

Latah County Planning & Building Department



Pole Building Information Packet

Contents:

- ❑ Building Permit Application
- ❑ Site Plan
- ❑ Requirements for Pole Buildings
- ❑ Purlin or Rafter Span Table
- ❑ Page A, B, & C (*are to be filled in and submitted with the application*)



BUILDING PERMIT APPLICATION

LATAH COUNTY DEPARTMENT OF PLANNING & BUILDING

BP # _____

JOB ADDRESS: _____ <small>(number) (road name) (city) (zip code)</small>	ASSESORS PARCEL NUMBER: _____
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IF NO ADDRESS HAS BEEN ASSIGNED OR DRIVEWAY LOCATION HAS CHANGED, A NEW ADDRESS IS REQUIRED TO BE PAID FOR AND ISSUED.

1. Proposed approaches will not be approved for an address; all approaches must be constructed prior to any address being issued.
2. Attach a parcel map showing the location of your approved, constructed approach (with measurements of property lines), the public road and a site plan for proposed or existing structures.

OWNER:		Mailing Address:	
Phone:	Cell #:	Email:	

CONTRACTOR:		Mailing Address:	
Phone:	Cell #:	Email:	License #:

ENGINEER/ARCHITECT:		Mailing Address:	
Phone:	Cell #:	Email:	License #:

# of Existing Dwellings on Parcel	# of other structures on parcel	Existing uses on parcel
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Will this structure(s) be used for (check all that apply): Residence Guest House Residential Shed/Shop/Garage Home Occupation Bed and Breakfast Church/School Events Center/Wedding Venue Community Center/Fire-Station/Library/Other Public Purpose Business/ Bus. Accessory Farm/Forest Day Care Group home Duplex/Apartments/Rental Hunting/Vacation Cabin Other: _____

**Many types of structures are required to have plans submitted by a design professional. Please contact the Bldg. Dept. prior to plan submittal for a determination.*

Please describe entire current and future use in full detail (use separate page if necessary):

Class of Work: New Addition Alteration Repair Move Change of Occupancy From: _____ To: _____

Approximate size of new structure:	Occupancy(s) of new structure:
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Authorization

The applicant does hereby certify that all of the above statements are information in any attachments transmitted herewith are true, and further acknowledges that approval of this application may be revoked if it is found that any such statements are false.

a. Signature of Applicant	b. Date	c. Signature of Property Owner (If different than applicant)	d. Date
a. Signature of Contractor	b. Date		

Office Use Only

<p style="text-align: center;">CERTIFICATE OF OCCUPANCY REQUIREMENTS:</p> <p><input type="checkbox"/> State Plumbing Final Inspection <input type="checkbox"/> State Electrical Final Inspection <input type="checkbox"/> Special Zoning Requirements:</p> <hr/> <p style="text-align: center;">SPECIAL CONDITIONS:</p> <p>Under the 2009 IBC/IRC staples are not permitted as a roofing fastener. Two layers of roofing are the maximum allowed. A second layer shall not be installed over wood shakes/shingles. An ice barrier is required for most applications. Safety glazing may be required in certain areas.</p> <p style="text-align: center;">NOTICE:</p> <p>The permit applied for with this application becomes null and void if no inspection is requested and performed for the work authorized within 180 days from date of issuance, and/or if no inspection is requested and performed for a period of 180 days from the most recent inspection</p> <p>I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction.</p>	TYPE OF CONST:	OCCUPANCY GROUP:	SNOW LOAD:	ENGINEERING: <input type="checkbox"/> Yes <input type="checkbox"/> No	
	SPECIAL APPROVALS	APPROVED BY	DATE	COMMENTS	
	SEPTIC/SEWER				
	ROAD ACCESS				
	ZONING			Floodplain: <input type="checkbox"/> Yes <input type="checkbox"/> No If Yes Panel # _____	
	ADDRESS			New Address: <input type="checkbox"/> Yes <input type="checkbox"/> No	
	PERMIT FEE		RECEIVED BY:		
	PLAN CHECK FEE		PLANS CHECK BY:		
	TOTAL FEE		ISSUED BY:		

WARNING:

COMMENCEMENT OF CONSTRUCTION PRIOR TO THE ISSUANCE OF A LATAH COUNTY BUILDING PERMIT, AND PRIOR TO ZONING APPROVAL, IS DONE WITH THE UNDERSTANDING THAT ALL WORK WILL BE REMOVED IF A PERMIT IS NOT ISSUED OR IF ZONING APPROVAL IS NOT RECEIVED.



LATAH COUNTY PLANNING & BUILDING

Latah County Courthouse

PO Box 8068, 522 South Adams
Moscow, ID 83843

(208) 883-7220 ♦ FAX (208) 883-7225 ♦ E-Mail: pb@latah.id.us

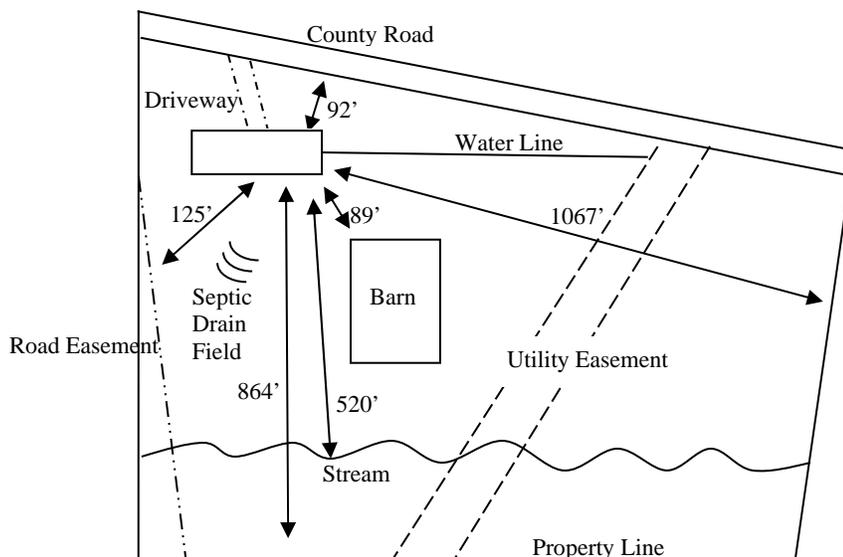
INSTRUCTIONS FOR PREPARING A SITE PLAN

A site plan is required in order for the Planning and Building Department to verify that setbacks from property lines and road easements are being met. Therefore, it is important that all the information requested be shown on the plan.

Upon request, a map can be provided from the Planning and Building Department.

The diagram below is a sample of a properly prepared site plan. It contains all the information needed to determine if the proposed structure will be permitted at the intended site:

1. The proposed structure or addition is accurately located on the parcel.
2. Other structures on the property are accurately shown, showing setbacks.
3. Measured distances between the proposed structure or addition, and all property boundaries and other structures are shown.
4. Location of driveway, access from public roads (*permits/approvals required in some cases*)
5. Road easements and right-of-ways are shown.
6. Location of utility easements. Additionally, the Planning and Building Department will need a copy and written approval of utility easements. The utility provider shall indicate that the easement at the time of occupancy is adequate for minimizing damage to utility lines.
7. Location of sewer, water, and gas service lines.
8. Location of streams and distance to them. All buildings shall be setback at least 100 feet from perennial streams shown on USGS 7.5 minute maps. If this setback prohibits the construction of the building without a variance, it must be constructed as far from the stream as possible while meeting all other setback requirements of the zone.
9. Location of grading, surfacing, and drainage details.





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Requirements for Pole Buildings

Because pole buildings do not generally qualify as Heavy Timber Type IV construction, and do not follow standard light frame construction methods, there are circumstances under which engineering is required. If you have any questions not specifically addressed by the following list or the building permit application packet, please contact the Building Department to have the answers clarified prior to permit application and issuance.

Buildings meeting the following requirements do not require engineering:

Bays from 8'-12' in width.

Poles/posts buried at least 42" with concrete in the bottom of the hole and backfilled with gravel that is tamped, or with concrete.

Girts and/or purlins to meet snow load requirements for the site.

Engineered stamped truss specification sheets for the roof.

Individual roof structures 36 ft. or less in width.

Roof snow loads 60 lb. or less.

Maximum wall height of 12' with 6x6 post, maximum height of 14' with 6x8 post.

All other buildings require:

Fully engineered plans, stamped by an engineer licensed in Idaho, showing dimensions of the current project; must have current date, and address relevant snow load, exposure, and any other site specific needs, including pole setting depth.

Truss specification sheet, stamped by an engineer licensed in Idaho, addressing the snow load, spacing on the trusses and showing bracing required, as well as proper setting of trusses on posts or beams with blocking requirements identified. If trusses are to carry a ceiling on the bottom chord, the truss specification sheet should indicate load carrying capacity for this feature.

All pole buildings must meet all zoning, floodplain and other state permit requirements, i.e., plumbing and electrical, regardless of any exemption from the building permit requirement afforded to agricultural buildings.

If a builder wishes to use exact plans from another or previous project, the footprint of the new structure must be exactly the same, the site conditions must be the same: snow load and exposure, etc. A new site plan would be required showing setbacks at the pertinent site.

Exterior infill walls in pole buildings

Infilling between posts with vertical stud walls which are attached to both the posts and roof framing members is **not** allowed without a frost depth slab edge which is at least as thick as the studs which it supports above. All exterior walls which are subject to potential frost heave must have footings that extend below the frost line. In Latah County that frost line depth is 30 inches. Although these infill walls are technically exterior walls, they are non-bearing in nature and as such, do not require the full size footing as a normal exterior bearing wall.

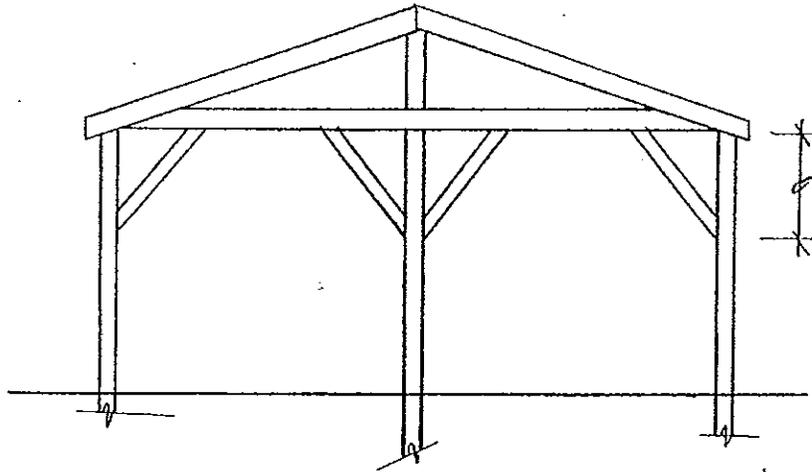
Purlin or Rafter Span Table

2"x 6" -DF #2		Maximum Span Table			Roof Pitch 3/12 – 5/12	
Snow Load	30 #	40#	60#	80#		
Purlin Spacing						
12" O.C.	13'-3"	12'	10'-3"	9'		
16" O.C.	11'-9"	10'-6"	9'	7'-9"		
19.2" O.C.	10'-9"	9'-8"	8'-3"	7'-3"		
24" O.C.	9'-8"	8'-8"	7'-4"	6'-6"		

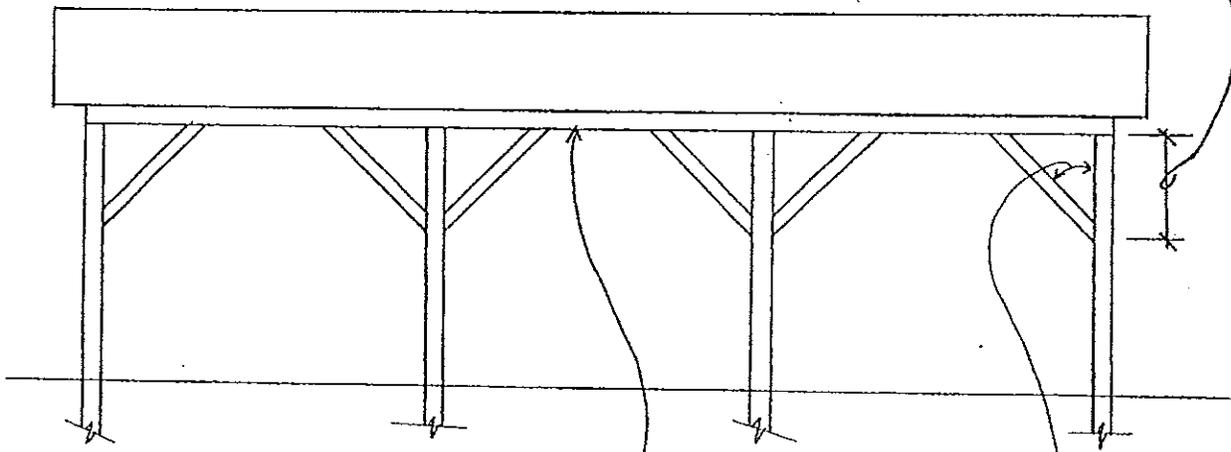
2"x 8" -DF #2		Maximum Span Table			Roof Pitch 3/12 – 5/12	
Snow Load	30 #	40#	60#	80#		
Purlin Spacing						
12" O.C.	17'-4"	15'-4"	13'	11'-6"		
16" O.C.	15'	13'-4"	11'-4"	10'		
19.2" O.C.	13'-8"	12'-3"	10'-4"	9'		
24" O.C.	12'-3"	11'	9'-3"	8'		

2"x 10" -DF #2		Maximum Span Table			Roof Pitch 3/12 – 5/12	
Snow Load	30 #	40#	60#	80#		
Purlin Spacing						
12" O.C.	21'	18'-9"	16'	14'		
16" O.C.	18'-3"	16'-4"	13'-9"	12'-3"		
19.2" O.C.	16'-8"	15'	12'-8"	11'		
24" O.C.	15'	13'-4"	11'-4"	10'		

OPEN SIDED BUILDINGS



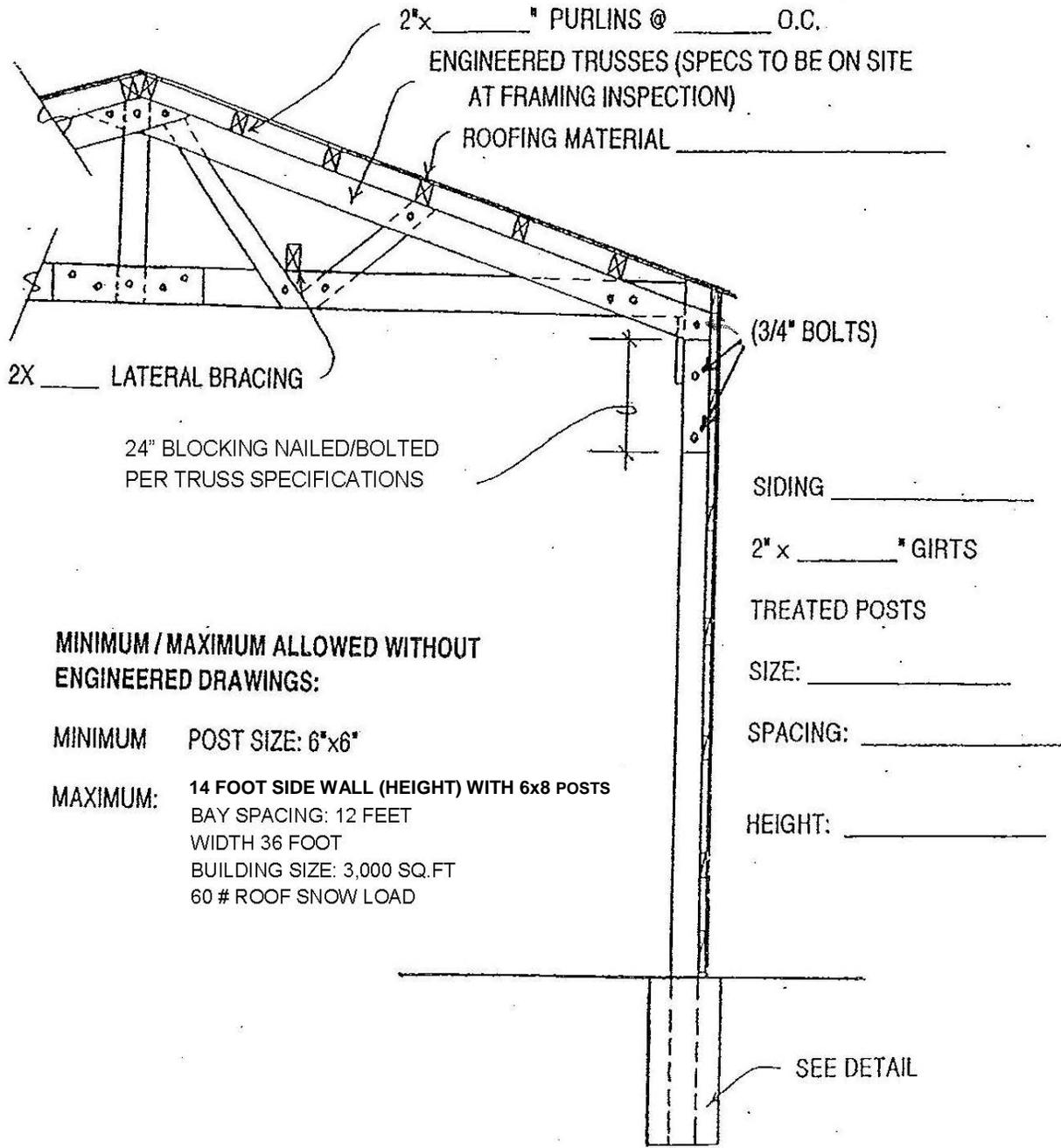
TYPICAL BRACING - 1/4 THE POLE HEIGHT 2 FEET MINIMUM



2" x _____ OR HEADER AS REQUIRED

45 DEGREES MAXIMUM

Page A. – Please submit with application.



MINIMUM / MAXIMUM ALLOWED WITHOUT ENGINEERED DRAWINGS:

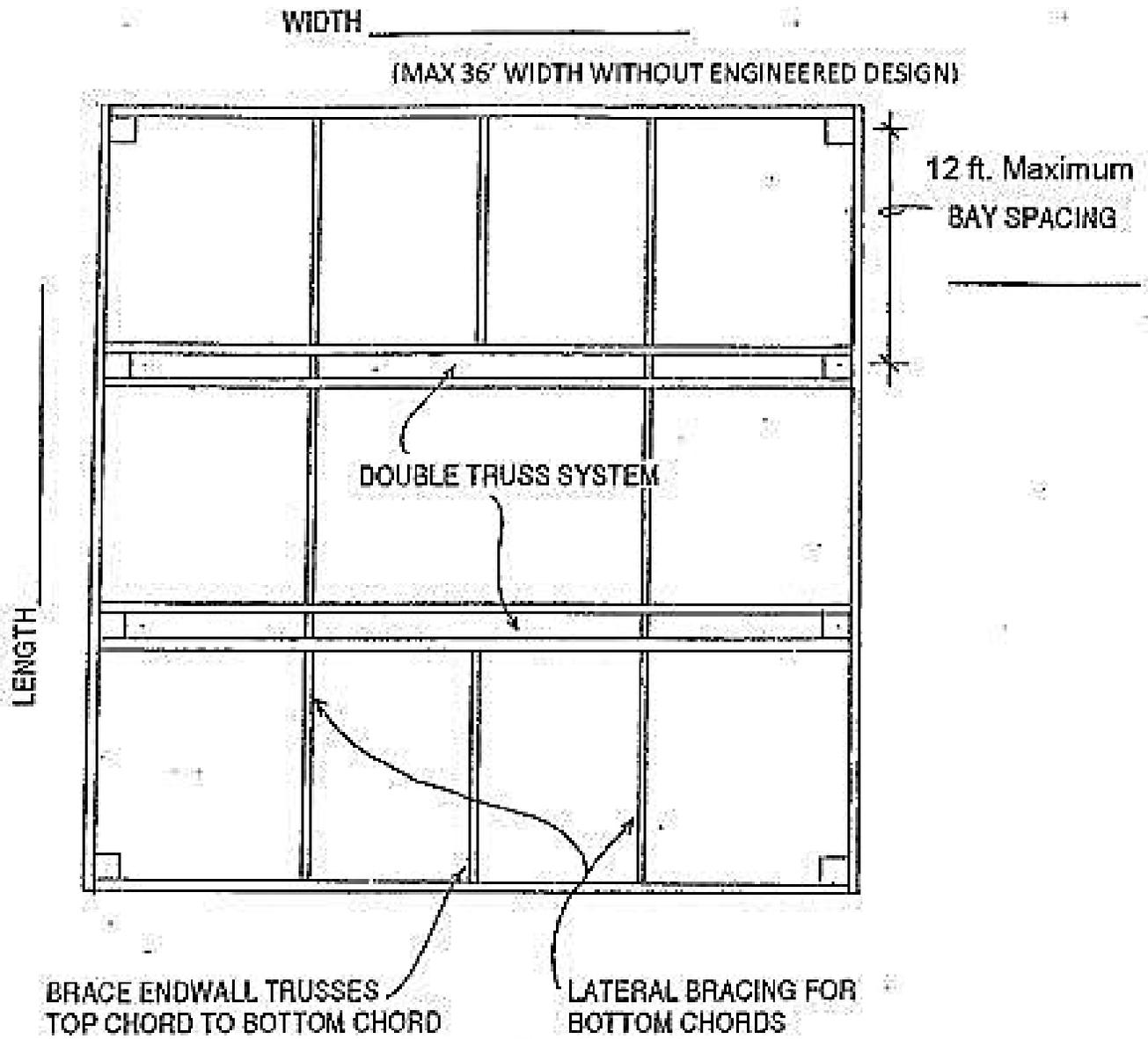
MINIMUM POST SIZE: 6"x6"

MAXIMUM: 14 FOOT SIDE WALL (HEIGHT) WITH 6x8 POSTS
 BAY SPACING: 12 FEET
 WIDTH 36 FOOT
 BUILDING SIZE: 3,000 SQ.FT
 60 # ROOF SNOW LOAD

NOTES: ALL ENGINEERED SITE-BUILT TRUSSES REQUIRE KNEE-BRACING.

ALL FASTENERS USED IN TREATED WOOD SHALL BE GALVANIZED OR STAINLESS STEEL

Page B. – Please submit with application.



Page C. - Please submit with application.

