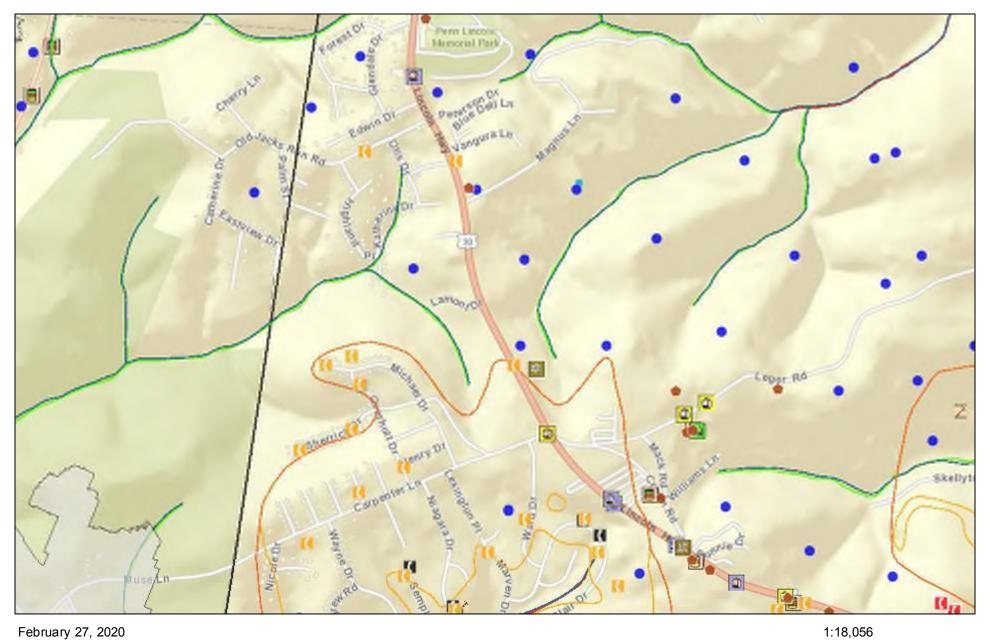
## QUESTIONS AND CONCERNS ABOUT PROPOSED PROJECT

On March 24, 2020 15:40, Markosky had called the North Versailles Township Building to discuss the Route 30 Expansion project as well as the extent of any accidents that occurred on Route 30 within their jurisdiction, previous land use of the area, and/or known underground storage tanks. There was no answer, so a message was left on the receptionist's voicemail.

Appendix C
State and Federal Review Results



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand),



0 0.15 0.3 0.6 mi

Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand),

#### Legend

Complaints

Complaints

Complaint

ER Incident

AML Inquiry

C

Federal EPA Sites

**Envirofacts Facilities** 

Regulated Facilities and Related Information

Mining

Orphan Mine Discharge

٠<u>٩</u>

AML Point Feature

1

AML Inventory Site

AML Polygon Feature

Digitized Mined Area

Oil and Gas

Unconventional Wells

Conventional Wells

Radiation

Radiation Facility

XRay Machine



Sample Information System

Sample Points



Monitoring Points

Ambient

Discharge

Drill Hole

Impoundment

Mining

Other

Sediment Pond

Surface Water

Treatment Facility

Wells

Streams and Water Resources

Surface Water Related

PAGWIS Well Water Inventory

PA Historic Streams

Fish Information

Trout Stocked Streams

Approved Trout Waters

Water Monitoring

DEP Assessment Stations

SSWAP

Stream MI

Water Quality

2014 Integrated Report Data

IR 2014 Aquatic Life

IR 2014 Recreational

IR 2014 Fish Consumption

IR 2014 Potable Water Supply

Attaining Streams Assessments

Approved

··· Tentative

Non Attaining Streams Assessments

Approved

··· Tentative

TMDL Streams

Final

Tenative

**Existing Use Streams** 

Cold Water Fish

Exceptional Value

High Quallity

Trout Stocking

Warm Water Fish

Overlap

Existing Use Streams Migratory Fish

Designated Use Streams

Cold Water Fish

— Exceptional Value

— High Quality

Trout Stocking

Warm Water Fish

Overlap

— Missing from CH93

Designated Use Streams Migratory Fish

Storage Tanks

Storage Tanks Active



Storage Tanks Inactive



Waste

Residual Waste Operation

Generator - RWO



Captive Hazardous Waste Operation

Hazardous Generator Captive





eFACTS on the Web DEP Information About DEP DEP Home	Site Details	South	West Regional Office	Site Search	Sites by C	ounty/Muni Search
Search eFACTS	Site ID:	516775				
Authorization Search						
Client Search	Site Name:	NORWIN	DODGE			
Facility Search		13230 S	TATE ROUTE 30			
Inspection Search	Address:		HUNTINGDON, PA 15642-1327			
Mammography Search						
Name Search	Status:	Active				
Pollution Prevention						
Sites by	Clients (2)		Programs (2)		PA Municipalit	ios (1)
County/Municipality						
Site Search	Client List		DEP Programs		Municipalities/Countie	es
Other Sites	NORWIN DODGE (132447)		Environmental Cleanup & Brownfields		North Huntingdon Tv	vp, Westmoreland County
eMapPA	PENNZOIL QUAKER STATE CO (110995)		Waste Management			
eNotice			Waste Hanagement			
EPA ECHO EPA Envirofacts						
	Site Permits (0)					
Permits, Licensing, and Certification	No records matched the criteria.					
The PA Code						
	Facility Permits (0)					
	No records matched the criteria.					
	Site-Level and Primary Fa	cility-Le	vel Inspections (0)			
	No records matched the criteria.					

1 of 1



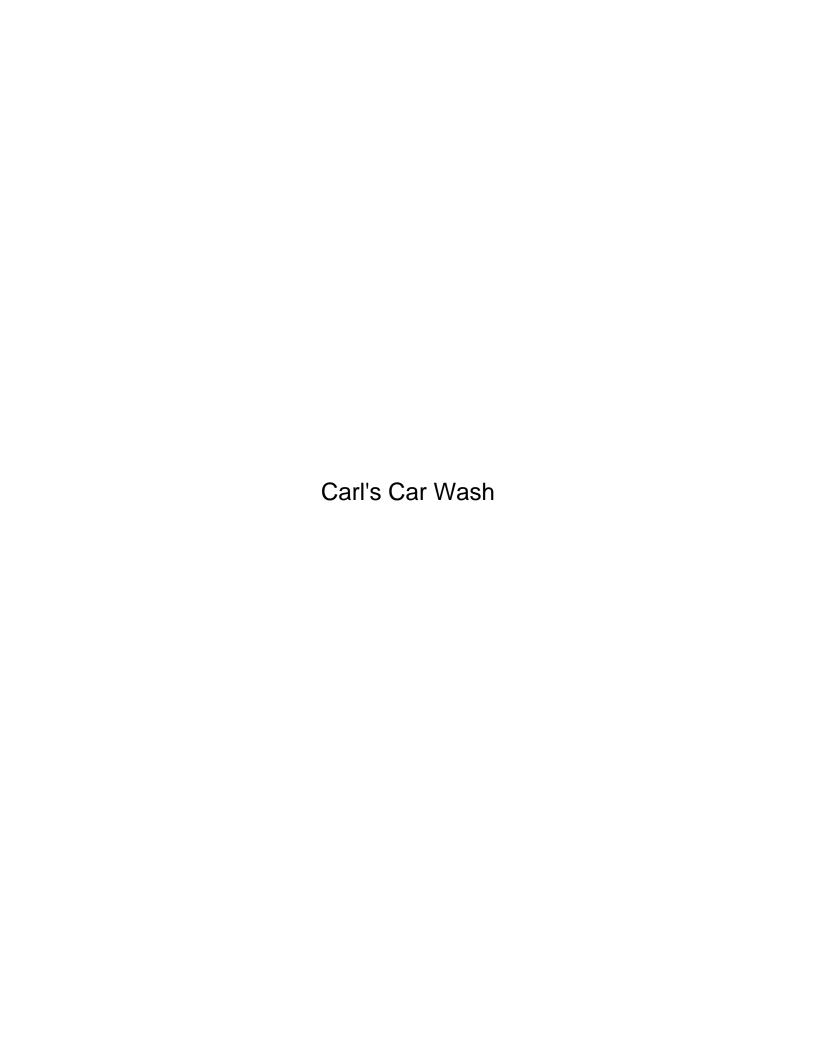
PA Municipalities (1)

Westmoreland County

Sites by County/Muni Search

eFACTS on the Web	=			
DEP Information				
About DEP	Site Details	South West R	<u>egional Office</u>	Site Search
DEP Home				
Search eFACTS	Site ID:	591855		
Authorization Search				
Client Search	Site Name:	FREEDOM RIVE	ĒR	
Facility Search	_	13460 STATE F	ROUTE 30	
Inspection Search	Address:		NGDON, PA 15642-113	4
Mammography Search			100011, 171 10012 110	•
Name Search	Status:	Inactive		
Pollution Prevention				
Sites by	Clianta (1)		Due (1)	
County/Municipality	Clients (1)		Programs (1)	
Site Search	Client List		DEP Programs	
Other Sites	BUDGET RENT A CAR SYS INC (123681)	)	Environmental Cleanup & Br	ownfields
eMapPA	_	<u></u>		
eNotice				
EPA ECHO	Site Permits (0)			
EPA Envirofacts	No records matched the criteria.			
Permits, Licensing, and Certification				
The PA Code	Facility Permits (0)			
THE TY CODE	No records matched the criteria.			
	No records matched the criteria.			
	Site-Level and Primary F	acility-l evel Ir	nspections (0)	
	No records matched the criteria.		(0)	
	No records matched the criteria.			

1 of 1 12/10/2020, 5:47 AM



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Site Details	South West Regional Office	Site Search	Sites by County/Muni Search	
Site ID:	591575			
Site Name:	CARLS CAR WASH			
Address:	13539 STATE ROUTE 30 NORTH HUNTINGDON, PA 15642-1112	2		
Status:	Inactive			
Clients (1)	Programs (1)	PA Municip	alities (1)	
Client List	DEP Programs	Municipalities/C	ounties	
KARL SINGER (164921)	Environmental Cleanup & Brownfields	North Huntingd	on Twp, Westmoreland County	
Site Permits (0)  No records matched the criteria.				
Facility Permits (0)				
No records matched the criteria.				

Site-Level and Primary Facility-Level Inspections (0)

No records matched the criteria.

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EPA ECHO				
EPA Envirofacts				
Permits, Licensing, and				
Certification				
The PA Code				

Site Details	South West Regional Office	Site Search	Sites by County/Muni Search
Site ID:	591699		
Site Name:	SHEETZ STORE NO 313		
Address:	13700 STATE ROUTE 30 NORTH HUNTINGDON, PA 1564.	2-1111	
Status:	Active		

	Clients (1)	Programs (2)	PA Municipalities (1)
	Client List	DEP Programs	Municipalities/Counties
,	<u>SHEETZ INC (36334)</u>	Environmental Cleanup & Brownfields	North Huntingdon Twp, Westmoreland County
		Waste Management	

#### Site Permits (0)

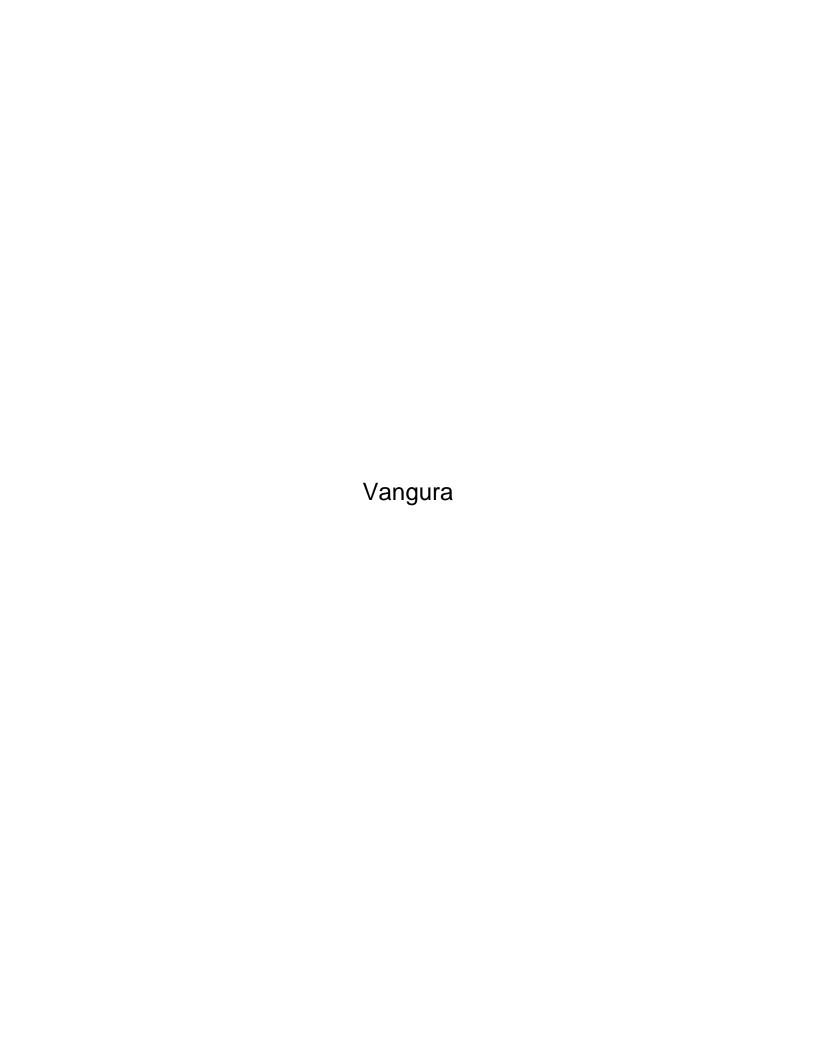
No records matched the criteria.

## Facility Permits (0)

No records matched the criteria.

# Site-Level and Primary Facility-Level Inspections (0)

No records matched the criteria.



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EPA Envirofacts
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The PA Code

Site Details	South West Regional Office	<u>Site Search</u>	Sites by County/Muni Search
Site ID:	484564		
Site Name:	VANGURA LAMINATED PRO	D	
Address:	14431 ROUTE 30 NORTH HUNTINGDON, PA	15642	
Status:	Active		

Clients (1)	Programs (1)	PA Municipalities (1)	
Client List	DEP Programs	Municipalities/Counties	
VANGURA LAMINATED PROD INC (112124)	Waste Management	North Huntingdon Twp, Westmoreland County	

## Site Permits (0)

No records matched the criteria.

#### Facility Permits (0)

No records matched the criteria.

# Site-Level and Primary Facility-Level Inspections (4)

Inspection ID	Inspection Date	Inspection Type	Inspection Results
1845075	11/20/2009	Follow-up Inspection	Viol(s) Noted & Immediately Corrected <u>View Details</u>
1846618	11/20/2009	Follow-up Inspection	Outstanding Violations - No Viols Req'd <u>View Details</u>
1833754	10/01/2009	Compliance Evaluation	Violation(s) Noted <u>View Details</u>
1834094	10/01/2009	Routine/Complete Inspection	Violation(s) Noted <u>View Details</u>

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# **Violation Details for Inspection ID: 1834094**

Facility: VANGURA LAMINATED PRODUCTS INC (513318)

Program: Residual Waste

Disclaimer: The dollar amounts listed below are for the entire related enforcement, and may encompass many sites/facilities. The Total Amount Collected may or may not be related to the Penalty Amount Assessed, depending on how your program or regional office records payments in eFACTS. Questions regarding payments or penalties should be directed to the eFACTS Help Desk at:

(717) 705–3768 or mailto:ep-efactshelpdeskteam@pa.gov

- [	Violation ID	Date	Violation Description
-	573128	10/01/2009	Whole and processed tires are improperly stored as required.
_			Resolution: Addressed Through Enforcement
			PA Code Legal Citation: 25 Pa. Code 299.155 : <u>PA Code Website</u>
_			Violation Type: Environmental Health & Safety
-			Enforcement Type: No Enforcement Data

Violation ID	Date	Violation Description
573125	10/01/2009	Annual analysis or certification of waste is not submitted to the Department and the designated facility.
		Resolution: Addressed Through Enforcement
		PA Code Legal Citation: 25 Pa. Code 287.54(e),(f): PA Code Website
		Violation Type: Administrative
		Enforcement Type: No Enforcement Data

Violation ID	Date	Violation Description
573126	10/01/2009	Person or municipality mixed waste with hazardous waste.
		Resolution: Corrected/Abated
		PA Code Legal Citation: 25 Pa. Code 299.111(1): PA Code Website
		Violation Type: Environmental Health & Safety
		Enforcement Type: No Enforcement Data

Violation ID	Date	Violation Description
573124	10/01/2009	Person or municipality has no written source reduction strategy on site of generation of waste.
		Resolution: Addressed Through Enforcement
		PA Code Legal Citation: 25 Pa. Code 287.53: PA Code Website
		Violation Type: Administrative
		Enforcement Type: No Enforcement Data

Violation ID	Date	Violation Description
573122	10/01/2009	Designated facility has no valid permit.
		Resolution: Addressed Through Enforcement
		PA Code Legal Citation: 25 Pa. Code 287.6: PA Code Website
		Violation Type: Environmental Health & Safety
		Enforcement Type: No Enforcement Data

Violation ID	Date	Violation Description
573127	10/01/2009	Equipment is not maintained in operable condition.
		Resolution: Corrected/Abated
		PA Code Legal Citation: 25 Pa. Code 299.114(a): PA Code Website
		Violation Type: Environmental Health & Safety
		Enforcement Type: No Enforcement Data

Violation ID	Date	Violation Description
573123	10/01/2009	Biennial report is not submitted by March 1 of each odd numbered year.
		Resolution: Addressed Through Enforcement
		PA Code Legal Citation: 25 Pa. Code 287.52(a): PA Code Website
		Violation Type: Administrative
		Enforcement Type: No Enforcement Data

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# **Violation Details for Inspection ID: 1833754**

Facility: VANGURA LAMINATED PRODUCTS INC (513320)

Program: Hazardous Waste

Disclaimer: The dollar amounts listed below are for the entire related enforcement, and may encompass many sites/facilities. The Total Amount Collected may or may not be related to the Penalty Amount Assessed, depending on how your program or regional office records payments in eFACTS. Questions regarding payments or penalties should be directed to the eFACTS Help Desk at:

(717) 705–3768 or mailto:ep-efactshelpdeskteam@pa.gov

Violation ID	Date	Violation Description	
573025	10/01/2009	acility failed to properly manage waste at the point of generation.	
		solution: Corrected/Abated	
		PA Code Legal Citation: 40 CFR 262.34(c) as incorporated in 25 PA Code 262a.10 : PA Code Website	
		fiolation Type: Environmental Health & Safety	
		Enforcement Type: No Enforcement Data	

Violation ID	Date	Violation Description	
573024	10/01/2009	QG 200 miles or more transport, 270 days accumulation time	
		solution: Corrected/Abated	
		. Code Legal Citation: 40 CFR 262.34 (e) as incorporated in 25 PA Code 262a.10 : PA Code Website	
		lation Type: Environmental Health & Safety	
		nforcement Type: No Enforcement Data	

Violation ID	Date	Violation Description	
573023	10/01/2009	Senerators must determine if their solid waste is a hazardous waste	
		solution: Corrected/Abated	
		A Code Legal Citation: 40 CFR 262.11 as incorporated in 25 PA Code 262a.10 : PA Code Website	
		olation Type: Environmental Health & Safety	
		nforcement Type: No Enforcement Data	

Violation ID	Date	Violation Description	
573026	10/01/2009	erson or municipality has violated Act 97, Department regulation, order, or term of permit.	
		esolution: Corrected/Abated	
		PA Code Legal Citation: 35 P.S. 6018.610(9): PA Code Website	
		iolation Type: Environmental Health & Safety	
		Enforcement Type: No Enforcement Data	

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Р	ollution Prevention
	ites by
C	County/Municipality
S	ite Search
Otl	ner Sites
е	MapPA
е	Notice
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E	PA Envirofacts
	ermits, Licensing, and
	Certification
Т	he PA Code

# **Violation Details for Inspection ID: 1845075**

Facility: VANGURA LAMINATED PRODUCTS INC (513320)

Program: Hazardous Waste

Disclaimer: The dollar amounts listed below are for the entire related enforcement, and may encompass many sites/facilities. The Total Amount Collected may or may not be related to the Penalty Amount Assessed, depending on how your program or regional office records payments in eFACTS. Questions regarding payments or penalties should be directed to the eFACTS Help Desk at:

(717) 705–3768 or mailto:ep-efactshelpdeskteam@pa.gov

Violation ID	Date	Violation Description	
576208	11/20/2009	Containers of hazardous waste are not closed during storage	
		esolution: Corrected/Abated	
		PA Code Legal Citation: 40 CFR 265.173(a) as incorporated in 25 PA Code 265a.1 : PA Code Website	
		iolation Type: Environmental Health & Safety	
		Enforcement Type: No Enforcement Data	

Violation ID	Date	Violation Description	
576209	11/20/2009	aste in containers or tanks accumulated on-site for greater than 90 days	
		esolution: Corrected/Abated	
		PA Code Legal Citation: 40 CFR 262.34(a) as incorporated in 25 PA Code 262a.10 : PA Code Website	
		Violation Type: Environmental Health & Safety	
		Enforcement Type: No Enforcement Data	



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EPA Envirofacts
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-	Site Details	South West Regional Office	Site Search	Sites by County/Muni Search	
-	Site ID:	563305			
	Site Name:	NORTH VERSAILLES ICE			
-	Address:	1901 LINCOLN HWY NORTH VERSAILLES, PA 15137			
	Status:	Active			
	Clients (1)	Programs (1)		PA Municipalities (1)	
	Client List	DEP Programs		Municipalities/Counties	
	WILLIAM BALSAMICO (181392)	Environmental Cleanup & Brownfields		North Versailles Twp, Allegheny County	

## Site Permits (0)

No records matched the criteria.

# Facility Permits (0)

No records matched the criteria.

Site-Level and Primary Facility-Level Inspections (1)

Inspection ID	Inspection Date	Inspection Type	Inspection Results
1264951	08/04/2003	Administrative/File Review	Violation(s) Noted <u>View Details</u>

1 of 1 2/19/2020, 9:39 AM

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# **Violation Details for Inspection ID: 1264951**

Facility: NORTH VERSAILLES ICE (578170)

Program: Storage Tanks

Disclaimer: The dollar amounts listed below are for the entire related enforcement, and may encompass many sites/facilities. The Total Amount Collected may or may not be related to the Penalty Amount Assessed, depending on how your program or regional office records payments in eFACTS. Questions regarding payments or penalties should be directed to the eFACTS Help Desk at:

(717) 705–3768 or <u>mailto:ep-efactshelpdeskteam@pa.gov</u>

Violation ID	iolation ID Date Violation Description		Violation Description
362725	08/04/2003	Tank handling and inspection requirements	
		Resolution: Corrected/Abated	
		PA Code Legal Citation: 25 Pa. Code 245.21, 245.411	: PA Code Website
		Violation Type: Administrative	
			Related Enforcements
		Please note: the following related enforcement dat may be unrelated to the facility for this inspection.	ta is accumulated from possibly many different sites/facilities that
		Enforcement ID: 124433	Penalty Final Date:
		Enforcement Type: Notice of Violation	Penalty Amount Assessed:
		Date Executed: 08/29/2003	Total Amount Due:
		Taken Against: WILLIAM BALSAMICO	Total Amount Collected:
		On Appeal? N	Penalty Status:
ļ		Enforcement Status: Comply/Closed	
		# of Violations Addressed by this Enforcement and Pena	alty Action (possibly from many facilities): 1

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Site Details	South West Regional Office	Site Search	Sites by County/Muni Search
Site ID:	507403		
Site Name:	KMART NO 4064		
Address:	1901 LINCOLN HWY STE 17 NORTH VERSAILLES, PA 1	5137	
Status:	Active		
Clients (1)	Programs (2)		PA Municipalities (1)
Client List	DEP Programs		Municipalities/Counties
SEARS HOLDINGS CORP (63573)	Environmental Cleanup & B	rownfields	Allegheny County
	Waste Management		
Site Permits (0)			
No records matched the criteria.			

No records matched the criteria.

Site-Level and Primary Facility-Level Inspections (0)

No records matched the criteria.

Facility Permits (0)

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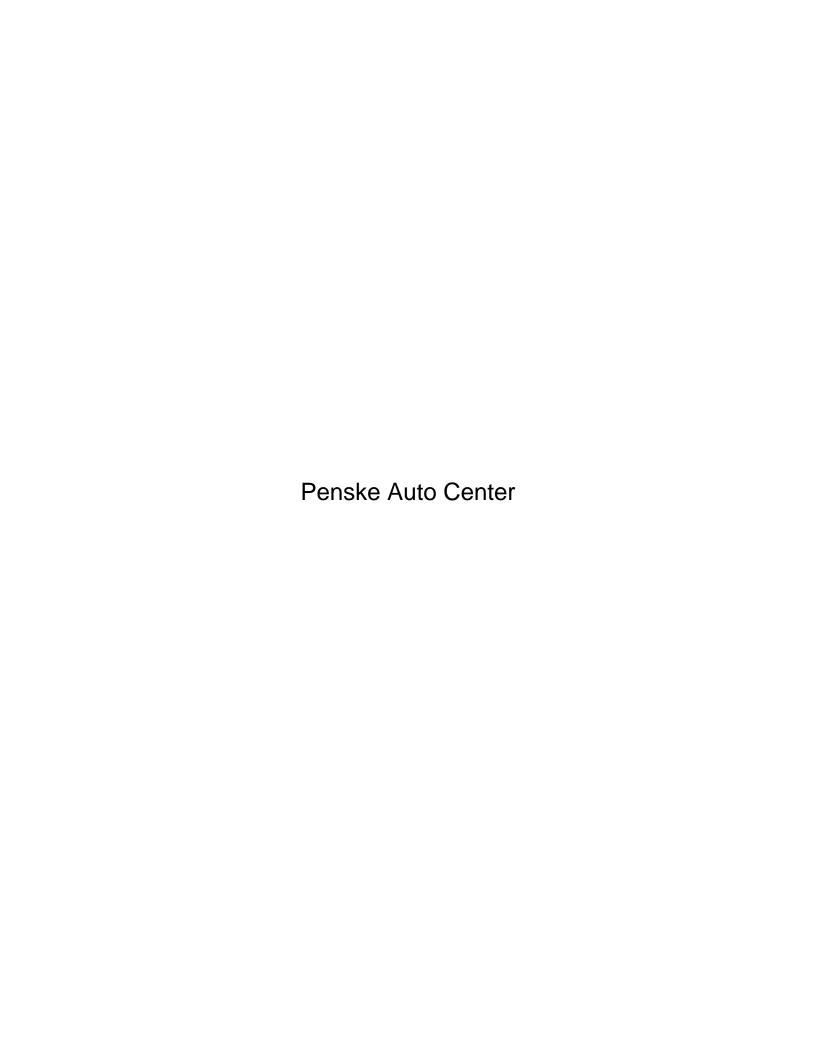
Site Details	South West Regional Office	Site Search	Sites by County/Muni Search
Site ID:	510319		
Site Name:	MONRO MUFFLER BRAKE 110		
Address:	1813 LINCOLN HGWY NORTH VERSAILLES, PA 15137		
Status:	Active		
Clients (1)	Programs (2)		PA Municipalities (1)
Client List	DEP Programs		Municipalities/Counties
Client List  CROMPTON CORP (172941)	DEP Programs  Environmental Cleanup & Brownfields		Municipalities/Counties  Versailles Boro, Allegheny County

Site-Level and Primary Facility-Level Inspections (0)

No records matched the criteria.

No records matched the criteria.

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FACTS on the Web						
DEP Information	a					
About DEP	Site Details	South West Reg	ional Office	Site Search	Sites by County/Muni Search	
DEP Home						
Search eFACTS	Site ID:	504975				
Authorization Search						
Client Search	Site Name:	PENSKE AUTO CTR	NORTH VERSAILLES FA	AC .		
Facility Search		1901 LINCOLN HW	Y			
Inspection Search	Address:	NORTH VERSAILLES, PA 15137				
Mammography Search	_		5, 1515,			
Name Search	Status:	Active				
Pollution Prevention						
Sites by	Clianta (1)		Due (1)		DA Municipalities (O)	
County/Municipality	Clients (1)		Programs (1)	1	PA Municipalities (0)	
Site Search	Client List		DEP Programs		No records matched the criteria.	
Other Sites	PENSKE AUTO CTR INC (125863)		Waste Management			
eMapPA						
eNotice	C'' D '' (O)					
EPA ECHO	Site Permits (0)					
EPA Envirofacts	No records matched the criteria.					
Permits, Licensing, and	<u> </u>					
Certification	Facility Permits (0)					
The PA Code						
	No records matched the criteria.					
	Site-Level and Primary Facility-Level Inspections (0)					
	No records matched the criteria.					

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Site Details	South West Regional Office	<u>Site Search</u>	Sites by County/Muni Search	
Site ID:	561807			
Site Name:	MARATHON			
Address:	1826 LINCOLN HWY NORTH VERSAILLES, PA 15:	137-2512		
Status:	Active			

Clients (3)	Programs (1)	PA Municipalities (1)	
Client List	DEP Programs	Municipalities/Counties	
KRG NORTH VERSAILLES LLC (338173)	Environmental Cleanup & Brownfields	North Versailles Twp, Allegheny County	
MON VALLEY PETRO INC (146025)		-	
RADOKOVIC ENTERPRISES LLC (304129)			

#### Site Permits (0)

No records matched the criteria.

#### Facility Permits (0)

No records matched the criteria.

Site-Level and Primary Facility-Level Inspections (11)

Inspection ID	Inspection Date	Inspection Type	Inspection Results
2713478	03/14/2018	Facility Operations Inspection	Violation(s) Noted <u>View Details</u>
2619529	07/26/2017	Follow-up Inspection	Violation(s) Noted <u>View Details</u>
2607382	06/26/2017	Administrative/File Review	Violation(s) Noted <u>View Details</u>
2276367	06/05/2014	Follow-up Inspection	Outstanding Violations - No Viols Req'd View Details
2251397	03/04/2014	Facility Operations Inspection	Violation(s) Noted <u>View Details</u>
2246845	02/20/2014	Compliance Evaluation	Violation(s) Noted <u>View Details</u>
1907990	08/18/2010	Facility Operations Inspection	No Violations Noted
1652994	09/10/2007	Facility Operations Inspection	No Violations Noted
1186565	10/30/2002	Administrative/File Review	Violation(s) Noted <u>View Details</u>
1179880	08/29/2002	Facility Operations Inspection	No Violations Noted
1130392	07/18/1997	Facility Operations Inspection	No Violations Noted

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# **Violation Details for Inspection ID: 2713478**

Facility: MARATHON (576152)
Program: Storage Tanks

Disclaimer: The dollar amounts listed below are for the entire related enforcement, and may encompass many sites/facilities. The Total Amount Collected may or may not be related to the Penalty Amount Assessed, depending on how your program or regional office records payments in eFACTS. Questions regarding payments or penalties should be directed to the eFACTS Help Desk at:

(717) 705–3768 or mailto:ep-efactshelpdeskteam@pa.gov

Violation ID	Date	Violation Description	
812607	03/14/2018	Failure to meet underground storage tank system operational requirements	
		Resolution: Corrected/Abated	
		PA Code Legal Citation: 25 Pa. Code 245.432: PA Code Website	
		/iolation Type: Environmental Health & Safety	
		Enforcement Type: No Enforcement Data	

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Site Details	South West Regional Office	Site Search	Sites by County/Muni Search	
Site ID:	561907			
Site Name:	MAROADI TRANSFER			
Address:	1801 LINCOLN HWY NORTH VERSAILLES, PA 15137	7-2511		
Status:	Active			

Clients (1)	Programs (2)	PA Municipalities (1)	
Client List	DEP Programs	Municipalities/Counties	
MAROADI TRANSF & STORAGE INC (165175)	Environmental Cleanup & Brownfields	North Versailles Twp, Allegheny County	
	Waste Management		

### Site Permits (0)

No records matched the criteria.

#### Facility Permits (0)

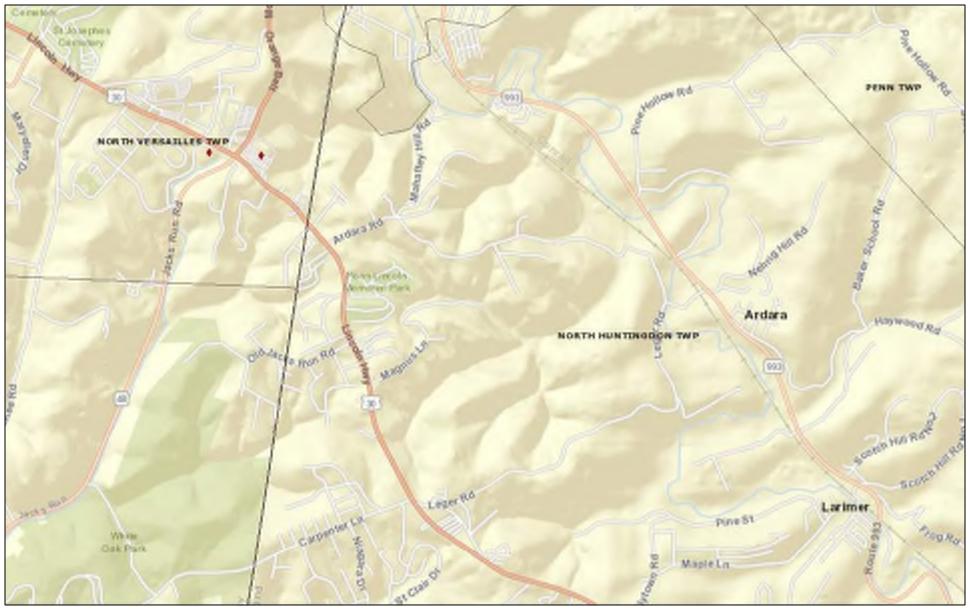
No records matched the criteria.

Site-Level and Primary Facility-Level Inspections (0)

No records matched the criteria.

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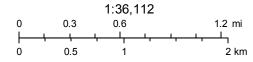


February 26, 2020

Legend

County Boundaries

Minor Civil Divisions



Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand),







**Allegheny County** Jerry Tyskiewicz Department of Real Estate Pittsburgh, PA 15219

Instrument Number: 2019-37093

BK-DE VL-17858 PG-359

Recorded On: December 03, 2019

As-Deed Agreement

Parties: RIVERIVEW PLAZA ASSOCIATES L P

To

RIVERVIEW PLAZA ASSOCIATES L P

# of Pages: 16

Comment: ENVIRONMENTAL COVENANT

\*\*\*\*\* THIS IS NOT A BILL \*\*\*\*\*

Deed Agreement

166.75

0

0

Total:

166,75

Value

Realty Transfer Stamp

Department of Real Estate Stamp

Certified On/By-> 12-03-2019 / Scott Stickman

Affidavit Attached-No NOT A DEED OF TRANSFER

EXEMPT

NOT A DEED OF TRANSFER

I hereby certify that the within and foregoing was recorded in the Department of Real Estate in Allegheny County, PA

# \*\*DO NOT REMOVE-THIS PAGE IS PART OF THE RECORDED DOCUMENT\*\*

File Information:

Record and Return To:

Document Number: 2019-37093

Receipt Number: 3678093

Recorded Date/Time: December 03, 2019 02:54:51P

User / Station: M Ward-Davis - Cash Station 25

Book-Vol/Pg: BK-DE VL-17858 PG-359

5700 CORPORATE DR STE 520

RIVERVIEW PLAZA ASSOCIATES LP

PITTSBURGH PA 15237



Tyskiewicz, Director Rich Fitzgerald, County Executive

b

**Environmental Covenant** 

When recorded, return to: Riverview Plaza Associates LP 5700 Corporate Drive, Suite 520 Pittsburgh, PA 15237

The County Parcel Identification No. of the Property is: 750-P-283

**GRANTOR:** Riverview Plaza Associates L.P.

PROPERTY ADDRESS: 1901 Lincoln Avenue, North Versailles, PA 15137

#### **ENVIRONMENTAL COVENANT**

This Environmental Covenant is executed pursuant to the Pennsylvania Uniform Environmental Covenants Act, Act No. 68 of 2007, 27 Pa. C.S. §§ 6501 – 6517 (UECA). This Environmental Covenant subjects the Property identified in Paragraph 1 to the activity and/or use limitations in this document. As indicated later in this document, this Environmental Covenant has been approved by the Pennsylvania Department of Environmental Protection (Department).

1. <u>Property affected</u>. The property affected (Property) by this Environmental Covenant is located in North Versailles Township, Allegheny County.

The postal street address of the Property is: 1901 Lincoln Highway, North Versailles, PA 15137.

The latitude and longitude of the center of the of Property affected by this Environmental Covenant is: 40.3681 N and -79.77759 W.

The Property has been known by the following name(s): Former Plaza Cleaners and Kmart Plaza.

The Department Primary Facility ID # is: 824264

The Land Recycling Program (LRP) # is: 5-2-132-19616

A complete description of the Property is attached to this Environmental Covenant as Exhibit A.

A map of the Property is attached to this Environmental Covenant as Exhibit B.

A map documenting the location of impacted soil on the Property is attached to this Environmental Covenant as Exhibit C.

A map documenting the location of impacted groundwater on the Property is attached to this Environmental Covenant as Exhibit D.

A map documenting the area of the Property subject to activity and use limitations is attached to this Environmental Covenant as Exhibit E.

A soil and management plan for the Property is attached to this Environmental Covenant as Exhibit F.

- 2. <u>Property Owner / GRANTOR / GRANTEE</u>. Riverview Plaza Associates L.P. is the owner of the Property and the GRANTOR and GRANTEE of this Environmental Covenant. The General Partner of Riverview Plaza Associates L.P. is Frank J. Zappala III.
- 3. The Mailing Address of the Owner is: 5700 Corporate Drive, Suite 520, Pittsburgh, PA 15237. The mailing address of the general partner is: 5700 Corporate Drive, Suite 520, Pittsburgh, PA 15237.
- 4. <u>Description of Contamination & Remedy</u>. Prior to the 1960s, the Property was used for residential purposes based on review of historical records. In 1964 the Property was developed with two buildings; an approximately 114,500 square-foot single-story masonry building (former Big Kmart) and an approximately 23,000 square-foot single-story masonry building (Former Retail Strip Building) that was located along the eastern property line. Various dry cleaners operated in the Former Retail Strip Building was razed in 1999.

Preliminary investigations performed in 2017 identified soil and groundwater impacted with dry cleaning related solvents, including tetrachloroethene (PCE), trichloroethene (TCE), and cis-1,2-dichloroethene (cDCE).

On January 25, 2018, Riverview Plaza Associates LP filed with the Department a notice of intent to remediate the Property as required by Section 304(n)(1)(i) of the Land Recycling and Environmental Remediation Standards Act of May 19, 1995, P.L. 4, No. 1995-2,35 P.S. §6026.101 et seq. ("Act 2"), 35 P.S. §6026.304 (n).

On March 8, 2019, the Department acknowledged receipt of a Remedial Investigation Report (RIR) that Riverview Plaza Associates L.P. submitted for the Property as required by Section 304(l)(1) of Act 2, 35 P.S. §6026.304 (l)(1). The RIR, which was approved by the Department on April 12, 2019, identified areas of soil and groundwater at the Property with concentrations of PCE, TCE and cDCE above the Department's residential Statewide Health Standard (SHS) medium specific concentrations (MSCs). The areas of the Property with identified soil and groundwater impact are shown on Exhibit C and Exhibit D, respectively.

On June 4, 2019, the Department acknowledged receipt of a combined Cleanup Plan and Final Report (CPFR) that Riverview Plaza Associates L.P. submitted to for the Property in accordance with Section 304(1)(3) and (4) of Act 2, 35 P.S. §6026.304 (1)(3) and (4). The CPFR, which was approved by the Department on July 24, 2019, concluded that there were no current exposure pathways associated with the identified impacts at the Property and that potential future exposure pathways could be eliminated by engineering and administrative controls by implementing activity and use limitations for the Property through this Environmental Covenant.

The administrative record for this Property (LRP# 5-2-132-19616) is maintained by the Department in the Department's Southwest Regional Office at 400 Waterfront Drive, Pittsburgh, PA 15222, and is available for inspection at that location in accordance with the Department's or its successor agency's document retention and public access policies.

- 5. Activity & Use Limitations. The Property is subject to the following activity and use limitations, which the then current owner of the Property, and its tenants, agents, employees and other persons under its control, shall abide by:
  - (a) Any future building constructed in the area of impacted soil and/or groundwater at the Property that is designed for human occupancy shall incorporate either a vapor barrier and/or a vapor mitigation system unless adequate testing is done (according to then current Department requirements) to ensure vapor intrusion from soil and/or groundwater will not exceed applicable criteria in place at the time the future building is constructed. The area of the Property to which this activity and use limitation applies is shown on Exhibit E (Activity and Use Limitation Areas).
  - (b) The existing asphalt parking lot covering the area of impacted soil shall remain in place and be maintained or replaced with a building slab or two feet of clean earthen fill to eliminate the potential for direct contact with impacted surface soil. The area of the Property to which this activity and use limitation applies is shown on Exhibit E.
  - (c) Any future excavation or disturbance in the area of soil impact shall be conducted in accordance with the Soil Management Plan provided as Exhibit F to eliminate the potential for direct contact with impacted surface or subsurface soil. The area of the Property to which this activity and use limitation applies is described more fully in Exhibit F.
- 6. Notice of Limitations in Future Conveyances. Each instrument hereafter conveying any interest in the Property subject to this Environmental Covenant shall contain a notice of the activity and use limitations set forth in this Environmental Covenant and shall provide the recorded location of this Environmental Covenant.
- 7. Compliance Reporting. After written request by the Department or by the end of every third January following the Department's approval of this Environmental Covenant, the then current owner of the Property shall submit, to the Department written documentation stating whether or not the activity and use limitations in this Environmental Covenant are being abided by. In addition, within 1 month after any of the following events, the then current owner of the Property owner shall submit, to the Department, written documentation of the following: noncompliance with the activity and use limitations in this Environmental Covenant; transfer of the Property; changes in use of the Property; or filing of applications for building permits for the Property and any proposals for any site work, if the building or proposed site work will affect the contamination on the Property subject to this Environmental Covenant.

- 8. Access by the Department. In addition to any rights already possessed by the Department, this Environmental Covenant grants to the Department a right of reasonable access of the Property in connection with implementation or enforcement of this Environmental Covenant.
- 9. Recording & Proof of Notification. Within 30 days after the date of the Department's approval of this Environmental Covenant, Riverview Plaza Associates L.P. shall file this Environmental Covenant with the Recorder of Deeds for each County in which the Property is located and send a file-stamped copy of this Environmental Covenant to the Department within 60 days of recording. Within that time period, Riverview Plaza Associates L.P. also shall send a file-stamped copy to each of the following: North Versailles Township and Allegheny County.

#### 10. Termination or Modification.

- (a) This Environmental Covenant may only be terminated or modified in accordance with 27 Pa. C.S. §§ 6509 or 6510, or in accordance with this paragraph.
- (b) This Environmental Covenant may be amended or terminated as to any portion of the Property that is acquired for use as state highway right-of-way by the Commonwealth provided that: (1) the Department waives the requirements for an environmental covenant and for conversion pursuant to 27 Pa. C.S. §6517 to the same extent that this Environmental Covenant is amended or terminated; (2) the Department determines that termination or modification of this Environmental Covenant will not adversely affect human health or the environment; and (3) the Department provides 30-days advance written notice to the current property owner, each holder, and, as practicable, each person that originally signed the Environmental Covenant or successors in interest to such persons.
- (c) This Environmental Covenant shall terminate upon attainment, in accordance with 35 P.S. §§ 6026. 101 6026.908, with an unrestricted use remediation standard for the above-described contamination at the Property. The Department must approve, in writing, of such termination.
- (d) In accordance with 27 Pa. C.S. § 6510(a)(3)(i), Grantor hereby waives the right to consent to any amendment or termination of the Environmental Covenant by consent; it being intended that any amendment to or termination of this Environmental Covenant by consent in accordance with this Paragraph requires only the following signatures on the instrument amending or terminating this Environmental Covenant; (i) the then current owner of the Property and (ii) the Department.
- 11. <u>Department's address</u>. Communications with the Department regarding this Environmental Covenant shall be sent to: Program Manager, Environmental Cleanup & Brownfields, Pennsylvania Department of Environmental

Protection, Southwest Regional Office, 400 Waterfront Drive, Pittsburgh, PA 15222-4745.

12. <u>Severability</u>. The paragraphs of this Environmental Covenant shall be severable and should any part hereof be declared invalid or unenforceable, the remainder shall continue in full force and effect between the parties.

ACKNOWLEDGMENTS by Owner, in the following form:

Riverview Plaza Associates L.P., Owner/Grantor/Grantee

By: Frank J. Zappala III, its General Partner

Date: 11-15-19

By: Frank Jamelaco

Title: General Parmer

APPROVED, by Commonwealth of Pennsylvania,

Department of Environmental Protection

Date: 11-21-19

Name: Diane D. McDaniel

Title: Program Manager

Environmental Cleanup & Brownfields

COMMONWEALTH OF PENNSYLVANIA )
COUNTY OF ALLEGHENY ) SS:
On this 15 day of November, 2019, before me, the undersigned officer, personally appeared Frank J. Zappala III, who acknowledged himself to be the general partner of Riverview Plaza Associates L.P., the Owner, Grantor, and Grantee whose name is subscribed to this Environmental Covenant, and acknowledged that he executed same for the purposes therein contained.
IN WITNESS WHEREOF, I hereunto set my hand and official seal.
Minin Maxie Ducis  Notary Public
NOTARIAL SEAL Nina Marie Puccio, Notary Public City of Pittsburgh, Allegheny County My Commission Expires May 19, 2020 MEMBER, PENNSYLVANIA ASSOCIATION OF NOTARIES
COMMONWEALTH OF PENNSYLVANIA )
COUNTY OF ALLEGHENY ) SS:
On this 2 day of November, 2019, before me, the undersigned officer, personally appeared Diane D. McDaniel, who acknowledged herself to be the Program Manager, Environmental Cleanup & Brownfields of the Commonwealth of Pennsylvania, Department of Environmental Protection, Southwest Regional Office, whose name is subscribed to this Environmental Covenant, and acknowledged that she executed same for the purposes therein contained.
IN WITNESS WHEREOF I bereinto set my band and official and

Commonwealth of Pennsylvania - Notary Seal Crystal Lynn Witt, Notary Public Allegheny County My commission expires July 13, 2022 Commission number 1330921 Member, Pennsylvania Association of Notaries

# EXHIBIT A PROPERTY DESCRIPTION

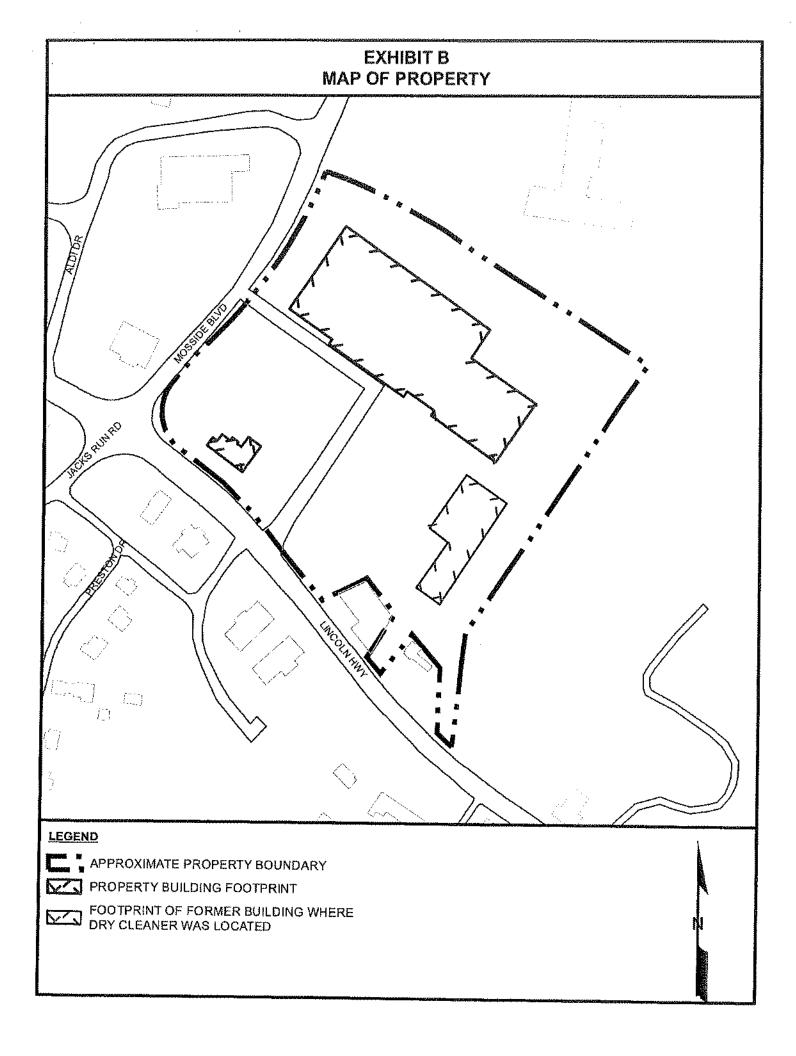
ALL that certain piece or parcel of real estate, together with all improvements located thereon, situate in the Township of North Versailles, County of Allegheny, and Commonwealth of Pennsylvania, being more fully bounded and described as follows:

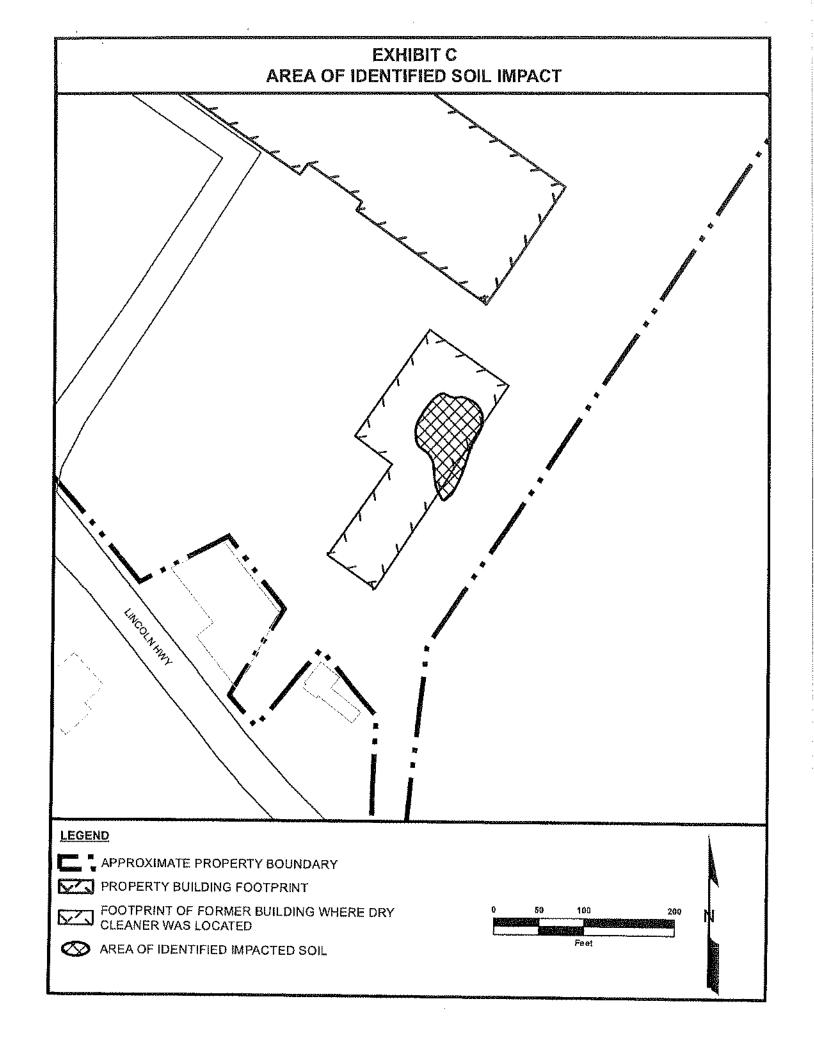
BEGINNING AT A POINT on the northeasterly line of Lincoln Highway, U.S. Route 30, Legislative Route 120; Section 57-T, said point of beginning being a common corner to the herein described land now or formerly of the Miller Methodist Episcopal Church and lands nor or formerly of the Versailles Department Corporation; thence from said point of beginning with the lands of the Versailles Department Corporation for the following two courses and distances, viz:

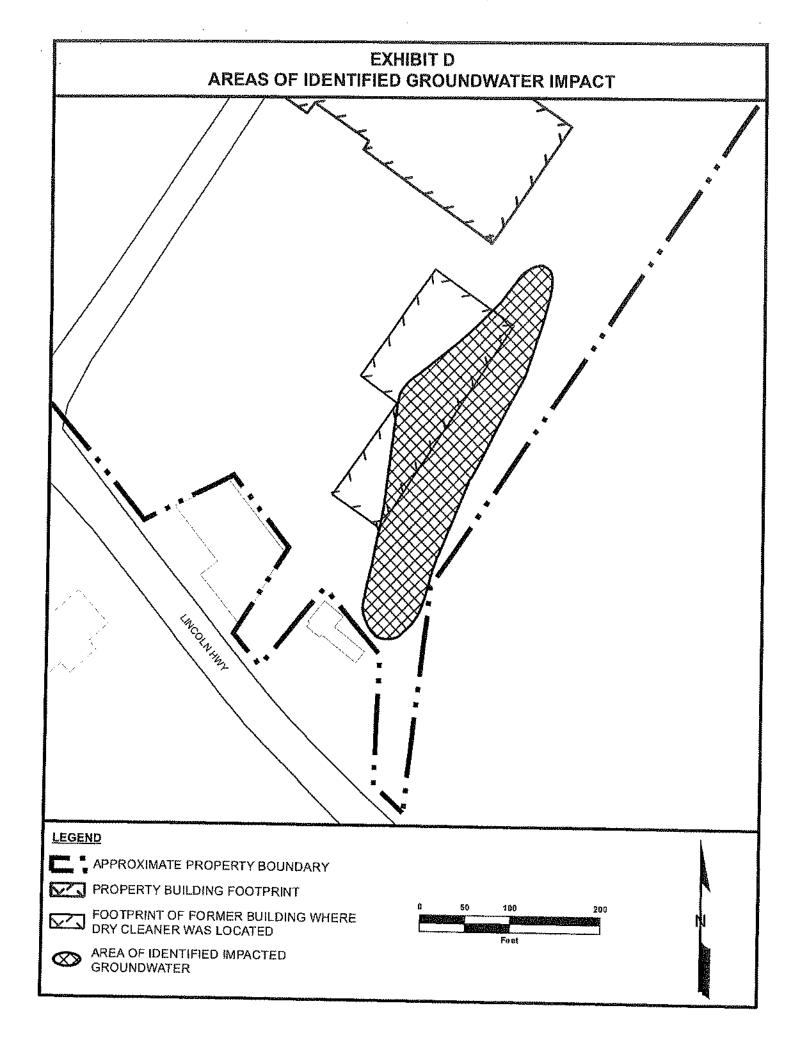
- 1. North 8°57'40" East for 244.92 feet to monument; thence
- 2. North 38°36'40" East for 705.00 feet to a point on the line of lands now or formerly of Peoples Gas Company, N 54°40' W, 455.91 feet to a point on the line of lands now or formerly Anthony Beranrdi; thence continuing with the lands of said Berardi for the following tow courses and distance, viz:
- 1. North 53°58' West for 75.99 feet to a monument; thence
- 2. North 61°24'54" West for 291.70 feet to a monument on the southeasterly line of Mosside Boulevard; Legislative Route 02251. Then continuing with the said line of Mosside Boulevard for the following four courses and distances, viz:
- 1. South 25°03'30" West for 7.22 feet to a point of curve; thence
- 2. Southwesterly by an arc distance of 338.79 feet to a point of tangent; thence
- 3. South 44°01' West for 221.07 feet to a point of curve; thence
- 4. Southeasterly by an arc of a circle turning to the left, having a radius of 103.80 feet for an arc distance of 139.92 feet to a point on the northeasterly line of US Route 30, Lincoln Highway, thence continuing with the said line of Lincoln Highway; thence continuing with the said line of Lincoln Highway for the following four courses and distances, viz:
- 1. Southeasterly by an arc of a circle turning to the right; having a radius of 1467.69 feet, for an arc distance of 265.35 feet to a point; thence;
- 2. South 48°40'30" West, 5.00 feet to point; thence
- 3. Southeasterly by an arc of a circle turning to the right, having a radius of 1462.69 feet, for an arc distance of 137.93 feet to a point of tangent; thence.
- 4. South 35°55'20" East, for 77.35 feet to a point; thence leaving the line of Lincoln Highway and continuing with the lands now or formerly of the Gulf Oil Corporation for the following three courses and distances, viz:
- 1. North 65°54'40" East for 107.00 feet; thence
- 2. South 35°55'20" East for 100.00 feet; thence
- 3. South 34°17'20" West for 111.25 feet to a point on the northeasterly line of Lincoln Highway; thence continuing with the said line of Lincoln Highway by an arc of a circle turning to the left, having a radius of 1402.69 feet; for an arc distance of 43.00 feet to a point; thence leaving the line of Lincoln Highway and continuing with the lands now or formerly of Mellon Bank, N.A. for the following three courses and distances, viz:
- 1. North 41°53'26" East for 110.00 feet; thence

- South 37°03'24" East for 95.00 feet; thence
   South 4°23'26" West for 104.51 feet to a point on the northeast line of the Lincoln Highway; thence continuing with the said line of Lincoln Highway by an arc of a circle turning to the left, having a radius of 1402.96 feet for an arc distance of 43.10 feet to a point, the place of beginning.

CONTAINING an area of 12.718 acres.





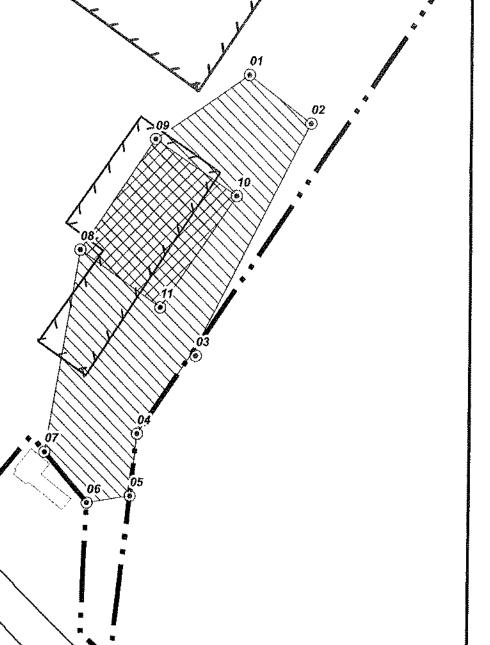


# **EXHIBIT E ACTIVITY AND USE LIMITATION AREAS**

#### GEOGRAPHIC COORDINATES OF ACTIVITY AND USE LIMITATION AREAS

AREA REQUIRING VAPOR MITIGATION					
HUB	LATITUDE	LONGITUDE			
01	40.367892	-79.776596			
02	40.367753	-79.776346			
03	40.367052	-79.776779			
04	40.366815	-79.777000			
05	40.366628	-79.777021			
06	40.366603	-79.777193			
07	40.366752	-79.777368			
08	40.367356	-79.777250			
09	40.367693	-79.776961			
10	40.367530	-79.776634			
11	40.367192	-79.776923			

AREA REQUIRING A CAP		
HUB	LATITUDE	LONGITUDE
08	40.367356	-79.777250
09	40.367693	-79.776961
10	40.367530	-79.776634
11	40.367192	-79.776923



#### **LEGEND**



\_\_\_ APPROXIMATE PROPERTY BOUNDARY



PROPERTY BUILDING FOOTPRINT



FOOTPRINT OF FORMER BUILDING WHERE DRY



CLEANER WAS LOCATED

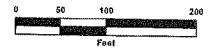
•

COORDNATE HUB DEFINING ACTIVITY AND USE LIMITATION AREA

# **ACTIVITY AND USE LIMITATION AREA**

AREA REQUIRING VAPOR MITIGATION IN FUTURE BUILDINGS

AREA REQUIRED TO BE CAPPED



# **Exhibit F Soil Management Plan**

Former Plaza Cleaners
Former Kmart Plaza
1901 Lincoln Highway
North Versailles Township
Allegheny County, Pennsylvania

#### Site Description

The Property is located at 1901 Lincoln Highway in North Versailles, Allegheny County, Pennsylvania and is located on the McKeesport, Pennsylvania USGS 7.5-minute topographic quadrangle. The Allegheny County Department of Real Estate identifies the Property by Map, Block, and Lot number 750-P-283.

The property is currently improved with a 114,500 square foot, single-story masonry building that was most recently used as a Big Kmart store. A vacant Burger King restaurant building is currently located in the southwestern corner of the Property. An approximately 23,000 square-foot single-story masonry building was historically located along the eastern property line and has since been razed. This former building is referred to as the Former Retail Strip Building and the area on which is was located is currently paved. The location of the Former Retail Strip Building is shown on Attachment A (Area Subject to Soil Management).

Remedial Investigation was performed at the site as documented in a Remedial Investigation Report (RIR) that was approved on April 12, 2019 by the Pennsylvania Department of Environmental Protection (PADEP). The RIR identified soil impacted by methylene chloride, tetrachloroethene, and trichloroethene beneath the Former Retail Strip Building as shown on Attachment A.

Groundwater at the site occurs at a depth of greater than 20 feet below ground surface, and therefore groundwater would not be expected to be encountered during future excavation activities at the site.

The following sections describe the general soil management procedures that are required when excavations on the site are performed in an around the identified area of impact. Excavation-Specific Excavation Management Plans may need to be developed for specific excavation activities.

#### Constituents of Interest and Potential Exposure

Potential future on-Property worker exposure to methylene chloride, tetrachloroethene, and trichloroethene associated with the impacted soil could occur during excavation activities beneath the paved area at the site. Because the constituents are volatile, exposure via inhalation, dermal contact, and incidental ingestion are possible.

#### Health and Safety

Each contractor is responsible for the health and safety of its workers. The workers must be properly trained (e.g., Hazardous Waste Operations and Emergency Response [HAZWOPER] or other applicable training) and have current applicable certifications and medical monitoring as may be required to perform the excavation activities in the identified impacted areas at the site. Each excavation activity must have a Site-

Specific Health and Safety Plan (HASP) prepared by the contractor specifically for that activity that specifies site conditions, work activities, potential safety concerns, and measures to be taken to monitor for and protect workers from site hazards. The excavation contractor will be responsible to ensure that its employees perform all activities in accordance with the Site-Specific HASP and this Soil Management Plan. Qualitative action levels and safety measures, such as requiring a minimum of Level D personal protection, avoiding dermal contact with soil, avoidance of the creation of visible dust plumes, etc. will be followed, at a minimum, to identify and control worker exposures to site COIs during excavation activities.

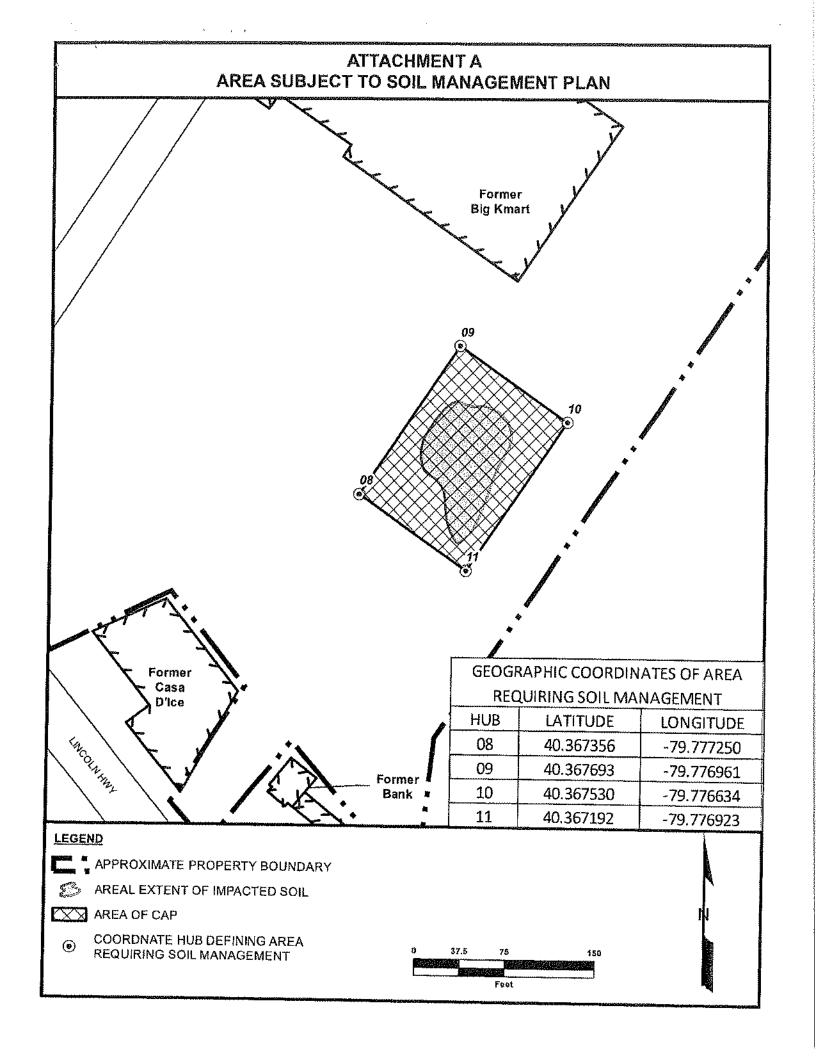
#### Soil Management

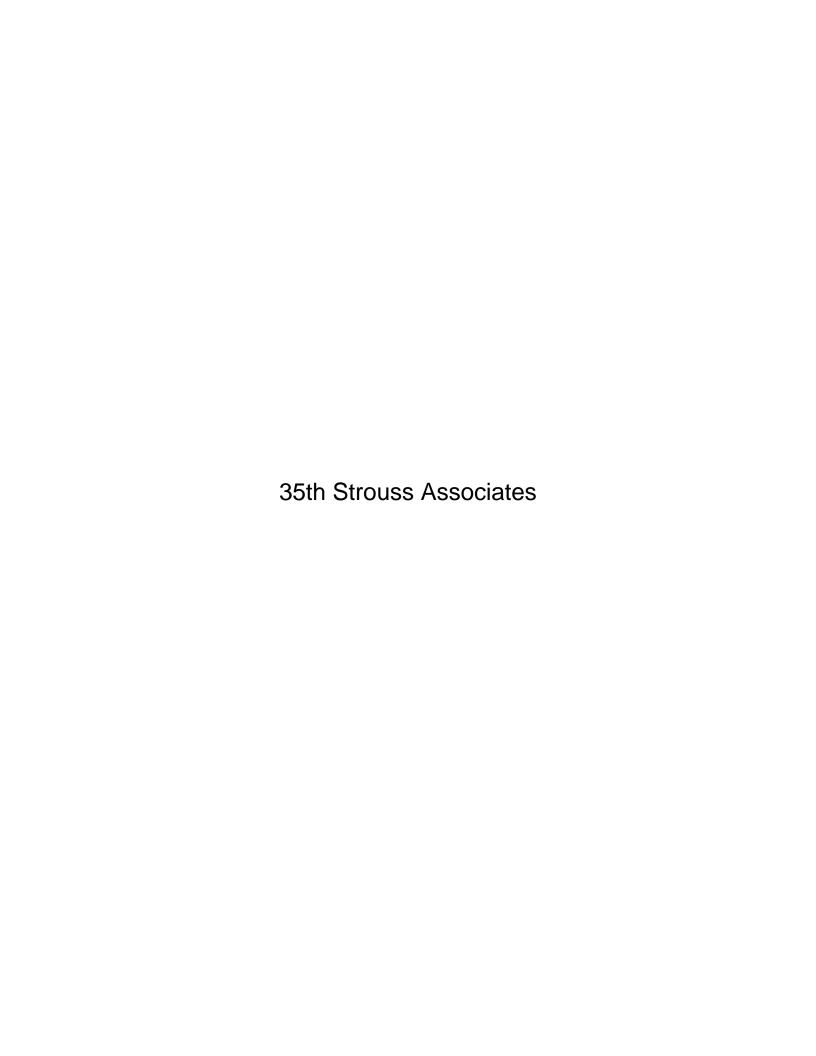
For excavations at the site in and around the areas of impact identified on Attachment A, site personnel are required to evaluate personnel health and safety, and to facilitate proper segregation and management of soil. During intrusive activities in identified areas of impacted soil, dust suppression must be performed to minimize dust and volatile emissions, especially during the removal of pavement overlying the affected area.

Soil excavated from the identified impacted areas on the property will be temporarily contained near the excavation area for replacement on the site in accordance with Act 2 requirements. Impacted soil that cannot be reused within the identified impacted areas will be characterized for disposal at an approved facility permitted to accept the soil. Soil that is excavated for potential reuse on the site, or that is temporarily stockpiled pending off-property disposal, will be contained in a manner that limits run-on, run-off, and that allows for collection of any leachate (e.g., rain water) within the excavated soil. Acceptable methods for temporarily containing soil include lined and covered roll-off boxes or bermed staging locations where soil is placed on and securely covered with plastic. If necessary, advance arrangements would be required for direct loading for off-property treatment and disposal at appropriately permitted facilities and may require sampling and analyses of soil in advance of excavation activities to facilitate specific facility approval.

For soil that cannot be replaced in the excavation area on the site, an appropriate number of samples will be collected from the soil stockpile to analyze for specific constituents based on the quantity of soil stockpiled and in accordance with applicable treatment/disposal facility requirements and Pennsylvania Department of Environmental Protection or other regulatory requirements. The samples will be submitted to a Pennsylvania-registered environmental laboratory for the analyses.

The excavation contractor will document the soil excavation activities, field screening results, analytical results, and other related information pertaining to the excavation and final disposition of the soil.







August 14, 2017

Richard S. Wiedman, Esq. Eckert Seamans Cherin & Mellott, LLC 600 Grant Street – 44<sup>th</sup> Floor Pittsburgh, PA 15219

Re: Approval of Environmental Covenant

35th Strouss Associates - 750-J-263 & 750-J-253

eFACTS PF# 811468 eFACTS Activity # 49553 LRP # 5-2-132-19514 1810 Lincoln Highway

North Versailles Township, Allegheny County

### Dear Attorney Wiedman:

The Department of Environmental Protection (DEP) has reviewed the Environmental Covenant (EC) submitted for the above-referenced site. The EC was submitted to the DEP in accordance with Title 25, Chapter 253 of the PA Code, Administration of the Uniform Environmental Covenants Act (UECA). UECA and accompanying regulations provide a standardized process for creating, documenting and assuring the enforceability of activity and use limitations on contaminated properties involving most engineering and institutional controls used to achieve Act 2 standards.

The DEP has approved the EC. The signed EC is enclosed. As stated in paragraph 9 of the EC, the EC is to be recorded within 30 days of this letter. In addition, notifications of recordation are to be sent to the DEP and the other entities named in paragraph 9 within 90 days of this letter.

If you have questions regarding this correspondence, please contact Evan Elliott at evelliott@pa.gov or 412.442.4077.

Sincerely,

Kevin Halloran

Environmental Program Manager

Environmental Cleanup & Brownfields

Enclosure

cc: 35th Strouss Associates - Philip Bishop, Vice President

North Versailles Township - Patricia Logo, Township Manager

When recorded, return to:
Mr. Phil Bishop, P.E.
Vice President, Engineering
35<sup>th</sup> Strouss Associates
560 Epsilon Drive
Pittsburgh, Pennsylvania 15238

The County Parcel Identification Nos. of the Property are: 750-J-263 and 750-J-253 **GRANTOR:** 35<sup>th</sup> Strouss Associates, a Pennsylvania limited partnership **PROPERTY ADDRESS:** 1810 Lincoln Highway, North Versailles, Pennsylvania

15137

#### ENVIRONMENTAL COVENANT

This Environmental Covenant is executed pursuant to the Pennsylvania Uniform Environmental Covenants Act, Act No. 68 of 2007, 27 Pa. C.S. §§ 6501 – 6517 (UECA). This Environmental Covenant subjects the Property identified in Paragraph 1 to the activity and/or use limitations in this document. As indicated later in this document, this Environmental Covenant has been approved by the Pennsylvania Department of Environmental Protection (Department).

1. **Property affected.** The property affected (Property) by this Environmental Covenant is located in North Versailles Township, Allegheny County.

The postal street address of the Property is: 1810 Lincoln Highway, North Versailles (North Versailles Township), Allegheny County, Pennsylvania 15137.

The latitude and longitude of the center of the Property affected by this Environmental Covenant is: 40° 22′ 5.8″ N; -79° 46′ 55.3″ W.

The Property has been known by the following name(s): 35<sup>th</sup> Strouss Associates The DEP Primary Facility ID# is: 811468

The Land Recycling Program (LRP) ID# is: 5-2-132-19514.

A complete description of the Property is attached to this Environmental Covenant as Exhibit A. A map of the Property is attached to this Environmental Covenant as Exhibit B.

- 2. <u>Property Owner / GRANTOR / GRANTEE</u>. 35<sup>th</sup> Strouss Associates, a limited partnership is the owner of the Property and the GRANTOR and GRANTEE of this Environmental Covenant. 35th Strouss Associates GP, LLC is the General Partner of 35<sup>th</sup> Strouss Associates, a limited partnership.
- 3. The mailing address of the owner and the general partner is: 560 Epsilon Drive; Pittsburgh, Pennsylvania 15238.

- Description of Contamination & Remedy. 1,1-Dichloroethylene (1,1-DCE) was detected in subsurface soil from the Site at concentrations that slightly exceed the soil vapor screening value for non-residential soil. Cadmium and 1,1-DCE were detected in groundwater from the Site at concentrations that exceed non-residential, used aquifer groundwater Medium Specific Concentrations (MSCs). No current or probable exposure pathways have been documented at the Site. Therefore, the Site does not require a Cleanup Plan or Risk Assessment. A report titled "Remedial Investigation Report and Final Report, 1810 Lincoln Highway, North Versailles" (RIR/FR) was submitted to the Department. The proposed Post-Remediation Care Plan to satisfy the requirements in the RIR/FR consist of this Uniform Environmental Covenant and monitoring well abandonment. The Department approved the RIR/FR on May 4, 2017 as it demonstrated a Site Specific Standard (SSS) for soil and groundwater based on nonresidential use assumptions. Since the RIR/FR utilized activity and use limitations and post remedial care plan obligations to meet and or attain the Site Specific standards, activity and use limitations and reporting requirements shall be required in order to meet and/and or continue to attain the SSS.
- 5. <u>Activity & Use Limitations</u>. The Property is subject to the following activity and use limitations, which the then current owner of the Property, and its tenants, agents, employees and other persons under its control, shall abide by:
  - (a) Acknowledgement of the presence of groundwater impacts;
  - (b) Restrict the Site to non-residential use which excludes schools, nursing homes or other residential-style facilities or recreational areas;
  - (c) Prohibit the use of groundwater for any purpose; and
  - (d) Reporting to Department the results of Site evaluations validating ongoing maintenance of the conditions in the Environmental Covenant (Compliance Reporting).
- 6. <u>Notice of Limitations in Future Conveyances</u>. Each instrument hereafter conveying any interest in the Property subject to this Environmental Covenant shall contain a notice of the activity and use limitations set forth in this Environmental Covenant and shall provide the recorded location of this Environmental Covenant.
- 7. Compliance Reporting. After written request by the Department or by the end of every third January following the Department's approval of this Environmental Covenant, the then current owner of the Property shall submit, to the Department, written documentation stating whether or not the activity and use limitations in this Environmental Covenant are being abided by. In addition, within 1 month after any of the following events, the then current owner of the Property shall submit, to the Department, written documentation: noncompliance with the activity and use limitations in this Environmental Covenant; transfer of the Property; changes in use of the Property; or filing of applications for building permits for the Property and any proposals for any site work, if the building or proposed site work will affect the contamination on the Property subject to this Environmental Covenant.

- 8. Access by the Department. In addition to any rights already possessed by the Department, this Environmental Covenant grants to the Department a right of reasonable access of the Property in connection with implementation or enforcement of this Environmental Covenant.
- 9. Recording & Proof & Notification. Within 30 days after the date of the Department's approval of this Environmental Covenant, 35<sup>th</sup> Strouss Associates shall file this Environmental Covenant with the Recorder of Deeds for each County in which the Property is located, and send a file-stamped copy of this Environmental Covenant to the Department within 60 days of recording. Within that time period, 35<sup>th</sup> Strouss Associates also shall send a file-stamped copy to each of the following: North Versailles Township.

#### 10. Termination or Modification.

- (a) This Environmental Covenant may only be terminated or modified in accordance with 27 Pa. C.S. §§ 6509 or 6510, or in accordance with this paragraph.
- (b) This Environmental Covenant may be amended or terminated as to any portion of the Property that is acquired for use as state highway right-of-way by the Commonwealth provided that: (1) the Department waives the requirements for an environmental covenant and for conversion pursuant to 27 Pa. C.S. §6517 to the same extent that this Environmental Covenant is amended or terminated; (2) the Department determines that termination or modification of this Environmental Covenant will not adversely affect human health or the environment; and (3) the Department provides 30-days advance written notice to the current property owner, each holder, and, as practicable, each person that originally signed the Environmental Covenant or successors in interest to such persons.
- 11. <u>Department's address</u>. Communications with the Department regarding this Environmental Covenant shall be sent to: Program Manager; Environmental Cleanup and Brownfields; Pennsylvania Department of Environmental Protection; Southwest Regional Office; 400 Waterfront Drive; Pittsburgh, PA 15222-4725
- 12. <u>Severability</u>. The paragraphs of this Environmental Covenant shall be severable and should any part hereof be declared invalid or unenforceable, the remainder shall continue in full force and effect between the parties.

### ACKNOWLEDGMENTS by Owner(s) and any Holder(s), in the following form:

35th Strouss Associates, a Pennsylvania limited partnership, Grantor/Grantee

By: 35<sup>th</sup> Strouss Associates GP, LLC, a Delaware limited liability company, its general partner

Date: 7/18/17

Authorized Representative

APPROVED, by Commonwealth of Pennsylvania, Department of Environmental Protection

Date: 5/8/1)

Name: Kevin Halloran

Title: Program Manager

Environmental Cleanup & Brownfields

COMMONWEALTH OF PENNSYLVANIA )[other state, if executed outside PA]
COUNTY OF HUGHEN ) SS:
On this 18 day of
In witness whereof, I hereunto set my hand and official seal.
COMMONWEALTH OF PENNSYLVANIA  Notarial Seal Natalle A. Colla, Notary Public O'Hara Twp., Allegheny County My Commission Expires Feb. 17, 2018  MEMBER, PENNSYLVANIA ASSOCIATION OF NOTARIES
COMMONWEALTH OF PENNSYLVANIA )
COUNTY OF ALLEGHENY
On this day of, 20 before me, the undersigned officer, personally appeared Kevin Halloran, who acknowledged himself to be the Program Manager, Environmental Cleanup & Brownfields of the Commonwealth of Pennsylvania, Department of Environmental Protection, Southwest Regional Office, whose name is subscribed to this Environmental Covenant, and acknowledged that he executed same for the purposes therein contained.
In witness whereof, I hereunto set my hand and official seal.
Notary Public
COMMONWEALTH OF PENNSYLVANIA  NOTARIAL SEAL  Cassandra A. Fritch, Notary Public  City of Pittsburgh, Allegheny County  My Commission Expires July 3, 2021  MEMBER, PENNSYLVANIAASSOCIATION OF NOTARIES

# EXHIBIT A ENVIRONMENTAL COVENANT PROPERTY DESCRIPTION

35<sup>th</sup> Strouss Associates 1810 Lincoln Highway North Versailles, PA 15137 LRP ID 5-2-132-19514



NATIONAL HEADQUARTERS
RICHMOND, VIRGINIA

SCHEDULE "A" CONTINUED

#### PARCEL ONE:

ALL THAT CERTAIN lot or piece of ground situate in the Township of North Versailles, County of Allegheny and Commonwealth of Pennsylvania, bounded and described as follows, to-wit:

BEGINNING at a point at the intersection of the center line of a Township Road (33 feet wide) at the Southwesterly line of the Old Lincoln Highway (40 feet wide); thence along said Southwesterly line of the Old Lincoln Highway South 51° 19' East 155.94 feet to a point; thence continuing along said side of the Old Lincoln Highway by a curve to the left and having a radius of 839.02 feet, a distance of 239.18 feet to a point; thence still along said side of Old Lincoln Highway, South 67° 39' East 237.33 feet to a point on line of land now or formerly of J. Bryon Jones; thence along the line of said land South 15° 49' West 144.10 feet to a point; thence along the line of land now or formerly of K&K Company South 69° 23' 25" West 250.96 feet to a point; thence along said lands South 24° 57' East 69.58 feet to a point; thence South 69° 58' West 402.01 feet to a point; thence North 23° 51' West 107.68 feet to a point in the center line of aforesaid Township Road (33 feet wide); thence along the center line of said Township Road North 18° 56' East 79.54 feet; thence continuing along said center line North 9° 26' East 570.44 feet to the place of beginning.

Deed from Mon-Yough Area Industrial Development Corporation to 35th Strouss Associates, dated March 2, 1989 and recorded June 5, 1989 in the Recorder's Office of Allegheny County, Pennsylvania in Deed Book Volume 8029, page 290.

#### PARCEL TWO:

ALL THAT CERTAIN part or parcel of ground situate in the Township of North Versailles, County of Allegheny and Commonwealth of Pennsylvania, bounded and described as follows, to-wit:

BEGINNING at a pin on the Southerly side of Lincoln Highway (also known as U.S. Route No. 30) and at the dividing line between property of now or formerly Anthony Boch; thence along the southerly line of Lincoln Highway, South 62° 03' East, a distance of 150.20 feet to a pin on the southerly side of above mentioned highway and at the dividing line between this property and property of now or formerly Enoch B. and Elizabeth A. Kelly, his wife; thence by said dividing line, South 24° 24' West, a distance of 18.20 feet to a pin in the center of the abandoned U.S. Route No. 30; thence by the center of the above mentioned U.S. Route No. 30 now a Township Road, North 66° 40' West, a distance of 148.97 feet to a pin on the dividing line between this property and property now or formerly of Anthony Boch; thence by said dividing line, North 24° 24' East, a distance of 40.30 feet to a pin on the southerly side of Lincoln Highway (also known as U.S. Route 30 at the place of beginning.

Policy Number: 85-00-270921 Case Number: 172893

-2- Case Number: 172893



#### NATIONAL HEADQUARTERS RICHMOND, VIRGINIA

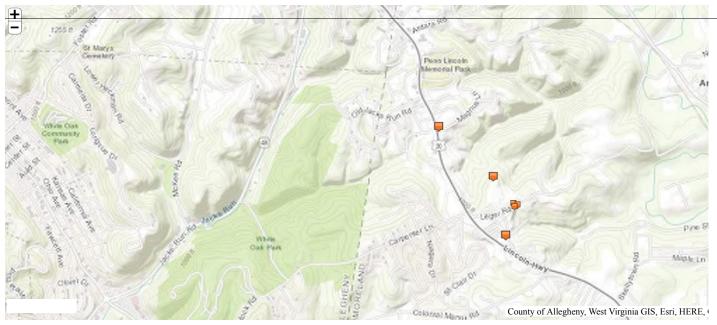
Deed from Transtech, Inc., formerly known as Ringsdorff Corporation, formerly known as Ringsdorff Carbon Corporation to 35th Strouss Associates, dated June 1, 1989 and recorded June 5, 1989 in the Recorder's Office of Allegheny County, Pennsylvania in Deed Book Volume 8029, page 286.

Policy Number:

85-00-270921

~3~

Case Number: 172893



The facility list below is based upon the facilities that are visible with the map above. To refine your search to a more targeted area of interest, please visit the Envirofacts Multisystem Search Form. To search Envirofacts via an interactive map, please view your results in EnviroMapper for Envirofacts

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FACILITY INFORMATION	AFS	ACRES	BR€	SEMS 0	<b>GHG</b> 1	PCS/ICIS <sup>1</sup>	RADInfo	RCRAInfo 1	TRI	TSCA
BURKHART AUTO BODY/NORTH HUNTINGDON 13380 CROWN RD NORTH HUNTINGDON, PA 156421111 Latitude: 40.34344 Longitude: -79.7598 Summay Report Facety Report Companies Report	<u>View</u> <u>Report</u>							<u>View</u> <u>Report</u>		
CON WAY FREIGHT XPB 369 LEGER ROAD NORTH HUNTINGDON, PA 15642-1147 Latitude: 40.34656 Longitude: -79.75783 Summary Report Facily Report Compleance Report	,		<u>View</u> <u>Report</u>			<u>View</u> <u>Report</u>		<u>View</u> <u>Report</u>		
N HUNTINGDON HAULING DIV 310 LEGER RD NORTH HUNTINGDON, PA 15642 Latitude: 40.34624 Longitude: -79.75857  Summing Report Facility Report Compilance Report						<u>View</u> <u>Report</u>		<u>View</u> <u>Report</u>		

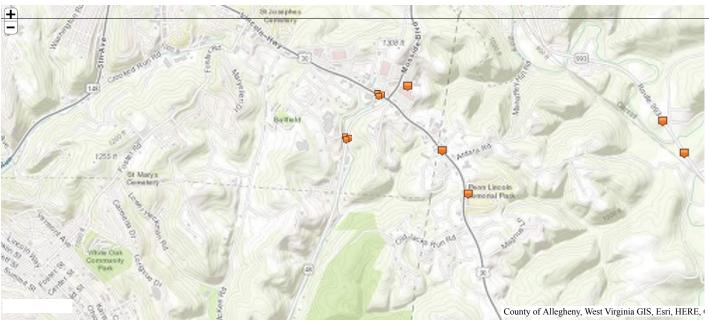
2 of 3 2/19/2020, 9:30 AM

FACILITY INFORMATION	AFS 1	ACRES	BRŪ	SEMS 1	GHG	PCS/ICIS <sup>1</sup>	RADInfo	RCRAInfo <sup>1</sup>	TRI	TSCA
SETON HILL DRIVE REPLACEMENT PROJECT SETON HILL DRIVE HEMPFIELD, TOWNSHIP OF, PA 15601 Latitude: 40.348889 Longitude: -79.761389  Summay Report Companie Report						<u>View</u> <u>Report</u>				
VANGURA LAMINATED PRODUCTS INC 14431 ROUTE 30 NORTH HUNTINGDON, PA 15642 Latitude: 40.353583 Longitude: -79.768025 Summay Report Companie Report								<u>View</u> <u>Report</u>		
WESTINGHOUSE CORPORATE TRANSPORTATION 290 LEGER ROAD NORTH HUNTINGDON, PA 15642 Latitude: 40.34591 Longitude: -79.75941 Summay Report Companie Report								<u>View</u> <u>Report</u>		
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FACILITY INFORMATION	AFS	ACRES	BR <sup>()</sup>	SEMS 1	GHG	PCS/ICIS®	RADInfo	RCRAInfo 1	TRI	TSCA
ABLE TOOL 13160 RT 993 TRAFFORD, PA 15085-9523 Latitude: 40.36292 Longitude: -79.74337 Summary Report Facility Report Compliance Report								<u>View</u> <u>Report</u>		
CARMEL COURT PLAN ALONG EAST SIDE OF STATE ROUTE 48 NORTH VERSAILLES, TOWNSHIP OF, PA 15137 Latitude: 40.363889 Longitude: -79.784722 Summary Report Facility Report Companies Report						<u>View</u> <u>Report</u>				
CLEAVELAND/PRICE INC 14000 RT 993 TRAFFORD, PA 150859550 Latitude: 40.36593 Longitude: -79.74597 Summary Report Faculty Report Computance Report			<u>View</u> <u>Report</u>						<u>View</u> <u>Report</u>	

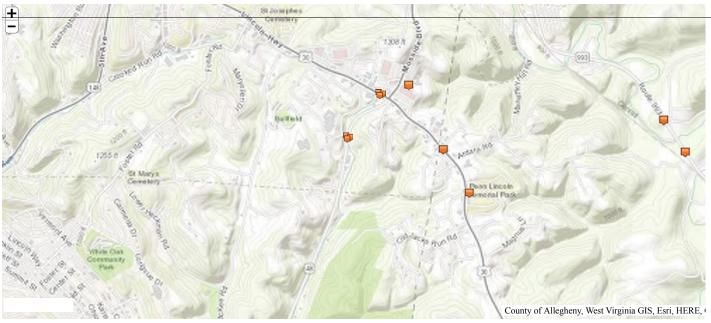
2 of 3 2/19/2020, 8:49 AM

FACILITY INFORMATION	<b>AFS</b> 0	<b>ACRES</b>	BR	SEMS 1	<b>GHG</b> 0	PCS/ICIS <sup>1</sup>	RADInfo	RCRAInfo <sup>1</sup>	TRI	TSCA
EAST ALLEGHENY JSHS 1150 JACKS RUN RD NORTH VERSAILLES, PA 15137 Latitude: 40.36475 Longitude: -79.78467 Summay Report Facility Report Compliance Report	<u>View</u> <u>Report</u>							<u>View</u> <u>Report</u>		
EXXON BUY N FLY #3  1826 LINCOLN HIGHWAY NORTH VERSAILLES, PA 15137-2512  Latitude: 40.368246 Longitude: -79.780425  Summary Report Facility Report Compliance Report	<u>View</u> <u>Report</u>									
HI-WAY CLEANERS & TUX SHOP INC 14800 RT 30 NORTH HUNTINGDON, PA 15642 Latitude: 40.359116 Longitude: -79.769886  Summary Report Facility Report Companies Report								<u>View</u> <u>Report</u>		
KMART STORE 4064 1901 LINCOLN HWY END OF NORTH VERSAILLES, PA 15137 Latitude: 40.36799 Longitude: -79.77979  Summary Report Facility Report Compilance Report								<u>View</u> <u>Report</u>		
MAROADI TRANSFER 1801 LINCOLN HWY NORTH VERSAILLES, PA 15137 Latitude: 40.36893 Longitude: -79.7821 Summinay Report Facility Report Compliance Report								<u>View</u> <u>Report</u>		
MERCK-MEDCO RX SRVCS OF PA 1810 LINCOLN HWY NORTH VERSAILLES, PA 15137 Latitude: 40.36849 Longitude: -79.781045 Summary Report Facility Report Compliance Report			<u>View</u> <u>Report</u>					<u>View</u> <u>Report</u>		
MONRO MUFFLER BRAKE 110 1813 LINCOLN HGWY N VERSAILLES, PA 15137-2511 Latitude: 40.36843 Longitude: -79.7809 Summary Report Facility Report Compliance Report								<u>View</u> <u>Report</u>		
	) entries						ı	Search:		

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FACILITY INFORMATION	AFS	ACRES	BR	SEMS	GHG 0	PCS/ICIS <sup>1</sup>	RADInfo	RCRAInfo	TRI	TSCA
PENSKE AUTO CTR 1901 LINCOLN HWY SEC B NORTH VERSAILLES, PA 15137-2736 Latitude: 40.36799 Longitude: -79.77979  Summay Report Facety Report Compliance Report								<u>View</u> <u>Report</u>		
ROSS KENNY FORD RT 30 & BLACKHILL RD IRWIN, PA 15642 Latitude: 40.3632 Longitude: -79.773 Summary Report Facaty Report Companics Report								<u>View</u> <u>Report</u>		
TRACTOR SUPPLY COMPANY - NORTH VERSAILLES 120 MOSSIDE BOULEVARD NORTH VERSAILLES, PA 15137 Latitude: 40.369167 Longitude: -79.777222 Summay Report Facily Report Companies Report						<u>View</u> <u>Report</u>				

2 of 3 2/19/2020, 8:51 AM



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   Office of Resource Conservation and Recovery Home

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Data Disclaimer

RCRAInfo Facility Information

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#### WASTE MGMT N HUNTINGDON TERM

Handler ID: PA0000982181 310 LEGER RD NORTH HUNTINGDON, PA 15642

County Name: WESTMORELAND

Latitude: 40.34624 Longitude: -79.75857

Hazardous Waste Generator: Small

Quantity Generator

**Owner Name:** 



No BIENNIAL REPORT data is available for the facility listed above.

#### HANDLER / FACILITY CLASSIFICATION

Unspecified Universe for the facility listed above.

HANDLER TYPE LAND DISPOSAL INCINERATOR BOILER AND OR INDUSTRIAL FURNACE STORAGE TREATMENT

#### HANDLER TYPE

Small Quantity Generator

No PROCESS INFORMATION is available for the facility listed above.

No NAICS Codes are available for the facility listed above.

No Waste Codes are available for the facility listed above.

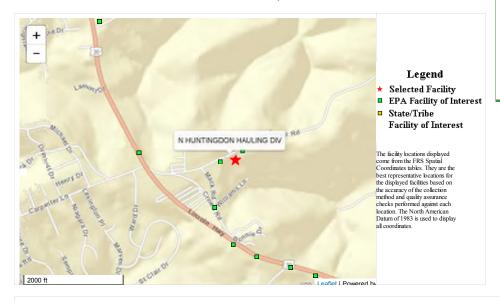
Go To Top Of The Page

2 of 3 12/17/2020, 3:24 PM Related Topics: Envirofacts

#### FRS Facility Detail Report

#### N HUNTINGDON HAULING DIV

**EPA Registry Id:** 110004826190 310 LEGER RD NORTH HUNTINGDON, PA 15642



#### **Facility Registry Service Links:**

- Facility Registry Service (FRS) Overview
- FRS Facility Query
- FRS Organization Query
   EZ Query
- FRS Physical Data Model
- FRS Geospatial Model

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nation System				System	n Facility Name	Information System Id/Report Link			Last Updated Date	Supple me nt	al Environmental Interes
ONAL POLLUTANT DI	SCHARGE ELIM	NATION SY	STEM (ICIS-NPDE	S) N HU	NTINGDON HAULING DIV	PAR506107	CTODA WATER	ICIS	ICIS- 11/02/2012 ENFORCEMENT/COMPLIANO ACTIVITY		MENT/COMPLIANCE
ISYLVANIA - ENVIROI KING SYSTEM	NMENTAL FACII	JTY APPLIC	ATION COMPLIAN	NCE WAST TERM	E MGMT N HUNTINGDON	PA0000982181	STATE MASTER	PA-EFACTS			
URCE CONSERVATIO	N AND RECOVE	RY ACT INFO	ORMATION SYSTE	EM WAST TERM	E MGMT N HUNTINGDON	PA0000982181	SQG (Y)	RCRAINFO			
ISYLVANIA - ENVIROI KING SYSTEM	NMENTAL FACII	LITY APPLIC	ATION COMPLIAN	NCE N HU	NTINGDON HAULING DIV	PAR506107	STATE MASTER	PA-EFACTS			
ONAL POLLUTANT DI	SCHARGE ELIM	NATION SY	STEM (ICIS-NPDE	S) N HU	NTINGDON HAULING DIV	PAR506107	ICIS-NPDES NON-MAJOR	ICIS	11/02/2012	ICIS- ENFORCEM ACTIVITY	MENT/COMPLIANCE
NPDES	SIC Code D 4212 L0	escription	rial Classification C KING WITHOUT S EMS		Primary		National Industry C	assification	System Codes (l	NAICS)	
		Facili	ity Codes and Flags			No NAICS Codes returned.					
EPA Region: Duns Number:			03				Facili	ty Mailing A	ddresses		
Congressional Dist			18								
Legislative District			5			Affiliation Type	Delivery Point	City Na	me	State Postal Code	Information System
HUC Code/Waters			05020005 / LOWE	R MONONGAHELA		FACILITY MAILIN	G	NORTH			
TIC M . D .	r Indicator:						310 LEGER RD			42	PA-EFACTS
US Mexico Border			NO			ADDRESS	310 ELGERTE	HUNTI	NGDON		
US Mexico Border Federal Facility: Tribal Land:			NO NO			ADDRESS OWNER	444 OXFORD VAL RD		NGDON	42 19047-83	00 PA-EFACTS
Federal Facility:		Al					444 OXFORD VAL	LANGE NORTE	IORNE	42 19047-83 PA 15642	00 PA-EFACTS NPDES
Federal Facility: Tribal Land: Alternative Name			NO	Source of Data		OWNER	444 OXFORD VAL RD	LANGE NORTE	IORNE		
Federal Facility: Tribal Land: Alternative Name WASTE MGMT N		ERM	NO	PA-EFACTS		OWNER	444 OXFORD VAL RD	LANGE NORTE HUNTI	IORNE		
Federal Facility: Tribal Land: Alternative Name WASTE MGMT N CHAMBERS DEVI		ERM	NO	PA-EFACTS NPDES PERMIT		OWNER	444 OXFORD VAL RD	LEY LANGE NORTH HUNTI	IORNE	PA 15642	
Federal Facility: Tribal Land: Alternative Name WASTE MGMT N CHAMBERS DEVE WASTE MGMT		ERM	NO	PA-EFACTS NPDES PERMIT RCRAINFO	CRA)	OWNER PERMITTEE  Affiliation Type	444 OXFORD VAL RD 310 LEGER RD Full Name	LEY LANGE NORTH HUNTI  Contacts  Office P	IORNE INGDON  Informa	PA 15642	NPDES
Federal Facility: Tribal Land: Alternative Name WASTE MGMT N CHAMBERS DEVI	ELOPMENT CO I	ERM NC	NO	PA-EFACTS NPDES PERMIT	CRA)	OWNER PERMITTEE  Affiliation Type SITE CONTACT	444 OXFORD VAL RD 310 LEGER RD Full Name JAMES QUEET	LANGH NORTH HUNTT Contacts Office P	IORNE I NGDON hone Informa	PA 15642	NPDES
Federal Facility: Tribal Land: Alternative Name WASTE MGMT N CHAMBERS DEVI WASTE MGMT CHAMBERS DEV	ELOPMENT CO I	ERM NC	NO	PA-EFACTS NPDES PERMIT RCRAINFO NOTIFICATION (R	CRA)	OWNER PERMITTEE  Affiliation Type	444 OXFORD VAL RD 310 LEGER RD Full Name JAMES QUEET	LANGH NORTH HUNTT Contacts Office P	IORNE INGDON  Informa	PA 15642	NPDES
Federal Facility: Tribal Land: Alternative Name WASTE MGMT N: CHAMBERS DEVI WASTE MGMT CHAMBERS DEV WASTE MANAGE!	ELOPMENT CO I	ERM NC	NO ternative Names Organizations	PA-EFACTS NPDES PERMIT RCRAINFO NOTIFICATION (R PCS		OWNER PERMITTEE  Affiliation Type SITE CONTACT	444 OXFORD VAL RD 310 LEGER RD Full Name JAMES QUEET	LANGH NORTH HUNTT Contacts Office P	IORNE I NGDON hone Informa	PA 15642	NPDES
Federal Facility: Tribal Land:  Alternative Name WASTE MGMT N CHAMBERS DEVI WASTE MGMT CHAMBERS DEVI WASTE MANAGE	ELOPMENT CO I	TERM NC	NO ternative Names Organizations	PA-EFACTS NPDES PERMIT RCRAINFO NOTIFICATION (R		OWNER PERMITTEE  Affiliation Type SITE CONTACT	444 OXFORD VAL RD 310 LEGER RD Full Name JAMES QUEET	LANGH NORTH HUNTT Contacts Office P	IORNE I NGDON hone Informa	PA 15642	NPDES

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**Facility** 

FACILITY NAME (1)	N HUNTINGDON HAULING DIV	<u>NPDES</u>	PAR506107
STREET 1	310 LEGER RD	SIC CODE	4212 = Local Trucking, Without Storage
CITY		MAJOR / MINOR	
COUNTY NAME	Westmoreland	TYPE OF OWNERSHIP	Corporation
STATE	PA	ACTIVITY STATUS	Expired
ZIP CODE	15642-1148	INACTIVE DATE	
REGION	Region 3	TYPE OF PERMIT ISSUED	General Permit Covered Facility
LATITUDE	40.346944	ORIGINAL PERMIT ISSUE DATE	11-DEC-1997
LONGITUDE	-79.759167	PERMIT ISSUED DATE	02-NOV-2012
LAT/LON CODE OF ACCURACY	30	PERMIT EXPIRED DATE	30-NOV-2017
LAT/LON METHOD	Unknown		
LAT/LON SCALE		USGS HYDRO BASIN CODE	
LAT/LON DATUM		FLOW	0
RECEIVING WATERS	UNT Of Brush Creek	FEDERAL GRANT IND	
PRETREATMENT CODE		SLUDGE CLASS FAC IND	NON-POTW
MAILING NAME		SLUDGE RELATED PERMIT NUM	
MAILING STREET (1)		ANNUAL DRY SLUDGE PROD	
MAILING STREET (2)			
MAILING CITY			
MAILING STATE			
MAILING ZIP CODE			
COGNIZANT OFFICIAL		COGNIZANT OFFICIAL TEL	

# Activity

FACILITY NAME (1)	N HUNTINGDON HAULING DIV	NDDEC	DAR506107
TACILITI NAME (1)	IN HUNTINGDON HAULING DIV	MIDES	TAIX300107

ACTIVITY NAME	ACTIVITY TYPE DESCRIPTION	ACTIVITY STATUS DESCRIPTION	ACTIVITY STATUS DATE	ACTUAL BEGIN DA
NPDES Permit (CWA)	Permit			
NPDES Permit (CWA)	Permit			
NPDES Permit (CWA)	Permit			
CEI	Inspection/Evaluation	Active	01-SEP-2015	25-AUG-2015
CEI	Inspection/Evaluation	Active	01-SEP-2015	25-AUG-2015
CEI	Inspection/Evaluation	Active	01-SEP-2015	25-AUG-2015
	Administrative - Informal	Achieved	26-AUG-2015	
	Administrative - Informal	Achieved	26-AUG-2015	
	Administrative - Informal	Achieved	26-AUG-2015	
CEI	Inspection/Evaluation	Active	02-DEC-2013	13-NOV-2013
CEI	Inspection/Evaluation	Active	02-DEC-2013	13-NOV-2013
CEI	Inspection/Evaluation	Active	02-DEC-2013	13-NOV-2013
NPDES Permit (CWA)	Permit	Active	11-DEC-2012	
NPDES Permit (CWA)	Permit	Active	11-DEC-2012	
NPDES Permit (CWA)	Permit	Active	11-DEC-2012	
SW	Inspection/Evaluation	Active	01-AUG-2012	26-JUN-2012
SW	Inspection/Evaluation	Active	01-AUG-2012	26-JUN-2012

SW	Inspection/Evaluation	Active	01-AUG-2012	26-JUN-2012
NPDES Permit (CWA)	Permit	Active	14-SEP-2007	
NPDES Permit (CWA)	Permit	Active	14-SEP-2007	
NPDES Permit (CWA)	Permit	Active	14-SEP-2007	
SW	Inspection/Evaluation	Active	08-AUG-2007	01-MAY-2007
SW	Inspection/Evaluation	Active	08-AUG-2007	01-MAY-2007
SW	Inspection/Evaluation	Active	08-AUG-2007	01-MAY-2007

## Contacts

FACILITY NAME (1)	N HUNTINGDON HAULING DIV	<b>NPDES</b>	PAR506107
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FIRST NAME	LAST NAME	ORGANIZATION FORMAL NAME	TELEPHONE NUMBER	TELEPHONE EXTENSION NUMBER	PHONE '
JAMES	QUEEN	WASTE MGMT OF PA INC			

# **Permit Tracking**

FACILITY NAME (1)	N HUNTINGDON HAULING DIV	NPDES	PAR506107
PERMIT ISSUED BY		ORIGINAL DATE OF ISSUE	11-DEC-1997
PERMIT ISSUED DATE	29-AUG-2002	PERMIT EXPIRED DATE	29-AUG-2007
EFFECTIVE DATE	29-AUG-2002	RETIREMENT DATE	05-SEP-2007

FACILITY NAME (1)	N HUNTINGDON HAULING DIV	NPDES	PAR506107
PERMIT ISSUED BY		ORIGINAL DATE OF ISSUE	11-DEC-1997
PERMIT ISSUED DATE	06-SEP-2007	PERMIT EXPIRED DATE	05-SEP-2012
EFFECTIVE DATE	06-SEP-2007	RETIREMENT DATE	30-NOV-2012

FACILITY NAME (1)	N HUNTINGDON HAULING DIV	NPDES	PAR506107
PERMIT ISSUED BY	State Environmental Organization	ORIGINAL DATE OF ISSUE	11-DEC-1997
PERMIT ISSUED DATE	02-NOV-2012	PERMIT EXPIRED DATE	30-NOV-2017
EFFECTIVE DATE	01-DEC-2012	RETIREMENT DATE	

#### **Permit Tracking Events:**

EVENT DATE
30-NOV-2017
01-DEC-2012
30-NOV-2012
02-NOV-2012
02-NOV-2012
05-SEP-2012
19-APR-2012
21-MAR-2012
06-SEP-2007
06-SEP-2007

Permit Reissued	06-SEP-2007
Permit Retired	05-SEP-2007
Permit Continued	30-AUG-2007
Permit Expiration	29-AUG-2007
Application/NOI Received	26-JAN-2007
Application/NOI Received	26-JAN-2007
Permit Effective	29-AUG-2002
Permit Issued	29-AUG-2002
Application/NOI Received	10-JUN-2002

# Inspections

FACILITY NAME (1)	N HUNTINGDON HAULING DIV	<b>NPDES</b>	PAR506107
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INSPECTION TYPE	DATE OF INSPECTION	INSPECTION PERFORMED BY
CEI	01-SEP-2015	State
CEI	01-SEP-2015	State
CEI	01-SEP-2015	State
CEI	02-DEC-2013	State
CEI	02-DEC-2013	State
CEI	02-DEC-2013	State
SW	01-AUG-2012	State
SW	01-AUG-2012	State
SW	01-AUG-2012	State
SW	08-AUG-2007	State
SW	08-AUG-2007	State
SW	08-AUG-2007	State

# **Outfalls/Pipe Schedules**

FACILITY NAME (1)	N HUNTINGDON HAULING DIV	<u>NPDES</u>	PAR506107
OUTFALL TYPE	External Outfall	PIPE NUMBER	001
ACTIVITY STATUS	A	REPORT DESIGNATOR	S
<u>LATITUDE</u>	40.346944	<b>LONGITUDE</b>	-79.759167
LAT/LON ACCURACY	61	LAT/LON METHOD	Unknown
LAT/LON SCALE	24000	LAT/LON DATUM	
INACTIVE DATE		USGS HYDRO BASIN CODE	
INIT DMR DUE DATE	28-JAN-13	SUBMISSION UNITS	Monthly
PIPE DESCRIPTION		UNITS IN SUBM. PERIOD	
INIT REPORTING DATE	01-JUL-12	REPORTING UNITS	Monthly
UNITS IN REPORTING PERIOD		DMR COMMENT	

FACILITY NAME (1) N HUNTINGDON HAULING	DIV NPDES	PAR506107
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OUTFALL TYPE	External Outfall	PIPE NUMBER	002
ACTIVITY STATUS	A	REPORT DESIGNATOR	S
<u>LATITUDE</u>	40.346944	LONGITUDE	-79.759167
LAT/LON ACCURACY	61	LAT/LON METHOD	Unknown
LAT/LON SCALE	24000	LAT/LON DATUM	
INACTIVE DATE		USGS HYDRO BASIN CODE	
INIT DMR DUE DATE	28-JAN-13	SUBMISSION UNITS	Monthly
PIPE DESCRIPTION		UNITS IN SUBM. PERIOD	
INIT REPORTING DATE	01-JUL-12	REPORTING UNITS	Monthly
UNITS IN REPORTING PERIOD		DMR COMMENT	

FACILITY NAME (1)	N HUNTINGDON HAULING DIV	NPDES	PAR506107
OUTFALL TYPE	External Outfall	PIPE NUMBER	003
ACTIVITY STATUS	A	REPORT DESIGNATOR	S
<u>LATITUDE</u>	40.346944	LONGITUDE	-79.759167
LAT/LON ACCURACY	61	LAT/LON METHOD	Unknown
LAT/LON SCALE	24000	LAT/LON DATUM	
INACTIVE DATE		USGS HYDRO BASIN CODE	
INIT DMR DUE DATE	28-JAN-13	SUBMISSION UNITS	Monthly
PIPE DESCRIPTION		UNITS IN SUBM. PERIOD	
INIT REPORTING DATE	01-JUL-12	REPORTING UNITS	Monthly
UNITS IN REPORTING PERIOD		DMR COMMENT	

FACILITY NAME (1)	N HUNTINGDON HAULING DIV	<u>NPDES</u>	PAR506107
OUTFALL TYPE		PIPE NUMBER	
ACTIVITY STATUS		REPORT DESIGNATOR	
<u>LATITUDE</u>		LONGITUDE	
LAT/LON ACCURACY		LAT/LON METHOD	
LAT/LON SCALE		LAT/LON DATUM	
INACTIVE DATE		USGS HYDRO BASIN CODE	
INIT DMR DUE DATE		SUBMISSION UNITS	
PIPE DESCRIPTION		UNITS IN SUBM. PERIOD	
INIT REPORTING DATE		REPORTING UNITS	
UNITS IN REPORTING PERIOD		DMR COMMENT	

# **Limits Report**

FACILITY NAME (1)	N HUNTINGDON HAULING DIV	NPDES	PAR506107
PIPE NUMBER	001		
PIPE DESCRIPTION		REPORT DESIGNATOR	S
DMR COMMENT		LIMIT SET TYPE	Scheduled

LIMIT TYPE DESCRIPTION	PARAMETER DESCRIPTION	MONITORING LOCATION	SEASON NUM	LIMIT BEGIN DATE	LIMIT END DATE	<u>CHA</u>
Enforceable	Oil & Grease	Effluent Gross	0	01-DEC-2012	30-NOV-2017	
Enforceable	Solids, total suspended	Effluent Gross	0	01-DEC-2012	30-NOV-2017	

FACILITY NAME (1)	N HUNTINGDON HAULING DIV	<u>NPDES</u>	PAR506107
PIPE NUMBER	002		
PIPE DESCRIPTION		REPORT DESIGNATOR	S
DMR COMMENT		LIMIT SET TYPE	Scheduled

LIMIT TYPE DESCRIPTION	PARAMETER DESCRIPTION	MONITORING LOCATION	SEASON NUM	LIMIT BEGIN DATE	LIMIT END DATE	<u>CHA</u>
Enforceable	Oil & Grease	Effluent Gross	0	01-DEC-2012	30-NOV-2017	
Enforceable	Solids, total suspended	Effluent Gross	0	01-DEC-2012	30-NOV-2017	

FACILITY NAME (1)	N HUNTINGDON HAULING DIV	NPDES	PAR506107
PIPE NUMBER	003		
PIPE DESCRIPTION		REPORT DESIGNATOR	S
DMR COMMENT		LIMIT SET TYPE	Scheduled

LIMIT TYPE DESCRIPTION	PARAMETER DESCRIPTION	MONITORING LOCATION	SEASON NUM	LIMIT BEGIN DATE	LIMIT END DATE	<u>CHA</u>
Enforceable	Oil & Grease	Effluent Gross	0	01-DEC-2012	30-NOV-2017	
Enforceable	Solids, total suspended	Effluent Gross	0	01-DEC-2012	30-NOV-2017	

FACILITY NAME (1)	N HUNTINGDON HAULING DIV	<u>NPDES</u>	PAR506107
PIPE NUMBER			
PIPE DESCRIPTION		REPORT DESIGNATOR	
DMR COMMENT		LIMIT SET TYPE	

No ICIS Limits Report Found.

## **Measurements and Violations**

FACILITY NAME (1)	N HUNTINGDON HAULING DIV	NPDES	PAR506107
LIMIT TYPE	Enforceable	PIPE NUMBER	001
SEASON NUM	0	REPORT DESIGNATOR	S
PARAMETER CODE	Oil & Grease	MONITORING LOCATION	Effluent Gross

MONITORING PERIOD END DATE	DMR VALUE DESCRIPTOR	DMR VALUE	DMR UNIT	LIMIT VALUE	LIMIT VALUE DESCRIPTOR	UNIT DESCRIPTION	DISCHARGE IND	MEASUREMENT VIOLATION DESCRIPTION	RNC DETECTION DESCRIPTION
31-DEC-2019	Equals	14	mg/L		Daily Maximum	Milligrams per Liter			
30-JUN-2019	Equals	5	mg/L		Daily Maximum	Milligrams per Liter			
31-DEC-2018	Less Than	5	mg/L		Daily Maximum	Milligrams per Liter			

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30-JUN-2018	Equals	12	mg/L	Daily Maximum	Milligrams per Liter	
31-DEC-2017	Equals	21	mg/L	Daily Maximum	Milligrams per Liter	

FACILITY NAME (1)	N HUNTINGDON HAULING DIV	NPDES	PAR506107
LIMIT TYPE	Enforceable	PIPE NUMBER	001
SEASON NUM	0	REPORT DESIGNATOR	S
PARAMETER CODE	Solids, total suspended	MONITORING LOCATION	Effluent Gross

MONITORING PERIOD END DATE	DMR VALUE DESCRIPTOR	DMR VALUE	DMR UNIT	 LIMIT VALUE DESCRIPTOR	UNIT DESCRIPTION	DISCHARGE IND	MEASUREMENT VIOLATION DESCRIPTION	RNC DETECTION DESCRIPTION
31-DEC-2019	Equals	160	mg/L	Daily Maximum	Milligrams per Liter			
30-JUN-2019	Equals	35	mg/L	Daily Maximum	Milligrams per Liter			
31-DEC-2018	Equals	37	mg/L	Daily Maximum	Milligrams per Liter			
30-JUN-2018	Equals	119	mg/L	Daily Maximum	Milligrams per Liter			
31-DEC-2017	Equals	139	mg/L	Daily Maximum	Milligrams per Liter			

FACILITY NAME (1)	N HUNTINGDON HAULING DIV	NPDES	PAR506107
LIMIT TYPE	Enforceable	PIPE NUMBER	002
SEASON NUM	0	REPORT DESIGNATOR	S
PARAMETER CODE	Oil & Grease	MONITORING LOCATION	Effluent Gross

MONITORING PERIOD END DATE	DMR VALUE DESCRIPTOR	DMR VALUE	DMR UNIT	LIMIT VALUE	LIMIT VALUE DESCRIPTOR	UNIT DESCRIPTION	DISCHARGE IND	MEASUREMENT VIOLATION DESCRIPTION	RNC DETECTION DESCRIPTION
31-DEC-2019	Equals	11	mg/L		Daily Maximum	Milligrams per Liter			
30-JUN-2019	Less Than	5			Daily Maximum	Milligrams per Liter			
31-DEC-2018	Equals	21			Daily Maximum	Milligrams per Liter			
30-JUN-2018	Equals	9			Daily Maximum	Milligrams per Liter			
31-DEC-2017	Equals	18			Daily Maximum	Milligrams per Liter			

FACILITY NAME (1)	N HUNTINGDON HAULING DIV	<u>NPDES</u>	PAR506107
LIMIT TYPE	Enforceable	PIPE NUMBER	002
SEASON NUM	0	REPORT DESIGNATOR	S
PARAMETER CODE	Solids, total suspended	MONITORING LOCATION	Effluent Gross

MONITORING PERIOD END DATE	DMR VALUE DESCRIPTOR	DMR VALUE	DMR UNIT	LIMIT VALUE	LIMIT VALUE DESCRIPTOR	UNIT DESCRIPTION	DISCHARGE IND	MEASUREMENT VIOLATION DESCRIPTION	RNC DETECTION DESCRIPTION
31-DEC-2019	Equals	62	mg/L		Daily Maximum	Milligrams per Liter			

30-JUN-2019	Equals	40	mg/L	Daily Maximum	Milligrams per Liter	
31-DEC-2018	Equals	413	mg/L	Daily Maximum	Milligrams per Liter	
30-JUN-2018	Equals	321	mg/L	Daily Maximum	Milligrams per Liter	
31-DEC-2017	Equals	533	mg/L	Daily Maximum	Milligrams per Liter	

FACILITY NAME (1)	N HUNTINGDON HAULING DIV	NPDES	PAR506107
LIMIT TYPE	Enforceable	PIPE NUMBER	003
SEASON NUM	0	REPORT DESIGNATOR	S
PARAMETER CODE	Oil & Grease	MONITORING LOCATION	Effluent Gross

MONITORING PERIOD END DATE	DMR VALUE DESCRIPTOR	DMR VALUE	DMR UNIT	LIMIT VALUE	LIMIT VALUE DESCRIPTOR	UNIT DESCRIPTION	DISCHARGE IND	MEASUREMENT VIOLATION DESCRIPTION	RNC DETECTION DESCRIPTION
31-DEC-2019	Less Than	5	mg/L		Daily Maximum	Milligrams per Liter			
30-JUN-2019	Less Than	5			Daily Maximum	Milligrams per Liter			
31-DEC-2018	Equals	5			Daily Maximum	Milligrams per Liter			
30-JUN-2018	Less Than	5			Daily Maximum	Milligrams per Liter			
31-DEC-2017	Less Than	5			Daily Maximum	Milligrams per Liter			

FACILITY NAME (1)	N HUNTINGDON HAULING DIV	NPDES	PAR506107
LIMIT TYPE	Enforceable	PIPE NUMBER	003
SEASON NUM	0	REPORT DESIGNATOR	S
PARAMETER CODE	Solids, total suspended	MONITORING LOCATION	Effluent Gross

MONITORING PERIOD END DATE	DMR VALUE DESCRIPTOR	DMR VALUE	DMR UNIT	LIMIT VALUE	LIMIT VALUE DESCRIPTOR	UNIT DESCRIPTION	DISCHARGE IND	MEASUREMENT VIOLATION DESCRIPTION	RNC DETECTION DESCRIPTION
31-DEC-2019	Equals	27	mg/L		Daily Maximum	Milligrams per Liter			
30-JUN-2019	Equals	4	mg/L		Daily Maximum	Milligrams per Liter			
31-DEC-2018	Equals	204	mg/L		Daily Maximum	Milligrams per Liter			
30-JUN-2018	Equals	43	mg/L		Daily Maximum	Milligrams per Liter			
31-DEC-2017	Equals	144	mg/L		Daily Maximum	Milligrams per Liter			

## **Compliance Schedules and Violations**

FACILITY NAME (1)	N HUNTINGDON HAULING DIV	NPDES	PAR506107

No Compliance Schedules Found.

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## **Pretreatment Inspections/Audits**

FACILITY NAME (1) N HUNTINGDON HAULING DIV NPDES PAR506107

No ICIS Pretreatment Inspections Found.

## **Pretreatment Performance Summary**

No ICIS Pretreatment Performance Summary Information Found.

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# VANGURA LAMINATED PRODUCTS INC

Handler ID: PAR000010975 14431 ROUTE 30 NORTH HUNTINGDON, PA 15642

County Name: WESTMORELAND

**Latitude:** 40.353583 **Longitude:** -79.768025

Hazardous Waste Generator: Small

Quantity Generator

Owner Name:



No BIENNIAL REPORT data is available for the facility listed above.

RUSSELL BOLTON 1443 RT 3
-----------------------------

#### HANDLER / FACILITY CLASSIFICATION

Unspecified Universe for the facility listed above.

#### **HANDLER TYPE**

Small Quantity Generator

No PROCESS INFORMATION is available for the facility listed above.

#### LIST OF NAICS CODES AND DESCRIPTIONS

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NAICS CODE	NAICS DESCRIPTION
337127	INSTITUTIONAL FURNITURE MANUFACTURING
3219	OTHER WOOD PRODUCT MANUFACTURING

#### LIST OF WASTE CODES AND DESCRIPTIONS

WASTE CODE	WASTE DESCRIPTION				
D001	IGNITABLE WASTE				

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#### HI-WAY CLEANERS & TUX SHOP INC

Handler ID: PAD981105703 14800 RT 30

NORTH HUNTINGDON, PA 15642

County Name: WESTMORELAND

**Latitude:** 40.359116 Longitude: -79.769886

Hazardous Waste Generator: Small

Quantity Generator

Owner Name: DOPIRAK, GEORGE



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No BIENNIAL REPORT data is available for the facility listed above.

#### LIST OF FACILITY CONTACTS

NAME	<u>STREET</u>	CITY	STATE	ZIP CODE	PHONE	TYPE OF CONTACT
DANIEL DOPIRAK	14800 RT 30	NORTH HUNTINGDON	PA	15642	412-823-8042	Public
DANIEL DOPIRAK	14800 RT 30	NORTH HUNTINGDON	PA	15642	412-823-8042	Permit

#### HANDLER / FACILITY CLASSIFICATION

Unspecified Universe for the facility listed above.

#### **HANDLER TYPE**

Small Quantity Generator

No PROCESS INFORMATION is available for the facility listed above.

#### LIST OF NAICS CODES AND DESCRIPTIONS

NAICS CODE	NAICS DESCRIPTION
81232	DRYCLEANING AND LAUNDRY SERVICES (EXCEPT COIN-OPERATED)

#### LIST OF WASTE CODES AND DESCRIPTIONS

WASTE CODE	WASTE DESCRIPTION
D001	IGNITABLE WASTE

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2/19/2020, 9:04 AM 1 of 3

# KMART STORE 4064 Handler ID: PAR000007286 1901 LINCOLN HWY END OF NORTH VERSAILLES, PA 15137 County Name: ALLEGHENY Latitude: 40.36799 Longitude: -79.77979 Hazardous Waste Generator: Conditionally Exempt Small Quantity Generator Owner Name: \*You can navigate within the map with your mouse.

No BIENNIAL REPORT data is available for the facility listed above.

ROBERT ALESIUS	1901 LINCOLN HWY	NORTH VERSAILLES	PA	15137	412-824-1060	Permit
	HWY					

#### HANDLER / FACILITY CLASSIFICATION

Unspecified Universe for the facility listed above.

#### HANDLER TYPE

Conditionally Exempt Small Quantity Generator

No PROCESS INFORMATION is available for the facility listed above.

2 of 3 2/19/2020, 9:04 AM

No NAICS Codes are available for the facility listed above.

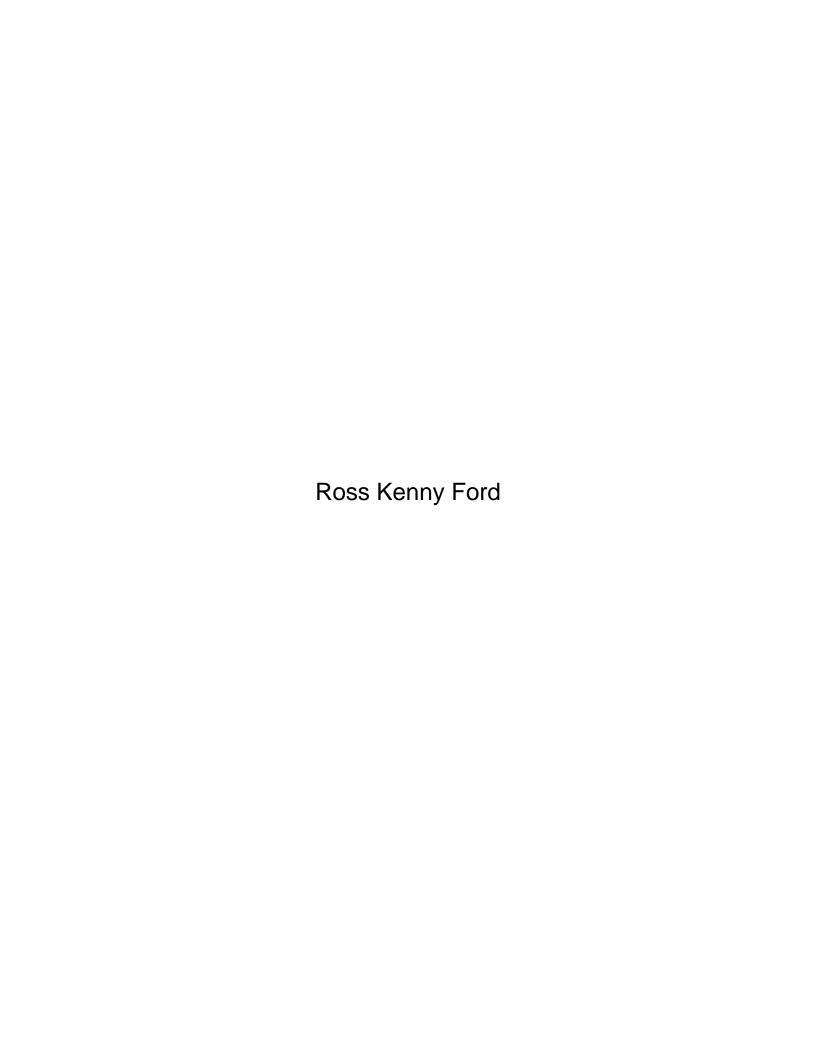
#### LIST OF WASTE CODES AND DESCRIPTIONS

WASTE CODE	WASTE DESCRIPTION				
D001	IGNITABLE WASTE				

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#### ROSS KENNY FORD

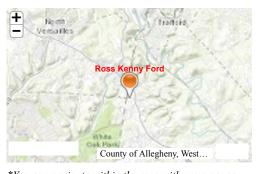
Handler ID: PAR000030577 RT 30 & BLACKHILL RD IRWIN, PA 15642

County Name: WESTMORELAND

**Latitude:** 40.3632 Longitude: -79.773

**Hazardous Waste Generator:** Small Quantity Generator

Owner Name: ROSS KENNY FORD



\*You can navigate within the map with your mouse.

2/19/2020, 9:11 AM 2 of 4

No BIENNIAL REPORT data is available for the facility listed above.

#### LIST OF FACILITY CONTACTS

NAME	<u>STREET</u>	<u>CITY</u>	<u>STATE</u>	ZIP CODE	PHONE	TYPE OF CONTACT
RICHARD SIMON	PO BOX 269 RT 30 & BLACKHILL	ADAMSBURG	PA	15611	412-864-3601	Public
RICHARD SIMON	PO BOX 269 RT 30 & BLACKHILL	ADAMSBURG	PA	15611	412-864-3601	Permit

#### HANDLER / FACILITY CLASSIFICATION

Unspecified Universe for the facility listed above.

#### HANDLER TYPE

Small Quantity Generator

No PROCESS INFORMATION is available for the facility listed above.

No NAICS Codes are available for the facility listed above.

#### LIST OF WASTE CODES AND DESCRIPTIONS

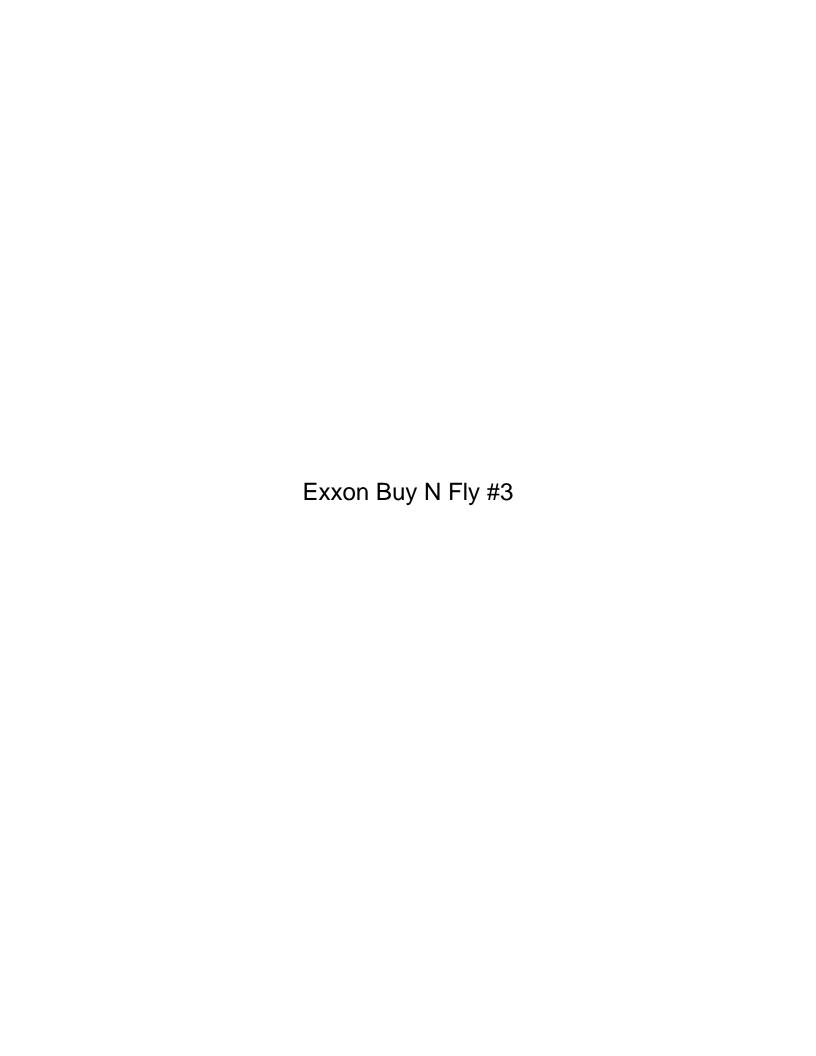
WASTE CODE	WASTE DESCRIPTION		
D001	IGNITABLE WASTE		
D006	CADMIUM		
D039	TETRACHLOROETHYLENE		

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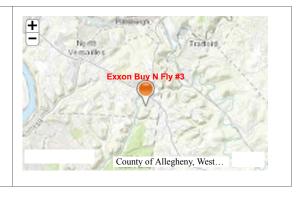
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- Contact Us



**Plant Information** 

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<b>Operating Status Code</b>	OPR	Operating Status Desc.	Operating
Facility ID	PAACH0004200301141	State Registration Number	
Facility Type Code	POF	Facility Type Desc.	Privately Owned Facility
<b>Government Facility Code</b>	ACH	<b>Government Facility Description</b>	Allegheny County Health Department

	NAICS Information	
NAICS Code	NAICS Description	
447110	Gasoline Stations with Convenience Stores	5

	SIC Informat
SIC Code	SIC Description
5541	Gasoline Service Stations

#### Air Program Information

Program Code	Program Description	Operating Status	Subpart Code	Subpart Description
CAAMACT	MACT Standards (40 CFR Part 63)	Operating		MACT Part 63 - Subpart R - GASOLINE DISTRIBUTION

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Program Code	Program Description	Operating Status	Subpart Code	Subpart Description
CAASIP	P State Implementation Plan for National Primary and Secondary Ambient Air Quality Standards			

#### **Air Pollutant Information**

Pollutant Code	Pollutant Description	Chemical Abstract Service (CAS) Number	SRS AIR Pollutant Class Code		AIR Pollutant Class Description
300000243	VOLATILE ORGANIC COMPOUNDS (VOCS)		761346 MIN		Minor Emissions
300000373	Gasoline, natural	8006619	157628	MIN	Minor Emissions

#### Air Compliance Monitoring Information

State/EPA Flag	Activity Type	<b>Activity Type Description</b>	Compliance Monitor Type	Compliance Monitor Type Description	End Date	Program Code
L	INS	Inspection/Evaluation	FOO	FCE On-Site	17- JUN-09	CAAMACT,CAASIP
E	INS	Inspection/Evaluation	FOO	FCE On-Site	17- NOV-04	CAASIP
L	INS	Inspection/Evaluation	FOO	FCE On-Site	17- NOV-04	CAAMACT,CAASIP

#### **Formal Enforcement Information**

State/EPA Flag	Activity Type	<b>Activity Type Description</b>	Enforcement Identifier	Enforcment Type Code	<b>Total Penalty Assessed</b>	Settlement Entered Date
L	AFR	Administrative - Formal	PAACHA00004200301141	SCAAAO	1425	05-AUG-09

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#### MONRO MUFFLER BRAKE #110

Handler ID: PAD982577504 1813 LINCOLN HGWY NORTH VERSAILLES, PA 15137

County Name: ALLEGHENY

**Latitude:** 40.36843 **Longitude:** -79.7809

**Hazardous Waste Generator:** Small Quantity Generator

Owner Name: MONRO MUFFLER

BRAKE



\*You can navigate within the map with your mouse.

2/19/2020, 9:09 AM 2 of 4

No BIENNIAL REPORT data is available for the facility listed above.

#### LIST OF FACILITY CONTACTS

NAME	<u>STREET</u>	<u>CITY</u>	<u>STATE</u>	ZIP CODE	PHONE	TYPE OF CONTACT
GEORGE JARRETT	1813 LINCOLN HGWY	NORTH VERSAILLES	PA	15137	716-427-2280	Public
GEORGE JARRETT	1813 LINCOLN HGWY	NORTH VERSAILLES	PA	15137	716-427-2280	Permit

#### HANDLER / FACILITY CLASSIFICATION

Unspecified Universe for the facility listed above.

#### **HANDLER TYPE**

Small Quantity Generator

No PROCESS INFORMATION is available for the facility listed above.

No NAICS Codes are available for the facility listed above.

#### LIST OF WASTE CODES AND DESCRIPTIONS

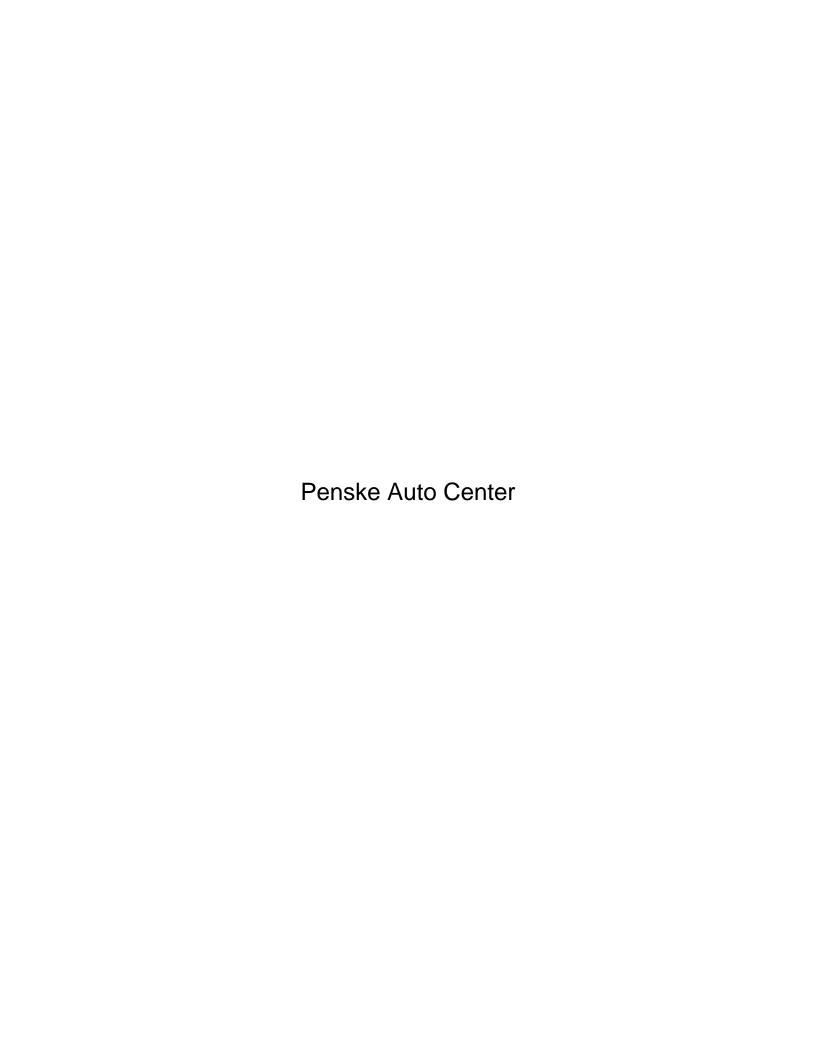
WASTE CODE	WASTE DESCRIPTION
D000	DESCRIPTION
D001	IGNITABLE WASTE

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#### PENSKE AUTO CTR

Handler ID: PAR000014928 1901 LINCOLN HWY SEC B NORTH VERSAILLES, PA 15137

County Name: ALLEGHENY

**Latitude:** 40.36799 **Longitude:** -79.77979

**Hazardous Waste Generator:**Conditionally Exempt Small Quantity

Generator

Owner Name: PENSKE AUTO CTR INC



\*You can navigate within the map with your mouse.

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No BIENNIAL REPORT data is available for the facility listed above.

#### LIST OF FACILITY CONTACTS

NAME	<u>STREET</u>	<u>CITY</u>	STATE	ZIP CODE	PHONE	TYPE OF CONTACT
DAVID TATUM	3270 W BIG BERVER RD	TROY	MI	48084-3163	810-643-5171	Public
DAVID TATUM	3270 W BIG BERVER RD	TROY	MI	48084-3163	810-643-5171	Permit

#### HANDLER / FACILITY CLASSIFICATION

Unspecified Universe for the facility listed above.

#### **HANDLER TYPE**

Conditionally Exempt Small Quantity Generator

No PROCESS INFORMATION is available for the facility listed above.

No NAICS Codes are available for the facility listed above.

#### LIST OF WASTE CODES AND DESCRIPTIONS

WASTE CODE	WASTE DESCRIPTION
D001	IGNITABLE WASTE
D018	BENZENE
D039	TETRACHLOROETHYLENE

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#### MERCK-MEDCO RX SRVCS OF PA

Handler ID: PAR000039271 1810 LINCOLN HWY NORTH VERSAILLES, PA 15137

County Name: ALLEGHENY

**Latitude:** 40.36849 **Longitude:** -79.781045

Hazardous Waste Generator: Large Quantity

Generator

Owner Name:



\*You can navigate within the map with your mouse.

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#### BIENNIAL REPORT SUMMARY

REPORT YEAR	GENERATION (Tons)	MANAGEMENT (Tons)	WASTE RECEIVED (Tons)	WASTE SHIPPED (Tons)	INCINERATION (Tons)	DISPOSAL (Tons)	ACUTE GENERATION (Tons)
2001	Q			7			

#### LIST OF FACILITY CONTACTS

NAME	STREET	CITY	STATE	ZIP CODE	PHONE	TYPE OF CONTACT
TOM POWERS					412-829-3255	Public
TOM POWERS	1810 LINCOLN HWY	NORTH VERSAILLES	PA	15137	412-829-3255	Permit
TOM POWERS					412-829-3255	Permit

#### HANDLER / FACILITY CLASSIFICATION

Unspecified Universe for the facility listed above.

#### HANDLER TYPE

Large Quantity Generator

No PROCESS INFORMATION is available for the facility listed above.

#### LIST OF NAICS CODES AND DESCRIPTIONS

NAICS CODE	NAICS DESCRIPTION	
45411	ELECTRONIC SHOPPING AND MAIL-ORDER HOUSES	

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No Waste Codes are available for the facility listed above.	

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#### MAROADI TRANSFER

Handler ID: PAR000518878 1801 LINCOLN HWY NORTH VERSAILLES, PA 15137

County Name: ALLEGHENY

**Latitude:** 40.36893 **Longitude:** -79.7821

**Hazardous Waste Generator:** Small Quantity Generator

Owner Name: WILLIAM MAROADI



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No BIENNIAL REPORT data is available for the facility listed above.

#### LIST OF FACILITY CONTACTS

NAME	<u>STREET</u>	CITY	STATE	ZIP CODE	PHONE	TYPE OF CONTACT
DAVID RICE	1801 LINCOLN HWY	NORTH VERSAILLES	PA	15137	412-243-4545 207	Public
DAVID RICE	1801 LINCOLN HWY	NORTH VERSAILLES	PA	15137	412-243-4545, 207	Permit

#### HANDLER / FACILITY CLASSIFICATION

Unspecified Universe for the facility listed above.

#### **HANDLER TYPE**

Small Quantity Generator

No PROCESS INFORMATION is available for the facility listed above.

#### LIST OF NAICS CODES AND DESCRIPTIONS

NAICS CODE	NAICS DESCRIPTION
48411	GENERAL FREIGHT TRUCKING, LOCAL

#### LIST OF WASTE CODES AND DESCRIPTIONS

WASTE CODE	WASTE DESCRIPTION
D001	IGNITABLE WASTE

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May 28, 1998

2325 Maryland Road Willow Grove, Pennsylvania 19090 215 657 5000 Tel 215 657 5454 Fax

Commonwealth of Pennsylvania Department of Environmental Protection Environmental Clean-up Program 400 Waterfront Drive Pittsburgh, Pennsylvania 15222-4745

Attn: John J. Matviya

Regional Manager

Re:

Act 2 Liability Protection

Dear Mr. Matviya:

Dames & Moore, on behalf of Chrysler Realty Corporation, had received approval of remedial activities conducted at Norwin Dodge(Facility ID#s65-09871 and 65-80917), but the sites would not receive the full Act II Liability Protection until the statewide health standards were promulgated as regulations. Since Act 2 has been finalized, we are requesting to receive the final release of liability.

Sincerely,

Dames & Moore

Pamela K. Pidge

Associate

cc:

Thom Noles - Chrylser

XXXxx (PHL) NUMBER\_LDOC

Enclosure



### Pennsylvania Department of Environmental Protection

#### 400 Waterfront Drive Pittsburgh, PA 15222-4745 August 27, 1996

Southwest Regional Office

412-442-4000

Joe Francomano Chrysler Realty Corporation 19 Tempo Road New York, NY 10956

> RE: I.D. #5-65-8-2275

Norwin Dodge Automobile Dealership Facility #65-09871 and #65-80917

13230 Lincoln Highway

North Huntingdon Township Westmoreland County

Dear Mr. Francomano:

The Final Report received by the Department on July 3, 1996 pertaining to The Norwin Dodge Automobile Dealership is hereby approved in accordance with the provisions of the Land Recycling and Remediation Standards Act (1995-2). As a result of this approval no further closure/remediation/assessment activities are required at this time.

This approval is for the following Remediation Standards:

- Statewide Health Standards have been documented for all of the site 1. except the area of the former hydraulic lifts.
- Site Specific Standards have been documented by a Risk Assessment for 2. the area of the former hydraulic lifts. This area is within the auto dealership building and is currently covered with a concrete floor.

In accordance with the provisions of the Land Recycling and Environmental Remediation Standards Act (Act 2) the site is granted the liability protection as specified in Act 2. Act 2 requires that Statewide Health Standards for soil be promulgated as regulations, so until that takes place, full liability protection under Act 2 will not be available. These regulations are to be in place by July 1, 1997. If your site meets the promulgated standards you will receive the Act 2 liability protection.



This approval is based on the information submitted in the Final Report for this auto dealership. It assumes that the building will remain and the concrete floor will not be removed. If the concrete floor of the building is removed in the future an evaluation must be made of the need for remediation.

Thank you for your cooperation in working with the Department under Act 2. If you need any additional information regarding this matter please contact the Environmental Cleanup Program.

Sincerely,

John J. Matviya Regional Manager

Environmental Cleanup

cc;

Dames and Moore Norwin Dodge Soil Samples only - No GW Site Assessment Sampling for

Acetime

Talvene

Ethyl beasone

Xylancs

lead

Barron

bill In chloroethere

14 Dichloroethere

4-Methyl-2-positione

Methylene Chlorde

Tetrachloroethere

Phenauthreve

2-Butanone (Not on Adz hist)

Post Excevetion Soil Simples

Actions
Tetracklowe thrue
Bonzene
Othylbenzene
Tolume

total Xylene

No excedences for

Non Residential Soils



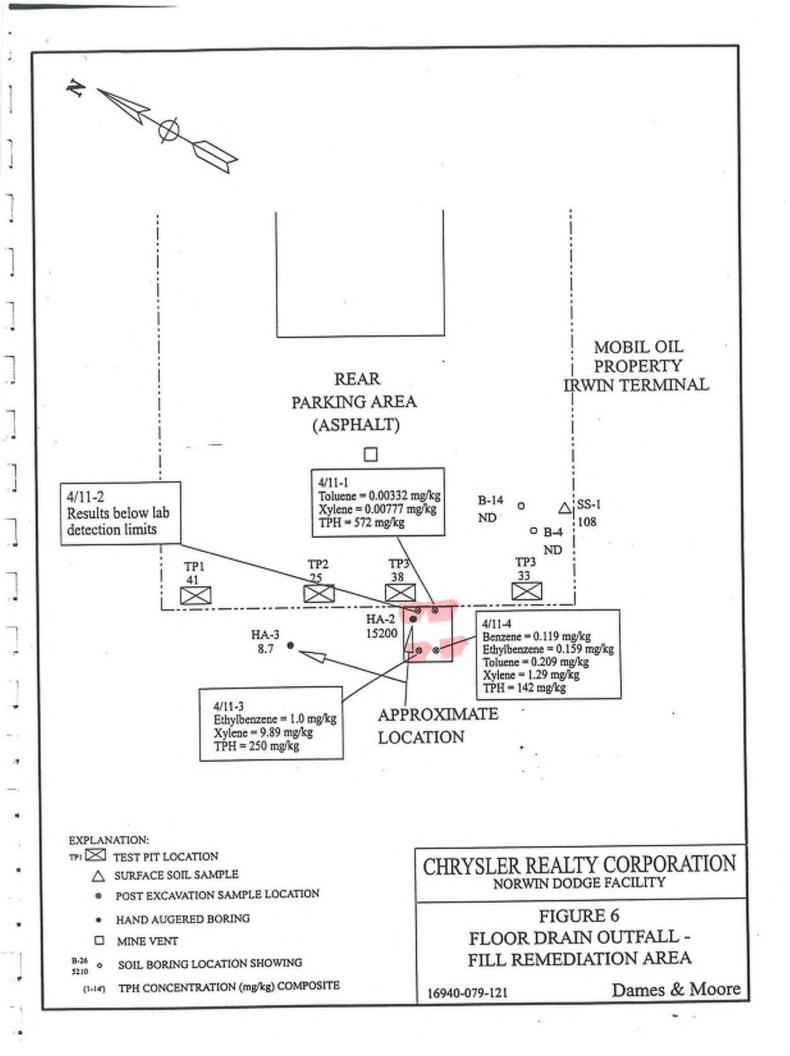
TABLE 1

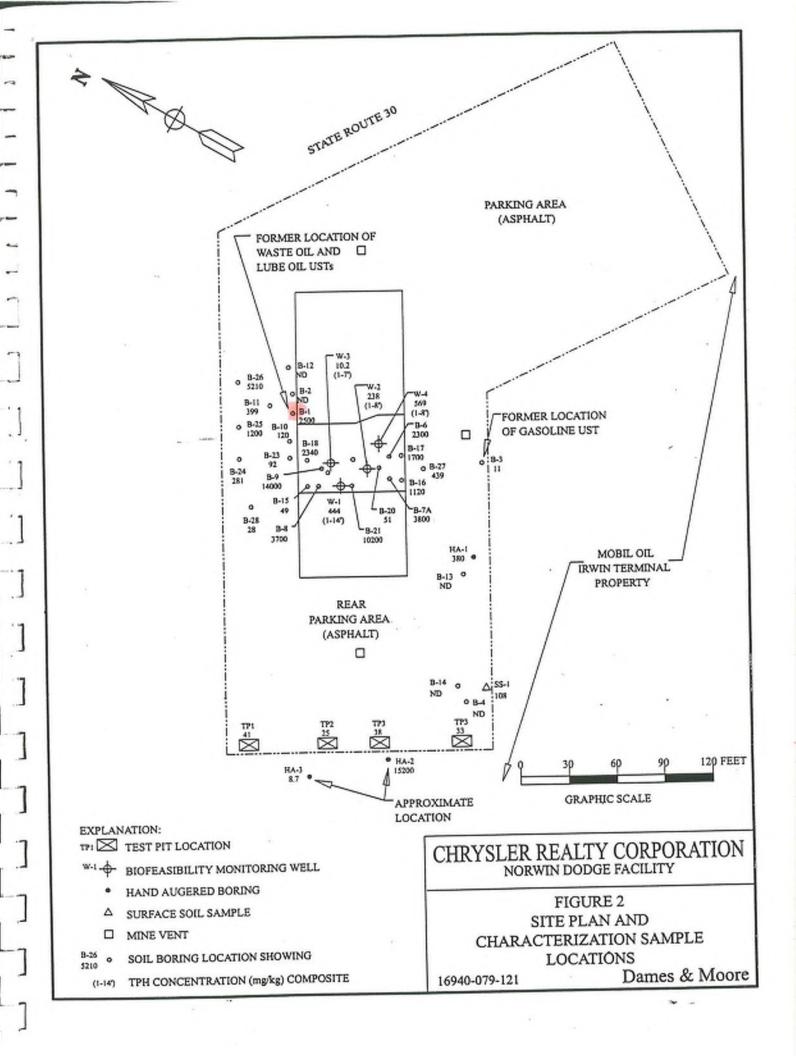
SUMMARY OF POST-EXCAVATION SAMPLE RESULTS 2017 NORWIN DODGE FACILITY

NORTH HUNTINGTON, PENNSYLVANIA

	UST-S1	AST-B1	411-1	4/11-2	4/11-3	4/11-4	
Approximate Depth			5.	2,	12'	12.	
Date Analyzed	2/21/96	2/21/96	4/15/96	4/15/96	4/15/96	4/15/96	
Location	UST Excavation	AST Excavation	Drain Pipe Discharge Excavation Headwall	Drain Pipe Discharge Excavation Headwall	Drain Pipe Discharge Excavation Floor	Drain Pipe Discharge Excevation Floor	
Parameters							
VOCs (Method 8020)							2,7
Acetone	NA	NA	<0.020	<0.010	<5.0	0.1	10,000
Tetrachloroethene	NA	NA	0.0486	<0.001	<0.5	<0.01	28-33
Benzene	<0.200	<0.200	<.0002	<0.0002	<.0002	0.119	200
Ethylbenzene	<0.200	<0.200	<.0002	<0.0002	1	0.159	10,000
Toluene	<0.200	<0.200	0.00332	<0.0002	<0.2	0.209	10,000
Total Xylenes	<0.200	<0.200	0.00777	.00257	9.83	1.29	10,000
Total Petroleum Hydrocarbons (Method	V .	1300	572	V 22	250	142	_ 10

Results reported in mg/kg





## SUMMARY OF CONSTITUENTS DETECTED IN SOILS NORTH HUNTINGDON, PENNSYLVANIA NORWIN DODGE FACILITY

Sample No:	HA-1	HA-2	HA-3	B-1,5-3	B-2,S-2	B-3,S-1	B-3,S-2	8-4,5-5	9-8	B-7A	8-8	B-9	
Depth	14-22"	24-30"	12.17"	4.5-6.5	2.5-4.5	0.5-2.5	2.54.5	8-10					DEP Statewide
Date Analyzed	3/13/95	3/13/95	3/13/95	3/14/95	3/14/95	3/13/95	3/14/95	3/14/95	3/14/95	3/14/95	3/14/95	3/14/95	Human Health
Location	Diteh	Drain Ditch	. Drain Ditch	UST	UST	UST	UST	Prop. Line	*	¥.	Lifts	#1	Standards for
Parameters													
VOCs (Method 8240)													
Acetone	0.46	38	0.033	Υ×	AN	NA	ΑN	0.027	AN	AM	AM	ΨN	200
Toluene	< EQL	7.7	<£01	NA	AN	NA A	¥	< EQ.	ΑN	¥	ΑN	AN	100
Ethylbenzene	0.14	<£01.	<eq.< td=""><td>AN</td><td>ΑN</td><td>NA</td><td>¥</td><td><eql< td=""><td>Α¥</td><td>NA NA</td><td>AM</td><td>N N</td><td>02</td></eql<></td></eq.<>	AN	ΑN	NA	¥	<eql< td=""><td>Α¥</td><td>NA NA</td><td>AM</td><td>N N</td><td>02</td></eql<>	Α¥	NA NA	AM	N N	02
Xylenes	0.25	23	< EQL	ΑN	ΑÑ	ΝA	ΑN	< EQL	AN	¥	ΝΑ	MA	2
VOCs (EPA 8020)							,						*
Велхепе	ΝA	NA	NA	NA	NA	<e01< td=""><td>ΑN</td><td>0.0021</td><td>٨٨</td><td>ΑN</td><td>MA</td><td>NA</td><td>80</td></e01<>	ΑN	0.0021	٨٨	ΑN	MA	NA	80
Toluene	NA	NA	ΝΆ	ΑN	NA	< EQL	ΑN	0.0021	NA	¥	ΝĀ	ΑN	100
Ethyibenzene	NA	NA	NA	NA	AN	< EQL	ΑN	0.0021	ΑN	AN	٨	AN	70
Xylenes	NA	NA	ΝΑ	ΝA	ΑÑ	900.0	NA.	0.0062	AN	¥	ΝΑ	¥	5
Total Petroleum Hydrocarbons													
es Diesel Renge Orgenics (DROs; 8015)	320	15,200	8.7	NA	< EQL	∨EQL	-	<e0l< td=""><td>&lt; EQL</td><td>&lt; EQL</td><td>&lt; EQL</td><td><eql< td=""><td>500**</td></eql<></td></e0l<>	< EQL	< EQL	< EQL	<eql< td=""><td>500**</td></eql<>	500**
Total Petroleum Hydrocerbons (EPA 418.1)	WA	NA	NA	2,500	AM	NA	AM	NA	2,300	3,800	9,700	14,000	500**
Metals													
Leed by ICP	NA	ΑN	NA AM	323	NA AM	MA	NA	AN	NAN	ΑΝ	AN	AN	£00.
Berium by ICP	νγ	ΝA	ΑN	< EQL	٨	ΑN	AN	AN	۷×	Ψ <sub>N</sub>	NA N	MA	5,000
							7	*					200

Notes:

Alt rosults ere reported as mg/kg and represent a summary of detected constituents at the facility.
<EQL \*\* Less than the Estimated Qualification Limit, EQL's are the lowest concentrations that can be reliably measured under laboratory conditions.

Not enelyzed for this constituent

Leed Cleenup levels in Pennsylvanie are 200 mg/kg for non-industrial sites, and 600 mg/kg for industrial sites. TPH Cleanup levels in Pennsylvania ere 200 mg/kg for "new" releases and 500 mg/kg for old releases.

Surface dreinage ditch along property boundary. Drain Ditch

Locetions of 3 former underground storage tanks.

UST

Locations of a former univerground storage tanks. Locations at property line between Norwin Dodge facility and existing, adjacent tank farm property. Prop. Line

Kylene cleenup stenderds ere based on individual o. m., and p-xylene levels which range from 0.7 mg/kg to 1.0 mg/kg. Locations et former underground hydraulic lifts within the dealership.

# SUMMARY OF CONSTITUENTS DETECTED IN SOILS NORWIN DODGE FACILITY NORTH HUNTINGDON, PENNSYLVANIA

Sample Name	8-10	8-11	8-12	813	41-8	8-15	020
Date Analyzed							Statewide
Sample Location	Tsu	usT	ÚST	Drainage Ditch	Drainage Ditch	Ourside Lifts	Human Health Standards
Depth (bgs)	2.4	4-5.2	4-5.2′	8-9	.8-9	0.54	
Parameters							
Volatile Organic Compounds (8240)							
Асетоле	NA	NA	NA	0.015	0.019	ΑN	400
1,1-DCE	NA	NA	NA	0.0055	0.010	NA	0.5
1,1,1-TCA	NA	NA	NA	0.031	0.042	NA	20
Total Petroleum Hydrocarbons (418.1)	120	399	<e01.< td=""><td>&lt; EQL</td><td>&lt; EQL</td><td>49</td><td>500</td></e01.<>	< EQL	< EQL	49	500
PCB's (8080)	NA	NA	NA	NA	NA	<eql< td=""><td></td></eql<>	
Lead	15	43.8	13.7	WA	NA	NA	909

SUMMARY OF CONSTITUENTS DETECTED IN SOILS NORWIN DODGE FACILITY NORTH HUNTINGDON, PENNSYLVANIA

Sample Name	8-16	8.17	α, α	C	OF 9		
			2		07-0	17-g	C.
			***				State of the
Sample Location	Outside Lifts	Outside Lifts	Outside Lifts	Inside Lifts	Inside Lifts	Inside Lifes	Human
Depth (bgs)	.9-₱	.8-9	.4.2	8-10	4.6	10-12	Standards
Parameters							
Volatile Organic Compounds (8240)							
Acetone	NA	NA	ΑN	ΝΑ	AM	ă	400
1,1-DCE	NA	NA	NA	AN	NA	ΔN	3 0
1,1,1-TCA	NA	NA	NA	NA	NA	AN AN	6.0
Total Petroleum Hydrocarbons (418.1)	1,120	1,700	2,340	7,010	5.1	10.200	500
PCB's (8080)	ΑN	ΝΑ	AN	AA	AN	AN	
Lead	NA	۸A	AN	AN	NA	NA	900

Notes:

All results are reported as mg/kg.

# SUMMARY OF CONSTITUENTS DETECTED IN SOILS NORTH HUNTINGDON, PENNSYLVANIA NORWIN DODGE FACILITY

Analyzed         Inside         Drainage           ple Location         Lifts         Ditch           in (bgs)         2-4*         0.6*           neter         2-4*         0.6*           neter         Analyzed         Analyzed           neterone         NA         < EQL           ,1-DCE         NA         < EQL           ,1-DCE         NA         < 0.051           Petroleum Hydrocarbons (418.1)         47         108           s (8080)         < EQL         NA	SS-1 R-23	D 24 B 25				
ple Location         Inside Lifts         Drainage Direh           h (bgs)         2-4*         0.5°           neter         2-4*         0.6°           neter         A         0.6°           neter         NA         < EQL           ,1-DCE         NA         < EQL           ,1-DCE         NA         < EQL           ,1-DCE         NA         < COL           Petroleum Hydrocarbons (418.1)         47         108           s (8080)         < EQL         NA		67-9	B-26	8-27	B-28	
ple Location         Inside         Drainage           In (bgs)         2-4*         0.5°           In (bgs)         2-4*         0.6°           In eter         In eter         In eter           Incetone         NA         < EQL						
In Ibgs)         2-4*         0.5*           meter         1         0.5*           rile Organic Compounds (8240)         NA <eql< td="">           1-DCE         NA         <eql< td="">           1-DCE         NA         &lt;.EQL</eql<></eql<>		ust ust	UST	Lifts	TSU	Statewide Human
tile Organic Compounds (8240) Cetone 7.1-DCE NA <eql (418.1)="" 0.051="" 108<="" 47="" <eql="" hydrocarbons="" n.1.1-tca="" na="" petroleum="" td=""><td>0.5-2</td><td>4-6' 0.5 2'</td><td>0.5-1.5</td><td>.77</td><td>100</td><td>Standards</td></eql>	0.5-2	4-6' 0.5 2'	0.5-1.5	.77	100	Standards
tile Organic Compounds (8240)           Acetone         NA <eql< th="">           ,1-DCE         NA         <ceql< td="">           ,1,1-TCA         NA         0.051           Petroleum Hydrocarbons (418.1)         47         108           8 (8080)         <eql< td="">         NA</eql<></ceql<></eql<>					01-0	
CECTOR         NA         < EQ1						
,1-DCE NA <eql (1.1-tca="" (418.1)="" (8080)="" 0.051="" 108="" 47="" <eql="" hydrocarbons="" na="" na<="" petroleum="" td=""><td></td><td>NA NA</td><td>* 1</td><td></td><td></td><td></td></eql>		NA NA	* 1			
7.1-TCA NA 0.051 Petroleum Hydrocarbons (418.1) 47 108 s (8080) <= COL NA	-	1	Y.	ξŽ	۸۸	400
Petroleum Hydrocarbons (418.1) 47 108 (8080) <= COL NA		NA NA	ž	Ϋ́	AN AN	0.5
Petroleum Hydrocarbons (418.1) 47 108 s (8080) <eql na<="" td=""><td>Ä</td><td>NA NA</td><td>N.A.</td><td>N.A</td><td></td><td></td></eql>	Ä	NA NA	N.A.	N.A		
s (8080) <eql na<="" td=""><td>92</td><td><u> </u></td><td></td><td>ν.</td><td>ΑN</td><td>20</td></eql>	92	<u> </u>		ν.	ΑN	20
< EUI. NA	7	002'1	5,210	439	28	200
	NΑ	NA	ΑN	NA	ΝΑ	
L68d NA NA NA	NA	NA NA	ΔN	414		

< EQL

UST Lifts

All results are reported as mg/kg and represent a summary of detected constituents at the facility.

Not analyzed for this constituent

Less than the Estimated Qualification Limit. EQL's are the lowest concentrations that can be reliably measured under laboratory conditions. Surface drainage ditch along property boundary. Drainage Ditch

Locations at former underground hydraulic lifts within the dealership. Locations of 3 former underground storage tanks,

TPH Cleanup Levels in Pennsylvania are 200 mg/kg for "new" releases and 500 mg/kg for old releases.

Lead Cleanup Levels in Pennsylvania are 20 mg/kg for non-industrial sites and 600 mg/kg for industrial sites.

# CONSTITUENTS DETECTED IN SOIL SAMPLES FROM TEST PITS NORTH HUNTINGDON, PENNSYLVANIA PHASE 2b INVESTIGATION NORWIN DODGE FACILITY

Sample No:	Ł	TP-2	TP.3	TP.4	
Date Analyzed	6/8/95	6/8/95	6/8/95	\$6/8/9	DEP Statewide Human Health
Location	Test Mt	Test Pit	Test Pit	Test Pit	Standards
Parameters					
VOCs (Method 8240)					
Acetone	< EQL	<eql< td=""><td>0.14</td><td>&lt; EQL</td><td>400</td></eql<>	0.14	< EQL	400
2-Butanone	<£01,	< EQL	0.023	< EQL	.005
Ethylbenzene	< <b>E</b> 0L	< EQ.	0.013	< EQL	70
Xylenes	< EQL	< EQL	0.044	< EQ.L	S
Tetrachloroethene	< EQ.L	<eq.< td=""><td><eql< td=""><td>0.007</td><td>2</td></eql<></td></eq.<>	<eql< td=""><td>0.007</td><td>2</td></eql<>	0.007	2
Total Petroleum Hydrocarbons	41	25	38	33	500

# Notes:

All results are reported as mg/kg and represent a summary of detected constituents at the facility.

<EQL = Less than the Estimated Qualification Limit. EQL's are the lowest concentrations that can be reliably measured under laboratory conditions.

\* Xylene Clearup Standards are based on individual o-, m-, and p-xylene levels range from 0.7 mg/kg to 1.0 mg/kg.

TPH Cleanup Levels in Pennsylvania are 200 mg/kg for "new" releases and 500 mg/kg for old releases.

TABLE 4

# SUMMARY OF CONSTITUENTS DETECTED IN WATER NORTH HUNTINGDON, PENNSYLVANIA NORWIN DODGE FACILITY

Sample No.	B-1.	B-2*	
Date Analyzed	3/14/95	3/14/95	900
Wedtum	Water	Water	Health Standards
Location	UST	TSO	
Parameters			
VOCs (Method 8240)			
Acetone	0.015	< €01.	E Z
4-Methyl-2-Pentanone	<eql< td=""><td>0.011</td><td>NE NE</td></eql<>	0.011	NE NE
Total Petroleum Hydrocarbons		The state of the s	
as Diesel Range Organics (DROs; 8015)	<eq.< td=""><td>2.8</td><td>.00.1</td></eq.<>	2.8	.00.1
as Gasoline Range Organics (GROs; 8015)	NA	AN	PL
Total Petroleum Hydrocarbons (EPA 418.1)	97	< EQL	***
Metais			
Lead by ICP	<eq.< td=""><td>AN</td><td>0.5</td></eq.<>	AN	0.5
Barium by ICP	0.125	ΑN	200

# Notes:

All results are reported as mg/L and represent a summary of detected constituents at the facility. < EQL =

Less than the Estimated Qualification Limit. EQL's are the lowest concentrations that can be reliably measured under laboratory conditions.

Not analyzed for this constituent

Preservation of water sample not performed in the field. Resulting concentrations may be lower than actual concentrations.

Locations of 3 former underground storage tanks

Not established UST NE

TABLE 5

# CONSTITUENTS DETECTED IN SOIL DURING BIOFEASIBILITY EVALUATION NORWIN DODGE FACILITY NORTH HUNTINGTON, PENNSYLVANIA

Sample No.		W-2	W.3	<b>%</b>	300	Blowt	
Date Analyzed	.:.				2010010	The state of the s	DEP Statewide
				1. ACM 10. 1 (A. A. A	06/67/0	0/13/35	Human Health
Location							Standards
Parameters	-				Ammunia de la companya de la company		
VOCs							
Methylene Chloride	0.016 J	0.019	0.016 J	0.5508	-	1 100 0	
Tetrachloroethene	)	- -		9000		r 100'0	6.0
			}	0.000	0	0	2
louene	0.007 J	0.007 J	0.007 J	5	<b>၁</b>	⊃	100
o-Xylene	כ	Э	n	0.006		-	
Acetone	0.037 JB	0.1408	0,013 JB	0.039	, ,000		0
Semi-volatiles					2000		004
Phenanthrene	n	-	0.034 J	0.043.1			
				201212	)	>	200

Notes:
All results are reported as mg/kg and represent a summary of detected constituents at the facility.
(B) Indicates compound found in blank
(J) Indicates estimated value
(U) Indicates compound not detected



# Pennsylvania Department of Environmental Protection

# 400 Waterfront Drive Pittsburgh, PA 15222-4745 August 27, 1996

Southwest Regional Office

412-442-4000

Joe Francomano Chrysler Realty Corporation 19 Tempo Road New York, NY 10956

RE:

I.D. #5-65-8-2275

Norwin Dodge Automobile Dealership Facility #65-09871 and #65-80917

13230 Lincoln Highway North Huntingdon Township Westmoreland County

5-65-8-2278

Dear Mr. Francomano:

The Final Report received by the Department on July 3, 1996 pertaining to The Norwin Dodge Automobile Dealership is hereby approved in accordance with the provisions of the Land Recycling and Remediation Standards Act (1995-2). As a result of this approval no further closure/remediation/assessment activities are required at this time.

This approval is for the following Remediation Standards:

- Statewide Health Standards have been documented for all of the site 1. except the area of the former hydraulic lifts.
- Site Specific Standards have been documented by a Risk Assessment for 2. the area of the former hydraulic lifts. This area is within the auto dealership building and is currently covered with a concrete floor.

In accordance with the provisions of the Land Recycling and Environmental Remediation Standards Act (Act 2) the site is granted the liability protection as specified in Act 2. Act 2 requires that Statewide Health Standards for soil be promulgated as regulations, so until that takes place, full liability protection under Act 2 will not be available. These regulations are to be in place by July 1, 1997. If your site meets the promulgated standards you will receive the Act 2 liability protection.



This approval is based on the information submitted in the Final Report for this auto dealership. It assumes that the building will remain and the concrete floor will not be removed. If the concrete floor of the building is removed in the future an evaluation must be made of the need for remediation.

Thank you for your cooperation in working with the Department under Act 2. If you need any additional information regarding this matter please contact the Environmental Cleanup Program.

Sincerely,

John J. Matviya Regional Manager

Environmental Cleanup

cc:

Dames and Moore

Norwin Dodge

bcc:

J. Matviya

Facility #65-80917 Facility #65-09871

File

E. J. Gursky A. M. Tempero

K. Johnson P. Mehalic

EJG:kld

5=65-8-2278 RAAPN 1648

# NOTICE OF INTENT TO REMEDIATE

Name Norwin Dodge Facility
Site Address 13230 Lincoln Highway
Location
Municipality North Huntingdon Township County Westmoreland 15642
Latitude 40.3414 Longitude 79.758964 How determined GIS Report (VISTA)
Identification Number Waiting on Assignment
Contaminated Media: SoilX Groundwater_ Surface Water _ Sediment _
Contaminants Present: PCBs _ Lead _ Heavy Metals _ Pesticides _ Dioxin _ Solvents X BTEX X PHCs_ PAHs _ Other _
Sources of Contamination:Industrial Process _ Impoundment _ Landfill _ Contaminated Soil X Drums/Containers_ Storage Tanks (not regulated by Act 32) _ Waste Pile _ Other _
Cleanup Standard Proposed: Background Statewide Health X Site-specific Special Industrial Area: Yes No X
Anticipated Future Use: Industrial _ Commercial X Agricultural _ Residential _ Non-Residential _ Recreational _ Other
Anticipated Date of Submission of Plan or Final ReportMay 25, 1996
Name of newspaper and date of publication of NIR Summary. Newspaper Date _
Ownership History (for Special Industrial Areas Only):
Proposed Remediation:
Execute contaminated soils below drain outfall to attain statewide human health based

standards (soil to ground water pathway) for VOCs.

$\mathbf{p}$	anafita	of Fut	ure Use:
$\mathbf{D}$	enerns	оггии	ure Ose.

Site will continue as a car dealership, commercial property.

Preparer of Notice of Intent to Remediate:
Name Michael D. Antonetti Signature
Title Senior Hydrogeologist Date 4/26/96 Telephone 412-471-8000
Address 322 Blvd. of the Allies, 5th Floor, Pittsburgh, PA 15222

Soil and Groundwater contaminated with Heavy Metals. The applicant proposes to remediate the site to meet the Statewide Health Standard. A summary of the Notice of Intent to Remediate was published in the *Erie Times* on April 21, 1996.

Greater Erie Industrial Development Corporation, 1561 East 12th Street, City of Erie, Erie County, CA-West, has submitted a Notice of Intent to Remediate Soil and Groundwater contaminated with BTEX, and Gasoline Range Organics. The applicant proposes to remediate the site to meet the Statewide Health Standard. A summary of the Notice of Intent to Remediate was published in the Erie Times on April 21, 1996.

Southwest Field Office: John J. Matviya, Environmental Cleanup Program Manager, 400 Waterfront Drive, Pittsburgh, PA 15222-4745, telephone (412) 442-5217.

Norwin Dodge Facility II, North Huntingdon Township, Westmoreland County. Norwin Dodge Facility II, 13230 Lincoln Highway, North Huntingdon Township, PA 15642 has submitted a Notice of Intent to Remediate soil contaminated with solvents and BTEX. The applicant proposes to remediate the site to meet the Statewide health standard.

Southeast Regional Office: Environmental Cleanup Program Manager, Lee Park, Suite 6010, 555 North Lane, Conshohocken, PA 19428, telephone (610) 832-5950.

Zion Hill Garage Property, Springfield Township, Bucks County. Martin Gilgallon, Synergist, Inc., Route 6/Scranton—Carbondale Highway, Blakely, PA 18447-2503, has submitted a Notice of Intent to Remediate site groundwater contaminated with BTEX and petroleum hydrocarbons. The applicant proposes to remediate the site to meet the Statewide health standard.

Bond Shopping Center, Upper Darby Township, Delaware County. Gary R. Brown, RT Environmental Services, Inc., 215 W. Church Road, King of Prussia, PA 19406, has submitted a Notice of Intent to Remediate site soils and groundwater contaminated with solvents. The applicant proposes to remediate the site to meet the Statewide health standard.

Sections 304 and 305 of the Land Recycling and Environmental Remediation Standards Act (the Act) require the Department of Environmental Protection to publish in the Pennsylvania Bulletin an acknowledgment noting receipt of any Notices of Intent to Remediate. An acknowledgment of the receipt of a Notice of Intent to Remediate is used to identify a site where a person proposes to, or has been required to, respond to a release of a regulated substance at a site. Persons intending to use a site-specific standard or who intend to remediate a site in a Special Industrial Area must file a Notice of Intent to Remediate with the Department. A Notice of Intent to Remediate filed with the Department provides a brief description of the location of the site, a list of known contaminants at the site, the proposed remediation measures for the site, and a description of the intended future use of the site. A person who demonstrates attainment of one or a combination of the cleanup standards identified under the act will be relieved of further liability for the remediation of the site for any contamination identified in reports submitted to and approved by the Department and shall not be subject to citizen suits or other contribution actions brought by responsible persons not participating in the remediation.

Under sections 304(n)(1)(ii) and 305(c)(2) of the act, there is a 30-day public and municipal comment period for sites proposed for remediation using a site-specific cleanup standard, in whole or in part, and for sites determined to be located in Special Industrial Areas. This period begins when a summary of the Notice of Intent to Remediate is published in a newspaper of general circulation in the area by the person conducting remediation. For the sites identified below, a municipality may request to be involved in the development of the remediation and reuse plans for the site if the request is made within 30 days of the date specified below. During this comment period, a municipality may request that the person identified below, as the remediator of a site, develop and implement a public involvement plan. Requests to be involved, and comments, should be directed to the remediator of a site. For further information concerning the content of a Notice of Intent to Remediate, please contact the Department of Environmental Protection Regional Office under which the notice appears. If information concerning this acknowledgment is required in an alternative form, contact the Community Relations Coordinator at the appropriate Regional Office listed. TDD users may telephone the Department through the AT&T Relay Service at 1 (800) 654-5984.

The Department of Environmental Protection has received the following Notices of Intent to Remediate:

Southeast Regional Office: Environmental Cleanup Program Manager, Lee Park, Suite 6010, 555 North Lane, Conshohocken, PA 19428, (610) 832-5950.

Department of Transportation, City of Philadelphia, Philadelphia County. Jeffrey C. Obrecht, P.G., Smith Environmental Technologies Corp., One Plymouth Meeting, Plymouth Meeting, PA 19462, has submitted a Notice of Intent to Remediate site soils contaminated with PCBs, lead, heavy metals, BTEX, polycyclic aromatic hydrocarbons and petroleum hydrocarbons. The applicant proposes to remediate the site to meet special industrial area standards. A summary of the Notice of Intent to Remediate was reported to have been published in the Philadelphia Inquirer, on May 6, 1996.

Acknowledgment of the Submission of Final Reports on Attainment of Background and Statewide Health Standards (sections 302(e)(2) and 303(h)(2))

The following final reports were submitted to the Department of Environmental Protection under the Land Recycling and Environmental Remediation Standards Act, the act of May 19, 1995 (P. L. 4, No. 2).

Provisions of Chapter 3 of the Land Recycling and Environmental Remediation Standards Act (the act) require the Department of Environmental Protection to publish in the Pennsylvania Bulletin a notice of submission of any final reports. A final report is submitted to document cleanup of a release of a regulated substance at a site to one of the act's remediation standards. A final report provides a description of the site investigation to characterize the nature and extent of contaminants in environmental media, the basis for selecting the environmental media of concern, documentation supporting the selection of residential or nonresidential exposure factors, a description of the remediation performed, and summaries of sampling methodology and analytical results which demonstrate that the remediation has attained the cleanup standard selected.

For further information concerning the final report, please contact the Environmental Cleanup Program in the Department of Environmental Protection Regional Office under which the notice of receipt of a final report point-of-entry carbon treatment systems. The Department prefers the second alternative which is protective of human health.

The Department is providing this notice under sections 505(b) and 506(b) of HSCA (35 P. S. §§ 6020.505(b) and 6020.506(b)). The publication of this notice starts the administrative record period under HSCA. The administrative record that contains information about this site and which supprots the Department's decision to perform this action at the Delta Site is available for public review and comment. The administrative record can be examined from 8 a.m. to 4 p.m. at the Department's Reading District Office at 1005 Crossroads Boulevard, Reading, PA 19605, by contacting Donna Good at (610) 916-0100. The administrative record can also be examined at the Department's Southcentral Regional Office at One Ararat Boulevard, Harrisburg, PA 17110, by contacting Barbara Faletti at (717) 657-4125.

The administrative record will be open for comment from the date of publication of this notice in the *Pennsyl*vania Bulletin and will remain open for 90 days. Persons may submit written comments regarding this action to the Department before September 15, 1997, by mailing them to Barbara Faletti at the above address.

The public will have an opportunity to present oral comments regarding the proposed action at a public hearing. The hearing has been scheduled for July 16, 1997 at 7 p.m. at the Perry Township Municipal Building, 681 Moselem Spring Road, Shoemakersville, PA 19555. Persons wishing to present formal oral comments at that hearing should register before 4 p.m. July 11, 1997 by calling Sandra Roderick at (717) 541-7969. If no person registers to present oral comments, by July 11, 1997, the hearing will not be held. Persons interested in finding out if anyone has registered, and if the hearing will be held, should also contact Sandra Roderick at the same number above.

Persons with a disability who wish to attend the hearing and require an auxiliary aid, service or other accommodations to participate in the proceedings should contact Sandra Roderick at the above number or through the Pennsylvania AT&T Relay Service at (800) 654-5984 (TDD) to discuss how the Department may accommodate their needs.

# LAND RECYCLING AND ENVIRONMENTAL REMEDIATION

#### Under Act 2, 1995

#### Preamble 3

The following final report was submitted to the Department of Environmental Protection under the Land Recycling and Environmental Remediation Standards Act. (35 P. S. §§ 6026.101—6026.908).

Provisions of Chapter 3 of the Land Recycling and Environmental Remediation Standards Act (act) require the Department of Environmental Protection to publish in the Pennsylvania Bulletin a notice of submission of any final reports. A final report is submitted to document cleanup of a release of a regulated substance at a site to one of the act's remediation standards. A final report provides a description of the site investigation to characterize the nature and extent of contaminants in environmental media, the basis for selecting the environmental media of concern, documentation supporting the selection of residential or nonresidential exposure factors, a description of the remediation performed, and summaries of

sampling methodology and analytical results which demonstrate that the remediation has attained the cleanup standard selected.

For further information concerning the final report, contact the Environmental Cleanup Program in the Department of Environmental Protection Regional Office under which the notice of receipt of a final report appears. If information concerning a final report is required in an alternative form, contact the TDD users may telephone the Department through the AT&T Relay Service at (800) 654-5984.

The Department has received the following final reports.

Northwest Regional Office: John Fruehstorfer, Environmental Cleanup Program Manager, 230 Chestnut Street, Meadville, PA 16335, (814) 332-6648.

National Forge, AOC-2, Wastewater Treatment Plant Sludge Area, Brokenstraw Twp., Warren County, One Front Street, Irvin, PA 16329 submitted a final report to remediate soil and groundwater contaminated with lead and heavy metals. The report is intended to document remediation of the site to meet the Statewide Health Standard.

Southwest Field Office: John J. Matviya, Environmental Cleanup Program Manager, 400 Waterfront Drive, Pittsburgh, PA 15222-4745, (412) 442-5217.

Constantine Pontiac, City of Pittsburgh, Allegheny County, Artspace Projects, Inc., d/b/a Artists and Cities, 4551 Forbes Avenue, Third Floor, Pittsburgh, PA 15213 has submitted a final report addressing soil contagninated with BTEX. The report is intended to document remediation of the site to meet the Statewide health standard.

Norwin Dodge Facility II, North Huntingdon Township, Westmoreland County. Norwin Dodge Facility II, 13230 Lincoln Highway, North Huntingdon Township, PA 15642 has submitted a final report addressing soil contaminated with solvents and BTEX. The report is intended to document remediation of the site to meet the Statewide health standard.

#### SOLID AND HAZARDOUS WASTE

#### LICENSE TO TRANSPORT HAZARDOUS WASTE

License expired under the Solid Waste Management Act (35 P. S. §§ 6018.101—6018.1003) and regulations for license to transport hazardous waste.

Bureau of Land Recycling and Waste Management, Division of Hazardous Waste Management, P.O. Box 8471, Harrisburg, PA 17105-8471.

Rollins Environmental Services (NJ), Inc., P.O. Box 337, Bridgeport, NJ 08014; License No. PA-AH 0101; license expired on May 22, 1997.

License issued under the Solid Waste Management Act (35 P.S. §§ 6018.101—6018.1003) and regulations for license to transport hazardous waste.

Bureau of Land Recycling and Waste Management, Division of Hazardous Waste Management, P.O. Box 8471, Harrisburg, PA 17105-8471.

Allstate O.R.C., Inc., 473 Hamburg Turnpike, West Milford, NJ 07480-3746; License No. PA-AH 0564; license issued May 27, 1997.



# Pennsylvania Department of Environmental Protection

# 400 Waterfront Drive Pittsburgh, PA 15222-4745 July 26, 1996

Southwest Regional Office

412-442-4000

Michael D. Antonetti 322 Boulevard of the Allies 5th Floor Pittsburgh, PA 15222

RE: Norwin Dodge Facility II

LRP #5-65-8-2278

North Huntingdon Township
Westmoreland County

State-Wide Health Based Clean-up

Dear Mr. Antonetti:

This letter acknowledges the Department of Environmental Protection's receipt of your final report on July 3, 1996, pertaining to the subject site, submitted in accordance with the provisions of the Land Recycling and Environmental Remediation Standards Act (Act 2).

The Department has 60 days from receipt to review the report. If we do not respond with deficiencies within the 60-day timeframe, the report shall be deemed approved. You will receive a letter advising you of the Department's action.

Within the 60-day review period, you are to submit verification of having met the public notification requirements. We need a copy of the letter which you sent to North Huntingdon Township. Approval of your report and the release of liability provided by the Act are, in part, contingent upon our receipt of these documents.

Please see that these and any other documents mailed to the Department concerning this site are sent to the attention of Karen Johnson. She will see that the proper people receive copies.

Please contact the Environmental Cleanup Program if you have any questions or if we can be of further assistance in this matter.

-2-

Sincerely,

John J. Matviya Regional Manager

Environmental Cleanup

CC:

Tom LaFrankie

bcc:

J. Matviya

A. M. Tempero E. Gursky LRP File

K. Johnson

JJM:KJ:kld

# OFFICIAL FILE COPY



# Pennsylvania Department of Environmental Protection

# **400 Waterfront Drive Pittsburgh, PA 15222-4745**July 26, 1996

### **Southwest Regional Office**

412-442-4000

Michael D. Antonetti 322 Boulevard of the Allies 5th Floor Pittsburgh, PA 15222

RE:

Norwin Dodge Facility II

LRP #5-65-8-2278

North Huntingdon Township

Westmoreland County

State-Wide Health Based Clean-up

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Please see that these and any other documents mailed to the Department concerning this site are sent to the attention of Karen Johnson. She will see that the proper people receive copies.



Please contact the Environmental Cleanup Program if you have any questions or if we can be of further assistance in this matter.

Sincerely,

√John J. Matviya

Regional Manager

Output

Regional Manager

Output

Description

Region

Environmental Cleanup

cc: Tom LaFrankie



# Pennsylvania Department of Environmental Protection

# **400 Waterfront Drive** Pittsburgh, PA 15222-4745 May 22, 1996

### Southwest Regional Office

412-442-4000

Michael D. Antonetti 322 Boulevard of the Allies 5th Floor Pittsburgh, PA 15222

RE:

Norwin Dodge Facility II ID No. 5-65-8-2278

North Huntingdon Township

Westmoreland County

Dear Mr. Antonetti:

This letter confirms the Department of Environmental Protection's receipt of your April 29, 1996 notice of intent to remediate the Norwin Dodge Facility II site, submitted in accordance with the provisions of the Land Recycling and Environmental Remediation Standard Act (Act 2). Your notice indicates that the site will be remediated to meet the statewide health standard.

In order for your site to qualify for the release of liability provided by Act 2, the procedures set forth in this Act must be followed.

Your notice of intent to remediate did not contain all of the required information. In order to complete your notice, please provide the following:

- The name of the newspaper and date of publication of the Notice of Intent to 1. Remediate Summary.
- 2. A copy of the letter to the municipality giving notice of the Notice of Intent to Remediate.

The Notice of Intent to Remediate Form you used for your notification from the technical manual does not request name and address of the site property owner. The current forms do request owner information, please provide this information.

Upon completion of remediation, please submit your final report to the Department accompanied by the required fees and documentation verifying compliance with the public notification requirements. The Department will review the report to determine attainment of



the statewide health cleanup standard. If the final report is submitted within 90 days of the contaminant release which occurred after the effective date of this Act, public notification is not necessary.

We look forward to working with you towards the remediation of your site. Please contact the Environmental Cleanup Program if you have any questions pertaining to the remediation process or the requirements of Act 2.

Sincerely,

John J. Matviya Regional Manager Environmental Cleanup

cc: Tom LaFrankie

bcc: E. Gursky

Regional File

J. Matviya

K. Johnson

JJM:KJ:ht



322 BOULEVARD OF THE ALLIES, FIFTH FLOOR, PITTSBURGH, PENNSYLVANIA 15222-1916 (412) 471-8000 FAX: (412) 471-9336

April 26, 1996

Commonwealth of Pennsylvania Department of Environmental Protection 400 Waterfront Drive Pittsburgh, Pennsylvania 15222-4745

Attention:

Mr. Ed Gursky

Dear Mr. Gursky:

Enclosed is a Notice of Intent to Remediate (NIR) form for the Norwin Dodge Facility located in North Huntingdon Township, Westmoreland County, Pennsylvania. This NIR is intended to address the remediation of the outfall area behind the Norwin Dodge facility, as we discussed in our meeting on April 22, 1996.

Please call me if you should have any questions.

Sincerely,

DAMES & MOORE, INC.

Michael D. Antonetti, P.G.

Sr. Hydrogeologist

Enclosure

cc:

Joe Francomano - CRC

John Lindquist - CRC

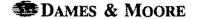
Anthony Kaufmann - Dames & Moore/Cranford

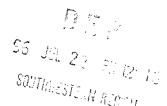
Tom LaFrankie - Norwin Dodge

MDA:tjo

C:\WPWIN60\WPDOCS\CRCNIR\_SUB2.LTR

#### TRANSMITTAL SHEET





2325 Maryland Road Willow Grove, Pennsylvania 19090 (215) 657-5000 FAX: (215) 657-5454

TO:

Commonwealth of Pennsylvania Department of Environmental Protection 400 Waterfront Drive

Pittsburg, Pennsylvania 15222-4745

DATE: July 18, 1996

YOUR ORDER NO.:

OUR JOB NO.:

16940-079

ATTENTION:

Mr. Ed Gersky Case Manager

SUBJECT:

Norwin Dodge

WE ARE SENDING YOU VIA:

**UPS** Overnight

THE FOLLOWING:

Certification of Publication and receipt from the muncipality regarding the

submission of the Final Report for Norwin Dodge

THIS IS: / THESE ARE:

to complete the deliverables required under the land Recycling Porgram for the remediation of the Norwin Dodge site

NO. OF COPIES

SUBMITTED:

2

COPIES TO:

J. Francomano (Chrysler)

M. Antonetti (Dames & Moore)

BY:

	No.		Term,	19
--	-----	--	-------	----

# **Proof of Publication of Notice in The Tribune-Review**

Under Act No. 587, Approved May 16, 1929.

Or .	ider Act No. 307, Approved May 10, 1929.
Commonwealth of Pennsylvania, Counties of Westmoreland, Allegheny Washington, Fayette, Indiana	y, ss:
ration of the County and State afores newspaper published in the City of the year 1924, since which date a d printed notice of publication is attac	Corporate Advertising Director of the Tribune Review Publishing Company, a corposaid, being duly sworn, deposes and says that The Tribune-Review is a daily Greensburg, County and State aforesaid. Said corporation was established in aily newspaper has been regularly issued in said County, and a copy of the hed hereto exactly as the same was printed and published in the regular of following dates, viz:
	Legal.#55755701
	RE: Chrysler Realty Corp. Final Report
	and the14th day of .July, A.D. 19.9.6
Company, a corporation, publisher ment under oath and also declares	he is an officer duly authorized by the Tribune-Review Publishing of The Tribune-Review, daily newspaper to verify the foregoing states that affiant is not interested in the subject matter of the aforesaid llegations in the foregoing statement as to time, place and character of the subject matter of the aforesaid llegations in the foregoing statement as to time, place and character of the subject matter of the aforesaid llegations in the foregoing statement as to time, place and character of the subject matter of the aforesaid llegations in the foregoing statement as to time, place and character of the aforesaid llegations in the foregoing statement as to time, place and character of the aforesaid llegations in the foregoing statement as to time, place and character of the aforesaid llegations in the foregoing statement as to time, place and character of the aforesaid llegations in the foregoing statement as to time, place and character of the aforesaid llegations in the foregoing statement as to time, place and character of the aforesaid llegations in the foregoing statement as to time, place and character of the aforesaid llegations in the foregoing statement as to time, place and character of the aforesaid llegations in the foregoing statement as to time, place and character of the statement as the statement
Capy of notice or publication	
Notice is hereby given that Chrysler Realty Corporation has submitted a finel report to the Pennsylvania Department of Environmental Protection. Southeast Regional Office, to demonstrate ettainment of the statewide health standardistic specific standard for a site located at	Sworn to and subscribed before me this15th
13230 Lincoln Highway, North Huntingdon Township, Allegheny County. Chryster Reality Corpo- ration has indicated that the re- mediation measures taken have	My Commission Expires June 29, 1998  Statement of Advertisingen Costs Association of Notarie
attained compliance with the statewide health cleanup stand- ard and site-specific cleanup	Dames & Moore
standard established under the Land Recycling and Environ- mental Remediation Standards	2325 Maryland Road
Act. This notice is made under the provision of the Land Recycling and Environmental Remediation	Willow Grove, PA 19090
Standards Act, the Act of May 19, 1995, P.L. 1995-2, No. 2. (7-14-96)55755701	To Tribune-Review Publishing Company, Dr.
<u> </u>	For publishing the notice or advertisement attached
	hereto on the above stated dates \$ 49.14
	Probating same
	Total

# **Publisher's Receipt for Advertising Costs**

The Tribune-Review Publishing Company, a corporation, publishers of The Tribune-Review, a daily newspaper, hereby acknowledges a receipt of the aforesaid advertising and publication costs, and certifies the same have been fully paid.

Print your name and address on the reverse of this form so the return this cerd to you.  Attach this form to the front of the melipiace, or on the beck does not permit.  Write "Return Receipt Requested" on the melipiece below the and the The Return Receipt will show to whom the article was delivered.	if space 1. Addressee's Address
	4a. Article Number <b>5</b>
North Huntingdon Township  Municipal Building  11279 Center Highway  North Huntingdon, PA 15642	4b. Service Type  Registered Insured  COD Express Mail Return Receipt for Merchandise  7. Date of Delivery
6. Signature (Addlessee)  PS Form 3811. December 1991 *U.S. GPO: 1983-35	8. Addressee's Address (Only if requested and fee is paid)

<u> </u>		PS For	m 3805 Mach	1993
Prisonant in Editi	o Whees A Date Delivered  Jeann Per earl Shoring to Who i. Date, and Addressed's Assiness  JOAN Frency S Frency S Frency	Publication Discours Fig.	th Huntingdon Township  Ling Center Highway  The Huntingdon, PA 15642  The Huntingdon, PA 32	Receipt for Certified Mail No issurance Coverage Provided Co not use for International Mail (See Reverse)

# DAMES & MOORE

322 BOULEVARD OF THE ALLIES, FIFTH FLOOR, PITTSBURGH, PENNSYLVANIA 15222-1916 (412) 471-8000 FAX: (412) 471-9336

February 9, 1996

Commonwealth of Pennsylvania Department of Environmental Protection 400 Waterfront Drive Pittsburgh, Pennsylvania 15222-4745

Attention:

Mr. Ed Gursky

Dear Mr. Gursky:

Enclosed is a Notice of Intent to Remediate form for the Norwin Dodge Facility located in North Huntingdon Township, Westmoreland County, Pennsylvania.

Please call me if you should have any questions.

Sincerely,

DAMES & MOORE, INC.

Michael D. Antonetti, P.G.

Sr. Hydrogeologist

Enclosure

MDA:tio

C:\WPWIN60\WPDOCS\CRC\NIR\_SUB.LTR



FEB 15 1996

DEP, Southwest Region Bureau of Waste Management

#### 4. NOTICE OF INTENT TO REMEDIATE FORM

Name	Norwin Dodge Facility	
Site Addre	ess 13230 Lincoln Highway	
Location _		
Municipal	lity North Huntingdon Township County Westmoreland	1°
Latitude 4	40.3414 Longitude <u>79.758964</u> How determined <u>GIS Report (VISTA)</u> 79/45/32	
	tion Number Waiting on Assignment	
Contamin	ated Media: Soil X Groundwater Surface Water Sediment	
	ants Present: PCBs Lead Heavy Metals Pesticides Dioxin X BTEX X PHCs X PAHs Other	
Drums/Co	of Contamination:Industrial Process Impoundment Landfill Contaminationtainers X Sstorage Tanks (not regulated by Act 32)	ed Soil _
-	Standard Proposed: Background Statewide Health X Site-specific X adustrial Area: Yes No X	
_	ed Future Use: Industrial Commercial X Agricultural tial Non-Residential Recreational Other	
Anticipate	ed Date of Submission of Plan or Final ReportApril 15, 1996	
	newspaper and date of publication of NIR Summary. Newspaper <u>Greensburg</u> Date <u>February 12, 1996</u>	<u>Tribune-</u>
Ownershi	ip History (for Special Industrial Areas Only):	

## Proposed Remediation:

Excavate areas outside the dealership impacted by underground storage tanks, aboveground storage tanks, and surface spills to background standards for UST of 500  $\mu$ g/kg. Conduct site-specific risk assessment to develop final attainment goals for TPH and certain volatile organic compounds under the floor of a car dealership. If required, excavation will be conducted to remediate areas under the car dealership.

# Benefits of Future Use:

Site will continue as a car dealership, commercial property.

Preparer of Notice of Intent to Remediate:

Name Michael D. Antonetti Signature

Title Senior Hydrogeologist Date 2/9/96 Telephone 412-471-8000

Address 322 Blvd. of the Allies, 5th Floor, Pittsburgh, PA 15222

# PHONE CONVERSATION RECORD

Conversation with  NAME M.C. AN for ret  ORGANIZATION Mosre  ADDRESS	DATE 2/16/96  TIME 13' 3 2 AM/PM  PLACED CALL  RECEIVED CALL
PHONE SUBJECT Norway Dodge - 10	tire of that to Produce
parat. Rousunats	use if the Mine Very - Not 2  SIN. It is 11st States of  send to do SW SU-Veys -  ustion 2/20 x 2/21 x f  will get a Temp. Discharge
COPIES TO:	FOLLOW UP ACTION:  INITIALS

# 322 BOULEVARD OF THE ALLIES, FIFTH FLOOR, PITTSBURGH, PENNSYLVANIA 15222-1916 (412) 471-8000 FAX: (412) 471-9336

April 26, 1996

Commonwealth of Pennsylvania Department of Environmental Protection 400 Waterfront Drive Pittsburgh, Pennsylvania 15222-4745

Attention:

Mr. Ed Gursky

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Please call me if you should have any questions.

Sincerely,

DAMES & MOORE, INC.

Michael D. Antonetti, P.G.

Wssegn te Al Gensler

Sr. Hydrogeologist

Enclosure

cc:

Joe Francomano - CRC

John Lindquist - CRC

Anthony Kaufmann - Dames & Moore/Cranford

Tom LaFrankie - Norwin Dodge

MDA:tjo

C \WPWIN60\WPDOCS\CRC\NIR\_SUB2 LTR

5-65-8-2278

# NOTICE OF INTENT TO REMEDIATE

Name Norwin Dodge Facility
Site Address 13230 Lincoln Highway
Location
Municipality North Huntingdon Township County Westmoreland 15642
Latitude 40,3414 Longitude 79,758964 How determined GIS Report (VISTA) 40/20/29 79/45/32
Identification Number Waiting on Assignment
Contaminated Media: Soil X Groundwater Surface Water Sediment
Contaminants Present: PCBs _ Lead _ Heavy Metals _ Pesticides _ Dioxin _ Solvents X BTEX PHCs PAHs _ Other _
Sources of Contamination:Industrial Process _ Impoundment _ Landfill _ Contaminated Soil X Drums/Containers_ Storage Tanks (not regulated by Act 32) _ Waste Pile _ Other _
Cleanup Standard Proposed: Background _ Statewide Health X Site-specific Special Industrial Area: Yes No X
Anticipated Future Use: Industrial Commercial X Agricultural Residential Non-Residential Recreational Other
Anticipated Date of Submission of Plan or Final ReportMay 25, 1996
Name of newspaper and date of publication of NIR Summary. Newspaper Date _
Ownership History (for Special Industrial Areas Only):
Proposed Remediation:
Excavate contaminated soils below drain outfall to attain statewide human health based standards (soil to ground water pathway) for VOCs.

33	enefits	- 0	Y"-	T 7 .
D	enems	$o_{\rm L}$	runure	use:

Site will continue as a car dealership, commercial property.

Preparer of Notice of Intent to Remediate:		
Name Michael D. Antonetti Signature		
Title Senior Hydrogeologist Date 4/26/96 Telephone 412-471-8000		
Address 322 Blvd. of the Allies, 5th Floor, Pittsburgh, PA 15222		



# Pennsylvania Department of Environmental Protection

## 400 Waterfront Drive Pittsburgh, PA 15222-4745 October 27, 2003

1,4 g 1,5 c c

**Southwest Regional Office** 

412-442-4000 Fax 412-442-4328

Norwin Dodge 13230 Lincoln Way North Huntingdon, PA 15642

Re: Environmental Cleanup Program
Deed Restrictions and I&E Controls
North Huntingdon Township
Westmoreland County

Dear Sir or Madam:

The success of Pennsylvania's Land Recycling Program (also known as Act 2) is based largely upon the many options and cost-effective approaches that may be utilized in remediating and reusing contaminated properties. A voluntary cleanup was completed at the Norwin Dodge, 13230 Lincoln Highway, North Huntingdon, site resulting in an agency approval on August 27, 1996, of a Final Report under the Site Specific Standard. During the past year, the Department of Environmental Protection (Department) performed an audit of Regional Office project files and courthouse records that focused upon sites remediated to a site-specific standard or under the special industrial area provisions of the Act. This audit further focused on sites using an institutional or an engineering control to, at least in part, obtain the liability relief available under Sections 501 and 502 of Act 2. The Department's review included the above referenced site.

Department records indicate that the Act 2 approval was based upon the property owner's implementation of the following control(s) as part of the cleanup: Land restricted to nonresidential use; Concrete floor in area of hydraulic lifts in the dealership building must remain in place. Site remediation, which includes an engineering and/or institutional control, requires a recordation of deed notice documenting the nature of the control(s) upon transfer of property ownership or as required by Consent Order and Agreement. In Addition, where applicable, the Solid Waste Management Act and/or Hazardous Sites Cleanup Act require notice (if hazardous waste is present on the property, 35 P.S. §6018.405) and/or an acknowledgment (if hazardous substances are present on the site, 35 P.S. §6020.512a) be placed in the deed prior to transfer. Our review of the deed for this property found that the appropriate deed notice or use restriction language may not have been recorded as required by the approval which may affect the liability protection afforded this property under Act 2. The courthouse records show you as the owner of this property.

The purpose of this letter is to inform you of the above condition and to seek your voluntary correction of the matter. Please provide a copy of an amended deed recorded for this site, with Book and Page number noted, that defines the controls used in attainment of the Act 2 cleanup standard within 180 days. If we do not receive the necessary deed documentation, or satisfactory resolution of this issue, the Department may take action to record the necessary information pursuant to Section 512 of the Hazardous Sites Cleanup Act.

We encourage you to contact us to resolve this matter. Please contact Scott Swarm at 412-442-5807, or at the address on this letterhead. Thank you for your attention.

Sincerely,

John J. Matviya Regional Manager

Environmental Cleanup Program

Enclosure Model Deed Restriction Language

The purpose of this letter is to inform you of the above condition and to seek your voluntary correction of the matter. Please provide a copy of an amended deed recorded for this site, with Book and Page number noted, that defines the controls used in attainment of the Act 2 cleanup standard within 180 days. If we do not receive the necessary deed documentation, or satisfactory resolution of this issue, the Department may take action to record the necessary information pursuant to Section 512 of the Hazardous Sites Cleanup Act.

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Sincerely,

John J. Matviya Regional Manager

Environmental Cleanup Program

Enclosure Model Deed Restriction Language

Bcc: Regional ECP File Norwin Dodge

J. Matviya

S. Swarm

E. Gursky

# Model Language for Deed Acknowledgements/Restrictions

The Pennsylvania Land Recycling Program is designed to encourage the cleanup of releases to the environment to standards that are based upon exposure and risk. This process has stimulated many owners of contaminated properties to resolve contamination issues using very cost-effective, yet scientifically safe methods. Cost of cleanup remains a major driving factor in successful brownfield property transactions. Costs are often controlled by managing or eliminating exposure to contaminated media onsite through the use of engineering and/or institutional controls.

When a remedial project is approved with either engineering or institutional controls as part of or the entire remedy, the implementation and proper recordation of these controls becomes as important as the successful application of any active technical method. Therefore, the Department of Environmental Protection (DEP) has initiated a compliance assurance program targeting those projects where controls of this nature have been specified.

Act 2 and the Chapter 250 regulations provide remediators the opportunity to apply engineering and/or institutional controls to meet the site specific standard or special industrial area requirements. Further, deed acknowledgement requirements referenced in both the Hazardous Site Cleanup Act (HSCA) and the Solid Waste Management Act are required upon property conveyance for cleanups attaining either the nonresidential statewide health and site specific standards, and special industrial area provisions. To facilitate remediator compliance with these requirements, DEP has drafted model language for both deed acknowledgements (notices) and deed restrictions specifying property use limitations.

# Model Language for Deed Acknowledgement/Notices

#### Act 2 Notice

#### Model Language for Dced Restriction

#### Act 2 Land Use Restrictions

The Act 2 [Final Report approval letter and summary/Special Industrial Arca Agreement - specify one] attached hereto as Exhibit A described various remediation measures that had been performed at the Land and demonstrated that sitespecific pathway elimination for all contamination in [groundwater/soils - specify one or both] at the Land has been attained [where the Land is used - nse if SIA applied]. Consistent with PADEP's determinations set forth in Exhibit A, in accordance with the provision of Sections 30[3/4/5 - state one or a combination] of Act 2 (35 P.S. ' 6026.30[3/4/5 - state one or a combination], this conveyance is made and accepted subject to the following restrictions and covenants [these provisions are not all inclusive, but are provided as examples of the most commonly specified use limitations. Choose all that apply, include other restrictions as needed to maintain the approved remedy]: [(1) the groundwater at and under the Land shall not be used for any drinking or agricultural purpose; (2) the Land shall by used solely for nonresidential purposes use this provision for the NR SHS and SIA or when a SSS numeric value is used; and (3) the Grantee shall have a continuing duty to maintain the protective soil or fill cover, pavement caps and/or structures overlying contaminated soils on the Land identified in Exhibit A and shall not allow any excavations of an approved cap without prior written notice and a plan submitted to the Department of Environmental Protection (DEP) or successor with schedule of implementation setting forth worker health and safety requirements, access limitations during excavations and restoration of the cap or other alternatives that are approved by DEP in writing as described below.

In order to maintain the liability relief of Act 2 for areas of the Land subject to a protective cover identified in Exhibit A where the cover is breached or removed, remaining soils or other materials where such excavation or removal occurs ("Area") shall either meet: (1) applicable statewide health standards or numeric based site specific standards approved by DEP in writing and all applicable federal, state and local laws, regulations and ordinances pertaining to the environment and occupational safety; or (2) be covered with materials that eliminate the pathway of exposure to the underlying contamination and is capable of physically supporting the intended use of the Arca. Such alternative cover shall be placed on the Area within such period of time as set forth in the worker health and occupational safety plan developed with respect to such Area as approved by DEP. The alternative cover shall thereafter be maintained by the Land owner in good and proper repair.

All excavated materials removed from the Land shall be managed, transported and disposed of in compliance with all applicable federal, state and local laws, regulations and ordinances including, without limitation, those pertaining to environmental protection and occupational safety (use this provision

when a cap is involved), (4) excavation within the area identified on the Land within Exhibit A shall not extend below a depth of \_\_\_\_ feet from the land surface.]

Pursuant to Sections 30[3/4/5 – state one or a combination] of Act 2 (35 P.S. 6026.30[3/4/5 – state one or a combination]) and Exhibit A hereto, the above restrictions and covenants shall apply to and run with the Land, and no modification to these restrictions or covenants shall be made, except as authorized pursuant to Section 903 of Act 2 (35 P.S. 6026.903). This hazardous [waste/substance – state one or a combination] acknowledgement is required to be included in the description of the Land described in this deed for all future conveyances or transfers of the Land pursuant to [Section 405 of the Solid Waste Management Act, 35 P.S. 6018.405/Section 512(b) of the Hazardous Sites Cleanup Act, 35 P.S. 6020.512(b) – state one or both as applicable].

# DAMES & MOORE

322 BOULEVARD OF THE ALLIES, FIFTH FLOOR, PITTSBURGH, PENNSYLVANIA 15222-1916 (412) 471-8000 FAX: (412) 471-9336

February 9, 1996

Commonwealth of Pennsylvania Department of Environmental Protection 400 Waterfront Drive Pittsburgh, Pennsylvania 15222-4745

Attention:

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Please call me if you should have any questions.

Sincerely,

DAMES & MOORE, INC.

Michael D. Antonetti, P.G.

Sr. Hydrogeologist

Enclosure

MDA:tjo
c:wpwin60wpdocscrcnir\_sub.ltr

RECEIVED

FEB 15 1996

DEP, Southwest Region Bureau of Waste Management

5-65-8-2275 RAAPA 1645

# 4. NOTICE OF INTENT TO REMEDIATE FORM

Name Norwin Dodge Facility	À TI
Site Address 13230 Lincoln Highway	33 17
Location	7.0
Municipality North Huntingdon Township County Westmoreland	-
Latitude 40.3414 Longitude 79.758964 How determined GIS Report (VISTA) 79/45/32	
Identification Number Waiting on Assignment	
Contaminated Media: SoilX Groundwater_ Surface Water _ Sediment _	
Contaminants Present: PCBs _ Lead _ Heavy Metals _ Pesticides _ Dioxin _ Solvents_X BTEX_X PHCs_X PAHs _ Other _	
Sources of Contamination:Industrial ProcessImpoundmentLandfillContaminated So Drums/Containers_X Sstorage Tanks (not regulated by Act 32) Waste Pile Other	oil _
Cleanup Standard Proposed: Background _ Statewide Health X Site-specific X Special Industrial Area: Yes _ No X	
Anticipated Future Use: Industrial Commercial X Agricultural Residential Non-Residential Recreational Other	
Anticipated Date of Submission of Plan or Final ReportApril 15, 1996	
Name of newspaper and date of publication of NIR Summary. Newspaper Greensburg Tribe Review Date February 12, 1996	une-
Ownership History (for Special Industrial Areas Only):	

# Proposed Remediation:

Excavate areas outside the dealership impacted by underground storage tanks, above ground storage tanks, and surface spills to background standards for UST of  $500~\mu g/kg$ . Conduct site-specific risk assessment to develop final attainment goals for TPH and certain volatile organic compounds under the floor of a car dealership. If required, excavation will be conducted to remediate areas under the car dealership.

# PHONE CONVERSATION RECORD

ORGANIZATION Dayes + Madre	DATE 2/16/96  TIME 10:32 AM/PM  PLACED CALL  RECEIVED CALL
PHONE	
- Expect to begin excess water is encountered they parmit Ran Sweats 7	emponds - Ve understands  use of the Mine Vent - Not 2  Since it is not stated of  need to do GW surveys -  when 2/20 a 2/21 x if  will get a Temp. Discharge
COPIES TO:  John Maturys	FOLLOW UP ACTION:



### 400 Waterfront Drive Pittsburgh, PA 15222-4745 August 27, 1996

**Southwest Regional Office** 

412-442-4000

Joe Francomano Chrysler Realty Corporation 19 Tempo Road New York, NY 10956

RE: I.D. #5-65-8-2275

Norwin Dodge Automobile Dealership

Facility #65-09871 and #65-80917

13230 Lincoln Highway North Huntingdon Township Westmoreland County

Dear Mr. Francomano:

The Final Report received by the Department on July 3, 1996 pertaining to The Norwin Dodge Automobile Dealership is hereby approved in accordance with the provisions of the Land Recycling and Remediation Standards Act (1995-2). As a result of this approval no further closure/remediation/assessment activities are required at this time.

This approval is for the following Remediation Standards:

- 1. <u>Statewide Health Standards</u> have been documented for all of the site except the area of the former hydraulic lifts.
- 2. <u>Site Specific Standards</u> have been documented by a Risk Assessment for the area of the former hydraulic lifts. This area is within the auto dealership building and is currently covered with a concrete floor.

In accordance with the provisions of the Land Recycling and Environmental Remediation Standards Act (Act 2) the site is granted the liability protection as specified in Act 2. Act 2 requires that Statewide Health Standards for soil be promulgated as regulations, so until that takes place, full liability protection under Act 2 will not be available. These regulations are to be in place by July 1, 1997. If your site meets the promulgated standards you will receive the Act 2 liability protection.

This approval is based on the information submitted in the Final Report for this auto dealership. It assumes that the building will remain and the concrete floor will not be removed. If the concrete floor of the building is removed in the future an evaluation must be made of the need for remediation.

Thank you for your cooperation in working with the Department under Act 2. If you need any additional information regarding this matter please contact the Environmental Cleanup Program.

Sincerely,

John J. Matviya Regional Manager

Environmental Cleanup

cc:

Dames and Moore

Norwin Dodge

bcc:

J. Matviya

Facility #65-80917 Facility #65-09871

File

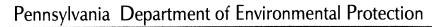
E. J. Gursky

A. M. Tempero

K. Johnson V

P. Mehalic

EJG:kld





### 400 Waterfront Drive Pittsburgh, PA 15222-4745 May 22, 1996

### **Southwest Regional Office**

412-442-4000

Michael D. Antonetti 322 Boulevard of the Allies 5th Floor Pittsburgh, PA 15222

RE:

Norwin Dodge Facility
I. D. No. 5-65-8-2275

North Huntingdon Township Westmoreland County

Dear Mr. Antonetti:

This letter acknowledges receipt of your February 12, 1996 Notice of Intent to Remediate, pertaining to the Norwin Dodge Facility site, and submitted in accordance with the Land Recycling and Environmental Remediations Standards Act (Act 2). Your notice indicates the site will be remediated to meet the site-specific standard.

The procedure set forth in Act 2 must be followed in order for your site to qualify for the release of liability provided by the Act. Remedial investigation reports, risk assessment reports (if needed), and clean up plans may be submitted individually or at once. Submittals are to be accompanied by verification of the required public notification and the appropriate fee.

Your Notice of Intent to Remediate did not contain all of the required information. In order to complete your notice, please provide the following:

1. A copy of the letter to the municipality giving notice of the NIR and the availability of a 30 day comment period for public involvement plan.

Persons undertaking remediation are encourage to develop a pro active approach in working with the municipality throughout the cleanup process. If the municipality requested involvement in the development of your remediation and reuse reports or plans, the reports of plans shall include the comment of the municipality.

We look forward to working with you towards the remediation of your site. If you have any questions or need further clarification of our procedure, please contact the Environmental Cleanup Program.

Sincerely,

John J. Matviya Regional Manager

Environmental Cleanup

cc: Tom LaFrankie

bcc: E. Gursky

Regional File

J. Matviya

K. Johnson

JJM:KJ:ht

03238441 NOT TO EXCEED \$5,000 -\$250.00 DATE AUGUST 15, 1996 DAMES & MOORE 2325 MARYLAND ROAD WILLOW GROVE, PENNSYLVANIA 19090 TWO HUNDRED FIFTY DOLLARS AND 00/100 PERNSYLVANIA DEPT. OF ENVIREL. PROTECTION COMMONWEALTH OF PENNSYLVANIA 15222-4745 400 WATERFRONT DR. PITTSBURGH, PA TO THE ORDER OF

1	ł	
2	, H	Los e sec
03/780-01	REVENUE ID	- 1 N D-00000000 PP-
LAND RUPLING	ISSUED FOR	838015
	TAX INCL.	RECEIPT No.
250.00	AMOUNT PAID	#
88480	CHECK NUMBER	
831015	RECEIPT	
NORWIN DOJGE	NAME	LOCAL OFFICE STAMP
3/9/6	DATE	)Ö1

DEPARTMENT OF ENVIRONMENT SOUTHWEST REGIONAL OFFICE 400 WATERFRONT DRIVE METSELECH PA 15222-4745

DESCAIPTION

RECEIVED FROM

DEPARTMENT OF ENVIRONMENTAL RESOURCES

322 Her

A.C. - C.C.

ER-AO-20 (1/84) CC187418 (4194)

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4 Lements, Adaptive facility received

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> gional 16335

ia, PA li an ultrastone Corcer Conority, 1 This pro-

9), replace 6 with ration sys

replace the existing duplex booster pumps and add new duplex pumps for the filtration system in Mt. Jewett Borough, McKean County.

Bureau of Water Supply and Community Health, Division of Drinking Water Management, 400 Market Street, Harrisburg, PA 17105, contact person: Godfrey C.

1996259. Great Spring Waters of America, Inc., Roate 4, Box 3130, Oakland, MD 21550; Tom Eder, Plant Manager. Applicant requests a major permit amendment to their public water supply permit to add a new production borehole at their Bolling Spring source located in Oakland, Maryland. Water from this source will be used bottle their Great Buy Spring Water, Great Buy Distilled Water, Tyler Mountain Spring Water, Tyler Mountain Distilled Water, Deer Park Spring Water and Deer Park Distilled Water brands to be sold in Pennsylva-

Northeast Regional Office: Sanitarian Regional Manager, 2 Public Square, Wilkes-Barre, PA 18711-0790, telenone (717) 826-2511.

108501. Public water supply. Hazleton City Authorwater Department, Hazleton Division, c/o John Proski, Schumacher Engineering, 55 North Conahan Drive, Hazleton, PA 18201. This proposal involves the existing pump station at the Dreck Creek Reservoir. This pump station has the capability of repumping water me the Lehigh River Pump Station and/or withdrawing ter from the Lower Dreck Creek Reservoir. No treatment will be provided at this pump station. It is located Hazle Township, Luzerne County.

4596501. Public water supply. Tobyhanna Army Deot. o'o Thomas Wildoner, Environmental Protection Spelist, Tobyhanna Army Depot, 11 Hap Arnold Blvd.,
behanna, PA 18466. This proposal involves addition of
micals such as caustic soda, lime, sodium bicarbonate
a sinc orthophosphate in an intent to reduce lead and
or corrosion in the system. It is located in Tobyhanna
aship, Monroe County.

#### pernowledgment of Notices of Intent to Remediate

Sections 302 and 303 of the Land Recycling and pronmental Remediation Standards Act (the Act) renires the Department of Environmental Protection to ablish in the Pennsylvania Bulletin an acknowledgment oting receipt of any Notices of Intent to Remediate. An schowledgment of the receipt of a Notice of Intent to Remediate identifies a site where a person proposes to, or has been required to, respond to a release of a regulated substance at a site. Persons intending to use the backround or Statewide health standard to remediate a site must file a Notice of Intent to Remediate with the Department. A Notice of Intent to Remediate filed with the Department provides a brief description of the location of the site, a list of known contaminants at the site, the proposed remediation measures for the site, and a ascription of the intended future use of the site. A person demonstrates attainment of one or a combination of cleanup standards identified under the Act will be wed of further liability for the remediation of the site any contamination identified in reports submitted to and approved by the Department and shall not be subject o citizen suits or other contribution actions brought by responsible persons not participating in the remediation.

For further information concerning the content of a Notice of Intent to Remediate, please contact the Department of Environmental Protection Regional Office under which the notice appears. If information concerning this acknowledgment is required in an alternative form, contact the community relations coordinator at the appropriate Regional Office listed. TDD users may telephone the Department through the AT&T Relay Service at 1 (800) 654-5984.

The Department of Environmental Protection has received the following Notices of Intent to Remediate:

Southwest Field Office: John J. Matviya, Environmental Cleanup Program Manager, 400 Waterfront Drive, Pittsburgh, PA 15222-4745, (412) 442-5217.

Former Hays Army Ammunition Plant (to be operated as Galvtech Steel Coil Galvanizing Facility) City of Pittsburgh, Allegheny County. Former Hays Army Ammunition Plant (to be operated as Galvtech Steel Coil Galvanizing Facility), 300 Mifflin Road, Pittsburgh, PA 15207 has submitted a Notice of Intent to Remediate soil, surface water, sediment contaminated with PCBs. The applicant proposes to remediate the site to meet the Statewide health standard.

Norwin Dodge Facility, North Huntingdon Tewnship, Westmoreland County. Norwin Dodge Facility, 13230 Lincoln Highway, North Huntingdon Township, PA 15642 has submitted a Notice of Intent to Remediate soil contaminated with solvent, BTEX and PHCs. The applicant proposes to remediate the site to meet the site-specific standard.

Notice of Administrative Record Reopening 35 P. S. § 6020.505(b) Prompt Interim Response

#### Shaler/J.T.C. Site Bruin Borough, Butler County

The Department of Environmental Protection (Department), under the authority of the Hazardous Sites Cleanup Act (HSCA) (35 P. S. §§ 6020.101—6020.1305), is reopening the administrative record for its interim response action at the Shaler/J.T.C. Site (Site).

The Department opened the administrative record for this Site on August 13, 1994, under section 506 of HSCA (35 P. S. § 6020.506), to provide the public the opportunity to comment on the prompt interim response that had been selected by the Department for implementation at the Site. The public comment period ended on November 11, 1994.

The Department is now reopening the administrative record so that it can include in the record:

(a) consistent with 35 P.S. § 6020.506(g)(1), additional information the Department obtained during the implementation of its interim response action and believes to be of central relevance to the selected action; and

(b) consistent with 35 P.S. § 6020.506(g)(3), documentation of its response costs.

The additional information to be included in the administrative record regarding the Department's interim response costs is available for public review and comment. The additional information to be included in the administrative record is located at the Department's Northwest Regional Office, located at 230 Chestnut Street, Meadville, PA 16335-3481, and is available for review Monday through Friday from 8 a.m. to 4 p.m. Persons who desire to review the additional information, please telephone Pam Foulk in the Northwest Regional Office Records Center (telephone (814) 332-6340). A duplicate of the additional information is also available for public

# DAMES & MOORE

322 BOULEVARD OF THE ALLIES, FIFTH FLOOR, PITTSBURGH, PENNSYLVANIA 15222-1916 (412) 471-8000 FAX: (412) 471-9336

August 15, 1996

John J. Matviya Regional Manager Environmental Cleanup Pennsylvania Department of Environmental Protection 400 Waterfront Drive Pittsburgh, PA 15222-4745

Attention:

Karen Johnson

RE:

Norwin Dodge Facility

LRP #5-65-8-2275

North Huntingdon Township

Westmoreland County

Site Specific Standard Clean-up

Dear Mr. Matviya:

Enclosed is a copy of our site specific standard notification letter for the Norwin Dodge facility that was sent to North Huntingdon Township municipal officials. We are sending this copy to you in response to a PADEP letter to Dames & Moore on July 26, 1996, requesting proof of this submission to the township. We enclose a copy of the receipt for delivery of this letter in the final report for the site.

A second request in the PADEP letter was for an additional \$250 fee for the Remedial Investigation Report Submission. This fee will be submitted to the PADEP separately.

Please call with any questions you may have.

Regards,

DAMES & MOORE

Michael D. Antonetti, P.G.

Senior Hydrogeologist-Office Manager

RECEIVED

AUG 1 9 1996

DEP, Southwest Region Bureau of Waste Management

Enclosure

MDA:tjo

H/WPWINGOWPDOCS/CRC/PADEP.LTR.

#### TRANSMITTAL SHEET

## DAMES & MOORE

DATE: July 18, 1996

2325 Maryland Road Willow Grove, Pennsylvania 19090 (215) 657-5000 FAX: (215) 657-5454

TO:

Commonwealth of Pennsylvania Department of Environmental Protection

400 Waterfront Drive

Pittsburg, Pennsylvania 15222-4745

YOUR ORDER NO.:

OUR JOB NO .:

16940-079

ATTENTION:

Mr. Ed Gersky Case Manager

SUBJECT:

Norwin Dodge

WE ARE SENDING

YOU VIA:

**UPS** Overnight

THE FOLLOWING:

Certification of Publication and receipt from the muncipality regarding the

submission of the Final Report for Norwin Dodge

THIS IS: / THESE ARE: to complete the deliverables required under the land Recycling Porgram for the

remediation of the Norwin Dodge site

NO. OF COPIES SUBMITTED:

2

COPIES TO:

J. Francomano (Chrysler)

M. Antonetti (Dames & Moore)

BY:

Pamela K. Pidge Senior Chemist

#### TRANSMITTAL SHEET

#### DAMES & MOORE

2325 Maryland Road Willow Grove, Pennsylvania 19090 (215) 657-5000 FAX: (215) 657-5454

TO:

Commonwealth of Pennsylvania Department of Environmental Protection 400 Waterfront Drive

Pittsburg, Pennsylvania 15222-4745

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2

COPIES TO:

J. Francomano (Chrysler)

M. Antonetti (Dames & Moore)

BY:

Pamela K. Pidge Senior Chemist

No.	 Term,	19
1		

# Proof of Publication of Notice in The Tribune-Review

Und	er Act No. 58	7, Approved May 16, 192	9.			
Commonwealth of Pennsylvania, Counties of Westmoreland, Allegheny, Washington, Fayette, Indiana	} ss:	<b>b</b>				
ration of the County and State aforesa newspaper published in the City of G the year 1924, since which date a dai printed notice of publication is attache editions of the said daily newspaper on the f	id, being duly reensburg, Cou ly newspaper led the hereto exact	sworn, deposes and says of anty and State aforesaid. S has been regularly issued in ctly as the same was pri	that The Tribune-Review is a daily Said corporation was established in n said County, and a copy of the inted and published in the regular			
L	egal.#5.57	7.5.5 7.0.1				
	E:Chry.s.	ler.Realty.Corp	Final Report			
	and ti	hel4th day	of .July, A.D. 19.9.6			
ment under oath and also declares notice of publication, and that all all publication are true.  Copy of notice or publication	legations in th	ne foregoing statement as Secre Se	Tribune-Review Publishing Company.			
Notice is hereby given that Chrysler Realty Corporation has submitted a final report to the Pennsylvania Department of En- vironmental Protection, South- east Regional Office, to demon- strate attainment of the state- wide health standardfaile specif- ic standard for a site located at	day of  My Co	DONNO mmjesion Expires: /	Notary Public. Notary Public. Notary Public. Notary Public Sanderbeck, Notary Public Greensburg, Westmoreland County My Commission Expires June 29, 1998			
ic standard for a site located at 13230 Lincoln Highway, North Humingdon Township, Allegheny County, Chryster Reatly Corpo- ration has indicated that the re-		Statement of Ad	verhising = Costs (esociation of Notarie			
attained compliance with the	Dames	& Moore				
ard and site-specific cleanup standard established under the Land Recycling and Environ- mental Remediation Standards	2325 Maryland Road					
- A-4	Willow Grove, PA 19090					
This notice is made under the provision of the Land Recycling and Environmental Remediation Standards Act, the Act of May 19, 1995, P.L. 1995-2, No. 2. (7-14-96)55755701	To Tribune-Review Publishing Company, Dr.					
(7-14-96)55755701	For publishing the notice or advertisement attached					
	hereto on the above stated dates \$ 49.14					
	Probating :	same	• • • • • • • • • • • • • • • • • • •			
	To	otal	\$ 49.14			

## Publisher's Receipt for Advertising Costs

The Tribune-Review Publishing Company, a corporation, publishers of The Tribune-Review, a daily newspaper, hereby acknowledges a receipt of the aforesaid advertising and publication costs, and certifies the same have been fully paid.

SENDER:  Complete items 1 and/or 2 for additional services.  Complete items 3, and 4a & b.  Print your name and address on the reverse of this form so return this card to you.  Attach this form to the front of the malipiece, or on the Baddoes not permit.  Write "Return Receipt Requested" on the malipiece below the The Return Receipt will show to whom the article was delivered.	sk if space article number. d and the date	Consult postmaster for fee.		
8 delivered. 3. Article Addressed to:  North Huntingdon Township  Municipal Building	4b. Ser ☐ Regi	4a. Article Number 236 990 228  4b. Service Type Registered 5 Insured		
Nosah Huntingdon, PA 15642	Certified COD  Express Mail Return Receipt for Merchandise  7. Date of Delivery			
5 Veignature (Addicesse) 6. Signature (Agent)	8. Add and	ressee's Address (Only if requested (see is paid) OMESTIC RETURN RECEIPT		

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	Posimark or Date	101AL Peolign & Fors	Batun Roccol Shoring to Whom, Date, and Addresser's Address	Repain Recorpt Showing to Whom & Date Delevered	Restricted Delivery Fee	Special Debugy Fee: .	Certified Fee	th Huntingdon To Municipal Build 79 Center Highwa th Huntingdon, P	Sent to	Receipt for Certified Mail No Insurance Cover So not use for Inter (See Reverse)	0 bb 9EP Z
3		\$253	((0				0.0	wnship ling 15642 \$ 32		Receipt for Certified Mail to Insurance Coverage Provided So not use for International Mail See Reverse)	

# Dames & Moore

322 BOULEVARD OF THE ALLIES, FIFTH FLOOR, PITTSBURGH, PENNSYLVANIA 15222-1916 (412) 471-8000 FAX: (412) 471-9336

February 9, 1996

North Huntingdon Township Municipal Building 11279 Center Highway North Huntingdon, Pennsylvania 15642

Re:

Site Name: Norwin Dodge

Municipality: North Huntingdon Township

County: Allegheny

Dear Municipal Official:

The Land Recycling and Environmental Remediation Standards Act (Act 2) requires that a Notice of Intent to Remediate (NIR) a site be provided to the municipality in which the site is located. In accordance with this provision of Act 2, we are formally notifying you of our intent to remediate the subject site. A copy of the Notice of Intent to Remediate, which has been sent to the Department of Environmental Protection (DEP), is enclosed. The Department will publish an acknowledgment of the receipt of this notice in the Pennsylvania Bulletin, and a summary of the notice will be published in a local newspaper.

Should you have any questions or comments regarding the proposed remediation, please contact Mike Antonetti at (412) 471-8000.

Very truly yours,

Michael D. Antonetti, P.G. Office Manager-Pittsburgh

MDA:tjo

cc: Anthony Kaufman

AUG 1 9 1996

RECEIVED

DEP. Southway Bureau of Waste Management

Enclosure

# Benefits of Future Use:

Site will continue as a car dealership, commercial property.

Preparer of Notice of Intent to Remediate:

Name Michael D. Antonetti Signature Michael D.

Title Senior Hydrogeologist Date 2/9/96 Telephone 412-471-8000

Address 322 Blvd. of the Allies, 5th Floor, Pittsburgh, PA 15222

2325 MARYLAND ROAD, WILLOW GROVE, PENNSYLVANIA 19090 (215) 657-5000 FAX: (215) 657-5454

July 2, 1996

North Huntingdon Township Municipal Building 11279 Center Highway North Huntingdon, Pennsylvania 15642

Re:

Norwin Dodge

North Huntingdon Township

Allegheny County

### Dear Municipal Official:

The Land Recycling and Environmental Remediation Standards Act (Act 2) requires that the municipality in which a site being remediated pursuant to Act 2 is located be notified of the submittal of any plan or reports pertaining to the remediation of that site to the Department of Environmental Protection (DEP). In accordance with the provisions of Act 2, we are notifying you of our submittal of a report entitled "Final Report - Site Remediation and Risk Assessment" with respect to the above referenced site to the southeast Regional Office of the DEP on July 2, 1996.

Should you have any questions or comments regarding this matter, please contact Pamela Pidge at (215) 657-5000.

Sincerely,

DAMES & MOORE

Pamela K. Pidge Senior Chemist

PKP:mb (PHL) 19805\_1.WPD

#### TRANSMITTAL SHEET

### DAMES & MOORE

2325 Maryland Road Willow Grove, Pennsylvania 19090 (215) 657-5000 FAX: (215) 657-5454

TO:

Commonwealth of Pennsylvania Department of Environmental Protection 400 Waterfront Drive

Pittsburg, Pennsylvania 15222-4745

YOUR ORDER NO .:

5-65-8-2275

OUR JOB NO .:

16940-079

ATTENTION:

Ms. Karen Johnson

SUBJECT:

Norwin Dodge

WE ARE SENDING

YOU VIA:

**UPS** Overnight

THE FOLLOWING:

Check for \$250, certifications of publications, and a copy of the letter sent to North

Huntingdon

1

THIS IS: /

THESE ARE:

to complete the deliverables required under the Land Recycling Program.

NO. OF COPIES SUBMITTED:

COPIES TO:

J. Francomano (Chrysler)

M. Antonetti (Dames & Moore)

BY:

Pamela K. Pidge Senior Chemist

DATE: August 16, 1996

AUG 1 9 1996



#### 400 Waterfront Drive Pittsburgh, PA 15222-4745 July 26, 1996

#### Southwest Regional Office

412-442-4000

Michael D. Antonetti 322 Boulevard of the Alles 5th Floor Pittsburgh, PA 15222

RE: Norwin Dodge Facility

LRP #5:65-8-2275

North Huntingdon Township

Westmoreland County

Site Specific Standard Clean-up

Dear Mr. Antonetti:

This letter acknowledges receipt of your report on July 3, 1996, pertaining to the subject site and submitted in accordance with the provisions of the Land Recycling and Environmental Remediation Standards Act (Act 2).

The Department of Environmental Protection has 90 days from receipt to review the report. If we do not respond with deficiencies within the 90-day timeframe, the report shall be deemed approved. You will receive a letter advising you of the Department's options.

Within the 90-day review period, you are to submit verification of having met the public notification requirements. We need a copy of the letter which you sent to North Huntingdon Township. Approval of your report and the release of liability provided by the Act are, in part, contingent upon our receipt of these documents.

Your final report did not contain all of the required fees. In order to complete the report please provide the following: \$250 fee for the Remedial Investigation Report.

Fees paid to date, have been: \$750.

Applied as follows: \$250 - Statewide Health Standard Final Report fee

\$500 - Site Specific Standard Final Report fee

The \$250 fee for the Remedial Investigation Report has not been paid.



Please contact the Environmental Cleanup Program if you have any questions or if we can be of further assistance in this matter.

Sincerely,

John J. Matviya Regional Manager

Environmental Cleanup

cc: Tom LaFrankie



### 400 Waterfront Drive Pittsburgh, PA 15222-4745 July 26, 1996

### Southwest Regional Office

412-442-4000

Michael D. Antonetti 322 Boulevard of the Allies 5th Floor Pittsburgh, PA 15222

RE: Norwin Dodge Facility

LRP #5-65-8-2275

North Huntingdon Township

Westmoreland County

Site Specific Standard Clean-up

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Fees paid to date, have been: \$750.

Applied as follows: \$250 - Statewide Health Standard Final Report fee

\$500 - Site Specific Standard Final Report fee

The \$250 fee for the Remedial Investigation Report has not been paid.



Please see that these and any other documents mailed to the Department concerning this site are sent to the attention of Karen Johnson. She will see that the proper people receive copies.

Please contact the Environmental Cleanup Program if you have any questions or if we can be of further assistance in this matter.

Sincerely,

Yohn J. Matviya Regional Manager

Environmental Cleanup

cc: Tom LaFrankie

bcc: J. Matviya

A. M. Tempero

E. Gursky

LRP File V

K. Johnson

JJM:KJ:kld

## OFFICIAL FILE COPY



# Pennsylvania Department of Environmental Protection

### 400 Waterfront Drive Pittsburgh, PA 15222-4745 July 26, 1996

### Southwest Regional Office

412-442-4000

Michael D. Antonetti 322 Boulevard of the Allies 5th Floor Pittsburgh, PA 15222

RE:

Norwin Dodge Facility

LRP #5-65-8-2275

North Huntingdon Township

Westmoreland County

Site Specific Standard Clean-up

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Applied as follows: \$250 - Statewide Health Standard Final Report fee

\$500 - Site Specific Standard Final Report fee

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Nov. 14, 1995 10:42 AM

FINAL REPORT
SUBSURFACE INVESTIGATION AND
REMEDIAL CLEANUP PLAN
NORWIN DODGE FACILITY
NORTH HUNTINGDON, PENNSYLVANIA

FOR: CHRYSLER REALTY CORPORATION

NOVEMBER 13, 1995





### 400 Waterfront Drive Pittsburgh, PA 15222-4745 June 12, 1998

Southwest Regional Office

412-442-4000

Pamela K. Pidge Associate Dan's & Moore 2325 Maryland Road Willow Grove, PA 19090

RE:

Environmental Cleanup Program

LRP No. 5-65-8-2275

Norwin Dodge Automobile Dealership Facility Nos. 65-09871 and 65-80917

North Huntingdon Township

Westmoreland County

Dear Ms. Pidge:

We have reviewed the information you submitted with your letter of May 28, 1997. The soil samples showed no exceedances of the final statewide health soil standards for non-residential use. Therefore, as demonstrated in the final report received July 3, 1996, which received interim approval on August 27, 1996, you are afforded the relief of liability for further remediation provided by the Land Recycling and Remediation Standards Act. The condition regarding maintenance of the concrete floor of the building remains in effect.

Sincerely,

John J. Matviya

Regional Manager

Environmental Cleanup

bcc: ECP File

E. Gursky

K. Johnson

JJM:jmt



400 Waterfront Drive Pittsburgh, PA 15222-4745 June 12, 1998

Southwest Regional Office

OFFICIAL FILE COPY

412-442-4000

Pamela K. Pidge Associate Dam's & Moore 2325 Maryland Road Willow Grove, PA 19090

RE:

Environmental Cleanup Program

LRP No. 5-65-8-2275

Norwin Dodge Automobile Dealership Facility Nos. 65-09871 and 65-80917

North Huntingdon Township Westmoreland County

Dear Ms. Pidge:

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Sincerely,

John J. Matviya

Regional Manager

Environmental Cleanup

2325 MARYLAND ROAD, WILLOW GROVE, PENNSYLVANIA 19090 (215) 657-5000 FAX: (215) 657-5454

November 13, 1995

Pennsylvania Department of Environmental Protection Southwest Regional Office 400 Waterfront Drive Pittsburgh, Pennsylvania 15222-4745

Attention:

Mr. John J. Matviya

Environmental Cleanup Program Manager

Re:

Subsurface Investigation and Remedial Cleanup

Report

Norwin Dodge

North Huntingdon, Pennsylvania

Dear Mr. Matviya:

Dames & Moore, on behalf of Chrysler Realty Corporation and Benson LaFrankie Land Company, has completed a subsurface investigation at the Norwin Dodge Facility located at 13230 Lincoln Highway in North Huntingdon, Pennsylvania. We identified two areas at the facility (the former hydraulic lifts inside the service area and the former USTs located outside the building), with total petroleum hydrocarbon (TPH) concentrations above the DEP Statewide Human Health Standard of 500 mg/kg. Elevated TPH and xylene levels were detected in stained soil at a drain pipe outfall on an adjacent property. We intend to address these areas under the Land Recycling Program.

Enclosed is a copy of the Subsurface Investigation and Remedial Cleanup Report for your review. We propose to excavate and remove the soils associated with the UST the until Statewide Human Health Standard of 500 mg/kg is reached. Additionally, we will pump out and dispose of any perched water that is encountered in the UST excavation. Since the impacted soils associated with the former hydraulic lifts is limited to TPH; the source of impact (the lifts) has been removed; groundwater is not present in the soil zone and lab testing indicates low moisture content of soils; the area is bound above by a concrete floor and building and below by bedrock at a depth of 7 to 14 feet below ground surface (bgs); and regional groundwater occurs at 90 feet bgs and was measured onsite in a mine vent at 92 feet bgs; we propose to perform no active remediation in this area.

We would like to meet with you and/or the case manager to discuss this site and the intended remedial approaches before we submit our Notice of Intent to Remediate and appropriate notices to the local municipality and newspaper. We would appreciate if this project could be fast-tracked since it involves a property transfer.

Mr. John J. Matviya **PADEP** November 13, 1995 Page -2-

Questions or comments regarding this report and our intended remedial actions can be directed to Mike Antonetti at (412)471-0727.

Very truly yours,

DAMES & MOORE

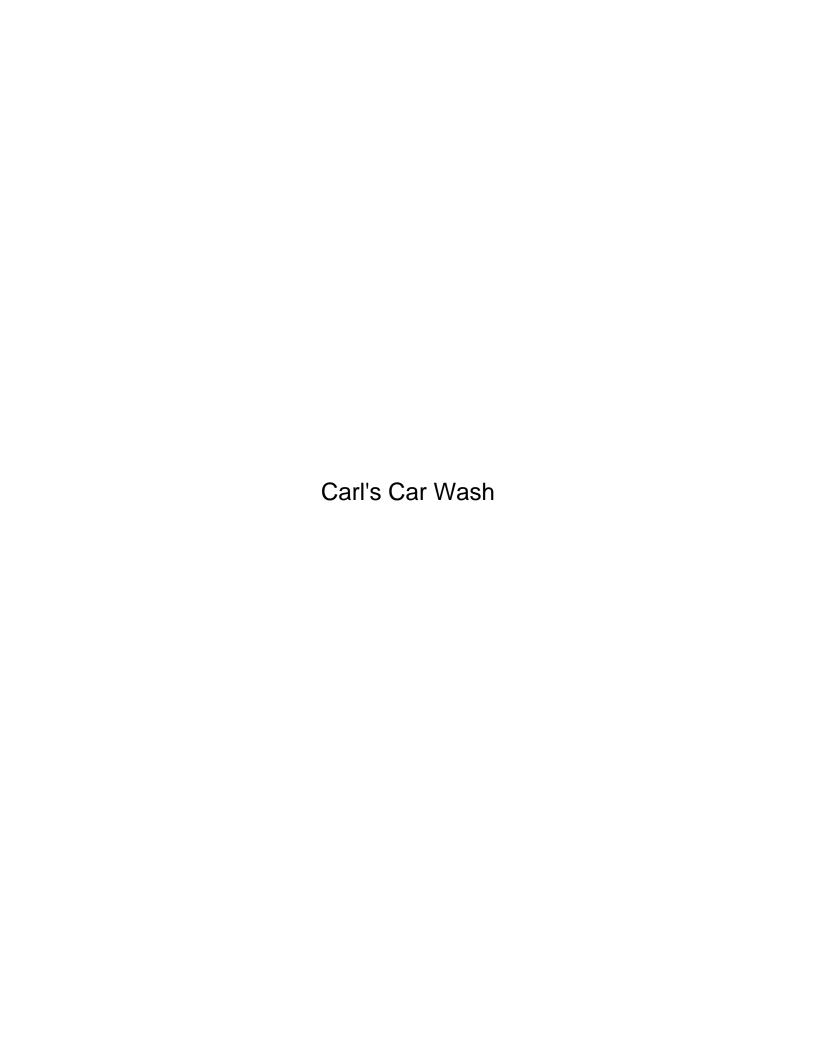
VanoCak Rose to Anthony Kaufman Associate Panalak Rose to

Mike Antonetti Senior Geologist

AK/MA:lm (PHL) 0015168.01

Joe Francomano (Chrysler) cc:

Tom LaFrankie (Norwin Dodge)





400 Waterfront Drive Pittsburgh, PA 15222-4745 March 24, 2004

Southwest Regional Office

Carl Singer 13540 Route 30 North Huntingdon, PA 15642 412-442-4000 Fax 412-442-4194

# OFFICIAL FILE COPY

Re: Storage Tank Program

Facility I. D. No. 65-26999

Carl's Car Wash North Huntingdon Westmoreland County

Dear Mr. Singer:

A review of the Department's records indicate that Donald Balhovec performed a removal of three regulated underground unleaded gasoline storage tanks at the above referenced facility in July of 1999. South Pittsburgh Excavation prepared a closed report that was submitted to the Department on September of 1999. The Department revoked Donald Balhovec's individual certification on November 25, 2002. Causes of the revocation included submittal to the Department for falsified information and improper handling of samples. A discrepancy noted in the report was that uncontaminated soil was returned to the excavation as fill without proper sampling being documented in the closure report. we cannot make a final determination regarding the actual contamination levels/conditions of your property. The Department will not require any further action at this time at this facility, however, we do not consider your closure to be in compliance with either The Storage Tank and Spill Prevention Act or other applicable laws and regulations. You may wish to retain the services of an environmental or hydrological consultant to evaluate the condition of your property and determine if remediation is needed.

If previously undetected contamination is discovered, the Department reserves the right to require remedial measures in accordance with Section 505 of The Land Recycling and Remediation Standard Act (1995-2) and The Storage Tank and Spill Prevention Act (1989-32).

If you have any questions regarding this letter please contact me at 412-442-5221.

Edward J. Lucas

Sincerely,

Water Quality Specialist

Environmental Cleanup



#### 400 Waterfront Drive Pittsburgh, PA 15222-4745 March 24, 2004

Southwest Regional Office

412-442-4000 Fax 412-442-4194

Carl Singer 13540 Route 30 North Huntingdon, PA 15642

Re: Storage Tank Program

Facility I. D. No. 65-26999

Carl's Car Wash North Huntingdon Westmoreland County

Dear Mr. Singer:

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If you have any questions regarding this letter please contact me at 412-442-5221.

Sincerely,

Edward J. Lucas

Water Quality Specialist Environmental Cleanup

bcc:

Storage Tank File

E. Lucas

P. Mehalik

EJL:kp

# CASE STATUS REVIEW

LRP - ID:	STATUS:	INACTIVE
RAAPN NO.:		ACTIVE
FACILITY ID NO .: 65-2	06999 DATE:	9-1-99
	REVIEWER:	A mehacik
If you know that <u>any</u> of the fol case should be made inactive	lowing exist, then the case should e:	remain active otherwise, th
Product in leaking	ng storage tank system	
Free product in	the environment	
Risks to human	health and the environment have	not been mitigated
Va	por/fire/explosion hazards	
Co	ntaminated drinking water supplie	es 3.
Or	ngoing releases to surface waters	
Strong potential	for receptors to be impacted	
Responsible par	ty is planning to perform or is per	forming corrective action
DEP has reques	ted the responsible party to take	corrective action
The case is less	than two years old	

Case Status Review

ST-230

TANKS removed Inspection Cux of Environmental Protection

#### 400 Waterfront Drive Pittsburgh, PA 15222-4745 September 23, 1999

Southwest Regional Office

412-442-4000

Fax 412-442-4328

Carls Gas Company 13540 RT 30 North Huntingdon, PA 15642

> Re: Notice of Storage Tank Facility Inspection Facility I.D. #65-26999 Carls Gas Company North Huntingdon Westmoreland County

Dear Underground Storage Tank Owner:

The Storage Tank and Spill Prevention Act, the Act of July 6, 1989, P.L. 169, No. 32, 35 P.S. §§6021.101-6021.2104, requires that operations inspections be conducted at storage tank facilities. Operations inspections are to review tank facility compliance with technical and operation requirements. Operations inspections of underground storage tanks must be conducted by an inspector holding DEP certification in the IUM category. After the operations inspection has been done, the completed operations inspection form must be submitted to DEP by the certified inspector.

Your referenced facility has been scheduled for an operations inspection to be completed within 45 days of receipt of this letter. As the tank owner, it is your responsibility to make all arrangements regarding the inspection including obtaining the services of a certified inspector to conduct the operations inspection. We suggest that you contact several companies having employees certified in the IUM category to obtain bids for the inspection work. When you have selected an inspector, ask the inspector's advice for organizing the necessary documents and product inventory records so that you have them available for the inspection.

Please notify the Department of the scheduled inspection date and certified inspector's name by returning the enclosed postcard at least 10 days prior to the inspection.

#### Enclosed are:

- A list of underground storage tank Certified Inspection Companies.
- Questions Commonly Asked by Storage Tank Owners about Operations Inspections for your reference.
- A postcard for confirming your inspection schedule to DEP.

As a facility owner/operator, your goals in this procedure should be to:

- Comply with the inspection requirement by having a certified inspector complete the inspection within 45 days.
- Demonstrate to the Department that your facility is in compliance with state technical requirements.

There is a 60 day period from the time of the inspection until the inspection report must be submitted to the Department. In the event that items of violation are noted during the inspection, you are encouraged to work with the inspector or tank installer of your choice to correct these deficiencies, document the work done and have the inspector verify the corrections on the inspection report before it is submitted to the Department. This action could prevent you from receiving a follow-up Notice of violation from the Department.

Please be advised that if your storage tank(s) are currently in Temporary Out of Service (TOS) status, this inspection is not required provided that the tank(s) are properly closed by December 22, 1999.

If you have any questions or concerns regarding this inspection please contact Ed Lucas, at 412-442-5221.

Sincerely,

Corey L. Giles

Water Quality Specialist Supervisor

Environmental Cleanup

Enclosures (3)

bcc: Storage Tank File

Tracking Log

Glenn Rider

Luther Lengel

CLG:ldc



#### 400 Waterfront Drive Pittsburgh, PA 15222-4745 September 23, 1999

Southwest Regional Office

412-442-4000

Fax 412-442-4328

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bcc: Storage Tank File

Tracking Log

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CLG:ldc



## 400 Waterfront Drive Pittsburgh, PA 15222-4745 September 23, 1999

Southwest Regional Office

412-442-4000 Fax 412-442-4328

Carls Gas Company 13540 RT 30 North Huntingdon, PA 15642

# OFFICIAL FILE COPY

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Sincerely,

Corey L. Giles

Water Quality Specialist Supervisor

Environmental Cleanup

Enclosures (3)



### 400 Waterfront Drive Pittsburgh, PA 15222-4745 July 28, 1999

Southwest Regional Office

412-442-4000 Fax 412-442-4328

#### CERTIFIED MAIL NO. Z 144 436 484

Carl's Gas Company 13540 Route 30 North Huntingdon, PA 15642

> Re: 1998 Compliance Inspection Facility I.D. No. 65-26999 North Huntingdon Westmoreland County

Dear Mr. Singer:

On April 27, 1999, the Department inspected the above referenced facility for compliance with the 1998 requirements for underground storage tanks. A copy of the completed inspection report documenting the findings is enclosed. The section or sections that pertain to your tank(s) are circled. If you have any questions about this inspection or the actions you should take, please contact me at 412-442-5221.

Sincerely,

Edward J. Lucas Water Quality Specialist Environmental Cleanup

Enclosure: Compliance Report



## Pennsylvania Department of Environmental Protection

### 400 Waterfront Drive Pittsburgh, PA 15222-4745 July 28, 1999

Southwest Regional Office

412-442-4000 Fax 412-442-4328

#### CERTIFIED MAIL NO. Z 144 436 484

Carl's Gas Company 13540 Route 30 North Huntingdon, PA 15642

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Sincerely,

Edward J. Lucas Water Quality Specialist Environmental Cleanup

Enclosure: Compliance Report

bcc: Storage Tank File

A. M. Tempero

C. Giles

EJL:njh

Tanks removed do not send

#### COMMONWEALTH OF PENNSYLVANIA DEPARTMENT, OF ENVIRONMENTAL PROTECTION BUREAU OF LAND RECYCLING AND WASTE MANAGEMENT

DATE RECEIVED:	
Brite He delie Co.	



## UNDERGROUND STORAGE TANK SYSTEM CLOSURE NOTIFICATION FORM

SWRO

NOTE: Notification of permanent closure must be received by the appropriate regional office of the Department at least 30 days prior to initiation of the closure activities. Owner of Tank System Owner Name Carl Singer Street Address Phone Number 13540 Route 30 (724) 864-9066 City State Zip Code 15642 North Huntington II. Location of Tank System **Facility Name** Facility Identification Number Carl's Car Wash 65-26999 Street Address City State Zip Code 13539 Route 30 North Huntington 15642 Municipality North Huntington Westmoreland Contact Person Phone Number Carl Singer (724)864-9066 7 12 99 Month/Day/Year of Proposed Closure IV. Certified Installer/Company Performing Tank Handling Activities Certified Installer Name Installer Certification Number Dona1d Blahovec 4564 Street Address Phone Number 189 Camp Run Road ) 452-4206 (724)City State PA. Harmony Certified Company Name Company Certification Number South PGH. Environmental Group, Inc. 1370 V. Contractor/Individual Performing Site Assessment Activities Name of Contractor or Individual South PGH. Environmental Group, Inc. Street Address Phone Number P.O. Box 455 746-2674 City Zip Code 15321 State Ceci1 PA. VI. Description of Underground Storage Tank Systems (See reverse side of form) VII. Will this closure involve replacement of at least one old tank with a new tank? VIII. Signature of Tank System Owner Date 7-28-99



Brypadyer enx

Pennsylvania Department of Environmental Protection

## 400 Waterfront Drive Pittsburgh, PA 15222-4745 August 15, 1997

Southwest Regional Office

412-442-4000

CERTIFIED MAIL #P 053 055 634

Carls Gas Company 13540 Route 30 North Huntingdon, PA 15642

RE:

Notice of Storage Tank Facility Inspection

Facility I.D. #65-26999 North Huntingdon Westmoreland County

Dear Sir:

The Storage Tank and Spill Prevention Act, the Act of July 6, 1989, P.L. 169, No. 32, 35 P.S. §§6021.101-6021.2104, requires that operations inspections be conducted at storage tank facilities. Operations inspections are to review tank facility compliance with technical and operation requirements. Operations inspections of underground storage tanks must be conducted by an inspector holding DEP certification in operations inspection form must be submitted to DEP by the certified inspector.

Your facility has been scheduled for an operations inspection to be completed within 45 days of receipt of this letter. As the tank owner, it is your responsibility to make all arrangements regarding the inspection including obtaining the services of a certified inspector to conduct the operations inspection. We suggest that you contact several work. When you have selected an inspector, ask the inspector's advice for organizing the necessary documents and product inventory records so that you have them available for

Please notify the Department of the scheduled inspection date and certified inspection.

Please notify the Department of the scheduled inspection date and certified inspection.

65-26999

Donald Blahovec

South Pittsburgh Excavating, Inc. P.O. Box 455 Cecil, PA. 15126 (724) 746-2674

Patty Mahalik

Department of Environmental Protection Southwest Region 400 Waterfront Drive Pittsburgh, PA. 15222 SOUTHWEST REGION

May 11, 1999

Dear Patty Mahalik:

Enclosed is the thirty day notification for Carl's Car Wash, located at 13540 Route 30 in North Huntingdon, PA. 15642.

The facility identification number is 65-26999, and am requesting a waiver for the thirty day notification so that improvements can be made to the facility, and interuptions in service can be avoided.

If you have any questions or need additional information, please contact me at (724) 452-4206, or on the cell phone at (412) 576-9771.

Sincerely,

Donald Blahovec Environmental Engineer President of Storage Division

Doubl Bloker

#### COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION BUREAU OF LAND RECYCLING AND WASTE MANAGEMENT

DATE RECEIVED:	
----------------	--

## ATTACHMENT 3

## UNDERGROUND STORAGE TANK SYSTEM CLOSURE NOTIFICATION FORM

NOTE: Notification of permanent closure must be received by the appropriate regional office of the Department at least 30 days prior to initiation of the closure activities.

I. Owner of Tank System			
Owner Name KARI'S CAS CO			
Street Address 13539 VS BOVTE 30		Phone Number	4-9069
City N. HUNTINGDON	State		Code 157-47
. Location of Tank System	1//		13692
Facility Name Carl's Car Wash		Facility Identification	
Street Address 13540 Route 30	City	Huntingdon	State Zip 5642
Municipality North Huntingdon	County Westmo	reland	
Carl Singer- Owner		Phone Number (724) 864-	9066
. Month/Day/Year of Proposed Closure 5	/ 30 / 99		
. Certified Installer/Company Performing Tank Hai	ndling Activities		
Certified Installer Name Donald Blahovec		Installer Certificatio	n Number
Street Address 189 Camp Run Road		Phone Number (724)452-4	206
City Harmony	State PA.	Zip C	od <u>₹</u> 6037
Certified Company Name South Pittsburgh Excavating,	Inc.	Company Fertificati	on Number
Contractor/Individual Performing Site Assessmen	t Activities		
Name of Contractor or Individual Donald Blahovec			
Street Address P.O. Box 455		Phone Number 724 746-	-2 <b>8</b> 348
City Cecil	State PA		5321
Description of Underground Storage Tank System	S (See reverse side of form) -		DE P
Will this closure involve replacement of at least or Yes No X	ne old tank with a new	tank?	1:59
. Signature of Tank System Owner		Date	/
1 ( Ward 0		5/7/9	77

Tank Registration Num	ber	001	002	003	
Estimated Total Capacit		8,000	8,000	8,000	
Substance(s) Stored Throughout Operating Life of Tank (Check All That Apply)	a. Petroleum	NX O	Xa a	- Xa 0	0
	. Kerosene Jet Fuel Diesel Fuel	. 0	0	0	0
	Fuel Oil No. 1 Fuel Oil No. 2 Fuel Oil No. 4	0	0	0	0
*	Fuel Oil No. 5 Fuel Oil No. 6 New Motor Oil Used Motor Oil	0	0 0	0	0 0
	Other, Please Specify b. Hazardous Substance Name of Principal CERCLA Substance		0		
	AND Chemical Abstract Service (CAS) No.				
	c. Unknown	0		0	
Proposed Closure Method (Check Only One)	a. Removal b. Closure-in-Place c. Change-In-Service	77	Ø	a 99	S0U
			No	-	
Partial System Closure (Y	es or No)	No	NO	No 🚆	- Andrew
Partial System Closure (Y		NO ,	NO		HH
Tank Registration Numb	er	NO ,	NO	4	(am
Tank Registration Numb Estimated Total Capacity	er (Gallons)	NO	NO		S <sub>M</sub>
Tank Registration Numb Estimated Total Capacity Substance(s) Stored	er (Gallons) a. Petroleum			PN I:	S <sub>M</sub>
Tank Registration Numb Estimated Total Capacity Substance(s) Stored Throughout Operating	er (Gallons) a. Petroleum Unleaded Gasoline	0	a	4 PM 1: 5	S <sub>M</sub>
Tank Registration Numb Estimated Total Capacity Substance(s) Stored Throughout Operating Life of Tank	er (Gallons) a. Petroleum Unleaded Gasoline Leaded Gasoline			4 PM 1:59	NOISE IS:
Tank Registration Numb Estimated Total Capacity Substance(s) Stored Throughout Operating	er (Gallons) a. Petroleum Unleaded Gasoline Leaded Gasoline Aviation Gasoline	0		u Pi 1:59	NOISJA JS-
Tank Registration Numb Estimated Total Capacity Substance(s) Stored Throughout Operating Life of Tank	er (Gallons)  a. Petroleum Unleaded Gasoline Leaded Gasoline Aviation Gasoline Kerosene	0 0	0 0	4 PN 1:59	NOISE P
Tank Registration Numb Estimated Total Capacity Substance(s) Stored Throughout Operating Life of Tank	er (Gallons)  a. Petroleum Unleaded Gasoline Leaded Gasoline Aviation Gasoline Kerosene Jet Fuel	0 0 0	0 0 0	t PN 1:59	E P G G G G G
Tank Registration Numb Estimated Total Capacity Substance(s) Stored Throughout Operating Life of Tank	er (Gallons)  a. Petroleum Unleaded Gasoline Leaded Gasoline Aviation Gasoline Kerosene Jet Fuel Diesel Fuel	0 0 0	0 0 0 0	4 PM 1:59	SI SECTION OF OR O
Tank Registration Numb Estimated Total Capacity Substance(s) Stored Throughout Operating Life of Tank	er (Gallons)  a. Petroleum Unleaded Gasoline Leaded Gasoline Aviation Gasoline Kerosene Jet Fuel	0 0 0 0	0 0 0 0 0	4 Ph 1:59	SLUCION OF O
Tank Registration Numb Estimated Total Capacity Substance(s) Stored Throughout Operating Life of Tank	er (Galfons)  a. Petroleum Unleaded Gasoline Leaded Gasoline Aviation Gasoline Kerosene Jet Fuel Diesel Fuel Fuel Oil No. 1	0 0 0 0 0	0 0 0 0 0	4 Ph 1:59	SL SECTION d 3
Tank Registration Numb Estimated Total Capacity Substance(s) Stored Throughout Operating Life of Tank	er (Gallons)  a. Petroleum Unleaded Gasoline Leaded Gasoline Aviation Gasoline Kerosene Jet Fuel Diesel Fuel Fuel Oil No. 1 Fuel Oil No. 2	0 0 0 0	0 0 0 0 0 0 0	4 Ph 1:59	SLUCION OF O
Tank Registration Numb Estimated Total Capacity Substance(s) Stored Throughout Operating Life of Tank	er (Gallons)  a. Petroleum Unleaded Gasoline Leaded Gasoline Aviation Gasoline Kerosene Jet Fuel Diesel Fuel Fuel Oil No. 1 Fuel Oil No. 2 Fuel Oil No. 4	000000	0 0 0 0 0	4 Ph 1:59	NOIS33-
Tank Registration Numb Estimated Total Capacity Substance(s) Stored Throughout Operating Life of Tank	er (Gallons)  a. Petroleum Unleaded Gasoline Leaded Gasoline Aviation Gasoline Kerosene Jet Fuel Diesel Fuel Fuel Oil No. 1 Fuel Oil No. 2 Fuel Oil No. 4 Fuel Oil No. 5	0000000	0000000	4 PM 1:59	SI SECTION
Tank Registration Numb Estimated Total Capacity Substance(s) Stored Throughout Operating Life of Tank	er  (Gallons)  a. Petroleum  Unleaded Gasoline  Leaded Gasoline  Aviation Gasoline  Kerosene  Jet Fuel  Diesel Fuel  Fuel Oil No. 1  Fuel Oil No. 2  Fuel Oil No. 4  Fuel Oil No. 5  Fuel Oil No. 6  New Motor Oil  Used Motor Oil	00000000	000000000	4 PM 1:59	SI SECTION 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
Tank Registration Numb Estimated Total Capacity Substance(s) Stored Throughout Operating Life of Tank	er  (Gallons)  a. Petroleum  Unleaded Gasoline  Leaded Gasoline  Aviation Gasoline  Kerosene  Jet Fuel  Diesel Fuel  Fuel Oil No. 1  Fuel Oil No. 2  Fuel Oil No. 4  Fuel Oil No. 5  Fuel Oil No. 6  New Motor Oil	000000000	0000000000	4 Ph 1:59	NOIDS 18:33
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Tank Registration Numb Estimated Total Capacity Substance(s) Stored Throughout Operating Life of Tank	er (Gallons)  a. Petroleum Unleaded Gasoline Leaded Gasoline Aviation Gasoline Kerosene Jet Fuel Diesel Fuel Fuel Oil No. 1 Fuel Oil No. 2 Fuel Oil No. 5 Fuel Oil No. 5 Fuel Oil No. 6 New Motor Oil Used Motor Oil Used Motor Oil Other, Please Specify b. Hazardous Substance Name of Principal CERCLA Substance AND Chemical Abstract Service (CAS) No.	0 0 0 0 0 0 0 0 0 0 0	000000000	4 Ph 1:59	SL 8LCION 0
Tank Registration Numb Estimated Total Capacity Substance(s) Stored Throughout Operating Life of Tank	er  (Gallons)  a. Petroleum  Unleaded Gasoline  Leaded Gasoline  Aviation Gasoline  Kerosene  Jet Fuel  Diesel Fuel  Fuel Oil No. 1  Fuel Oil No. 2  Fuel Oil No. 5  Fuel Oil No. 6  New Motor Oil  Used Motor Oil  Used Motor Oil  Other, Please Specify  b. Hazardous Substance  Name of Principal  CERCLA Substance  AND  Chemical Abstract	0000000000	000000000	4 Ph 1:59	SL 8ECHON 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0
Tank Registration Numb Estimated Total Capacity Substance(s) Stored Throughout Operating Life of Tank	er (Gallons)  a. Petroleum Unleaded Gasoline Leaded Gasoline Aviation Gasoline Kerosene Jet Fuel Diesel Fuel Fuel Oil No. 1 Fuel Oil No. 2 Fuel Oil No. 5 Fuel Oil No. 5 Fuel Oil No. 6 New Motor Oil Used Motor Oil Used Motor Oil Other, Please Specify b. Hazardous Substance Name of Principal CERCLA Substance AND Chemical Abstract Service (CAS) No.	0 0 0 0 0 0 0 0 0 0 0	000000000	4 Ph 1:59	SL 8LCION 0
Tank Registration Numb Estimated Total Capacity Substance(s) Stored Throughout Operating Life of Tank (Check All That Apply)	er  (Gallons)  a. Petroleum  Unleaded Gasoline  Leaded Gasoline  Aviation Gasoline  Kerosene  Jet Fuel  Diesel Fuel  Fuel Oil No. 1  Fuel Oil No. 2  Fuel Oil No. 5  Fuel Oil No. 6  New Motor Oil  Used Motor Oil  Used Motor Oil  Other, Please Specify  b. Hazardous Substance  Name of Principal  CERCLA Substance  AND  Chemical Abstract  Service (CAS) No.  C. Unknown	0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0	4 Ph 1:59	SL 8ECION 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0 0



## Pennsylvania Department of Environmental Protection

400 Waterfront Drive Pittsburgh, PA 15222

JANUARY 22, 1999

Southwest Regional Office

NOTICE OF VIOLATION

OFFICIAL FILE COPY

CARLS GAS CO 13540 RT 30 NORTH HUNTINGDON PA 15642

RE: Storage Tanks
Failure to Meet Performance Standards
CARLS GAS CO
65-26999
Westmoreland

Dear CARLS GAS CO:

Department files reveal that the one or more components of the above-referenced underground storage tank (UST) facility (tanks and/or piping) do not meet the performance standards for new or upgraded UST systems of either spill prevention, overfill prevention, corrosion protection, or in the case of hazardous substance UST systems, secondary containment as leak detection. Enclosed is a list of systems located at the above-referenced facility that do not meet the performance standards. Chapter 245 mandates the performance standards, Subchapter E of the Department's Rules and Regulations and 40 C.F.R. Part 280, Subpart B of the Federal Regulations governing UST systems. Those regulations require all UST systems to meet either new or upgraded performance standards no later than December 22, 1998. Consequently, if you are currently operating an UST system, which does not meet either new or upgraded standards, you are in violation of Chapter 245, Section(s) 245.421, 245.422, and/or 245.443 of the Department's Rules and Regulations.

You are hereby notified that continued operation of any substandard UST system subjects you to potential enforcement action by the Department, including the issuance of an Administrative Order and/or Civil Penalty Assessment.

Civil penalty amounts are influenced by a variety of factors including the number of tank systems in non-compliance, duration of the violation, and amount of product dispensed.

Compliance with Chapter 245, Sections 245.422 and 245.443 can be achieved by:

- 1. Immediately stop operating your substandard UST system.
- 2. Immediately empty all substandard tanks so that no more than 1 inch of residue, or 0.3 percent by weight of the total capacity of the UST system remains in the tank.
- 3. Immediately submit an amended registration form to DEP indicating temporary closure status for each tank.
- 4. Cap and secure all lines, pumps, manways and ancillary equipment within 3 months of placing the tank(s) in temporary closure. Vent lines must be left open and functioning at all times.
- 5. By no later than December 22, 1999, upgrade, replace, or complete permanent closure of your UST tank system. Permanent closure must be completed in accordance with the Department's technical document "Closure Requirements for Underground Storage Tank Systems" dated April 1, 1998. Please be aware that Department's regulations require you to provide the Department at least a 30 day notice prior to beginning permanent closure, and report to the Department any confirmed reportable release within 2 hours of discovery. Also, all tank handling activity associated with the closure must be done by, or performed under, the direct supervision of, a properly certified (UMR certification category) contractor.

If you have any questions concerning this matter, please feel free to call me at (412) 442-4090.

Sincerely,

Anna Marie Tempero

Storage Tank Section Chief

Environmental Cleanup

Enclosure

cc: File

Facilty ID: 65-26999 Facility Name: CARLS GAS CO

Tank	Tank Substance	Capacity Attr	Attr	Attribute Description	Comp
001		8,000	Tank		No N
			Pipe		No
			Spill		No
			Overfill		No
002	GASOLINE	8,000	Tank		No
			$_{ m Pipe}$		No
			$s_{pill}$		No
			Overfill		No
003	GASOLINE	8,000	Tank		No
			Pipe		No
			Spill		No
			Overfill		No

3930-FM-WC0022 Rev. 12/98

# COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION BUREAU OF WATERSHED CONSERVATION

### **UST FACILITY COMPLIANCE INSPECTION**

Facility Name <u>Carl</u>	6-65	(0					/		itial Inspec	tion	
Facility ID. # <u>65</u>	2699	9		Fa	acility Type	e	<u>/</u>	_ 🗆 F	ollow-up In	spection	
Facility ID. # 65 - Municipality M 14	stony	125		. Co	ounty	We	TT MORE	lan S	<b>′</b>		
On $4/2$	7/49		a compli	ance ins	pection wa	as condu	cted at the	above r	named faci	lity. Based	
on observations, current the following compliance	Ďepartme	nt file in	formation	and a re	view of fa	cility rec	ords availa	ible at th	e time of i	nspection,	
			nk #00(		nk #002		nk #603	Tani	<b>(#</b>	Tank #	
Tank Capacity		٤	3080	G	000		8000				
Substance Code			A	1	<del> </del> -		4				
Current Status			7		7		1 /4				
Current Substance Lev		0.741.0	61		2/3		2/4				
Totalizer Reading(s)	*	0649	175	880	16.36		27,83	т.			
Tank Construction	(1)	N F	N	F	I N	N.	N				
Piping Construction	(2) (6)	N	70	N	I N	N	n				
Spill Prevention Overfill Prevention	(7)	N	N	N	N	1/	in				
Hazardous Substance	Tank		10	10	1	,,,					
Leak Detection	Piping										
Louis Botostion	1. 15.1.19		= Complia		l = Non-C		.1			<u></u>	
are either in active operation or storing product. You should immediately cease operation and within 5 days of this date EMPTY each non-compliant tank system listed so that no more than 1 inch of product remains. You should maintain the contractor receipt(s) to show that the tanks were emptied. If you fully cooperate, you will be offered a reduced penalty assessment. If you fail to comply, a DEP Order will be issued and a more substantial civil penalty assessed. Also, you should complete an amended Registration/Permitting form and promptly submit the form to the Division of Storage Tanks.  Your tank system(s)											
records to the Depa D. Your tank system(s	)				re	main in	violation of	DEP pe	erformance	standard(s	
Department enforce	ement action	on to co	mpel com	pliance	will be pur	sued.					
E. Your facility appear	s to be in o	complian	ce with D	EP tech	nical stand	lards.					
F. OtherSee accor	npanying N	Varrative	Sheet.							1	
Ed lung	DEP Int	//	u	and the second s	- <i>(</i>	1/2-	742-5 Telephone	221	4/2	7/99	
	DEP Ins	spector	And the second s		(	DEP	Telephone	e No.	<sup>'</sup> Dat	ie ´	
Owner/Operato	ァ <u>ァーの・ノ</u> r/or Renre	sentative	Name (F	Printed)		Owne	er/Operator	s/or Rer	resentativ	e Signature	
•	•		,	,	d'not nos:		•	•		, Jigilatale	
(Signat	ure indicat	es receil	pioninis i . R/5 .	report an	u not nece	ssarily a	agreement	with-con )	tents)		
* addition	ul 17		/ 1	187 10	60	/ /	, ,				

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#### 3930-FM-WC0022 Rev. 12/98

#### **Facility Types**

- 00 Unknown
- 01 Gas Station
- 02 Petroleum Distributor
- 03 Air Taxi
- 04 Aircraft Owner
- 05 Auto Dealership
- 06 Railroad
- 07 Local Government
- 08 State Government
- 09 Federal Non-military
- 10 Federal Military
- 11 Commercial
- 12 Industrial
- 13 Residential
- 14 Contractor
- 15 Trucking/Transport
- 16 Utilities
- 17 Farm
- 18 Convenience Store
- 99 Other

#### Tank Status

- C Currently in Use
- E Exempt from State Law
- P Permanently Closed in Place
- R Removed
- T Temporarily Out of Use
- W Closed Without a Permit (obsolete)

#### Substances

- A Gasoline
- B Diesel
- C Gasohol
- D Kerosene E Heating Oil
- F New Motor Oil
- G Used Oil
- H Aviation Fuel
- I Hazardous Substance
- K Unknown
- L Mixture of petroleum and hazardous
- M Highly Hazardous Substance
- 99 Other (unlisted) petroleum (only)

#### 1. TANK CONSTRUCTION and CORROSION PROTECTION

- A Unprotected Steel (single wall)
- B Cathodically Protected Steel (Galvanic)
- C Cathodically Protected Steel (Impressed Current)
- D Double Walled (unprotected) Steel
- E Fiberglass (Single Wall)
- F Fiberglass (Double Wall)
- G Steel w/ Plastic or Fiberglass Jacket
- H Steel w/ FRP Coating (Act 100 or equivalent)
- I Steel w/ lined interior
- J Concrete
- N Unknown
- O Cathodically Protected Double Walled Steel
- P Cathodically protected steel with liner
- 99 Other (provide written comment)

#### 2. PIPING CONSTRUCTION and CORROSION PROTECTION

- A Bare Steel (including only wrapped or coated)
- B Cathodically Protected, Metallic
- C Copper
- D Fiberglass or rigid non-metallic
- E Flexible Non-metallic
- F Unknown
- G No piping requiring corrosion protection
- I Double wall, metallic primary
- J Double wall rigid (FRP) primary
- K Double wall flexible primary
- L Trench liner
- M Jacketed
- 99 Other (provide written comment)

#### 6. SPILL PREVENTION

- Y Yes
- N No
- E Less than 25 gallon

#### 7. OVERFILL PREVENTION

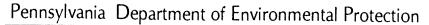
- Y Yes
- N No
- E Less than 25 gallon

#### 12. TANK RELEASE DETECTION

- A Inventory Control; requires code B or C
- B Annual Tank Tightness Testing
- C Tank Tightness Testing every 5 years
- D Statistical Inventory Reconciliation (SIR)
- E Automatic Tank Gauging (.2 gph Leak Test)
- F Manual Tank Gauging (36 Hour)
- G Manual Tank Gauging (44 or 58 Hour)
- H Interstitial Monitoring (2 Walls)
- I Interstitial Monitoring (Liner)
- J Groundwater Monitoring
- K Vapor Monitoring
- N None
- O Exempt (provide written comment)

#### 5. PIPE RELEASE DETECTION

- A Automatic Line Leak Detector (incl. test)
- B Annual Line Tightness Test (pressure)
- C Line Tightness Test 3 years (suction)
- D Interstitial Monitoring (monthly)
- E Groundwater Monitoring
- F Vapor Monitoring
- H None
- I Exempt (provide written comment)
- J Statistical Inventory Reconciliation (SIR)
- K Electronic Line Leak Detector
- L Continuous interstitial monitoring with alarm or pump shut off





### 400 Waterfront Drive Pittsburgh, PA 15222-4745 August 15, 1997

**Southwest Regional Office** 

412-442-4000

**CERTIFIED MAIL #P 053 055 634** 

Carls Gas Company 13540 Route 30 North Huntingdon, PA 15642

RE: Notice of Storage Tank Facility Inspection

Facility I.D. #65-26999 North Huntingdon Westmoreland County

Dear Sir:

The Storage Tank and Spill Prevention Act, the Act of July 6, 1989, P.L. 169, No. 32, 35 P.S. §§6021.101-6021.2104, requires that operations inspections be conducted at storage tank facilities. Operations inspections are to review tank facility compliance with technical and operation requirements. Operations inspections of underground storage tanks must be conducted by an inspector holding DEP certification in the IUM category. After the operations inspection has been done, the completed operations inspection form must be submitted to DEP by the certified inspector.

Your facility has been scheduled for an operations inspection to be completed within 45 days of receipt of this letter. As the tank owner, it is your responsibility to make all arrangements regarding the inspection including obtaining the services of a certified inspector to conduct the operations inspection. We suggest that you contact several companies having employees certified in the IUM category to obtain bids for the inspection work. When you have selected an inspector, ask the inspector's advice for organizing the necessary documents and product inventory records so that you have them available for the inspection.

Please notify the Department of the scheduled inspection date and certified inspector's name by returning the enclosed postcard at least 10 days prior to the inspection.



### Enclosed are:

- 1. A list of underground storage tank Certified Inspection Companies.
- 2. Questions Commonly Asked by Storage Tank Owners about Operations Inspections for your reference.
- 3. A postcard for confirming your inspection schedule to DEP.

If you have any questions or concerns regarding this inspection please contact Ed Lucas, at 412-442-5221.

Sincerely

Corey L. Giles

Water Quality Specialist Supervisor

Environmental Cleanup

## Enclosures (3)

bcc: G. Rider

L. Lengel

Storage Tank File

Tracking Log

E. Lucas

CLG:EL:jc



## Pennsylvania Department of Environmental Protection

## 400 Waterfront Drive Pittsburgh, PA 15222-4745 August 15, 1997

Southwest Regional Office

412-442-4000

**CERTIFIED MAIL #P 053 055 634** 

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Enclosures (3)

onesto of water of	oracii i moui	in demand				
REGISTRA	TION (	OF STORAGE TA	NKS * *	STATE US	ONLY BATE RECEIVED:	6/2)90
IN ACCORDANCE WITH STORAGE TANKS ARE	SECTIONS 3	03 AND 503 OF THE STORAGE TAN REGISTER THEIR TANKS WITH THE	K AND SPILL PREVENTION ACT, OWN E DEPARTMENT AND TO PAY A REGIS	ERS OF REGULATED STRATION FEE.	AMOUNT RECEIVED:	150.00
Please type or p If there are mo Section II. Ow and Section III. Fac Incl Section IV. Typ Section V. Des	print in interest	k all items except "Signat O underground or above; nation - Name, business m Identification Number, If ner - Mark the appropriat mation - Name and physica Facility Identification No. lity - Mark the appropriat of Storage Tanks - This so I tanks is to be recorded gistration Number - The re nbers to be recorded for a r convenience	ure" in Section V. This for ground tanks, photocopy to ailing address and phone in none include your Social Se box. all location (not P.O. Box) of if known. the box, if applicable, section is for recording infin Part A. Information for egistration numbers to be responsed in the property in use, temporary in tanks are "Ox k is currently in use, temporary in the property in use, th	cTIONS m is to be completed for the reverse side of this for the reverse side of this for the security Number.  FACILITY. Please include formation about each regulater and the regulater of the second of the regulater of the reg	rm, and staple conti torage tank(s) at the county and township lated storage tank a be recorded in Part anks are "001", "00 etc. The "A" has alre anently out of use. F	h has regulated storage tanks. inuation sheets to this form. facility. Please include county o in which FACILITY is located. at the facility. Information for B, 02", "003", etc. The registra- eady been printed on the form Permanently out of use means
Rection VI. Cermu Section VII. Nan Nu	3. Date of If unknown of If unknown of If unknown of If	Installation - Specify the own, write "0000".  y - Specify the total desi- nce Currently or Last Store as Been Issued Fire Safet- olice, Fire Marshal Division ation Fee - Determine registes. boveground tanks  Up to and including 5,0 5,001 to and including Greater than 50,000 grader ground Tanks - \$50 potal registration fee due for space provided (B). Recorreck or money order, for - This section is to be come gn and record the date to gn and record the date to y - Special registration is to be come or special registration of the date of the special registration of the special registrat	r is indicated, please spec y Approval or Permit - Indi on; or local agency under stration fee due PER TANK 000 gallons - \$50 per tank 50,000 gallons - \$125 pa allons - \$300 per tank per tank or all aboveground tanks in to d the total registration fee of the total registration fee of completed by the OWNER. the application was examinated to section for each abovegrous properties of the section for each abovegrous section for each abovegrous properties of the section for each	was completely installed of the tank in GALLONS. s), currently or last stored ify. cate whether the tank ha their jurisdiction for fire as indicated below. A reger tank the space provided (A). Redue for all aboveground arrue, made payable to: De Please type or print the med.	. For instance, "01s  If unknown, write " . If a hazardous subst s been approved or plafety. istration fee is NOT r  cord the total registrated underground tanks of, of Environmental ame and official title 00 gallon capacity. U	'unknown''. tance, please indicate CERCLA permitted by the Pennsylvania required for tanks permanently tion fee due for all underground s in the space provided (A + B).
PLEASE SEND	COMPLE	TED ORIGINAL FORM A	Bureau Registr	of Water Quality Manag ration of Storage Tanks	ement	here your FACILITY is located)
1875 New Hope St Norristown, PA 19- Counties Berks, Backs, Chester, Lehigh, Montgomery, Mc Philadelphia,	401 Delaware,	90 East Union Street - 2nd Floor Wilkes-Barre, PA 18701 Countles Carbon, Lackswanna, Luzeme, Manroe, Pike, Schuykill, Susquehanna, Wayne, Wyoning,	One Ararat Blvd. Harrisburg, PA 17110  Counties Adams, Bedford, Blair, Cumberland, Daughin, Franklin, Felton, Hartingdee, Juniata, Lancaster, Lebason, Mifflin, Penry, York	200 Pine Street Williamsport, PA 17701  Counties Bradferd, Cameron, Centre, Clinton, Clearfield, Columbia, Lycoming, Montour, Northumberland, Petter, Snyder, Sullivan, Tinga, Union	Highland Bldg 6th F 121 South Highland N Pittsburgh, PA 15206 Countles	Noor 1012 Water Street Meadwille, PA 16335  Counties Butler, Claries, Crawford, Bk, Erie,
I. OWNER I	INFORM	IATION	-	III. FACILITY IN	FORMATION	
Mailing Address  City Wost H	tion No	CARLS GAS  35 134 97  3540 AT 30  INGDON State P	A Zip 15642	Facility Identification Street Address (P.C. (353) City_NORTH_HUI	No. 6 - 50  Box not acceptable  RT 30	6 999 e) StatePA Zip (5692
II TYPE OF	OWNE	R (Mark only one)		IV. TYPE OF FA	CILITY (Mark o	nly one, if applicable)
Federal C	Governmen	ent Corpor.		Farm Municip	al	, such is approached

### V. DESCRIPTION OF STORAGE TANKS (Complete for each regulated storage tank at this location)

#### A. ABOVEGROUND TANKS

TANK REGISTRATION NUMBER			INSTA MO			PACITY		CUR	BSTAN RENTL STOR	Y OR	CERCLA NAME AND CAS NUMBER	OTHER SUBSTANCE NAME	FIRE, SAVETY PERMIT	TRATIC FEE	NC	USE
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	А														П	
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	А	2		$\Box$		П									П	
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1	A	-	2													$\top$
	Α	10	100													$\top$
	A	5	-													$\top$

#### **B. UNDERGROUND TANKS**

			NUMBER 🕏 MO		LATE		CAPACITY (GALLONS)				SUBSTANCE (CURRENTLY OR LAST STORED)			R	CERCLA NAME AND CAS NUMBER	OTHER SUBSTANCE NAME	FINE, SAPETY PERMIT				USE ONLY					
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KE	Y FOR COMPLETION OF SECTION	I V.					
Sta	tus	Sub	stance Currently or La	st Stored		Fire	Safety Permit
C T P	Currently in Use Temporarily Out of Use Permanently Out of Use	ABCDEF	Gasoline Diesel Gasohol Kerosene Heating Oil New Motor Oil	G H J K L	Used Motor Oil Aviation Hazardous Substance Other Unknown Mixture	Y N	Yes No

### VI. CERTIFICATION (Read and Sign after completing all sections)

I certify under penalty of law that I have personally examined and am familiar with the information submitted in this and all attached documents, and that based on my inquiry of those individuals immediately responsible for obtaining the information, I believe that the submitted information is true, accurate, and complete. This registration is conditioned upon compliance with provisions of the Storage Tank and Spill Prevention Act, with any regulations and orders issued pursuant to this Act, and with the requirements for obtaining a permit required under this Act.

Name and Official Title of Owner	Signature 4	Date Signed
K W SINGER PRES	1 Malle prin	7/8/90

Pennsylvania Department of Environmental Resources Bureau of Water Auality Danagement FO Box 2063 Harrisburg: FA 17520

October %5% %988

CARLS GAS CO BOX 104 N VERSAILLES: PA 15337

Dear Storage Tunk Facility Owner:

You have previously submitted an EPA Notification of Underground Storage Tank form(s): required by Section 7002 of the Resource Conservation and Recovery Act of 1876 (RCRA). Your facility (indicated below) has been assigned the following Facility Identification Number: which must be included on all future correspondence regarding this facility.

Identification Number: 6-326-49

Pacility: CARES GAS CO LEGEL UR OFFENT NOTON: PA LEGGE

Enclosed is a Storage Tank Registration Application. Storage tank owners are required to submit this form and pay registration fees for all aboveground and underground storage tanks regulated by Pennsylvania's Storage Tank and Spill Prevention. Act. Please complete the enclosed application for all storage tanks at your facility and forward to the DER Regional Office serving the county where your facility is located. Enclose a check or money orderamade payable to the Dept. of Environmental Resources, for the proper registration fee. Please remember to include the Facility Identification Number on your application.

Thank you for your cooperation.

Enclosure

The second secon	The same state of the same sta		-1-5	(200.00		REG-UST	118410-035000	102
75/90	KARL'S GAS CO.	372299	24 78 CHECK	AMOUNT	TAX	ISSUED FOR	REVENUE ID	REF.
DATE	NAME	RECEIPT NUMBER	NUMBER	PAID	INCL.	1000-100		<u>L.,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,</u>
Dena S High 121	rtment of Environmental Resource estern Region and Building South Highland Avenue	:8s 🏂		DESCRIPTION	N FA	No. 372299 C. I, ), #'s C. Add's		
RECEIVE FROM	CARL'S GI 13540 R NORTH	T. 3C	_	7 42 <u></u>	sv: _	SEE ATTAL DEPARTMENT OF ENVIR Lean A.	CHMENTAL RESOURCE	ES

ER-AO-20 (1/84)

7/5/90 KARL'S GAS CO. 372299 2475 CHECK 118410-035000 102 REG. UST 1200,00 AMOUNT TAX REF DATE NUMBER PAID INCL ISSUED FOR REVENUE 10 FACILITY I.D. NUMBER FACILITY ADDRESS CARL'S GAS CO. (FORESTIFICE) 02-27006 allo Ardhore Blud. PITTSBURGH, PA. 15221 CARL'S GAS CO CHUNITALL) O2 - 27001 2707 HOMESTEAD-DUBLICKE READ MUNITALL, PAILEIDG CARL'S GAS CO. CartITE CAN) 07-52003 1513 LINCOLN (fightury WHITE OAK, PA: 15131 CARL'S GAS CO. CHENGELY ED. 63-37000 2463 MC NEILLY RD. PATSBURGA PA. 15226 CARLS GAS CO. CGREAT WALLEY) 500 LINCOLN HIGH WAY WERTH VERSAILLES PALICIS> CARLES GAS Co. W. HATHEDOW 65-26999 13539 RT. 36. WORD HUNTINGDON PA. 15642

PAGE \ OF \

Signature

DER Processing Clerk

Carl's Car Wash 13539 Route 30 North Huntington, PA. 15642 (724) 864-9066

45-26999

SOUTHWEST REGION

Prepared by Donald Blahovec, Environmental Engineer

South Pittsburgh Excavating, Inc. P.O. Box 455 Cecil, PA. 15321 (724) 746-2674 ph. (724) 746-2673 fx.

## **Table of Contents**

1.	Closing Notification, and Amended Registration
2.	Closing Report Form
3.	Analytical Results for Soil

PA One Call Responses

Photographs of Tank Site

Sample and Tank Location Map

4.

5.

6.

deres ,	Closing Notification, and Amended Registration

## COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION BUREAU OF LAND RECYCLING AND WASTE MANAGEMENT

DATE	RECEIVED:	

#### **ATTACHMENT 3**

## UNDERGROUND STORAGE TANK SYSTEM CLOSURE NOTIFICATION FORM

NOTE: Notification of permanent closure must be received by the appropriate regional office of the Department least 30 days prior to initiation of the closure activities.

<del></del>	A			······································				···
Ŀ	Owner of Ta	nk System				······································		
	Owner Name	Carl Singer						
	Street Address	13540 Route 30	~~~~~		Phone Num (724)		906	6
	City	North Huntington	]	State	PA.	Zip Co 156	de 342	
11.	Location of T		<u> </u>					······································
	Facility Name	Carl's Car Wash	<del> ,</del>	·, · · · · · · · · · · · · · · · · · ·	Facility Ident	tification (	Numb	er
	Street Address	13539 Route 30	City	orth	Huntingt	S	tate A	Zip Code 15642
	Municipality	North Huntington	Count		reland			
***************************************	Contact Person	Carl Singer	· · · · · · · · · · · · · · · · · · ·		Phone Numb		9066	·
111.	Month/Day/Y	ear of Proposed Closure 7 /2 /	99					
IV.	Certified Insta	aller/Company Performing Tank Handling A	ctivitie	s				
	Certified Installe	Name Donald Blahovec			Installer Cert 4564	fication N	lumbe	?r
	Street Address	189 Camp Run Road	<del></del>		Phone Numb		206	
·····	City	Harmony	St	PA.	<u> </u>	Zip Cod 1603	ę	
-	Certified Compan South PGH	y Name . . Environmental Group, Inc.	<u></u>		Company Cer 137		Numb	er
٧.	Contractor/Inc	dividual Performing Site Assessment Activit	ies					
	Name of Contract	or or Individual  Environmental Group, Inc.		<u> </u>				
	Street Address P.O. Box				Phone Number	746-26	574	
***************************************	City Ceci	1	St	ate PZ	1.	Zip Cod	321	
VI.	Description of	Underground Storage Tank Systems (See rev	erse side	af form)				
√II.	Will this closus	re involve replacement of at least one old ta	nk wit	h a nev	v tank?			
- •,-	Yes	-						
VIII.	- / / /	ank System Owner	Pu		Date 7-	-28-99	)	
V	/ aug c	10 1 11 11 11 11 1 1 1 1	100		•			

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b. Hazardous Substance		a	a	٥
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c. Change-In-Service		l u		i
	Fuel Oil No. 5 Fuel Oil No. 6 New Motor Oil Used Motor Oil Other, Please Specify b. Hazardous Substance Name of Principal CERCLA Substance AND Chemical Abstract Service (CAS) No. c. Unknown a. Removal b. Closure-in-Place c. Change-In-Service s or No)  Gallons) a. Petroleum Unleaded Gasoline Leaded Gasoline Aviation Gasoline Kerosene Jet Fuel Diesel Fuel Fuel Oil No. 1 Fuel Oil No. 2 Fuel Oil No. 5 Fuel Oil No. 5 Fuel Oil No. 5 Fuel Oil No. 6 New Motor Oil Used Motor Oil Used Motor Oil Other, Please Specify b. Hazardous Substance Name of Principal CERCLA Substance Name of Principal CERCLA Substance AND Chemical Abstract Service (CAS) No. c. Unknown a. Removal b. Closure-in-Place	Jet Fuel Diesel Fuel Fuel Oil No. 1 Fuel Oil No. 2 Fuel Oil No. 5 Fuel Oil No. 5 Fuel Oil No. 6 New Motor Oil Used Motor Oil Used Motor Oil Other, Please Specify b. Hazardous Substance Name of Principal CERCLA Substance AND Chemical Abstract Service (CAS) No. c. Unknown a. Removal b. Gosure-in-Place c. Change-in-Service  Sor No)  T  Gallons) a. Petroleum Unleaded Gasoline Leaded Gasoline Leaded Gasoline Aviation Gasoline Leaded Gasoline Aviation Gasoline Service Oil Diesel Fuel Fuel Oil No. 1 Fuel Oil No. 2 Fuel Oil No. 5 Fuel Oil No. 5 Fuel Oil No. 6 New Motor Oil Used Motor Oil Other, Please Specify b. Hazardous Substance Name of Principal CERCLA Substance AND Chemical Abstract Service (CAS) No. c. Unknown a. Removal b. Closure-in-Place	Jet Fuel	Jet Fuel

3930-FM-WC0014 Rev. 4/99

## COMMONWEALTH OF PENNSYLV ANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION BUREAU OF WATERSHED CONSERVATION

	P3 P 0 P 2 P 2 P 2 P 2 P 2 P 2 P 2 P 2 P 2		TUIO OF OTODAO		
t SUDDOCE OF CURLIT			TING OF STORAGE	TANKS	
1	TAL (Check All Those That Appl	<u> </u>			
INITIAL Initial Registration for Removal of Unregistered Tank(s)	AMENDED  Changed Previous Info Added Tank(s) Tank(s) Temporarily Out of t Removed / Closed Tank(s)	se D S	CHANGE OF OV old If Tanks (Will Remain at S ome Tanks (Will Remain a ome Tanks (Relocated to	Purchased iame Facility)	
Registration for Un- Registered Tank(s) Closed in Place	Exempted Tank(s) Changed from Regulated to Unregulated Substance or Us Relocated Tank(s)	ie S	acility) ome Tanks (Relocated to anks are to be Registered	a New Facility and the	STATE USE ONLY
	ICANT INFORMATION (Type or F	rint Legibly	ln ink)		· · · · · · · · · · · · · · · · · · ·
Storage Tank Client I.D. No. (S	State Use Only)	. D	EP Client ID No.		
rganization Name or registered Fictitious Name	Carl's Gas Comp	any	Emplo	oyer ID No. (EIN)	25-1249759
dividual Last Name	Singer	First Name		Mi Suffix	SSN
Malling Address Line 1	13540 Route 30	Carl Malling Add	dress Line 2	MR.	
* ddress Last Line - City	North Huntingto	State n PA	ZiP+4 15642	Country Allegheny	Phone No. 864-906
TYPE OF OWNER/BUSIN	IESS Local Govern		Corporate	Private	
(Check Only One)	County		Corporation/PA	Parti	nershlp/General
Vol. Fire Co/EMS Org. Federal Government	Municipality School District		Corporation/Non-P/	<u> </u>	nership/Limited
State Government	Authority		Assn /Organization	<b>—</b>	Proprietorship
	LJ Acadomy				lduai(s) JOrganization
"9. CHANGE OF OWNERS purchased/transferred,	HIP (The new owner is to comp )	lete all sect	lons of this form includ	ling this section if so	me or all tanks have been
Frevious Owner Name:			i	Date of Purchase/Trans	[er
Malling Address Line 1		Mailing Add	ress Line 2		
/ 'dress Last Line - City	* A**	State	ZIP+4	Country	Phone No.
Frevious Facility ID No.	Previous Tank	Nos.		······································	
in. FACILITY/SITE INFORMAT	TION (Type or Print Legibly in ink	<del>,</del>	· · · · · · · · · · · · · · · · · · ·		
Storage Tank. Facility ID No 65-26	Facility/Site Name	Car Was	h	DEF	Site ID #
S** Location Line 1	Route 30	Site Location	n Line 2		
Location Last Line - City	North Huntington	State PA	ZIP+4 15642	EPA IDA	
County Name Allegheny	Munkipahy North Huntingto	3 m	Check One		none No. 4) 864-9066
1, pe of Facility (Check Only C			City Boro	Twp □ (/2	4/ 004-3000
00 Unknown	05 Auto Dealership	·····	10 Federal, Military	FT 45.	r
01 Gas Station	06 Railroad		11 Commercial		Frucking/Transport
02 Petroleum Distributor	07 Local Governmen		12 Industrial		Farm
03 Air Taxi	08 State Governmer		13 Residential		Convenience Store
U 04 Aircraft Owner	09 Federal, Non-Mili	tary	14 Contractor	<u>[]</u> 99 (	Other.
_ <del></del>					
3. Fire Safety Permit No. (If ap				·	
_ <del></del>	ppiicable)  ∑ Send all mail to  ☐ Send all mail to			☐ Send all ma	II to facility/site location
B. Fire Safety Permit No. (If applicable) Contact (check only one) Contact Last Name: Since	Send all mail to ☐ Send all mail to	contact addr		☐ Send all ma	
B. Fire Safety Permit No. (If ap C. Contact (check only one) Contact Last Name: Sinc Musing Address Line 1	Send all mail to ☐ Send all mail to	contact addr	ess listed below		II to facility/site location

<u> </u>							ulated storage tank at this fac		
A	BOVE	GRO	UND TANKS L	ist all tanks. If amen	ding Information, identi	fy the Amenda	ed Tank(s) with an asterisk (*) t	o the left of the ta	ink number.
lank Lank	S T A T U S	T Y P E	Install Date (Mo-Day-Yr)	Change of Status Date (Mo-Day-Yr)	Capacity (Gallons)	Substance Code (Currently or Last Stored)	CERCLA Name (If Hazardous Substance) Substance Name (If Other Petroleum Substance	CAS No. (If Hazardous Substance)	Exempt Reference Code (See instruction
A	+	<u> </u>	<u> </u>		· · · · · · · · · · · · · · · · · · ·	<u> </u>			
. <u></u>	<del></del>	<u> </u>							
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<u>A</u>	<del> </del>	<u> </u>				ļ			
A	<del>-</del>								
A	<u> </u>	<u> </u>		<u>                                     </u>					
A	<del></del>	<u> </u>							
A	<del> </del>								
A	<del> </del>					<u> </u>		-	
A	<u> </u>					<u> </u>			
A						<u> </u>			
_ <u>A</u>	<b></b>					·			
_ <u>A</u>							•		
A					way				
it≉tus ′ <sub>) r</sub> e C			C - Currently M - Manufact		porarily Out of Use	E - Exen	npt R - Removed	P - Closed	In Place
J. UA	IDER(	GROL	IND TANKS Lis	st all tanks. If amen	ding information, ide	ntify the Ame	nded Tank(s) with an asteris	k (*) to the left o	f the tank
l…ik ≀ ber	S T A	T Y P E	Install Date (Mo-Day-Yr)	Change of Status Date (Mo-Day-Yr)	Capacity (Gallons)	Substance Code (Currently or Last Stored)	CERCLA Name (if Hazardous Substance) Substance Name (if Other Petroleum Substance or Petroleum-Based Mixture)	CAS No. (If Hazardous Substance)	Exempt Reference Code (See Instructions)
لاب	R	М	9/1/80	7-6-99	8,000	A			٧.
ر، 2	R	М	9/1/80	7-6-99	8,000	A			· · · · · · · · · · · · · · · · · · ·
N 3	R	М	9/1/80	7-6-99	8,000	A			
									······································
								<del></del>	7.
								······································	
								· · · · · · · · · · · · · · · · · · ·	<del> </del>
aus C	odes	 :	C - Currently i	n Use T - Tema	orarily Out of Use	E - Exemp	···	P - Closed i	n Diace
/ Co	des:		M - Manufactu	red F-Field	Constructed		The state of the s	O10360 I	15 4 146 br %

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	65-26999
FACIFITY IN NO	

	Carl's	Car	Wash	
Facility Name				

<ul> <li>INFORMATION FOR ABOVED (Write the Tank Number(s) and place</li> </ul>									(cont.)		
THE POST CONTROLLED AND Y	Tank Number	Tank Number	Tank Number	Tank Number	Tank Number	Tank Number	Tank Number	Tank Number	Tank Numbe	Tank Number	Tank Numbe
'LL PREVENTION (6) USTs ONLY YES						10		<del> </del>	<del> </del>	<del> </del>	ļ <u></u>
		<del> </del> -	ļ		<del> </del>	<del> </del>	<del> </del>				
₩											
E, FILL IN LESS THAN 25 GALLONS				1.7							
OVERFILL PREVENTION PRESENT (7)		<del></del>	· · · · · · · · · · · · · · · · · · ·	·	F	· · · · · · · · · · · · · · · · · · ·	1	· · · · · · · · · · · · · · · · · · ·			
n yes											
, NO .											
FILL IN LESS THAN 25 GALLONS		O									
ACOR RECOVERY PRESENT (11)										<u> </u>	.1
A, STAGE ! INSTALLED											
9' STAGE # INSTALLED											
STAGE ( AND II INSTALLED											
, NONE									0		
MERCENCY CONTAINMENT (16) ASTS ONLY							3			<u> </u>	<del> </del>
) YES											
r NO											
ONDARY CONTAINMENT (17) AST& ONLY											
YES											
, NO											
ABOVEGROUND AND UNDER (Write the Tank Number(s) and place a											
	Tank Number	Tank Number	Tank Number	Tank Number	Tank Number	Tank Number	Tank Number	Tank Number	Tank Number	Tank Number	Tank Number
	001	002	003								
**REMOVED .	. [X]	X									
CLOSED IN PLACE											
ONTAMINATION SUSPECTED OR OBSERVED AND FICATION OF CONTAMINATION FORM WAS JUMITTED									а		
OSURE DOCUMENT SUBMITTED TO THE OPRIATE DEP REGIONAL OFFICE	XI	23	(2)								
JURE DOCUMENT KEPT ON FILE BY OWNER	23	Ø	Ä								

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L.	а	r	Ŧ	•	S	Car	wa	$\supset 1$

Facility	Mama.	
1 acmty	1401116	

II. OWNER CERTIFICATION (Read and sign after completing all applicable)	able sections.)
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recrify under penalty of law that I have personally examined and am familiar with the information submitted in this and all attached documents, and that based in my inquiry of those individuals immediately responsible for obtaining the information. I believe that the submitted information is true, accurate, and complete. This registration is conditioned upon compliance with provisions of the Storage Tank and Spill Prevention Act of 1989, all applicable regulations, and with the requirements for obtaining and maintaining a permit required under this Act. I certify my responsibility for assuring the following permit equirements:

- Storage Tank systems are in compliance with applicable administrative, technical and operational requirements as specified in Subchapter E for underground tanks or Subchapter F or G for aboveground tanks.
- Tank handling and Inspection activities are performed by an Individual possessing DEP certification in the appropriate category as required in Subchapters A and B.
- Underground storage tanks meet the applicable financial responsibility requirements of Subchapter H (relating to financial responsibility requirements).

  A Spill Prevention Response (SPR) Plan must be submitted to the appropriate DEP regional office for facilities that have aboveground storage tanks where the total capacity of all aboveground tanks is greater than 21,000 gallons.

My signature represents to the Department that I own the storage tank(s) and am aware of the responsibilities and potential liabilities as an "owner" arising under the Storage Tank and Spill Prevention Act of 1989 and all applicable regulations. I am also advised that this registration is made subject to the penalties 18 PA. C.S. Section 4904 relating to unsworn faislication to authorities.

KARL'S GAS CO. INC.	Signature Manyin Par	7-28-99	
III. INSTALLER/REMOVER CERTIFICAT	TION This section must be completed by the ce	rtified tank handler(s) who is respon	asible for

the Installation or removal from service of the aboveground and underground storage tank systems listed in Sections V and VI. Do NOT enter the company certification number. Tank modification must be submitted on a "Tank Handling Activities Report" form. (Type or Print legibly)

As the certified tank handler responsible for the tank handling activities in the category or categories listed, I certify that all tank handling activities were conducted in compliance with the design, installation and operation standards of the Storage Tank and Spill Prevention Act of 1989 and all applicable regulations. I also certify, under penalty of law as provided in 18 PA C.S.A. 4904 (relating to unswom faisification to authorities), that the information provided therein is true, accurate and complete to the best of my knowledge and belief.

fank Frimber	Installer/Remover Name	Construction Standard	Individual Certification No.	Certification Category	Installer/Remover Signature	Date
*^01	Donald Blahovec	М	4564	umr	Dad Selma	7-28-99
*^02	Donald Blahovec	М	4564	umr	Du Bll	7-28-99
*^ <u>03</u>	Donald Blahovec	М	4564	umr	Dull Blen	7-28-99

INSPECTOR CERTIFICATION This section must be completed by the certified tank inspector(s) who is responsible for verifying the installation standards for all field constructed tanks and all aboveground tanks greater than 21,000 gallons listed in Section V. (Type or Print legibly)

As the certified tank inspector responsible for verifying tank handling activities and construction standards, I certify that the tank(s) listed below are onstructed to appropriate industry standards and, If applicable, to manufacturer's specifications; that the tank(s) have been tested as required by industry standards; and that the tank(s) meet or exceed applicable design and operating standards; and are in compliance with the requirements of the Storage ank and Spill Prevention Act of 1989, and all applicable regulations. I also certify under penalty of law as provided in 18 PA C.S. A. 4904 (relating to insworn falsification to authorities), that the information provided herein is true, accurate and complete to the best of my knowledge and belief.

in <u>mper</u>	Inspector Name	Construction Standard	Individual Certification No.	Certification Category	Inspector Signature	Date
	<del>700000                                </del>		······································		·	
					······································	
				<u> </u>		<u> </u>

SITE SPECIFIC PERMIT NUMBER (If a site specific permit was required for new tank installation, write the tank number(s) and permit number(s) in the appropriate box.)

	<del></del>			······································	<del></del>	<del>,</del>	<del></del>			
site Specific Permit No.	Tank Number	Tank Number	Tank Number	Tank Number	Tank Number	Tank Number	Tank Number	Tank Number	Tank Number	Tank Number
	1	·······						TOTAL STREET	LAUK LARIEDOL	CAUX INDITIOES
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#### DISPLAY THIS CERTIFICATE PROMINENTLY

### DEPARTMENT OF ENVIRONMENTAL RESOURCES BUREAU OF WATER QUALITY MANAGEMENT STORAGE TANK CERTIFICATE

000000162075

STORAGE TANK REGISTRATION

EXPIRES: OCT-04-99

TANK I.D	NO.	CAPACITY	PRODUCT
65-26999	001	8.000	GASOLINE
65-26999	002	8.000	GASOLINE
	003	8.000	GASOLINE
65-26999		****	****
		***	*****
		***	*****
		***	*****
*****		***	*****
*****	****	A CONTRACT OF THE PROPERTY OF	
J. 43	THE REPORT OF THE PARTY OF THE	50 ( ) ( ) ( ) ( ) ( ) ( ) ( ) ( ) ( ) (	

PROVIDE PHOTOCOPY OF CERTIFICATE TO DISTRIBUTOR TO VERIFY REGISTRATION. REGISTRATION.

CARLS GAS CO

SALABO BUNDO DE FLIGHT

CARLS GAS CO
13539 RT 30
13540 RT 30
NORTH HUNTINGDON PA 15642 NORTH HUNTINGDON PA 15642

THIS DOCUMENT IS PRINTED IN COLORED INK ON WHITE PAPER.

EIN NO.

2. Closing Report Form

#### **ATTACHMENT 4**

## COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION BUREAU OF LAND RECYCLING AND WASTE MANAGEMENT

## UNDERGROUND STORAGE TANK SYSTEM CLOSURE REPORT FORM

		65 - 26	999	
		Fac	ility I.D.	
		North Huntingto	n	Westmoreland
		Municipality		County .
		7-28-9	9	
	±1	Date	Prepared	
		Donald Blahove	ec	
		Name of Persor (Plea	Submit se Print)	
		South Pittsbur	gh Er	vironmental Group, Inc.
			an <b>y</b> Nam plicable)	
		President	of S	Storage Division
			Γitle	
Clos	sure Method (Check all that	apply):	Site	Assessment Results (Check all that apply):
ă	Removal		Ø	No Obvious Contamination - Sample Results Meet Standards/Levels
	Closure-In-Place			No Obvious Contamination - Sample Results Do Not Meet Standards/Levels
	Change-In-Service			Obvious, Localized Contamination - Sample Results Meet Standards/Levels
				Obvious, Localized Contamination - Sample Results Do Not Meet Standards/Levels
				Obvious, Extensive Contamination

COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF ENVIRONMENTAL PROTECTION
RUPEAU OF LAND RECYCLING AND WASTE MANAGEMENT

DATE RECEIVED:	·····
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## UNDERGROUND STORAGE TANK SYSTEM CLOSURE REPORT FORM

Owners who are permanently closing underground storage tanks may use this form to demonstrate that an underground storage tank closure was performed in accordance with the "Closure Requirements for Underground Storage Tank Systems" document. PLEASE PRINT OR TYPE. COMPLETE ALL QUESTIONS.

## SECTION I. Owner/Facility/Tank/Waste Management and Disposal Information

1. Facility ID Number 65-	-26999	2. Facility Na	me <u>Carl's</u>	car Wash					
3. Facility County Wes	stmoreland	4. Facility Mu	nicipality Nor	<u>th Hunting</u>	ton				
5 Facility Address 135	539 Route 30 North	Huntington	, PA. 156	42					
5. Facility Address 133	Onel Circor		**- T-1	lumber <u>(</u> 724) 8	64-9066				
<ol><li>Facility Contact Person</li></ol>	Carl Singer	/. Facil	ity relephone is	iumber (123) o	03000				
8. Owner Name	Carl Singer	·····							
<ol><li>Owner Mailing Address</li></ol>	9. Owner Mailing Address Carl's Gas Company 13540 Route 30 North Huntington, FA								
<ol><li>Description of Undergro</li></ol>	ound Storage Tanks (Comple			·					
DATE OF TANK CLOSU	RE (Month/Day/Year)	7-6-99	7-6-99	7-6-99					
Tank Registration Number	r 162075	001	002	003					
Estimated Total Capacity	(Gallons)	8,000	8,000	8,000					
Substance(s) Stored Throughout Operating Life of Tank (Check All That Apply)	a. Petroleum	<b>X</b> 00000000000	00000000000000	<b>X</b> 000000000000	000000000000				
NOTE: If Hazardous Substance Block is Checked, Attach Material Safety Data	b. Hazardous Substance	e O	0	<u> </u>					
Sheets (MSDS)	AND Chemical Abstract Service (CAS) No.								
	c. Unknown								
Closure Method (Check Only One)	a. Removal b. Closure-in-Place c. Change-in-Service			<b>X</b> I					
Dadial System Clasura (Y		No	No	No					

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<b>T</b> :			AV CEO20	KE (	Month/Day/Year)		<u> </u>		
	<u>ank Re</u>	gistra	tion Number		2	ļ			ļ
E:	stimate	d Tot	al Capacity	(Ga	ions)		 		<del></del>
T) Li	hrough ife of T	out O ank	Stored perating at Apply)	a.	Petroleum Unleaded Gasoline Leaded Gasoline Aviation Gasoline Kerosene Jet Fuel Diesel Fuel Fuel Oil No. 1 Fuel Oil No. 2 Fuel Oil No. 5 Fuel Oil No. 6 New Motor Oil Used Motor Oil Other, Please Specify	000000000000	000000000000	000000000000	00000000000
NOTE: If Hazardous b. Haza Substance Block is Checked, Attach Material Safety Data CER Sheets (MSDS)				b.	Hazardous Substance Name of Principal CERCLA Substance AND				
					Chemical Abstract Service (CAS) No.				***************************************
				c.	Unknown				
Closure Method a. Remov (Check Only One) b. Closur				~~~~	7				
				b.	Closure-in-Place	0			
(0	Check (	Only C		b. c.	Closure-in-Place Change-in-Service				
(C	Check (	only C	One)  Closure (Y  Briefly des  facility (bot  This fa	b. c. es o cribe	Closure-in-Place Change-in-Service	ind the nature o	f the operations	which were commers using	nducted at t
Yes	Check ( artial S	ysten 11.	Briefly des facility (bot This facar was	cribe the history	Closure-in-Place Change-in-Service r No)  the storage tank facility a storical and present) including the following the facility had a fueling the facility had sampling map of the services.	nd the nature oding use of tangservice	f the operations   ks:   for custo   s being us   ale, is attached.	which were commers using sed as a commers as a commercial as a	nducted at t g the ar wash.
Yes	Check ( artial S	11.	Briefly desfacility (bot This facar was A site locat pit water, to	b. c. es o  cribe th his aci sh.	Closure-in-Place Change-in-Service r No)  the storage tank facility a storical and present) including had a fueling Currently, the fand sampling map of the services showing condition).	ind the nature of ding use of tanking service acility in the drawn to scale process are at	f the operations iks: for custo s being us ale, is attached. tached (i.e., ins	which were contained as a Contained	nducted at t g the ar wash.
Yes Yes	Check ( artial S	11.	Briefly des facility (bot This facar was A site locat Original, copit water, to An amenda Conservation	b. c. es o	Closure-in-Place Change-in-Service r No)  the storage tank facility a storical and present) including the place of the storage tank facility and a fueling currently, the fand sampling map of the service showing condition).  Registration of Storage Tanks,	ind the nature of ding use of tang service acility in the process are at the process are	f the operations iks: for custo s being us ale, is attached. tached (i.e., ins	which were continued as a continued	nducted at tog the ar wash.
(0	Check ( artial S	11. 12. 13.	Briefly desfacility (bot This facar was A site locat Original, copit water, to An amenda Conservati Date: N	c. es o	Closure-in-Place Change-in-Service r No)  the storage tank facility a storical and present) including the place of the closure and sampling map of the service of the closure showing condition).  Registration of Storage Tanks, release was confirmed, the contract of the closure	ind the nature of ding use of tanks acility in the drawn to scale process are at the nks form was a P.O. Box 8762,	f the operations iks: for custo s being us ale, is attached tached (i.e., ins submitted to the	which were continuous using the dear as a Continuous as a Cont	nducted at tog the ar wash.  of 11.  on/piping rui

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Yes	N/A							
ZI.		16.	anks were cleaned on-site:					
			a. Briefly describe the disposition of usable product:					
			Usable product was consumed in the operating equipment.					
			<ul> <li>b. Briefly describe the disposal of unusable product, sludges, sediments, and wastewater generate during cleaning. Provide the name and permit number of the processing, treatment, storage of the processing.</li> </ul>					
			disposal facility. (Attach documentation of proper disposal):					
				There was no unusable products in the tanks. All the tanks				
			were in excellent condition and contained no sludges, or sediments.  c. If tank contents were determined/deemed to be hazardous waste, provide:					
			(1) Generator ID Number:					
			(2) Licensed Hazardous Waste Transporter Name and ID Number:					
_	EZI	17	If tanks were removed from the site for cleaning:					
	LA	17.	a. Provide the name and permit number of the processing, treatment, storage or disposal facilit performing the tank cleaning:					
			performing the tank cleaning.					
			b. If tank contents were d determined/deemed to be hazardous waste, provide:					
			(1) Generator ID Number:					
			(2) Licensed Hazardous Waste Transporter Name and ID Number:					
		18.	Briefly describe the disposition of tanks/piping (Attach documentation of proper disposal): The tanks and piping were disposed of as scrap at					
			Noland's Salvage located in Renfrew, PA. (724) 586-5812.					
	ĽΧ	19.	If contaminated soil is excavated:					
_	_	19.	a. Briefly describe the disposition and amount 0 (tons) of contaminated soil. Provide the name and permit number of the processing, treatment, storage or disposal facility. (Attack documentation of proper disposal):  Sand surrounding was clean and odor free, no product					
			evidence present.					
			b. If contaminated soil is determined/deemed to be hazardous waste, provide:					
			(1) Generator ID Number:					

N/A Yes 20. Briefly describe the disposition of and amount \_\_\_\_\_ (tons) of uncontaminated soil (attach D. analyses): \_\_ Sand was placed upon a nonpermable surface and used as a backfill material after analysis. hereby certify, under penalty of law as provided in 18 Pa. C.S. §4904 (relating to unsworn I, Carl Singer (Print Name) falsification to authorities) that I am the owner of the above referenced storage tank(s) and that the information provided by me in this closure report (Section I) is true, accurate and complete to the best of my knowledge and belief. 7-28-99 Date Signature of Tank Owner

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### UNDERGROUND STORAGE TANK SYSTEM CLOSURE REPORT FORM

### **SECTION II. Tank Handling Information**

Facility ID Number 65-26999

Yes	N/A		
		1.	Briefly describe the excavation and initial on-site staging of uncontaminated/contaminated soil: Uncontaminated soil was placed upon a nonpermable surface
			and used as a backfill material after analysis.
		2.	Briefly describe the method of piping system closure and the closure of the piping systems including the quantity and condition of the piping:
			Piping was scrapped with the tanks. The tanks and piping were is excellent condition with no evidence of corrosion.
		3.	Briefly describe the condition of the tanks and any problems encountered during tank removal:
			The tanks were in excellent condition, and there was no problem
			encountered with the removal.
		4.	Briefly describe the method used to purge the tanks of and monitor for explosive vapors:
			Tanks were purged with dry-ice, before, during, and after
			removal, with the atmosphere monitored with a MSA Passport LEL/02 meter.
K		5.	If tanks were cleaned on-site:
			a. Briefly describe the tank cleaning process:
			Tanks were pumped dry and purged, and opened where there wer
			no sludges or sediments in the tanks.
			b. If subcontracted, name and address of company that performed the tank cleaning:
	120	6.	If tanks were closed-in-place, briefly describe the tank fill material:
		<b>.</b>	
		7.	If contamination was suspected or observed, the "Notification of Contamination" form was submitted.

### SECTION II. (continued)

(Grint Marrie)	of law as provided in 18 Pa. C.S. §4904 (relating to unsworn
(Print Name) falsification to authorities) that I am the certified installer wi closure of the above referenced storage tank(s) and that the is true, accurate and complete to the best of my knowledge	no performed the tank handling activities associated with the information provided by me in this closure report (Section I and belief.
Signature of Certified Installer	7-28-99 Date
4564 Installer Certification Number	1370 Company Certification Number
	South PGH. Environmental Group
	P.O. Box 455
	Street
	Cecil, PA. 15321  City/Town, State, Zip
	(724) 746-2674

Phone

### UNDERGROUND STORAGE TANK CLOSURE REPORT FORM

Tank Registration # Old (complete one sheet for EACH tank system and attach AL laboratory sheets pertaining to that system)

		, seeming to that system)
		Facility ID Number 65-26999
A.	Pr en	rovide depth of BEDROCK and WATER IF encountered during excavation or soil boring (write "N/A: if
B.	Be Pro	edrock NA feet below land surface Water NA feet below land surface ovide Length of PIPING IF piping was closed-in-place (write "N/A" if NOT closed-in-place).
c.	<b>TAI</b> 1).	NK SYSTEM REMOVED FROM THE GROUND  Was obvious contamination observed while excavating?  □ NO
	TANK Was o	Was contamination localized (within three feet of the tank system in every direction with no obvious was contamination)?  □ YES
	n	Continue with corrective action

### UNDERGROUND STORAGE TANK CLOSURE REPORT FORM

SECTION III. Site Assessment Information

Tank Registration # 002 (complete one sheet for EACH tank system and attach ALL laboratory sheets pertaining to that system)

		Facility ID Number 65-26999
A.	enco	vide depth of BEDROCK and WATER <u>IF</u> encountered during excavation or soil boring (write "N/A: if NO buntered).
	Bedi	rock NA feet below land surface Water NA feet below land surface
В.		vide Length of PIPING IF piping was closed-in-place (write "N/A" if NOT closed-in-place). gth of piping $NA$ feet
C.	TAN 1).	Was obvious contamination observed while excavating?  NO
		→ Complete item C.2. below.
	2).	Was contamination <u>localized</u> (within three feet of the tank system in every direction with no obvious water contamination)?
		<ul> <li>YES→ Remove or remediate contaminated soil→ Conduct confirmatory sampling→</li> <li>See end of this section for options on submission and maintenance of closure records→ Ca Indemnification Fund (717-787-0763).</li> <li>NO→ Continue interim remedial actions→ See end of this section for options of the continue interim remedial actions→ See end of this section for options on the continue interim remedial actions→ See end of this section for options on the continue interim remedial actions→ See end of this section for options on the continue interim remedial actions</li></ul>
		submission and maintenance of closure records→ Call Indemnification Fund (717-767-0703).
D.	TAN	IK SYSTEM CLOSED-IN-PLACE OR CHANGED-IN-SERVICE
	Was <b>X</b> ⊡	s <u>obvious contamination</u> observed during sampling, boring or assessing water depths?  NO→ Conduct confirmatory sampling→ See end of this section for options on submission and maintenance of closure records.
		YES
		Continue with corrective action

### UNDERGROUND STORAGE TANK CLOSURE REPORT FORM

SECTION III. Site Assessment Information

Tank Registration #003 (complete one sheet for EACH tank system and attach ALL laboratory sheets pertaining to that system)

		Facility ID Number 65-26999
A.		vide depth of BEDROCK and WATER <u>IF</u> encountered during excavation or soil boring (write "N/A: if NO buntered).
	Bedi	ock NA feet below land surface Water NA feet below land surface
В.		ride Length of $PIPING$ <u>IF</u> piping was closed-in-place (write "N/A" if NOT closed-in-place). If the property of the piping NA is the property of the propert
C.	TAN 1).	<ul> <li>K SYSTEM REMOVED FROM THE GROUND</li> <li>Was obvious contamination observed while excavating?</li> <li>NO</li></ul>
	2).	Was contamination <u>localized</u> (within three feet of the tank system in every direction with no obvious wate contamination)?  ☐ YES
		□ NO
D.		K SYSTEM CLOSED-IN-PLACE OR CHANGED-IN-SERVICE  obvious contamination observed during sampling, boring or assessing water depths?  NO
		Continue with corrective action

### 2530-FM-LRWM0159 Rev. 11/97

E. If the answer to C.1. is "no", the answer to C.2. if "yes" or the answer to D. is "no", confirmatory samples are required. Use the sample/analysis information sheet on page 10 of 11 to provide the information on confirmator sampling and complete the diagram on Page 11 of 11.

### Options for Submission and Maintenance of Closure Site Assessment Records

Records of the site assessment must be maintained for <u>at least three years</u> after completion of permanent closure of change-in-service in one of the following ways:

- (a) By the owners and operators who took the UST system out of service;
- (b) By the current owners and operators of the UST system site; or
- (c) By mailing these records to the implementing agency if they cannot be maintained at the closed facility.

At least one option must be chosen. If option (c) is chosen, the closure report form should be sent to the DEP regional office responsible for the county in which the tank is located.

Where the results of the site assessment indicate that obvious, localized soil contamination was encountered and the analytical results of the confirmatory sampling show levels below the statewide standard/action levels, this closure report form (Sections I, II, and III) or some other acceptable site characterization report must be received by the Department within 180 days of verbally reporting the release.

Where the results of the site assessment indicate that no obvious contamination or obvious, localized contamination was encountered, but the analytical results of the confirmatory sampling show levels above the statewide standard/action levels, or where there is obvious, extensive contamination, Section 245.310(a)(8) of the CAP regulation requires that details of removal from service be included in the site characterization report. A copy of the completed closure report form should be submitted as part of the site characterization report to satisfy the requirements of Section 245.310(a)(8) of the CAP regulations.

I. Donald\_blahovec , hereby certify, under penalty of law as provided in 18 Pa. C.S. §4904 (relating to unsworn

falsification to authorities) that I am the person who performed the site assessment activities associated with the closure of the above referenced storage tank(s) and that the information provided by me in this closure report (Section III) is true.

accurate and complete to the best of my knowledge and belief.	
Du Blha	7-28-99
Signature of Person Performing Site Assessment	Date
President od Storage Division Title of Person Performing Site Assessment	South PGH. Env. group, Inc. Name of Company Performing Site Assessment

3. Analytical Results for Soil

# K CHEM LAB, INC.

1333 Main Street • Latrobe, PA 15650 (724) 537-6621 • (800) 294-7733 • (724) 537-3942 FAX

CHAIN OF CUSTODY DATE

125/6

Kta seh	Relinqu	COMMENTS:	125/6 ] "	125/6 1 "	/2516 н "	12516 G "	12516 F "	/25/6 E "	12516 D "	12516 C "	125/6 B "	12516 A 7:294	KCL# DATE	PHONE / FAX 7	ATTN			ADDRESS	CLIBNT	
A Andrews Control of the Control of	Relinquished by	10	134/5	13 40	1335	1376	1305	1390	1315	1310	1305	1300	TIME	724-742-2674	Dow Blattowas		NORTH	RT. 30	CARL'S	S
72		7-2-94-1610	PL-1 - Pun	T3 - 184578WD	J-3 - cx-TER	7-3 - w 837 6wp	7-2 KAST 640	,	7-2 - W18	T-1 - Ins	7-1 - CEUTER	7-1- WES	Sam	2674	outc So	· · · · · · · · · · · · · · · · · · ·	HONTINGTON		CKRWASH	CLIENT INFORMATION
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# K Chem Lab, Inc.

1333 Main Street • Latrobe, PA 15650 724-537-6621 • 724-537-3942 fax

Mr. Don Blahovec
South Pittsburgh Excavating
PO Box 455
Cecil, PA 15321

Project Information Carl's Car Wash PO # Not Recorded

Page 1 of 4 Date: July 21, 1999

								12516C										12516B										12516A	Sample ID	
								7/2/99										7/2/99										7/2/99	Date	<b>j</b>
								13:10										13:05										13:00	Time	j
							(Received at 0.6°C)	T-1 East End									(Received at 0.6°C)	T-1 Center									(Received at 0.6°C)	T-1 West End	Sample Description	Secretary delivery de
<5 μg/kg* 13.2 %	<2 μg/kg*	<5 µg/kg*	<2 μg/kg*	<2 µg/kg*	<4 μg/kg*	<2 μg/kg*	<2 μg/kg*	<2 μg/kg*	13.4 %	<5 μg/kg*	<2 μg/kg*	<5 μg/kg*	<2 μg/kg*	<2 μg/kg*	<4 μg/kg*	<2 μg/kg*	<2 μg/kg*	<2 μg/kg*	15.9 %	<5 μg/kg*	<2 µg/kg*	<5 µg/kg*	<2 μg/kg*	<2 μg/kg*	<4 μg/kg*	<2 μg/kg*	<2 μg/kg*	<2 μg/kg*	Result	
naphthalene Moisture	MTBE	isopropylbenzene	o-xylene	m-, p-xylene	xylenes, total	ethylbenzene	toluene	benzene	Moisture	naphthalene	MTBE	isopropylbenzene	o-xylene	m-, p-xylene	xylenes, total	ethylbenzene	toluene	benzene	Moisture	naphthalene	MTBE	isopropylbenzene	o-xylene	m-, p-xylene	xylenes, total	ethylbenzene	toluene	benzene	Parameter	7
5 0.1	2	5	2	2	4	2	2	2	0.1	5	2	S	2	2	4	2	2	2	0.1	5	2	5	2	2	4	2	2	2	D.L.	7
SW-846 8260B ASTM D4959	SW-846 8260B	SW-846 8260B	SW-846 8260B	SW-846 8260B	SW-846 8260B	SW-846 8260B	SW-846 8260B	SW-846 8260B	ASTM D4959	SW-846 8260B	SW-846 8260B	SW-846 8260B	SW-846 8260B	SW-846 8260B	SW-846 8260B	SW-846 8260B	SW-846 8260B	SW-846 8260B	ASTM D4959	SW-846 8260B	SW-846 8260B	SW-846 8260B	SW-846 8260B	SW-846 8260B	SW-846 8260B	SW-846 8260B	SW-846 8260B	SW-846 8260B	Methodology	1 6-41 - 3-1
7/13/99 7/20/99	7/13/99	7/13/99	7/13/99	7/13/99	7/13/99	7/13/99	7/13/99	7/13/99	7/20/99	7/13/99	7/13/99	7/13/99	7/13/99	7/13/99	7/13/99	7/13/99	7/13/99	7/13/99	7/20/99	7/13/99	7/13/99	7/13/99	7/13/99	7/13/99	7/13/99	7/13/99	7/13/99	7/13/99	Date Analyzed	Jata A

# K Chem Lab, Inc.

1333 Main Street • Latrobe, PA 15650 724-537-6621 • 724-537-3942 fax

Mr. Don Blahovec
South Pittsburgh Excavating
PO Box 455
Cecil, PA 15321

Project Information
Carl's Car Wash
PO# Not Recorded

Page 2 of 4

Date: July 21, 1999

12516F	12516E	Sample ID 12516D	
7/2/99	7/2/99	Date 7/2/99	
13:25	13:20	Time 13:15	
T-2 East End (Received at 0.6°C)	T-2 Center (Received at 0.6°C)	Sample Description T-2 West End (Received at 0.6°C)	
Δ μg/kg * 13.2 %	<pre>&lt;2 μg/kg* &lt;2 μg/kg* 15.1 μg/kg* &lt;4 μg/kg* &lt;4 μg/kg* &lt;2 μg/kg* &lt;2 μg/kg* &lt;5 μg/kg* &lt;5 μg/kg* &lt;5 μg/kg* &lt;4 μg/kg*</pre>	Result  2 μg/kg*  2 μg/kg*  4 μg/kg*  4 μg/kg*  4 μg/kg*  5 μg/kg*  5 μg/kg*  5 μg/kg*  5 μg/kg*  3.9 %	
benzene toluene ethylbenzene exylenes, total m-, p-xylene o-xylene isopropylbenzene MTBE naphthalene Moisture	benzene toluene ethylbenzene exylenes, total m-, p-xylene o-xylene isopropylbenzene MTBE naphthalene Moisture	benzene toluene ethylbenzene xylenes, total m-, p-xylene o-xylene isopropylbenzene MTBE naphthalene Moisture	
2 2 4 4 2 2 2 5 5 5 0.1	0.0000000000000000000000000000000000000	2 2 2 2 4 4 4 5 5 5 0.1	j 1
SW-846 8260B ASTM D4959	SW-846 8260B ASTM D4959	SW-846 8260B SW-846 8260B SW-846 8260B SW-846 8260B SW-846 8260B SW-846 8260B SW-846 8260B SW-846 8260B SW-846 8260B SW-846 8260B	N fath adalogy
7/1 3/99 7/1 3/99 7/1 3/99 7/1 3/99 7/1 3/99 7/1 3/99 7/1 3/99 7/1 3/99 7/1 3/99 7/1 3/99	7/13/99 7/13/99 7/13/99 7/13/99 7/13/99 7/13/99 7/13/99 7/13/99 7/13/99 7/13/99	7/13/99 7/13/99 7/13/99 7/13/99 7/13/99 7/13/99 7/13/99 7/13/99 7/13/99 7/13/99	Date Analyzed

# K Chem Lab, Inc.

1333 Main Street • Latrobe, PA 15650 724-537-6621 • 724-537-3942 fax

Mr. Dor South P PO Box Cecil, P

Project Information

Result Parameter D.L.	PA 15321 Page 3 of 4	Pittsburgh Excavating PO # Not Recorde ox 455	on Blahovec Carl's Car Wash
D.L.	Page 3 of 4	PO # Not Recorded	Carl's Car Wash
Methodology L	Date: July 21, 1999		
Date Analyzed	1999		

12516I	12516H	12516G	Sample ID
7/2/99	7/2/99	7/2/99	Date
13:40	13:35	13:30	Time
T-3 East End (Received at 0.6°C)	T-3 Center (Received at 0.6°C)	T-3 West End (Received at 0.6°C)	Sample Description
			iption
<2 μg/kg* 23.7 μg/kg* 6.6 μg/kg* 30.1 μg/kg* 17.3 μg/kg* 12.8 μg/kg* <5 μg/kg* <2 μg/kg* 53.3 μg/kg* 53.3 μg/kg*	<2 μg/kg* 54.2 μg/kg* 13.0 μg/kg* 59.1 μg/kg* 34.8 μg/kg* 24.3 μg/kg* <5 μg/kg* <7 μg/kg* 107 μg/kg* 4.0 %	<pre>&lt;2 μg/kg* 36.1 μg/kg* 10.5 μg/kg* 30.7 μg/kg* 18.1 μg/kg* 12.6 μg/kg* &lt;5 μg/kg* &lt;2 μg/kg* 65.0 μg/kg* 4.0 %</pre>	Result
benzene toluene ethylbenzene exylenes, total m-, p-xylene o-xylene isopropylbenzene MTBE naphthalene Moisture	benzene toluene ethylbenzene xylenes, total m-, p-xylene o-xylene isopropylbenzene MTBE naphthalene Moisture	benzene toluene ethylbenzene xylenes, total m-, p-xylene o-xylene isopropylbenzene MTBE naphthalene Moisture	Parameter
2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	0 5 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	22 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	D.L.
SW-846 8260B SW-846 8260B SW-846 8260B SW-846 8260B SW-846 8260B SW-846 8260B SW-846 8260B SW-846 8260B SW-846 8260B SW-846 8260B	SW-846 8260B SW-846 8260B SW-846 8260B SW-846 8260B SW-846 8260B SW-846 8260B SW-846 8260B SW-846 8260B SW-846 8260B SW-846 8260B	SW-846 8260B SW-846 8260B SW-846 8260B SW-846 8260B SW-846 8260B SW-846 8260B SW-846 8260B SW-846 8260B SW-846 8260B	Methodology
7/13/99 7/13/99 7/13/99 7/13/99 7/13/99 7/13/99 7/13/99 7/13/99 7/13/99	7/13/99 7/13/99 7/13/99 7/13/99 7/13/99 7/13/99 7/13/99 7/13/99 7/13/99 7/13/99 7/13/99	7/13/99 7/13/99 7/13/99 7/13/99 7/13/99 7/13/99 7/13/99 7/13/99 7/13/99 7/13/99 7/13/99	Date Analyzed

724-537-6621 • 724-537-3942 fax	1333 Main Street • Latrobe, PA 15650	K Chem Lab, Inc.		
Cecil, PA 15321	South Pittsburgh Excavating	Mr. Don Blahovec		
Page 4 of 4	PO # Not Recorded	Carl's Car Wash	Project Information	

Date: July 21, 1999

									191501	Sample ID	
								1	7/2/99	Date	
								•	13.45	Time	
								(Received at 0.6°C)	PL-1 Punn Line	Sample Description	
3.8%	<5 112/kg*	⟨2 µg/kg*	<5 Hg/kg*	<2 ug/kg*	<2 µg/kg*	<4 µg/kg*	<2 µg/kg*	25.8 µg/kg*	<2 µg/kg*	Result	
Moisture	naphthalene	MTBE	isopropylbenzene	o-xylene	m-, p-xylene	xylenes, total	ethylbenzene	toluene	benzene	Parameter	
0.1	Ų,	2	(J)	2	2	4	2	2	2	D.L.	
ASTM D4959	SW-846 8260B	SW-846 8260B	SW-846 8260B	SW-846 8260B	SW-846 8260B	SW-846 8260B	SW-846 8260B	SW-846 8260B	SW-846 8260B	Methodology	
7/20/99	7/13/99	7/13/99	7/13/99	7/13/99	7/13/99	7/13/99	7/13/99	7/13/99	7/13/99	Date Analyzed	

\* Values are corrected for moisture and reported on a dry basis.

Work inspected by:

Charles T. Ford, Laboratory Manager

# K CHEM LAB, INC.

1333 Main Street • Latrobe, PA 15650 (724) 537-6621 • (800) 294-7733 • (724) 537-3942 FAX

CHAIN OF CUSTODY

4/52/ KCL#

DATE

JUL 07 100

De Me	Квымолізнво ву	COMMENTS: SAMPLAS / IN FREEZE	***************************************		<b>—</b>	· 6	*#3	Ħ	ם	С	125/7 B " 1355	125/7 A 9-2-99 1350	KCL# DATB TIMB	PHONE / FAX 734-742-2674	ATTIN DOW BLOWING		men Til	ADDRESS AT.30	CLIENT CARC'S	
	X	IN FREEZEN 72-92-160									0-2-	D1 -	<b>AB</b>	12674	Lathouse		+ Hontington	**************************************	'S CARWISH	CLIENT INFORMATION
79-99	Data	Wo	annesivietandesinesimentesinesimentesinesimentesinesimentesinesimentesinesimentesinesimentesinesimentesinesime	**************************************		•					Chusen #2+	015/6ws6x #14	SAMPLE IDENTIFICATION	724-746-2673	SO. 964 DIC		2	25 h	South	AATION
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Schallocker	REC	0,1									>	<b>X</b>	<u> </u>	4 E a	080	•	C L 05	some	E Æ	
celi: h	RECEIVED BY	2090									X	×	1º 1.	5 1 50 p	EX Vof Olis	() () ()	91 be; a.(k	86 UE UE	2011	
4/7/7	DATE																			PARAMETERS
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# Chem Lab, Inc.

1333 Main Street • Latrobe, PA 15650 724-537-6621 • 724-537-3942 fax

Mr. Don Blahovec
South Pittsburgh Excavating
PO Box 455
Cecil, PA 15321

Project Information Carl's Car Wash PO # Not Recorded

Page 1 of 1

Date: July 21, 1999

12517B	12517A	Sample ID
7/2/99	7/2/99	Date
13:55	13:50	Time
D-2 Dispenser #2 (Received at 0.6°C)	D-1 Dispenser #1 (Received at 0.6°C)	Sample Description
<pre>&lt;2 μg/kg* &lt;2 μg/kg* &lt;2 μg/kg* &lt;4 μg/kg* &lt;4 μg/kg* &lt;5 μg/kg* &lt;5 μg/kg* &lt;5 μg/kg* &lt;5 μg/kg* &lt;7 μg/kg* &lt;7 μg/kg*</pre>	<2 μg/kg* 35.2 μg/kg* 13.2 μg/kg* 16.9 μg/kg* 16.9 μg/kg* <72 μg/kg* <75 μg/kg* <72 μg/kg* <72 μg/kg* <79 μg/kg*	Result
benzene toluene ethylbenzene xylenes, total m-, p-xylene o-xylene isopropylbenzene MTBE naphthalene Moisture	benzene toluene ethylbenzene xylenes, total m-, p-xylene o-xylene isopropylbenzene MIBE naphthalene Moisture	Parameter
0.1	22 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2 2	D.L.
SW-846 8260B	SW-846 8260B	Methodology
7/13/99 7/13/99 7/13/99 7/13/99 7/13/99 7/13/99 7/13/99 7/13/99 7/13/99 7/13/99	7/13/99 7/13/99 7/13/99 7/13/99 7/13/99 7/13/99 7/13/99 7/13/99 7/13/99 7/13/99	Date Analyzed

Work inspected by:

Charles 1. Laboratory Manager

<sup>\*</sup> Values are corrected for moisture and reported on a dry basis.

4. PA One Call Responses

### \* INVOLVED CONFIRMATION LETTER \* VERS PIPELINE OVEC URGH EXCAVATION TERMATION LETTER \*

FROM: THREE RIVERS PIPELINE

TO: DON BLAHOVEC

COMPANY: S PITTSBURGH EXCAVATION

ADDRESS: PO BOX 455

City, State, Zip: CECIL, PA 15321

SERIAL#: 1791837

COUNTY: WESTMORELAND TOWN: NORTH HUNTINGDON TWP

ADDRESS GIVEN: US 30 & SR 0048

IN THE IMMEDIATE AREA OF YOUR WORK LOCATION AS SET FORTH IN YOUR PA ONE CALL NOTIFICATION.

This fax response is in compliance with PA act 287 as amended. It is limited to the area described in your worksite description and, information we received via the work location request# above.

note: this response only applies to THREE RIVERS PIPELINE and not to others who may have been notified!

If for any reason, a site inspection leads you to believe this information is not correct, please contact us.

If you need to change the site because of other conflicts , please call the One Call Center in advance, as soon as possible with your "change in plan." In any event for future information please reference the above serial number.

THANKS FOR USING THE ONE CALL CENTER! - 1-800-242-1776

Sincerely, Pennsylvania One Call System Inc. on behalf of THREE RIVERS PIPELINE

412-464-7124 PHONE 412-464-7135 FAX

FOR YOU INFORMATION: If you were not specific on your Pa One Call notification or the work you are planning is detailed, please mark the proposed site boundries in white paint as required by section 5, clause (11) of PA act 38 of 1991. This reduces the amount of locating we must do and allows us to respond to more notification that much quicker.

One Call Center

Fage 1 of 1

### TRP

MUNICIPAL THREE RIVERS PIPELINE -----

Serial Number--1791837 Color - RED
Message Type--ROUTINE Lead Time--0024 Tape Channel #--160715024

County--WESTMORELAND Municipality--NORTH HUNTINGDON TWP State--PA

Work Site-- US 30 Corrected Address--US 0030 & SR 30 Nearest Intersection--SR 0048

Location Information--WORKING AT CARL'S CAR WASH APPX 1-1.25MI E OF THE AROVE INTER

Type of Work--REMOVE STORAGE TANKS/12FT/EXCAVATOR Extent of Excavation--18FT X 35FT

USGS Quad-- Lat/Long--40.340392 79.754400 Street-- Sidewalk-- Public Prop-- Fvt Prop--K Other-- Owner--CARL SINGER

Dig Date--02-JUL-99 Dig Time--08:00

Contractor--S PITTSBURGH EXCAVATION Contractor/Utility--Y Address----PO BOX 455 City-----CECIL State--PA Zip--15321

Caller-DON BLAHOVEC Phone--724-746-2674 Fax--1-724-746-2673 Person to Contact/-DON BLAHOVEC Phone--724-746-2674

Prepared--28-JUN-99 at 16:18 by KATHY ULOKOVIC Relayed on-- at

Remarks--

Dispatched--\*LOCATOR\* on 99/06/28 at 16:27 by EMR

Comments -- Site selected by operator

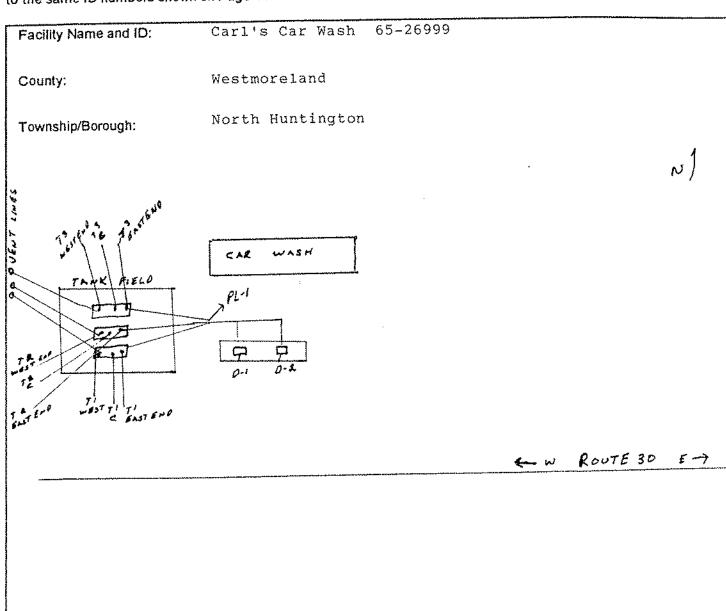
Sent to--ATM, CGR, DE, EBS, ED1, FA, GAG, HU1, IO, JR, KN, MI, NHT, TRP, WJ TK628162.443

### THREE RIVERS PIPELINE IS NOT INVOLVED IN YOUR PROJECT ANY QUESTIONS PLEASE CALL 724-327-5420

5. Sample and Tank Location Map

### 2530-FM-LRWM0159 Rev. 11/97

Site Location and Sampling Map - Use this page or suitable facsimile to provide a large scale map of the site where tanks were closed. Scales between 1" = 10 and 1" = 100 feet frequently work out well. Include the following information as each applies to the site: facility name and I.D., county, township or borough, property boundaries or area of interest, buildings, roads and streets with names or route numbers, utilities, location and ID number of storage tanks removed including piping and dispensers, soil stockpile locations, excavations or other locations of product recovery, north arrow, approximate map scale and legend. Also show depth and location of samples with sample ID numbers cross-referenced to the same ID numbers shown on Page 10 of 11.



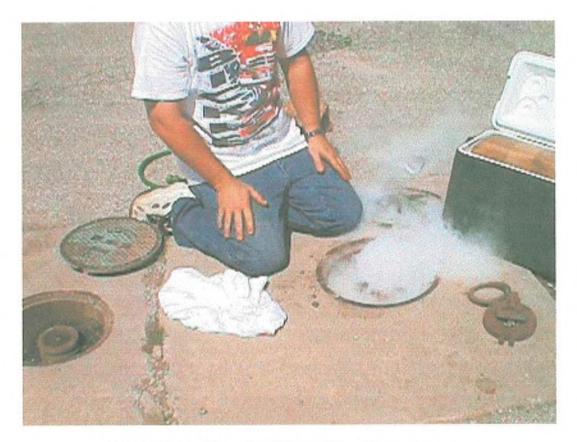
6. Photographs of Tank Site



Tank Location for Carl's Car Wash



Purging Tank #1 with Dry-Ice



Purging Tank #2 with Dry-Ice



Removing Remaining Product from Tanks



Purging Tank #3 with Dry-Ice



Excavating Tanks #1,#2, and #3



Preparing Tanks #1, and #2 for Removal



Tank #1, ready for Removal



Removing Tank #1



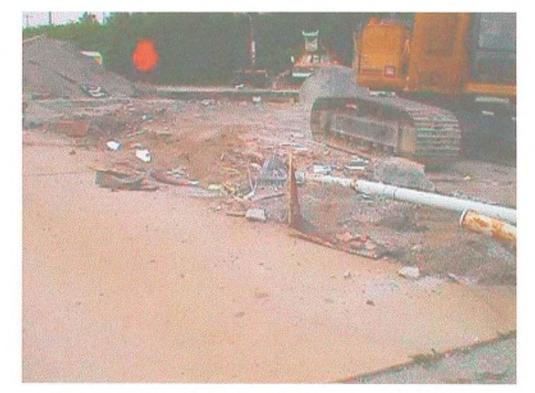
Removing Tank #2



Preparing to Remove Tank #3



Removing Tank #3



Removing Service Island and Piping



Sampling Dispenser Islands



Backfilling Tank Pit with Stone





### Southwest Regional Office

### **Technical Memo**

TO:

Abbey Owoc

Storage Tanks Chief

FROM:

Adam Ofstun, G.I.T.

DEP Project Manager

THRU:

Kenneth Tua, P.G.

DEP Project Manager/Responsible Charge

DATE:

February 11, 2020

RE:

ECB - Storage Tank Program

Site Characterization Report/Remedial Action Completion Report -

ARO

Approval

Chapter 245 Technical Memo Summary

Facility Name: Waste Management - North Huntingdon Hauling

Tank Facility ID No: 65-81945

Incident No: 53315

Facility Address: 310 Ledger Road Irwin Borough, Westmoreland County

### Property Owner Name and Address:

Waste Management of PA, Inc. 100 Rangos Lane Washington, PA 15301

Act 2 Standard(s) Sought: PADEP Statewide Health Standards (SHS) for a Used Aquifer (U) at a Non-Residential (NR) property for soil. Target analytes include Benzene, Toluene, Ethylbenzene, MTBE, Naphthalene, Cumene, 1,2,4-Trimethylbenzene, and 1,3,5-Trimethylbenzene.

**Property Size:** The property is approximately 6.4 acres in size.

**Project Site History:** The land use of the surrounding area has historically been a mix of agricultural, residential, commercial, and undeveloped forested land. Strip mining has occurred at multiple properties surrounding the site. There are two conventional gas wells located within 1,000 feet of the site (eMAP PA). According to the tank closure report, the site was previously a Westinghouse property and the site activities at that time were unknown.

The North Huntingdon Hauling facility is currently being utilized as a hauling and truck repair center. Two aluminum sided buildings with garage bays and offices are located on the property. Public utilities at the site include municipal water, sanitary sewers, storm sewers, telephone, electricity, and natural gas. Two 8,000 gallon diesel UST's were previously utilized at the site.

Site Findings: The site is relatively flat-lying with a slight slope to the east and ranges in elevation from 1,180 to 1,250 feet-msl. A thin layer of fill composed of pea gravel and slag lies directly beneath the concrete surface. The lithology beneath the fill layer consists of weathered shale, weathered claystone, and interbedded shale and limestone. A thin layer of coal was also present in some borings. Groundwater was not encountered at depths less than 60 feet during site characterization activities.

Letterle and Associates Inc. assessed groundwater usage within a 2,500-ft radius of the site using the Pennsylvania Groundwater Information System (PaGWIS). No private water wells were identified within 2,500 feet of the site. Additionally, a representative from PADEP's Bureau of Safe Drinking Water was contacted. It was confirmed that municipal water is supplied in the site vicinity. Notably, one potable water well was identified just beyond the 2,500 foot radius from the center of the property to the north.

### Site Cleanup History:

- April 17, 2019 UST closure activities occurred at the site and were completed by Petroleum Technical Services (PTS).
- April 18, 2019 15-day written NORR was submitted to PADEP.
- April 30, 2019 UST Closure Report prepared by PTS.
- September 16-19, 2019 Eight borings were advanced by Chatfield Drilling, Inc. Three of those borings were completed as monitoring wells.
- October 2019 Letterle attempted to develop and sample the three monitoring wells. It was determined that all three monitoring wells were dry and samples were unable to be collected.
- November 18 to December 10, 2019 PADEP correspondence with Letterle indicating that a relief of liability for soils could be requested and no further action was required for groundwater at that time.
- January 9, 2020 SCR/RACR received by the Department.

Discussion of Cleanup Involved and Demonstration of Attainment: PTS completed UST closure activities on April 17, 2019. Soil and tank cavity water samples were collected by PTS following removal of the USTs and dispensers. The release was confirmed when a sheen was observed on the tank cavity water. Because the UST cavity was composed of rock, soil samples were only collected from beneath the dispensers. Sample analytical results revealed a detection of 1,2,4-Trimethylbenzene (TMB) in both soil and tank cavity water. It was determined that the tank cavity water collected during closure was not groundwater because monitoring wells installed in the vicinity were dry. 1,2,4-TMB beneath the dispenser (23,100 micrograms per kilogram (μg/kg)) is below the SHS MSC for a Non-Residential, Used Aquifer. 1,2,4-TMB in the tank cavity water (62 μg/L) is equal to the SHS MSC for a Non-Residential, Used Aquifer. Site characterization activities were completed by Letterle which included the advancement of soil borings, soil sampling and analysis, installation and development of groundwater monitoring wells, and assessment of vapor intrusion. The three monitoring wells were constructed to depths of 60 feet with 20 feet screened intervals. Water was not encountered in any of the three monitoring wells during two sampling attempts in October 2019.

Analytical results for all soil samples collected during site characterization were below the SHS MSC for diesel fuel COCs. Groundwater could not be evaluated as water was not encountered in any of the monitoring wells installed during characterization. Because soil analytical data collected during both UST closure and site characterization did not exceed vapor intrusion screening values, vapor intrusion was determined to not be a concern for soil. Vapor intrusion was also determined to not be a concern for groundwater as monitoring wells installed during site characterization were dry. Furthermore, the sampled water encountered in the tank cavity during closure did not exceed vapor intrusion screening values. Potential exposure pathways to human receptors were evaluated and determined to not be a concern.

**DEP Final Action Approval/Disapproval Letter:** On 2/11/2020, I completed my review of this SCR/RACR. A relief of liability should be granted for soils at the site as the SHS MSC was attained. No further action should be required for groundwater as it was not encountered during site characterization activities.

The review due date for this SCR/RACR is 3/9/2020.

DEP Contact: Adam Ofstun

Site Contact: Jim Queen

Phone: 412-442-4163
Phone: 724-860-9107

Site Consultant: Eric Itle, P.G. (Letterle & Associates, Inc.) Phone: 412-486-0600 x 302



### Southwest Regional Office

March 4, 2020

Jim Queen Waste Management of PA, Inc. 100 Rangos Lane Washington, PA 15301

Re: Site Characterization Report/Remedial Action Completion Report Approval: Statewide

Health Standard

Storage Tank System Release: April 17, 2019

Tank Facility ID No: 65-81945

Incident No: 53315

Waste Management - North Huntingdon Hauling

310 Ledger Road

Irwin Borough, Westmoreland County

Dear Mr. Queen:

The Department of Environmental Protection (DEP) has reviewed the January 9, 2020 document titled Site Characterization Report/Remedial Action Completion Report for the site referenced above. The document was prepared by Letterle & Associates, Inc. and submitted as a Remedial Action Completion Report (RACR) as required by 25 Pa. Code 245.313.

The DEP approves the RACR in accordance with 25 Pa. Code § 245.313(c)(1) for the substances identified and remediated to a standard under the Land Recycling and Environmental Remediation Standards Act (Act 2) relating to this release. Chapter 5, Section 501 of Act 2, provides the liability protection where attainment of Act 2 cleanup standards is demonstrated. The cleanup liability protection provided by this chapter applies to the current and future owner or any other person who participated in the remediation; a person who develops or occupies the property; successor or assign of any person to whom liability protection applies; and a public utility to the extent the public utility performs activities on the identified property.

The Statewide Health standard for soil has been attained.

The DEP recognizes that activity and use limitations as outlined in the Uniform Environmental Covenants Act (Act 68 of 2007), Title 27, Pa.C.S. Chapter 65 (UECA) are not required to meet and /or attain the Statewide health standard.

The DEP has determined that a Post-Remediation Care Plan (PRCP) is not necessary to meet and/or attain the Statewide health standard.

All site groundwater monitoring wells should be properly abandoned in a manner consistent with the DEP's 2001 Groundwater Monitoring Guidance Manual. Please forward copies of the completed abandonment forms so that we may close our files for this facility.

Any person aggrieved by this action may appeal the action to the Environmental Hearing Board (Board), pursuant to Section 4 of the Environmental Hearing Board Act, 35 P.S. § 7514, and the Administrative Agency Law, 2 Pa.C.S. Chapter 5A. The Board's address is:

Environmental Hearing Board Rachel Carson State Office Building, Second Floor 400 Market Street P.O. Box 8457 Harrisburg, PA 17105-8457

TDD users may contact the Environmental Hearing Board through the Pennsylvania Relay Service, 800-654-5984.

Appeals must be filed with the Board within 30 days of receipt of notice of this action unless the appropriate statute provides a different time. This paragraph does not, in and of itself, create any right of appeal beyond that permitted by applicable statutes and decisional law.

A Notice of Appeal form and the Board's rules of practice and procedure may be obtained online at <a href="http://ehb.courtapps.com">http://ehb.courtapps.com</a> or by contacting the Secretary to the Board at 717-787-3483. The Notice of Appeal form and the Board's rules are also available in braille and on audiotape from the Secretary to the Board.

IMPORTANT LEGAL RIGHTS ARE AT STAKE. YOU SHOULD SHOW THIS DOCUMENT TO A LAWYER AT ONCE. IF YOU CANNOT AFFORD A LAWYER, YOU MAY QUALIFY FOR FREE PRO BONO REPRESENTATION. CALL THE SECRETARY TO THE BOARD AT 717-787-3483 FOR MORE INFORMATION. YOU DO NOT NEED A LAWYER TO FILE A NOTICE OF APPEAL WITH THE BOARD.

IF YOU WANT TO CHALLENGE THIS ACTION, YOUR APPEAL MUST BE FILED WITH AND RECEIVED BY THE BOARD WITHIN 30 DAYS OF RECEIPT OF NOTICE OF THIS ACTION.

Thank you for your actions in remediating this release. If you have questions, please contact Adam Ofstun at 412-442-4163 or aofstun@pa.gov.

Sincerely,

Sharon Switch for Diane D. McDaniel, P.E.

Program Manager

Environmental Cleanup & Brownfields

cc: Letterle & Associates, Inc. via email, eitle@letterleassociates.com

Patricia Condran, via email, Patricia.Condran@fms.icfwebservices.com USTIF No. 2019-088

Storage Tank File 65-81945 Adam Ofstun Abbey Owoc





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### Curran, Guy

Sent: From:

...

Attachments: Subject:

65-27141

Wednesday, February 13, 2019 9:03 AM Janeen Kushner <Janeen.Kushner@xpo.com>

Curran, Guy

Capture 3 close up of conduit connection at interstice port.PNG; Capture 2 Monitor mounted and connected on outside shed [External] FW: need your help

wall.PNG; Capture 1 Conduit to tank interstice port.PNG

ATTENTION: This email message is from an external sender. Do not open links or attachments from unknown sources. To report suspicious email, forward the message as an attachment to CWOPA\_SPAM@pa.gov.

Guy,

See email below from Jeff Sexton and he sent the attached pictures over to me as well.

### Customer Service Representative **XPOLogistics**

Janeen Kushner

Less-Than-Truckload

North Huntingdon, PA 15642 USA O: +1 724-864-6234 369 Leger Road

From: Jeff Sexten

Sent: Wednesday, February 13, 2019 8:58 AM

To: Janeen Kushner < Janeen. Kushner @xpo.com>

Subject: RE: need your help

The only thing we got from the install are pictures

Looks like the work was done by Jones and Frank

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### Curran, Guy

From: Sent:

5

S Subject:

Monday, January 28, 2019 12:25 PM Chelsea Seagle <Chelsea.Seagle@xpo.com>

Curran, Guy

Joe Arnold; Elliott, Evan; Jeff Sexten; Pamela Nixon

RE: [External] Storage Tank Violations

omes, sews @ xpo.com

Guy,

We have the documentation and are in the process of getting it to you.

From: Curran, Guy [mailto:gucurran@pa.gov]

Sent: Monday, January 28, 2019 11:54 AM

To: Chelsea Seagle <Chelsea.Seagle@xpo.com>

Cc: Joe Arnold <Joseph.Arnold@xpo.com>; Elliott, Evan <evelliott@pa.gov>

Subject: RE: [External] Storage Tank Violations

[Caution: External sender, beware of phishing]

I still do not have the necessary documentation for the installation of the interstitial monitoring device. If you cannot provide this documentation please provide me with the name and contact information of the company/individual who performed the certified tank handling activity.

Thanks,

From: Chelsea Seagle < Chelsea Seagle@xpo.com>

Sent: Thursday, December 20, 2018 9:00 AM

To: Curran, Guy <gucurran@pa.gov>

Subject: RE: [External] Storage Tank Violations

Thank you for the info! We'll reach out to you with any questions/updates.

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From: Curran, Guy [mailto:gucurran@pa.gov]
Sent: Thursday, December 20, 2018 8:54 AM
To: Chelsea Seagle < Chelsea. Seagle@xpo.com>
Subject: RE: [External] Storage Tank Violations

# [Caution: External sender, beware of phishing]

Chelsea

device. I spoke to Joe Arnold (XPO) yesterday and he informed me that the interstitial device has been installed. I do not have a copy of the modification report receive a copy of the modification report I can clear the remaining open violations for this site. You can reach me at 412-442-4089. I will be in a webinar today from the certified tank handler that performed the installation. Joe indicated that he would get a copy of the modification report and send it to me. As soon as I have scanned all the documentation I have regarding this facility. The only open violations are for leak detection due to the lack of an interstitial monitoring from 09:30 to at least noon today. I should be in the office after that.

Thanks, Guy

Guy W. Curran Water Quality Specialist Environmental Cleanup & Brownfield Development Storage Tank Section Southwest Regional Office 400 Waterfront Drive, Pittsburgh, PA 15222-4745 Phone: 412-442-4089 fax: 412-442-4194

From: Chelsea Seagle < Chelsea Seagle @xpo.com>

Sent: Wednesday, December 19, 2018 3:33 PM To: Curran, Guy <gucurran@pa.gov>

Subject: FW: [External] Storage Tank Violations

Hi Guy,

Road North Huntingdon, PA. Can you give me any information/reports on the violations highlighted below (#s 5,6, and 7), issued to XPO Logistics Freight, Inc. – XPB, located at 369 Leger

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A Water Management System Inspection query was run and indicated on a Routine/Partial Inspection was perfor

9/11/2018 There are currently eight open violations for this client that may need to be resolved before issuance of the final p

- 08/28/2018 Violation ID 828812 Failure to comply with underground storage tank system release dete requirements (23-39004)
- N 08/28/2018 - Violation ID 828813 - Failure to meet underground storage tank system operational require 39004)
- w 08/22/2018 - Violation ID 828747 - Failure to meet underground storage tank system operational require

61991)

- 4 10/17/2018 - Violation ID 831239 - Failure to meet underground storage tank system operational require 61991)
- Œ 03/08/2018 - Violation ID 815200 - Leak detection violations (65-27141)
- တ 05/21/2018 - Violation ID 817207 — Operation and maintenance violations (65-27141)
- N 10/25/2018 - Violation ID 831782 - Leak detection violations (65-27141)
- ά 01/30/2018 - Violation ID 813482 - NPDES-Failure to submit monitoring report(s) or properly complete n reports (PAR802234)

Thanks for your help.

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To: Chelsea Seagle < Chelsea. Seagle @xpo.com > Subject: RE: [External] Storage Tank Violations

# [Caution: External sender, beware of phishing]

Attached is the report from my inspection.

There has not been a follow up inspection for the franklin county site yet so that is all based off of the FOI that was done by the 3<sup>rd</sup> party.

And for the south west region violations that inspector was Guy Curran he works in the south west region. gucurran@pa.gov; (412) 442-4089

Kyle Wylezik | Water Quality Specialist
Department of Environmental Protection
Southcentral Regional Office Building
909 Elmerton Avenue | Harrisburg, PA 17110-8200
Phone: NEW 717.461-6087 | Fax: 717.705.4830
www.dep.pa.gov

\*Note the change in telephone number. Please update your address book accordingly.

Spills and Environmental Emergencies can be reported at 1-866-825-0208

From: Chelsea Seagle < Chelsea Seagle @xpo.com> Sent: Wednesday, December 19, 2018 12:59 PM To: Wylezik, Kyle < kwylezik@pa.gov>

Subject: RE: [External] Storage Tank Violations

H. Kyle

Thank you for the quick response

Is there any official documentation, regarding the violations you described below, that you could send over?

Lastly, any idea who I can contact about Violations 5, 6 and 7? Issued by the Southwest Regional Office; to XPO Logistics Freight, Inc. - XPB, located at 369 Leger Road North Huntingdon, PA.

Thanks for your help.

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From: Wylezik, Kyle [mailto:kwylezik@pa.gov]
Sent: Wednesday, December 19, 2018 8:27 AM
To: Chelsea Seagle < Chelsea Seagle@xpo.com>
Subject: RE: [External] Storage Tank Violations

# [Caution: External sender, beware of phishing]

Hello Cheisea

I just seen your phone call as well.

For facility ID 28-39004 Con-way freight XHG:

-documentation that the spill buckets, dispenser pans, and tank top sumps are clean. This can either be pictures or documents for the disposal of the water.

the containment. Or documentation that the facility is doing visual checks on the tank top sump for Tank 001 since the sensor was not on the report. -documentation that Tank 001 STP sump sensor is now one the Veeder root and documentation that all sensors are positioned within an inch of the bottom of -documentation of the monthly sump checks for the tank top sumps and the sensors for the last 12 months.

This site was not inspected yet. So it may still be inspected in the future.

- last I was told was the work was being coordinated but I have not received anything that says it was done yet. -I need to receive a modification report for the repair / replacement of the entry boots that were damaged. For facility 36-61991 XPO logistics Freight Inc XYH

If you have any other questions please contact me. Once I receive the above items I can update efacts.

Thanks and have a good day

Kyle Wylezik | Water Quality Specialist
Department of Environmental Protection
Southcentral Regional Office Building
909 Elmerton Avenue | Harrisburg, PA 17110-8200
Phone: NEW 717.461-6087 | Fax: 717.705.4830
www.dep.pa.gov

\*Note the change in telephone number. Please update your address book accordingly.

Spills and Environmental Emergencies can be reported at 1-866-825-0208

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From: Chelsea Seagle < Chelsea Seagle@xpo.com>

Sent: Tuesday, December 18, 2018 3:02 PM

Subject: [External] Storage Tank Violations To: Wylezik, Kyle <kwylezik@pa.gov>

ATTENTION: This email message is from an external sender. Do not open links or attachments from unknown sources. To report suspicious email, forward the message as an attachment to <u>CWOPA\_SPAM@pa.gov</u>.

I was given your contact information about two open storage tank violations at XPO Logistics Freight, Inc. – XHG, located at 445 Mason Dixon Road Greencastle, PA. Highlighted below are the two open violations at that facility (this letter was received from the Northeast Regional Office, in regards to renewing an NPDES permit). Can you please send me the documentation for these violations? We are working to correct these.

I spoke to Cynthia Stein, in your office, and she said to mention that she was able to pull up violation information for the facility, searching by the tank ID: 28-

39004 (not sure why the letter we received has it listed as 23-39004).

There are currently eight open violations for this client that may need to be resolved before issuance of the final permit.

1 09/28/2018 - Violation ID 828912 - Failure to comply with underground sturage tank system release detection 08/28/2018 Violation ID 8/28813 — Failure to meet underground storage lank system operational requirements (23

120000 (21-39004)

40 08/22/2018 - Violation ID 828747 — Failure to meet underground storage tank system operational requirements (36-

10/17/2018 - Violation ID 831239 - Failure to meet underground storage tank system operational requirements (36

03/08/2018 - Violation ID 816200 - Leak detection violations (65-27141)

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05/21/2018 - Violation ID 817207 - Operation and maintenance violations (05-27141)

10/25/2018 - Violation ID 831782 -- Leak detection violations (65-27141)

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Ç. 01/30/2018 - Violation ID 813482 - NPDES-Failure to submit monitoring report(s) or properly complete monitoring reports (PAR802234)

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Shellyland Road Manheim, PA. Can you give me any information on those, or let me know who to contact? Additionally, violations 3 and 4 are out of the South-Central Regional office as well. They belong to our facility, XPO Logistics Freight, Inc. – XYH, located at 164

Thank you,

Chelsea Seagle Less-Than-Truckload Environmental Compliance Analyst

XPOLogistics 2211 Old Earhart Road, Suite 100 Ann Arbor, MI 48105 USA O: +1 734-757-1234 M: +1 734-395-4701

[Do not open attachments or click links unless you can verify the sender. Never give anyone your XPO login password.]

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416-5

To: Subject:

> Jeff Sexten RE: Narrative of site visit

Thanks Jeff. Can you let me know as soon as the device is installed?

Guy

Guy W. Curran Water Quality Specialist Environmental Cleanup & Brownfield Development Storage Tank Section Southwest Regional Office 400 Waterfront Drive, Pittsburgh, PA 15222-4745 Phone: 412-442-4089 fax: 412-442-4194

12/12/18 Doe And

From: Jeff Sexten [mailto:Jeff.Sexten@xpo.com] Sent: Monday, August 13, 2018 12:27 PM

To: Curran, Guy <gucurran@pa.gov>

Subject: RE: Narrative of site visit

Guy,

I was out last week when you have tried to get ahold of me.

I just checked with the person who was coordinating this repair/install. As you know it was not installed and the vendor did not give us a reason either. A new

From: Curran, Guy [mailto:gucurran@pa.gov]
Sent: Wednesday, August 08, 2018 2:13 PM
To: Jeff Sexten < Jeff Sexten@xpo.com>
Subject: Narrative of site visit

vendor is being dispatched.

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## [Caution: External sender]

jeff,

Can you please call me about this narrative. In particular, why a monitoring device cannot be added to this tank.

Thanks, Guy

Guy W. Curran Water Quality Specialist Environmental Cleanup & Brownfield Development Storage Tank Section Southwest Regional Office 400 Waterfront Drive, Pittsburgh, PA 15222-4745 Phone: 412-442-4089 fax: 412-442-4194

[Do not open attachments or click links unless you can verify the sender. Never give anyone your XPO login password.]

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#### 2600-FM-BECB0013 Rev. 11/2017 Electronic Version



#### COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL PROTECTION BUREAU OF ENVIRONMENTAL CLEANUP AND BROWNFIELDS

#### NARRATIVE REPORT FORM

Inspection Date: 10-25-18 Inspection Time: 13:25	Inspection ID: 2795311 Site ID:  Municipality: N. Huntingdon Twp  County: Westmoreland  Responsible Official Address:  Interviewee Name: James  Affiliation: site manager  Email Address:
owner Name: Jeff Sexten (Environmental Compliance)  Inspection ID: 2795311  Site ID:  Municipality: N. Huntingdon Twp  County: Westmoreland  Responsible Official Name: Jeff Sexten  Responsible Official Telephone: 734-757-1657  Email Address: jeff.sexten@xpo.com  Narrative:  10-25-18 I visited this site to check on compliance with the violations discovered during the in-service inspection for the site with a new tent the contractor had been to the	Municipality: N. Huntingdon Twp  County: Westmoreland  Responsible Official Address:  Interviewee Name: James  Affiliation: site manager  Email Address:
Acility Location (911) Address:  Municipality: N. Huntingdon Twp  County: Westmoreland  Responsible Official Name: Jeff Sexten  itle: Environmental Compliance  Responsible Official Telephone: 734-757-1657  Email Address: jeff.sexten@xpo.com  Interviewee Name: James  Affiliation: site manager  Email Address:  Varrative:  10-25-18 I visited this site to check on compliance with the violations discovered during the in-service inspection for	Municipality: N. Huntingdon Twp  County: Westmoreland  Responsible Official Address:  Interviewee Name: James  Affiliation: site manager  Email Address:
County: Westmoreland  Responsible Official Name: Jeff Sexten  itle: Environmental Compliance  Responsible Official Telephone: 734-757-1657  Interviewee Name: James  Affiliation: site manager  Email Address:  Parrative:  10-25-18 I visited this site to check on compliance with the violations discovered during the in-service inspection for the site with a new contractor had been to the site with a new contractor had been to the site with a new contractor had been to the site with a new contractor had been to the site with a new contractor had been to the site with a new contractor had been to the site with a new contractor had been to the site with a new contractor had been to the site with a new contractor had been to the site with a new contractor had been to the site with a new contractor had been to the site with a new contractor had been to the site with a new contractor.	County: Westmoreland Responsible Official Address:  Interviewee Name: James Affiliation: site manager Email Address:
conth Huntingdon, PA 15642  esponsible Official Name: Jeff Sexten  itle: Environmental Compliance  esponsible Official Telephone: 734-757-1657  imail Address: jeff.sexten@xpo.com  Interviewee Name: James  Affiliation: site manager  Email Address:  Iarrative:  0-25-18 I visited this site to check on compliance with the violations discovered during the in-service inspection for the site with a new teacher of the site with a new teac	Responsible Official Address:  Interviewee Name: James Affiliation: site manager Email Address:
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Affiliation: site manager  Email Address:  Barrative: 0-25-18 I visited this site to check on compliance with the violations discovered during the in-service inspection for	Affiliation: site manager Email Address:
Narrative: 10-25-18 I visited this site to check on compliance with the violations discovered during the in-service inspection for	
10-25-18 I visited this site to check on compliance with the violations discovered during the in-service inspection for	
10-26-18 I spoke to Joe Arnold (XPO) who is in charge of this project. He informed me that they have found a sensor work. He is now trying to get a contractor to order and install it in the tank. He will inform me when the monitoring do Installed.	back from Jeff Sexten (Environmental Compliance officer). James e-mailed Jeff ectly.
installed.	ecuy.
nstalled.	ecuy.
nstalled.	ecuy.
nstalled.	ecuy.
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DEP Representative Name  DEP Representative Signature  Title  Date: 10-26-18  Telephone: 412-442-	s in charge of this project. He informed me that they have found a sensor that will be order and install it in the tank. He will inform me when the monitoring device is

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#### SOUTHWEST REGIONAL OFFICE

May 25, 2018

#### NOTICE OF VIOLATION

Jeff Sexten Conway Freight 2211 Old Earhart Rd. Suite 100 Ann Arbor, MI 48105-2963

Re:

Storage Tank Program
Aboveground Storage Tank Inspection
XPO Logistics Freight, Inc-XPB
Tank 001A
Facility I.D. No. 65-27141
North Huntingdon Township
Westmoreland County

Dear Mr. Sexten:

On March 8, 2018, certified inspector Joshua Peters conducted above ground storage tank inspections at the above-referenced facility. Inspection reports documenting the findings of those inspections were provided to you (or your representative) and the Department.

We have reviewed the report to determine compliance with the Storage Tank and Spill Prevention Act, Act of July 6, 1989, P.L. 169, as amended, 35 P.S. §§ 6021.101-6021.2104 ("Storage Tank Act") and the regulations promulgated thereunder at 25 Pa. Code Chapter 245.

According to information presented in the inspector's reports, the following violations exist:

- 1. Tank 001A requires repair of areas of exterior coating failure, which is a violation of Section 245.612 of the regulations, 25 Pa. Code § 245.612.
- 2. Facility has failed to maintain documentation of monthly maintenance operation inspections, which is a violation of Section 245.613(B) of the regulations, 25 Pa. Code § 245.613(B).
- 3. Tank 001A interstitial space is not monitored (monitoring device needs to be added), which is a violation of Section 245.613(A) of the regulations, 25 Pa. Code §245.613(A).
- 4. Tank 001A requires proper labeling on the exterior of the tank shell, which is a violation of Section 245.612 of the regulations. 25 Pa. Code §245.612.

The violations listed above constitutes unlawful conduct under Section 1310 of the Storage Tank Act, 35 P.S. § 6021.1310.

The Department requests that you submit, by June 30, 2018, the following documentation:

Tank 001A has been painted and labeled with Product ID, No Smoking and NFPA 704 labels.

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- Monthly maintenance inspection documentation for the months of May and June 2018.
- Documentation of installation of a interstitial monitoring device on Tank 001A.

This Notice of Violation is neither an order nor any other final action of the Department. It neither imposes nor waives any enforcement action available to the Department under any of its statutes. If the Department determines that an enforcement action is appropriate, you will be notified of the action.

If you have any questions pertaining to storage tank system compliance or this letter, please contact me at 412-442-4089.

Sincerely,

Guy W. Curran

Water Quality Specialist Storage Tanks Section

Environmental Cleanup & Brownfields

bcc:

Storage Tank File

Chron

G. W. Curran

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		-			

December 29, 2017

JEFF A SEXTEN CON WAY FREIGHT 2211 OLD EARHART RD STE 100 ANN ARBOR MI 48105-2963



Re: CON WAY CTL EXPRESS XPB, Facility No. 65-27141 North Huntingdon Twp, Westmoreland County

#### Dear JEFF A SEXTEN:

The Pennsylvania Department of Environmental Protection (PADEP) storage tank registration and permitting records indicate that the aboveground storage tank (AST) system(s) shown below at CON WAY CTL EXPRESS XPB is (are) due for an integrity inspection. Inspection deadlines and frequencies for regulated AST systems are established in Title 25 of the PA Code, Chapter 245, Sections 245.552, 245.553, and 245.616.

DEP Tank ID	Capacity	Next Insp Due Date	Inspection Type	
	10000	3/25/2018	In-Service	
001A	10000			

In order to protect public health and prevent pollution of the environment, in-service and out-ofservice integrity inspections confirm tank system and operator compliance with technical and operational requirements of 25 PA Code Chapter 245 and the Storage Tank and Spill Prevention Act. These inspections also offer you a great opportunity to increase your knowledge of your own unique tank system.

A PADEP-certified third-party inspector must conduct the inspection and is obligated to submit the completed inspection form, signed by the facility owner or owner's representative, to the PADEP within 60 days of the date of the inspection. If you have not already done so, we suggest that you contact several certified inspection companies, which have employees certified in aboveground inspection categories, to obtain bids for the inspection work.

Information regarding AST systems, including a current searchable listing of "Certified Tank Inspection Companies", can be found on the PADEP website; which can be located by typing www.dep.pa.gov into any internet browser or by typing "PADEP" into any internet search engine, and proceeding as follows. From the PADEP home page, begin by selecting "BUSINESSES" on the top of the home page. Next, locate and click on the links to "LAND", then "STORAGE TANKS." To search for a PADEP-certified inspection company, click on

"ABOVEGROUND STORAGE TANKS" in the right column of the Storage Tanks home page. Finally, click on the "Storage Tank Certified Companies Search" link that is located in the center of the webpage to open a searchable listing of PADEP-certified tank handling and inspection companies. You will be able to search for AST inspectors by PADEP Region and county, as well as by inspector certification category. You may select any company that is properly certified to perform AST inspections. Select PADEP-certified AST inspectors with the 'IAM' designation for inspection of manufactured (shop-built) storage tank systems or the 'IAF' designation for inspection of field constructed and manufactured storage tank systems.

Please have the required inspection of the AST(s) at your facility completed by the due date specified in this letter. Failure to meet inspection deadlines could result in enforcement and jeopardize future operation of the AST(s).

Please notify the Division of Storage Tanks central office in Harrisburg of your facility name, facility identification number (65-27141), the scheduled inspection date, and the DEP certified inspector's name by contacting Aaron Emick at 717.772.5810 or by e-mailing this information to aemick@pa.gov.

Thank you for your cooperation.

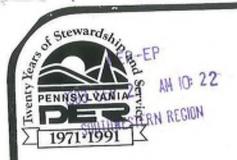
Sincerely,

Chad M. Clancy Solid Waste Program Specialist Division of Storage Tanks

cc: Patrick Lasitis, Southwest Regional Office

D-partment of ironmental Resources	NOTIFICATION	TEM REPORT FORM ON INFORMATION  Bureau of Water Quality Management
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.Telephone	)	Taste (Drinking Water Contamination)
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	PITTS BUR GA	Ground-Water Monitoring Indicates Release/Spill
City	CA	Ground-Water Montan
State -		Interstitial Monitoring Indicates ReleaserSpill
Zip Code -	15632	Automatic Line Leak Detector Indicates Release
Contact Name		Chemical Analysis Indicates Release/Spill
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#### COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL RESOURCES

SOUTHWEST REGION - FIELD OPERATIONS ENVIRONMENTAL CLEANUP PROGRAM 400 Waterfront Drive Pittsburgh, Pennsylvania 15222-4745 (412) 442-4000 (answers 24 hrs.)

June 29, 1993

Warehouse Development Company 5830 Ellsworth Avenue Suite 300 Pittsburgh, PA 15232

RE: Owner Name: Warehouse Development Co.

Facility Name: Warehouse Development Co.

Facility ID No.: 65-27141

Dear Storage Tank Owner:

This notice is proof of registration for the Storage Tanks listed and located at the facility identified above.

#### Underground Storage Tanks

001	004	007
002	005	
003	006	

No certificates or stickers will be issued for these tanks which have already been removed.

Attached is a copy of your registration form, and a receipt for the fees that you have paid for the registration of these tanks.

If you have any further questions, please contact me at (412) 442-4090.

Sincerely,

Leon W. McCray

Administrative Assistant

Environmental Cleanup Program

Storage Tank Section

LWM/pm

Enclosures

cc: Storage Tank File

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#### WAREHOUSE DEVELOPMENT COMPANY • 5830 ELLSWORTH AVE. • SUITE 300 • PITTSBURGH, PA 15232-1779 (412) 362-5205 • FAX 362-5224

June 16, 1993

Mr. Leon McCray Commonwealth of Pennsylvania Department of Environmental Regulations 400 Waterfront Drive Pittsburgh, PA 15222-4745

RE: Tank Facility #65-27141

Dear Mr. McCray:

Enclosed please find an additional copy of the Amended Registration indicating the filing files for the tanks referred to above. this is to supplement the previous submissions to the DER together with the check that was previously sent to you. For your information, copy of previous letter and previous submissions are also enclosed herewith for you reference. Please contact me if you require any additional information concerning this matter.

Sincerely,

Brian C. Schreiber

BCS/jap enclosures

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### "AMENDED"

REGISTRATION OF STORAGE TANKS  Date Respired:							
			ļ	}	Date Received:		
in accordance with Sections 103 m Etorage tanks are required to regi	nd 503 of the Storage Tenk and Sp	all Prevention Act, Owners of regu	ileted	STATEUSED	NLY		
					Amount Received:		
Please type or print in ink if there are more than 10 SECTION I. Owner Infor county and if SECTION III. Type of Owr SECTION III. Facility info- located. Inc SECTION V. Type of Faci SECTION V. Description abovegroun 1. Tank regist the fo 2. Statu mean 3. Oate unkn 4. Capa 5. Subst CERC 6. Tank Penn 7. Regis perm A.	ail Items except "Signatus underground or aboveground mation - Name, business rederal Identification Number - Mark the appropriate mation - Name and phy ude the Facility Identification - Name and phy ude the Facility Identification - Specify Identification - Name - This send tanks is to be recorded:  **Registration Number - Tigration numbers to be recorded in the send of the	INSTRUCTURE IN STRUCTURE IN SECTION VI. This for bound tanks, photocopy the mailing address and photoeper; if none, include your box. Sical location (not P.O. Bettion No. if known. Extra location for he registration numbers to be registration numbers to be registration numbers to be registration numbers. For the "Amended" Form the "Am	erm is to be come reverse side on the number of it is social Security ox of FACILITY ormation about underground to be recorded which are "001A" emporarily out al. Do not inclutank was compised up to a remotion the tank in Chance(s) current pase specify. It - Indicate will agency under the TANK as indicate will agency under the tank was indicated.	OWNER of Number.  Please in teach regulanks is to be for under.  of use, or ude tanks we betely linst ovediclosed SALLONS. It their jurisd cated below	each FACILITY which has rand staple continuations the storage tank(s) at the storage tank at the storage tank at the erecorded in Part B. ground tanks are "001", "003A", etc. The "A" has permanently out of use, which have been removed, alled. For instance, "019 It tank, include the removal funknown, write "unknowtored. If a hazardous su a tank has been approvinction for fire safety.  W. A registration fee is	neets to this form, facility. Please include facility. Please include hip in which FACILITY is facility. Information for "002", "003", etc. The already been printed or Permanently out of use 0", for January 1990. If liciosure date. wn". bstance, please indicate ed or permitted by the NOT required for tanks	
Check SECTION VI. Certification must also si SECTION VII. Nameplate Registration	c; and make check payable.  This section is to be co	Submit a check or mone to: PA DER, mpleted by the OWNER. e application was examinthis section for each absection V:  CHECK TO: PA DER, PO Box 8	ey order for the Please type or ed. oveground ter	e total reg print the n the greater age Tanks	ided (A). Record the total due for all aboveground istration fee due; write to ame and official title of them 5,000 gullon capacition. Central Office Phone Nos (Out of State Calls)	he Facility ID No. on the he OWNER. The OWNER ty. Use the same Tank	
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Consholiticken PA 19428 Sourcilin Budis, Chester, Delawere, Mempomery, Philadelphia	Wilkes-Barre PA 18701  Caynting  Carbon, Lackawanne, Lehigh, Lurarne, Monroe, North- empton, Pike, Schuyikili, Susquehanne, Wayne, Wyoming	Herrisburg PA 17110 <u>Counties</u> Adams, Bedford, Berks, Blair, Cumberland, Dauphin, Franklin, Fulton, Huntingdon, Juniata, Lancaster, Labanon, Mifflin, Perry, York	Williamspore PA Count Exactord, Camero Climon, Charfleto Lytoming, Monto Northumberland, Snyder, Suffixan,	igi n, Centre, d, Columbie, our, Potter.	400 Waterfront Or Pittsburgh PA 15222-4745 <u>Entirities</u> Alliegheny, Armstrong, Beaver, Cambria, Fayette, Greene, Indiane, Somersat, Washington, Westmoreland	1012 Water St Meadville PA 15335 <u>Counties</u> Busler, Clarlon, Crewford, Elk, Erle, Forest, Jetterson, Lawrence, McKean, Mercer, Venango, Warren	
			III. FACIL	ITY INF	ORMATION	· <del></del>	
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	330 Ellsworth Ave	enue Suite 300	Street Add		Box not acceptable)		
City Pittsburgh	State PA	Zip 15232				* * * * *	
County Allegher	FIIONE NO.	(412 ) 362-5205	City North Huntingdon State PA Zip 15642  County Westmoreland Township North Huntingdon				
II. TYPE OF OW		e)	IV. TYPE	OF FAC	CILITY (Mark only o		
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#### Heating Oil Unknown New Motor Oil Mixture VI. CERTIFICATION (Read and Sign after completing all sections)

Gasohol

Kerosene

I certify under penalty of law that I have personally examined and am familiar with the information submitted in this and all attached documents, and that based on my inquiry of those individuals immediately responsible for obtaining the information, I believe that the submitted information is true, accurate, and complete. This registration is conditioned upon compliance with provisions of the Storage Tank and Spill Prevention Act, with any regulations and orders issued pursuant to this Act, and with the requirements for obtaining a permit required under this Act.

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Harris and Critical Title of General Les Copy Forther

Signature

Hazardous Substance

Other (specify substance)

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WAREHOUSE DEVELOPMENT COMPANY • 5830 ELLSWORTH AVE. • SUITE 300 • PITTSBURGH, PA 15232-1779 (412) 362-5205 · FAX 362-5224 September 9, 1993

Mr. Leon McCray Administrative Assistant Division of Storage Tanks Commonwealth of Pennsylvania Department of Environmental Resources 400 Waterfront Street Pittsburgh, Pennsylvania 15222-4745

Amended Tank Registration Consolidation of DER Facility I.D. Nos. 65-27141 and 65-13147 Warehouse Development Co. 369 Leger Road North Huntingdon, Pennsylvania 15242 AGI Project No. 9343

DER-EP
1393 SEP 21 AN IO: SOUTHWESTERN REGION

Dear Mr. McCray,

As per your telephone conversation with April Lafferty of American Geosciences, Inc., on September 9, 1993, enclosed are tank registration forms for eight underground storage tanks (UST) at the above referenced site.

As discussed with Ms. Lafferty, this site has two facility I.D. numbers, 65-13147 and 65-27141. Enclosed are copies of one registration form for one 10,000-gallon UST registered under Facility I.D. No. 65-13147, one registration form for six 4,000-gallon and one 6,000-gallon USTs registered under Facility I.D. No. 65-27141 and one registration form consolidating all eight tanks and the two DER facility I.D. numbers.

Please note that copies of these forms have been sent to Ms. Dawn Caban of the Division of Storage Tanks, DER Central Office in Harrisburg and that these forms are for your information.

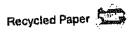
If you have any questions, please contact me.

Sincerely,

Brian C. Schreiber

P. S. Enclosed are copies of Be-Reg, huhay

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REGISTRATION OF STORAGE In accordance with Sections 303 and 503 of the Storage Tank and Spill Preventionage tanks are required to register their tanks with the Department and preventions of the Storage Tank and Spill Preventionage tanks are required to register their tanks with the Department and preventional standard preventions are preventionally served to the storage of the Storage Tank and Spill Preventional Spil	ation Act, owners or regulated
I. PURPOSE OF SUBMITTAL (Please Check	
INITIAL REGISTRATION AMENDED REGISTRATION CHANGE  Initial Registration Change in Previous Info Soi Registration for Adding Tank(s) All Removal of Temporarily Not Using Tank(s) So Unregistered Tank(s) Removed / Closed Tanks So Registration for Un-	OF OWNERSHIP  d / Purchased  Tanks Will Remain at Same Facility me Tanks Will Remain at Same Facility me Tanks Relocated to Another equilated Facility
II. OWNER/BUSINESS INFORMA	ATION (Please Type or Print Legibly)
A. DER CLIENT ID NO. (STATE USE ONLY)	B. CHANGE OF OWNERSHIP (Complete - Only if some or all tanks have been sold or purchased.)
Federal Tax ID No., EIN (or SS) No. 25 1204503  Owner Name Wate house DEVELOPMENT CO. Address 5830 EUSWORTH AVENUE  SUITE 300  City PITTS BURGH State PA Zip 15232-179	Date of Sale/Purchase  Sold To  (New Owner Name) (New Address)
County ALEGHENY Municipality PITTSBURGH Phone No. (412) 362 - 6205	Purchased From (Old Owner Name) (Old Address)
Type of Owner/Business (Check Only One)  ☐ Vol. Fire Co./EMS Org. ☐ Corporate ☐ Federal Government ☐ Private (Residential) ☐ Local Government	(Old Facility ID No.) (Old Tank No.(5))
	N (Please Type or Print Legibly)
A. DER FACILITY ID NO. 6 5 - 2 7 1 4 1  Facility Name WAREHOUSE DEVELOPMENT CO.  Location (PO Box NOT acceptable) (RR Box IS acceptable)	owner or if mail is to be sent to a specific person or department within a company.)
369 LEGER ROAD	Send all mail to Facility address noted to the left.
City NORTH HUNTING-DONState PA Zip 15242  County WESTMORECAND Municipality NORTH HUNTINGER	Send all mail to Contact address noted below:
Phone No. (412) 362 5205	Name
Type of Facility (Check Only One)	Title
On Unknown In 10 Federal, Military On Gas Station In 11 Commercial	Mailing Address
□ 02 Petroleum Distr □ 12 Industrial □ 03 Air Taxi □ 13 Residential □ 04 Aircraft Owner □ 14 Contractor □ 05 Auto Dealership □ 15 Trucking/Transport □ 06 Railroad □ 16 Utilities □ 07 Local Govt □ 17 Farm □ 99 Other	City State Zip
09 Federal, Non-Military SPECIFY	

DER Facility ID No.

65.27141

Facility Name WAREHOUSE

## IV. DESCRIPTION OF STORAGE TANKS (Please type or print legibly each regulated storage tank at this facility under your ownership.)

A. ABOVEGROUND TANKS List ALL tanks. If amending information, mark the Amended Tank(s) with an asterisk (\*) to the left of the tank

Tank Number	A F	Install Remove Date Capacity	Substance Code	CERCLA Name		Tank	Exemp		
	S	(Mo-Day-Yr)	(Mo-Day-Yr)	(Gallons)	(Currently or Lass Stored)	and CAS No. (II Hazardous Substance)	Substance Name (if Other or Mixture)	√lf	Ref.
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R - Removed or Closed in Place

B. UNDERGROUND TANKS List ALL tanks. If amending information, mark the Amended Tank(s) with an asterisk (\*) to the left of the tank

Tank Number	Ā	Install Date	Remove Oate	Capacity	Substance Code	CERCLA Name and CAS No.		Tank	Exemp
6	S	(Mo -Day-Ye)	(Mo-Day-Yr)	( Gallons )	(Currently or Last Stored)	(If Hazardous Substance)	Substance Name (If Other or Mixture)	√ If Yes	Ref.
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C - Currently in Use;

T - Temporarily Out of Use;

R - Removed or Closed in Place

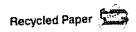
## V. CERTIFICATION (Read and Sign after completing all appropriate sections.)

I certify under penalty of law that I have personally examined and am familiar with the information submitted in this and all attached documents, and that based on my inquiry of those individuals immediately responsible for obtaining the information, I believe that the submitted information is true, accurate, and complete. This registration is conditioned upon compliance with provisions of the Storage Tank and Spill Prevention Act, with any regulations and orders issued pursuant to this Act, and with the requirements for obtaining a permit required under this Act.

Please be advised that signature by an individual on this document indicates that he/she owns the subject storage tank and, in effect, represents to the Department that the individual owns the storage tank and is aware of those responsibilities and potential liabilities as an "owner" arising under the Storage Tank and Spill Prevention Act and its regulations. Please be further advised that this registration is made subject to the penalties of 18 PA. C.S. Section 4984 relating to unsworn falsification to authorities.

Name and Official Title of Owner

Date Signed



	70.0 111/0				
REGISTRATION OF STORAGE In accordance with Sections 303 and 503 of the Storage Tank and Spill Prever storage tanks are required to register their tanks with the Department and p *** PLEASE READ ALL INSTRUCTIONS THOROUGHLY BEFORE	ntion Act, owners of regulated hay the required fees.  E COMPLETING THE FORM***				
I. PURPOSE OF SUBMITTAL (Please Check	: Those That Apply)				
Initial Registration Change in Previous Info Soil Registration for Adding Tank(s) All Removal of Temporarily Not Using Tank(s) Soil Unregistered Tank(s) Removed / Closed Tanks Soil Registration for Un- Registered Tank(s) (Same Owner-Different Facility) Soil Closed in Place	and the Tanks are to 8e Registered				
II. OWNER/BUSINESS INFORMA	ATION (Please Type or Print Legibly)				
A. DER CLIENT ID NO. (STATE USE ONLY)	B. CHANGE OF OWNERSHIP (Complete - Only if some or all tanks have been sold or purchased.)				
Federal Tax ID No., EIN (or SS) No. 2 5 1 2 0 4 5 0 3  Owner Name Ware House Development Co. Address 5830 Eusworth Avenue  Sute 300  City Pitts Burgh State PA Zip 15232-1779	Oate of Sale/Purchase Soid To (New Owner Name) (New Address)				
County Auegheny Municipality Pars Burs 14 Phone No. (412) 362 5205  Type of Owner/Business (Check Only One)  Vol. Fire Co./EMS Org. Corporate  Federal Government Private (Business)  State Government Private (Residential)	Purchased From (Old Owner Name) (Old Address)  (Old Facility ID No.) (Old Tank No.(s))				
Local Government	M. (Otana Time or Print Legibly)				
A. DER FACILITY ID NO. 6 5 - 1 3 1 4 7  Facility Name Ware House Development Co  Location (PO Box NOT acceptable) (RR Box IS acceptable)	N (Please Type or Print Legibly)  B. CONTACT (Optional) (Complete - Only if mail is to be sent to someone other than the owner or if mail is to be sent to a specific person or department within a company.)				
369 LEGER ROAD	☐ Send all mail to Facility address noted to the left.				
City NORTH HUNTINGDON State PA Zip 15242	☐ Send all mail to Contact address noted below:				
County LESTMORELAND Municipality Noent HUNTINGDON					
Phone No. (4/2) 362 5205	Name				
Type of Facility (Check Only One)  00 Unknown	TitleMailing Address				
☐ 03 Air Taxi ☐ 13 Residential ☐ 04 Aircraft Owner ☐ 14 Contractor ☐ 05 Auto Dealership ☐ 15 Trucking/Transport ☐ 06 Railroad ☐ 16 Utilities ☐ 07 Local Govt ☐ 17 Farm ☐ 08 State Govt ☐ 99 Other ☐ 09 Federal, Non-Military ☐ SPECIFY	CityStateZipPhone No. ()				

DER Facility ID No.

· 6 5 · 1 3 1 4 7 Facility Name WARE HOUSE DEVELOPMENT CO.

## IV. DESCRIPTION OF STORAGE TANKS (Please type or print legibly each regulated storage tank at this facility under your ownership.)

A. ABOVEGROUND TANKS List ALL tanks. If amending information, mark the Amended Tank(s) with an asterisk (\*) to the left of the tank

Tank	Ā	Install Date	Remove Date	Capacity		CERCLA Name	5.1	Tank	Exemp
Number	ů S	(Mo Day-Yr)	(Mo Day-Yr)	(Gallons)	(Currently or Last Stored)	and CAS No. (If Hazardous Substance)	Substance Name (If Other or Mixture)	√lf	Ref.
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Status Codes:

C - Currently in Use:

T-Temporarily Out of Use;

R - Removed or Closed in Place

B. UNDERGROUND TANKS List ALL tanks. If amending information, mark the Amended Tank(s) with an asterisk (\*) to the left of the tank

	T	<del>,</del>	Y	umber.			maranism ( ) to the left	VI (III <del>C</del> (2	I CIR
Tank Number	5 T A T U S	Install Date (Mo-Day-Yr)	Remove Date (Mo-Day-Yr)	Capacity (Gallons)	Substance Code (Currently or Lass Stored)	CERCLA Name and CAS No. (If Hazardous Substance)	Substance Name (If Other or Mixture)	√H	Exemple Ref.
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Status Codes:

C - Currently in Use;

T - Temporarily Out of Use;

R - Removed or Closed in Place

## V. CERTIFICATION (Read and Sign after completing all appropriate sections.)

I certify under penalty of law that I have personally examined and am familiar with the information submitted in this and all attached documents, and that based on my inquiry of those individuals immediately responsible for obtaining the information, I believe that the submitted information is true, accurate, and complete. This registration is conditioned upon compliance with provisions of the Storage Tank and Spill Prevention Act, with any regulations and orders issued pursuant to this Act, and with the requirements for obtaining a permit required under this Act.

Please be advised that signature by an individual on this document indicates that he/she owns the subject storage tank and, in effect, represents to the Department that the individual owns the this registration is made subject to the penalties of 18 PA. C.S. Section 4904 relating to unsworm falsification to authorities.

Name	and	Offic	ial Title:	of	Owner	
	` -	*****	/	,,		
1000	6-25	N 198	han.	/		, , , , , , , , , , , , , , , , , , ,

Signature

Date Signed

COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF ENVIRONMENTAL RESOURCES
BUREAU OF WATER QUALITY MANAGEMENT



REGISTRATION OF STORAGE in accordance with Sections 303 and 503 of the Storage Tank and Spill Preve storage tanks are required to register their tanks with the Department and *** PLEASE READ ALL INSTRUCTIONS THOROUGHLY BEFOR	ention Act, owners of regulated pay the required fees.							
PURPOSE OF SUBMITTAL (Please Check	k Those That Apply)							
Initial Registration								
II. OWNER/BUSINESS INFORMA	ATION (Please Type or Print Legibly)							
A. DER CLIENT ID NO. (STATE USE ONLY)	B. CHANGE OF OWNERSHIP (Complete - Only if some or all tanks have been sold or purchased.)							
Federal Tax ID No., EIN (or SS) No. 2 5 1 2 0 4 6 0 3  Owner Name WAREHOUSE DEVELOPMENT CO. Address 624 5830 ELLSWORTH AVENUE  SUITE 800  City PITSBURGH State PA Zip 16232-1779	Date of Sale/Purchase  Sold To  (New Owner Name)  (New Address)							
County ALLEGHENY Municipality PITTS BURGH Phone No. (412) 362 5265  Type of Owner/Business (Check Only One)  Vol. Fire Co./EMS Org. Corporate Federal Government Private (Business)  State Government Private (Residential)	Purchased From ( Old Owner Name ) (Old Address )  (Old Facility ID No.) (Old Tank No.(s))							
☐ Local Government								
III. FACILITY INFORMATION  A. DER FACILITY ID NO. 65-27/4/1  Facility Name WAREHOUSE DEVELOPMENT CO.  Location (POBOX NOT acceptable) (RR BOX IS acceptable)  369 LE GER ROAD  City North Hunting-DON State PA Zip 15242  County WESTMORE LAND Municipality North Hunting-DON	within a company.)  ☐ Send all mail to Facility address noted to the left.  ☐ Send all mail to Contact address noted below:							
Phone No. (412) 362 5205	Name							
Type of Facility (Check Only One)  00 Unknown	TitleMailing Address							
☐ 03 Air Taxi ☐ 13 Residential ☐ 04 Aircraft Owner ☐ 14 Contractor ☐ 05 Auto Dealership ☐ 15 Trucking/Transport ☐ 06 Railroad ☐ 16 Utilities ☐ 07 Local Govt ☐ 17 Farm ☐ 08 State Govt ☐ 99 Other ☐ 09 Federal, Non-Military ☐ SPECIFY	CityStateZipPhone No. ()							

65-13147

DER Facility ID No.

65.27141

Facility Name WAREHOUSE DEVELOPMENT CO

## IV. DESCRIPTION OF STORAGE TANKS (Please type or print legibly each regulated storage tank at this facility under your ownership.)

A. ABOVEGROUND TANKS\* List ALL tanks. If amending information, mark the Amended Tank(s) with an asterisk (\*) to the left of the tank number.

Tank	5	Install	Remove	,	Substance	CERCLA Name		Tank	Exempl
Number	A T U S	Date Date Capacity Code (Mo. Bay Yet   (Mo. Bay Yet)		Code (Currently or Last Stored)	and CAS No. (If Hazardous Substance)	Substance Name (If Other or Mixture)	√lf Yes	Ref. Code	
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Status Codes:

C - Currently in Use;

T - Temporarily Out of Use:

R - Removed or Closed in Place

B. UNDERGROUND TANKS List ALL tanks. If amending information, mark the Amended Tank(s) with an asterisk (\*) to the left of the tank number.

	Tank	S T	Install	Remove	Campalky	Substance	CERCLA Name		Tank	Exempt
	Number	4705	Date (Mo-Day-Yr)	Date (Mo-Day-Yr)	Capacity (Gallons)	Code (Currently or Last Stored)	and CAS No. (If Hazardous Substance)	Substance Name (If Other or Mixture)	√lf Yes	Ref. Code
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*	b06	R		11-27-90	<u></u>	$\mathcal{B}$				
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Status Codes:

C · Currently in Use;

T - Temporarily Out of Use;

R - Removed or Closed in Place

#### V. CERTIFICATION (Read and Sign after completing all appropriate sections.)

i certify under penalty of law that I have personally examined and am familiar with the information submitted in this and all attached documents, and that based on my inquiry of those individuals immediately responsible for obtaining the information. I believe that the submitted information is true, accurate, and complete. This registration is conditioned upon compliance with provisions of the Storage Tank and Spill Prevention Act, with any regulations and orders issued pursuant to this Act, and with the requirements for obtaining a permit required under this Act.

Please be advised that signature by an individual on this document indicates that he/she owns the subject storage tank and, in effect, represents to the Department that the individual owns the storage tank and is aware of those responsibilities and potential liabilities as an "owner" arising under the Storage Tank and Spill Prevention Act and its regulations. Please be further advised that this registration is made subject to the penalties of 18 PA. C.S. Section 4904 relating to unsworn falsification to authorities.

Namea	nd Offici	al Title	of D	waar
	// ( // )	/////	7/	**************************************

Signatur

Date Signed

# CORRECTION IN TIME INFORMATION

Federal Government | | Corporate

COMMONWEALTH OF PENNSYLVANIA

UREAU OF WATER QUALITY MAN	AGEMENT	AWEN	I U L U		NVIRONMENTAL RESOURCES					
REGISTRATION	OF STORAGE	TANKS		STATE USE ON	Data Recaived:	5/27/93				
n accordance with Sections 303 en torage tanks are required to regis	d 503 of the Storage Tank and Sp ter their tanks with the Departme	ill Prevention Act, Owners of regul ant and pay a registration fee.	≛t <b>≑</b> d	1141603201	Amount Received:	<u>a</u>				
Please type or print in ink of there are more than 10 is ECTION I.  SECTION II.  SECTION III.  SECTION IV.  SECTION V.  Description  1. Tank regist the fo  2. Status mean 3. Date unknow 4. Capac 5. Subst CERCI 6. Tank Penns 7. Regiss permi A.  8.  Recor all un in the check SECTION VI. Certification must also si SCCTION VII. Nemeplete	all Items except "Signatu inderground or abovegromation - Name, business ederal Identification Numer - Mark the appropriate mation - Name and physude the Facility Identificatity - Mark the appropriate of Storage Tanks - This sed tanks is to be recorded in Registration Number - The ration numbers to be recorded in Registration for your convenience, should be recorded in the standard of the stallation - Specify to some white "ODD". Note: the stallation - Specify to some with the seen Issued Fire Stylvania State Police, First tration Fee - Determine anently out of use.  A Name and CAS Number Has Been Issued Fire Stylvania State Police, First tration Fee - Determine anently out of use.  Aboveground Tanks  1. Up to and Including S  2. 5,001 to and including S  2. 5,001 to and including S  3. Greater than 50,000 g  Underground Tanks - SSid the total registration fed derground tanks in the signature of the stallation is to be compand record the date the stallation in the stallation is to be compand record the date the stallation in the stallation is to be compand record the date the stallation in the stallation is to be compand record the date the stallation is to be compand record the date the stallation is to be compand record the date the stallation in the stallation is to be compand record the date the stallation in the stallation is to be compand record the date the stallation is to be compand record the date the stallation in the stallation is to be compand record the date the stallation in the stallation is to be compand record the date the stallation in the stallation is to be compand record the date the stallation in the stallation is to be compand record the date the stallation in the stallation is to be compand record the date the stallation in the stallation is to be compand record the date the stallation in the stallation is to be compand the stallation in the sta	owner of the comment	round tanks are "001", 003A", etc. The "A" has sermanently out of use. alch have been removed. Bled. For instance, "0196 tank, include the remova unknown, write "unknown, ored. If a hazardous su tank has been approved.	racility. Please include applies in which FACILITY is facility. Information for "002", "003", etc. The already been printed on Permanently out of use 0", for January 1990. If liciosure date. wn". bstance, please indicate ed or permitted by the NOT required for tanks in registration fee due for land underground tanks he Facility ID No. on the he OWNER. The OWNER						
PLEASE SEND COMPLETE	D ORIGINAL FORM AND C	PO Box 87			Central Office Phone Nos (Out of State Cails) -	1-800-42-TANKS 1-800-428-2637 717-657-4080				
Lee Park Suite 6010 553 N Lane Conshohocken PA 19478 <u>Countles</u> Bucks, Chester, Delaware, Montgomery, Philadelphia	90 E Union St 2nd Str Wilkes-Barre PA 18701 <u>Counties</u> Carbon, Lackewanne, Lehigh, Luzerne, Monroe, North- empton, Pike, Schuyikilt, Susquehanne, Wayne, Wyoming	One Aratet Bivd Harrisburg PA 17110 Counties Adams, Bedford, Seiks, Bielr, Cumberland, Dauphin, Franklin, Fulton, Huntingdon, Juniata, Lancaster, Lebanon, Mifflin, Perry, York	200 Pine St Williamsport PA Count Bradford, Camero Climon, Clearfiel Lycoming, Monto Northumberland, Snyder, Sullivan,	ira on, Centre, d, Columbie sur, , Potter,	d00 Waterfront Dr Pittsburgh PA 15222-4745 <u>Counties</u> Allegheny, Armstrong, Beaver, Cambrie, Fayette, Greerie, Indiana, Somerser, Washington, Wastmoreland	1012 Water St Meedville PA 16335 <u>Counties</u> Sutier, Clarion, Crawford, Elk, Erie, Forest, Jefferson, Lawrence, McKean, Marcer, Venango, Warren				
I. OWNER INFO	RMATION	<u> </u>	III. FACIL	ITY INF	ORMATION					
Owner Name Ware	ehouse Developme	nt Company	Facility Na	me Ware	house Developmer	nt Company				
Tax Identification N Mailing Address 58	o. <u>25-1204503</u> 330 Ellsworth Av	enue Suite 300	1		Box not acceptable)					
City Pittsburgh		Zip 15232 (412 ) 362-5205	City Nort			A Zip <u>15642</u> North Huntingdon				
II TYPE OF ON	TYPE OF OWNER (Mark only one)				IV TYPE OF FACILITY (Mark only one if applicable)					

☐ Farm

	/ n	ECCOL	No.	65-27141	Facility	Name WA	RE11008	E	DEVISION	OM 65 A
	<u> </u>	ESCHI	101	N OF STORAGE	TANKS (Com	plete for each red	Tillated storm	. 4 -		BUCH
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Date Signed

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WAREHOUSE DEVELOPMENT COMPANY • 5830 ELLSWORTH AVE. • SUITE 300 • PITTSBURGH, PA 15232-1779
(412) 362-5205 • FAX 362-5224

May 24, 1993

Mr. Ed Gursky Commonwealth of Pennsylvania Department of Environmental Regulations 400 Waterfront Drive Pittsburgh, PA 15222-4745

RE: Tank Facility #65-27141

Dear Mr. Gursky:

Enclosed please find an amended registration concerning some of the tanks that were removed at the referenced facility located in North Huntingdon Township, Pennsylvania.

As you have previously been advised, the two tanks previously registered at this facility number (2-15,000 gallon tanks) were in fact six separate 4,000 gallon tanks that were piped together. This registration corrects that erroneous filing. In addition, at the time the tanks were removed in November, 1990, the oil fuse tank was discovered and it was removed at the same time.

Please advise if you require any additional information concerning this matter.

Sincerely,

Brian C. Schreiber

BCS/jap enclosure

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#### STORAGE TANK DATA STETEM FACILITY SCREEM

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#### Finds

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## COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL RESOURCES

SOUTHWEST REGION - FIELD OPERATIONS
ENVIRONMENTAL CLEANUP PROGRAM
400 Waterfront Drive
Pittsburgh, Pennsylvania 15222-4745
(412) 442-4000 (answers 24 hrs.)

May 28, 1993

CERTIFIED MAIL# P 213 150 802

Mr. Brian Shriver Warehouse Development Co. 5830 Ellsworth Avenue Suite 300 Pittsburgh, PA 15232

RE: Owner Name: Warehouse Development Co.

Facility Name: Warehouse Development Co.

Facility ID No.: 65-27141

Dear Storage Tank Owner:

This letter acknowledges receipt of your amended Storage Tank Registration correcting the tank information entered on your original registration.

You initially registered and paid the fees on two underground storage tanks. Your amended registration form lists seven UST's that have subsequently been removed.

Since five of your tanks have never been registered, you now owe \$50 per tank, or a total of \$250.00 for the 1989-90 registration period.

Please remit your payment along with a signed copy of your amended registration form to the address listed above.

If you have any further questions, please contact me at (412) 442-4090.

Sincerely,

Leon W. McCray

Administrative Assistant

Environmental Cleanup Program

LWM/pm

**Enclosures** 

cc: File

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WAREHOUSE DEVELOPMENT COMPANY • 5830 ELLSWORTH AVE. • SUITE 300 • PITTSBURGH, PA 15232-1779
SOUTHWESTERN REGION (412) 362-5205 • FAX 362-5224

June 16, 1993

Mr. Leon McCray Commonwealth of Pennsylvania Department of Environmental Regulations 400 Waterfront Drive Pittsburgh, PA 15222-4745

RE: Tank Facility #65-27141

Dear Mr. McCray:

Enclosed please find an additional copy of the Amended Registration indicating the filing files for the tanks referred to above. this is to supplement the previous submissions to the DER together with the check that was previously sent to you. For your information, copy of previous letter and previous submissions are also enclosed herewith for you reference. Please contact me if you require any additional information concerning this matter.

Sincerely,

Brian C. Schreiber

BCS/jap enclosures

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### "AMENDED" REGISTRATION OF STORAGE TANKS

COMMONWEALTH OF PENNSYLVANIA
DEPARTMENT OF ENVIRONMENTAL RESOURCES

Data Received:

in accordance with Sections 103 starage Lanks are required to re-	and 303 at the Storage Tank and S gister their tanks with the Departs	pill Prevention Art, Gwners of reg	Ulated	STATE USE C	ONLY	mara warainag:	**************************************	
Please type or print in in if there are more than 10 SECTION I. Owner Info county and SECTION III. Type of Ow Facility info located. In SECTION IV. Type of Facility info located. In SECTION V. Description abovegrous 1. Tank regis the file 2. Scate mean 3. Date unkn 4. Capa 5. Subscending Perm A. Regis perm A. SECTION VI. Certification must also since the second control of	one number of Cr Social Security  ox) of FACILITY.  commation about underground take to be recorded inks are "001A" emporarily out tank was compis due to a remo of the tank in Grance(s) currentlesses specify. It - Indicate will agency under the TANK as indicated in the total registery order for the Please type or ped.	Please in Please	each FACII, and staplished storage recorded ground tar "003A", et permanen stored. If it ank has liction for fi w. A reginistration te ame and o then 5,000	e tank(s) at the inty and towns inge tank at the in Part B. inks are "001", it. The "A" has tiy out of use, been removed, instance, "019 and the removal, write "unknows hazardous su been approved in safety, it is stration fee is ecord the total il aboveground e due; write the flicial title of the "gallon cepocities".	facility. Please include hip in which FACILITY is facility. Information for 7002", "003", etc. The already been printed on Permanently out of use 0", for January 1990. If Ilclosure date, wn". bstance, please indicate ed or permitted by the NOT required for tanks registration fee due for and underground tanks he Facility ID No. on the ne OWNER. The OWNER			
			762 g.PA 17105-87			ate Calls) -	- 1-800-42-TANKS 1-800-428-2557 717-657-4080	
tee Park Suite 6010 SSS N Lane Combotocken PA 15428 <u>Counter</u> Bucks, Chester, Dalaware, Morngomery, Philadelphia	90 £ Union St 2nd Fir Wilkes-Barre PA 18705 <u>Chynties</u> Carbon, Lackawanne, Lehigh, Luzerne, Monroe, North- ampton, Pike, Schuylkitt, Susquehanna, Wayne, Wyoming	One Atarat Blvd Harrisburg PA 17510 Counties Adams, Bedford, Beths, Blair, Cumberland, Dauphin, Franklin, Eulton, Huntingdon, Juniata, Lancaster, Labanon, Mifflin, Perry, York	200 Pine St Williamsport PA 17 Eradford, Cameron, Climton, Chartleid, Lycoming, Montsur Northumberland, P. Snyder, Sullivan, T.	1 , Centre , Columbia, , otter	Cingheny, A Cambila, Fey Indiana, Som	15222-2745 <u>Cunties</u> rmstrong, Beaver, ette, Graessa.	1012 Water St Meadville PA 16315 Counties Butler, Clarlon, Crawford, Elk, Erle, Forest, Jefferson, Lawrence, McKean, Mercer,	
I. OWNER INFO			III. FACILI	<del></del>	<u> </u>		Venengo, Watten	
Owner Name Ware Tax Identification N Mailing Address 58	Facility Nam Facility Iden Street Addre 369 Lege	ne Ware stificatio	house I n No. 6 Box not a	evelopmen 5-27141	t Company			
County Alleghen	Jounty Allegheny Phone No. 412 ) 362-5205			Huntin estmore	gdon	State <u>PA</u> Township <u>N</u> o	Zip 15642 orth Huntingdon	
II. TYPE OF OW	TYPE OF OWNER (Mark only one)			IV. TYPE OF FACILITY (Mark only one, if applicable)				
Federal Governs	Federal Government			Farm				

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VI. CERTIFICATION (Read and Sign after completing all sections)

I certify under penalty of law that I have personally examined and am familiar with the information submitted in this and all attached documents, and that based on my inquiry of those individuals immediately responsible for obtaining the information, I believe that the submitted information is true, accurate, and complete. This registration is conditioned upon compliance with provisions of the Storage Tank and Spiil Prevention Act, with any

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## COMMONWEALTH OF PENNSYLVANIA DEPARTMENT OF ENVIRONMENTAL RESOURCES

SOUTHWEST REGION - FIELD OPERATIONS ENVIRONMENTAL CLEANUP PROGRAM 400 Waterfront Drive Pittsburgh, Pennsylvania 15222-4745 (412) 442-4000 (answers 24 hrs.)

April 28, 1993

Warehouse Development Company 369 Leger Road North Huntingdon, PA 15642

RE: Facility Nos. 65-13147 and 65-27141
369 Leger Road
North Huntingdon Township
Westmoreland County

Gentlemen:

The information prepared and submitted by Petroleum Industry Maintenance, Inc. for the November 27, 1990 Underground Storage Tank Closure at this site does not meet the requirements for a final Closure Report. The report indicates that contamination was encountered at the site, but does not indicate if any remedial action was conducted.

Submit within fifteen (15) days to this office a complete closure report or a site assessment/remediation plan or a time frame for the preparation and submittal of these reports. If you have any questions or if we can be of any assistance, I can be contacted at 412-442-4083.

Sincerely

E. A. Gursky Hydrogeologist

EJG:njh

cc: File

Storage Tank File A. M. Tempero

Action Employer

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- ADDENDUM - UST'S TOOB - OOT REGISTERED AFTER THE FACT OF REMOVAL

BUREAU OF WATER QUALITY MANAGEMENT

## "AMENDED

COMMONWEALTH OF PENNSYLVANIA
OFFARTMENT OF ENVIRONMENTAL RESOURCES

REGISTRATION	OF	STORAGE	TANKS

19

in accordance with Sections 303 and 503 of the Storage Tank and Spill Prevention Act, Owners of regulated storage ranks are required to register their tanks with the Department and pay a registration fee.

STATE USE ONLY

REC. 6/4/83 Amount Received:

Please type or print in ink all items except "Signature" in Section VI. This form is to be completed for each FACILITY which has regulated storage tank If there are more than 10 underground or aboveground tanks, photocopy the reverse side of this form, and staple continuation sheets to this form. Owner information - Name, business mailing address and phone number of OWNER of the storage tank(s) at the facility. Please include county and Federal Identification Number; if none, include your Social Security Number.

SECTION II. Type of Owner - Mark the appropriate box.

SECTION III. Facility Information - Name and physical location (not P.O. Box) of FACILITY. Please include county and township in which FACILITY

SECTION IV. Type of Facility - Mark the appropriate box, if applicable.

SECTION V. Description of Storage Tanks - This section is for recording information about each regulated storage tank at the facility. Information for aboveground tanks is to be recorded in Part A. information for underground tanks is to be recorded in Part B.

1. Tank Registration Number - The registration numbers to be recorded for underground tanks are "001", "002", "003", etc. The registration numbers to be recorded for aboveground tanks are "001A", "002A", "003A", etc. The "A" has already been printed c

2. Status - Indicate whether the tank is currently in use, temporarily out of use, or permanently out of use. Permanently out of us means properly closed in place with an inert solid material. Do not include tanks which have been removed.

3. Date of installation - Specify the month and year the tank was completely installed. For instance, "0190", for January 1990. unknown, write "0000". Note: If the "Amended" Form is due to a removediclosed tank, include the removaliclosure date.

4. Capacity - Specify the total design or maximum capacity of the tank in GALLONS. If unknown, write "unknown"

5. Substance Currently or Last Stored - Indicate the substance(s) currently or last stored. If a hazardous substance, please indicat CERCLA Name and CAS Number. If Other is indicated, please specify.

6. Tank Has Been Issued Fire Safety Approval or Permit - Indicate whether the tank has been approved or permitted by th Pennsylvania State Police, Fire Marshall Division; or local agency under their jurisdiction for fire safety.

7. Registration Fee - Determine registration fee due PER TANK as indicated below. A registration fee is NOT required for tank

A. Aboveground Tanks

1. Up to and including 5,000 gailons - \$50 per tank

2. 5,001 to and including 50,000 gallons - \$125 per tank

3. Greater than 50,000 gallons - \$300 per tank

B. Underground Tanks - \$50 per tank

Record the total registration fee due for all aboveground tanks in the space provided (A). Record the total registration fee due for all underground tanks in the space provided (8). Record the total registration fee due for all aboveground and underground tank In the space provided (A+B). Submit a check or money order for the total registration fee due; write the Facility ID No. on th

SECTION VI. Certification - This section is to be completed by the OWNER. Please type or print the name and official title of the OWNER. The OWNER

SECTION VII. Nameplate information - Complete this section for each aboveground tank greater than 5,000 gallon capacity. Use the same Tank

PLEASE SEND COMPLETED ORIGINAL FORM AND CHECK TO:

PA DER, Division of Storage Tanks | Central Office Phone Nos. - 1-800-42-TANKS Harrisburg, PA 17105-8762

1-800-428-2557 717-657-4080

Lee Park Suite 6018 SSS H Lane Comhohocken PA 19478 Courries Bucks, Chester, Delaware, Montgomery, Philadelphia

FederalCa

90 E Union St 2nd Fir Wilker-Barra PA 18701 Carbon, Latkewenne, Lehigh, Lucerne, Monroe, Northempton, Pike, Schuyikili, Susquehenne, Weyne, Wyoming

bviā satata anD Harrisburg PA 17110 Counties Adams, Sectord, Serks, State, Cumberland, Dauphin, Franklin, Fulton, Huntingdon, Juniata, Lancaster, Labanon, Mifflin, Perry, York

Phone No. (412 ) 362-5205

200 Pina Ct Williamsport PA 17701 Epunties Bradford, Cameron, Centre, Climon, Clearfield, Columbia, Lycoming, Montour, Harthumberland, Patter

Snyder, Sulitvan, Tioga, Union

400 Waterfront Dr Pittsburgh PA 15221-4745

(Out of State Calls) -

<u>Counties</u> Allegheny, Armstrong, Beaver, Cambria, Fayette, Greene, Indiana, Somerset, Washington, Westmoreland

<u>Counties</u> Butler, Clarion, Crawford, Elk, Erle, Forest, Jefferson, Lawrence, McKean, Mercer, Venango, Warren

1012 Water St

Meadylle PA 16135

### OWNER INFORMATION

Owner Name Warehouse Development Company Tax Identification No. 25-1204503 Mailing Address 5830 Ellsworth Avenue Suite 300 Pittsburgh City \_ State PA \_\_ Zip 15232 County

### III. FACILITY INFORMATION

Facility Name Warehouse Development Company Facility Identification No. 65-27141 Street Address (P.O. Box not acceptable) 369 Leger Road City North Huntingdon State PA Zip 15642

County Westmoreland Township North Huntingdon TYPE OF OWNER (Mark only one) IV. TYPE OF FACILITY (Mark only one, if applicable)

Tank Registration Number	\$ * *	Date of Installation Mo Yr	Capacity (Gallons)	Substance (Currently or Last Stored)	CERCLA Name and	Other Substance	r I	Registration	STATE
001	R	11 90	4000	B 7 3	SETS O	Name	Ē	Fee /	USE
002	R	11 90	4000		MANIFAL			150 F	
003	R	11.90	4000	7:00		E61STELED	<b></b>		
004	R	11 90	4000	B 8	2 1/20	50.00		50 F	
005	R	11 90	4000			50.00		30/-	
006.	R	11 90	4000	В		50,00		53/-	
007	R	11 90	6000	В		50.00		54	
		``		G		50.00		5tr	$\overline{}$
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ink#	Remo	ovai Date				Pollevaly	 	Voo.	25≤

### TOTAL ABOVEGROUND & UNDERGROUND TANK FEE (A + B) KEY FOR COMPLETION OF SECTION V. STATUS

Removal Date

Currently in Use Temporarily Out of Use Permanently Out of Use SUBSTANCE CURRENTLY OR LAST STORED

Gasoline Diesei C Gasohoi

G Used Motor Oil

Aviation

Kerosene Heating Oil New Motor Oil Hazardous Substance Other (specify substance)

Unknown Mixture

## VI. CERTIFICATION (Read and Sign after completing all sections)

I certify under penalty of law that I have personally examined and am familiar with the information submitted in this and all attached documents, and that based on my inquiry of those individuals immediately responsible for obtaining the information, I believe that the submitted information is true. accurate, and complete. This registration is conditioned upon compliance with provisions of the Storage Tank and Spill Prevention Act, with any regulations and orders Issued pursuant to this Act, and with the requirements for obtaining a permit required under this Act.

Name - Carr				•.,,
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Name and Original Hills of On	-	( · · · · ·		
3 6 111	91	Total Comment	$\sim \sim \sim \sim \sim$	
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Date Signed

FIRE SAFETY PERMIT

Yes

No

Υ

N

01691 WAREHOUSE DEVELOPMENT COMPANY CHECK NO 1691 CONTROL NO. EQUIBANK PITTSBURGH, PA JUNE1, 1993 DEPARTMENT OF ENVIRONMENTAL REGULATIONS TWO HUNDRED FIFTY DOLLARS AND NO CENTS WAREHOUSE DEVELOPMENT COMPANY 5830 ELLSWORTH AVENUE PITTSBURGH, PA 15232 SUITE 300 O THE RDER OF

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history Buch	405/20	16910 40150	2502	١	L'Se Mound	035000-102 pm	ma
NAME	RECEIPT NUMBER	CHECK NUMBER	AMOUNT PAID	TAX INCL.	ISSUED FOR	REVENUE ID	REF.
LOCAL OFFICE STAMP			<u> </u>	RECEIPT No.	No. 605122		

Warehouse Development Company

5830 Ellsworth Avenue Suite 300

FROM

Pittsburgh, PA 15232

North Huntingdon, PA 15642

Warehouse Development Company

369 Leger Road

FACILITY ID#65-27141

DESCRIPTION ..

DEPARTMENT of ENVIRONMENTAL RESOURCES

3-AO-29 (1/84)

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