

**ORDINANCE NO. 2025-15**

**AN ORDINANCE OF THE CITY OF WEBSTER, FLORIDA PROVIDING FOR THE REZONING OF REAL PROPERTY TOTALING 4.85 ACRES, MORE OR LESS, IN SIZE (TAX PARCEL IDENTIFICATION NUMBER S13-034) FROM COUNTY RURAL RESIDENTIAL MINIMUM FIVE ACRES WITH OPTIONAL HOUSING (RR5) TO RURAL RESIDENTIAL MINIMUM ONE ACRE WITH CONVENTIONAL HOUSING (RR1C) ZONING DISTRICT; PROVIDING FOR THE TAKING OF IMPLEMENTING ADMINISTRATIVE ACTIONS; PROVIDING FOR THE ADOPTION OF A MAP BY REFERENCE; REPEALING ALL CONFLICTING ORDINANCES; PROVIDING FOR SEVERABILITY; PROVIDING FOR NON-CODIFICATION AND PROVIDING FOR AN EFFECTIVE DATE.**

**WHEREAS**, Kayla Warren mailing address: 5443 CR 707, Webster, FL 33597 (Tax Parcel Identification Number S13-034), is the owner of the property which is the subject of this Ordinance; and

**WHEREAS**, the real property, totaling 4.85 +/- acres in size, is located on the North side of CR 774 between CR 774A & SR 471; and

**WHEREAS**, Kayla Warren initiated voluntary annexation into the municipal limits of the City of Webster, Florida; and

**WHEREAS**, the City Manager of the City of Webster pursuant to the controlling provisions of Florida Statutes and the Code of Ordinances of the City of Webster, is petitioning to have the subject property reassigned from the RR5 (County) zoning assignment to the RR1C zoning assignment; and

**WHEREAS**, the City Council of the City of Webster, Florida has taken, as implemented by City staff, all actions relating to the approval action set forth herein in accordance with the requirements and procedures mandated by Florida Statutes.

**NOW, THEREFORE, BE IT ENACTED BY THE CITY COUNCIL OF THE CITY OF WEBSTER, FLORIDA:**

**SECTION 1. LEGISLATIVE FINDINGS AND INTENT.**

(a). The City Council of the City of Webster hereby adopts and incorporates into this Ordinance the City staff report as well as the recitals (whereas clauses) to this Ordinance.

(b). The subject property, which is 4.85 acres MOL in size, is located on the North side of CR 774 between CR 774A & SR 471 (Tax Parcel Number S13-034). The legal description of the subject property is provided in Attachment A.

(c). The City of Webster has complied with all requirements and procedures of Florida Statutes in processing and advertising this Ordinance.

**SECTION 2. REZONING OF REAL PROPERTY/IMPLEMENTING ACTIONS.**

(a). Upon enactment of this Ordinance the following described property, as depicted in Attachment A of this Ordinance, and totaling is 4.85 acres MOL in size, shall be rezoned from RR5 (County) zoning district/classification to RR1C (City) zoning district/classification.

(b). The City Manager, or designee, is hereby authorized to execute any and all documents necessary to formalize approval of the rezoning action taken herein and to revise and amend the Official Zoning Map or Maps of the City of Webster as may be appropriate to accomplish the action taken in this Ordinance.

**SECTION 3. INCORPORATION OF MAP.** The map attached to this Ordinance as Attachment B is hereby ratified and affirmed and incorporated into this Ordinance as a substantive part of this Ordinance.

**SECTION 4. CONFLICTS.** All ordinances or part of ordinances in conflict with this Ordinance are hereby repealed.

**SECTION 5. SEVERABILITY.** If any section, sentence, phrase, word, or portion of this Ordinance is determined to be invalid, unlawful or unconstitutional, said determination shall not be held to invalidate or impair the validity, force or effect of any other section, sentence, phrase, word, or portion of this Ordinance not otherwise determined to be invalid, unlawful, or unconstitutional.

**SECTION 6. NON-CODIFICATION.** This Ordinance shall not be codified in the *City Code of the City of Webster* or the *Land Development Code of the City of Webster*; provided, however, that the actions taken herein shall be depicted on the zoning maps of the City of Webster by the City Manager, or designee.

**SECTION 7. EFFECTIVE DATE** This Ordinance shall take effect immediately upon enactment provided, however, that the rezoning of property herein set forth shall not take effect until Ordinance Number 2025-14 relating to the Comprehensive amendment becomes effective.

**PASSED AND ENACTED this 20th day of March, 2025.**

**CITY COUNCIL OF THE CITY  
OF WEBSTER, FLORIDA**

\_\_\_\_\_  
**Ana Vigoa, Mayor**

***ATTEST:***

**Approved as to form and  
legality:**

\_\_\_\_\_  
**Amy Flood  
City Clerk**

\_\_\_\_\_  
**William L. Colbert  
City Attorney**

**Attachment A**  
**Legal Description**

A PARCEL OF LAND BEING IN A PORTION OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 13, TOWNSHIP 22 SOUTH, RANGE 22 EAST, SUMTER COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

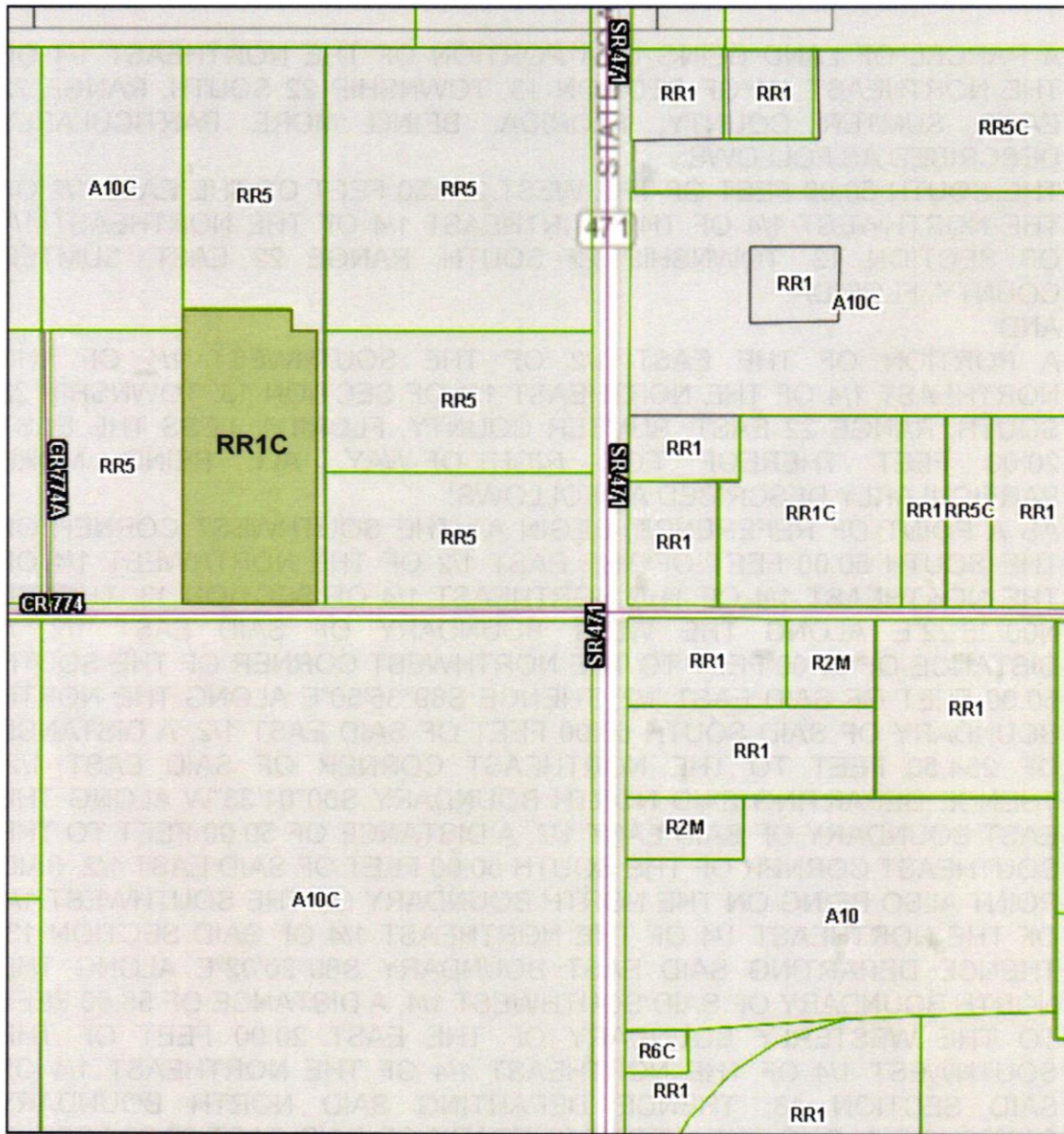
THE SOUTH 50.00 FEET OF THE WEST 254.50 FEET OF THE EAST 1/2 OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 13, TOWNSHIP 22 SOUTH, RANGE 22 EAST, SUMTER COUNTY, FLORIDA.

AND

A PORTION OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 13, TOWNSHIP 22 SOUTH, RANGE 22 EAST, SUMTER COUNTY, FLORIDA. LESS THE EAST 20.00 FEET THEREOF FOR RIGHT-OF-WAY, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

AS A POINT OF REFERENCE, BEGIN AT THE SOUTHWEST CORNER OF THE SOUTH 50.00 FEET OF THE EAST 1/2 OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 13; THENCE N00°16'22"E ALONG THE WEST BOUNDARY OF SAID EAST 1/2, A DISTANCE OF 50.00 FEET TO THE NORTHWEST CORNER OF THE SOUTH 50.00 FEET OF SAID EAST 1/2; THENCE S89°35'50"E ALONG THE NORTH BOUNDARY OF SAID SOUTH 50.00 FEET OF SAID EAST 1/2, A DISTANCE OF 254.50 FEET TO THE NORTHEAST CORNER OF SAID EAST 1/2; THENCE DEPARTING SAID NORTH BOUNDARY S00°01'33"W ALONG THE EAST BOUNDARY OF SAID EAST 1/2, A DISTANCE OF 50.00 FEET TO THE SOUTHEAST CORNER OF THE SOUTH 50.00 FEET OF SAID EAST 1/2, SAID POINT ALSO BEING ON THE NORTH BOUNDARY OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 13; THENCE DEPARTING SAID EAST BOUNDARY S89°20'02"E ALONG THE NORTH BOUNDARY OF SAID SOUTHWEST 1/4, A DISTANCE OF 55.60 FEET TO THE WESTERLY BOUNDARY OF THE EAST 20.00 FEET OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 13; THENCE DEPARTING SAID NORTH BOUNDARY S00°06'42"E ALONG THE WEST BOUNDARY OF SAID EAST 20.00 FEET, A DISTANCE OF 635.77 FEET TO THE SOUTH BOUNDARY OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 13; THENCE DEPARTING SAID WEST BOUNDARY N89°57'50" ALONG SAID SOUTH BOUNDARY, A DISTANCE OF 311.71 FEET; THENCE DEPARTING SAID SOUTH BOUNDARY N00°01'52"E, A DISTANCE OF 638.05 FEET; TO THE POINT OF BEGINNING.

Attachment B



**CITY OF WEBSTER  
REZONING APPLICATION**

**PLANNING AND ZONING BOARD  
February 13, 2025**

**CITY OF WEBSTER CITY COUNCIL  
February 20, 2025  
March 20, 2025**

**CASE NUMBER:** ZON25-000003

**LANDOWNER:** Kayla Warren

**REQUESTED ACTION:** Rezone 4.85 acres MOL from County Rural Residential Minimum Five Acres with Optional Housing (RR5) to City of Webster Rural Residential Minimum One Acre with Conventional Housing (RR1C)

**PARCEL NUMBERS:** S13-034

**LEGAL DESCRIPTION:** Attachment A

**EXISTING ZONING:** County Rural Residential Minimum Five Acres with Optional Housing (RR5)

**EXISTING USE:** Vacant

**FUTURE LAND USE:** County Agriculture, proposed to be City of Webster Rural Residential (LU25-000007)

**PARCEL SIZE:** 4.85 acres MOL

**GENERAL LOCATION:** Webster area – on the North side of CR 774 between CR 774A & SR 471

**SURROUNDING FUTURE LAND USE AND ZONING**

The application site is located outside of the City of Webster municipal boundary but in the Joint Planning Area (JPA) of Webster. The surrounding parcels are zoned County Rural Residential Minimum Five Acres with Option Housing (North, East & West) and County General Agriculture Minimum Ten Acres with Conventional Housing (North & South) (Map 1).

## **CASE SUMMARY**

The applicant is seeking to build a residence on the subject parcel. Subject parcel is outside the Webster municipal boundary, in the Webster Joint Planning Area (JPA), and in Webster's Utility Service Area. The application site is currently zoned as County Rural Residential Minimum Five Acres with Optional Housing.

## **CASE ANALYSIS**

Section 13-313(3)(d), provides for the following review criteria for Land Development Code (LDC) and zoning map amendments:

- a) Change of conditions, or absence of changed conditions.  
*The subject parcel changed hands in December 2024. The new owner is seeking to develop it.*
- b) Community need, or lack of community need.  
*The requested rezoning addresses a personal need and not a community need.*
- c) Benefits to the community.  
*The rezoning will allow consistency with the City's Comprehensive Plan and the implementing zoning district.*
- d) The rights of private property owners.  
*The rezoning should not impinge on the rights of adjacent property owners.*

Staff reviewed land ownership and authorization through deeds, and the consent and designation of agent form submitted and signed by an authorized signer for the entity that owns the properties.

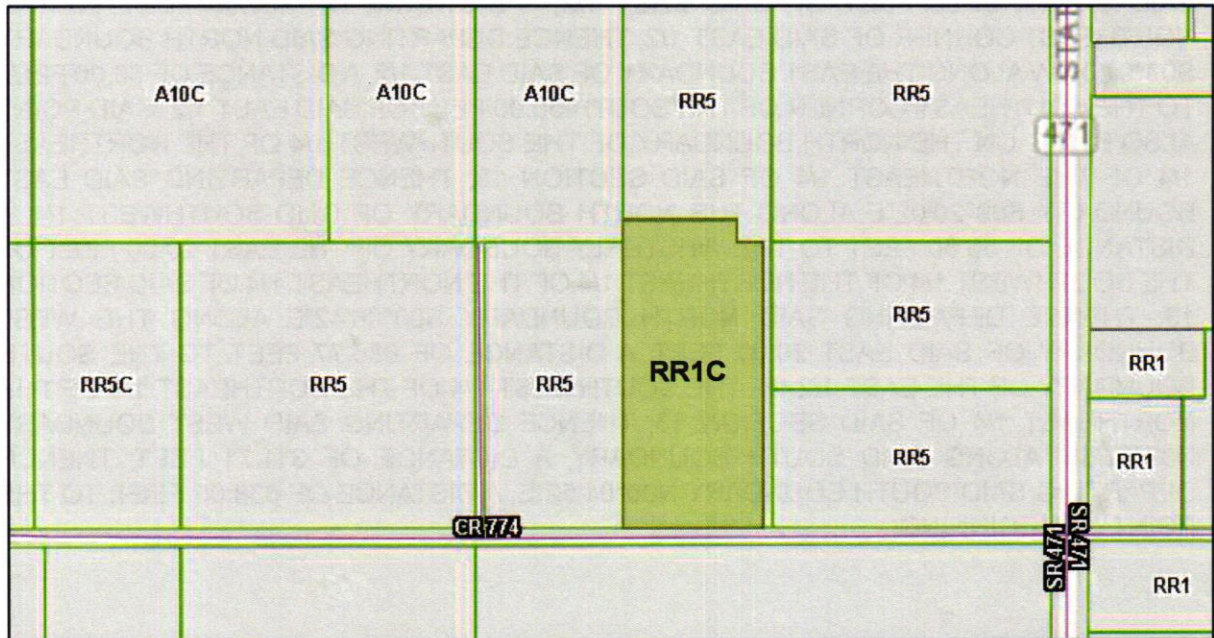
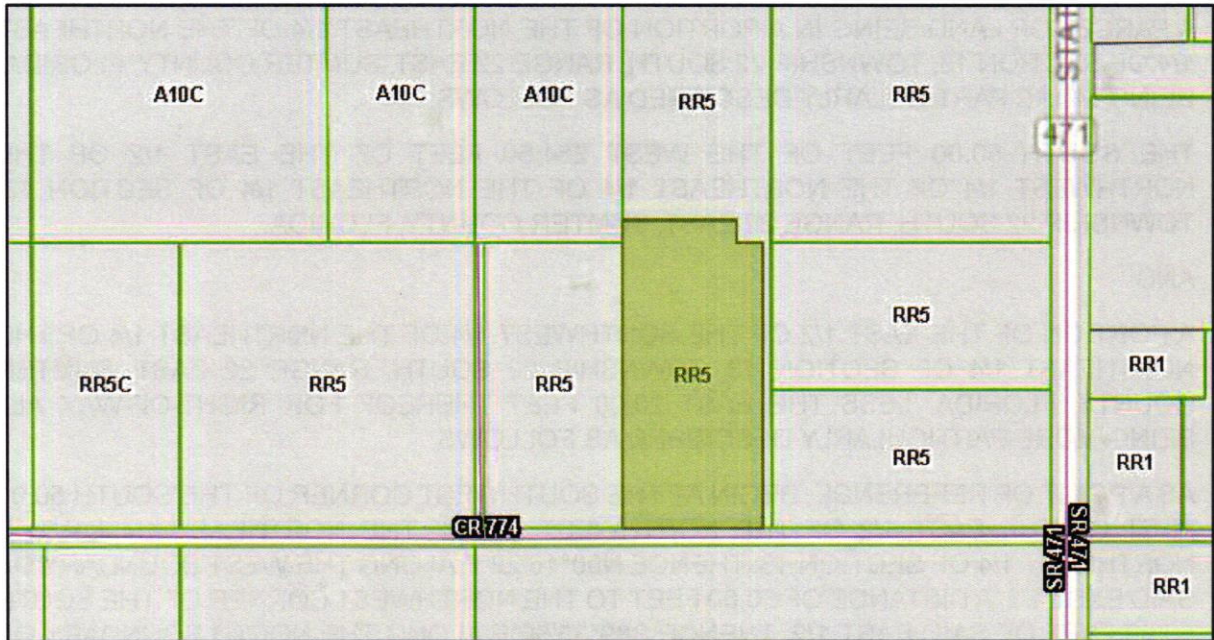
## **PLANNING DIVISION STAFF CONCLUSION**

Staff deemed the application sufficient for review. Staff finds the application in compliance with the minimum requirements of the Sumter County Land Development Code and Comprehensive Plan. Staff recommends APPROVAL.

**Notices Sent: 11**



**MAP 1: SURROUNDING AREA WITH PROPOSED CHANGES**



 **Subject Property**

## **Attachment A**

### **Legal Description**

A PARCEL OF LAND BEING IN A PORTION OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 13, TOWNSHIP 22 SOUTH, RANGE 22 EAST, SUMTER COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

THE SOUTH 50.00 FEET OF THE WEST 254.50 FEET OF THE EAST 1/2 OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 13, TOWNSHIP 22 SOUTH, RANGE 22 EAST, SUMTER COUNTY, FLORIDA.

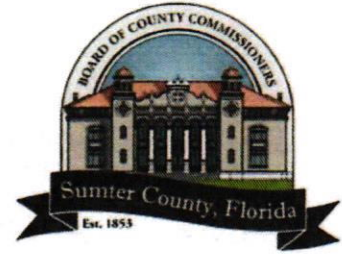
AND

A PORTION OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 13, TOWNSHIP 22 SOUTH, RANGE 22 EAST, SUMTER COUNTY, FLORIDA. LESS THE EAST 20.00 FEET THEREOF FOR RIGHT-OF-WAY, ALL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

AS A POINT OF REFERENCE, BEGIN AT THE SOUTHWEST CORNER OF THE SOUTH 50.00 FEET OF THE EAST 1/2 OF THE NORTHWEST 1/4 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 13; THENCE N00°16'22"E ALONG THE WEST BOUNDARY OF SAID EAST 1/2, A DISTANCE OF 50.00 FEET TO THE NORTHWEST CORNER OF THE SOUTH 50.00 FEET OF SAID EAST 1/2; THENCE S89°35'50"E ALONG THE NORTH BOUNDARY OF SAID SOUTH 50.00 FEET OF SAID EAST 1/2, A DISTANCE OF 254.50 FEET TO THE NORTHEAST CORNER OF SAID EAST 1/2; THENCE DEPARTING SAID NORTH BOUNDARY S00°01'33"W ALONG THE EAST BOUNDARY OF SAID EAST 1/2, A DISTANCE OF 50.00 FEET TO THE SOUTHEAST CORNER OF THE SOUTH 50.00 FEET OF SAID EAST 1/2, SAID POINT ALSO BEING ON THE NORTH BOUNDARY OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 13; THENCE DEPARTING SAID EAST BOUNDARY S89°20'02"E ALONG THE NORTH BOUNDARY OF SAID SOUTHWEST 1/4, A DISTANCE OF 55.60 FEET TO THE WESTERLY BOUNDARY OF THE EAST 20.00 FEET OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 13; THENCE DEPARTING SAID NORTH BOUNDARY S00°06'42"E ALONG THE WEST BOUNDARY OF SAID EAST 20.00 FEET, A DISTANCE OF 635.77 FEET TO THE SOUTH BOUNDARY OF THE EAST 1/2 OF THE SOUTHWEST 1/4 OF THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SAID SECTION 13; THENCE DEPARTING SAID WEST BOUNDARY N89°57'50" ALONG SAID SOUTH BOUNDARY, A DISTANCE OF 311.71 FEET; THENCE DEPARTING SAID SOUTH BOUNDARY N00°01'52"E, A DISTANCE OF 638.05 FEET; TO THE POINT OF BEGINNING.

**Board of County Commissioners**  
**Sumter County, Florida**  
**Development Services Department**  
**Planning Services**

7375 Powell Road, Suite 115 • Wildwood, FL 34785 • Phone (352) 689-4400 • FAX: (352) 689-4401  
 Website: <http://sumtercountvfl.gov>



**City of Webster**

Case No. \_\_\_\_\_  
 Date Rec'd \_\_\_\_\_  
 Planner \_\_\_\_\_

Hearing Dates:  
 PZB \_\_\_\_\_  
 Council 1st \_\_\_\_\_  
 Council Final \_\_\_\_\_

**LAND USE AMENDMENT AND/OR REZONING APPLICATION**

**Check Requested Application(s)**

- Rezoning
- Small Land Use Amendment (< 50 acres)
- Large Land Use Amendment (50 acres or more)

**Applicant Information**

Name of Property Owner(s) Kayla Warren  
 Address 2834 CR 774 Webster FL 33597  
 Owner Phone 813 838 4501 Email Kwarren198820@gmail.com  
 Name of Agent Jared oberholtzer  
 Address \_\_\_\_\_  
 Agent Phone \_\_\_\_\_ Email \_\_\_\_\_

**Property Information**

Legal Description of the property (provide below or attach)

\_\_\_\_\_  
 \_\_\_\_\_  
 \_\_\_\_\_

Street Address 2834 CR 774 Webster FL 33597  
 Parcel(s) # \_\_\_\_\_ Current Use Vacant  
 Current Future Land Use County Agriculture Current Zoning County RRS  
 Requested Future Land Use CITY Rural Residential Requested Zoning CITY RR1C  
 Acreage Requested \_\_\_\_\_

Reason for the Request (be specific)

To build MY forever home was told cannot build unless Property is annex to City of Webster

**Please Provide**

- Recorded deed or other proof of ownership
- Signed authorization if applicant is not the landowner
- Legal description of the area under application. (lengthy or complex legal descriptions may be required in digital/text format)
- Applicable Application Fee (fee schedule on Page 3)
  - Payment may be made by cash, check, or credit/debit card. Checks shall be made payable to BOCC Sumter County. A convenience fee will be added to the total for credit/debit card payment.
  - Application fees are considered non-refundable at the time of application. Exceptions may be considered on a case by case basis by the County Administrator.

All properties for which applications require public hearings before the planning and zoning board (PZB) shall be posted by the applicant with plaques furnished by the director. Such plaques shall identify the application, the requested action, and the date, time and place of hearing. Plaques shall be sufficiently conspicuous in terms of size, location, and content to provide reasonably adequate notice to potentially interested persons of the matter that will appear on the authority's agenda. Such notices shall be posted at least seven (7) days prior to the first hearing at which the subject property will be considered, at locations specified by the director. (Webster Land Development Code Sec. 13-315(a)(2))

**As the owner/lessee/tenant/agent, I understand any action on my application will be governed by the City of Webster's Comprehensive Plan and Land Development Code, and my payment of the non-refundable application fee will not guarantee approval.**

**Under penalties of perjury, I declare the above information that I have given to be true and correct to the best of my knowledge and belief.**

<i>Kayla Warren</i>	<i>1/21/25</i>
Signature	Date
<i>Kayla Warren</i>	
Print Name	
<i>Kayla Warren</i>	<i>1/21/25</i>
Signature	Date
<i>Kayla Warren</i>	
Print Name	

The public hearing for the PZB will be scheduled once the application is found to be complete. The PZB hearing will be at 6:00 p.m. at Webster City Hall 85 E Central Ave., Webster, FL 33597. The property owner's appearance or authorized representative's appearance is required at the LPA hearing. Failure of the property owner's attendance or the authorized representative's attendance will cause the application to be handled in accordance with the policy adopted in the Webster Land Development Code. Hearings may be postponed

Rec. 35.50  
Doc. 1260.00  
Copy 4.00  

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1299.50

Gloria R. Hayward, Sumter County Clerk of Court  
Inst: 202460051211 Date: 12/19/2024 Time: 10:46AM  
Page 1 of 4 B: 4769 P: 673 By: BO  
Doc Stamp-Deed: 1260.00

THIS SPACE PROVIDED FOR RECORDER'S USE ONLY:

PREPARED BY:  
Heather Heiser NKA Heather Teh  
12217 Cyrano Ave  
Brooksville, Florida 34601

PARCEL NUMBER: S13-034

WHEN RECORDED RETURN TO:

✓ Kayla Warren  
5443 CR 707  
Webster, Florida, 33597

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## WARRANTY DEED

THE GRANTOR(S),

- Heather Heiser NKA Heather Teh, of 12217 Cyrano Ave, Brooksville, FL County, Florida 34601, a single person,

for and in consideration of: \$180,000.00 grants, bargains, sells, conveys and warranties to the GRANTEE(S):

- Kayla Warren, 5443 CR 707, Webster, Sumter County, Florida, 33597, a single person, the following described real estate, situated in the County of FL, State of Florida:

Legal Description:

THE E1/2 OF SW1/4 OF NE1/4 OF THE NE1/4 LESS THE E 20 FT THEREOF AND THE

S 50 FTOF THE W 254.50 FT OF THE E1/2 OF THENW1/4 OF THE NE1/4 OF THE  
NE1/4

Gloria R. Hayward, Sumter County Clerk of Court  
Inst: 202460051211 Date: 12/19/2024 Time: 10:46AM  
Page 2 of 4 B: 4769 P: 674 By: BO  
Doc Stamp-Deed: 1260.00

Subject to existing taxes, assessments, liens, encumbrances, covenants, conditions, restrictions, rights of way and easements of record the grantor hereby covenants with the Grantee(s) that Grantor is lawfully seized in fee simple of the above granted premises and has good right to sell and convey the same; and that Grantor, his heirs, executors and administrators shall warrant and defend the title unto the Grantee, his heirs and assigns against all lawful claims whatsoever.

Tax Parcel Number: S13-034

This property is not a homestead.

Deed Drafted By: Heather Heiser NKA Heather Teh  
12217 Cyrano Ave  
Brooksville, Florida, 34601

**Grantor Signatures:**

DATED: December 18, 2024

Heather Heiser NKA Heather Teh

Heather Heiser NKA Heather Teh  
12217 Cyrano Ave  
Brooksville, Florida, 34601

Gloria R. Hayward, Sumter County Clerk of Court  
Inst: 202460051211 Date: 12/19/2024 Time: 10:46AM  
Page 3 of 4 B: 4769 P: 675 By: BO  
Doc Stamp-Deed: 1260.00

STATE OF FLORIDA, COUNTY OF SUMTER, ss:

The foregoing instrument was acknowledged before me, by means of  physical presence or  online notarization, this 18<sup>th</sup> day of December 2024 by Heather Heiser NKA Heather Teh, who are personally known to me or who have produced Driver license as identification.



Michelle EVANS

Name typed, printed, or stamped

Notary HH595705

Title or rank

HH 595705

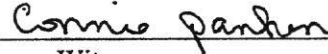
Serial number (if applicable)



**Witness Signatures:**

  
\_\_\_\_\_  
Witness

Harry Trapp  
12161 CR 774A  
Webster  
Florida

  
\_\_\_\_\_  
Witness

Connie Parker  
12161 CR 774A  
Webster  
Florida

## Exhibit A

Gloria R. Hayward, Sumter County Clerk of Court  
Inst: 202460051211 Date: 12/19/2024 Time: 10:46AM  
Page 4 of 4 B: 4769 P: 676 By: BO  
Doc Stamp-Deed: 1260.00

A parcel of land being in a portion of the Northeast 1/4 of the Northeast 1/4 of Section 13, Township 22 South, Range 22 East, Sumter County, Florida, being more particularly described as follows:  
The South 50.00 feet of the West 254.50 feet of the East 1/2 of the Northeast 1/4 of the Northeast 1/4 of Section 13, Township 22 South, Range 22 East, Sumter County, Florida.

AND

A portion of the East 1/2 of the Southwest 1/4 of the Northeast 1/4 of the Northeast 1/4 of Section 13, Township 22 South, Range 22 East, Sumter County, Florida. LESS The East 20.00 feet thereof for right-of-way, all being more particularly described as follows:

As a Point of Reference, BEGIN at the Southwest corner of the South 50.00 feet of the East 1/2 of the Northwest 1/4 of the Northeast 1/4 of the Northeast 1/4 of Section 13; thence N 00°16'22"E along the West boundary of said East 1/2, a distance of 50.00 feet to the Northwest corner of the South 50.00 feet of said East 1/2; thence S 89°35'50"E along the North boundary of said South 50.00 feet of said East 1/2, a distance of 254.50 feet to the Northeast corner of said East 1/2; thence departing said North boundary S 00°01'33"W along the East boundary of said East 1/2, a distance of 50.00 feet to the Southeast corner of the South 50.00 feet of said East 1/2, said point also being on the North boundary of the Southwest 1/4 of the Northeast 1/4 of the Northeast 1/4 of said Section 13; thence departing said East boundary S 89°20'02"E along the North boundary of said Southwest 1/4, a distance of 55.60 feet to the Westerly boundary of the East 20.00 feet of the Southwest 1/4 of the Northeast 1/4 of the Northeast 1/4 of said Section 13; thence departing said North boundary S 00°06'42"E along the West boundary of said East 20.00 feet, a distance of 635.77 feet to the South boundary of the East 1/2 of the Southwest 1/4 of the Northeast 1/4 of the Northeast 1/4 of said Section 13; thence departing said West boundary N 89°57'50"W along said South boundary, a distance of 311.71 feet; thence departing said South boundary N 00°01'52"E, a distance of 638.05 feet; to the POINT OF BEGINNING.

Parcel Identification Number: S13-034



STATE OF FLORIDA, COUNTY OF SUMTER  
I HEREBY CERTIFY that the above and  
foregoing is a true copy of the original.  
Gloria R. Hayward, Clerk of Court  
Deputy Clerk  
Date: 12/31/2024



## AFFIDAVIT OF PUBLICATION

State of Florida, County of Broward, ss:

Enrique Diaz, being first duly sworn, deposes and says: That (s)he is a duly authorized signatory of Column Software, PBC, duly authorized agent of Sumter Sun Times, a newspaper printed and published in the City of Bushnell, County of Sumter, State of Florida, and that this affidavit is Page 1 of 2; that the attached copy or reprint of the advertisement, to the right, being a Public Notice, was published in said newspaper by print in the issues of or by publication on the newspaper's website, if authorized, on:

**PUBLICATION DATES:**

- Feb 6, 2025

**NOTICE ID:** 1QYbsOT6DMpbdTKjLUcF

**NOTICE NAME:** LU25-000003/ZON25-000003

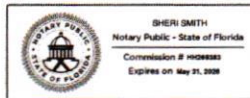
**Publication Fee:** \$360.96

Affiant further says that the Sumter Sun Times newspaper complies with all legal requirements for publication in chapter 50, Florida Statutes.

(Signed) Enrique Diaz

**VERIFICATION**

State of Florida  
County of Broward



Subscribed in my presence and sworn to before me on this:  
02/07/2025

S. Smith  
Notary Public

Notarized remotely online using communication technology via Proof.