



CITY OF ELM SPRINGS
 289 JAYROE AVENUE
 P.O. BOX 74
 ELM SPRINGS, AR 72728
 (479) 248-7323 Fax: (479) 248-1092
www.elmsprings.net

RESIDENTIAL PERMIT APPLICATION

APPLICATION # _____

PROPERTY INFORMATION

Project Address _____ City _____ Zip _____

Subdivision _____ Lot # _____ County Washington Benton

Property Owner _____ Primary Phone (____) _____

Address _____ Suite _____ Secondary Phone (____) _____

City _____ State _____ Zip _____ Email _____

Applicant _____ Primary Phone (____) _____

Address _____ Suite _____ Secondary Phone (____) _____

City _____ State _____ Zip _____ Fax # (____) _____

Project Contact Person _____ Email _____

SCOPE OF WORK & BUILDING INFORMATION

FOR NEW DWELLINGS: Check This Box and Complete Page 4 Total Construction Cost \$ _____

Description of Work: _____

Total Area (SF) of the new work: _____

Principal Building on this lot: Single Family Dwelling Townhouse Duplex (a separate permit is required for each unit)

Permit Type: Addition to Building Alteration to Building Accessory Structure (complete page 3 of the application)

UTILITY INFORMATION

Water Public Private (well)

Sewer Public Private (septic)*

* New homes and existing homes constructed since 2002 are required to connect to the City's public sewer system. The tap fee and connection fee must be paid with the plumbing permit.

PROPERTY OWNER'S STATEMENT

PROPERTY OWNER'S STATEMENT

I hereby certify that I have the authority to make the necessary application, that all information in this application is correct and all work will comply with the State Building Code and all other applicable State and local laws and ordinances and regulations or private building restrictions, if any, which may be imposed by deed. The Building Official will be notified of any changes in the approved plans and specifications for the project herein prior to implementation. Fees will be calculated by staff based on applicant information provided at the time of building permit application review.

CHECK ONE OF THE FOLLOWING BOXES:

This permit application is for new work This permit application is to legalize work performed without a permit, inspections or approvals. I understand that this work must conform to the current code in effect and all wall coverings and insulation must be removed to expose all work done without a permit so all work can be visually inspected by the code enforcement official.

Property Owner/Agent (print) _____ Signature _____ Date _____

CONTRACTOR INFORMATION

GENERAL CONSTRUCTION (Building)

Contractor (Company Name) _____ Phone # (____) _____
Address _____ City _____ State _____ ZIP _____
Email _____ Fax # (____) _____ Building Cost \$ _____
Contact Person _____ License # _____ Class _____

PLUMBING

Contractor (Company Name) _____ Phone # (____) _____
Address _____ City _____ State _____ ZIP _____
Email _____ Fax # (____) _____ Plumbing Cost \$ _____
Contact Person _____ License # _____ Class _____

MECHANICAL

Contractor (Company Name) _____ Phone # (____) _____
Address _____ City _____ State _____ ZIP _____
Email _____ Fax # (____) _____ Mechanical Cost \$ _____
Contact Person _____ License # _____ Class _____

ELECTRICAL

Contractor (Company Name) _____ Phone # (____) _____
Address _____ City _____ State _____ ZIP _____
Email _____ Fax # (____) _____ Mechanical Cost \$ _____
Contact Person _____ License # _____ Class _____

PLOT PLAN (Two copies of the plot plan are required)

- Draw with a permanent medium (no pencil) showing the entire lot with the outline of all buildings located on the lot.
- Draw to an engineer's scale (1" = 20' or 1" = 30') using the largest scale that will fit on 8 1/2" x 11" or 11" x 17" paper.
- Include cantilevers, decks, porches, driveways, retaining walls, HVAC equipment, water service/meter, electrical service/meter and sewer components.
- Include easements, rights of way and building setbacks.
- Include dimensions for all proposed buildings and structures consistent with the plans provided for review.
- Include the distance from each property line to the proposed building or structure at the nearest point as measured at a right angle to the property line.
- Include flow arrows that depict the direction storm water will travel across this lot.

INFORMATION FOR PROPOSED ACCESSORY STRUCTURES
IF YOUR PROJECT IS A NEW DWELLING, SKIP THIS PAGE AND GO TO PAGE 4

COMPLETE THE SECTIONS THAT BEST DESCRIBE THE WORK YOU INTEND TO PERMIT WITH THIS APPLICATION. CHECK THE APPROPRIATE BOX AND PROVIDE THE DIMENSIONS AND OVERALL SQUARE FOOTAGE OF THE PROJECT.

ACCESSORY STRUCTURE (Structures attached to the main dwelling or detached structures without sides or walls)		
<input type="checkbox"/> Deck (wood or composite)	Size: _____ X _____	Total Floor Area (SF): _____
<input type="checkbox"/> Porch with roof (screened or open)	Size: _____ X _____	Total Floor Area (SF): _____
<input type="checkbox"/> Structure without sides (carport, gazebo)	Size: _____ X _____	Total Floor Area (SF): _____
<input type="checkbox"/> Sunroom (a structure where the combined area of windows and skylights exceed 40% of the total area of the exterior walls and roof)		
<input type="checkbox"/> Unheated <input type="checkbox"/> Heated by: <input type="checkbox"/> Gas <input type="checkbox"/> Electric	Size: _____ X _____	Total Floor Area (SF): _____
<input type="checkbox"/> Pergola/Trellis	Size: _____ X _____	Total Floor Area (SF): _____
<input type="checkbox"/> Other _____	Size: _____ X _____	Total Floor Area (SF): _____
DETACHED BUILDING (Enclosed structures separated from the main dwelling)		
<input type="checkbox"/> Storage building, workshop, garage or barn*	Size: _____ X _____	Total Floor Area (SF): _____
* Detached accessory structures greater than 600 sf and located in any zoning classification other than A-1 are required to first obtain approval from the Planning Commission.		
SWIMMING POOLS, HOT TUBS & SPAS		
<input type="checkbox"/> Spa or hot tub supported by a deck *	Size: _____ X _____	Total Area (SF): _____
<input type="checkbox"/> Spa or hot tub supported by a concrete slab	Size: _____ X _____	Total Area (SF): _____
<input type="checkbox"/> Swimming Pool	Size: _____ X _____	Total Area (SF): _____
<input type="checkbox"/> Patio/decking associated with pool	Size: _____ X _____	Total Area (SF): _____
<input type="checkbox"/> Other _____	Size: _____ X _____	Total Area (SF): _____
*Deck requires foundation design by a licensed Professional Engineer or Architect (provide the design with this application)		

**PLAN INFORMATION SUPPLEMENT
COMPLETE THIS SHEET FOR NEW DWELLINGS ONLY**

NEW DWELLING DETAILS

Dwelling Type: Single Family Detached Single Family Attached (Townhouse) Duplex

Construction: Conventional/Built on Site Modular (factory built) Manufactured (factory built)

Foundation: Basement Crawl Space Slab

Number of Stories: _____ Mean Bldg Hgt (ft): _____ Number of Bedrooms: _____ Number of Bathrooms: _____

Finished Basement: Yes No Finished Attic: Yes No Fireplace: Masonry Gas

SQUARE FOOTAGE

COVERED AREAS (UNDER ROOF) IN SQ FT				UNCOVERED AREAS (NOT UNER ROOF)		
Description of Area	√	Finished (SF)	Unfinished (SF)	Description of Area	√	Square Footage
<input type="checkbox"/> Basement				<input type="checkbox"/> Deck		
<input type="checkbox"/> 1 st Floor				<input type="checkbox"/> Patio/Terrace		
<input type="checkbox"/> 2 nd Floor				<input type="checkbox"/> Other _____		
<input type="checkbox"/> 3 rd Floor/Walk-up Attic				Totals		
<input type="checkbox"/> Attached Garage						
<input type="checkbox"/> Front Porch						
<input type="checkbox"/> Screen Porch						
<input type="checkbox"/> Open Covered Porch/Deck						
<input type="checkbox"/> Sunroom						
<input type="checkbox"/> Other _____						
Totals				Total Area Under Roof (Finished + Unfinished)		

FLOODPLAIN

Is this property located within the FEMA 100-yr Floodplain?* Yes** No

* Floodplain Maps are available for viewing at City Hall as well as on the FEMA, Washington County and Benton County websites.

** If the property is affected by the floodplain, the structures will have to meet the requirements of the City's Flood Damage Prevention Code. An elevation Certificate prepared by a licensed surveyor or engineer will be required before obtaining a building permit.

CITY OF ELM SPRINGS APPROVALS (To be completed by City for all projects)

Planning Review N/A Setbacks Zoning Floodplain Accessory Structure Requirements

Reviewed By: _____

Notes: _____

APPLICATION FOR BUILDING PERMIT

DRAWINGS WITH SET BACKS
SITE INSPECTION
TEMPORARY ELECTRIC (MAINTAIN CODE REQUIREMENTS)
FOOTINGS
PLUMBING ROUGH-IN & FILL
PRE SLAB
PLUMBING TOP OUT
ELECTRICAL ROUGH-IN
BUILDING INSPECTION-HVAC ROUGH-IN
SHEETROCK INSP. BEFORE MUDDING JOINTS
ELECTRICAL FINAL, INCLUDING YARD LINES
PLUMBING FINAL
HVAC FINAL
GAS INSPECTION (YARD AND FINAL)
SIDEWALK PERMIT-WIRE MESH & COMPACTED
DRIVEWAY

ALL SUBCONTRACTORS ARE LIABLE FOR THEIR OWN PERMITS

INSPECTIONS MAY REQUIRE 24 HOUR NOTICE

INSPECTOR WILL BE IN THE OFFICE 9:00 am UNTIL 11:00 a.m. MONDAY – THURSDAY
CALL CITY HALL TO MAKE REQUEST FOR INSPECTIONS DURING INSPECTOR HOURS
479-248-7323

ORDINANCE NO. 2005-07

CITY OF ELM SPRINGS, WASHINGTON COUNTY, ARKANSAS

**AN ORDINANCE SETTING PROCEEDURES FOR THE
CONTROLLING OF TRASH ON CONSTRUCTION SITES
AND DECLARING AN EMERGENCY**

WHEREAS, the containing and control of trash at construction sites within the City has become a problem, and

WHEREAS, there exists no provision for the regulation and control of construction site waste and trash,

NOW, THEREFORE, BE IT ORDAINED, by the City Council of the City of Elm Springs, as follows:

The purpose of this Ordinance is to insure that the trash of a construction site is controlled and properly disposed of. It is the builder's responsibility to contain and control the waste and trash that accumulates on the construction site. This may be accomplished by the installation of a trash barrier fence around the entire site or the use of a dumpster or trash trailer of proper size and design. He is to see that all trash is picked up and properly disposed of in a timely manner and that no trash shall be allowed to accumulate or blow on to adjacent properties.

The following guidelines shall be used for the installation of a trash barrier fence: The contractor or developer shall erect and maintain in good order a warning barrier such as the Maxi Grid Warning Barrier around the perimeter of the construction site for the purpose of catching and retaining blowing trash. The barrier shall be a minimum of 4 feet tall, continuously anchored to the ground and suspended by posts spaced at no more than 10 foot intervals. One permanent entry way a maximum of 25 feet wide may be left open at a location convenient to the builders.

If construction debris is burned on the site, it shall be properly contained such as in a burn barrel. All precautions shall be followed to insure that the fire is contained and controlled. All ordinances and fire bans shall be observed. It is the builder's responsibility to guard the fire and exercise good judgment when considering to burn debris. Included in that is a consideration of neighboring properties and dwellings. Fires shall be continuously attended by personnel on the site and no fire shall be allowed to burn when no one is present. No materials such as treated lumber or foamboard producing noxious fumes or other hazardous gases shall be burned. No fire shall be allowed to smolder and produce undue amounts of smoke and fumes. All fires shall be completely extinguished no later than sunset of the day the fire is started.

All unburnable trash and waste building materials including bricks, rock, mortar or concrete including 'wash out' concrete shall be properly disposed of off site. The use of burial pits on or off site within the City is expressly forbidden.

Primary responsibility for enforcement of this Ordinance shall rest with the Code Enforcement Officer though it may be enforced by the Police Department.

Violation of the provisions of this code or failure to comply with any of its requirements shall constitute a misdemeanor. Any person who violates this Ordinance or fails to comply with any of its requirements shall be subject to a fine not to exceed \$500.00 or the cost of any damage done to health or property, whichever is higher, for any one specified offense or violation. If the matter prohibited or rendered unlawful is, in its nature, continuous in respect to time the fine or penalty for allowing the continuance thereof, shall not exceed \$250.00 for each day that the same is unlawfully continued.

EMERGENCY CLAUSE; Because the problem of improper disposal and cleanup of construction sites and because blowing trash is unsightly and a nuisance to adjacent properties, it is hereby declared that an emergency exists and that this ordinance being necessary for the preservation of health and safety of the citizens of the City of Elm Springs, Arkansas shall become effective immediately upon its passage, approval and publication.

PASSED AND APPROVED this 16 day of May - , 2005

APPROVED



Mayor Jane Waters

ATTEST

Glenda Pettus, City Clerk/ Recorder

**AN ORDINANCE PROVIDING FOR REGULATIONS TO CONTROL
THE DEVELOPMENT OF SIDEWALKS WITHIN THE CITY OF
ELM SPRINGS, ARKANSAS, ITS AREA OF PLANNING JURISDICTION,
AND FOR OTHER PURPOSES,**

WHEREAS; the City of Elm Springs Arkansas deems it necessary to have a uniform policy on sidewalk standards within the city limits of Elm Springs and its planning area, to better cope with the growing population and to ensure a high standard of quality, and;

WHEREAS; the Planning Commission has determined that a uniform standard for sidewalk construction is necessary within the city limits of Elm Springs, Arkansas and its area of planning jurisdiction;

NOW THEREFORE BE IT ORDAINED BY THE CITY COUNCIL OF ELM SPRINGS, ARKANSAS IN REGULAR SESSION ASSEMBLED AS FOLLOWS:

SECTION ONE: Sidewalks shall be constructed according to city standards and specifications in all new developments, as adopted by the City Council, along both sides of all streets.

SECTION TWO: All sidewalks shall be constructed to the following specifications:

1. Sidewalks shall be located a minimum of a two foot set back from curb, and not to exceed a five foot set back from curb.
2. In all new subdivisions and developments, sidewalks shall be laid out by the developer on the preliminary plat along with the streets and presented to the Planning Commission for approval.
3. Sidewalks will be the responsibility of the builder and shall be in place before final inspection by the City of Elm Springs.
4. Handicapped curb ramps shall be provided wherever a sidewalk crosses a curb at crosswalks, driveways, and street intersections.
5. Sidewalks shall be constructed on a compacted grade which shall be free from dust pockets, ruts and other defects.
6. Sidewalks shall be constructed of portland cement concrete, containing 5 percent (5%) air entrainment, and with a minimum twenty-eight day compressive strength of three thousand five hundred (3,500) pounds per square inch, reinforced with 6x6 - #10 welded reinforcing wire.
7. Sidewalks shall be constructed with a minimum transverse slope of one-fourth (1/4) inch per foot.
8. Sidewalks shall be forty-eight (48) inches wide.
9. The concrete shall be four (4) inches thick.
10. Expansion joints shall be at maximum intervals of twenty-five (25) feet.
11. Traverse joints between expansion joints shall be scored at five (5) foot intervals.
12. Sidewalks shall be troweled to an even surface and finished with a broom finish.
13. Sidewalk subgrade shall be inspected by the city building inspector prior to pouring the sidewalk.
14. The property owner shall be responsible for the repair and maintenance of the sidewalk and the greenspace between the curb and sidewalk after installation

ORDINANCE NO. 2013-04

AN ORDINANCE AMENDING ORDINANCE 2006-03, SECTION 1, SEPTIC TANK REGULATIONS FOR THE CITY OF ELM SPRINGS, ARKANSAS, AND DECLARING AN EMERGENCY

WHEREAS, on March 18, 2013, the City Council of the City of Elm Springs, on recommendation of the Sewer Committee, adopted Septic Tank Regulations;

WHEREAS, the Sewer Committee has now recommended an amendment to the regulations, to allow for the use of concrete tanks in addition to fiberglass tanks.

NOW, THEREFORE, BE IT HEREBY ORDAINED by the City Council of the City of Elm Springs:

Section 1: The Septic Tank Requirements, as passed by the City of Elm Springs, are hereby amended to allow the use of concrete tanks in addition to the use of fiberglass tanks for installation in Elm Springs. Said tanks shall be purchased and installed through the City of Elm Springs. A copy of this Ordinance shall be attached to the existing regulations.

Section 2: All other parts of the previous adopted ordinance and tank regulations shall remain in full force and effect.

Section 3: This Ordinance shall take effect and be in force and effect from and after its passage, and that this Ordinance supercedes and replaces any other Ordinances in conflict herewith. In the event any one or more of the provisions contained in this Ordinance shall for any reason be held by a Court of Law to be held by a Court of Law to be invalid, illegal or unenforceable in any respect, such invalidity, illegality or unenforceability shall not affect the remaining provisions of this Ordinance, and this Ordinance shall be construed as if such invalid, illegal or unenforceable provision or provisions had never been contained herein.

Section 4: Emergency Clause. It has been found and hereby is declared by the City Council that this Ordinance is immediately required for the proper functioning of the City government, and to promote the welfare of its citizens. Therefore, an emergency is hereby declared to exist and this Ordinance being necessary for the preservation of the orderly development of the City and for the health and safety of its citizens shall be in full force and effect from the date of its passage and approval.

PASSED AND APPROVED this 18 day of March, 2013

Ben Wall
Mayor, Ben Wall

ATTEST:

Glenda Pettus
Glenda Pettus, City Clerk

ORDINANCE NO. 2004-14

CITY OF ELM SPRINGS, WASHINGTON COUNTY, ARKANSAS

**AN ORDINANCE SETTING THE MAXIMUM DEPTH OF
THE PLUMBING STUB OUT, PROHIBITING "STACKING"
AND DECLARING AN EMERGENCY.**

WHEREAS, it has been noted that the practice of "stacking" plumbing is occurring in new residences and,

WHEREAS, this causes the septic tank to be installed deeper, requiring excessive riser heights and expenses to the property owner and expensive and hazardous maintenance issues for the City,

NOW, THEREFORE, BE IT ORDAINED, by the City Council of the City of Elm Springs, as follows:

The maximum depth of sewer plumbing stub out, measured at the flow line of the pipe, shall be no more than 24 inches below finished grade. "Stacking" of the plumbing that would place the stub out below 24 inches at the flow line shall be prohibited.

EMERGENCY CLAUSE; Because the deep installation of the plumbing stub out causes unnecessary expense to the builder and expensive and hazardous maintenance issues for the City, it is hereby declared that an emergency exists and that this ordinance being necessary for the preservation of health and safety of the citizens and employees of the City of Elm Springs, Arkansas shall become effective immediately upon its passage, approval and publication.

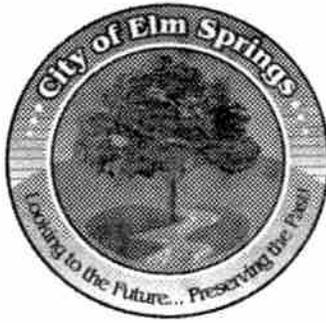
PASSED AND APPROVED this 20 day of Dec, 2004

APPROVED

Jane Waters
Mayor Jane Waters

ATTEST

Glenda Pettus
Glenda Pettus, City Clerk/ Recorder



Owner's Name:

Address of Property:

Phone Number:

Date:

Checklist

Permits & Fees	Amount	Date & Check #
Building Permit		
Electrical Permit		
Plumbing Permit		
HVAC/Gas Permit		

Permits & Fees	Amount	Date & Check #
Tap Fee	\$ 950.00	
S.T.E.P. Installation Permit	\$ 75.00	
Sewer Inspection before C of O		

S.T.E.P. INSTALLATION PERMIT, & TAP FEE (if applicable) is DUE AND PAYABLE WHEN BUILDING AND/OR SEWER PERMIT IS PULLED.

_____ I authorize all excavated materials to be removed from the property.
Initial

_____ I request all excavated materials to remain on the property.
Initial

By signing I agree I have received all necessary paperwork concerning requirements to my project.

Signature

Date