

**NOTICE OF PUBLIC MEETING**  
**Posted April 30, 2021**

A public meeting of the Denham Springs Planning and Zoning Commission will be held as follows:

**DATE:**            May 10, 2021  
**TIME:**            6:00 p.m.  
**PLACE:**           Council Chambers  
                         116 N. Range Ave  
                         Denham Springs, LA 70726

**AGENDA:**  
\*\*Pursuant to La. R.S. 42:14(D) public comment or input shall be allowed at any time prior to a vote on any agenda item

**PLANNING COMMISSION**

#	TOPICS	NOTES
1.	Approve the minutes of the previous meeting of April 12, 2021 as sent to each member.	
2.	Hold Public Hearing to consider the Resubdivision Tract CM-2 & Tract CM-3 into Tracts CM-2-A, CM-3-A & CM-3-B located in Sec 67 & 68, T7S-R2E, G.L.D., City of Denham Springs, Livingston Parish, Louisiana (RS-792). Requested by Logan Moser [322 Rushing Rd]	
3.	Hold a Public Hearing to consider the Resubdivision of Lots 15, 16 & 17-A into Lots 17-A-1 & 17-A-2 located in Sec 67, T7S-R2E, G.L.D., City of Denham Springs, Livingston Parish, Louisiana (RS-793). Requested by Douglas Seacrest [1246 S. River Rd]	

**ZONING COMMISSION**

#	TOPICS	NOTES
1.	Approve the minutes of the previous meeting of April 12, 2021, as sent to each member.	
2.	Hold a Public Hearing on a fence height variance request from 6 feet to 5 feet located in Sec 67, T7S-R2E, G.L.D., City of Denham Springs, Livingston Parish, Louisiana (V-1011). Requested by Ann & Randall Smith [1283 S. river Rd]	
3.	Hold a Public Hearing for a Special Use Permit request for the purpose of a Town home development in Section 44, T6S-R3E, G.L.D, City of Denham Springs, Livingston Parish Louisiana (SUP-107-21). Requested by Very Good Properties, LLC [MLK @ Pete’s Hwy]	
4.	Hold a Public Hearing on a Special Use Permit request for Parcel # 0361154, in Section 6, T7S-R3E, G.L.D, City of Denham Springs, Livingston Parish Louisiana for the purpose of a Residential Town home development (SUP-108-21). Requested by Apex Construction [Across from 218 Tate Rd]	

City of Denham Springs  
P.O. Box 1629  
Denham Springs, LA 70727-1629

In accordance with the Americans with Disabilities Act, if you need special assistance, please contact the City of Denham Springs 665-8121 describing the assistance that is necessary.

PLANNING ITEM# 2

**SITE DATA:**  
TOTAL AREA BEING SUBDIVIDED --- 40793.78 SQ. FT. (0.9365 ACRES)  
TOTAL NUMBER OF LOTS ----- 3  
RUSHING ROAD WEST & CAVALIER DRIVE

**ZONING AND BUILDING SETBACK REQUIREMENTS:**  
ZONING R-1, RESIDENTIAL:  
FRONT YARD - 30 FEET  
REAR YARD - 25 FEET  
SIDE YARD - 5 FEET  
MINIMUM LOT SIZE --- 8400 SQ. FT.  
MAXIMUM BUILDING HEIGHT --- 35 FEET

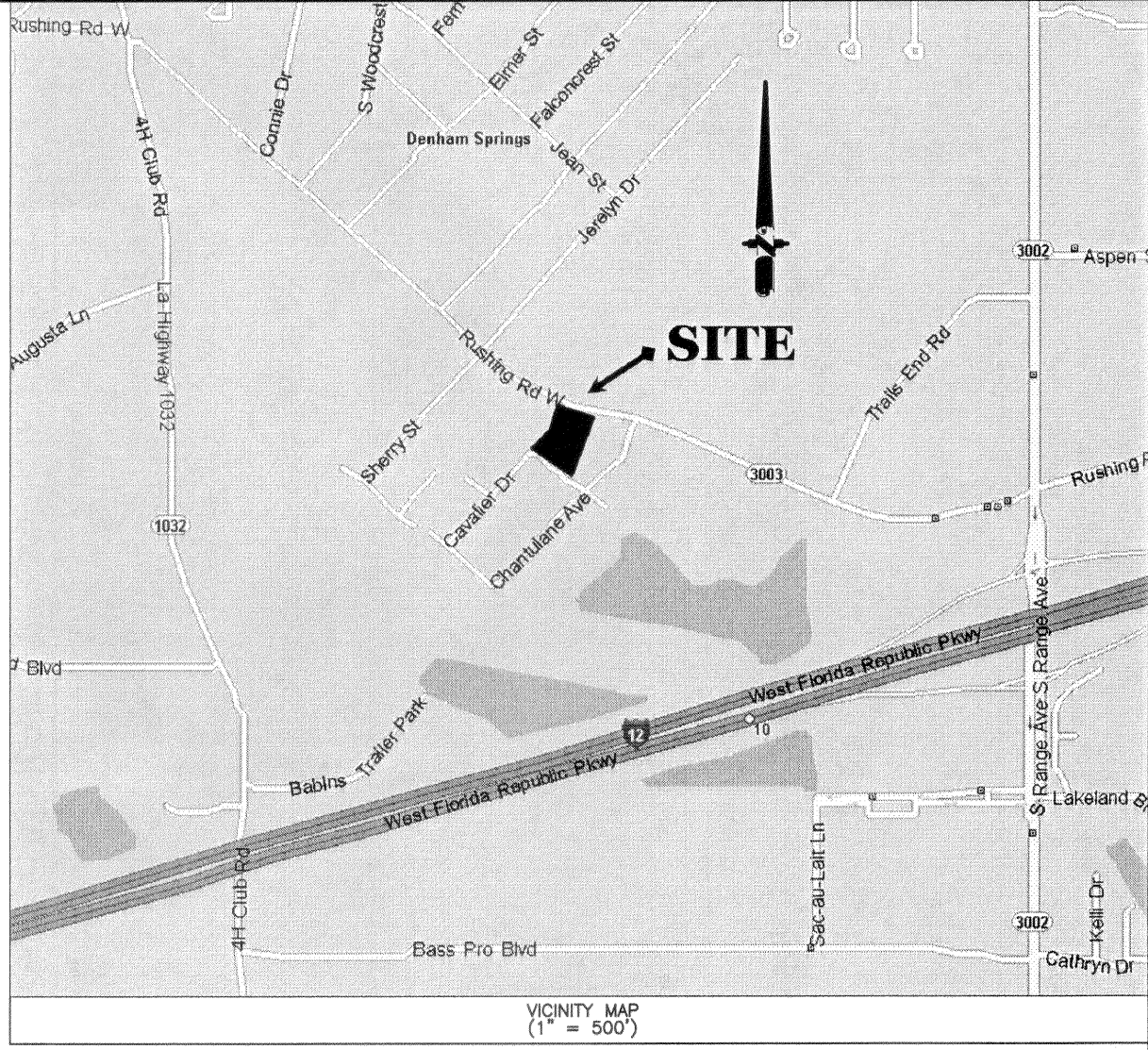
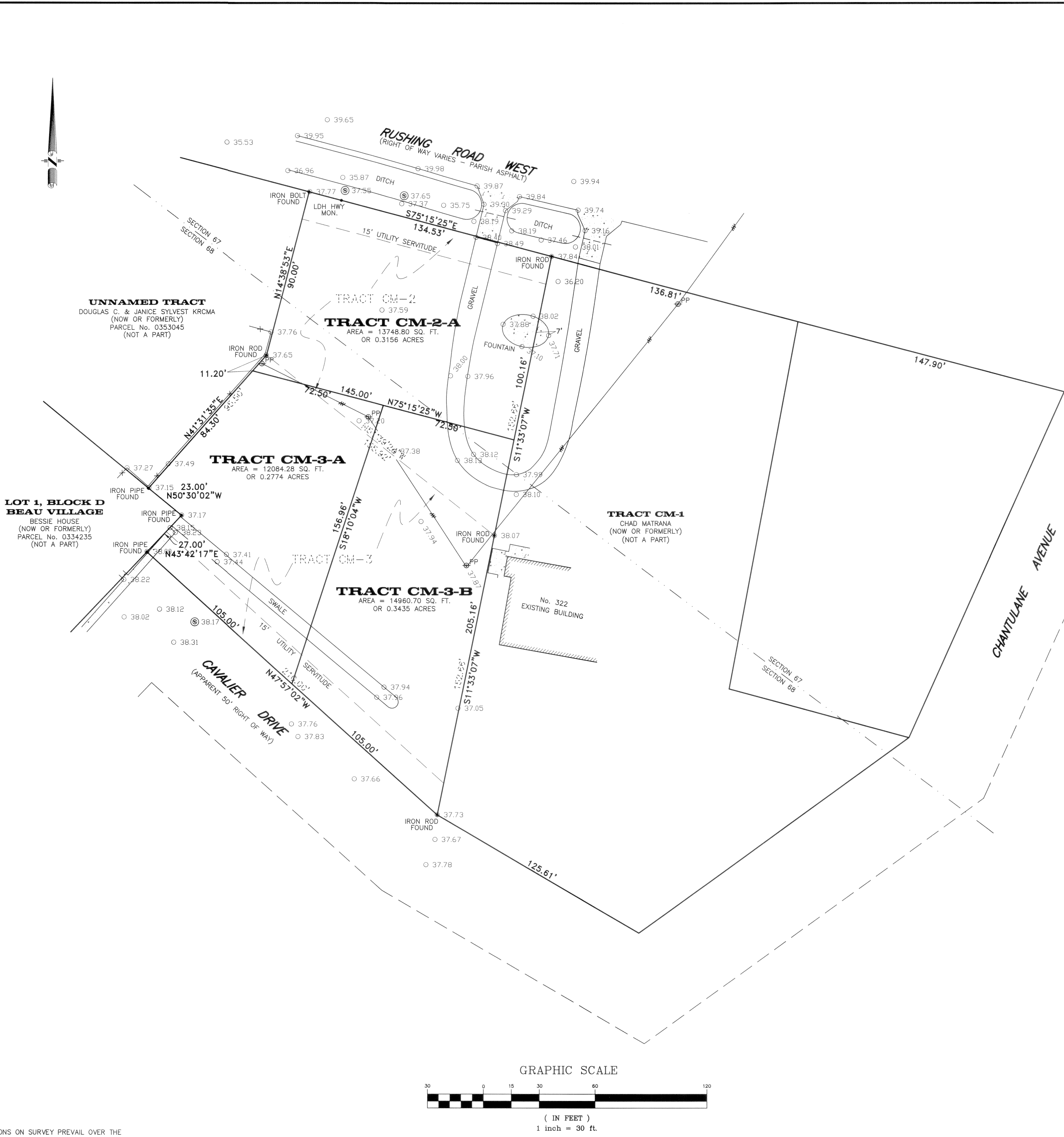
**UTILITY & CITY SERVICES:**  
SEWERAGE, WATER & GAS --- CITY OF DENHAM SPRINGS  
ELECTRIC --- ENTERGY  
TELEPHONE --- AT&T  
DRAINAGE --- DISTRICT 1  
FIRE DISTRICT No. 5  
RECREATION DISTRICT --- DENHAM SPRINGS

**WETLANDS:**  
A WETLANDS INVESTIGATION WAS NOT REQUESTED AND IS NOT PART OF THIS SURVEY

**DEDICATION OF SERVITUDE:**  
THE SERVITUDES, EASEMENTS, AND/OR DRAINAGE RIGHTS-OF-WAYS SHOWN HEREON AND DEDICATED FOR THE USE BY ANY PUBLIC OR PRIVATE ENTITY RELATING TO HEALTH, UTILITY SERVICES, SAFETY AND THE LIKE. NO TREES, SHRUBS OR OTHER PLANTS SHALL BE PLANTED, NOR BUILDING STRUCTURE OR FENCE CONSTRUCTED WITHIN THE LIMITS OF ANY SERVITUDE SO AS TO PREVENT OR UNREASONABLY INTERFERE WITH THE PURPOSE FOR WHICH THE SERVITUDE IS GRANTED.

**OWNERS:**  
LOGAN ADAM MOSER  
6921 HUNTERS WAY  
DENHAM SPRINGS, LA 70726

LOGAN ADAM MOSER \_\_\_\_\_ DATE \_\_\_\_\_



- LEGEND**
- (S) — S — SEWER MANHOLE, SEWER LINE
  - (W) — W — WATER MANHOLE, WATER LINE
  - (B) — D — DRAIN MANHOLE, DRAIN LINE
  - (B) — D — DRAIN INLET, DRAIN LINE
  - (S) — G — GAS MANHOLE, GAS LINE
  - (TE) — UGTEL — SCB MANHOLE, SCB LINE
  - (PP) — E T TV — POWER POLE / OVERHEAD LINES
  - (E T TV) — ELEC TOWER / OVERHEAD LINES
  - (D) — D — CULVERT, DRAIN LINE
  - (CB) — CATCH BASIN
  - (GM) — GAS METER
  - (GV) — GAS VALVE
  - (WM) — WATER METER
  - (WV) — WATER VALVE
  - (DCCO) — DRAIN CLEANOUT
  - (SCCO) — SEWER CLEANOUT
  - (FH) — FIRE HYDRANT
  - (STLT) — STREET LIGHT
  - (TRLT) — TRAFFIC LIGHT
  - (e) — ANCHOR
  - (S) — SIGN
  - (e) — GUARD POST
  - (T) — TREE
  - (B) — BUSH
  - (X X X) — FENCE

<b>RECOMMENDED FOR APPROVAL</b> <b>CITY OF DENHAM SPRINGS</b> <b>PLANNING COMMISSION</b>	
FRED BANKS CHAIRMAN	DATE
ACTING CITY ENGINEER	DATE
<b>APPROVED:</b> <b>CITY OF DENHAM SPRINGS</b>	
GERALD LANDRY MAYOR	DATE

**NOTE:**  
ALL ANGLES ARE 90° UNLESS OTHERWISE NOTED. SOME ITEMS MAY NOT BE TO SCALE FOR CLARITY. DIMENSIONS ON SURVEY PREVAIL OVER THE SCALE. FENCES ARE SHOWN FOR GENERAL INFORMATION PURPOSES ONLY AND DO NOT REFLECT EXACT LOCATION OR CONDITION.

ELEVATION NOTES	GENERAL NOTES	REFERENCE NOTES	THIS IS TO CERTIFY THAT THE PROPERTY BOUNDARY SURVEY RECORDED HEREON WAS MADE ON THE GROUND UNDER MY DIRECT SUPERVISION, AND IS IN ACCORDANCE WITH APPLICABLE STANDARDS OF PRACTICE FOR PROFESSIONAL LAND SURVEYORS AS STIPULATED IN LOUISIANA ADMINISTRATIVE CODE TITLE: 46:IXI, CHAPTER 29 FOR A CLASS "C" (SUBURBAN) SURVEY. FURTHER, THIS MAP IS MADE IN ACCORDANCE WITH LOUISIANA REVISED STATUTES 33:5051 AND CONFORMS TO ALL PARISH ORDINANCES GOVERNING THE SUBDIVISION OF LAND.	BY: <i>Richmond W. Krebs</i> RICHMOND W. KREBS, SR., PLS, No. 4836
THIS IS CERTIFY THAT SUBJECT PROPERTY IS LOCATED IN THE FOLLOWING FLOOD ZONE, PER FLOOD INSURANCE RATE MAP (FIRM) DATED: APRIL 3, 2012 FLOOD ZONE: AE BASE FLOOD ELEVATION: 42.0' FLOOD ZONE: AE COMMUNITY PANEL #: 220116 0205 E	THE SERVITUDES SHOWN ON THIS SURVEY ARE LIMITED TO THOSE FURNISHED US AND THERE IS NO REPRESENTATION THAT ALL APPLICABLE SERVITUDES ARE REFLECTED OR SHOWN HEREON. THE SURVEYOR WAS NOT CONTRACTED TO PERFORM A COMPLETE TITLE ABSTRACT OF THIS SUBJECT PROPERTY. THIS PERIMETER SURVEY SHALL NOT CONSTITUTE A LEGAL OPINION OF TITLE, AND SHALL NOT BE RELIED UPON FOR THAT PURPOSE. THERE IS NO WARRANTY THAT IT CONFORMS TO THE LEGAL TITLE, AND WAS MADE SOLELY ACCORDING TO THE INFORMATION PROVIDED THE SURVEYOR. THE LOCATIONS OF UNDERGROUND AND OTHER NONVISIBLE UTILITIES SHOWN HEREON HAVE BEEN DETERMINED FROM DATA EITHER FURNISHED BY THE AGENCIES CONTROLLING SUCH DATA AND/OR EXTRACTED FROM RECORDS MADE AVAILABLE TO US BY THE AGENCIES CONTROLLING SUCH RECORDS. WHERE FOUND THE SURFACE FEATURES OF LOCATIONS ARE SHOWN. THE ACTUAL NONVISIBLE LOCATIONS MAY VARY FROM THOSE SHOWN HEREON. EACH AGENCY SHOULD BE CONTACTED RELATIVE TO THE PRECISE LOCATION OF ITS UNDERGROUND INSTALLATION PRIOR TO ANY RELIANCE UPON THE ACCURACY OF SUCH LOCATIONS SHOWN HEREON, INCLUDING PRIOR TO EXCAVATION AND DIGGING.	BEARINGS BASED ON GPS OBSERVATIONS USING TOPCON TOPNET LIVE NETWORK DISTANCES BASED ON PLAT OF RESUBDIVISION BY McLIN TAYLOR, INC. DATED: DECEMBER 15, 2020, ENTRY 994436 DATE: MARCH 17, 2021 SCALE: 1" = 30' JOB #: 210185		
		DRAWN BY: RWK CHECKED BY:		

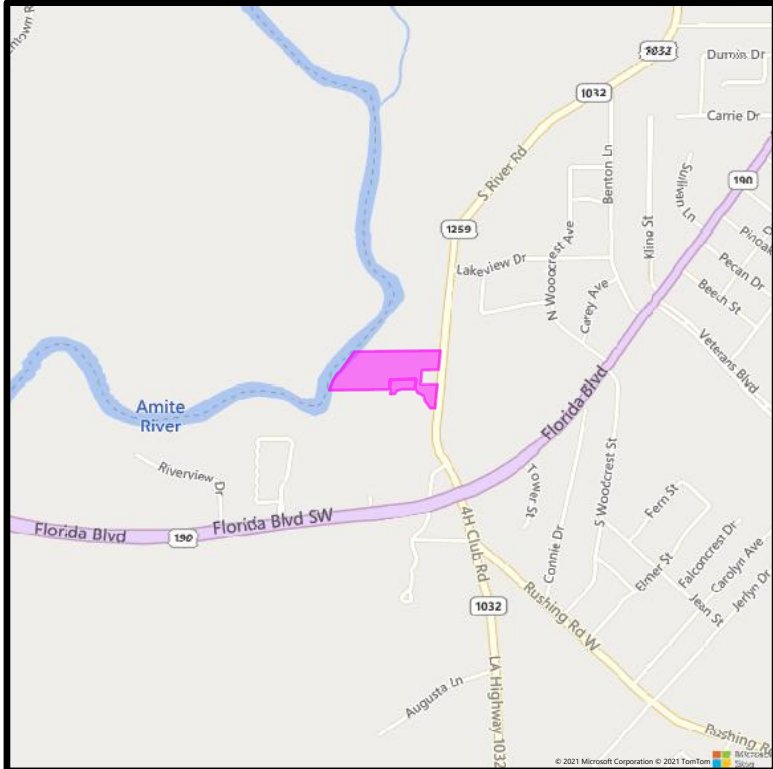


**RWK** Richmond W. Krebs  
& Associates, LLC  
PROFESSIONAL LAND SURVEYING  
1211 NORTH RANGE AVENUE | SUITE B  
DENHAM SPRINGS, LA 70726  
PH. (225) 435-7010 | FAX (225) 435-7011  
www.rwkrebssurvey.com

**RESUBDIVISION OF**  
**TRACT CM-2 & TRACT CM-3**  
**INTO**  
**TRACT CM-2-A, TRACT CM-3-A**  
**AND TRACT CM-3-B**  
**SECTIONS 67 & 68, T7S - R2E, GLD**  
**CITY OF DENHAM SPRINGS**  
**LIVINGSTON PARISH, LA**  
**FOR**  
**LOGAN ADAM MOSER**



PLANNING ITEM# 3



VICINITY MAP  
SCALE 1" = 2000'

LEGEND:

- SUBJECT TRACT BOUNDARY

ADJACENT PROPERTY BOUNDARY

EXISTING SERVITUDE

PROPOSED SERVITUDE

FOUND 1/2" IRON PIPE  
(UNLESS OTHERWISE NOTED)

SET 1/2" IRON PIPE  
(UNLESS OTHERWISE NOTED)

S89°50'11"W 131.27'

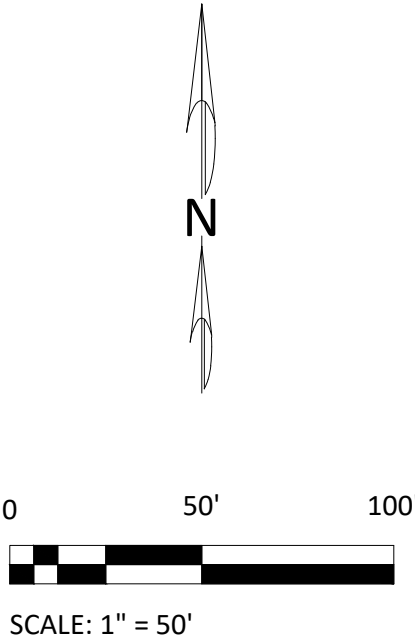
N89°50'11"E - 132.85'

SUBJECT TRACT BOUNDARY LABEL

SERVITUDE DIMENSION LABEL
- EXISTING ASPHALT DRIVE

FEMA FLOOD ZONE AE

FEMA REGULATORY FLOODWAY



BASIS OF BEARING:

THE BASIS OF BEARING AS SHOWN HEREON IS REFERENCED TO THE LOUISIANA STATE PLANE COORDINATE SYSTEM (NAD 83) SOUTH ZONE 1702 AS ESTABLISHED BY GPS OBSERVATIONS.

REFERENCE MAPS:

- MAP SHOWING RESUBDIVISION OF LOTS 17, 18, 19, & 20 OF SHADY REST SUBDIVISION INTO LOTS 17-A & 20-A, LOCATED IN SECTION 67, T7S - R2E, G.L.D., CITY OF DENHAM SPRINGS, LIVINGSTON PARISH, LOUISIANA FOR BOB MELLON ... BY LESTER MCJUN, JR. P.L.S. DATED OCTOBER 08, 2009 (PLAT BOOK 61, PAGE 414, & ENTRY 706660)
- MAP SHOWING SURVEY OF LOTS 1 & 14 SHADY REST SUBDIVISION LOCATED IN SEC. 67, T7S - R2E, G.L.D. IN THE PARISH OF LIVINGSTON, LOUISIANA FOR JOHN R. FRY & JANE GALLARDS FRY BY RAUL GONZALES, C.E. & SURVEYOR DATED OCTOBER 16, 1972 (ENTRY 90482)

GENERAL NOTES:

FENCE LOCATIONS SHOWN ON THIS SURVEY ARE FOR GRAPHICAL REPRESENTATION ONLY. NO DETERMINATION REGARDING OWNERSHIP OR ANY POSSIBLE RIGHTS OF POSSESSION WERE MADE BY THE LAND SURVEYOR.

NEITHER WETLANDS DELINEATIONS NOR ENVIRONMENTAL ASSESSMENTS WERE PERFORMED, NOR WERE THEY WITHIN THE SCOPE OF THIS SURVEY.

THIS SURVEY WAS BASED UPON INFORMATION AND MATERIALS SUPPLIED BY THE CLIENT AND IS SUBJECT TO THOSE ADVERSE FACTS WHICH MIGHT BE DISCLOSED BY A COMPLETE TITLE SEARCH OR TITLE ABSTRACT. CONDUCTING SUCH A SEARCH WAS NOT WITHIN THE SCOPE OF THIS SURVEY.

THE WORDS "CERTIFY" AND "CERTIFICATION" AS SHOWN AND USED HEREON MEAN AN EXPRESSION OF PROFESSIONAL OPINION REGARDING THE FACTS OF THE SURVEY AND DO NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESS OR IMPLIED.

CERTIFICATION AND THE RIGHT TO REPRODUCE AND/OR DISTRIBUTE THIS PLAT DOES NOT EXTEND TO ANY OTHER UN-NAMED PARTY WITHOUT THE EXPRESS WRITTEN PERMISSION OF THE CERTIFYING LAND SURVEYOR.

THIS SURVEY IS MADE IN ACCORDANCE WITH LOUISIANA REVISED STATUTES § 33:505.1 AND WITH THE STANDARDS OF PRACTICE AS ESTABLISHED BY LOUISIANA REVISED STATUTES TITLE 46: §2905 (Classification of Boundary Surveys) AS A CLASS C SURVEY.

CURRENT ZONING:  
(R1)

BUILDING SETBACKS:  
FRONT: 30'  
REAR: 25'  
SIDE: 5'

UTILITIES:  
ELECTRICITY: DEMCO  
GAS: CITY OF DENHAM SPRINGS  
WATER: CITY OF DENHAM SPRINGS  
TELEPHONE: AT&T  
CABLE: COX COMMUNICATIONS

SCHOOL DISTRICT: DENHAM SPRINGS

FIRE DISTRICT: #5

DRAINAGE DISTRICT: #1

SEWER: CITY OF DENHAM SPRINGS

FLOOD STATEMENT: THIS PROPERTY AS SHOWN IS LOCATED IN FLOOD ZONE "AE" AS SHOWN ON THE FEMA FLOOD INSURANCE RATE MAP, PANEL NO. 22063C0205E WITH AN EFFECTIVE DATE OF 04-03-2012. BASE FLOOD ELEVATIONS ARE SUBJECT TO CHANGE AND THE CURRENT BASE FLOOD ELEVATION SHOULD BE VERIFIED WITH THE CITY OF DENHAM SPRINGS FLOOD PLAIN ADMINISTRATOR.

BASE FLOOD ELEVATION: 45.0 (SCALED FROM FIRM)

NO PERSON SHALL PROVIDE OR INSTALL A METHOD OF SEWAGE DISPOSAL OTHER THAN CONNECTION TO AN APPROVED SANITARY SEWER SYSTEM UNTIL THE METHOD OF SEWAGE TREATMENT AND DISPOSAL HAVE BEEN APPROVED BY THE HEALTH UNIT OF LIVINGSTON PARISH.

THE APPROVAL OF THIS PLAT OR MAP DOES NOT RELIEVE THE IMMEDIATE PROPERTY OWNER OR FUTURE PROPERTY OWNER FROM COMPLIANCE WITH ALL APPLICABLE FEDERAL, STATE, CITY, AND CITY-PARISH ORDINANCES AND LAWS GOVERNING THE DEVELOPMENT OF THE PROPERTY. IN PARTICULAR, NO FILLING OF THE PROPERTY SHALL COMMENCE UNTIL APPLICATION OF REQUIRED PROVISIONS OF THE CITY OF DENHAM SPRINGS AND LIVINGSTON PARISH HAVE BEEN MET.

THE CITY OF DENHAM SPRINGS AND LIVINGSTON PARISH DO NOT ENFORCE PRIVATE DEED AND/OR SUBDIVISION RESTRICTIONS. HOWEVER, THE APPROVAL OF THIS PLAT DOES NOT RELEASE THE OWNER AND/OR CONTRACTOR/BUILDER FROM COMPLYING WITH ANY SUCH RESTRICTIONS THAT MAY BE ATTACHED TO THE PROPERTY ON THIS PLAT.

PUBLIC DEDICATION:

THE STREETS AND RIGHTS OF WAY SHOWN HEREON, IF NOT PREVIOUSLY DEDICATED ARE HEREBY DEDICATED TO THE PERPETUAL USE OF THE PUBLIC FOR PROPER PURPOSES. ALL AREAS SHOWN AS PUBLIC SERVITUDES ARE GRANTED TO THE PUBLIC FOR USE OF UTILITIES, DRAINAGE, SEWAGE REMOVAL, OR OTHER PROPER PURPOSE FOR THE GENERAL USE OF THE PUBLIC. NO TREES, SHRUBS, OR OTHER PLANTS MAY BE PLANTED, NOR SHALL ANY BUILDING, FENCE, STRUCTURE, OR IMPROVEMENTS BE CONSTRUCTED OR INSTALLED WITHIN OR OVER ANY SERVITUDE OR RIGHT-OF-WAY SO AS TO PREVENT OR UNREASONABLY INTERFERE WITH ANY PURPOSE FOR WHICH THE SERVITUDE OR RIGHT-OF-WAY IS GRANTED.

PRIVATE DEDICATION:

- THE EXISTING 60' WIDE ALL PURPOSE SERVITUDE SHOWN HEREON IS HEREBY MODIFIED AND EXTENDED AS SHOWN AND IS DEDICATED TO THE PERPETUAL USE OF LOTS 17-A-2 AND 20-A FOR PROPER PURPOSES. NO TREES, SHRUBS, OR OTHER PLANTS MAY BE PLANTED, NOR SHALL ANY BUILDING, FENCE, STRUCTURE, OR IMPROVEMENTS BE CONSTRUCTED OR INSTALLED WITHIN OR OVER THE SERVITUDE SO AS TO PREVENT OR UNREASONABLY INTERFERE WITH ANY PURPOSE FOR WHICH THE SERVITUDE IS DEDICATED. ALL LOTS THAT USE THE SERVITUDE FOR ACCESS ARE JOINTLY RESPONSIBLE FOR THE COSTS TO MAINTAIN THE ENTIRE PRIVATE DRIVE OR SERVITUDE MODIFIED BY THE SUBDIVISION. EACH LOT'S RESPONSIBILITY SHALL BE PRORATED BASED UPON EACH LOT'S FRONTAGE ON THE SERVITUDE.

RECOMMENDED FOR APPROVAL:

CITY OF DENHAM SPRINGS PLANNING COMMISSION

FRED BANKS  
CHAIRMAN  
CITY OF DENHAM SPRINGS PLANNING COMMISSION

DATE  
CITY ENGINEER

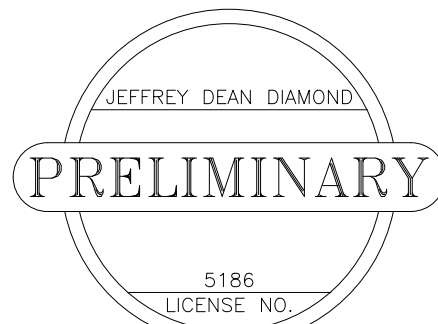
APPROVED:

CITY OF DENHAM SPRINGS

JAMES E. DURBIN  
MAYOR, CITY DENHAM SPRINGS

DOUGLAS SECREST  
OWNER, LOTS 15, 15, & 17-A and APPLICANT  
1246 SOUTH RIVER ROAD  
DENHAM SPRINGS, LOUISIANA  
70726

DATE



THIS DOCUMENT IS NOT TO BE USED FOR CONVEYANCE, SALES OR AS THE BASIS FOR THE ISSUANCE OF A PERMIT

PRELIMINARY WORK

THIS DOCUMENT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING, RECORDATION, CONVEYANCE, SALES, OR BASIS FOR THE ISSUANCE OF A PERMIT.

CERTIFICATION:  
I CERTIFY THAT THIS PLAT REPRESENTS AN ACTUAL FIELD SURVEY MADE UNDER MY DIRECT SUPERVISION AND MEETS THE REQUIREMENTS OF A CLASS "C" SURVEY IN ACCORDANCE WITH THE STATE OF LOUISIANA STANDARDS OF PRACTICE FOR PROPERTY BOUNDARY SURVEYS.

JEFFREY DEAN DIAMOND, PLS  
LOUISIANA REGISTRATION NUMBER 5186

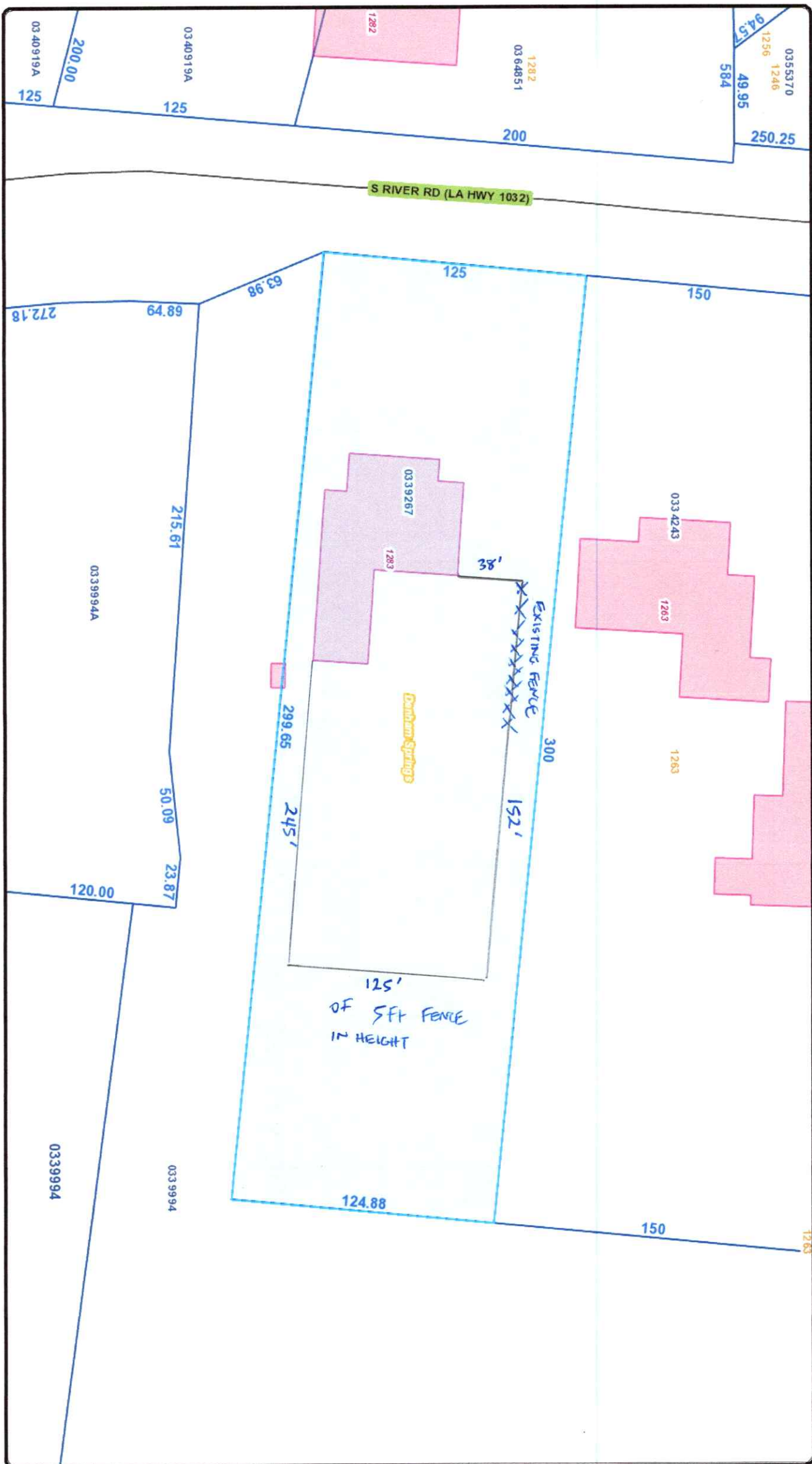
DATE

A MAP SHOWING A SURVEY & SUBDIVISION  
OF  
LOTS 15, 16, & 17-A  
INTO  
LOTS 17-A-1 & 17-A-2  
OF  
SHADY REST SUBDIVISION  
LOCATED IN  
SECTION 67, TOWNSHIP 7-S - RANGE-2-E  
GREENSBURG LAND DISTRICT  
CITY OF DENHAM SPRINGS  
LIVINGSTON PARISH, LOUISIANA  
FOR  
DOUGLAS SECREST

PREPARED BY:  
JEFFREY D. DIAMOND, PLS.  
PROFESSIONAL LAND SURVEYORS OF LOUISIANA, LLC  
17840 WAX ROAD, CENTRAL, LOUISIANA 70739  
PHONE: (225) 933-7324



## ZONING ITEM# 2



**DISCLAIMER:** Every reasonable effort has been made to assure the accuracy of the data presented. The Livingston Parish Assessor's Office makes no warranties, express or implied, regarding the completeness, reliability or suitability of the site data and assumes no liability associated with the use or misuse of said data. The Assessor retains the right to make changes and update data on this site at anytime without notification. The parcel data on the base map is used to locate, identify and inventory parcels of land in the Parish of Livingston only, and is not to be used or interpreted as a legal survey or legal document. Additional data layers not originating in the Assessor's Offices are also presented for informational purposes only. Before proceeding in any legal matter, all data should be verified by contacting the appropriate parish or municipal office.

1 inch = 41 feet

0 20 40 60 80 Feet

March 29, 2021



BASE BEARING: GPS - CAGNET - RTN  
FLOOD ZONE: "X" BASE FLOOD ELEVATION: N/A  
F.E.M.A. F.I.R.M. PANEL NO. 220116 0205 E DATE: 4/03/12

DRAWN BY: CTM  
CREW CHIEF: BMH  
TECHNICIAN: CTM  
CHECKED BY:   
CHECKED BY:

A WETLANDS INVESTIGATION WAS NOT REQUESTED AND IS NOT A PART OF THIS SURVEY.

#### REFERENCE:

1. MAP OF McDOWELL SUBDIVISION No. 2  
SECTION 44, T6S-R3E...,  
BY C.M. MOORE, C.E. & L.S., DATED 9-23-1955.

#### GENERAL NOTES:

TOTAL AREA: 2.850 Acres  
TOTAL NO. OF LOTS: 1  
SEWER: CITY OF DENHAM SPRINGS  
WATER: CITY OF DENHAM SPRINGS  
GAS: CITY OF DENHAM SPRINGS  
ELECTRICITY: ENTERGY  
TELEPHONE: AT & T  
DRAINAGE DISTRICT: No. 1  
FIRE DISTRICT: CITY OF DENHAM SPRINGS  
SCHOOL: DENHAM SPRINGS  
ZONING: C 1

THIS SURVEY WAS PREPARED AT THE REQUEST  
AND FOR THE EXCLUSIVE USE OF:


**CARLTON McDOWELL**

THIS FIRM WAS NOT CONTRACTED TO PERFORM A COMPLETE  
TITLE ABSTRACT OF THE PROPERTY SHOWN HEREON. BE  
AWARE THAT SERVITUDES SHOWN HEREON WERE TAKEN FROM  
REFERENCE DATA AND THAT OTHER SERVITUDES, ENCUMBRANCES  
OR RESTRICTIONS, EITHER VISIBLE OR NOT VISIBLE, MAY AFFECT  
THE SUBJECT PROPERTY.

#### CERTIFICATION:

THIS IS TO CERTIFY THAT THIS MAP IS MADE IN ACCORDANCE WITH LOUISIANA  
REVISED STATUTES 33:5051 AND CONFORMS TO ALL PARISH ORDINANCES GOVERNING  
THE SUBDIVISION OF LAND. THIS MAP IS MADE IN ACCORDANCE WITH THE STANDARDS  
OF PRACTICE FOR BOUNDARY SURVEYS FOR CLASS "C" SURVEYS AND IT WAS THE  
INTENT TO SUBDIVIDE THE TRACT INTO THE PLATTED SUBDIVISION.

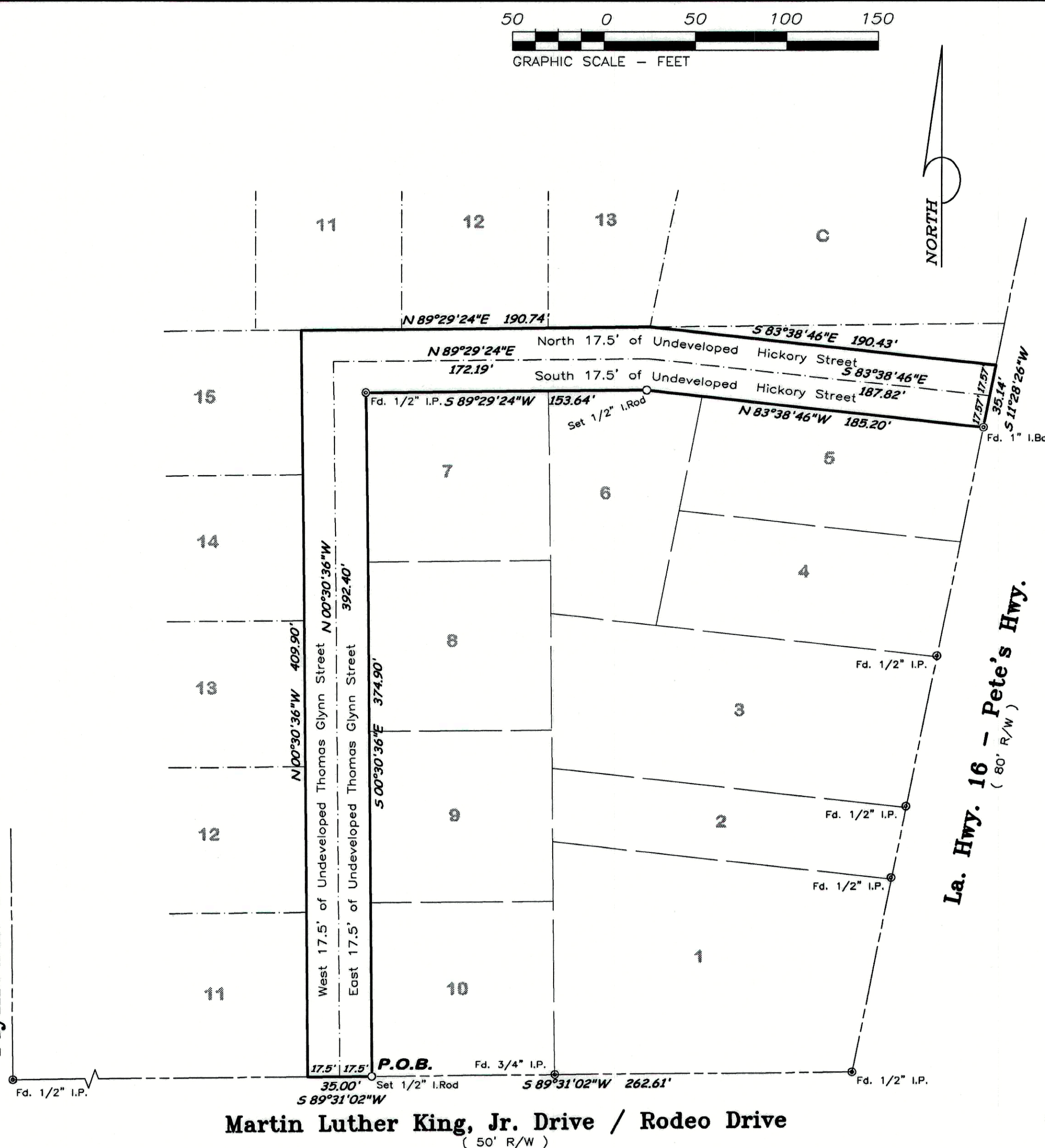
THIS CERTIFICATION IS SPECIFICALLY RESTRICTED TO THE CLIENT  
FOR THE REQUIRED SUBDIVISION OF PROPERTY ONLY, AND DOES NOT EXTEND TO  
THIRD PARTIES UNLESS THE PLAT IS PROPERLY REVISED BY THE CERTIFIER TO  
REFLECT SAME.

  
LESTER A. McLIN, JR.  
PROFESSIONAL LAND SURVEYOR  
REG. # 4470  
McLIN & ASSOCIATES, INC.

11/15/13  
DATE

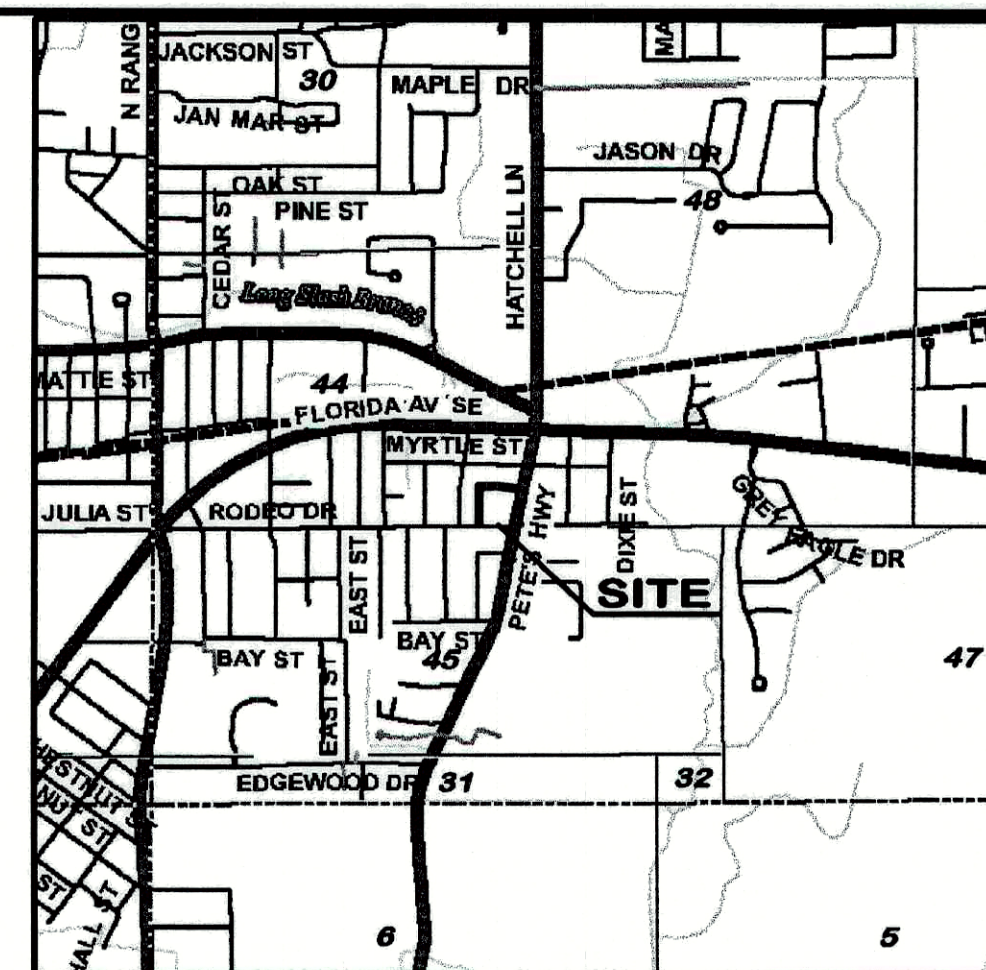


Plymouth St.



Martin Luther King, Jr. Drive / Rodeo Drive  
( 50' R/W )

La. Hwy. 16 - Pete's Hwy.  
( 80' R/W )



VICINITY MAP  
SCALE: 1" = 2000'

ZONING ITEM# 3

#### MAP SHOWING SURVEY OF THE

#### REVOCATION

of the Undeveloped R/W of Hickory St. and  
the Undeveloped R/W of Thomas Glynn St.

LOCATED IN SECTION 44, T 6 S-R 3 E,  
GREENSBURG LAND DISTRICT  
CITY OF DENHAM SPRINGS  
LIVINGSTON PARISH, LOUISIANA  
FOR

**CARLTON McDOWELL**

28049 Foxfire Avenue  
Walker, LA. 70785

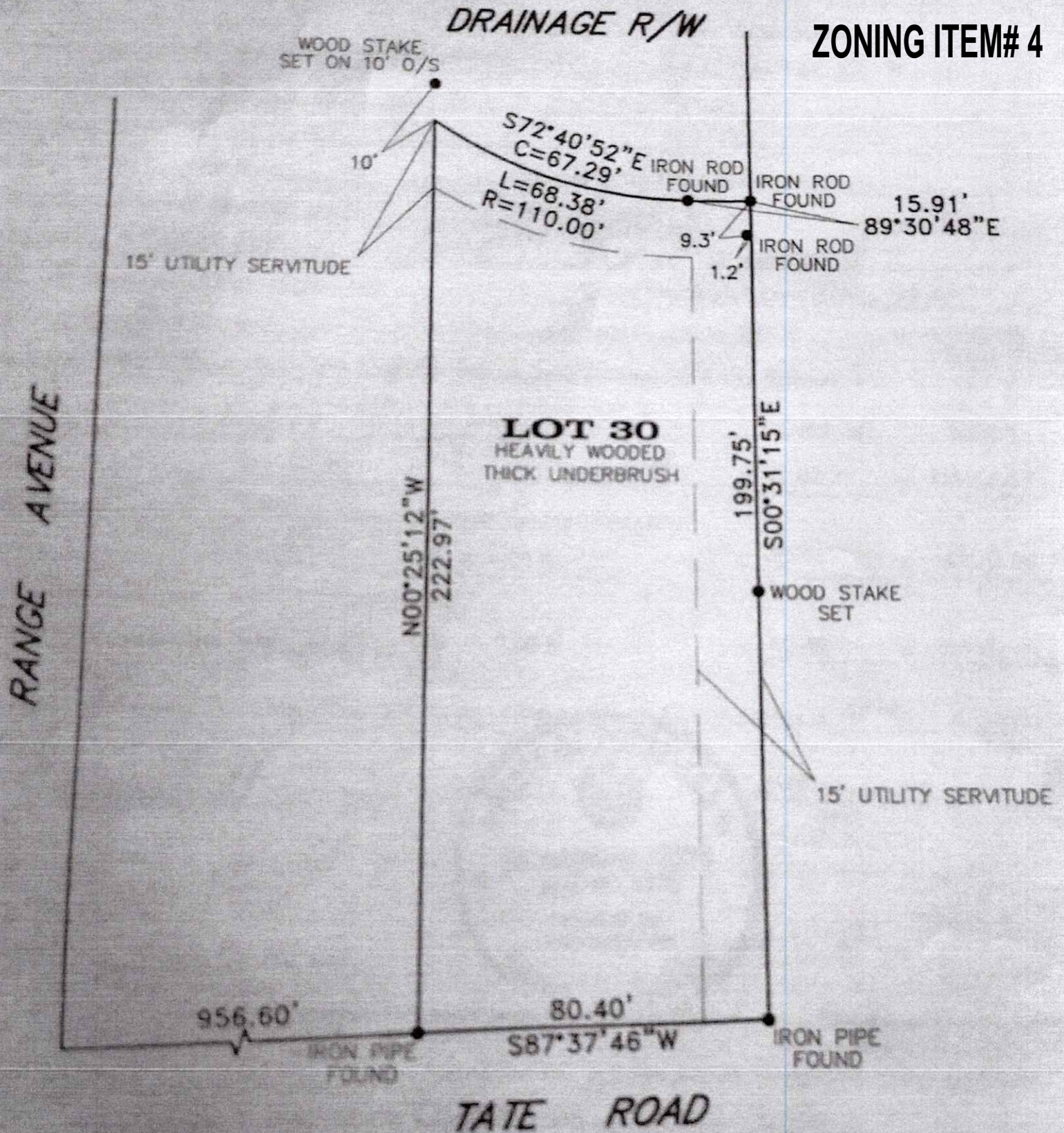


28339 FROST ROAD LIVINGSTON, LA. 70754 (225)688-1444



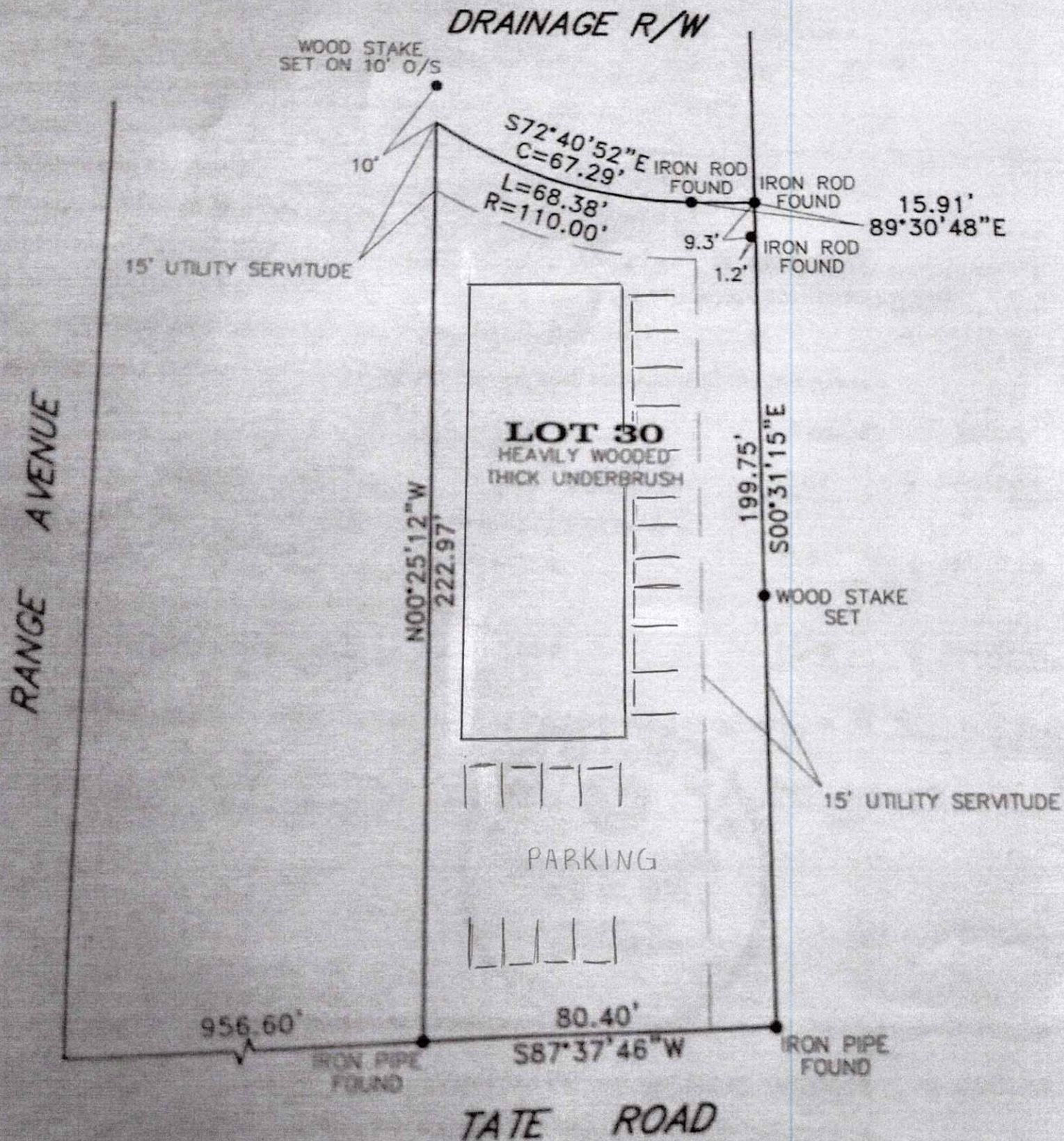
**BOUNDARY SURVEY OF  
LOT 30  
HIGHPOINT PLAZA I  
SECTION 6, T7S - R3E, GLD  
LIVINGSTON PARISH, LA**

**ZONING ITEM# 4**





**BOUNDARY SURVEY OF  
LOT 30  
HIGHPOINT PLAZA I  
SECTION 6, T7S - R3E, GLD  
LIVINGSTON PARISH, LA**



Between 400 ft - 500 ft living

