

Matre Forestry Consulting, Inc.

2549 Lafayette Plaza Dr

Suite 204

Albany GA 31707

Office (229) 639 4973 Fax (229) 255 2910

www.matreforestry.com



1/15/2019

Re: +-119 Acres Harric County GA (Turntime Branch Tract 1 of 2)

Dear Prospective Land Buyers,

We are pleased to offer for sale the following property:

**Harris GA 119 (Turntime Branch Tract Tract 1 of 2),
West Central Georgia Land for Sale
Harris County GA Tract, 119 Acres +-
\$550,000; \$4622 per Acre**

- Excellent timber and hunting property with development potential in growing South Harris County GA. Paved road frontage, lake, Turntime Branch and other creeks, and aesthetic mature pine and hardwood timber and rolling terrain.
- DISCLAIMER: All information is provided as courtesy and deemed to be from reliable sources, however, the accuracy of the information is not guaranteed by Matre Forestry nor the seller.
- NOTICES: Please call to schedule a showing and/or to obtain permission to enter the property. Matre Forestry and the seller are not liable for any accidents or injuries that may occur during property inspections. Anyone entering the property must have permission, and enters the property at their own risk.
- TRACT WEBSITE: <https://www.matreforestry.com/harris-ga-119.html>
- LISTING BROKER: Matre Forestry Consulting, Inc.
- LISTING AGENT: Mike Matre, Broker, RF, ALC, ACF; 229-869-1111 ; mike@matreforestry.com
- ACCESS: GA Highway 208 (+-950' road frontage)
- TIMBER RESOURCES: Mature pine and hardwood timber on old-field upland, slope, and creek bottom sites. See timber map by clicking files in the interactive map.
- AGRICULTURE RESOURCES: The tract is in timber, but there are old-field sites suitable for conversion to agriculture purposes, especially pasture for horses or cows.
- HUNTING & HABITAT: Excellent wooded habitat with plenty of water and acorns and native browse. Openings and gas right of way are ideal for food plots.
- IMPROVEMENTS: Lake, roads, entrance.
- WATER RESOURCES: Lake, creeks (one creek is named Turntime Branch).
- UTILITIES: Power line, cell service, county water, cable, phone along road frontage.
- CURRENT USE: Hunting, timber, fishing, Higher and Better Use (HBU) Timberland
- POTENTIAL USE: Homesites, Residential Development, Ideal for Permanent Conservation Easement

- LEGAL DESCRIPTION: Part of LL 8 DIST 21 & LL 248 & 249 DIST 21, Part of Parcel 068 017
- ZONING: AG/Timber
- RESTRICTIONS (OTHER THAN ZONING AND COUNTY WIDE ORDINANCES): None.
- LEASES: Hunting lease. Can be cancelled at closing.
- PROPERTY INCOME: Periodic Timber Income Potential, Leasing of hunting Rights Potential, Development Potential
- SOIL: Sandy Loam. See soil map by clicking files in the interactive map.
- TOPOGRAPHY: Gently Rolling, some flat and some rolling and some steep. 0% to 25% slopes +/-
- COORDINATES (LAT. & LONG.): 32.6953 -84.8372
- ELEVATION: 610' - 710' +/-
- OTHER: Additional +/-2 acres and house available, but must grant current tenant a life estate at current rental rate, Contact Mike Matre at 229-869-1111 for more information on the 2 acres and house. Additional +/-199 acres available. See Harris County GA 199 Tract (Tract 2 of 2).

NOTE: To make sure you stay up to date with our land and timber offerings, please sign up for the Matre Forestry newsletter at <https://www.matreforestry.com/newsletter.html>.

We appreciate your interest in the sale. Please contact us anytime to schedule a showing.

Sincerely,

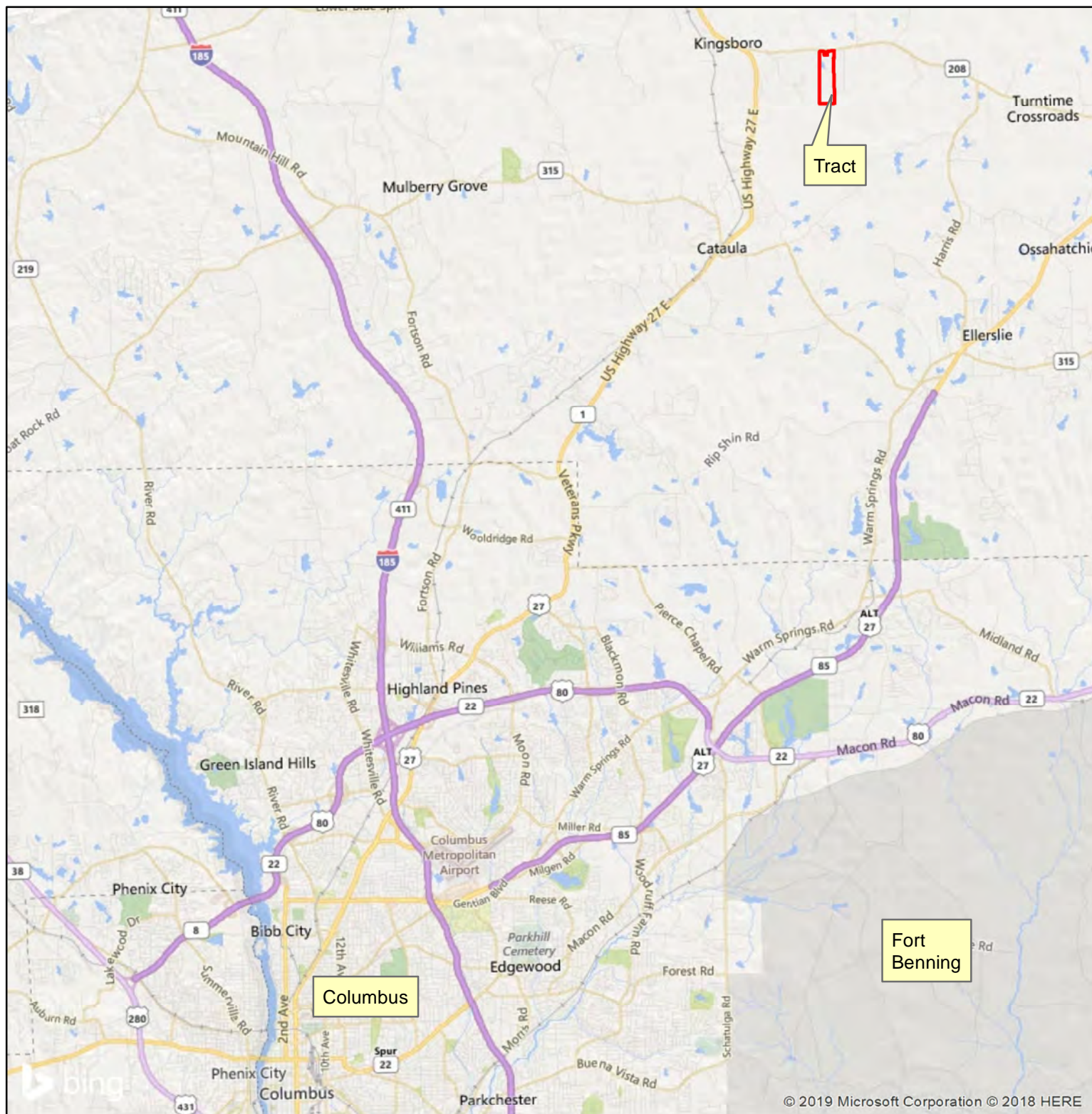
Mike Matre, ALC, ACF, RF
 President, Matre Forestry Consulting, Inc.
 Georgia & Alabama Registered Forester (GA# 2486, AL# GA2486)
 Georgia & Alabama Licensed Real Estate Broker
 Mobile (229) 869-1111
mike@matreforestry.com



Established in 1999, Matre Forestry Consulting, Inc. of Albany, Georgia is a full service forestry consulting company and real estate brokerage. On behalf of our clients, our services include timber sales & management, land sales and acquisitions, timber inventories/cruising, appraisals, marking, prescribed burning, reforestation, GPS & GIS mapping, investment & market analysis, contract forestry services, wildlife habitat improvement, and hunting plantation development.







Harris GA 119 Tract (Tract 1 of 2) Turntime Branch Tract 1 +-119.18 Acres (from Plat) Harris Co GA

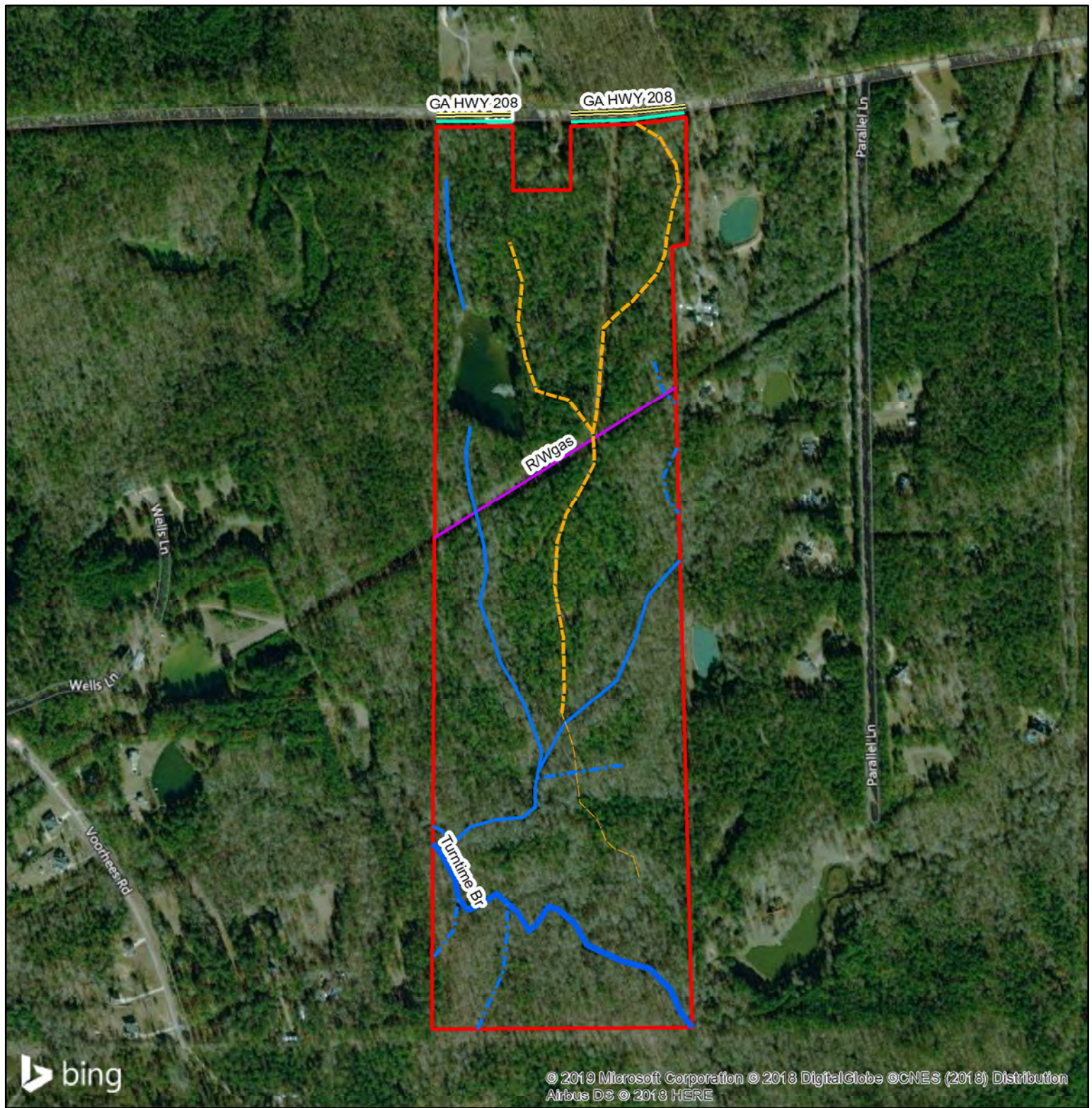
Part of Parcel 068 017
 LL 8 DIST 21 & LL 248 & 249 DIST 21
 Disclaimer: Map information is not guaranteed.
 Map is intended for management purposes.
www.matreforestry.com 229-639-4973
 1:138,362 1 inch equals 11,530.17 feet

Key:
 MaUPH = Mature Upland Pine Hardwood
 MaUHP = Mature Upland Hardwood Pine
 MaBH = Mature Bottomland Hardwood
 (Bottomland may contain upland, slope & bottom)



Date: 1/14/2019

Legend	
TractNum	TractName
1	1, Harris GA 119



Harris GA 119 Tract (Tract 1 of 2) Turntime Branch Tract 1 +-119.18 Acres (from Plat) Harris Co GA

Part of Parcel 068 017
 LL 8 DIST 21 & LL 248 & 249 DIST 21
 Disclaimer: Map information is not guaranteed.
 Map is intended for management purposes.
www.matreforestry.com 229-639-4973
 1:7,920 1 inch equals 660 feet
 0 330 660 1,320 Feet

Key:
 MaUPH = Mature Upland Pine Hardwood
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 MaBH = Mature Bottomland Hardwood
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Date: 1/14/2019

Legend	
Lines	
TractNum, Descrip	
1, Road StateHwy	
1, Road Woods	
1, Road Trail	
1, Creek Named	
1, Creek	
1, Drain	
1, R/Wpower	
1, R/Wgas	
TractNum, TractName	
1, Harris GA 119	



Legend

Lines

TractNum, Descrip

- 1, Road StateHwy
- 1, Road Woods
- 1, Road Trail
- 1, Creek Named
- 1, Creek
- 1, Drain
- 1, R/Wpower
- 1, R/Wgas

TractNum, TractName

- 1, Harris GA 119

TractNum, StrataNum, Label, Acres+-

- 1, 101, MaUPH, 53.8ac
- 1, 102, MaUHP, 8.6ac
- 1, 103, MaBH, 47.5ac

TractNum, Label, Acres+-

- 1, Lake, 4.2ac
- 1, Open, 2.6ac
- 1, R/Wgas, 2.8ac

Harris GA 119 Tract (Tract 1 of 2)

Turntime Branch Tract 1

+/-119.18 Acres (from Plat)

Harris Co GA

Part of Parcel 068 017
 LL 8 DIST 21 & LL 248 & 249 DIST 21
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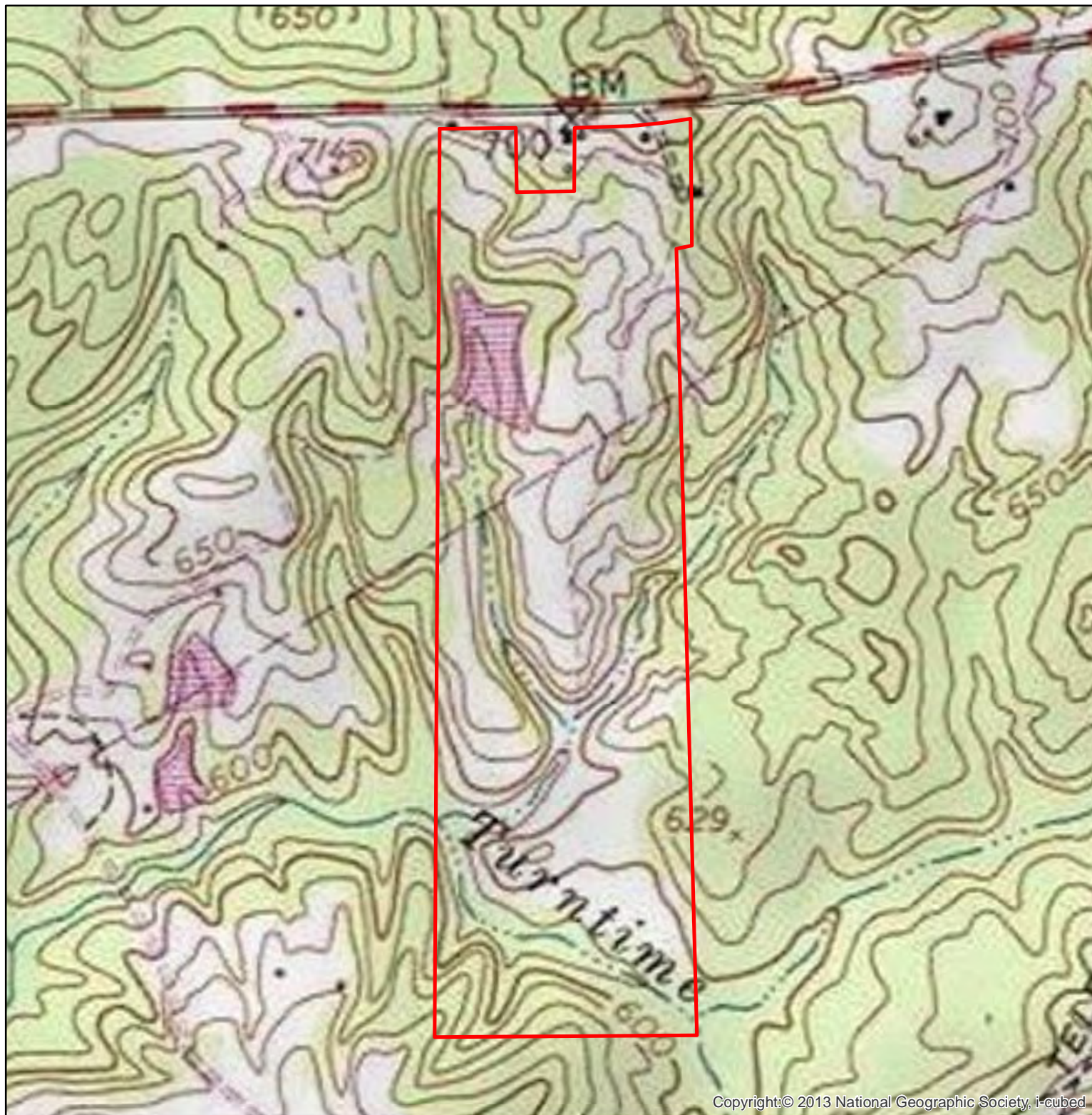
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Date: 1/14/2019



Copyright:© 2013 National Geographic Society, i-cubed

Harris GA 119 Tract (Tract 1 of 2)

Turntime Branch Tract 1

+119.18 Acres (from Plat)

Harris Co GA

Part of Parcel 068 017

LL 8 DIST 21 & LL 248 & 249 DIST 21

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Date: 1/14/2019

Legend

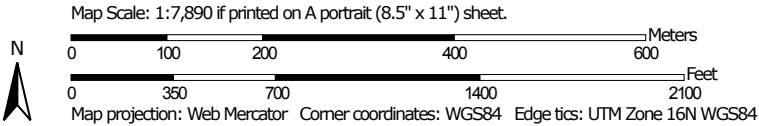
TractNum, TractName

1, Harris GA 119

Soil Map—Harris and Talbot Counties, Georgia
(HarrisGA119)



Soil Map may not be valid at this scale.



Natural Resources
Conservation Service

Web Soil Survey
National Cooperative Soil Survey

1/15/2019
Page 1 of 3

Map Unit Legend

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
CeB2	Cecil sandy loam, 2 to 6 percent slopes, moderately eroded	12.6	10.6%
CeC2	Cecil sandy loam, 6 to 10 percent slopes, moderately eroded	34.7	29.0%
ChA	Chewacla loam, 0 to 2 percent slopes, frequently flooded	17.4	14.5%
PaD2	Pacolet sandy loam, 10 to 15 percent slopes, moderately eroded	20.8	17.4%
PaE2	Pacolet sandy loam, 15 to 25 percent slopes, moderately eroded	30.8	25.7%
W	Water	3.3	2.7%
Totals for Area of Interest		119.6	100.0%

Forest Productivity (Tree Site Index): loblolly pine (Coile, Schumacher 1953 (690))

Map unit symbol	Map unit name	Rating (feet)	Acres in AOI	Percent of AOI
CeB2	Cecil sandy loam, 2 to 6 percent slopes, moderately eroded	85	12.6	10.6%
CeC2	Cecil sandy loam, 6 to 10 percent slopes, moderately eroded	82	34.7	29.0%
ChA	Chewacla loam, 0 to 2 percent slopes, frequently flooded		17.4	14.5%
PaD2	Pacolet sandy loam, 10 to 15 percent slopes, moderately eroded	74	20.8	17.4%
PaE2	Pacolet sandy loam, 15 to 25 percent slopes, moderately eroded	74	30.8	25.7%
W	Water		3.3	2.7%
Totals for Area of Interest			119.6	100.0%

Description

The "site index" is the average height, in feet, that dominant and codominant trees of a given species attain in a specified number of years. The site index applies to fully stocked, even-aged, unmanaged stands.

This attribute is actually recorded as three separate values in the database. A low value and a high value indicate the range of this attribute for the soil component. A "representative" value indicates the expected value of this attribute for the component. For this attribute, only the representative value is used.

Rating Options

Units of Measure: feet

Tree: loblolly pine

Site Index Base: Coile, Schumacher 1953 (690)

Aggregation Method: Dominant Component

Component Percent Cutoff: None Specified

Tie-break Rule: Higher

Interpret Nulls as Zero: No

*NOTE: SUBJECT PROPERTY IS TRACT ONE MINUS 2 ACRES. EXHIBIT A
See plat of 2 acres next page

BK 0612 PG 0092

TRACT NUMBER ONE:

All that tract or parcel of land consisting of 121.18 acres, more or less, situate, lying and being in Land Lot Number 8 and 25 of the 21st Land District of Harris County, Georgia, and more particularly described as follows:

Beginning at the point which marks the Southwest corner of said Land Lot Numbered 8 in said District and extending from thence North 1 degree 58 minutes West along the West boundary line of said Lot a distance of 3007.42 feet to the point which marks the Northwest corner of said Land Lot Numbered 8 and the Southwest corner of said Land Lot Number 25; and extending thence North 1 degree 58 minutes West along the West boundary line of said Land Lot Number 25 a distance of 1439.37 feet to a point on the South right of way line of the public road running from U.S. Highway 27 to Waverly Hall, Georgia; thence Easterly along said South right of way line a distance of 1256.80 feet; thence South 1 degree 54 minutes East a distance of 624.19 feet; thence South 78 degrees 15 minutes West a distance of 73.95 feet; thence South 1 degree 54 minutes East a distance of 3831.95 feet to a point on the South boundary line of said Land Lot Number 8; thence South 87 degrees 50 minutes West along said South boundary line a distance of 1176.97 feet to the point of beginning. All in accordance with a Plat of Survey by Thomas L. French, Jr. dated February 27, 1960, filed in Harris County, Georgia, in Plat Book One at Page 304, reference to said Plat being hereby made for a more complete and accurate description.

TRACT NUMBER TWO:

All that tract or parcel of land consisting of 23.49 acres, more or less, situate, lying and being in Land Lot Number 248 and 249 of the 18th Land District of Harris County, Georgia and more particularly described as follows:

Beginning at a point on the North boundary line of said Land Lot Number 248, said point being fixed a distance of 1176.97 feet North 87 degrees 50 minutes East from the original Southwest corner of Land Lot Number 8 in the 21st Land District of Harris County, Georgia, and extending thence from said point of beginning South 2 degrees East a distance of 959.10 feet; thence North 63 degrees 18 minutes East a distance of 2333.64 feet to a point on the North boundary line of said Land Lot Number 249 in said 18th Land District; thence South 87 degrees 34 minutes West along the North boundary line of said Land Lot 248 and 249 a distance of 2021.18 feet to the point of beginning. All in accordance with a Plat of Survey by Thomas L. French, Jr., dated February 27, 1960, filed in Harris County, Georgia, in Plat Book One at Page 304, reference to said Plat being hereby made for a more complete and accurate description.

FIELD & SUBMITTED
DATE: 4/4/2018
TIME: 11:17 AM
PLAT BOOK: 00038
RECORDING FEE: 8.00
PARTICIPANT ID: 2018074800, 7067927936
CLERK: Stacy K. Harrison
HARRIS COUNTY, GA
NOTE: PLAT

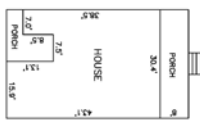
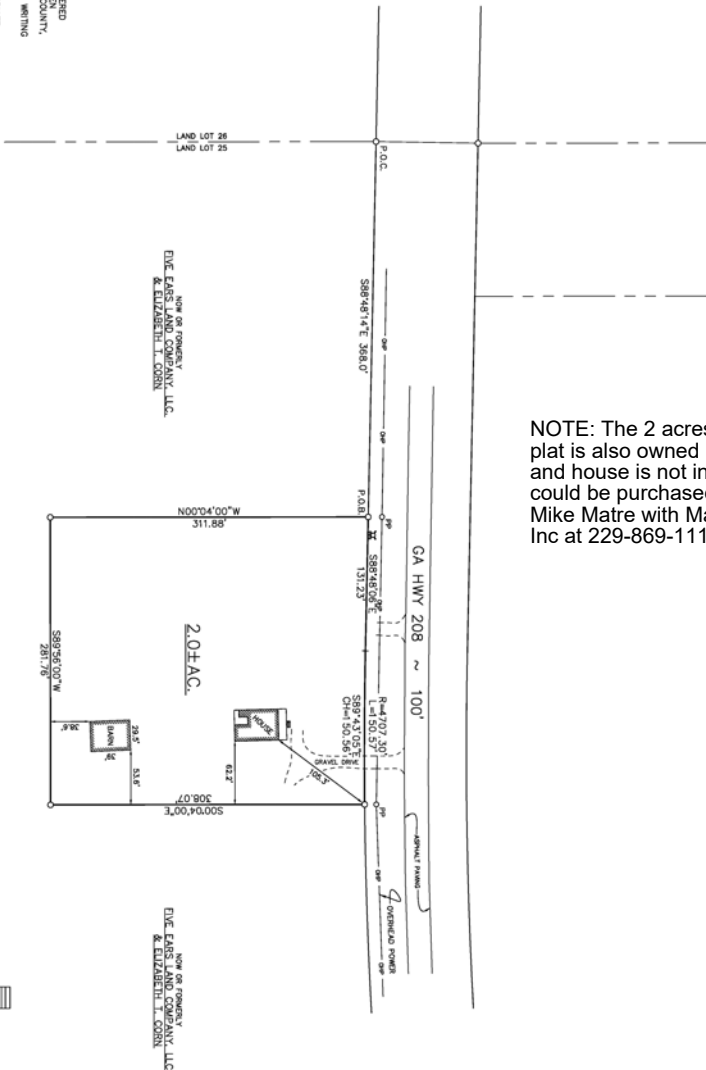
THIS BLOCK RESERVED FOR THE CLERK OF THE
SUPERIOR COURT.

THE FOLLOWING GOVERNMENTAL BODIES HAVE APPROVED THIS MAP,
PLAT, OR PLAN FOR FILING:

APPROVAL BASED ON COMPLIANCE
WITH HARRIS COUNTY SUB-DIVISION
REGULATIONS ONLY.
DATE: 04/04/2018

Harris County Community Development

NOTE: The 2 acres described by this
plat is also owned by seller. The 2 acres
and house is not included in this sale, but
could be purchased. Contact listing broker
Mike Matre with Matre Forestry Consulting,
Inc at 229-869-1111 for more information.



LEGEND

IRON PIN W/ CAP SET
IRON PIN FOUND
PINE MOUNTAIN



PART OF
LAND LOT 25 ~ 21st LAND DISTRICT
HARRIS COUNTY, GEORGIA
FOR
FIVE EARS LAND COMPANY, LLC.
& ELIZABETH T. CORN

Harralson & Adams

SURVEYING | LAYOUT | CONSULTING | PLANNING

WWW.HARRALSON-ADAMS.COM • P.O. BOX 395 CATAULA, GA 31804 • PHONER (706) 573-4302



In any opinion, this Survey complies
with the requirements of the Professional
Engineers and Land Surveyors and the
Professional Surveyors and the
(OCOA) 15-6-47 as amended by
HB 876. In that where a conflict exists
between the requirements of the
specifications, the requirements of law
prevail.

JOB NUMBER: 2018017
SURVEYED BY: GW
DRAWN BY: DCA
SURVEY DATE: 03/07/2018
DRAWING DATE: 03/21/2018
CHECKED BY: RM

PAGE NUMBER

1

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