

Mitre House Management Limited
Flat 7 Mitre House
124 Kings Road
LONDON
SW3 4TP

Unit 4, Rufus Business Centre,
Ravensbury Terrace,
Earlsfield, London SW18 4RL

Tel: 0844 884 1180
Fax: 0844 884 1181
E-mail: enquiries@aspect.co.uk
Web: aspect.co.uk

Date: 28th February 2012
Estimate No. 0033540

Re: Flat 7 Mitre House, 124 Kings Road, LONDON, SW3 4TP

Dear Paul,

Thank you for your recent enquiry and affording Aspect the opportunity of estimating for the work required.

Before you review the detail of this proposal, I would like to take the opportunity to inform you that we are ideally placed to undertake these works for you. Aspect Maintenance is a highly acclaimed business that offers service levels and quality of workmanship that are second to none in our field. We hold many accreditations as listed below, including NICEIC and HVCA which are specifically relevant to electrical and mechanical services work. This should give you the comfort that you are dealing with a professional organisation that is a specialist in this field. We are also Trust Mark accredited and were recently awarded the title of Service Business of The Year at the T-Mobile sponsored Crimson Business Awards.

Please find below a full scope of works and associated costs:

Description of Works:

1. Electrical Works –Common Area Lighting

- 1.1 To attend site and isolate the necessary circuits in preparation for works.
(Safe isolation procedure will be followed by engineer)
- 1.2 To replace 4No. existing press switches within the entrance hall and landings to work with the existing time switch located in the basement distribution board.
- 1.3 To replace 1No. existing pneumatic time lag switch within the entrance with 1No. new electronic time lag switch.
- 1.4 To replace 2No. existing light fittings within entrance and ground floor hall with new client supplied fittings.
- 1.5 To install 2No. additional light fittings to within the ground floor hall to be switched with the existing fitting in front of the lift.

NB. Holes will need to be cut into ceiling to get cabling through void area. An allowance has been made to repair all holes within ceiling in preparation for decoration.

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- 1.6 To replace 6No. lights fittings on landings with client supplied replacements.
- 1.7 To replace 4No. light fittings to outside fire escape with client supplied replacements.
N.B. All light fittings are to be supplied by the client and are to comply with British Standards including the fire escape fittings are to be IP rated.
- 1.8 To wire 1No. 1.5mm 3 core SWA cable from distribution board within basement to terminate at 4No. new 3hr 8W non-maintained emergency bulkhead fittings located along wall leading to fire escape stairs.

NB. Emergency lights are to be switched through 1No. test key switch located next to distribution board within the basement. An allowance has been made supply 4No. IP rated non-maintained emergency fittings. Cable will be clipped on the surface for the entire run of the circuit.

Total Cost £2,065.00 + VAT

An allowance has been made to supply all fittings in white PVC.

£2478 - incl vat.

Any issues that arise with installation due to test or RCD installation will be brought to the attention of the client in accordance with British wiring regulation BS 7671.

An NICEIC certificate will be issued on completion of work.

Further Information

The above prices allow for all the necessary labour, materials, plant and equipment and are subject to VAT. This estimate also includes for sheeting of the property, when required, but not for after-build cleaning. We accept no responsibility for damage to personal belongings, furniture or carpets within the property. Such items should be removed by you, prior to the commencement of work. There are no hidden charges such as parking or Congestion Charge. This estimate has been based on the assumption of normal working hours, namely between 8am and 6pm Monday to Friday, and that no restrictions will be placed on the hours our operatives may work.

All materials supplied will remain the property of Aspect Maintenance Services Limited until paid for in full.

Please be advised we have only allowed for work as detailed above. Any further works required to the electrical system will be deemed to be variations.

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For your information, we have in force an Employers Liability Insurance Policy of £10,000,000, a Public/Products Liability Policy of £5,000,000 for any one incident (both include the indemnity to principals clause), Contractors All Risks Insurance and Professional Indemnity Insurance. Confirmation of any of these policies can be provided on request.

The agreement constituted by your acceptance of this estimate will be governed by our General Terms & Conditions set out in the attached document, except to the extent that the same are inconsistent with anything set out in this letter.

We would welcome the opportunity to address any queries you may have regarding the enclosed. Please contact Rebecca Lennox on 020 8879 6945 if you do have any queries.

This estimate remains open for acceptance for a period of 3 months. If you are satisfied with our scope of work and pricing proposal and wish to proceed, please complete the enclosed Acceptance form, indicating a preferred start date, and return it to us.

We look forward to hearing from you.

Yours sincerely,



Luke Cios
Estimator

S&M Electrical Ltd

Established since 1987

First Floor Central, Jubilee House, Merrion Avenue, Stanmore Middx, HA7 4RY
Tel: 020 8954 7737 Mob: 07831 269587 Fax: 020 8954 7783 Email: info@smelec.co.uk

Our Ref: SLF/MJA/124KR(2)/30Mar

Mr P Brown-Constable
Mitre House Management
Flat 7
124 Kings Road
London
SW3 4TP

30th March 2012

Dear Paul,

Re: 124 Kings Road, London SW3 – installation of socket outlets to common parts.

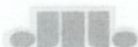
Thank you for your recent enquiry. Please find, below, our estimate for the proposed additional electrical works.

1. To supply, wire for and install 3 single metal-clad socket outlets.
 2. The sockets to be positioned in the corridors near the rear fire escape doors to 1st, 2nd & 3rd floors.
 3. To provide RCD protection for socket outlets.
 4. The cables are to be run using FP200 2.5mm² cabling, run up the rear fire escape and terminated in the basement intake room.
- **The cost of labour and materials will be £620-00 + VAT.**

We hope that this meets with your approval and look forward to hearing from you.

Yours sincerely,

Stephen L Freeman.
S&M Electrical Ltd.



Registration No. 2187321



S&M Electrical Ltd

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Our Ref: SLF/MJA/124KR/07Mar

Mr P Constable
Mitre House Management
Flat 7
124 Kings Road
London
SW3 4TP

7th March 2012

Dear Paul,

Re: 124 Kings Road, London SW3 – lighting improvements.

Thank you for your recent enquiry. Please find, below, our estimate for the proposed electrical works.

ENTRANCE HALL – GROUND FLOOR:

- Disconnect and remove 2 existing ceiling light fittings.
- Cut channel in ceiling for the installation of 2 additional lighting points.
- Extend existing lighting circuit to include new positions and install 4 free-issue light fittings.
- Test and provide certification.

***Please note: All making good following our works are to be carried out by others**

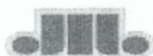
- a) Labour & material costs £623-00 + VAT. if microwave sensors are installed in each fitting.
b) Labour & material costs £425-00 + VAT. if existing lighting control is retained.

1st, 2nd & 3rd LANDINGS:

- Disconnect and remove 6 existing ceiling lights.
- Install 6 free issue light fittings in place of removed fittings.

- c) Labour & material costs £477-00 + VAT. if microwave sensors are installed in each fitting.
d) Labour & material costs £180-00 + VAT. if existing lighting control is retained.

Cntd...



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FIRE ESCAPE:

- Disconnect and remove 4 existing drum type light fittings.
- Supply and install 4 maintained emergency light fittings in place of removed drum lights. Each new light fitting to incorporate a microwave sensor, so that lights are triggered automatically.

e) Labour & material costs £658-00 + VAT.

EMERGENCY LIGHTING:

- Supply and install 2 maintained 8 watt emergency light fittings. Each fitting to incorporate a microwave sensor so that lights are triggered automatically.
- Supply and install lighting circuit from basement intake room to new lights, terminate, test and provide certification.

f) Labour & material costs £370-00 + VAT.

We hope that this meets with your approval and look forward to hearing from you.

Yours sincerely,


Stephen L Freeman.
S&M Electrical Ltd.

£2553 - 60 inc VAT.



Registration No. 2187321

REGISTERED MEMBER



B.E.S

ELECTRICAL CONTRACTORS LTD

APPROVED
NICEIC
CONTRACTOR

VAT No 410 1800 21

Company Registration No:04410500
Directors: Nigel Brooks

For the attention of:

Paul Constable
Mitre House Management Ltd
Flat 7
124 King's Road
LONDON
SW3

**Testing and
Inspection
Specialists**

R/o 40 - 41 Lichfield Road
LONDON
NW2 2RG

Tel: 0845 094 1717
Fax: 0845 094 1717
Mobile : 07831 317298

E-mail: bestest.electrics@gmail.com

Date : 14/03/13
Our Ref : BESL/MM/001
Tel : 07983 333 543
Mobile : 07
mitrehouse@graffiti.biz

ESTIMATE

Job/Delivery Address:

As above

Details of works to be done:

Emergency lights

All labour and materials to be supplied by BES Electrical

Basement	2 no emergency lights	160.00
Ground Floor	2 no emergency lights	160.00
1st Floor	1 no emergency light	80.00
1st Floor Rooftop	2 no emergency lights	480.00
2nd Floor	1 no emergency light	80.00
3rd Floor	1 no emergency light	80.00

Tiffany Lights

Fixtures to be supplied by Mitre House Management

Ground Floor	2 no Tiffany lights	120.00
	1 no chasing in of new light position	80.00
1st Floor	2 no Tiffany lights	120.00
2nd Floor	2 no Tiffany lights	120.00
3rd Floor	2 no Tiffany lights	120.00

Sensor Switches

All labour and materials to be supplied by BES Electrical

Ground Floor	1 no sensor switch	60.00
1st Floor	1 no sensor switch	60.00
2nd Floor	1 no sensor switch	60.00
3rd Floor	1 no sensor switch	60.00

Common Area Sockets

All labour and materials to be supplied by BES Electrical

1st Floor	1 no socket	80.00
2nd Floor	1 no socket	80.00
3rd Floor	1 no socket	80.00

Nett

2080.00

Please note;

- 1) VAT is applicable@ 20.0%
- 2) No allowance has been made for making good
- 3) All fixtures & fittings to be white plastic unless otherwise stated
- 4) Our normal terms and conditions apply