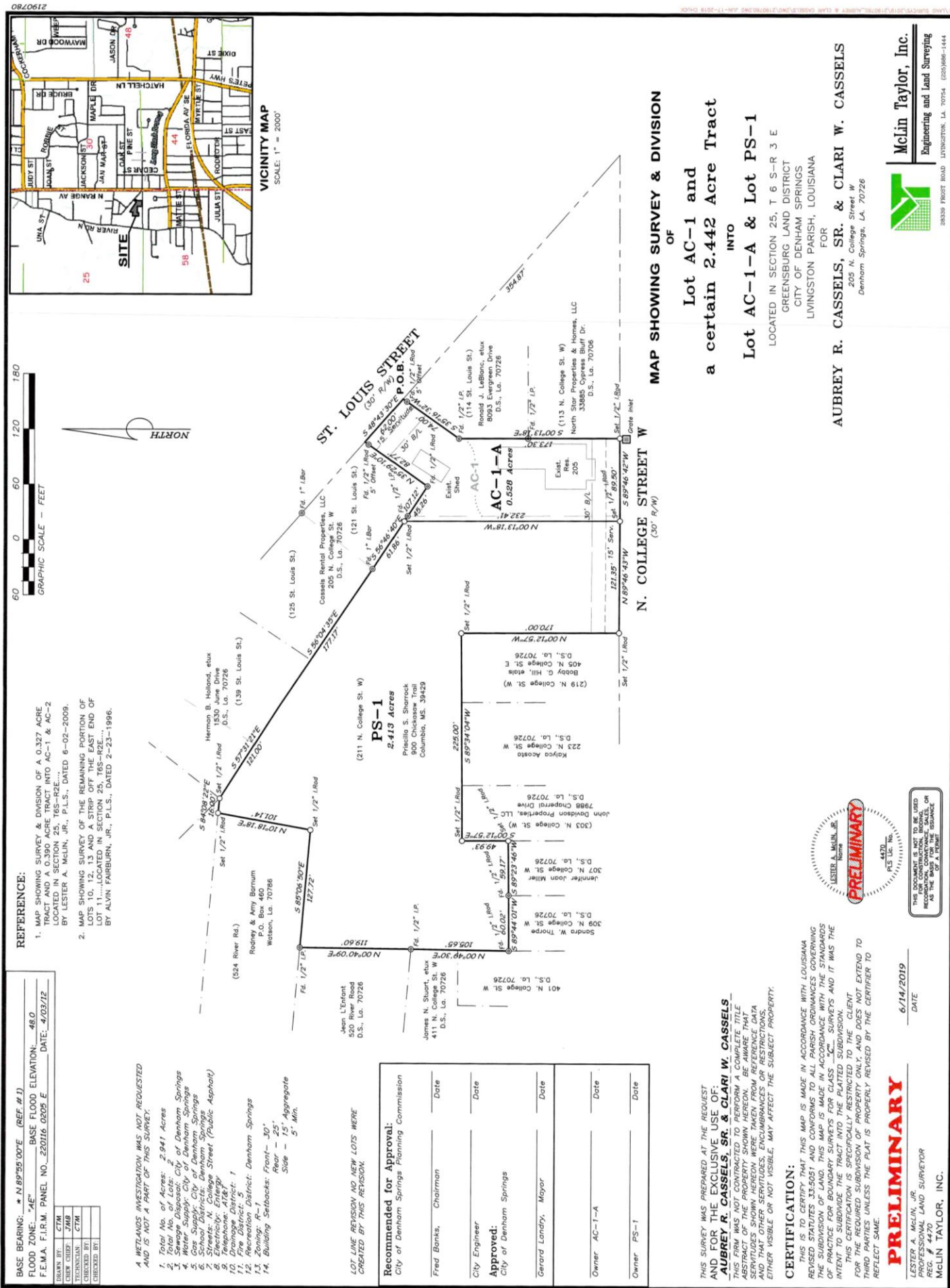


Planning Item #2



Zoning Item #2

NO DRAWING
OF THIS PLAN VIOATES U.S.
IS SUBJECT TO LEGAL
CONSEQUENCES. IT IS THE PROPERTY OF
THE U.S. GOVERNMENT AND IS NOT TO
BE REPRODUCED IN ANY MANNER
WITHOUT PERMISSION.

APPENDIX SUMMARY

AGE: 0.37 MOBILE
C-3
20' - FRONT
2' - BACK
20' - FRONT
AGE: VACANT
MULTIFAMILY (4-FLU)

INFORMATION

8 ASSOCIATES, LLC
AVENUE
LOS ANGELES, CA 90020
310-771-1212
1-800-771-1212

UTILITY CONTRACTS

WALTER DE
TOWN OF
212 EAST
LEWIS ST
222
MILLIE, LA
70441

PHONE: (505) 248-3024 FAX: (505) 248-3024
TOWNSHIP: JAMES CITY WATER DEPT
213 EAST MAIN STREET

MEMPHIS, LA. 70211
PHONES: (504) 748-8781 FAX: (504) 748-2723
TELEPHONE
FAX

3415 S. MORGAN BLVD
HAWTHORNE, LA
(504) 345-9000

ATLANTA DISTRICT COMMUNITY ACTION
ATLANTA CLASSIC RESEARCH
P.O. BOX 600325
DALLAS, TX 75269-0325
PHONE: 1-800-222-8700

2072
MAY 14 7 04-72
JAN 01 10 00 AM '72
1
HEALTH INFORMATION
INSTITUTIONS 593

CONTACT: (800) 746-2412 FAX: (800)
CENTRE
STATION
STATE, LA 70100

FLOOD ZONE INFORMATION

FOR FORM, FLOOD MAP, PANEL NO. 2009-34-002, DATED
AUG. 3, 2010 FOR LAKELAND PARK, FL. THE PRESENTS
LOCATED ENTIRELY IN FLOOD ZONE "C". ANTIWAVE BASE
FLOOD ELEVATION 45.25'. THIS ELEVATION IS SUBJECT TO
CHANGE AND THE CHANGES IN FLOOD ELEVATION SHOULD
BE OBTAINED FROM THE CITY OF LAKELAND OFFICE OF
PLANNING AND DEVELOPMENT PRIOR TO CONSTRUCTION.

CROSS-SECTION "A-A"

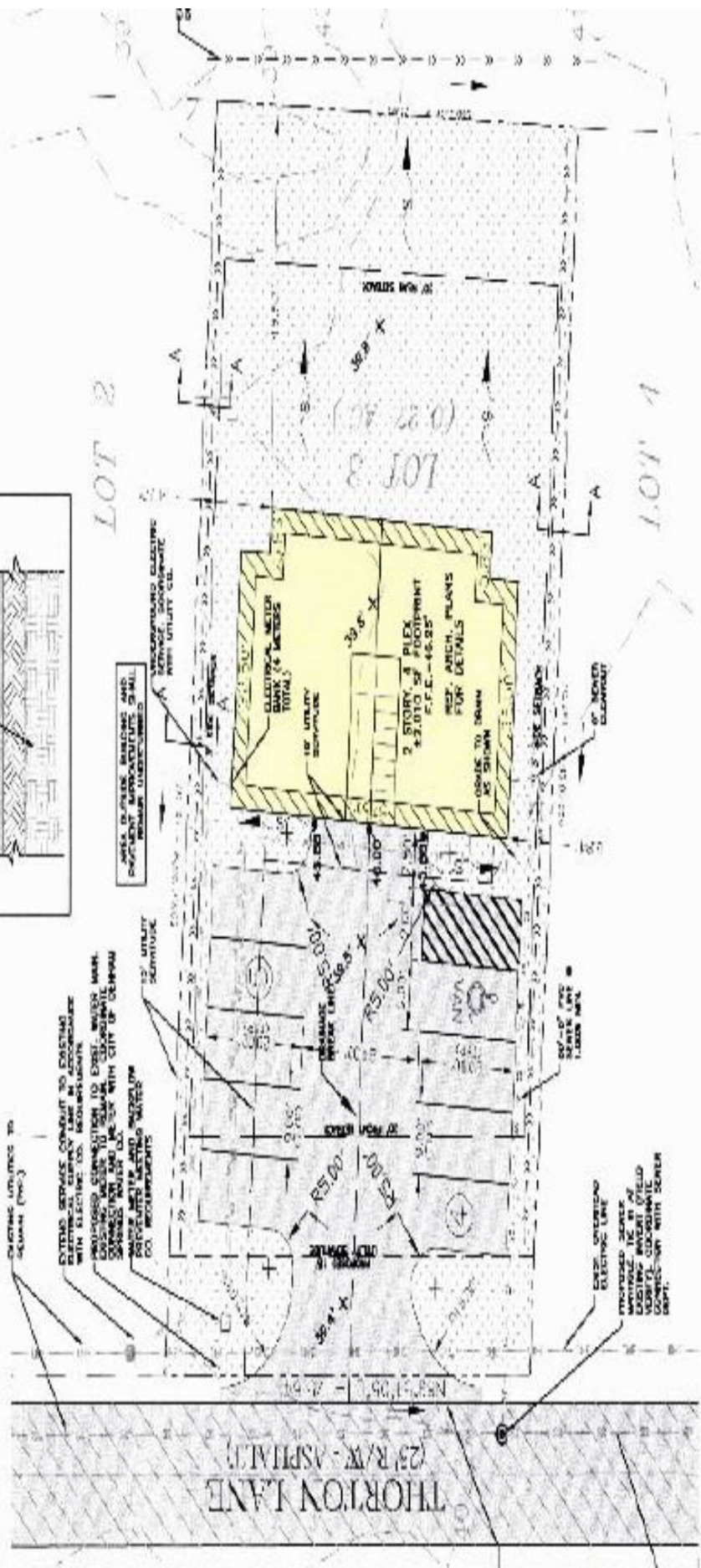
[illegible]

NOTICE: ENVIRONMENTAL PROTECTION AGENCY

1,000 PSI PORTLAND CEMENT
CONCRETE (RED, DUTYFREE, HEAVY
DUTY-2)

GR

1. THE ORIGINAL DRAFTING OF A WORD OR THE PRESENCE OF A
2. REPRODUCTION OF THIS WORD IN PRESENTED DRAFTS OF THE
3. PUBLIC RECORDS, AND THE NAME OF THE PERSON WHO
4. INFORMATION AND PROPERLY HANDLED OF THE
5. PROPERTY ACQUISITION, SERVICES, AND/OR PERMIT OF ANY
6. PERFORMANCE WERE NOT IN THE PUBLIC RECORDS OF THE
7. PRIVATE DEED AND/OR SUNDRISS RECORDS, AND/OR
8. MAY BE ACQUIRED BY THE CITY OF LOS ANGELES FROM
9. THE DRAFTER AND PREPARED DRAFT INFORMATION SUPPLIED
10. BY THE CITY OF LOS ANGELES.
11. THE DRAFTER'S CONNECTION TO THE CITY OF LOS ANGELES
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323. THE DRAFTER



Zoning Item #3

BASE BEARING: N 05°25'00" E (REF. #1)
FLOOD ZONE: BASE FLOOD ELEVATION: 44.5'
F.E.M.A. F.I.R.M. PANEL NO.: 220113 0205 E DATE: 4/3/12

REFERENCE:

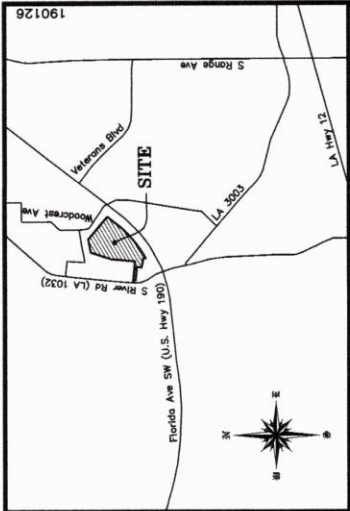
- 1. RIVER ROAD ESTATES FIRST FILING A PORTION OF THE RAYMOND BENNETT, ET AL. PROPERTY, BY ALVIN FAIRBURN SR., CIVIL ENGINEER, DATED 2/28/1976, RECORDED AS MAP ENTRY #136490 ON 3/14/1976.
- 2. RIGHT OF WAY MAP STATE PROJECT NO. 832-22-0021 F.A.P. NO. 3206(506) REALIGNMENT OF LA 1032 (RIVER ROAD), BY BILLY D. CROW, P.L.S., DATED 1/9/2007.
- 3. FINAL PLAT OF ONE-NINETY COMMERCIAL PARK, BY ALEX THERIOT JR., R.L.S., DATED 7/25/1977, REVISED THRU 11/14/1977 SURVEYOR, DATED 3/31/1994.
- 4. MAP OF HIGHLAND PARK, BY C.M. MOORE, REG. C.E. & SURVEYOR, DATED 5/27/1954.
- 5. MAP OF WOODCREST, BY C.M. MOORE, REG. C.E. & SURVEYOR, DATED 5/27/1954.
- 6. MAP SHOWING SUBDIVISION OF LOT A IN WOODCREST SUBDIVISION, BY C.M. MOORE, REG. C.E. & SURVEYOR, DATED 1/31/1955.
- 7. MAP SHOWING SURVEY & DIVISION OF THE REMAINDER OF TRACTS A & B AND THE REMAINDER OF TRACT Y INTO TRACTS AB-1 & AB-2, BY F. DEWITT LADNER, P.L.S., DATED 10/21/15.
- 8. TRACTS AB-1 & AB-2-A, FORMERLY A PORTION OF THE RAYMOND BENNETT, ET AL. PROPERTY INTO TRACTS AB-1-A & AB-2-A-1, BY F. DEWITT LADNER, P.L.S., DATED 3/15/17, RECORDED AS INSTRUMENT #900956.
- 9. MAP SHOWING SURVEY & DIVISION OF TRACT AB-2-A-1 FORMERLY A PORTION OF THE RAYMOND BENNETT, ET AL. PROPERTY INTO TRACTS AB-2-A-1-A & AB-2-A-1-B, BY F. DEWITT LADNER, P.L.S., DATED 5/22/17.

DEDICATION: THAT THE UNDERSIGNED IS THE OWNER OF THE LAND SHOWN HEREON.
THE STREET, RIGHTS OF WAY AND SERVICES SHOWN HEREON, IF NOT OTHERWISE SHOWN, ARE HEREBY DEDICATED TO THE PUBLIC, FOR THE USE OF THE PUBLIC, IN NOT OTHERWISE DESCRIBED AS PRIVATE, FOR THE PURPOSE OF THE REMOVAL OF THE PUBLIC.
5/13/19
CLIFTON BROWN, OWNER

RECOMMENDED FOR APPROVAL:
CITY OF DENHAM SPRINGS

CITY ENGINEER	DATE
PLANNING COMMISSION CHAIRMAN	DATE
APPROVED: CITY OF DENHAM SPRINGS	
GERARD LANDRY, MAYOR	DATE

CERTIFICATION:
THIS IS TO CERTIFY THAT THIS MAP IS MADE IN ACCORDANCE WITH LOUISIANA REVISED STATUTES 33:5051 AND CONFORMS TO ALL PARISH ORDINANCES CONCERNING THE SUBDIVISION OF LAND. THIS MAP IS MADE IN ACCORDANCE WITH THE MINIMUM STANDARDS FOR BOUNDARY SURVEYS FOR CLASS "C" SURVEYS AND IT WAS THE INTENT TO SUBDIVIDE THE TRACT INTO THE PLATTED SUBDIVISION.
THIS CERTIFICATION IS SPECIFICALLY RESTRICTED TO THE CLIENT FOR THE REQUIRED SUBDIVISION OF PROPERTY ONLY, AND DOES NOT EXTEND TO OTHER PARTIES UNLESS THE PLAT IS PROPERLY REVISED BY THE CERTIFIER TO REFLECT SAME.
F. Dewitt Ladner
F. DEWITT LADNER
PROFESSIONAL LAND SURVEYOR
REG. #4983
4/18/19
DATE



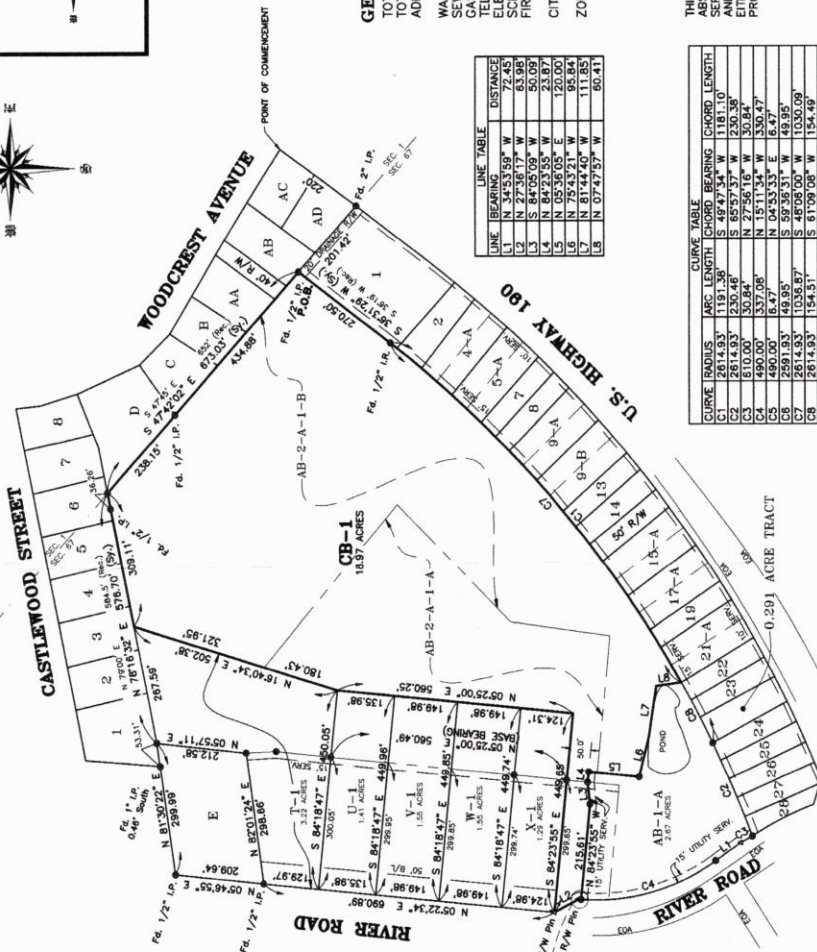
VICINITY MAP
SCALE: 1" = 2000'

P.O.B. NOTE: CORNER OF THE WEST MARGIN OF WOODCREST AVENUE AND THE WEST MARGIN OF U.S. HIGHWAY 190, FROM THIS INTERSECTION 220' ON AN WESTERLY DIRECTION TO THE SOUTHEAST CORNER OF LOT 1, THENCE 201.42' ON AN NORTHERLY DIRECTION TO THE POINT OF BEGINNING.

GENERAL NOTES:

- TOTAL LOTS: 1
- TOTAL AREA: 18.97 ACRES
- ADDRESS: RIVER ROAD OR U.S. HWY 190 (FLORIDA BLVD)
- WATER: CITY OF DENHAM SPRINGS
- SEWER: CITY OF DENHAM SPRINGS
- PLANNING: CITY OF DENHAM SPRINGS
- ELECTRICITY: ENTERGY
- SCHOOL DISTRICT: DENHAM SPRINGS
- CITY OF DENHAM SPRINGS:
- ZONING: R-1, PER CITY PLANNING COMMISSION
- BUILDING SETBACKS PER ZONING DISTRICT:
FRONT: 30'
SIDE: 5'-15' Aggregate
REAR: 25'

THIS FIRM WAS NOT CONTRACTED TO PERFORM A COMPLETE TITLE ABSTRACT OF THE PROPERTY SHOWN HEREON. BE AWARE THAT SERVICES SHOWN HEREON WERE TAKEN FROM REFERENCE DATA AND THAT OTHER SERVICES ENCUMBRANCES OR RESTRICTIONS, IF ANY, ARE NOT VISIBLE OR NOT VISIBLE, MAY AFFECT THE SUBJECT PROPERTY.



LINE TABLE

LINE	BEARING	DISTANCE
L1	N 34°53'59" W	72.45
L2	S 87°30'10" W	63.98
L3	N 87°30'10" W	63.98
L4	N 84°23'55" W	23.87
L5	N 05°36'05" E	120.00
L6	N 75°43'21" W	95.84
L7	N 81°44'05" W	111.85
L8	N 07°47'57" W	80.41

CURVE TABLE

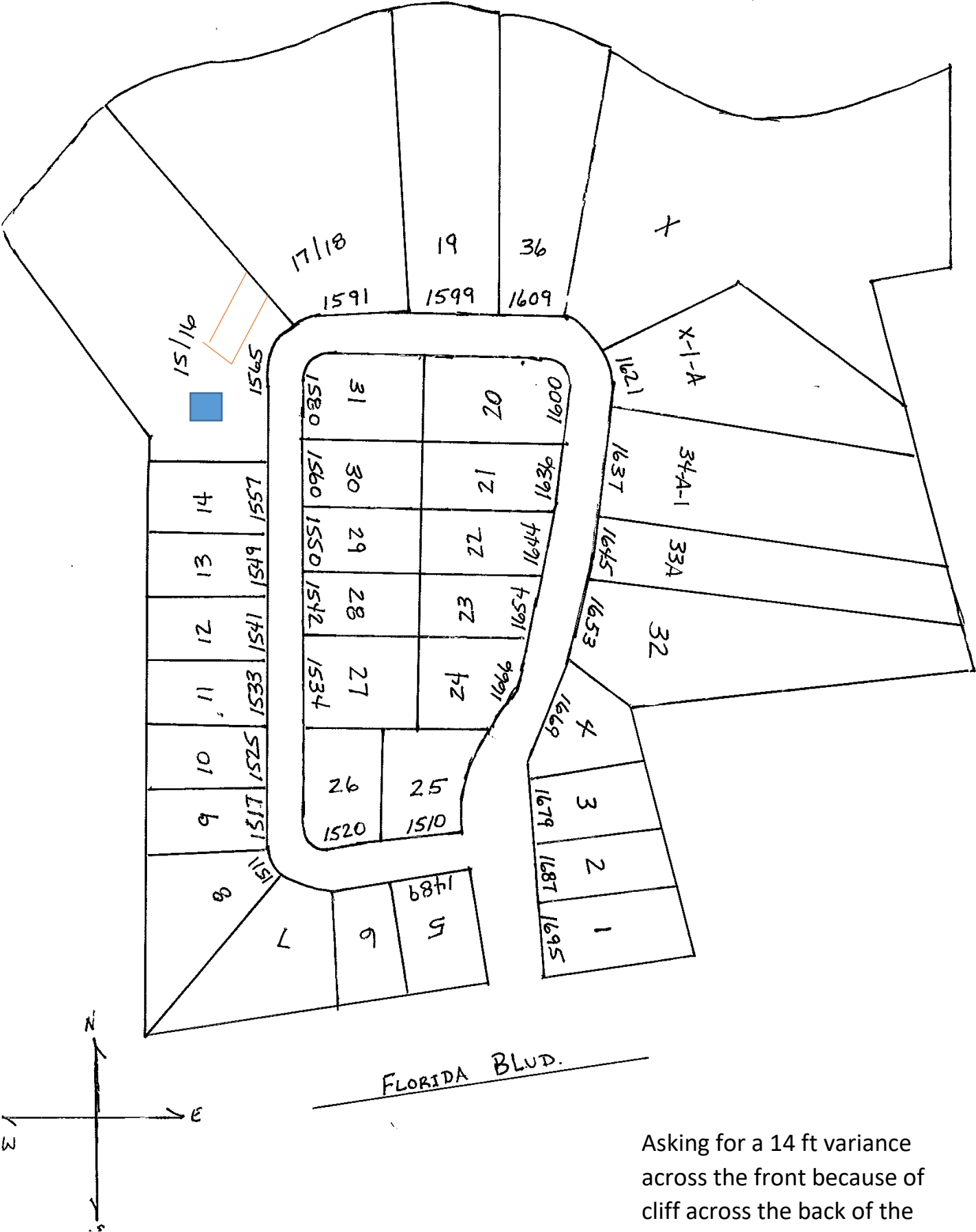
CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	2814.93	1191.38	S 49°47'34" W	1181.10
C2	2814.93	230.48	S 65°57'57" W	230.38
C3	610.00	30.84	N 27°56'16" W	30.84
C4	490.00	337.08	N 01°11'33" W	330.47
C5	2591.83	49.95	S 59°33'31" W	49.95
C6	2814.93	1036.87	S 48°08'00" W	1030.09
C8	2814.93	154.51	S 61°09'08" W	154.49

MAP SHOWING SURVEY & CONSOLIDATION
OF
Tract AB-2-A-1-A & AB-2-A-1-B
Formerly a Portion of the Raymond Bennett, et al Property

Tract CB-1
LOCATED IN SECTION 67, T7S-R2E
GREENSBURG LAND DISTRICT
CITY OF DENHAM SPRINGS
LIVINGSTON PARISH, LOUISIANA
FOR
CLIFTON BROWN



Zoning Item #4



Asking for a 14 ft variance across the front because of cliff across the back of the property