



OFFICIAL NOTICE AND AGENDA
Pardeeville Plan Commission Regular Meeting
Pardeeville Village Hall – Board Room
114 Lake Street, Pardeeville, WI 53954
Tuesday, March 19, 2024 – 6:00 PM

1. **Call meeting to order:**
 - 1.1. Roll Call
 - 1.2. Approval of Agenda
2. **Approval of Minutes** – October 10, 2023
3. **Comments from the Floor** - *(Please be advised per State Statute Section 19.84(2), information will be received from the public. The comments made must remain respectful. The Chief Presiding Officer has the right to end an individual's time should an individual become disrespectful. It is policy of the Village that each individual may receive up to two (2) minutes to speak. More time may be granted by the Chief Presiding Officer. There may be limited discussion on the information received, however, no action will be taken under Comments from the Floor).*
4. **Old Business:**
5. **New Business:**
 - 5.1. Sunrise Subdivision – Lots 17, 18, and 19.
 - 5.2. Driveway Access in Sunrise Subdivision
6. **Consideration of items for future agendas**
7. **Adjournment**

Denise Vater, Clerk/Treasurer

For more details on reports and agenda items, please see the packet on the website: villageofpardeeville.net

The Village Hall is fully accessible. If you require additional assistance, please contact the Village Office (Phone 608-429-3121) 48 hours prior to the meeting. This is a public meeting. As such, all members or a majority of the members of any given Village Committee, Commission, or Board may be in attendance. While a majority of any given group may be present, only the above Board will take official action based on the above agenda.

**VILLAGE OF PARDEEVILLE
PLAN COMMISSION MINUTES
Village Hall – 114 Lake Street, Pardeeville
Tuesday, October 10, 2023 at 6:30 PM**

Call to Order – Haynes called the meeting to order at 6:36 PM

Roll Call – All committee members present except Chair Griepentrog and Abrath. Also present is Trustee Pufahl, Trustee Taylor, Trustee Engelmann, Sgt Brock, Dave Warnke, and Lindert, Clerk/Treasurer/Office Manager. Trustee Henslin joined at 6:41 PM.

Agenda Approval – Motion to approve Woxland/Pease. Motion carries.

Minutes Approval – Motion to approve Caravella/Woxland. Motion carries.

PUBLIC HEARING:

Open Public Hearing – Open public hearing at 6:37 PM

Public Hearing – To consider a conditional use permit for Courtney Barden/Sunflower Nutrition, owner of 115 Oak St., parcel #11171-258. This parcel is currently zoned R-2

-Barden is absent and no one to speak on this matter. Village President gave backstory on the matter. Discussion on parking and what she is all providing.

-Discussion on sign and waiving charge if this committee would want to have this conditional use reviewed. Further discussion on Health Department and how they are involved with just drinks and no store frontage.

Close Public Hearing – close public hearing at 6:46 PM

NEW BUSINESS:

Public Hearing – to consider conditional use permit for parcel #11171-258

-Woxland desires to have a discussion and gives his personal opinion.

-Committee doesn't like that no one showed up on this matter. They think she should be here.

-Motion to postpone this agenda item until homeowner is able to attend Pease/Caravella. Motion carries.

ADJOURN – Haynes adjourned meeting at 6:51 PM

Kayla Lindert, Clerk/Treasurer/Office Manager
Approved:



Public Works Director Memo

Meeting Date: 19 MAR 2024

Topic: Sunrise Subdivision

This memo is in regards to the Sunrise Subdivision – Lots 17, 18, and 19 agenda item.

Attached is a draft copy of the proposed layout and narrative.

The developer is looking to move forward into the second phase of the Sunrise Subdivision project. With that, the developer has supplied a preliminary plan of the sites for the Village to review and either agree, conditionally agree, or deny the concept plan.

The developer met with MSA, RPS, and Village staff to discuss the site, the P.U.D. and the next steps. They also went over their concept for the three lots. Due to the later submission, MSA is still reviewing the site and will be providing comments. Staff has also had minimal time to review and has only a few comments for the site. The following will be staff's review and comments for the site, including the next steps.

Sheet C 2.0 is the overall concept map of the sites. Lot 17 has a mixture of duplexes and fourplexes (townhomes). Lot 18 is a single fourplex. Lot 19 is another mixture, but predominantly fourplexes. Lot 19 also has, depicted in the central bottom, a dog park named Lilly's Park. Overall, the concept is very aesthetically pleasing. The developer is utilizing the space to balance improvements and green space, and it looks, on paper, like a good balance. Likewise, the inclusion of a small park is a nice feature. The governing body may like to get, in writing, the maintenance agreements of how the grass will be mowed and especially how the park will be maintained. There is no indication that the park will be public, so there should be some written acknowledgement of maintenance. Likewise, as discussed at the meeting, the overflow parking on the north side of Private Drive – B, is to be moved to the south side of that private drive to account for parking and usage for the park. There is a watermain easement between Private Drive – B and the northern most lot line but the comment from staff will appear in the next section, the utilities sheet. Next, nowhere on the plan is a location for solid waste. The body should not accept any plan without having a designated location for that in this instance. The issue could quickly arise where, if no location is designated, the residents in this area could be leaving their trash bins/dumpsters next to the road which is not what the Village wants. Likewise, no winter maintenance plan is depicted regarding the dead-ends of the private drives. Finally, given the driveway topic later in the Plan Commission agenda, it should also be discussed if this concept plan should be allowed to have fluidity in the driveway placements. For instance, the duplexes 19-I and 19-J, could be allowed to turn 90 degrees to have driveway access off of Sanborn Street. However, staff is hesitant to allow that for other buildings on the concept plan.

Looking at sheet C 2.1, the water and sewer utilities are displayed. Stormwater and electric are not displayed on this sheet. Stormwater is covered in the next sheet; however, electric is never discussed. Staff is, given the shortcomings in the first phase, requesting that electric be displayed. This will limit the extra infrastructure the Village will need to put in. The Village will have to install several new laterals/services to lots 17 and 18 due to the concept changing to more dense improvements. The sewer is deep enough on Sanborn Street that normal flow should be enough to allow gravity fed sanitary sewer for this addition. The watermain easement as mentioned prior is unbeneficial to the Village in its

current placement. Staff believes shifting the fourplex 19-A, 19-B, 19-C, and 19-D north to realign the easement is more beneficial to the Village and will eliminate the extra water main being furnished in the road, as there is an existing watermain stub there. This may result in slight reworking of the walking path on the north side, or even an elimination of that northern leg (not the entire path). Likewise, another option could be to switch this to duplexes. Ultimately, that would be the developer's decision, however, the body could require the stub to be used instead of the proposed new main and valve.

Looking at sheet C 2.2, the drainage plan of the three lots are displayed. Lot 17 and 18 show sheet flow up to the roadway. Lot 19, conversely, has an intricate ditch and swale system to flow stormwater away from the road to the north east corner of the lot. Originally, the plan shows stormwater dumping onto the church lot, however, an agreement was secured prior to the new administration to route water onto the School Districts land to reach the Village owned pond. This change was noted at the meeting and will be updated going forward. One of the only comments staff has on this sheet regard the maintenance of the ditches/swales, similar to the grass mowing and winter maintenance. If the swales and ditches are not maintained, it could lead to water pooling, back up, mosquito havens, foul smells, or spillage onto the Village's ROW. This leads into staff's other comment. There is no storm sewer indicated on the plan. This may not be needed due to the elevation changes on site, which may allow the gutter to convey all stormwater, but the note must still be made as there is nothing in writing indicating the quantity of stormwater is being managed.

Finally, the last item is the zoning. Currently the site is zoned Agricultural Preservation District (A-P). The site would need to be rezoned to Multifamily Residential District (R-4) to properly allow for the proposed plan. Then a Planned Unit Development (P.U.D.) could be applied to allow for some of variances and conditions relating to the site. For instance, in the R-4 zoning ordinance, only multifamily are permitted on the lot, this would be a variance to allow for the proposed intermixing of townhomes and duplexes. Conditional uses of Sec. 58-124 Residential Uses (1) will also need to be included to allow for the proposed plan. The Village would need to rezone the property prior to construction start or would need to request the developer pay to rezone it prior to occupancy. Either option would work, but one, Village rezone, is more cooperative with the developer. A rezone would entail a public hearing and a Class 2 notice. It would be advantageous to include the P.U.D. on the rezone public hearing as well. Although the items and notices will be separate, it will be less confusing to the public. However, staff recommends not approving any P.U.D. until a final concept plan is submitted addressing all comments from staff and MSA for the site. Furthermore, should the Developer want anything else on the site, it must be included in the concept plan. A P.U.D. amendment requires both a public hearing and Village Board approval prior to implementation. With that being reminded, it is advantageous to both the Village and the Developer to include everything that is desired for the site in the P.U.D. plan prior to approval.

This memo was distributed to the Developer and their consultant for their review.

Should you agree with the comments detailed above, a motion would be in order to recommend the Village Board set a public hearing for a rezoning and P.U.D. for Lots 17, 18, and 19.

Respectfully,
Austen

SUBMITTAL NARRATIVE 02-28-2024

Sunrise Subdivision, Lots 17-19 PUD

Lynn Properties of Pardeeville, LLC

EXECUTIVE SUMMARY

Lynn Properties of Pardeeville, LLC requests General Development Plan (GDP) approval from the Village of Pardeeville for the development of Phase 2 of Sunrise Subdivision, Lots 17, 18 and 19. This submittal is a petition pursuant to Village Zoning Ordinance for GDP approval as well as pursuant to the Development Agreement. This submittal follows precisely with the requirements of the Village's Zoning Ordinance pertaining to PUD Zoning, as well as specific local requirements for utility and drainage planning.

Our office has prepared submittal documents to help explain the project and communicate the development plan. Those documents are as follows:

- Narrative (this document)
- Site Plan
- Utility Plan
- Drainage Plan

The Developer has sold or developed at least 80% of the Units in Phase 1 and wants to keep the momentum going while having the contractors available.

This step is a preliminary planning and zoning step in which a favorable GDP action would essentially rezone the property to PUD zoning, following the submitted Site Plan, approval Final Plat and Development Agreement. In this particular case, we have advanced key issues such as drainage and utilities so as to avoid those issues becoming major items of discussion in this preliminary process. Those items would not normally be required. As such, there is prior and ongoing investment by Lynn Properties of Pardeeville LLC towards this effort and it is clear there is a solid commitment on this project.

We look forward to presentation of this plan, confirmation on the PUD and favorable action forward on the GDP.

This narrative covers the following key planning items:

- A. Existing Site
- B. Site Plan Development
- C. Aesthetics, Landscaping
- D. Water and Sanitary Utilities
- E. Storm Water Management
- F. Schedule

A. EXISTING SITE. The existing site has direct access from improved urban street (Sanborn Street). The site aspect is described as follows:

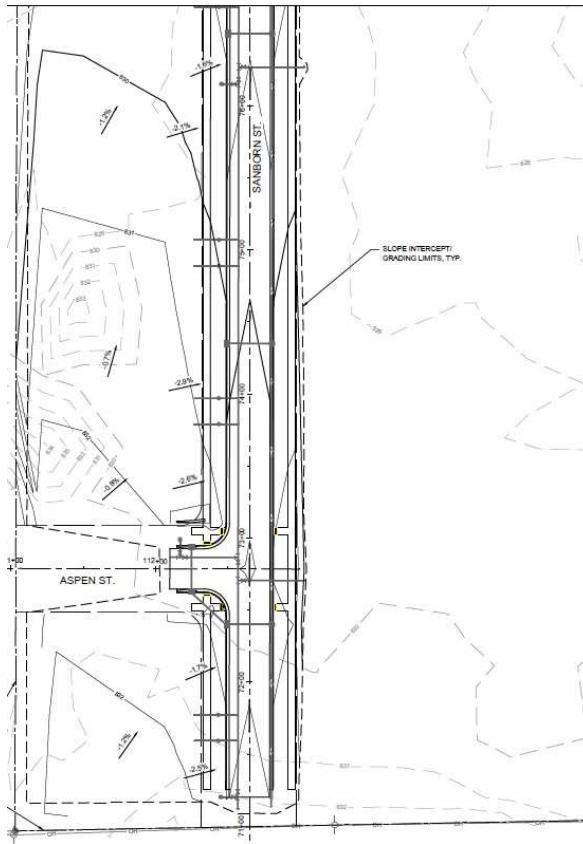
1. **LEGAL.** Lots 17-19 are lots created as a part of the Sunrise Subdivision in Pardeeville, WI. The west and south boundary line are a common line for possible future residential development within the Village, as part of the master plan. The east property line and majority of the north property line is adjacent with the Pardeeville Area School District. There is adequate right-of-way dividing the lots. The Tax Parcel numbers are 11171-628.17, 11171-628.18 and 11171-629.19 with a total acreage of 8.54 acres. In the phasing of the Sunrise Subdivision development, the property is described as the “PUD Development of Lots 17-19, Phase 2”. The parcels are recorded on the Sunrise Subdivision Plat as a PUD (Planned Unit Development) zoning district.



Aerial Photo of Sunrise Subdivision from Google Earth (Pre-Project)

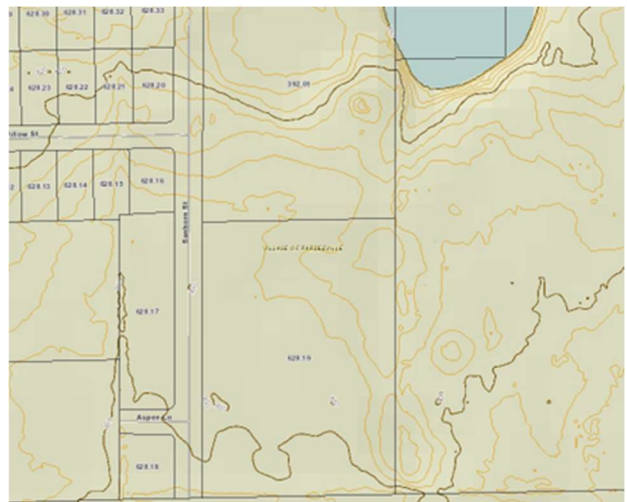


2. TOPOGRAPHY. Lot 17-19 was originally surveyed as part of the plat and planning process for the LaFollette Street Area Development project for the Village. Their office provided the lot boundaries, the Sunrise Subdivision Plat and prior mapped current topography along with the adjoining infrastructure plans. The existing site prior to the LaFollette Street Area Development was previously an agricultural tract of land. For the 2023 project, Lots 17-19 were graded and generally leveled.



Excerpt from
MSA
Construction
Plans
for
Sanborn St.

3. DRAINAGE. The southwest boundary of Lot 19 has gradual slope of 2% to the northeast corner of the site. It appears the site drains to the north generally, to the pond located on Village parcel 11171-388.A. Lots 17 and 18 drain from the rear of the property to the future Sanborn Street. Ultimately, once Sanborn St. is improved, drainage patterns would be quickly intercepted by roadway curb drainage and directed to planned storm water management areas that have been designed and installed as part of the Sunrise Plat.



4. **SITE ACCESS.** Access to the site is available from an unimproved planned right-of-way (Sanborn Street). The development was planned as part of Sanborn St. in Sunrise Subdivision. It is anticipated that Sanborn Street and Aspen Street would be improved by the Village in conjunction with the commencement of the Development of Lots 17-19. The local speed limit is 25 MPH, so no major driveway siting/visibility issue is anticipated.
5. **EXISTING UTILITY SERVICE.** Similar to the site access, existing underground utility lines will need to be extended along Sanborn St. from the 2023 LaFollette Street Area Development project termination point. The utilities for Lots 17-19 were also planned as part of Sanborn St. in Sunrise Subdivision. In addition, electric, fiber optic and gas will need to be considered in the Village right-of-way for the development. It is anticipated that the utilities for Sanborn Street and Aspen Street would be improved by the Village in conjunction with the commencement of the Development of Lots 17-19. See attached GDP Utility Plan.
6. **ZONING.** The property is designated as a PUD in the Sunrise Subdivision Plat. The terms of the PUD are reduced to a General Development Plan (GDP) pursuant to the documents submitted herein and Specific Implementation Plan (SIP) pursuant to Village Code. The SIP will be submitted, as per the ordinance, upon approval of the GDP and completion of full-engineering plans and specs. At this time, a rezone with Public Hearing will need to be performed as part of the approval process. Architectural renderings are provided to show the character and intent of the finish building style/materials/appearance.

B. SITE PLAN DEVELOPMENT. The Master Site Plan that is attached shows a total of 58 multi-family units for the condominium property development. Each 4-Unit Townhome Condominium contains 3 bedrooms and 1 loft. Each duplex contains 4 bedrooms. The proposal contains 56 bedrooms and 12 lofts.

- a. Lot 17 is comprised of 12 units, (2) 4-unit buildings and (2) duplexes on 1.36 acres, consisting of 14 bedrooms and 2 lofts.
- b. Lot 18 is comprised of 4 units, (1) 4-unit building on 0.45 acres, consisting of 3 bedrooms and 1 loft.
- c. Lot 19 is comprised of 42 units, (9) 4-unit buildings and (3) duplexes on 6.73 acres, consisting of 39 bedrooms and 9 lofts.

Please see the attached GDP Site Plan for the building configuration. The Developer intends to start construction in mid-2024. They will commence on Lot 17, then work north to Lot 18 and east to Lot 19.

1. **AESTHETIC FAÇADE.** A 4-Unit Town Home and *The Urbandale* Duplex will be constructed in Lots 17-19. The facades are proposed to add a unique site appearance. A rendering/perspective is shown below, including representation on the intended colors for the building.





Proposed 4-Unit Townhome Condominium for Lots 17-19



Proposed "Urbandale" Duplex for Lots 17 and 19

2. SURFACE. The site will be improved with a paved surface as shown on the Site Plan. The remaining areas will be graded and restored to a turf condition.
3. FIRE AND EMERGENCY SERVICES. The site has been arranged to accommodate serviceability by Fire and Emergency services vehicles. A 22' pavement width is proposed which is expected to facilitate most fire truck turning movements.

C. AESTHETICS, LANDSCAPING. The site has been designed to focus around Lilly's Park with amenities that include a gazebo, green spaces, and dog parks within. The building facades and end caps will add decoration to the building elements. Landscaping elements will be placed in key locations on the subject site, based on layout and roadway perspective. The care and maintenance of these open spaces will be managed and organized by the Condominium Association for Lots 17-19.

D. WATER AND SANITARY UTILITIES. For Lot 19, the Village installed an 8" sanitary sewer main stub and a 6" water main stub in 2023, as part of the LaFollette Street Area Development project. The Developer will connect to each of these utilities in the right-of-way to realign the direction of each. See attached GDP Utility Plan. The utilities will then run in a loop (East-South-West) to



reconnect on onto Sanborn St. at the southern end, near the Aspen St. intersection. As shown on the Utility Plan, some of the connections on Lot 19 will be direct connections off Sanborn St., once the sewer and water mains have been installed. There will be utility and access easements throughout the site for the Village to own and maintain the sewer and water mains.

For Lot 17 and Lot 18: Two sets of laterals (both sewer and water) were installed for the north most duplex on Lots 18 as part of the LaFollette Street Area Development project in 2023. The intent was to have one set of laterals installed on the north side of the duplex and the other set installed on the south side of duplex. The center of the two sets were installed approximately 62' from the north lot line of Lot 18. While not ideal, the Developer will connect onto all 4 laterals and realign accordingly. Once the remaining portion of sewer and water main is installed on Sanborn St. to the south plat line, each unit will have their own connection at the main. It should be noted that the temporary hydrant (located approximately 200' south of Willow St.) will need to be re-located for this phase.

E. STORM WATER MANAGEMENT. The storm water management plan will follow Village requirements for storm water and erosion control pursuant the Developer Agreement and Village Code. See attached GDP Drainage Plan attached to this submittal package.

The proposed Lot 19 is designed to collect and convey runoff using inverted crowns, connected gutters, culvert pipe and ditches. Any runoff not kept on site will release through a stormwater swales in various locations internally, and then ultimately in the eastern rear property line. The overall concept of runoff management is for infiltration on low-flow storm events, followed by internal storage and then overflow to offsite. The general direction of drainage is towards the northeast corner of Lot 19. A connecting swale is therefore proposed between the proposed site and a drainage point which is located on lands by the Pardeeville Area School District. The swale will convey the runoff to an existing stormwater pond, owned by the Village and located on the south side of the High School parking lot. The school also utilizes this pond for storm water runoff for their parking lot. The School District and RPS will be meeting on 02/29 to continue the conversation (positive conversation thus far) regarding the need for the Village's Sunrise Subdivision to construct the swale on the schools' property between Lot 19 and the storm water pond, for purposes of carrying this runoff to the pond.

F. SCHEDULE. The anticipated project schedule is as follows:

End of March	Public Hearing and Rezone for the PUD
April 2024	Board Approval
April 2024	Condominium Plat Completion,
May 2024	SIP Completion
May 2024	WDNR Permitting & Local Building Permitting
June 2024	Groundbreaking on Lots 17 - Lot 19



Do not hesitate to contact me with any questions or if clarification is necessary in any item.

Respectfully Submitted,

ROTH PROFESSIONAL SOLUTIONS



Erin M. Salmon, P.W.M., Municipal Consultant
On behalf of Robert J. Roth, PE
President of RPS Professional Solutions

Enclosures: GDP Site Plan
GDP Utility Plan
GDP Drainage Plan

cc: Lynn Properties of Pardeeville, LLC
Joe DeYoung, PE MSA Professional Services

SENT VIA EMAIL
SENT VIA EMAIL



File: C:\USERS\WAYNE\CASPER\DOCUMENTS\SPS\WORK\PROJECTS\2024\2024-110 (B)\2024-110 (B) BASE DWG - Sheet Name: 5, ANSI FULL BLEED B (11.00 X 17.00 INCHES), Date: 2/27/2024 9:26 AM, By: Wayne Casper

LANDS BY
PARCEL # 11171-628.15
LYNN PROPERTIES
PARDEEVILLE LLC
2500 NEW PINERY RD
SUITE 2
PORTAGE, WI 53901
0.31 ACRES

LANDS BY
PARCEL # 11171-628.16
LYNN PROPERTIES
PARDEEVILLE LLC
2500 NEW PINERY RD
SUITE 2
PORTAGE, WI 53901
0.364 ACRES

LANDS BY
PARCEL # 11171-392.01
ST JOHNS EVANGELICAL
LUTHERN CHURCH
505 EAST LAFOLLETTE
STREET
PARDEEVILLE, WI 53954
7.0 ACRES

LANDS BY
PARCEL # 11171-388
PARDEEVILLE SCHOOL
DISTRICT
120 SOUTH OAK STREET
PARDEEVILLE, WI 53954
41.3 ACRES

LANDS BY
PARCEL # 11171-290.F
VALERIE J HOFFMANN
TERRY R. PEASE
TYLER E PEASE
N 6752 CTH SS
CAMBRIA, WI 53923
10.25 ACRES

LANDS BY
PARCEL # 11171-290.E
VALERIE J HOFFMANN
TERRY R. PEASE
TYLER E PEASE
N 6752 CTH SS
CAMBRIA, WI 53923
6.35 ACRES

LANDS BY
PARCEL # 11171-294.04
HEAPS, THOMAS M
N6776 ST RD 22
PARDEEVILLE, WI 53954
103.08 ACRES

DEVELOPMENT CONCEPT LOT #17

NUMBER OF CONDO UNITS:	12
GREENSPACE:	33,017 SF (0.76 ACRES)
COMMUNITY SPACE:	51,910 SF (LOT #19)
DRIVEWAY PARKING:	24 STALLS
SITE PARKING:	0 STALLS
EXISTING ZONING:	AG
PROPOSED ZONING:	PUD
FRONT SETBACK:	12'
SIDE SETBACK:	12'
REAR SETBACK:	12'

DEVELOPMENT CONCEPT LOT #18

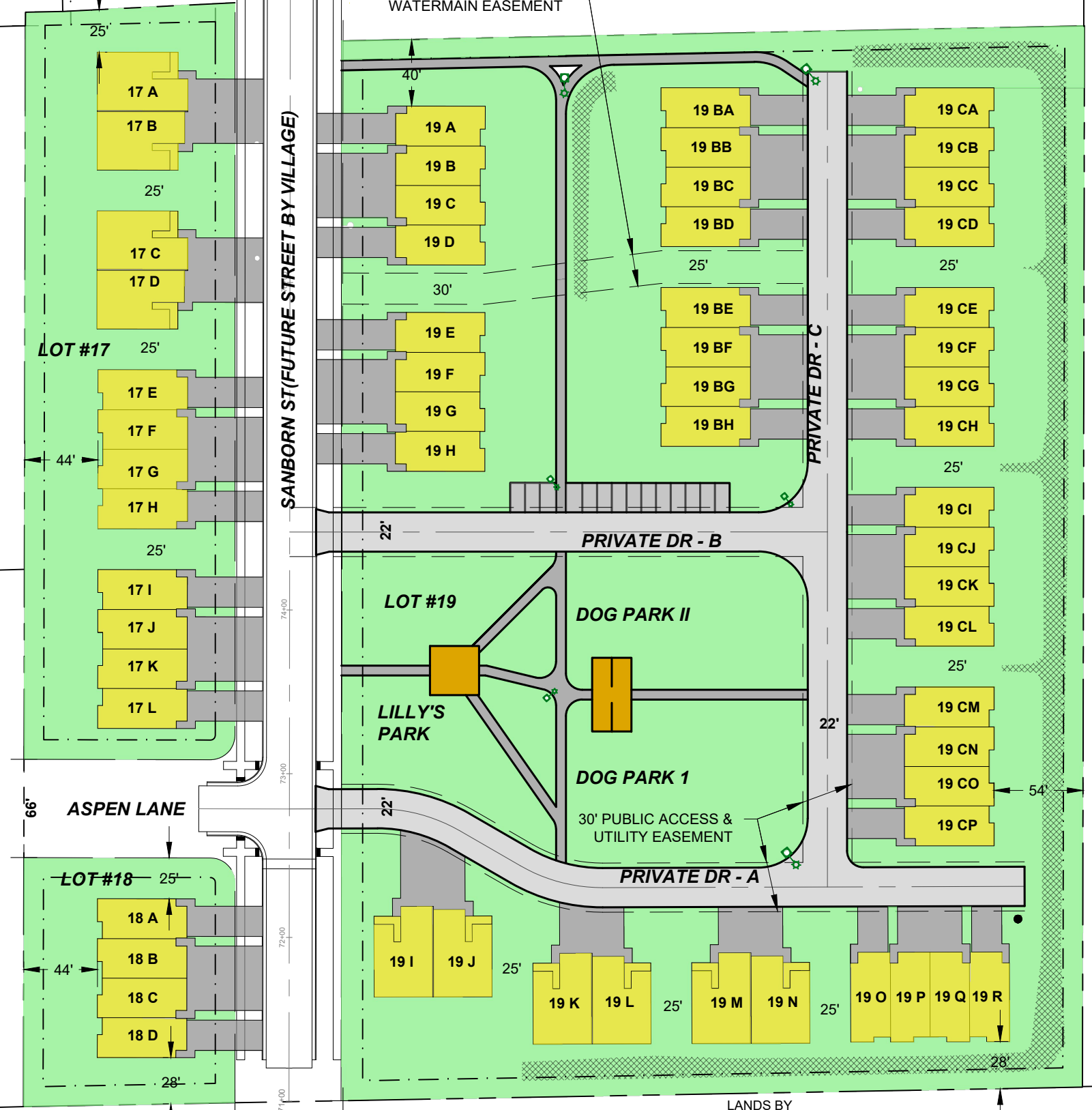
NUMBER OF CONDO UNITS:	4
GREENSPACE:	11,553 SF (0.27 ACRES)
COMMUNITY SPACE:	51,910 SF (LOT #19)
DRIVEWAY PARKING:	8 STALLS
SITE PARKING:	0 STALLS
EXISTING ZONING:	AG
PROPOSED ZONING:	PUD
FRONT SETBACK:	12'
SIDE SETBACK:	12'
REAR SETBACK:	12'

DEVELOPMENT CONCEPT LOT #19

NUMBER OF CONDO UNITS:	42
GREENSPACE:	40,405 SF (0.93 ACRES)
COMMUNITY SPACE:	51,910 SF (1.19 ACRES)
DRIVEWAY PARKING:	84 STALLS
SITE PARKING:	14 STALLS
EXISTING ZONING:	AG
PROPOSED ZONING:	PUD
FRONT SETBACK:	12'
SIDE SETBACK:	12'
REAR SETBACK:	12'

SITE LEGEND

	GREENSPACE
	DRIVEWAYS
	PRIVATE ROADS, PUBLIC EASEMENTS
	CONDOS
	STORM WATER MANAGEMENT AREA
	PATHWAYS



LH
Lynn Holdings
2800 New Pinery Rd, Ste 2
Portage, WI 53901
www.LynnHoldings.com
Office: 608-960-9690
Mobile: 630-292-0554

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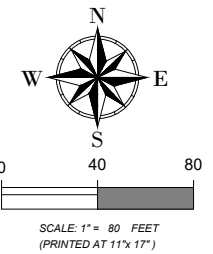
GDP SITE PLAN

LOTS #17, #18, & #19

LYNN PROPERTIES PARDEEVILLE LLC

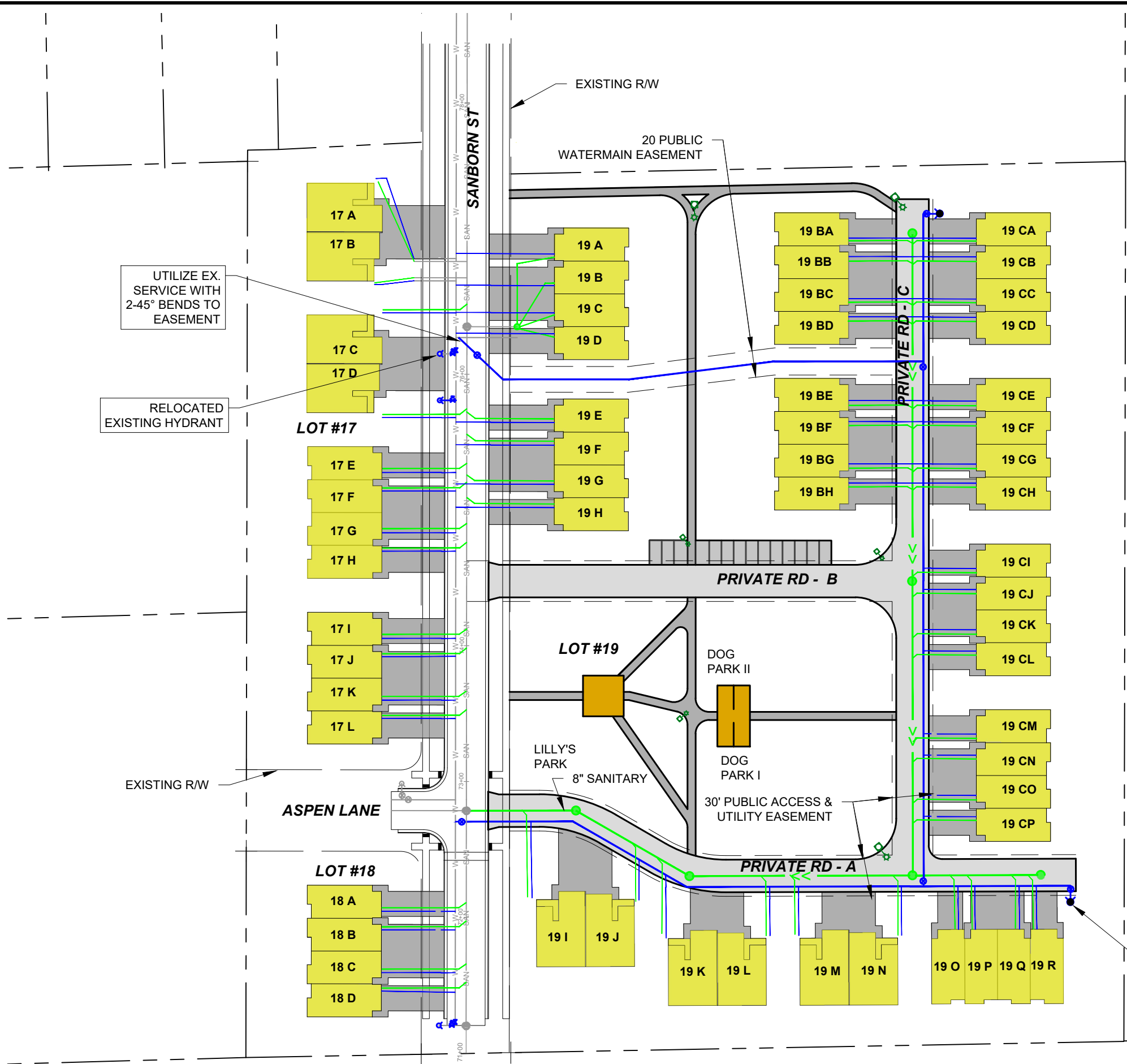
VILLAGE OF PARDEEVILLE, COLUMBIA COUNTY, WISCONSIN

GDP SUBMITTAL
02/28/24



PROJECT NO:	2024-110 (B)
DATE:	1/05/24
DESIGNED BY:	RJR
DRAWN BY:	WAC
SHEET:	C 2.0

File: C:\USERS\WAYNE\CASPER\DOCUMENTS\RPS\WORK FOLDER\DSK1\PROJECT FILES 2024\2024-110 (B)\2024-110 (B) BASE DWG - Sheet Name: 2, ANSI FULL BLEED B (11.00 X 17.00 INCHES), Date: 2/27/2024 9:25 AM, By: Wayne Casper



UTILIZE EX. SERVICE WITH 2-45° BENDS TO EASEMENT

RELOCATED EXISTING HYDRANT

LEGEND	
	EX. SANITARY/FUTURE SAN BY VILLAGE
	PROPOSED WATER MAIN (6")
	PROPOSED SANITARY SEWER
	PROPOSED WATER LATERAL
	PROPOSED SANITARY LATERAL
	SECURITY YARD LIGHT
	EXISTING HYDRANT / FUTURE VILLAGE
	PROPOSED HYDRANT LOT #19
	PROPOSED WATER VALVE
	EXISTING SANITARY MANHOLE/ FUTURE VILLAGE
	PROPOSED SANITARY MANHOLE 4' DIA.

HYDRANT, (TYP)

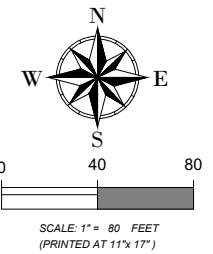
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Lynn Holdings
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Portage, WI 53901
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Office: 608-960-9690
Mobile: 630-292-0554

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GDP UTILITY PLAN

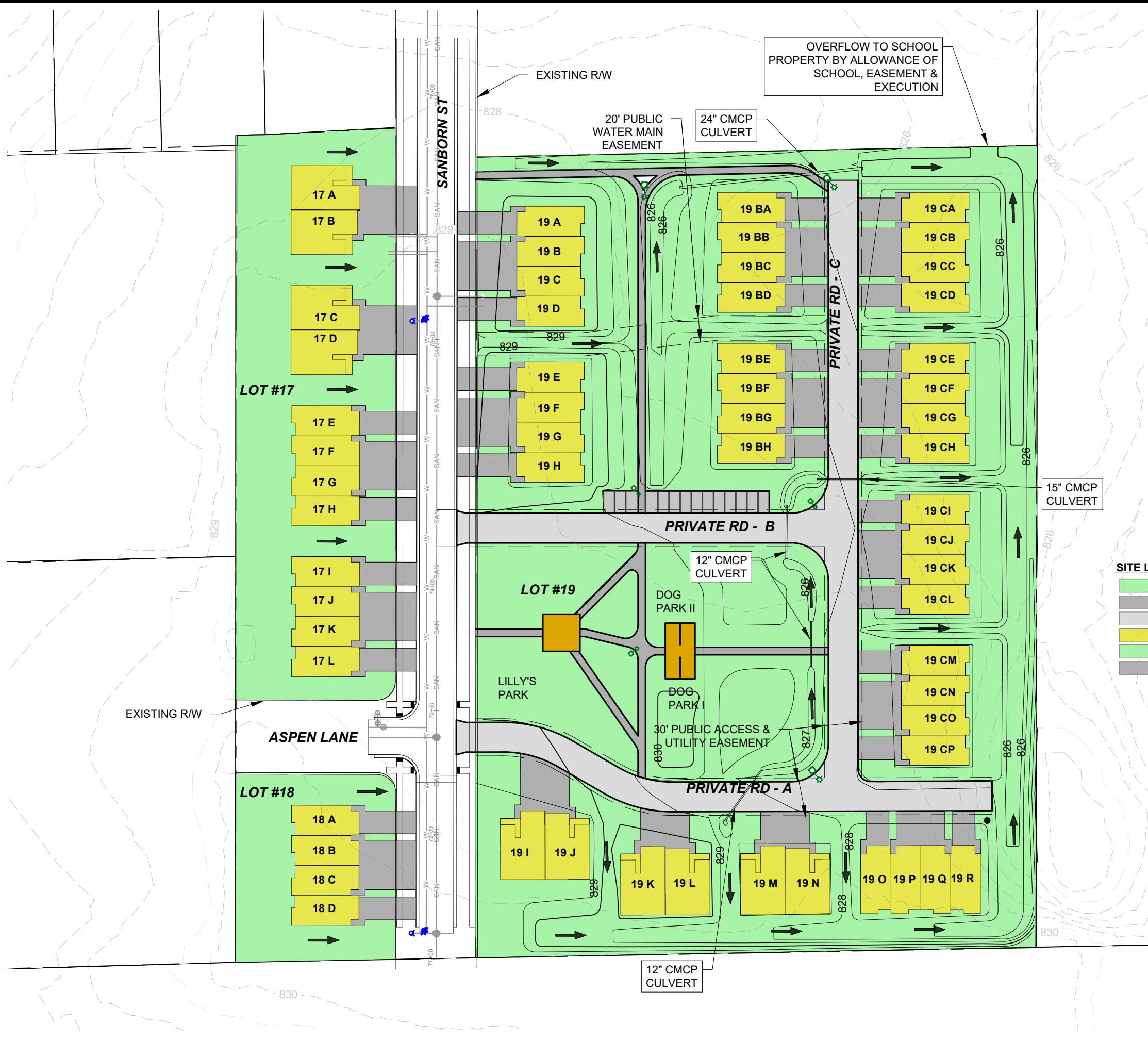
LOTS #17, #18, & #19
LYNN PROPERTIES PARDEEVILLE LLC
VILLAGE OF PARDEEVILLE, COLUMBIA COUNTY, WISCONSIN

GDP SUBMITTAL
02/28/24



PROJECT NO:	2024-110 (B)
DATE:	1/05/24
DESIGNED BY:	RJR
DRAWN BY:	WAC
SHEET:	C 2.1

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SITE LEGEND

- GREENSPACE
- DRIVEWAYS
- PRIVATE ROADS, PUBLIC EASEMENTS
- CONDOS
- STORM WATER MANAGEMENT AREA
- PATHWAYS

LH
Lynn Holdings
2800 New Pinery Rd, Ste 2
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www.LynnHoldings.com
Office: 608-960-9690
Mobile: 630-292-0554

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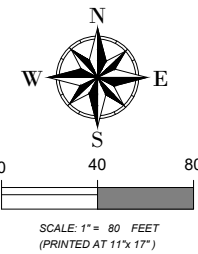
GDP DRAINAGE PLAN

LOTS #17, #18, & #19

LYNN PROPERTIES PARDEEVILLE LLC

VILLAGE OF PARDEEVILLE, COLUMBIA COUNTY, WISCONSIN

GDP SUBMITTAL
02/28/24



PROJECT NO: 2024-110 (B)

DATE: 1/05/24

DESIGNED BY: RJR

DRAWN BY: WAC

SHEET: C 2.2



To: Village of Pardeeville Village Board
From: Joe DeYoung, P.E.; Brad Vowels-Katter, Associate Planner
Subject: Sunrise Subdivision, Lots 17-19 PUD GDP Review
Date: Tuesday, March 12, 2024

General Development Plan (GDP) Review

Information provided by the applicant has only recently been shared with a limited amount of time provided for a full review prior to the Village Board meeting where this will be considered for action. MSA and Village Staff continued working on the proposed schedule and discussions related to the next steps for approval will need to be verified at the Plan Commission meeting.

Planned Unit Developments (PUD) are regulated by Village Ordinance Sec. 58-83. The following comments are applicable to the procedural requirements for rezoning to a PUD. The submitted GDP was reviewed pursuant to provisions specified in the ordinance language:

- 1) *General development plan. A general development plan shall include the following information:*
a) *A statement describing the general character of the intended development.*

MSA Comments:

1. PUD Narrative Comments

1. In general, details regarding the PUD are vague and will require clarification prior to the public hearing and approval from the board. Information pertaining to the PUD ordinance will be determined and discussed with the applicant.
2. The GDP will need to specify that information has not been submitted at this time regarding several aspects needed for plan approval. The proposed timeline of the information is with the Specific Implementation Plan (SIP) documents which includes:
 - i. Landscape plan - None
 - ii. Stormwater management plan – verbal information was discussed within the memo. No documentation to support the storm water report is provided and cannot be verified.
 1. This includes the dependency of storm water management offsite within the school district property.
 - iii. Construction plans – None (Utility plan only)
 - iv. Condo association, developer’s agreement, ect.
3. On the meeting with MSA and staff, additional information regarding the floor plans and details for the building were provided. These documents will need to be included and attached as an appendix which provided floor plans and references to basements. Specify in the GDP if basements are included with the proposed PUD.
 - i. Verification if basements are anticipated in the development of Lots 17-19

4. Zoning Information included on the site plan should be verified for accuracy and included in the GDP narrative formatted similarly to a zoning ordinance table with requested variances listed should be compared to the closest applicable zoning district.
 - i. Typically, justifications as to why current zoning districts are not applicable and a PUD is needed are included in the GDP Narrative.
 - ii. Verify setback distances are accurate. Explain why is a 12' rear setback needed as a variance when current site setback is shown at 28+/- feet.
 - iii. The current zoning of A-P is not consistent with the Village's Future Land Use Map. Since the underlying zoning to the property is not similar to the proposed use, a zoning change should be completed. When implementing a PUD, best management practices typically use a comparable existing district for a zoning lot minimum, bulk standards and setback requirements. Since the existing zoning provides the PUD framework, it is only necessary to list the variances that will be implemented compared to existing district standards.
 1. For instance, R-4 could be used as the foundational ordinance but if a higher density, smaller setback, or lot width were required to accommodate the proposed plan and mix of uses, those variances would be listed out in a table similar to those found in many zoning ordinances. Comparable information has been provided on the site plan, but should be part of the GDP Narrative description.

PD Zoning Rationale & Exemptions

The Planned Development (PD) classification will allow for density that supports more affordable homes/ lots, requiring smaller lots with reduced setbacks. While the developer has been able to provide single-family home designs to meet R-5 and R-6 lots, the duplex footprints cannot fit per the TR-6 rear setback requirement.

Through this GDP, the developer is requesting exemptions, allowing for reduced rear setback minimums for the duplex (or zero lotline twin-home) lots, as outlined below. This will allow the developer to maintain a uniform minimum setback following the SR-6 requirement, while allowing for building placement that holds the street edges.

PD Lots (per Figure 1): Lots 1-18, 32, 43-44, 59-60, 66-71, 75-82, 94-97, and 104.

PD Min. Rear Setback Request: 20 feet

For reference:

TR-6 Min. Rear Setback: 30 feet

SR-6 Min. Rear Setback: 20 Feet

Figure 1: Example of GDP Zoning Variance Description (provided by others)

b) An accurate map of the project area including its relationship to surrounding properties and existing topography and key features.

MSA Comments:

1. With the 2024-110(B) Base-C 2.0-Proposed and the 2024-110(B) Base-C 2.2 Drainage Plan, the applicant has provided an accurate map of the project area including its relationship to surrounding properties and existing topography and key features.
2. The plan changes are consistent with the Village's Comprehensive plan future land use map.

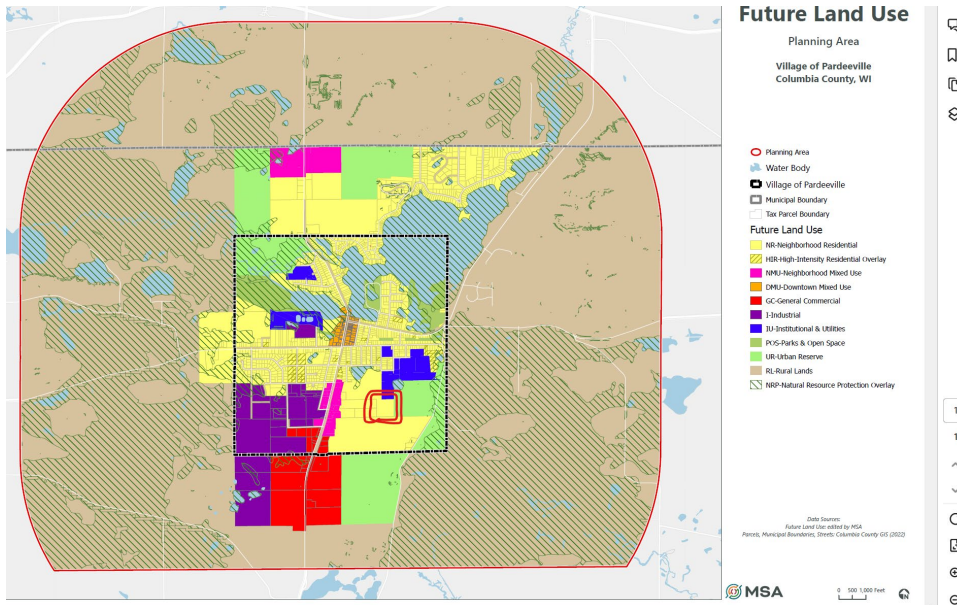


Figure 2: Village of Pardeeville Future Land Use Map (2022)

c) A plan of the proposed project showing at least the following information in sufficient detail to make possible the evaluation of the criteria for approval as set forth in subsection (c) of this section:

1. The pattern of proposed land use, including shape, size and arrangement of proposed land areas, density and environmental character.

MSA Comments:

- Information regarding the current zoning as Agriculture Preservation which stipulates conditions whereby AP can be rezoned per Village Ordinance 58-78 (a). No information provided explaining justification for rezone.
 - a. Suggesting the most similar existing zoning district and using those requirements as a framework are typical of many PUD applications. Variances that will be needed to accommodate the development of the site plan are usually highlighted with some narrative explanation expected.
- All other information has been addressed.

2. The pattern of public and private streets.

MSA Comments:

- To be determined prior to the meeting but the site plan has not been verified by Fire and EMS. Modifications to the plan may be necessary specially dealing with the private roads.
- Cul-de-sac or hammerhead dead ends may be needed to accommodate larger vehicle entry/egress along Private Roads 'A' and 'C'
- Alternately, the sidewalk along the north edge of lot 19 may be used as alternative emergency vehicle access if widened to 10' and used as a Mixed Use Path. Comments related to the Village DPW will need to be evaluated as the buildings shift.
- Utilities are not finalized and will be adjusted as necessary within the SIP.
- Clarification of the shared cost between private and public funds will be identified and laid out with the final plans.
- No improvements to Aspen Lane are anticipated with the proposed development.

3. The location, size and character of recreational and open space areas reserved or dedicated for public uses such as school, park, greenway, etc.

MSA Comments:

- Dedicated open space should be indicated as private owned/maintained by future determined managing organizational structure as part of the GDP narrative.

4. A utility feasibility study.

MSA Comments:

- Utility Design/Feasibility study is not submitted with GDP. This information can be provided with the Specific Implementation Plan (SIP) but must be stipulated as such in the GDP narrative.
 - a. Watermain for the site if public will be a minimum of 8-inches. An extension of the easement or potential watermain to the school property line may be required.
 - b. Stormwater – no information except a drainage plan was provided.

d) Appropriate statistical data on the size of the development ratio of various land uses, percentages of multifamily units by number of bedrooms, economic analysis of the development, expected staging and any other plans or data pertinent to evaluation by the village under the criteria of subsection (c) of this section.

MSA Comments:

1. Statistical data is not submitted with GDP. This information can be provided with the (SIP) but must be stipulated as such in the GDP narrative.

e) General outline of intended organizational structure related to a property owners association, deed restrictions and private provision of common services.

MSA Comments:

1. Organization structure is not submitted with GDP. This information can be provided with the (SIP) but must be stipulated as such in the GDP narrative.

MSA Recommendation

MSA recommends conditional approval of the PUD rezoning and GDP presented for review provided the following conditions are satisfactorily met prior to final approval for construction:

1. To be discussed, the recommendation to forward the recommendation and public hearing along with contingent approval to the Village board. The Village Board will hold and provide appropriate notice for a public hearing and moves to recommend to the Village Board that the Lots 17-19 be rezoned as R-4 Multifamily Residential District and be retroactively approved provided all conditions herein are satisfied.
 - a. The subsequent R-4 zoning designation will form underlying basis for the variances requested for the proposed PUD outlined in the GDP narrative
2. Information gaps identified in this GDP review are adequately addressed or documented within the GDP Narrative
3. A description of the variances to the zoning as specified needs to be specifically identified in the GDP.
4. During the process of the developer's agreement amendment, the potential of the Sandborn Street extension adjacent to Lots 17-19 will be considered the responsibility of the applicant. Reimbursement options with the Village will be included.

DRAFT



Public Works Director Memo

Meeting Date: 19 MAR 2024

Topic: Driveway Access

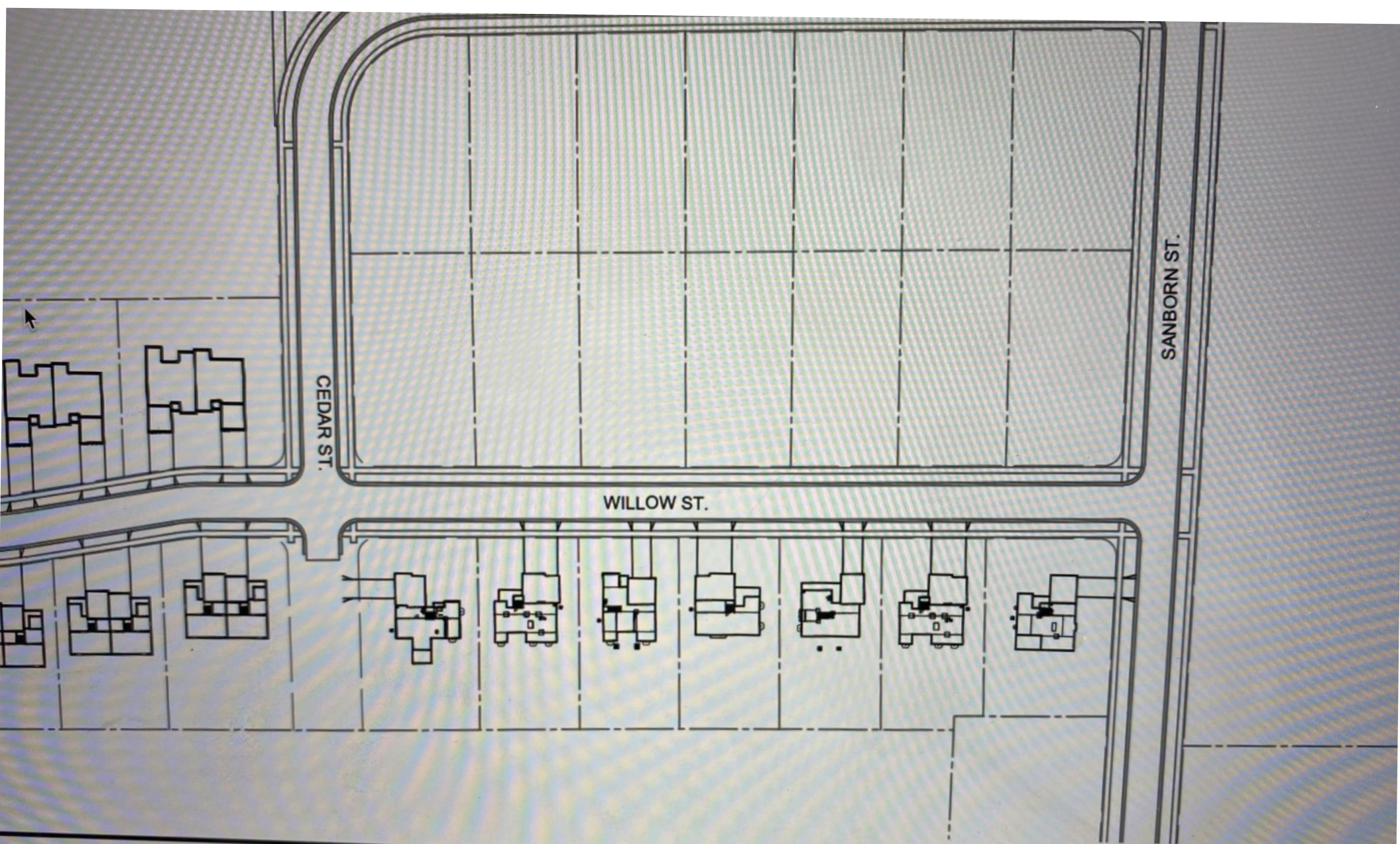
This memo is in regards to the Driveway Access agenda item.

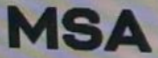
Attached is a draft copy of the requested alteration.

The developer is looking to move driveway access from Willow to Cedar on the lots at the intersection of Cedar and Willow and the same idea at the Willow and Sanborn intersection. While staff does feel that it could be feasible with the lots on Sanborn and the lots on the northern side of the Cedar-Willow intersection. However, staff does not recommend allowing this change for the lots on the southern side of the Cedar-Willow intersection. Due in part, for the unconstructed condition of the road. At the intersection, the Village's ROW extends south but the roadway is not improved south. It is, for all intents and purposes, an open field. There is no subgrade work, base work, utilities in, or proper grading to account for the traffic that we would be routing onto this portion of the road. Granted it would only be one lot, but that would require Village to maintain this section to a greater degree than originally required. Currently, the maintenance of this would only be mowing periodically. Likewise, it poses a potential safety risk due to the minimal accessibility, especially in the event of an emergency and winter maintenance going down that small dead-end would be difficult. Furthermore, as the Village, it has a role to protect and serve the residents of the Village, it is staff's opinion that this change would not meet the Village's goal. By allowing this change, the impact of future construction on this homeowner will be substantial.

Should you agree with the opinion documented above, a motion would be in order to recommend the Village Board approve of the driveway change for the Willow-Sanborn intersection and the northern Willow-Cedar intersection but not approve the driveway change on the southern side of the Willow-Cedar intersection.

Respectfully,
Austen



 <p>ENGINEERING ARCHITECTURE SURVEYING FUNDING PLANNING ENVIRONMENTAL 1702 Pankratz St Madison, WI 53704 (608) 242-7779 www.msa-pi.com <small>© MSA Professional Services, Inc.</small></p>	<p>LYNN PROPERTIES PARDEEVILLE LLC - RESIDENTIAL DEVELOPMENT PROJECT VILLAGE OF PARDEEVILLE COLUMBIA COUNTY, WI</p>	<p>BUILDING LAYOUT CONCEPT PLAN</p>	<p>221</p>
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Original Site Plan.png
Phase 1 Property Lines.png
Automation
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