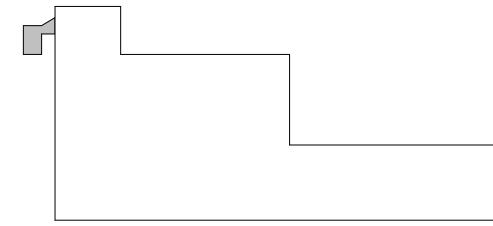


HelloFresh - Dining Pavilion

510 International Park
Newnan, GA 30265

Key Plan



Area of Work

1 Overall Building Plan 1/32" = 1'-0"

General Notes

1. See IA-0.3 - Enlarged Life Safety Plan - Provides occupancy and life safety drawings and information for enlarged Scope of Work area.

Scope of Work Area - Pavilion Enclosure:

PER 2018 NFPA 101 CHAPTER 7

Project Square Footage: Useable Area = 4,995 SF
Project Use and Classification: Assembly Occupancy (Sprinkled)
Business (Sprinkled)

Maximum Occupant Load Calculation (per 2018 NFPA 101 Chapter 7):
Doors (4) at 36" (clear) provided - 144" / 0.2 = **720 Occupants**

Scope of Work Occupancy - Pavilion Enclosure:

Business Use: 1,342 sf
Business Occupancy Load: 1 Person per 150 gsf = **9 Occupants**

Assembly Use: 2,712 sf
Assembly Occupancy Load: 1 Person per 15 gsf = **181 Occupants**

Scope of Work Occupant Load: **196 Occupants**

Total Occupant Load - Scope of Work Area: **190 Occupants**
Maximum Occupancy Load - Scope of Work Area: **720 Occupants**

Exits Capacity: 2 Exits Provided (Scope of Work)
Travel Distance: 2 Exits Required (Scope of Work)
Common Path of Travel: 300 Feet Allowed for Sprinklered Buildings
Dead End Corridor: 50 feet (w/ Approved Sprinkler System)

Not-In-Scope Existing Building Total Floor Occupancy:

Warehouse Use: 61,025 sf
Warehouse Occupancy Load: 1 Person per 500 sf = **123 Occupants**

Business Use: 6,785 sf
Business Occupancy Load: 1 Person per 150 gsf = **46 Occupants**

Business - Collaboration Use: 462 sf
Business - Collaboration Occupancy Load: 1 Person per 30 gsf = **16 Occupants**

Assembly Use: 2,786 sf
Assembly Occupancy Load: 1 Person per 15 gsf = **186 Occupants**

Storage - Non-Mercantile Use: 197,212 sf
Storage - Non-Mercantile Occupancy Load: 1 Person per 500 gsf = **395 Occupants**

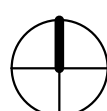
Storage - Locker Rooms: 2,124 sf
Storage - Locker Rooms Occupancy Load: 1 Person per 50 gsf = **43 Occupants**

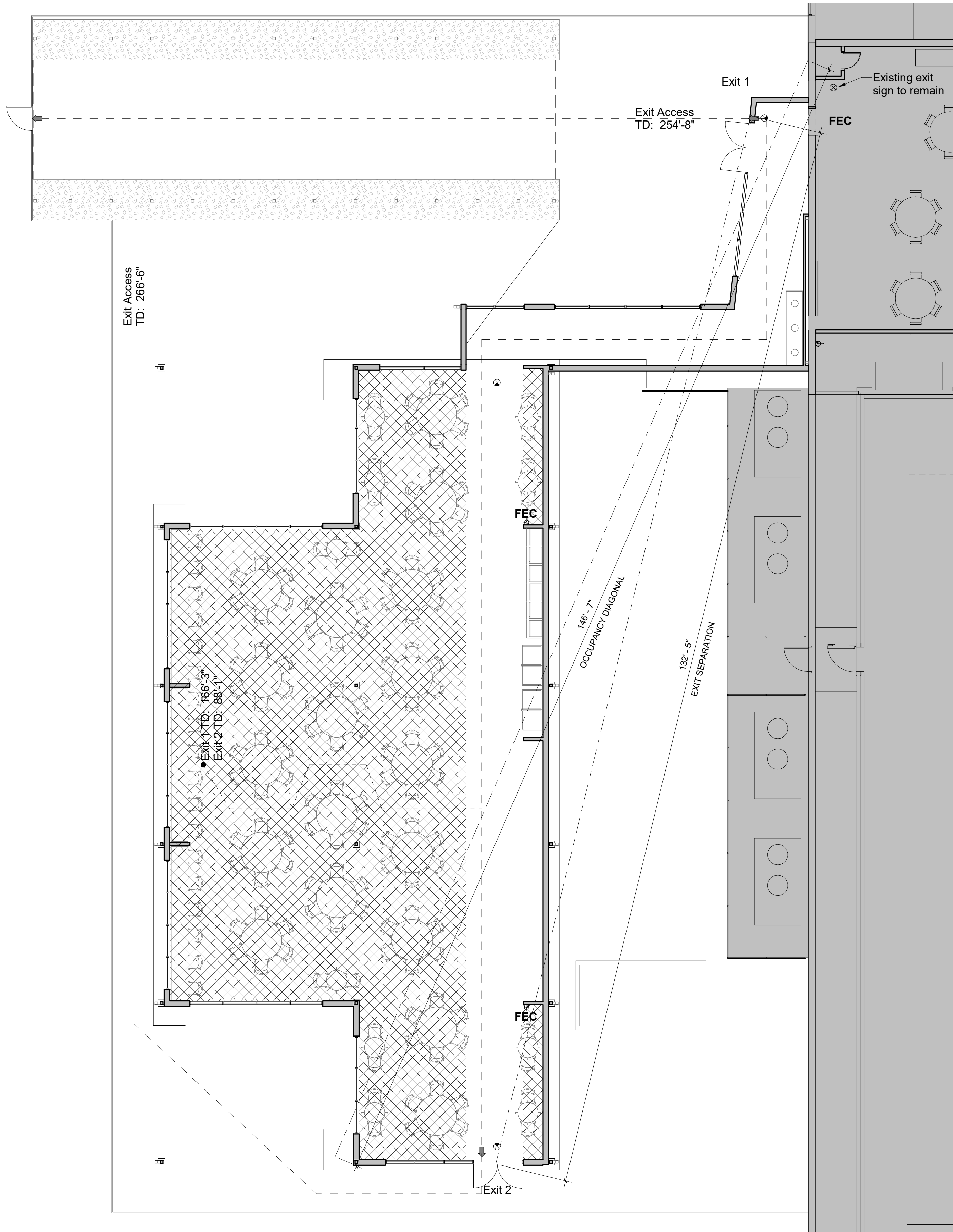
Storage - Training Room: 749 sf
Storage - Training Room Occupancy Load: 1 Person per 15 gsf = **50 Occupants**

Symbols and Legend

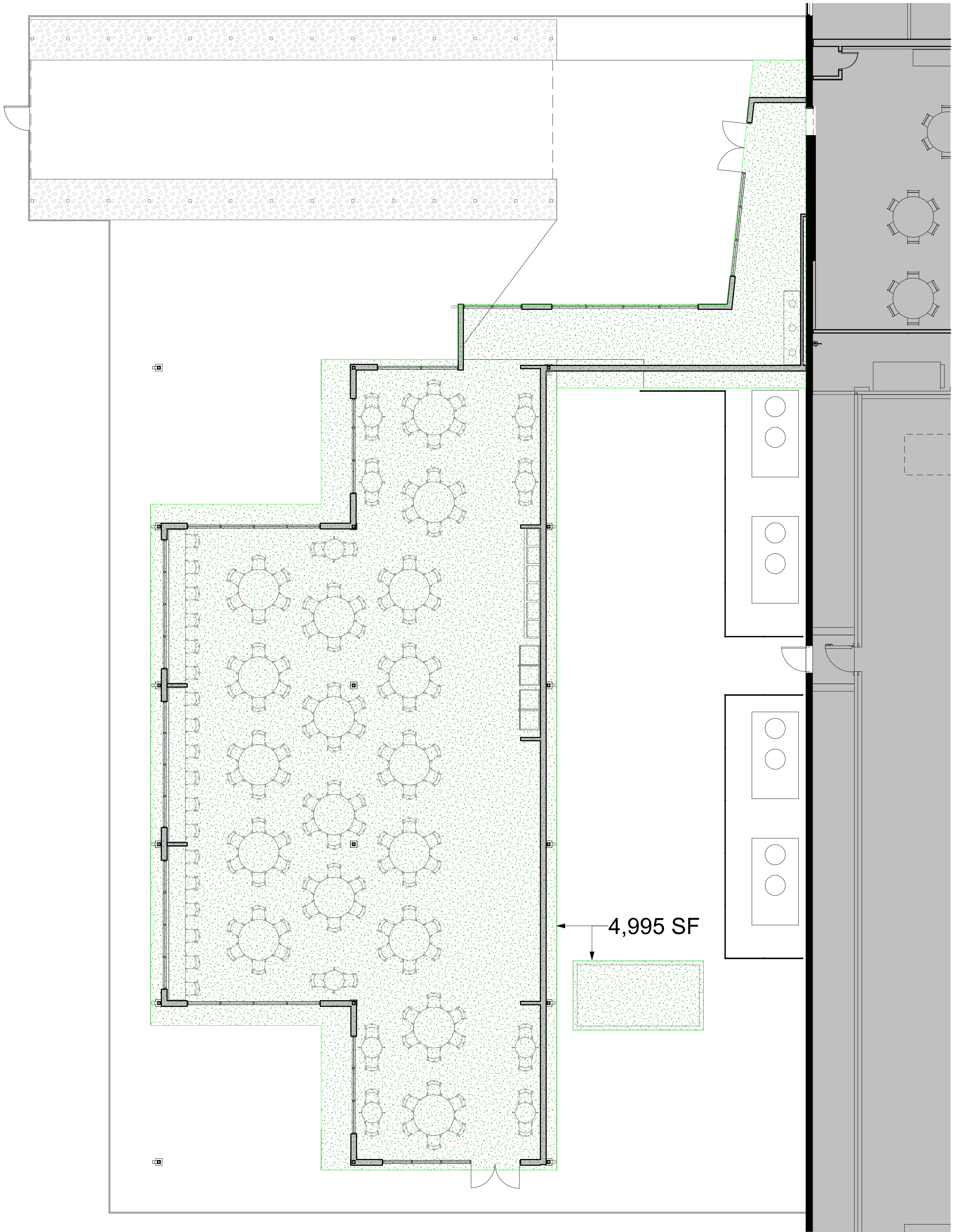
- Assembly Use Occupancy
- Business Use Occupancy
- Not in Scope
- FEC Fire Extinguisher Cabinet - Type ABC
- Life Safety Path of Exit Travel
- Life Safety Common Path of Travel
- Exit Signage - See RCPs for Exact Locations/Info
- Exit from Story
- Existing Partition
- New Partition
- Opening in Partition

Overall Building Plan





1 Life Safety Plan 1/8" = 1'-0"



2 Impervious Surface Plan 1/8" = 1'-0"

General Notes

1. See IA-0.2 Overall Building Plan for existing building occupancy details and life safety information specific to Scope of Work area and Not-In-Scope Existing Building area.

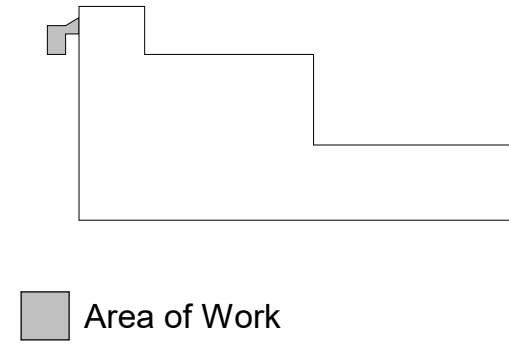
Symbols and Legend

- Assembly Use Occupancy
- Business Use Occupancy
- Not in Scope
- FEC Fire Extinguisher Cabinet - Type ABC
- Life Safety Path of Exit Travel
- Life Safety Common Path of Travel
- Exit Signage - See RCPs for Exact Locations/Info
- Exit from Story
- Existing Partition
- New Partition
- Opening in Partition
- Impervious surface area

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510 International Park
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Key Plan



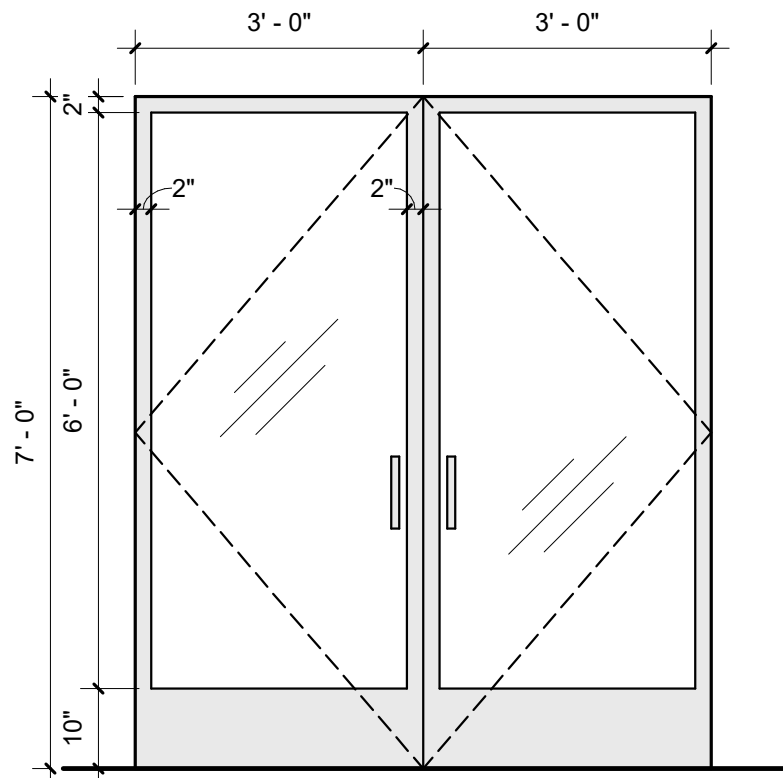
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Revisions				
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Life Safety Plan



Door Types

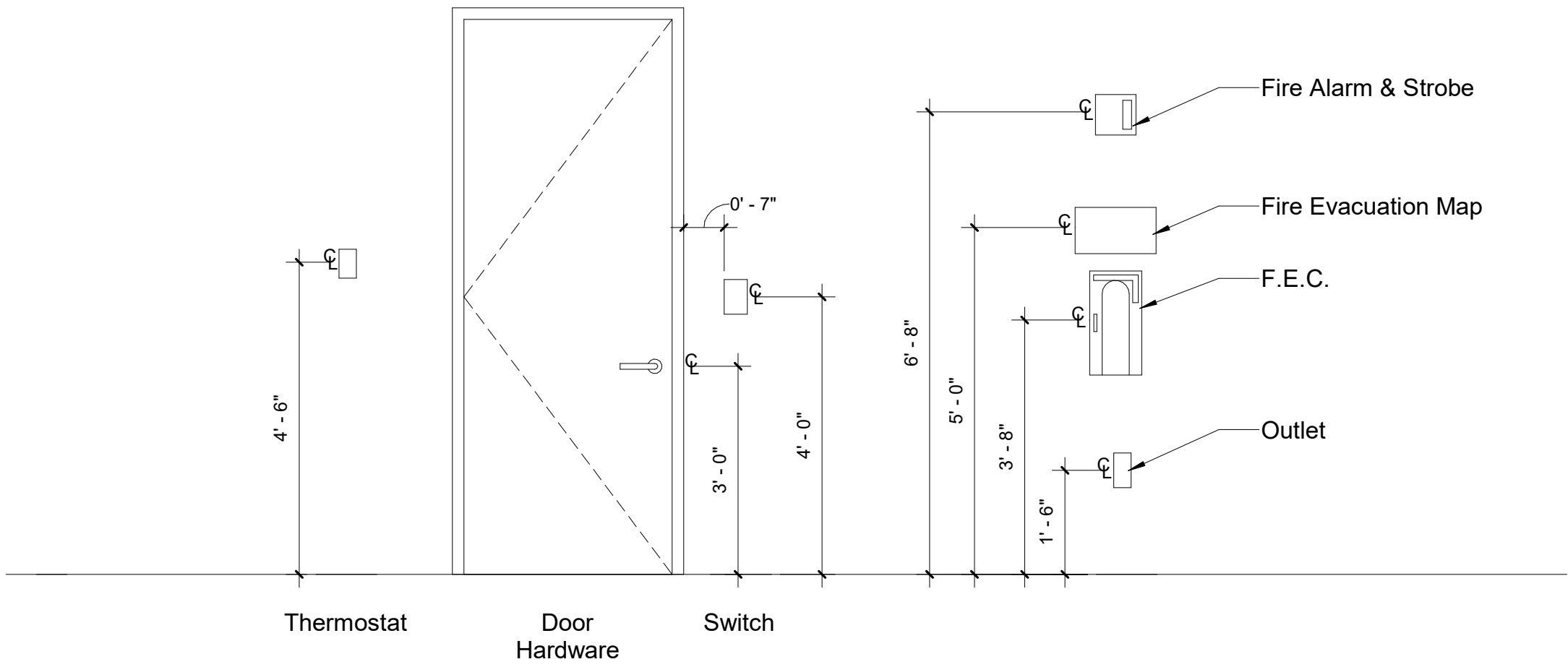


Type A

Door Schedule

DOOR SCHEDULE							
DOOR				FRAME			
NO.	TYPE	WIDTH	HEIGHT	DOOR MATERIAL	FRAME MATERIAL	FRAME FINISH	REMARKS
100	A-1	6' - 0"	7' - 0"	Alumn / Glass	Aluminum	Anodized	
101	A-1	6' - 0"	7' - 0"	Alumn / Glass	Aluminum	Anodized	

ADA Mounting Heights



General Notes

- Hardware schedule indicates general intent of hardware operation for the doors in the facility. All necessary components, accessories, and writing required for complete installation shall be provided by the Contractor / door hardware vendor and reviewed and approved by Architect and owner.
- All hardware provided and keyed by General Contractor, unless noted otherwise.
- Provide strike plates for all doors. For hollow metal door frames, provide strike plate as recommended by door hardware manufacturer for application.
- Provide silencer sets on all hollow metal door frames not to receive gasketing.
- All doors and frames to be installed plumb, straight and true. Maintain adequate tolerances and clearances so that all doors fit as specified and swing/slide properly.
- Any deviation from this will be rejected by owner as unacceptable and will be replaced at supplier's and installer's sole cost.
- Provide all parts necessary for proper operation of all doors.
- Maximum door opening effort of 5 lbs. at interior doors and exterior doors, 15 lbs. at fire rated doors.
- All doors in the required path of egress equipped with electronic locking devices shall have these devices release in the event of a fire alarm activation.
- All doors must be operable from the inside without the use of key, special knowledge or effort.
- All glazing and sidelites to be 1/4" thick clear tempered glass, U.O.N.
- All keyed lockets to be supplied with building standard cylinder.
- Submit shop drawings for all doors, frames, and hardware prior to fabrication.
- Provide three jamb anchors minimum at approximate hinge points for doors up to 7'-6"H max. and one base anchor with two power actuated fasteners per jamb.
- Provide frame rough opening dimensions as recommended by frame manufacturer.
- Provide standard frame profile throat dimensions compatible with and as determined by scheduled partition types.
- Provide straps, anchors and framing accessories as required for as-built field conditions as recommended by the manufacturer and industry standards.
- Door frames shall be secured in place with two full height studs per jamb minimum.
- Door undercuts shall be kept to a minimal dimension based on floor finish material, and shall be uniform throughout project, U.O.N.
- All doors shall comply with the door landing clearances for approaches meeting minimum ADA requirements.

Door and hardware references shall comply with NFPA 101, 2018 edition, Section 12.2.2.2.3:
Any door in a required means of egress from an area having an occupant load of 100 or more persons shall be permitted to be provided with a latch or lock only if the latch or lock is panic hardware or fire exit hardware complying with 7.2.1.7, unless otherwise permitted by one of the following:
(1) This requirement shall not apply to delayed-egress electrical locking systems as permitted in 12.2.2.2.5.
(2) This requirement shall not apply to sensor-release of electrical locking systems as permitted in 12.2.2.2.6."

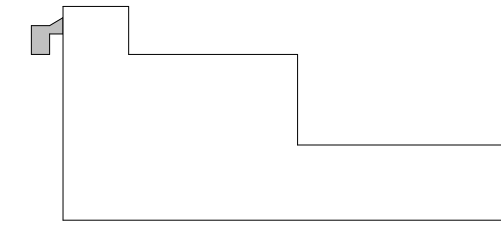
Hardware Schedule

Hardware Type 1	Hinges, Finish Satin Chrome 626/US26D Entry Lockset, Finish Satin Chrome 626/US26D Door Closer, Finish Satin Chrome 626/US26D Weatherstripping Door Sweep Card Reader
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HelloFresh - Dining Pavilion

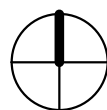
510 International Park
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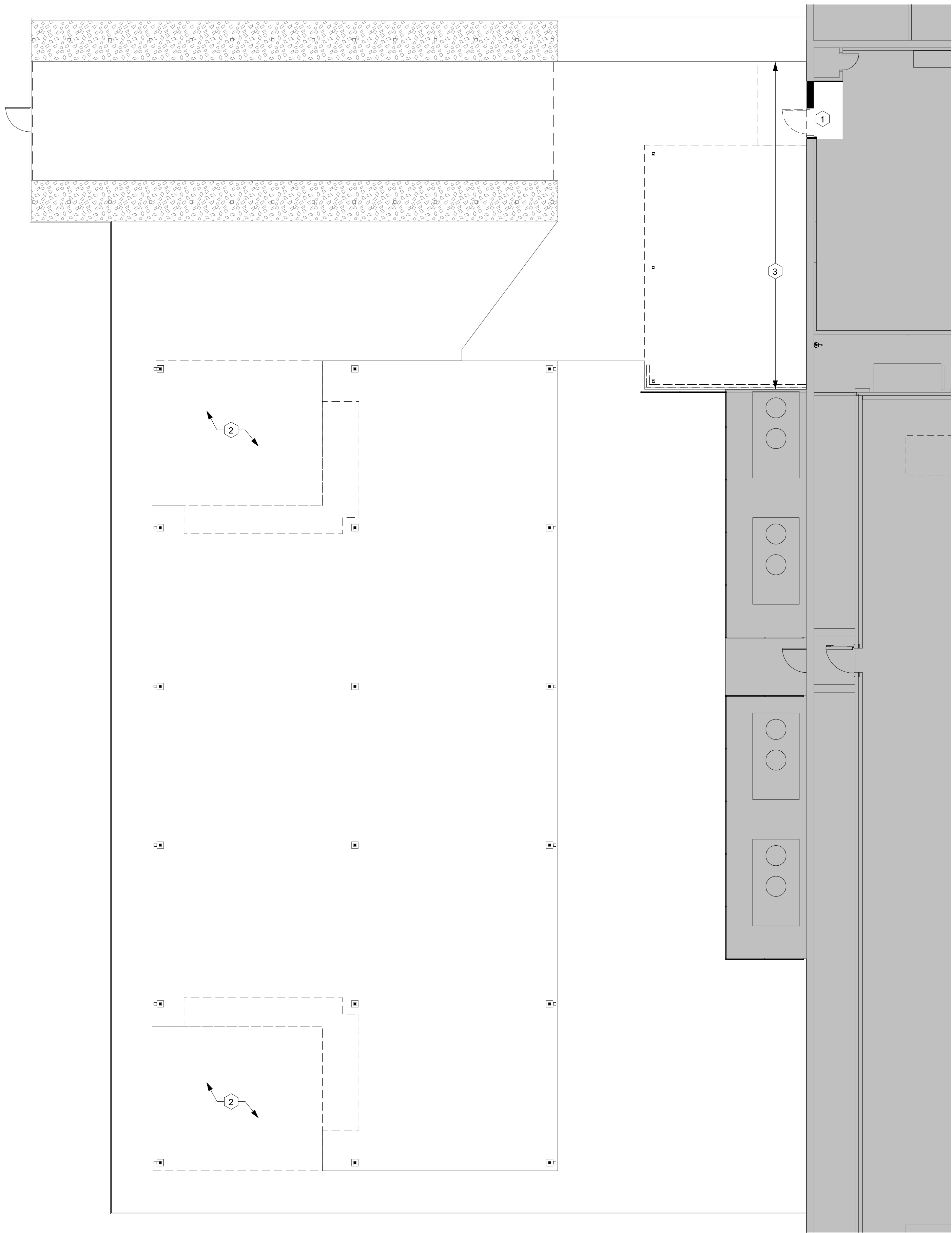
Key Plan



Area of Work

Door & Hardware Schedule





1 Demolition Plan 1/8" = 1'-0"

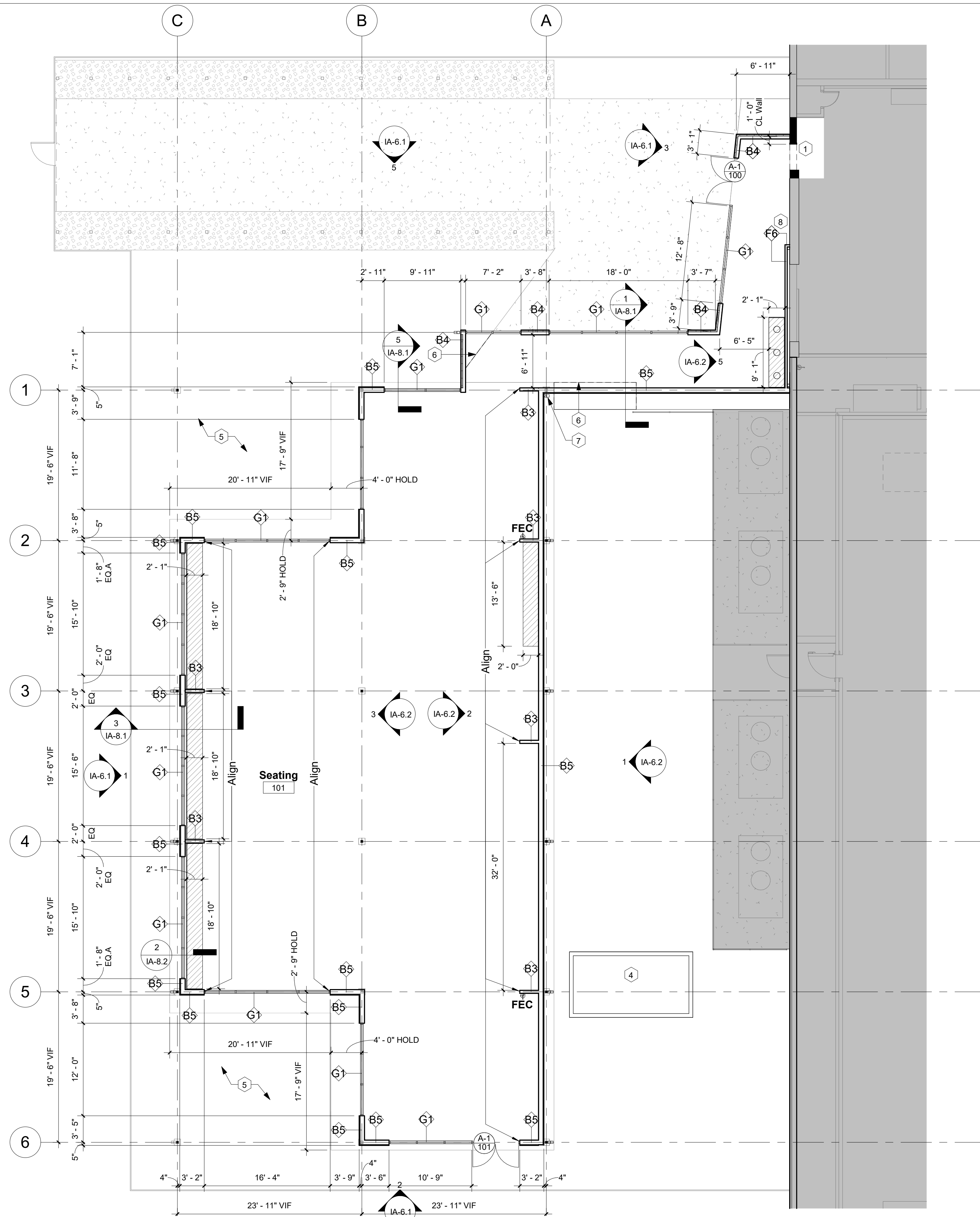
Demolition Plan - General Notes Partition Plan - General Notes

- Do not scale drawings. Dimensions govern.
- Demolition/Restoration items may not be inclusive. The demolition contractor is to review the requirements of new construction and is to complete all demolition/restoration, cutting, and patching necessary to achieve intended new condition quality.
- General contractor is responsible for site investigation prior to demolition to reveal full scope of work. Field verify all existing conditions and notify architect of any discrepancies in writing prior to onset of demolition.
- Demolition work shall be executed in conformance with local building code.
- Exercise extreme caution in this demolition. Cost of repair to any adjacent conditions which are damaged as a result of this demolition shall be the responsibility of the contractor.
- All materials to be disposed of are to be disposed of by the contractor off the project site in accordance with local restrictions unless noted otherwise herein.
- All areas shall be kept in a broom clean condition at all times. Contain dust and debris within the demolition area.
- During demolition, brace all existing structures as needed.
- If during demolition conditions are revealed that may jeopardize integrity of structure or preclude following design intent, general contractor to notify Architect immediately.
- All demolition materials and debris shall be disposed of according to federal, state and local regulations.
- Partitions dimensioned to finish face U.O.N. Do not adjust dimensions indicated as "Clear" without written direction from Architect. Drawings shall not be scaled- dimensions govern. Verify all dimensions and existing as built field conditions, including field measurements prior to start of work, notify Architect where discrepancies occur in writing. All dimensions shown on the drawings shall be considered critical. It shall be the responsibility of the contractor to notify the architect of any deviation in the placement of partition prior to the erection of the stud walls. Dimensions marked verify in field, shall be verified prior to start of work unless otherwise noted.
- Use Type "X" gypsum on fire rated partitions.
- Maintain integrity of existing fire resistant rated assemblies for all penetrations.
- Patch floor and wall areas damaged due to new construction or where penetrations have been made for Mechanical, Electrical and Plumbing work. Firesafe at UL Rated Assemblies consistent with existing UL Rating. Provide Level 4 Finish U.O.N.
- Provide fire treated blocking as required at locations including, but not limited to: grab bars, shelving, overhead cabinets, signage, toilet room accessories, wall mount equipment, TV mounting brackets, etc.
- New gypsum board construction meeting existing gypsum board construction in the same plane shall be flush with no visible joints showing. Remove existing metal corner bead(s) and other trim as required to receive new construction.
- Patch and repair all existing partitions after demolition where damage has occurred at unprotected locations. Please note that demolition activity may occur beyond work limits shown on demolition plan due to concealed conditions.
- All exposed outside gypsum board corners shall have a continuous metal corner bead.
- Contractor to coordinate ceiling grid with location of walls prior to installation.
- Contractor shall coordinate work with HVAC, Mechanical, Electrical, Plumbing, Design Build Fire Protection and Structural drawings and report to the Architect discrepancies for correction and adjustment prior to start of work. No allowance will be made for increased cost due to the Contractor's lack of coordination.

Key Notes

- Remove existing door and return to client, frame to remain. Patch holes in frame and prep for new finishes.
- Remove portion of existing concrete slab and roof structure.
- Remove existing structure & awnings.
- New mechanical unit on concrete pad. Refer to engineering drawings for more info.
- Area of former concrete slab to be replaced with grass.
- Area of new concrete slab.
- Adjust existing pavilion gutters as necessary to conform with new layout.
- Furred partition to be built tight to structural bracing.

2 Partition Plan 1/8" = 1'-0"



Symbols and Legend

Symbol	Description	Symbol	Description
	Not in Scope		Door Tag
	Existing Partition To Remain		Section Marker
	New Partition See Partition Types		Elevation Marker
	Ceiling / Soffit Element Above		Column Identification and Centerline
	Room Identification		
	Partition Types See IA-8.2 for details.		
	Key Note		
	North Arrow		
	Centerline		

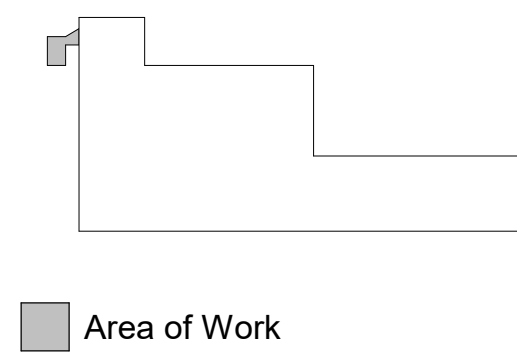
Partition Types

Type	Section	Description
B3		One layer 5/8" G.W.B. on both sides 3 5/8" metal studs (25ga.) at 16" O.C. (total thickness of 4 7/8"). Partition built to structure above .
B4		Stucco on metal lathe, rigid insulation, sheathing, and 3 5/8" metal studs (25ga.) at 16" O.C. 5/8" Gyp on interior face. Partition built to structure above . Provide insulation.
B5		Stucco on metal lathe, rigid insulation, sheathing, and 6" metal studs (25ga.) at 16" O.C. 5/8" Gyp on interior face. Partition built to structure above . Provide insulation.
G1		Aluminum storefront with glazing to 7" A.F.F. Stucco wall structure above glazing. Partition built to structure above . Provide insulation.
F6		One layer 5/8" G.W.B. on one side 2 1/2" metal studs (25ga.) at 16" O.C. Partition built to underside of ceiling .

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510 International Park
Newnan, GA 30265

Key Plan

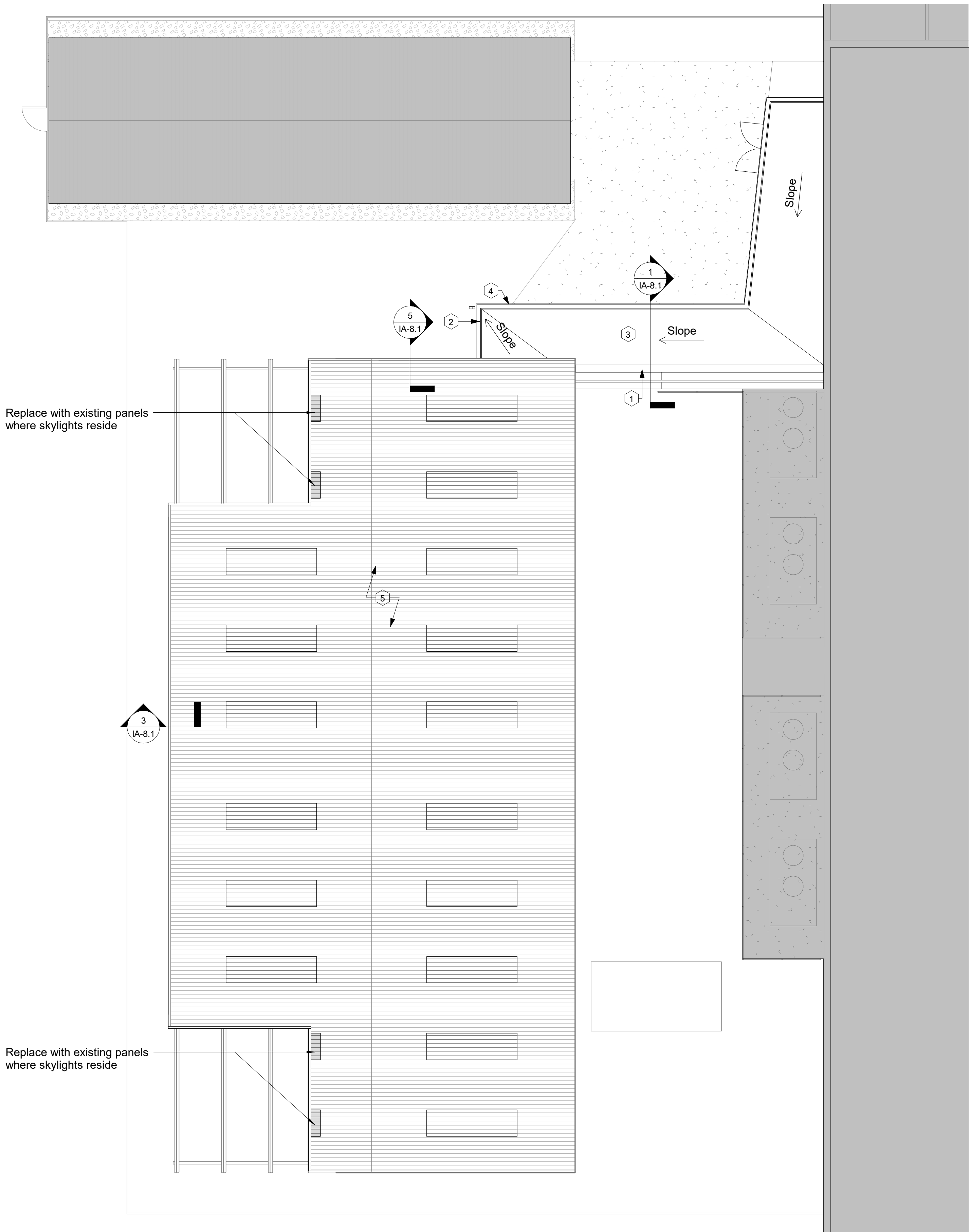


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Demolition & Partition Plans

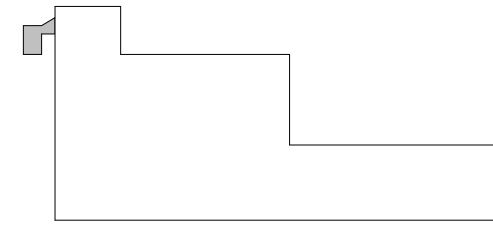




HelloFresh - Dining Pavilion

510 International Park
Newnan, GA 30265

Key Plan



Area of Work

1 Roof Plan 1/8" = 1'-0"

General Notes

1. General Contractor to verify all dimensions and notify Architect of any discrepancies prior to construction.

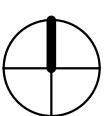
Key Notes

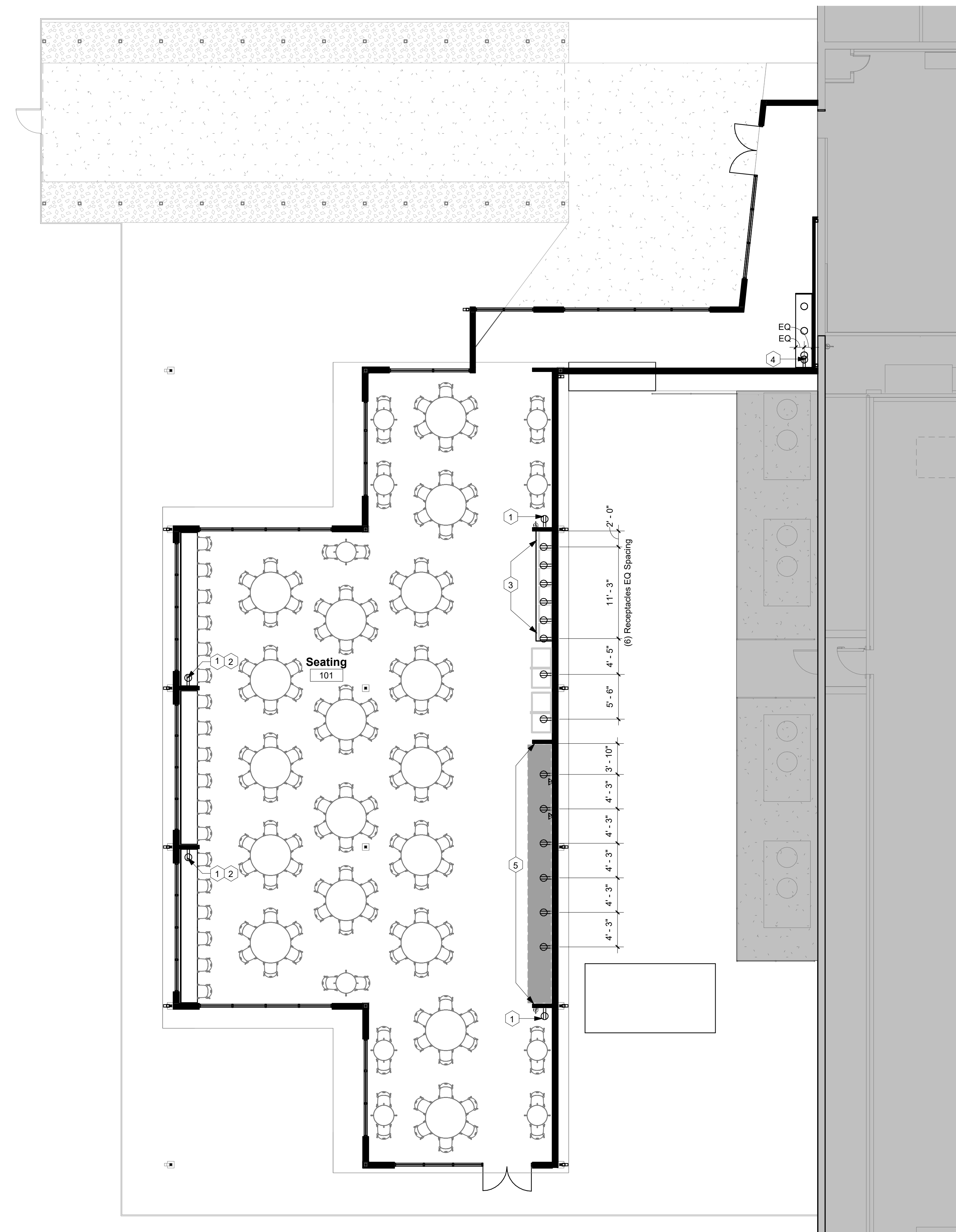
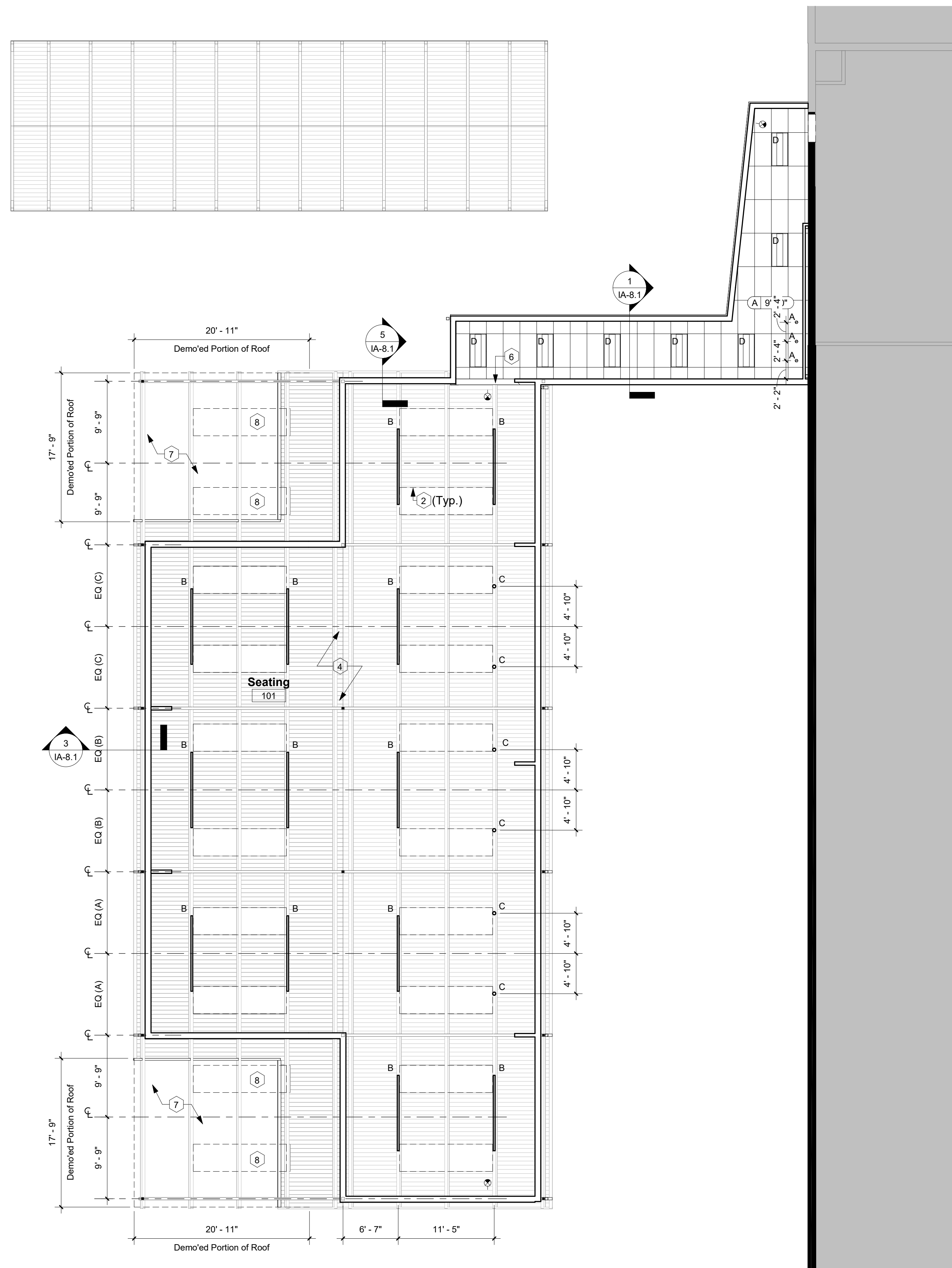
- 1 Pre-finished metal coping (typ.).
2 4"x4" Metal Downspout. Connect to existing underground storm drain.
3 TPO Membrane roofing slope minimum 1/4" per foot (typ.).
4 Metal box gutter (typ.).
5 Existing roof to receive elastomeric coating.

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Revisions

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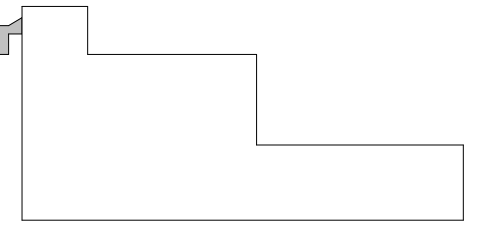




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Key Plan



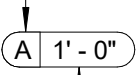
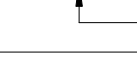

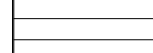


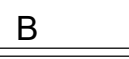


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Reflected Ceiling Plan - General Notes

1. Do not scale drawing. Dimensions govern.
2. All ceiling heights to be 10'-0" A.F.F., new ceiling to match existing, unless noted otherwise.
3. All switches shall be mounted 4'-0" A.F.F. to centerline of switch unless noted otherwise.
4. All switch cover plates shall be white & shall be mounted straight and aligned.
5. When multiple switches occur (switches, dimmers or both) gang groups of switches in the same box with one common cover plate.
6. Down lights, fire alarm signal devices, exit signs, etc. to be located in center of ceiling tile unless noted otherwise.
7. Contractor to review locations of all fire alarm signal devices and thermostats with architect prior to installation. These devices should be coordinated and aligned with other devices in the same plane.
8. Contractor to maintain plastic covers over fluorescent fixtures during construction to avoid accumulation of dirt and finger prints on specular lens cover.
9. Refer to engineer's drawings for fixtures tied to building emergency power systems.
10. In the event of conflict between M.E.P. and Architectural drawings, notify architect before proceeding.
11. Verify lighting layouts with plenum limitation prior to installations.
12. Provide all electrical drawings required to secure building permit.
13. Sprinklers: Building standard is sprinkler for normal use, in a standard distribution pattern installed per building codes spaced to give coverage of 225 square foot per head. Relocate sprinklers as required to accommodate local code and light fixture placement. Provide concealed sprinkler heads at drywall ceilings or soffits.
14. General Contractor is responsible for ensuring that all lamps are functional at the end of the job.
15. All new fluorescent lamps are to be 3500 Kelvin and provided by the same manufacturer.

Symbols and Legend

Symbol	Description
	Ceiling Identification A 2' x 2' lay-in acoustical ceiling tile and grid to match building standard
	B Gypsum board ceiling/soffit
	Ceiling access
	Start of full tile
	2' x 4' LED light fixture to match bldg. standard
	A 6" LED Downlight, Cooper Lighting HALO Commercial
	Exit sign- Ceiling mounted
	B 8' LED Pendant, Cooper Lighting Neo-Ray Define 5 Mounting height 9'-0" A.F.F.
	C LED Pendant, Cooper Lighting Portfolio Mounting height 9'-0" A.F.F.
	Exit signs to match building standard.











Key Notes

- ① Center receptacle on partition.
- ② Receptacle to be 38" AFF.
- ③ 2 rows of 12 total receptacle. Refer to elevations for more information.
- ④ Receptacle to be mounted horizontally, centered in sidesplash.
- ⑤ Equipment by others.
- ⑥ Gyp. Header.
- ⑦ Demolished portion of roof/ceiling.
- ⑧ Demolished existing skylight.

P&C General Notes

1. Do not scale drawings. Dimensions govern.
2. All receptacles, junction boxes and voice/data receptacles shall be mounted 18" A.F.F. to centerline of receptacle unless noted otherwise.
3. All switches, keypads and wall phones shall be mounted 48" A.F.F. to centerline of device unless noted otherwise.
4. All voice, data, and electrical cover plates shall be white in color and shall be mounted straight and aligned.
5. All dimensions to devices are A.F.F. and to centerline or outlets and group groupings.
6. Group adjacent electrical devices in one box under common plate.
7. Coordinate alignment of all devices such as outlets, fire alarm strobes, thermostats, etc. Review alignments with Architect prior to rough-in.
8. In the event of conflict between M.E.P. and architectural drawings, note the architect prior to proceeding.
9. Verify outlet requirements for electrical appliances and equipment: Refrigerators, and Vending Machines
10. Furniture and equipment shown is not in contract and will be provided and installed by owner. Dimensions shown reflect minimum requirements for code compliance only, based on this furniture configuration. Revisions to this should be revised for code compliance.
11. Per NFPA 90A 4-3.10.2 Plenum rated cable required in return air plenum. Refer to engineering drawings.
12. Coordinate power requirements and mounting heights/placement with Owner's Vendor.

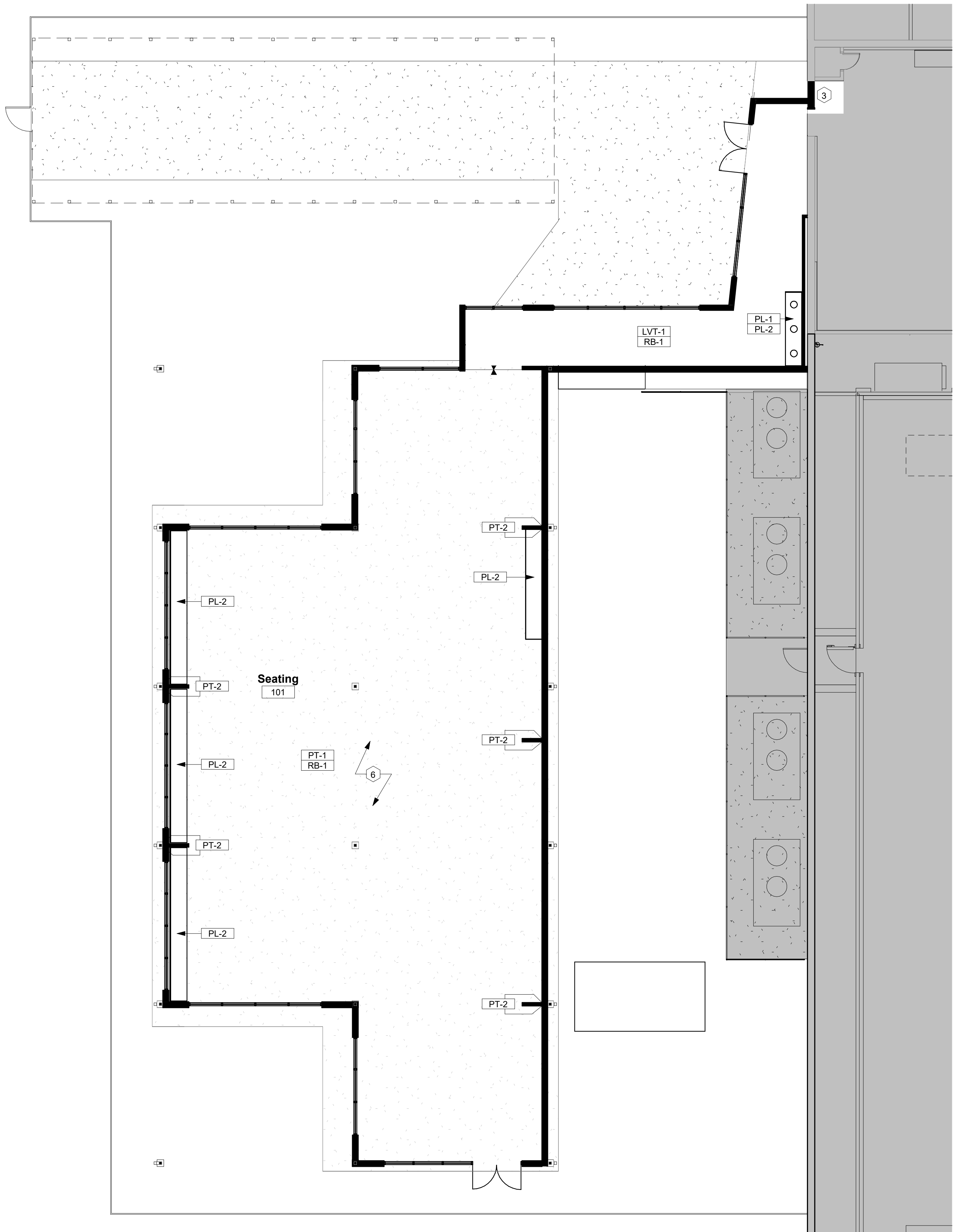
Symbols and Legend

Symbol				Description
E				Existing to remain
(2)				Number of receptacles
Floor Mounted	Ceiling Mounted	Wall Mounted	Flex Mounted	
				Single power receptacle
			 ⁽²⁾	Duplex power receptacle
			 ⁽²⁾	Combination voice data receptacle

Reflected Ceiling & Power and Communications Plans

A-4.1





1 Finish Plan 1/8" = 1'-0"

1. Finish Plan

General Notes

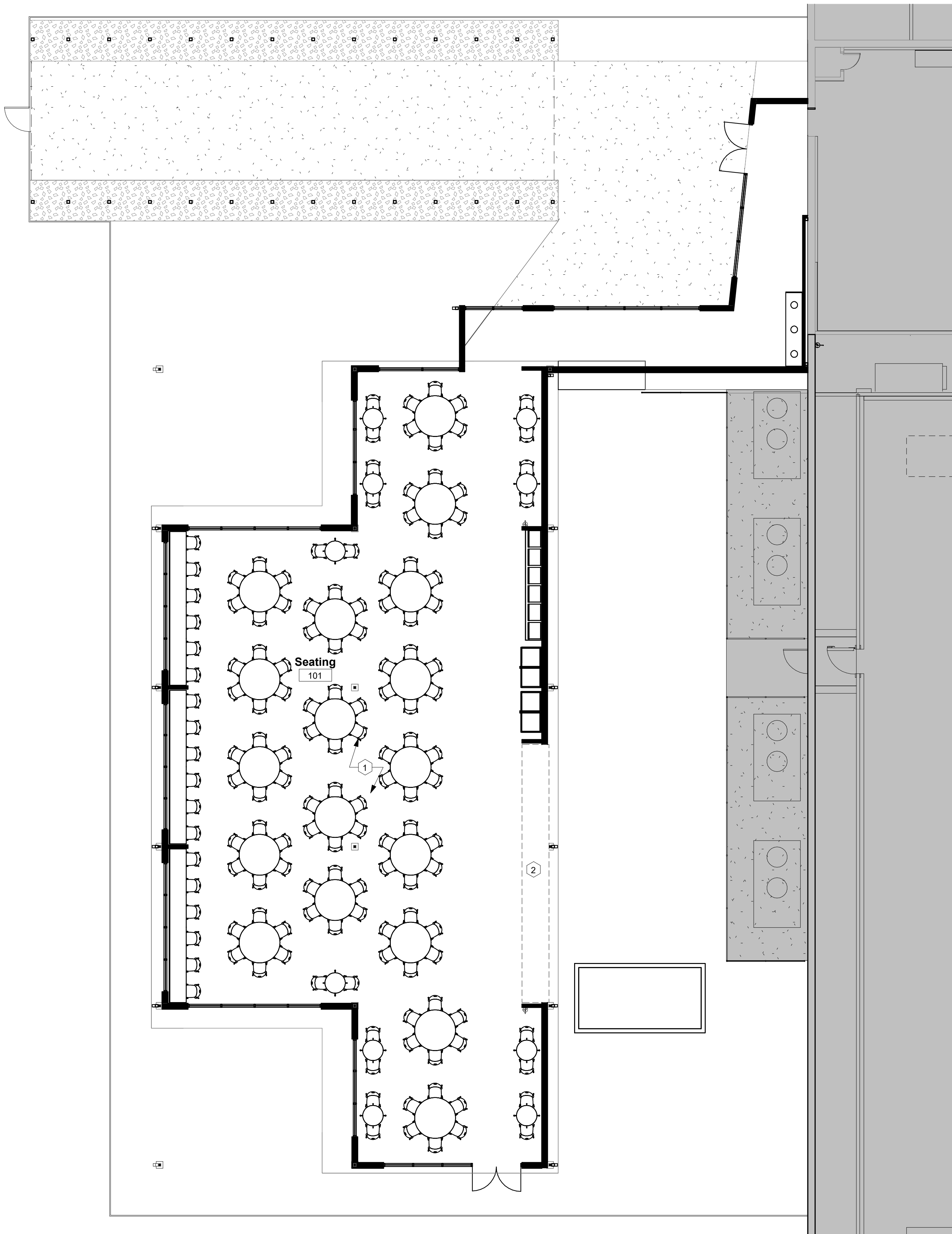
- Do not scale drawings. Dimensions govern.
- All finishes to be installed in accordance with the manufacturers specifications and contract documents.
- All interior finishes shall be a minimum of class "C" fire rated finish.
- Contractor to provide client with all maintenance instructions for all finish materials provided by sub-contractor.
- All interior partitions shall receive one coat primer and two coats commercial grade eggshell latex paint unless noted otherwise.
- All wall finishes shall be PT-1 unless noted otherwise.
- All rubber base shall be RB-1 and shall be 4" with finished edge where carpet is provided and cove base where VCT is provided unless noted otherwise.

Symbols and Legend

Symbol	Description	Symbol	Description
Finish Tags			
WT-1			
WD-1			
Paint		Plastic Laminate	
PT-1	MFTR: Sherwin Williams Color: SW7005 Pure White Finish: Two (2) coats eggshell Install: Throughout unless otherwise noted	PL-1	MFTR: Arborite Color: W-475 Downtown Urban Walnut Finish: LE Install: Refer to interior elevations
PT-2	MFTR: Sherwin Williams Color: SW6717 Lime Rickey Finish: Two (2) coats eggshell Install: Accent walls, refer to finish plan	PL-2	MFTR: Arborite Color: S463 Antique White Finish: CA Install: Countertop - refer to interior elevations
Rubber Base		LVT	
RB-1	MFTR: Johnsonite Style: Traditional 4" wall base Color: 01 Snow White Install: Throughout unless otherwise noted	LVT-1	Match brand/manufacturer, color/style and size of existing Cafe flooring

Key Notes

- Owner-supplied furniture shown for reference. GC to install
- Dashed line indicates Avenue C Marketplace.
- Paint door frame to match existing (color and finish) on breakroom side and corridor side.
- Not used
- Not used
- Existing concrete floor slab to remain.

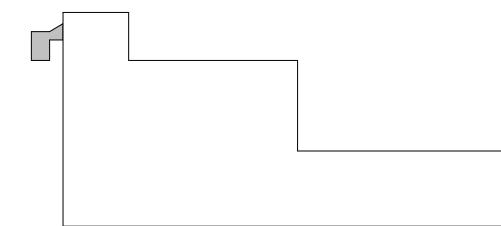


2 FFE Plan 1/8" = 1'-0"

HelloFresh - Dining Pavilion

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Newnan, GA 30265

Key Plan



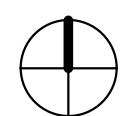
Area of Work

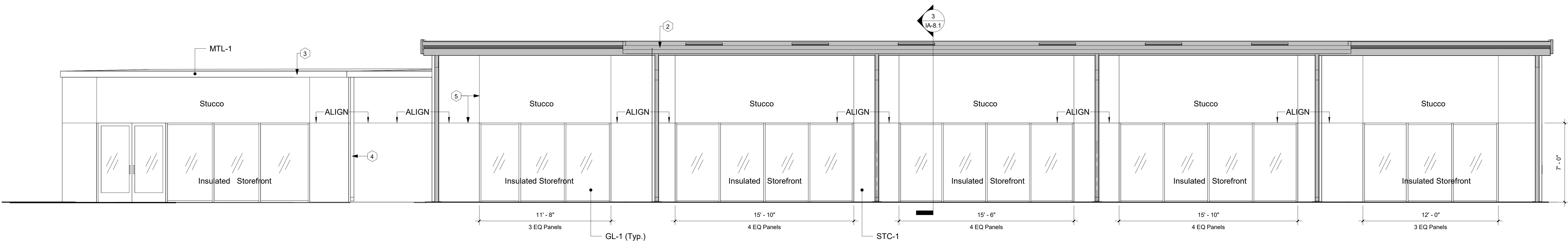
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Revisions

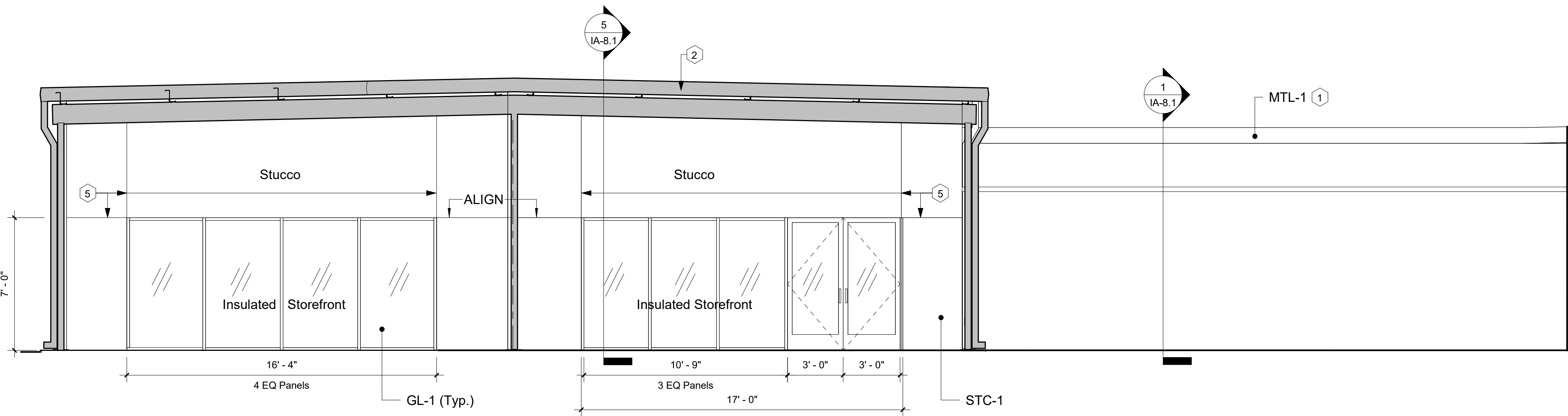
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Finish & FFE Plans

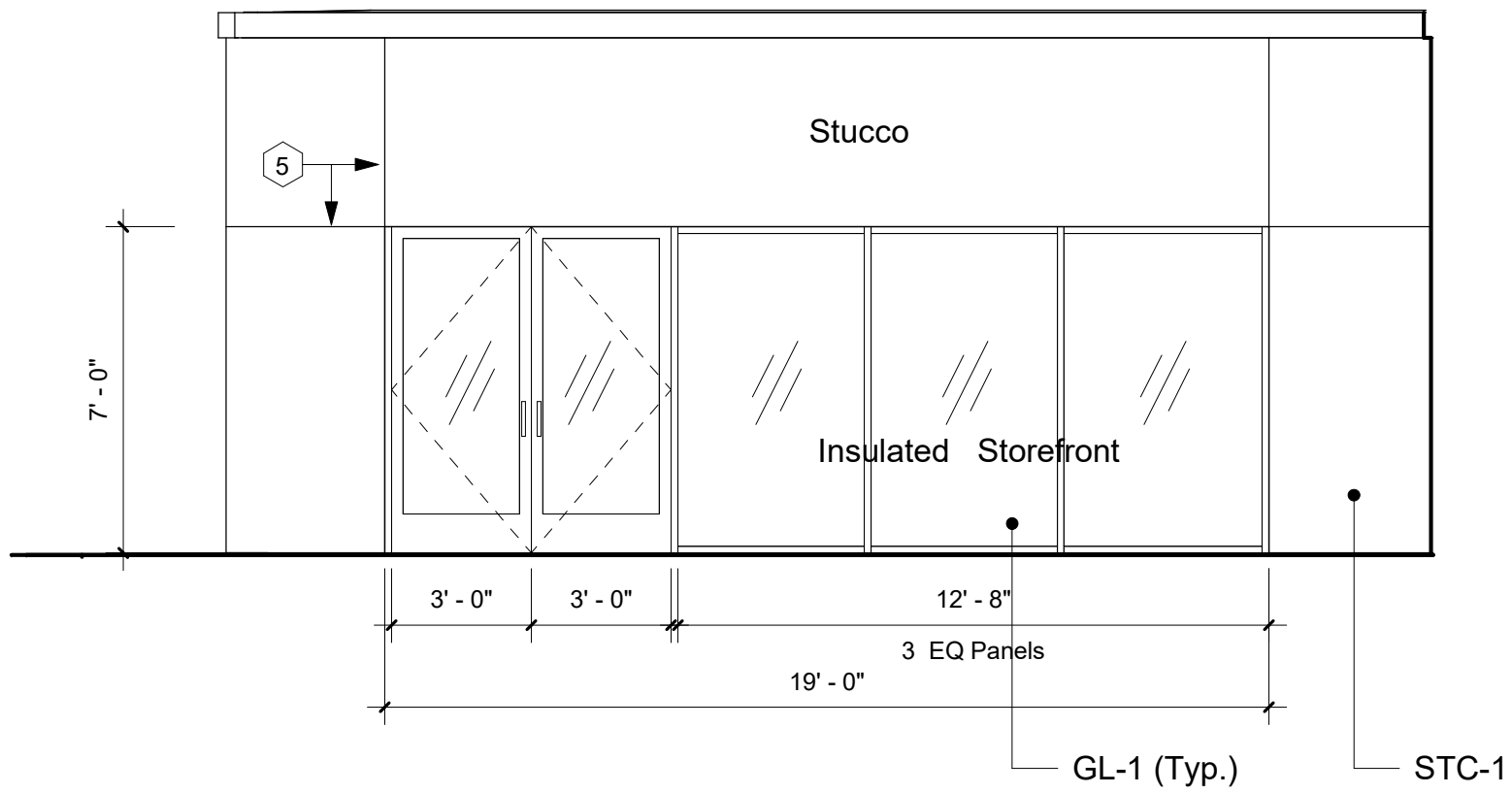




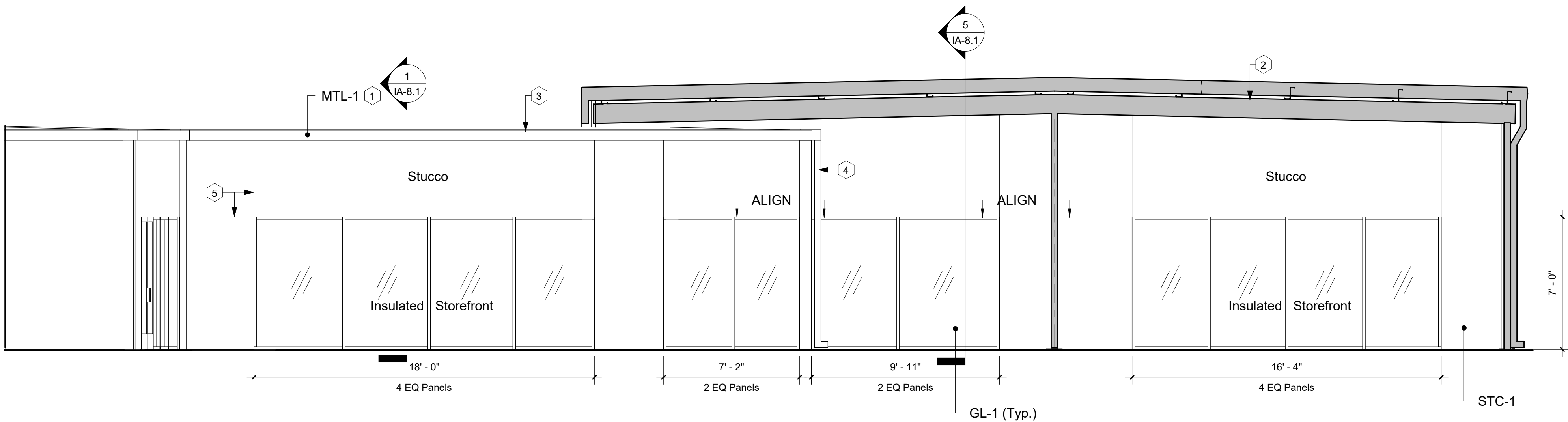
1 Plan West Elevation 1/4" = 1'-0"



2 Plan South Elevation 1/4" = 1'-0"



3 Plan South Elevation, Entry 1/4" = 1'-0"



5 Plan North Elevation 1/4" = 1'-0"

Key Notes

- Pre-finished metal coping, typical.
- Gray hatch indicates existing pavilion roof and elements to remain
- Box Gutter.
- Downspout.
- Stucco control joint.
- Brake metal column cover. Finish clear anodized to match storefront.

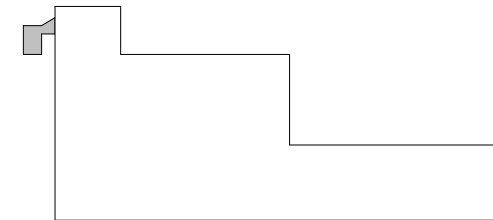
Exterior Material Finish Schedule

Tag	Material	Finish/Type	Color
STC-1	Portland Cement Stucco	Sand Finish	SW7005 Pure White
GL-1	Glazing Tempered	Insulating Low-E	Clear
GL-2	Not Used		
MTL-1	Aluminum Gutter, Coping, and Downspout	Pre-finished	White - To match SW7005 Pure White
MTL-2	Not Used		
MTL-3	Not Used		

HelloFresh - Dining Pavilion

510 International Park
Newnan, GA 30265

Key Plan



Area of Work

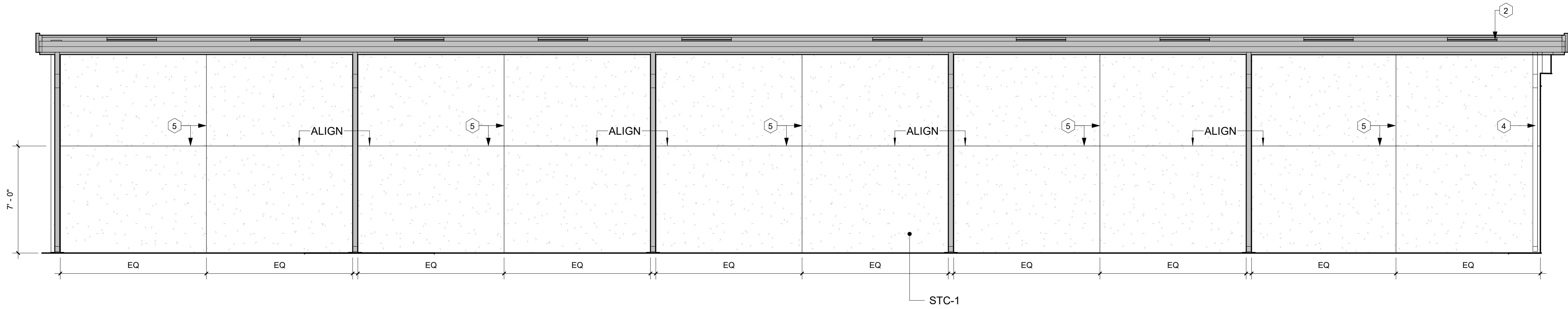
No.	Date	Issue	By	Check
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Revisions

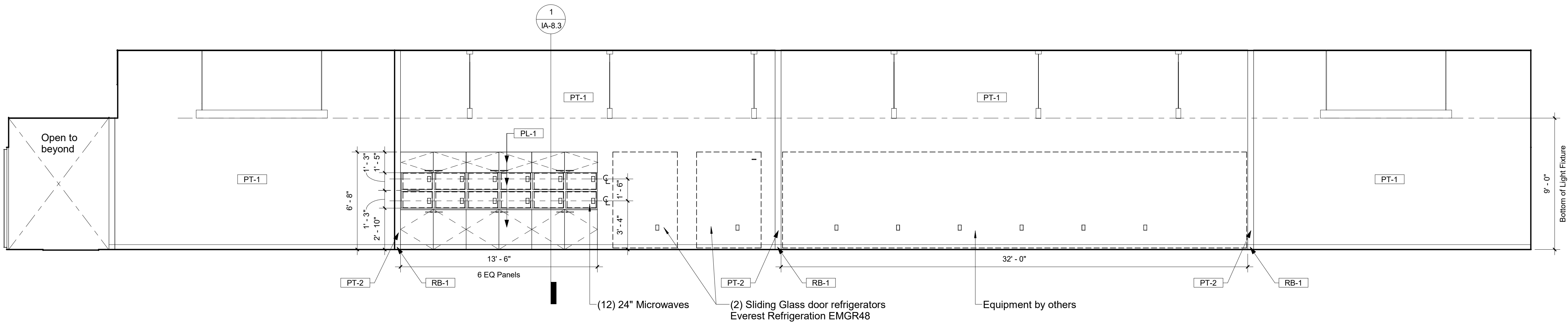
No.	Date	Revision	By	Check
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Elevations

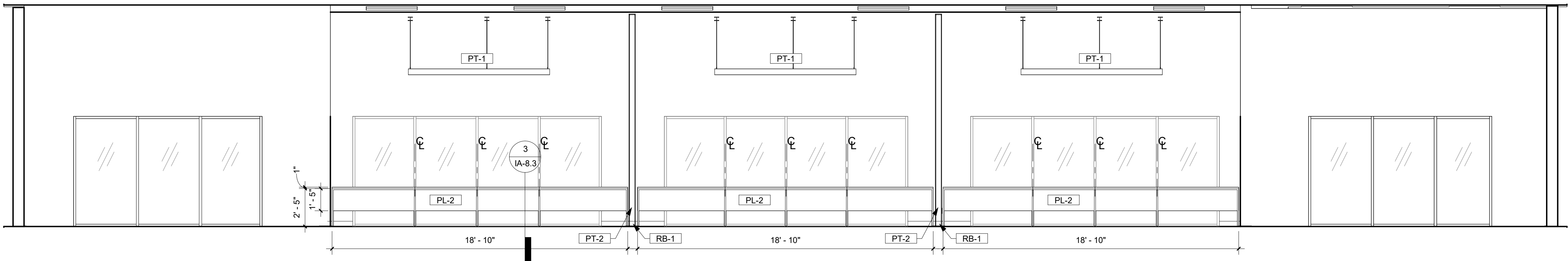




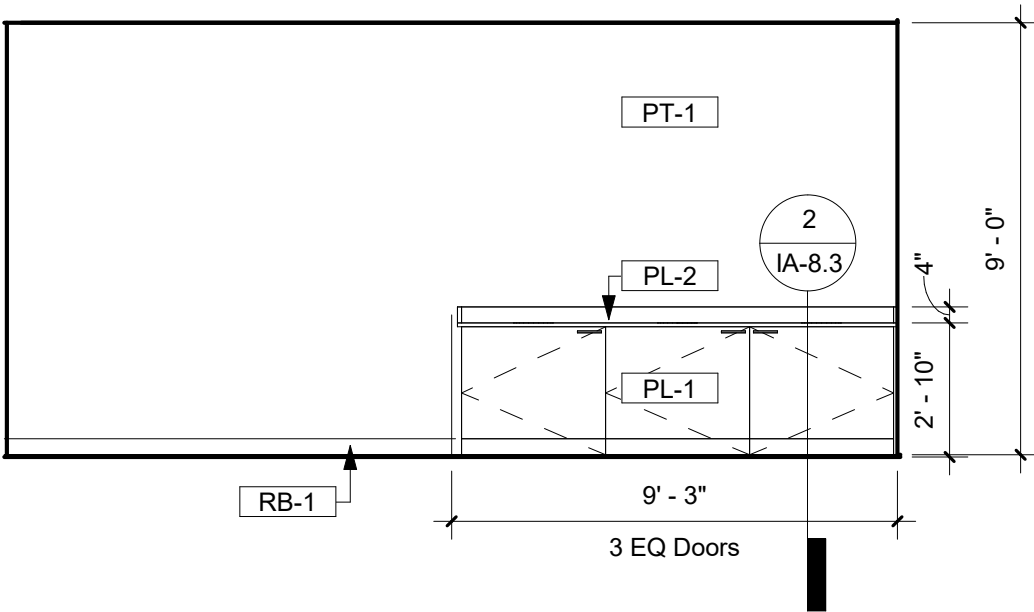
1 Plan East Elevation 1/4" = 1'-0"



2 Elevation @ Microwave Shelving and Marketplace 1/4" = 1'-0"



3 Bar Countertop Elevation 1/4" = 1'-0"



5 Elevation @ Trash and Recycling 1/4" = 1'-0"

Key Notes

- Pre-finished metal coping, typical.
- Gray hatch indicates existing pavilion roof and elements to remain
- Box Gutter.
- Downspout.
- Stucco control joint.
- Brake metal column cover. Finish clear anodized to match storefront.

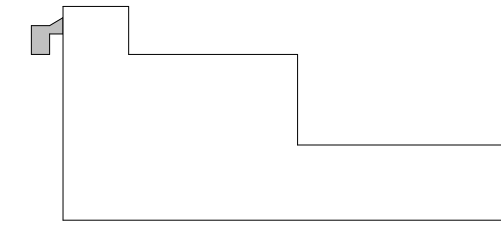
Exterior Material Finish Schedule

Tag	Material	Finish/Type	Color
STC-1	Portland Cement Stucco	Sand Finish	SW7005 Pure White
GL-1	Glazing Tempered	Insulating Low-E	Clear
GL-2	Not Used		
MTL-1	Aluminum Gutter, Coping, and Downspout	Pre-finished	White - To match SW7005 Pure White
MTL-2	Not Used		
MTL-3	Not Used		

HelloFresh - Dining Pavilion

510 International Park
Newnan, GA 30265

Key Plan



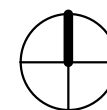
Area of Work

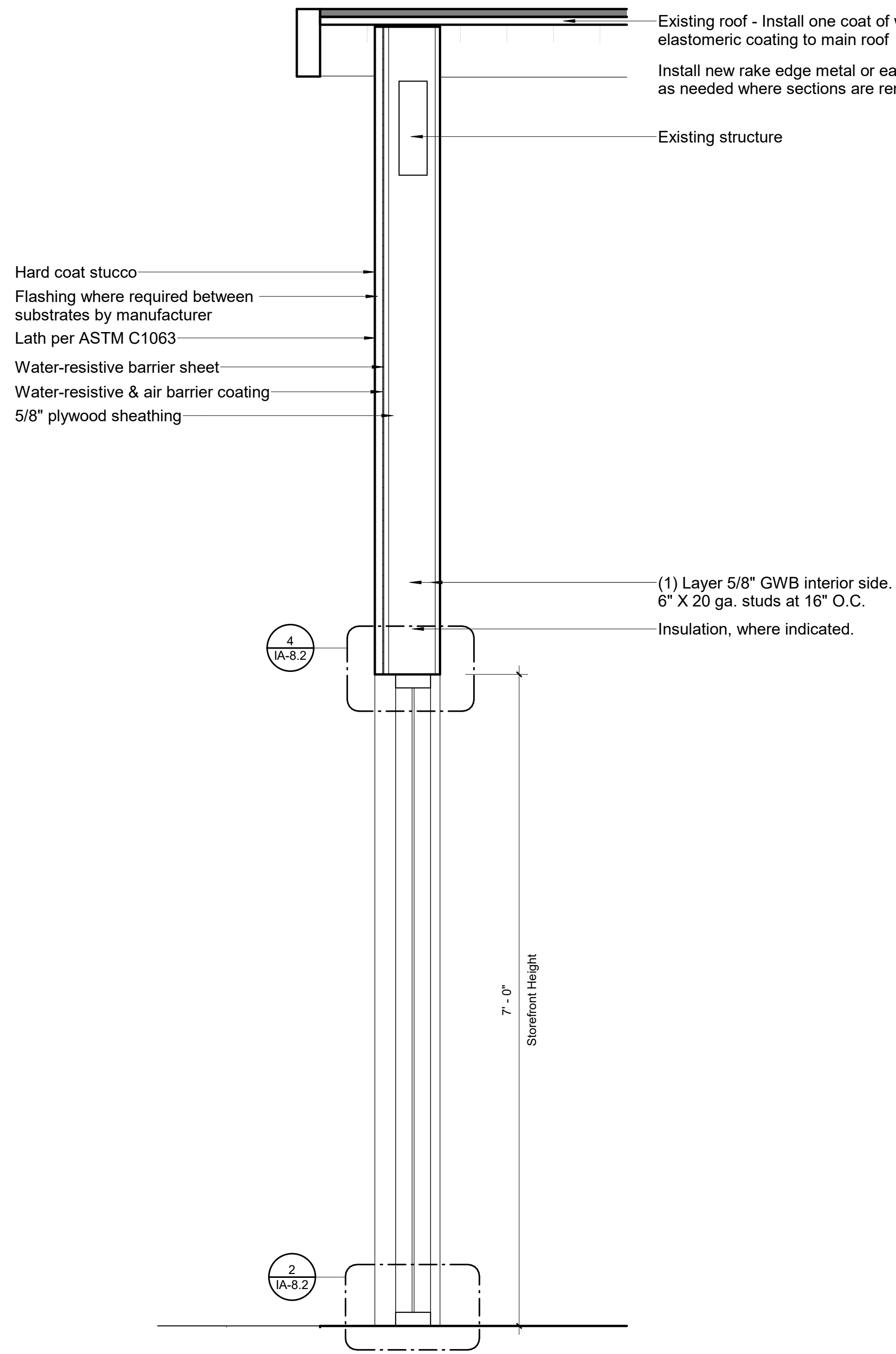
No.	Date	Issue	By	Check
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Revisions

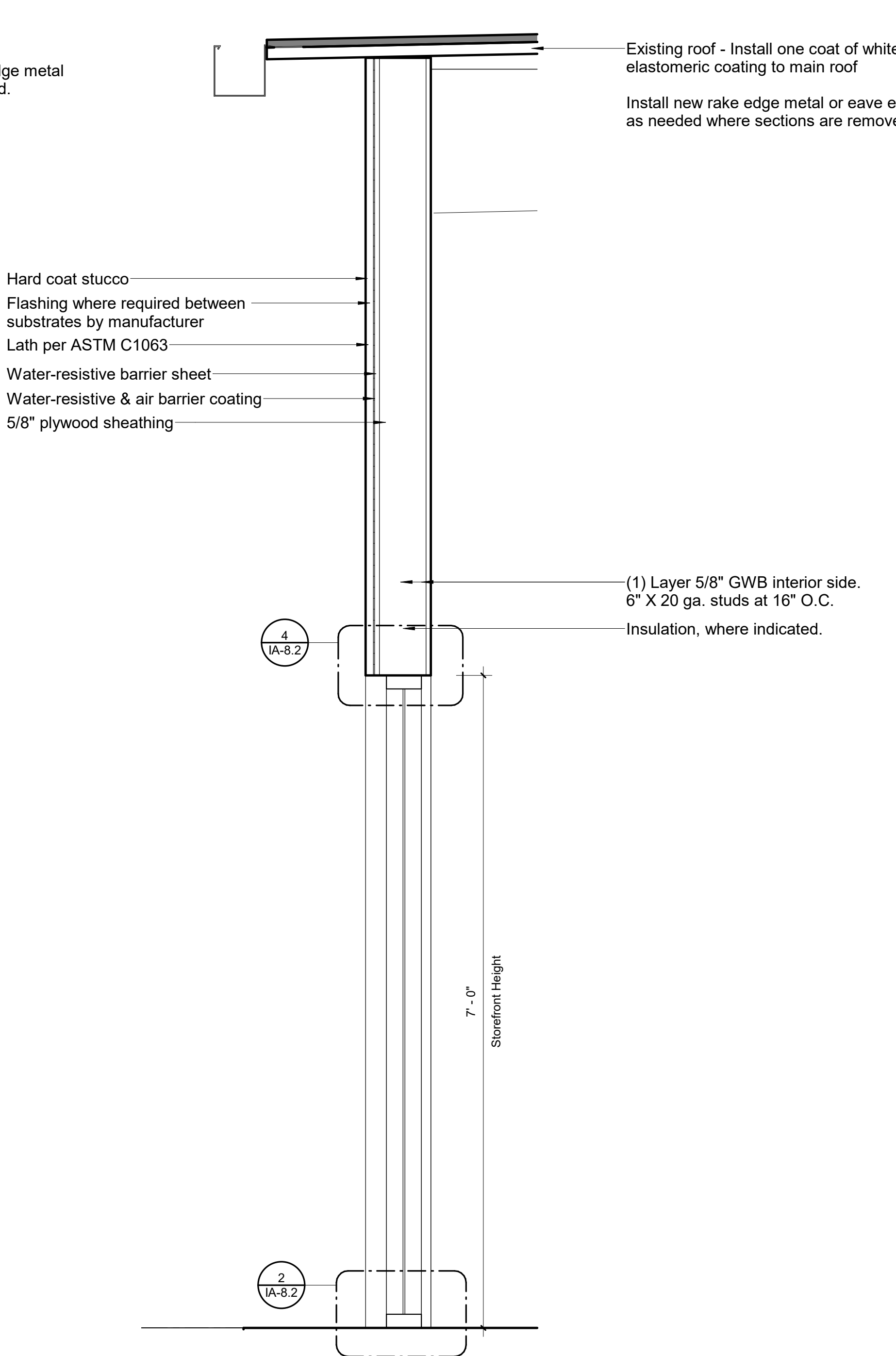
No.	Date	Revision	By	Check
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Elevations

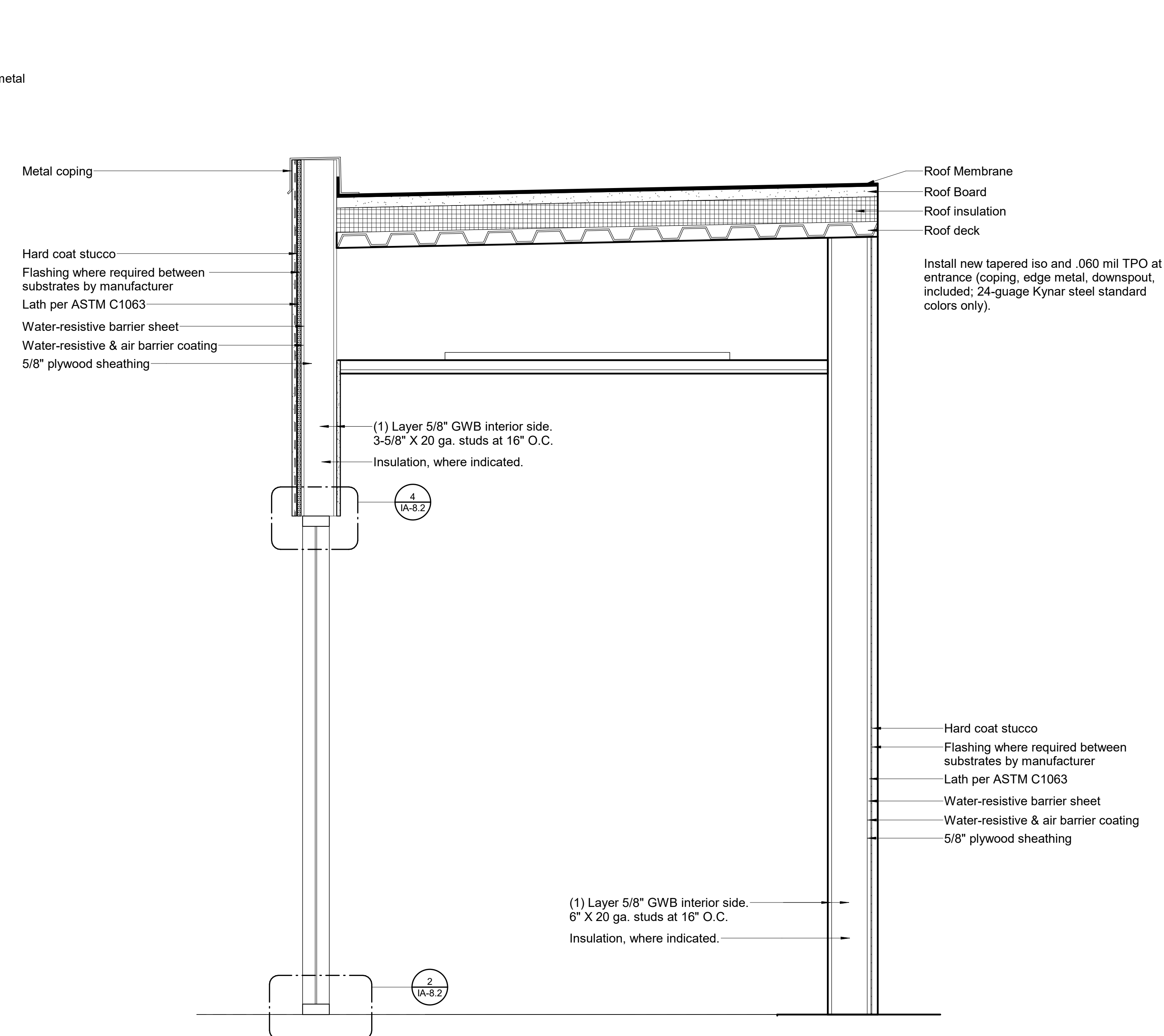




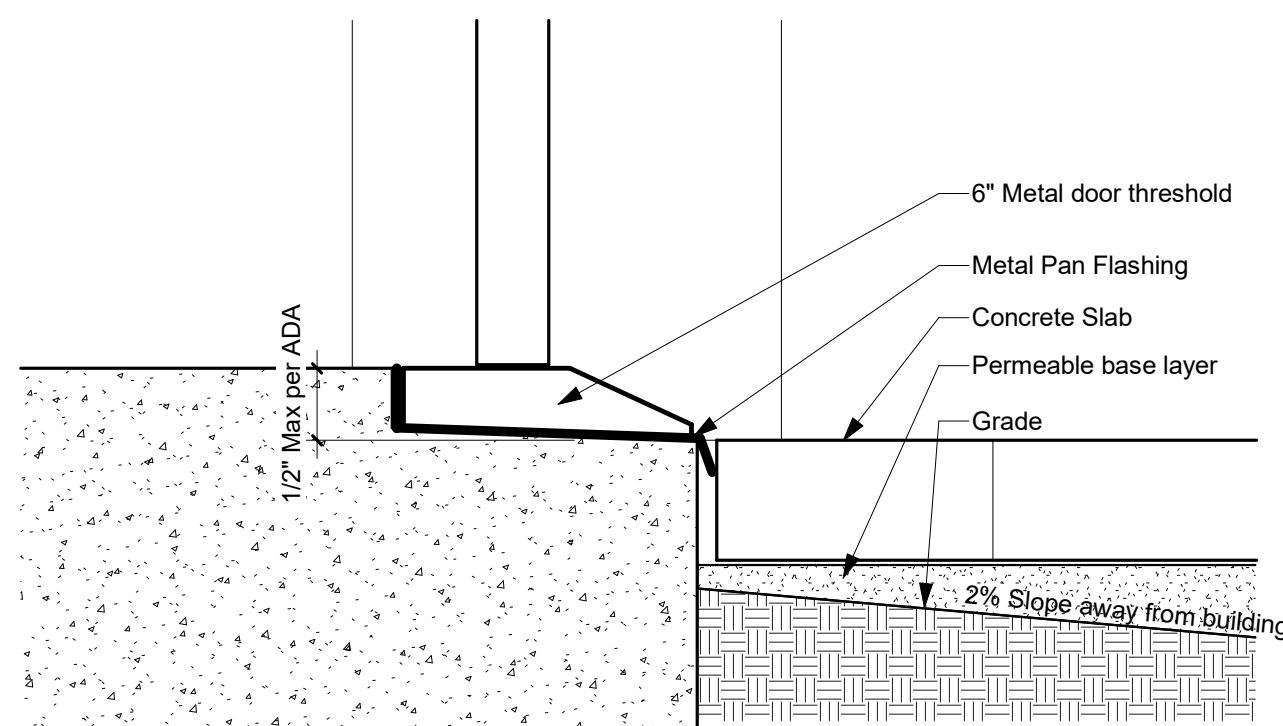
5 Section @ Storefront 3 1" = 1'-0"



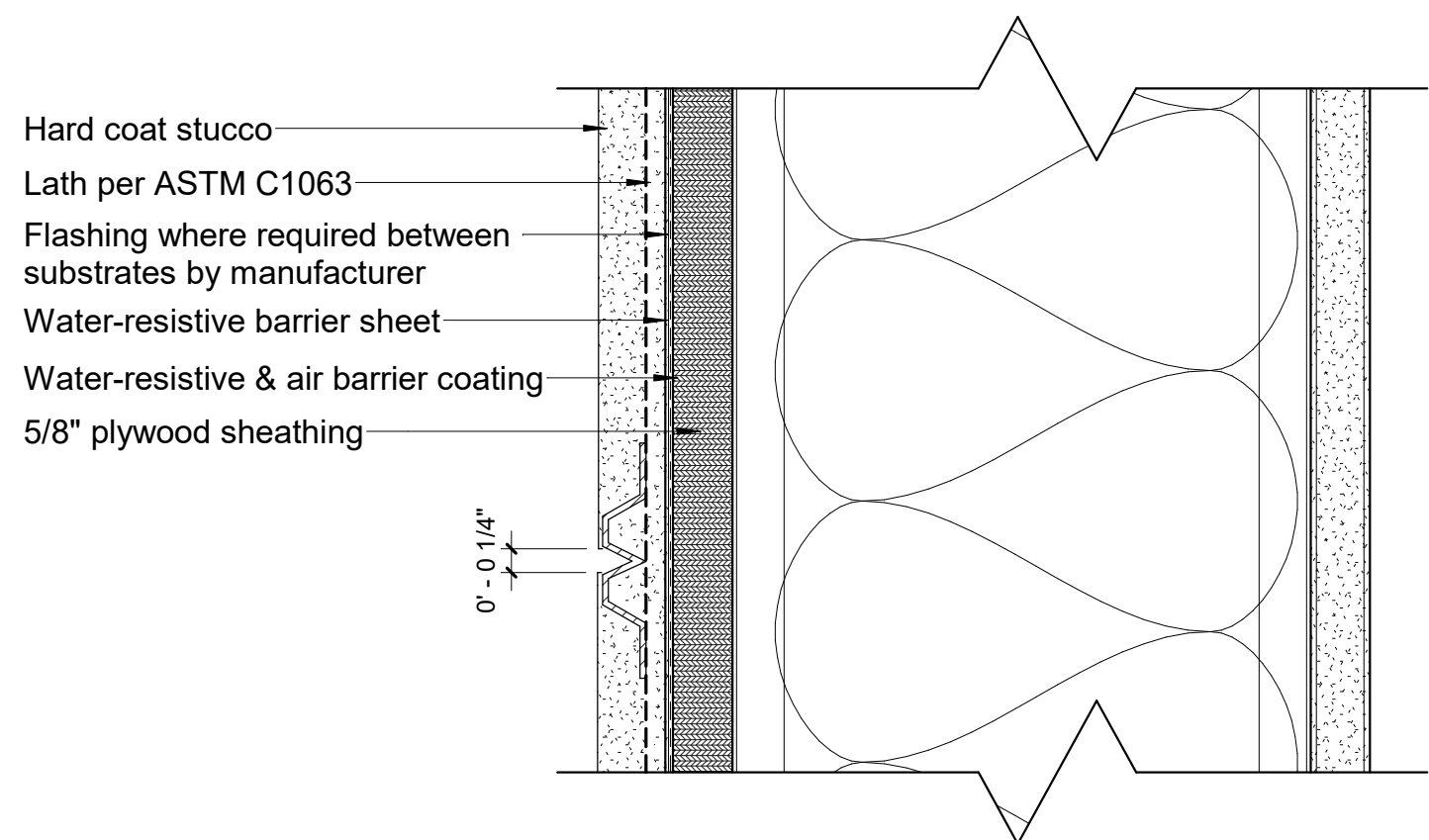
3 Section @ Storefront 2 1" = 1'-0"



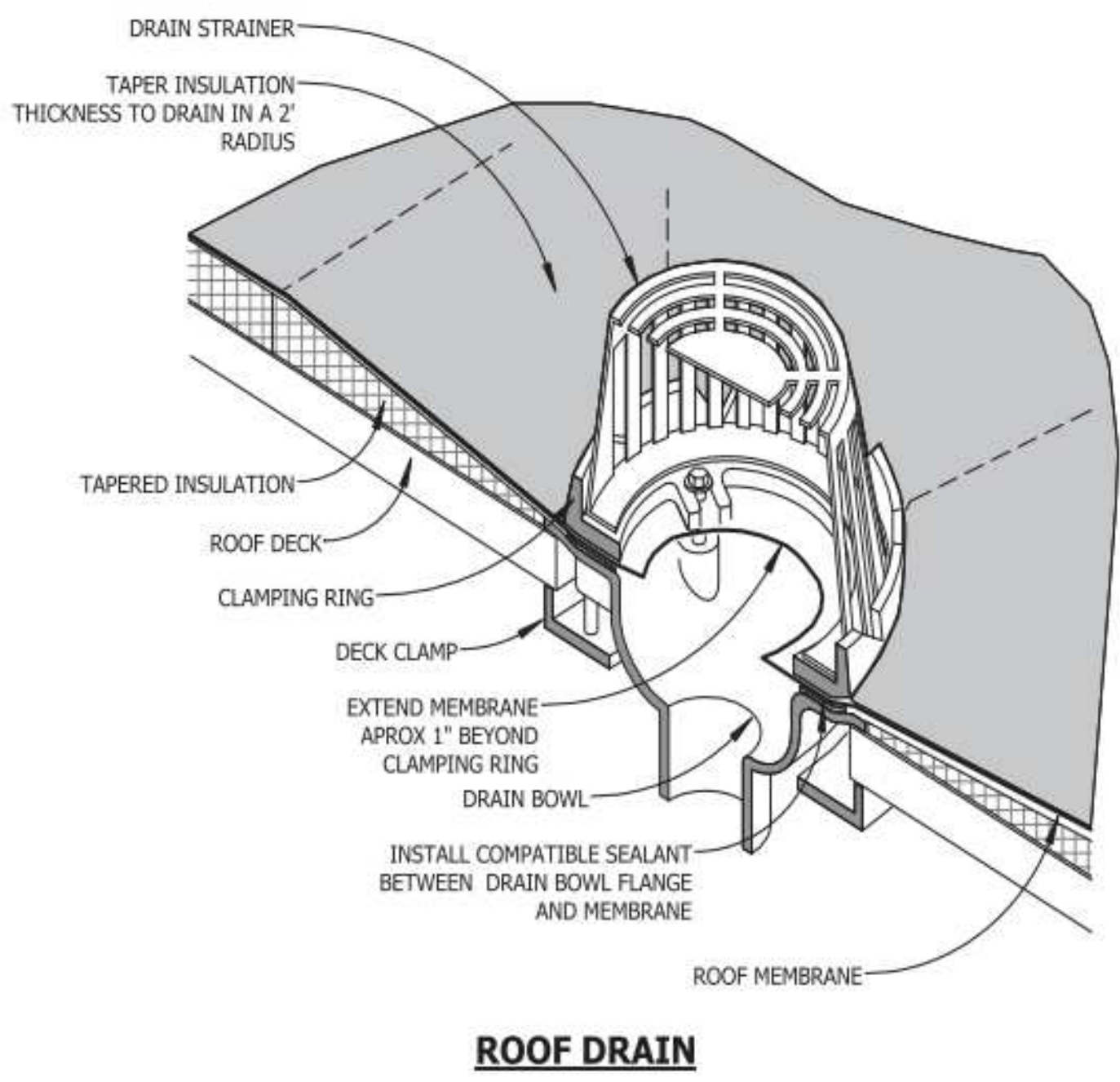
1 Section @ Storefront 1 1" = 1'-0"



6 Service door Threshold Detail 3" = 1'-0"

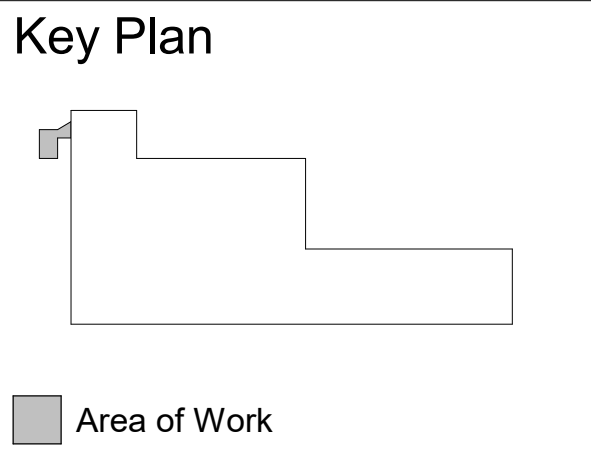


4 Stucco Wall - Expansion Joint 6" = 1'-0"



2 Roof drain detail 1/2" = 1'-0"

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No.	Date	Issue	By	Check

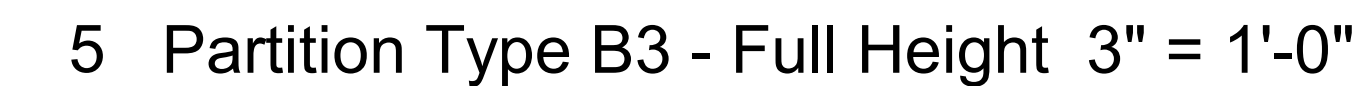
Revisions				
No.	Date	Revision	By	Check

Wall Sections

2 Storefront Sill Detail 6" = 1'-0"



ation Type B3 - Full Height 3" = 1'-0"



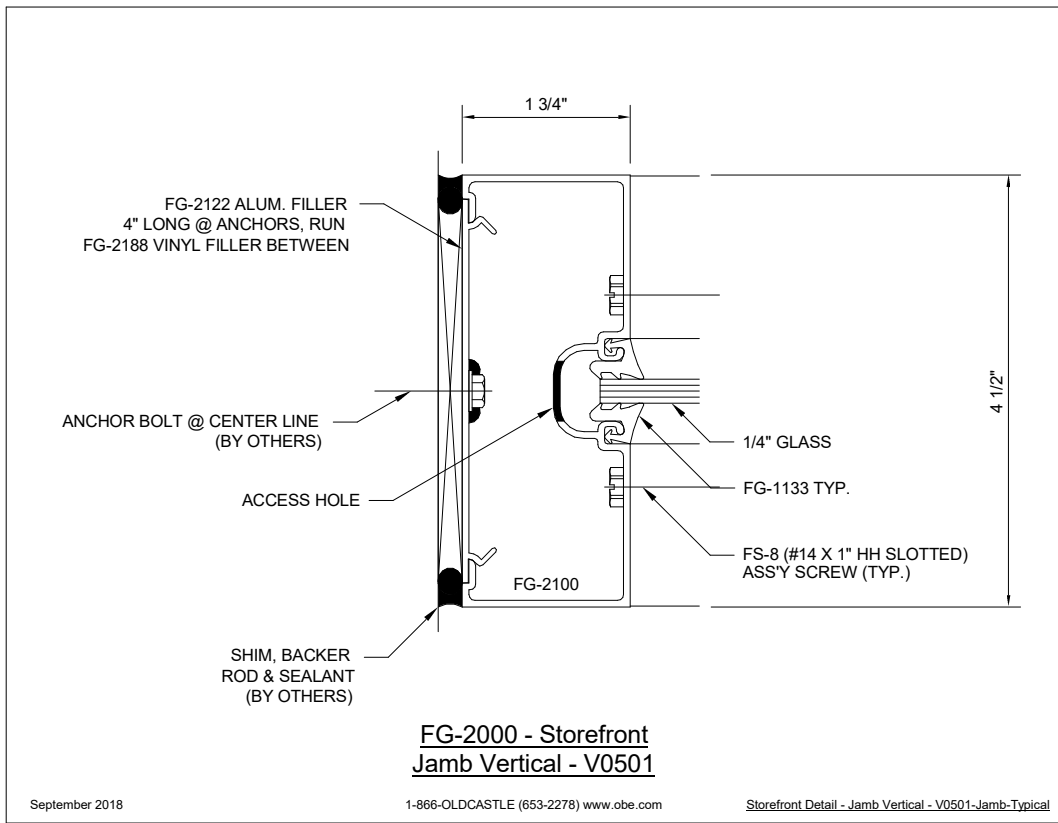
7 Stucco Wall - 6" Mtl Stud Detail 3" = 1'-0"



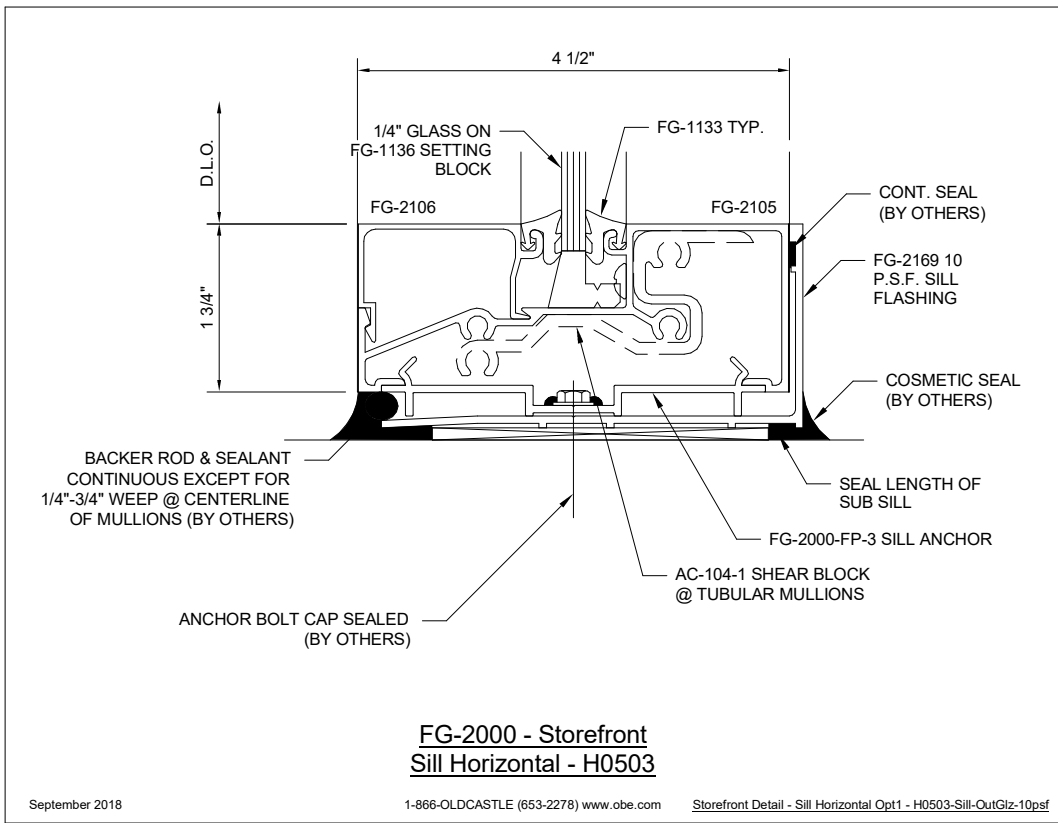
8 Partition Type F6 - Furring 3" = 1'-0"



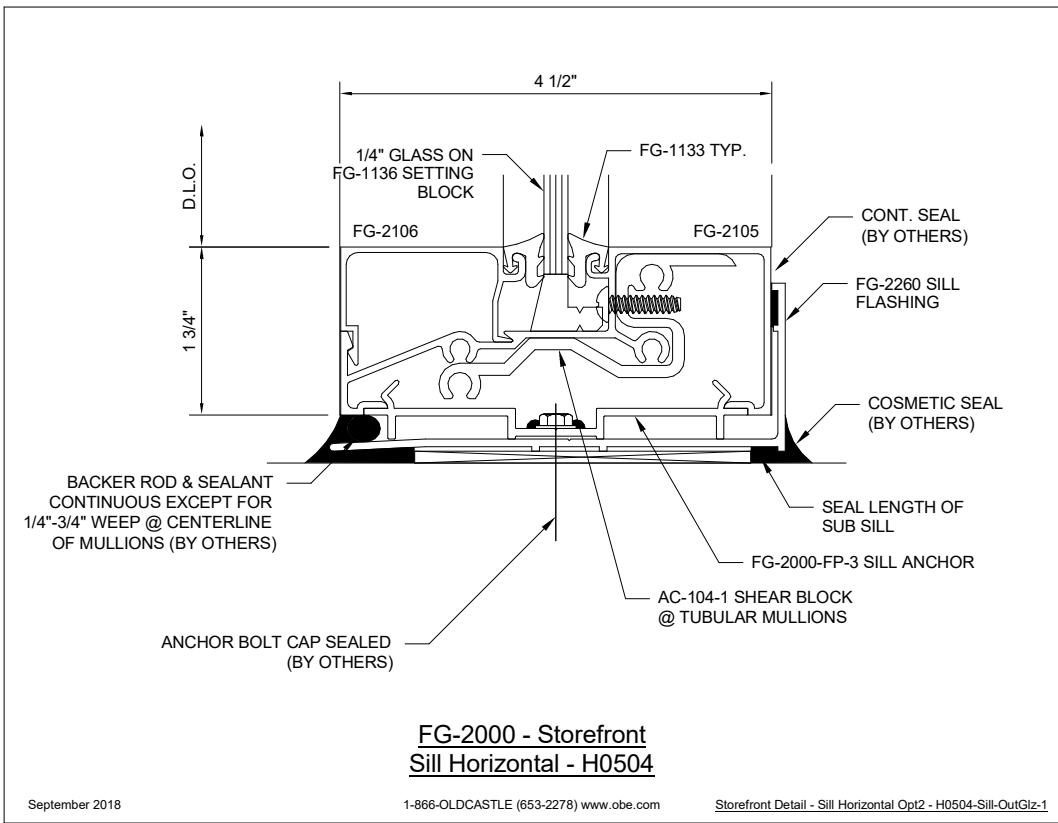
Wall & Storefront Details



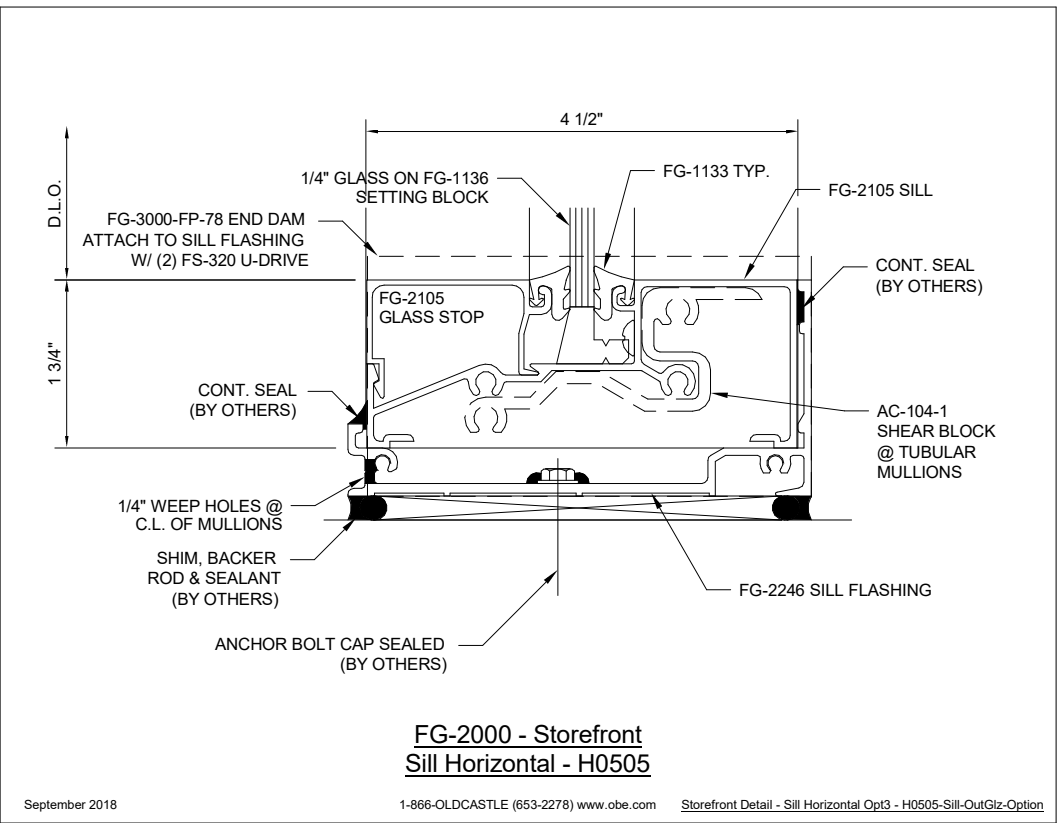
1 *Storefront Detail - Jamb Vertical1 6" = 1'-0"



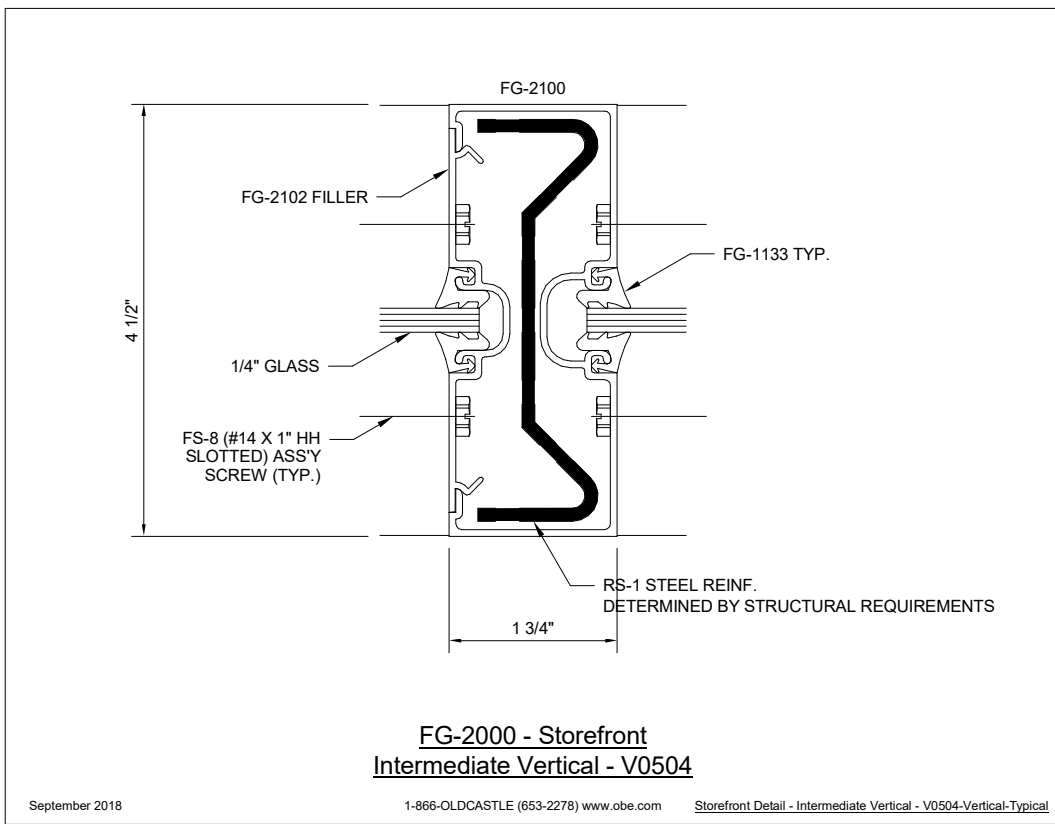
2 *Storefront Detail - Sill Horizontal1 6" = 1'-0"



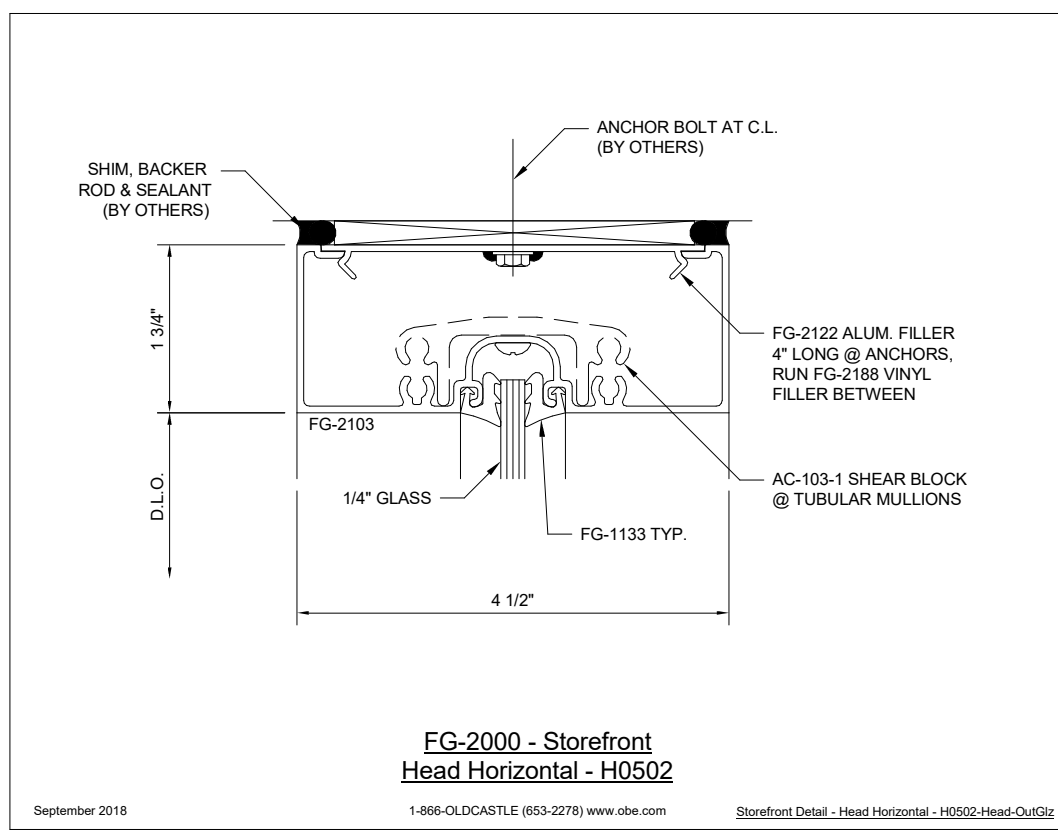
5 *Storefront Detail - 90-Deg Inside 6" = 1'-0"



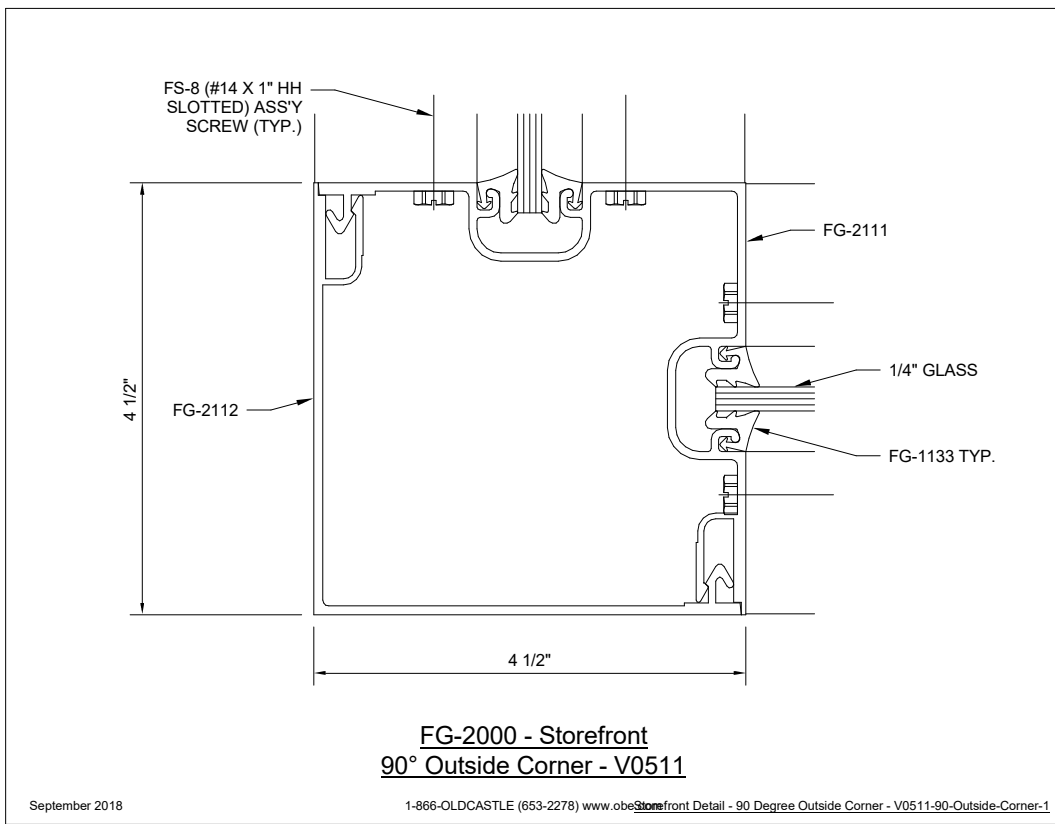
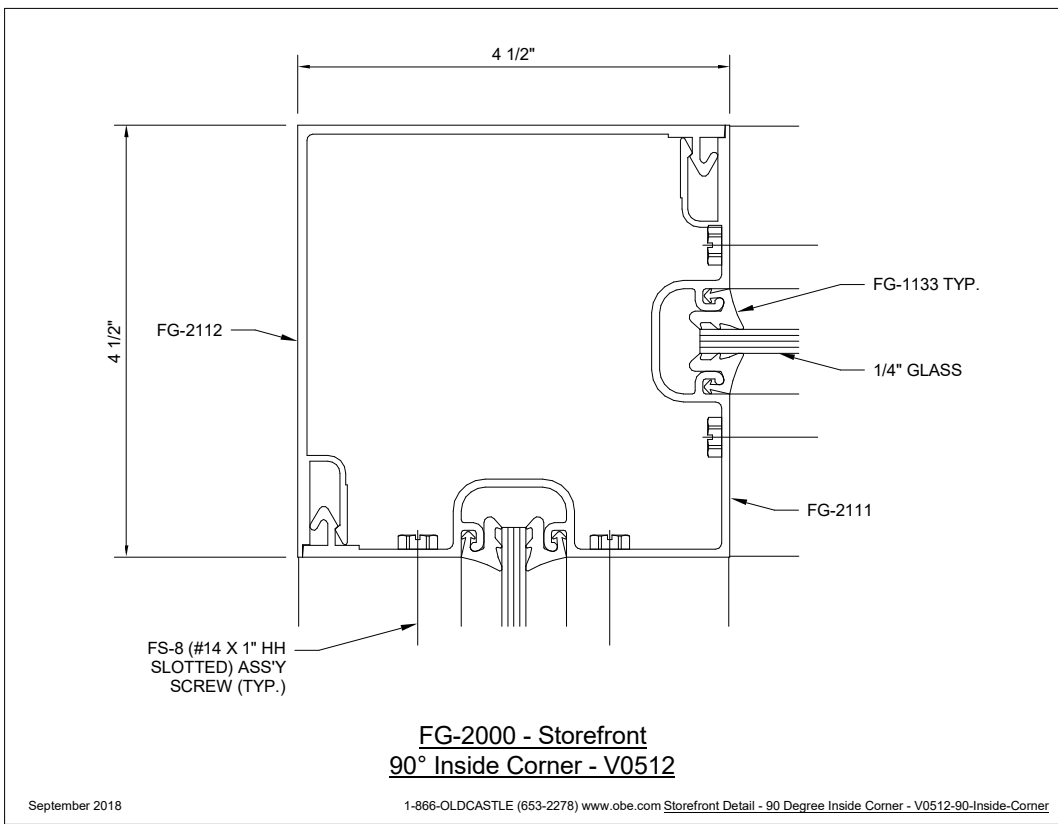
6 *Storefront Detail - 90-Deg Outside 6" = 1'-0"



3 *Storefront Detail - Intermediate Vert 6" = 1'-0"



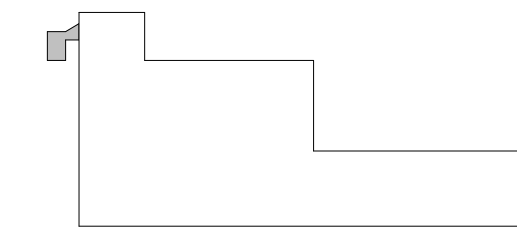
4 *Storefront Detail - Head Horizontal1 6" = 1'-0"



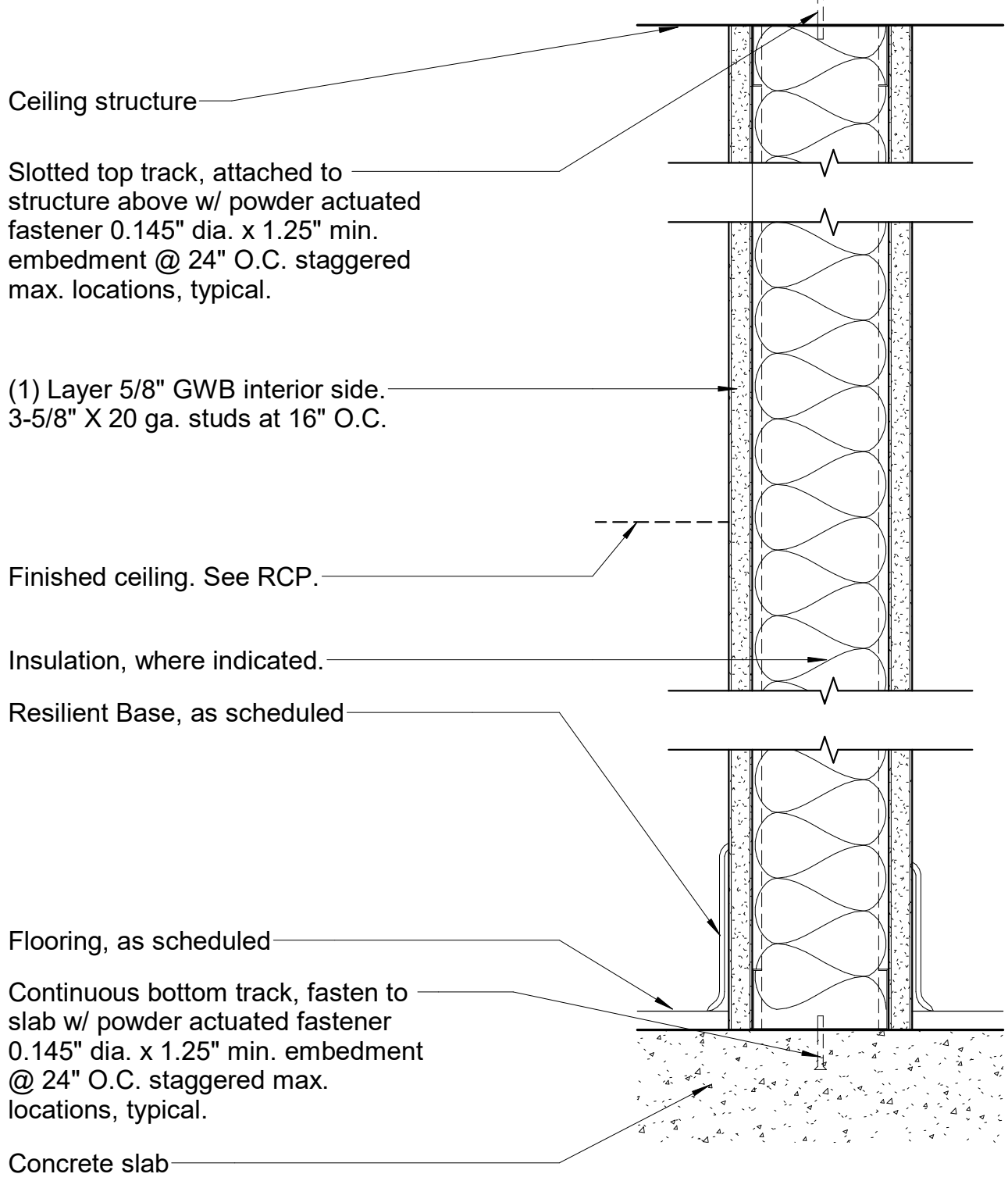
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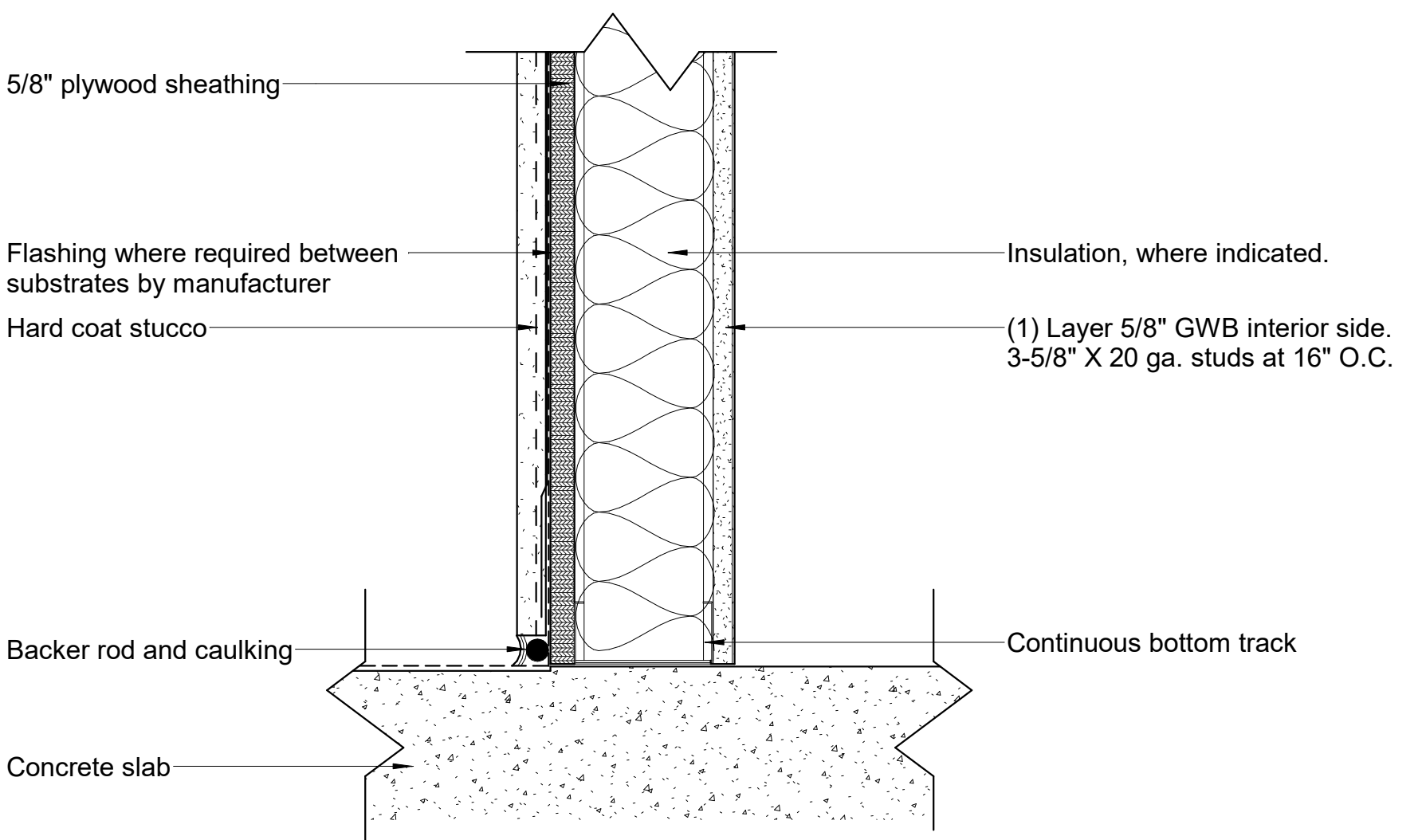
Key Plan



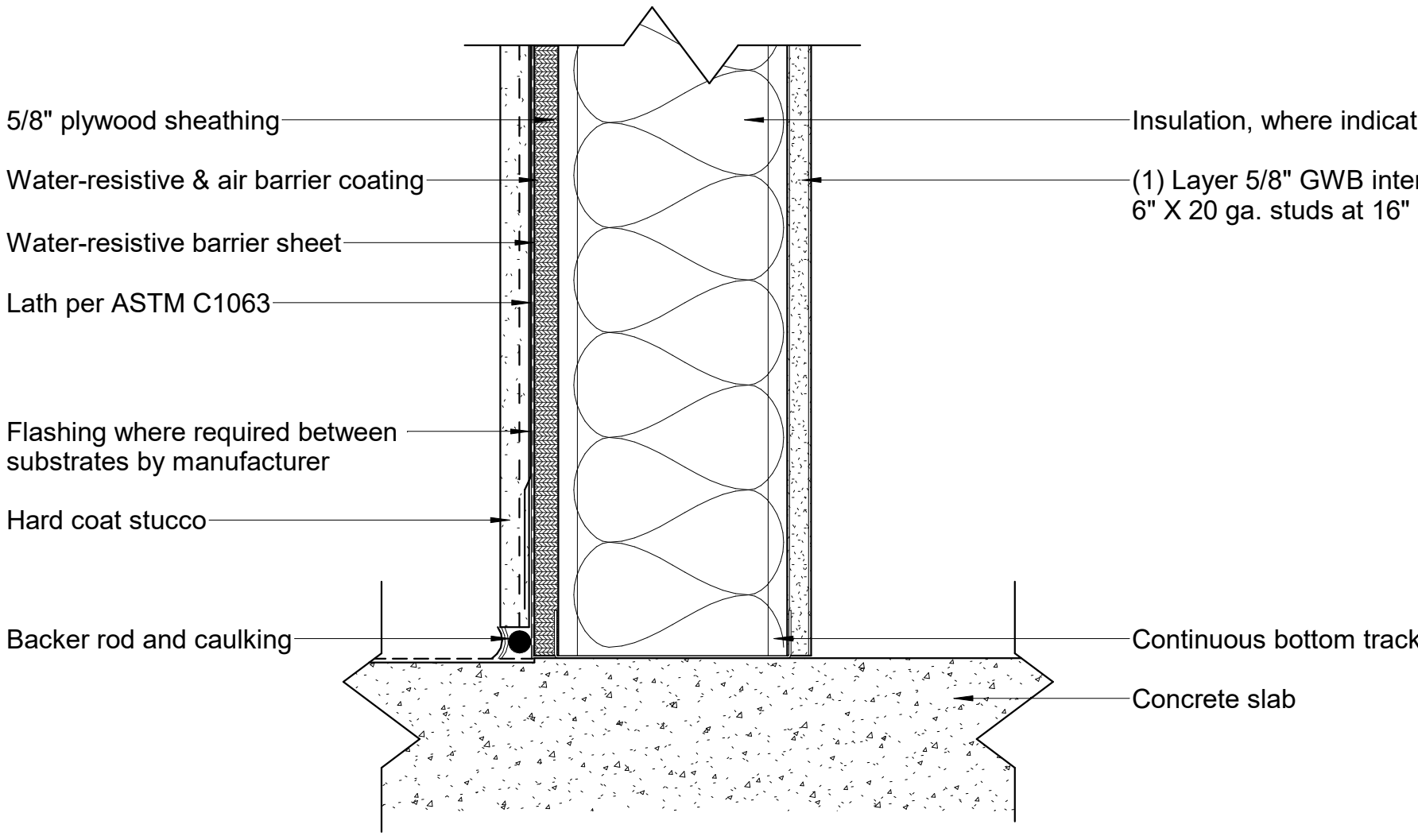
Area of Work



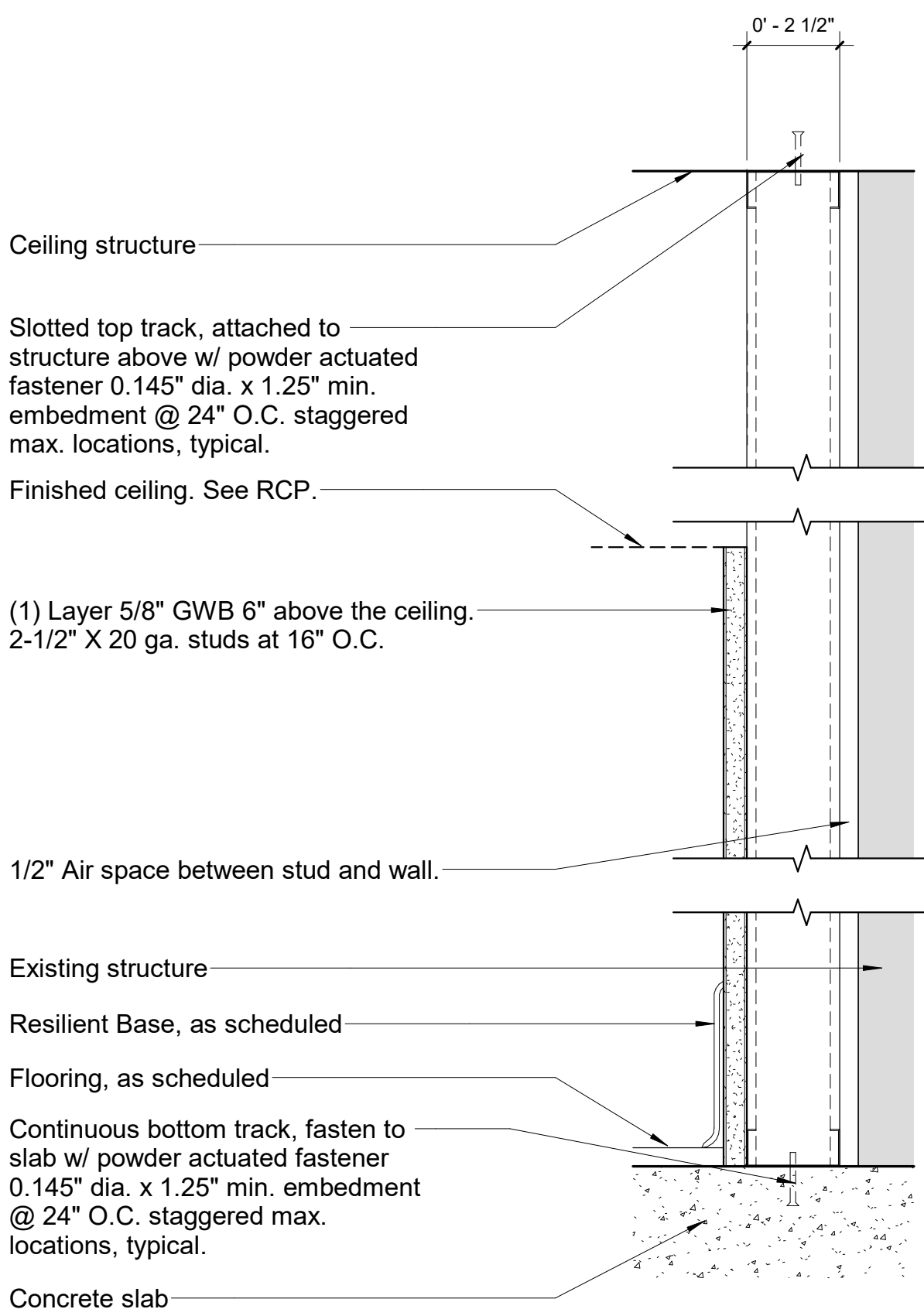
7 Partition Type B3 - Full Height 3" = 1'-0"



8 Stucco Wall - 3-5/8" Mtl Stud Detail 3" = 1'-0"



9 Stucco Wall - 6" Mtl Stud Detai 3" = 1'-0"



10 Partition Type F6 - Furring 3" = 1'-0"

No. Date Issue By Check

Revisions

No. Date Revision By Check

Wall & Storefront Details



