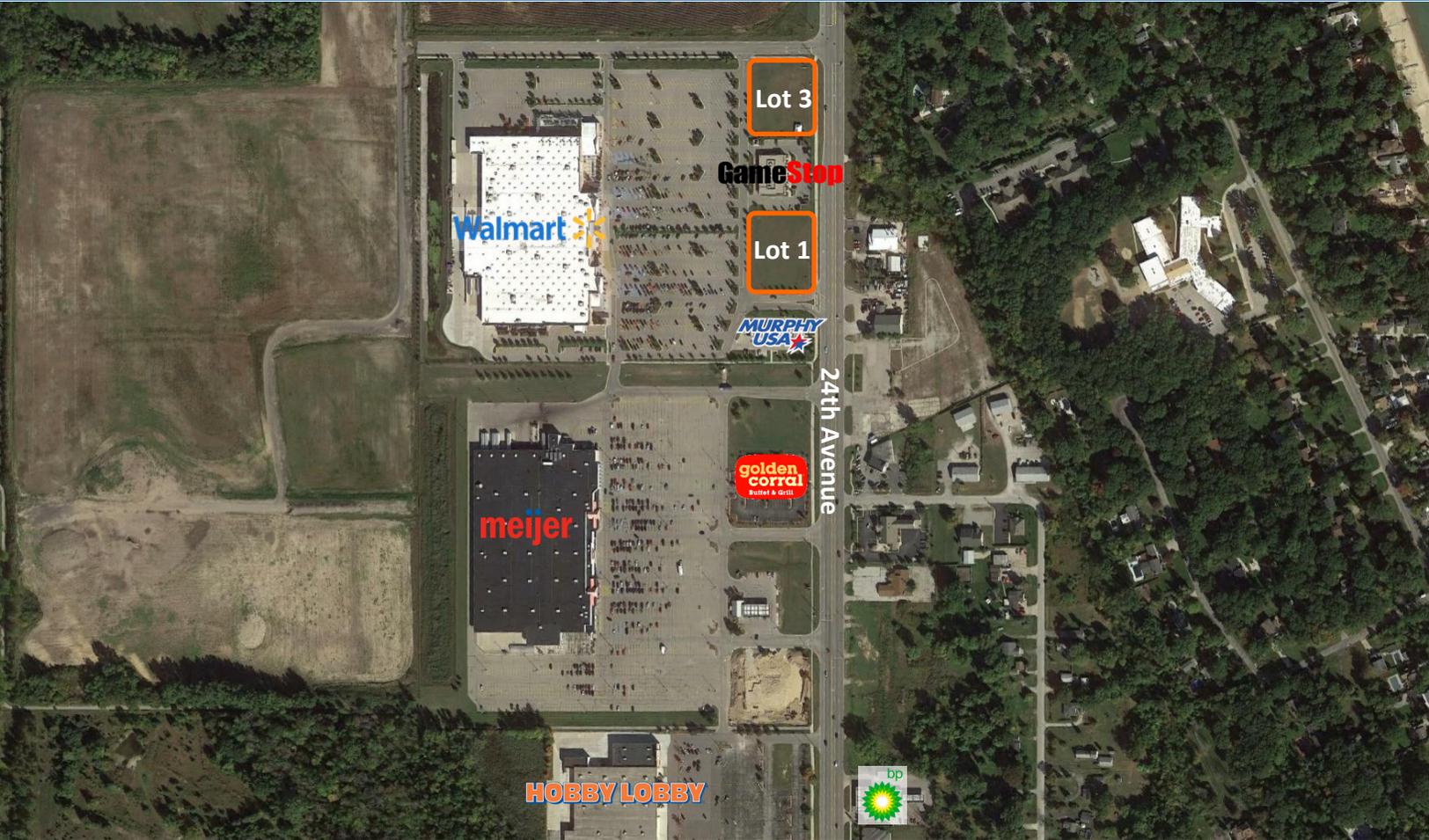


# Walmart Outparcels For Sale

Fort Gratiot, MI

Store #1611

4845 24th Avenue



For more information  
about this site, contact:

Vicki Gutowski  
Gerdom Realty  
P: 248.242.6766 ext 103  
C: 248.345.7071

Larry Siedell  
Gerdom Realty  
P: 248.242.6766 ext 108  
C: 734.707.5278

Other sites available at  
[www.walmartrealty.com](http://www.walmartrealty.com)



Lot 1: ±1.43 Acres - \$385,000

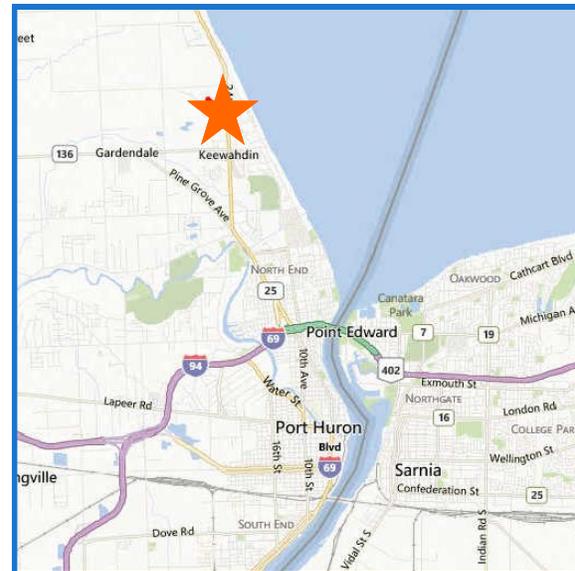
Lot 3: ±1.40 Acres - \$405,000

## Demographic Summary

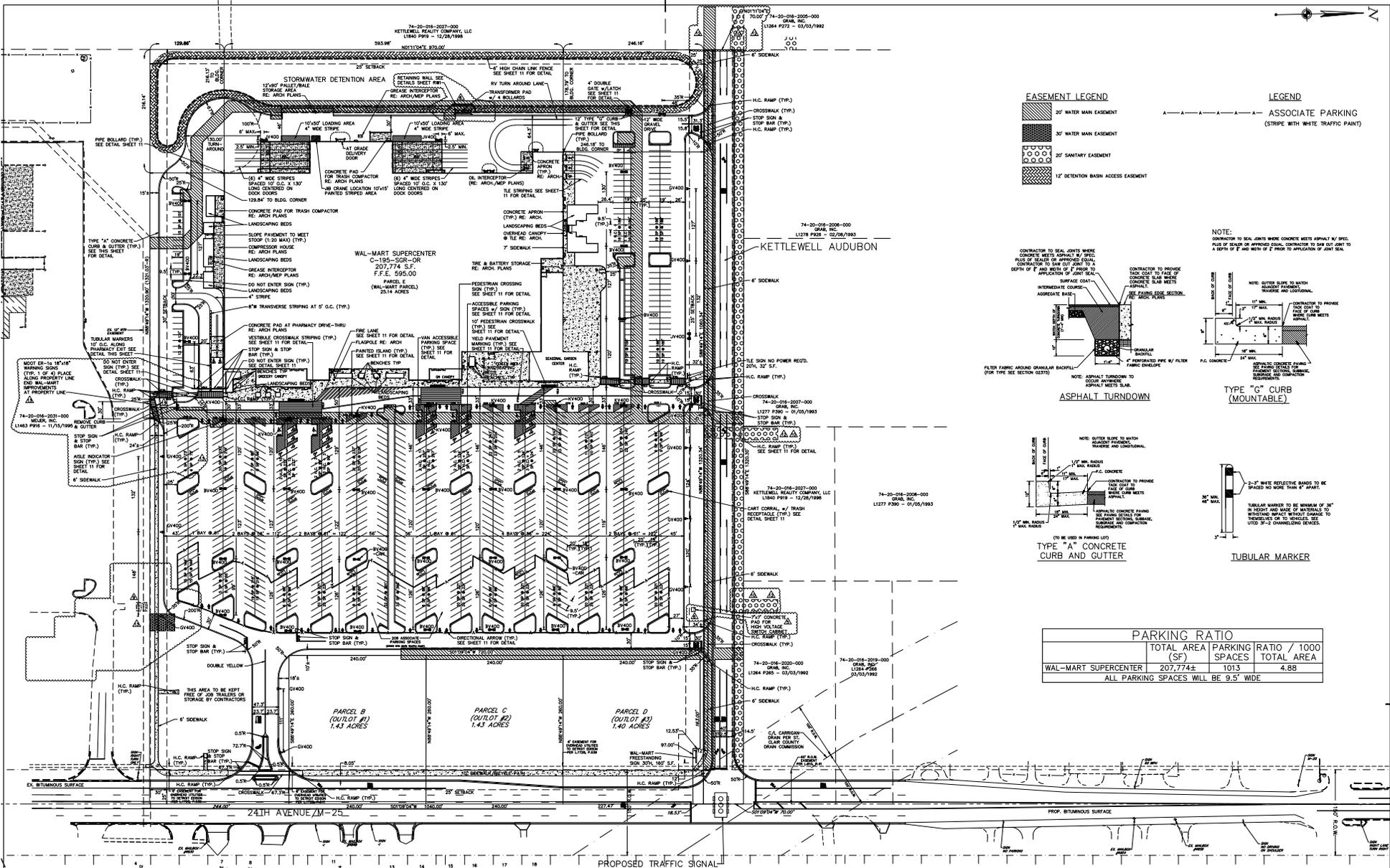
**1 Mile**  
Population: 1,800  
Median HH Income: \$46,900

**3 Mile:**  
Population: 14,200  
Median HH Income: \$43,600

**5 Miles:**  
Population: 37,200  
Median HH Income: \$40,900



The information above has been obtained from sources believed reliable. While we do not doubt its accuracy, we have not verified it and make no guarantee, warranty or representation about it. It is your responsibility to independently confirm its accuracy and completeness.

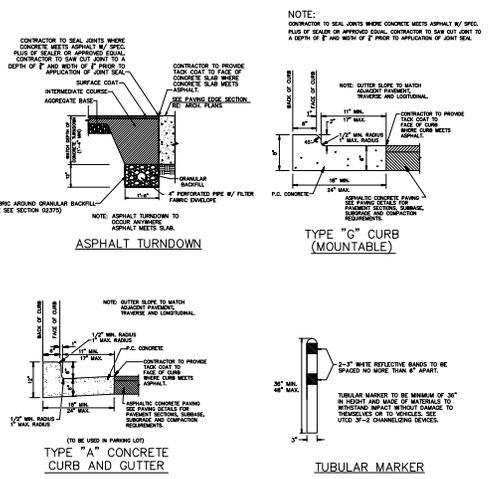


**EASEMENT LEGEND**

- 20' WATER MAIN EASEMENT
- 30' WATER MAIN EASEMENT
- 20' SANITARY EASEMENT
- 12' DETENTION BASIN ACCESS EASEMENT

**LEGEND**

- ASSOCIATE PARKING (STRIPES WITH WHITE TRAFFIC PAINT)



PARKING RATIO		
TOTAL AREA (SF)	PARKING RATIO / 1000 SPACES	TOTAL AREA
WAL-MART SUPERCENTER	207,774	4.88
	1013	
ALL PARKING SPACES WILL BE 9.5' WIDE		



**FORAM WOODS SURVEYOR LICENSE #55 OF PLATS PAGE 4**

BEFORE YOU DO CALL MISS. DIG 1-800-862-7171

THIS DOCUMENT WAS ORIGINALLY ISSUED BY ROBERT MATKO ON 09-03-05. THIS DOCUMENT IS NOT CONSIDERED A SEALED DOCUMENT.

REVISIONS:

BY	DATE	DESCRIPTION
REM	01/09/06	ADD ELECTRIC CONCRETE PAD
REM	04/14/06	ADD ACCESS DRIVE, CURB, STOP SIGN & STOP BAR LOCATION, ACCESS RETAINING WALL, OCCASIONAL CURB, HANDING SONS, HANDICAP PARKING UTILITY.
REM	06/21/06	ADD ACCESS DRIVE, CURB, STOP SIGN & STOP BAR LOCATION, ACCESS RETAINING WALL, OCCASIONAL CURB, HANDICAP PARKING UTILITY.
REM	06/20/06	ADD ACCESS DRIVE, CURB, STOP SIGN & STOP BAR LOCATION, ACCESS RETAINING WALL, OCCASIONAL CURB, HANDICAP PARKING UTILITY.
REM	06/20/06	ADD ACCESS DRIVE, CURB, STOP SIGN & STOP BAR LOCATION, ACCESS RETAINING WALL, OCCASIONAL CURB, HANDICAP PARKING UTILITY.

SEE SHEET 16 FOR LAYOUT NOTES

**LAYOUT PLAN**

**WAL-MART STORES, INC.**

STORE #161-04

FORT GRATIOT TOWNSHIP ST. CLAIR COUNTY, MICHIGAN

DATE: SEPTEMBER 9, 2005

SCALE: 1" = 60'

1700 LYONS ROAD DAYTON, OHIO 45428-1864

OFFICE (937) 435-8594

PHONE (937) 435-3307

FAX (937) 435-3307

EMAIL: csh@wal-mart.com

JOB NO. 0505

DRAWN: REM

CHECKED: REM

DESIGN: REM

DATE: 09/09/05

SHEET NO. 6 OF 16





**CESO, INC.**  
**8164 EXECUTIVE COURT**  
**LANSING, MI 48917**  
**517-622-3000**

**FACT SHEETS**  
**Fort Gratiot, MI**

**207,774 s.f. Wal-Mart Supercenter**  
**As of November 17, 2005**

**THE PROPERTY**

**Lot 1 1.43± Acres**  
**Lot 2 1.43± Acres**  
**Lot 3 1.40± Acres**  
**Excess Property N/A**

**ZONING**

1. Properties were rezoned on **N/A**
2. Present zoning of Lots: **C2 – General Business District**
3. Present zoning of Excess Property **N/A**  
City or County Jurisdiction? **Township**
3. Restaurant Permitted? **Yes**
4. Patio Seating allowed? **Yes**
5. Drive Through Allowed? **Yes, with a special approval use**  
If the answer is no to any of the 3 above, how long will it take for rezoning? **N/A**  
Could a Conditional Use Permit be applied for? **Yes, takes approximately eight weeks**
6. Are any of the properties in a flood plain? **No**  
If yes, provide the classification, extent and minimum finish floor elevation in this package.
7. What are the minimum building lot setbacks? *(Could use a table here, if there are several outlots)*  
**Front 25 feet                      Side 30 feet                      Rear 25 feet                      Side Street 25 feet**
8. City/County Minimum Parking Ratio: **See attached parking chart**  
Wal-Mart Required minimum ratio: 15 Spaces/1000 sf of total building area for restaurants and 5 spaces/1000 s f of total building area for all other uses.
9. Are pylon signs allowed for outlot? **Yes**  
Excess Property? **N/A**  
If No to either one, please explain why and give options to change signage regulations.

Maximum height of Pylon sign **30 feet**

Maximum Square Footage of Pylon sign **Max cannot exceed one (1) S.F. for each two (2) L.F. of street frontage with a maximum of 250 S.F.**

Explain how S.F. is calculated **The area of a two-sided sign shall be computed using only one side of the sign. Provided: 1) the outline of both faces of the sign are essentially identical; 2) the two (2) signs are back-to-back so that the sign faces are not more than forty-five (45) degree angle to each other.**

Is a roof sign permitted? **Yes**

What is maximum size? **10% of the total area of the front of the building façade with a maximum of 150 S.F. in area**

Are wall logo's and/or signs permitted? **Yes**

Is neon permitted? **No**

If no, please explain. **Township ordinance does not allow neon signage.**  
How is maximum square footage of the above signs calculated? **10% of the total area of the front of the building façade with a maximum of 150 S.F. in area**

What is the variance process for signs? **Submit to BZA**  
Estimated time to complete? **Eight weeks**

10. Describe all reviews, hearings, variances and general requirements known at this time.
- **Planning Commission approves Site Plans and special uses – they meet the second Tuesday of the month – submittal must be made 20 days prior.**
  - **Twp. BZA approves variances – they meet the third Tuesday of each month**

## **PLATTING**

1. Is property required to be platted? **No**  
If no, please explain. **The property is not required to be platted. The entire lot at this time is one parcel. The outlots will require a lot split application to the Township to split the existing parcel into multiple parcels.**  
If yes, has plat been recorded?  
If yes, date recorded. Book, and Page or Volume  
If it has not been platted, please describe the process and give who will be responsible. Also indicate time line.  
(If platting is not required, a metes and bounds legal description for each outlot & excess property should be furnished to Wal-Mart as soon as possible.)

## **STREET & HIGHWAY CUTS**

1. Jurisdiction: D.O.T., City, County or other? **M-24: MDOT; Kettlewell Audubon: St. Clair County**
2. Is permit required? **Yes**  
If so, is a bond required? **MDOT: Yes, \$250,000; County: No**
3. Will the D.O.T., City or County allow direct access and curb cuts from the main Street or Highway in front of the Wal-Mart/Sam's? **No**  
If no, please explain **M-24 is a six lane roadway with controlled access. Curb cuts for outlots will be internal.**
4. If there is a median in front of the property, can it be cut? **No median**  
Please describe.  
At whose expense? **N/A**
5. Are any future highway/street changes anticipated? **No, Wal-Mart is construction along M-24 as part of the site plan approval**  
If so, please describe along with the timeline and location?
6. Are sidewalks required? **Yes**  
If so, type & size **Wal-Mart is constructing along M-24 as part of site plan approval, however for parking lots with 100 spaces or more an internal six foot walkway is required connecting the main building perimeter sidewalk with the existing sidewalks along street right-of-way.**
7. Was a traffic study made for Wal-Mart? **Yes**  
If so, were the outlots included? **Yes**  
If so, was the excess property included? **N/A**  
What was the estimated traffic for each parcel? **Each outlot was assumed to be a fast food restaurant / sit down restaurant**  
Will an additional traffic study be required for each user? **No**  
If yes, please explain why, and the timeline after submitted.

## UTILITIES

1. Is water available at the property line(s)? **Yes** Size? **6"**  
If no, please explain location.  
Jurisdiction of water line **Charter Township of Fort Gratiot**  
Size of water main **6"** Normal Pressure **40-50 psi.**  
Tap Fee: **TBD based on overall square footage and type of usage**  
1½" meter fee  
Can hose bibs & irrigation be on a separate meter? **Yes**  
If fire sprinklers are required, does it necessitate a second water line? **No**  
Size of line required?  
Are backflow preventer valves required for fire sprinkler line? **Yes**  
Is an easement required by the jurisdiction for the water line? **No**  
If yes, will it be platted? (If not platted, but required, a metes and bounds description should be sent to Wal-Mart as soon as possible.)
2. Is sanitary sewer available at the property line(s)? **Yes** Size? **10"**  
If no, please explain location  
Jurisdiction of sewer line? **Charter Township of Fort Gratiot**  
Nearest manhole: Inv. El. Out **578.32** Rim El. **590.75**  
Grease trap required for restaurant? **Yes**  
If required, is it outside or inside? **Outside or Inside**  
If outside, minimum number of gallons? **N/A**  
Are tap fees based on water usage? **Yes**  
Tap to be made by city or local plumber? **Plumber**  
Sewer tap fee: **TBD based on overall square footage and type of usage**  
Any special assessments? **No**  
Is there a current moratorium or a chance for one in the future? **No**  
If yes please explain.  
Is an easement required for sanitary sewer? **No**  
If so, will it be platted?  
(If not platted but required, a metes and bounds description should be sent to Wal-Mart as soon as possible.)  
If sanitary sewer is not available, can a septic system be used? **N/A**  
Type?  
Remarks:  
Can the septic field be paved over?  
Has a percolation test been performed?  
When? Results?  
(1' in 30 minutes is required for a restaurant)  
If the test did not meet the above requirements, what are the alternative solutions?
3. Is storm sewer available or will surface drainage be used? **Storm sewer is available**  
Has Wal-Mart's detention facility been sized to accept the drainage? **Yes**  
If yes, please state the criteria. **According to St. Clair County Drain Commissioner**  
If no, please explain alternative solutions.  
Jurisdiction of storm sewer. **Charter Township of Fort Gratiot / St. Clair County Drain Commissioner**  
Size of storm sewer? **21"**  
Depth? **5.05' deep**  
Tap Fee? **N/A**  
Are catch basins required? **Yes**  
Is an easement required for storm sewer? **No**  
If so, will it be platted?

(If not, a metes and bounds description should be furnished to Wal-Mart as soon as possible.)

*Note to Developer: Under Phase II EPA regulation, federal and state law requires authorization for storm water discharges associated with construction activity for construction disturbing one or more acres or construction regardless of disturbed area, which is a part of a larger common plan of development or sale (this would apply if outparcel construction occurs at the same time as the Wal-Mart Store construction).*

*Wal-Mart will require implementation of Best Management Practices in conjunction with this construction project. Owners and/or contractors will also be required to obtain coverage under the applicable General Permit as required by the governing regulations and authority.*

4. Location of Electric? **Along M-24**  
Overhead or underground? **Underground**  
Voltage? Phase? Wire?  
Jurisdiction of electric **DTE**  
Is underground service required? **Yes**  
If yes, will power company bring conduit and wire to transformer and/or building? **No**  
Cost per L.F.  
Transformer location: **Pad mounted**  
Is primary service connected to existing transformer? **Yes**  
Any service charges or connection fees? **TBD**  
Cost? **TBD**  
Is an easement required for electric? **No** If so, will it be platted?  
(If not platted but required, a metes & bounds description should be furnished to Wal-Mart as soon as possible.)
5. Location of gas line? **West property line of outlots** Maximum amount available?  
Jurisdiction of gas? **SEMCO**  
What type of commitment will gas company give?  
Will gas company bring line to the building? **Yes** Cost? **TBD**  
Size of gas line? **2"** Pressure?  
BTU/CF Rating? Spec. Gravity?  
Meter Fee required? If so, cost?  
For a restaurant, should a split service be used for heating and cooking?  
Approximate additional cost?  
Is an easement required for gas? **No** If so, will it be platted?  
(If not platted but required, a metes and bounds description should be furnished to Wal-Mart?)
6. Location of telephone? **East side of outlots along M-24**  
Is under ground service required? **Yes**  
Who is responsible for bringing telephone lines to building? **SBC**

#### **FEES:**

1. Are there any unusually expensive fees or assessments relating to the future development of this property? If so, please describe in detail and attach a schedule if available. **No**

#### **BUILDING CODES**

1. Building codes in effect: **MI Building Code 2003** Date adopted  
2. Building permit fee schedule: **See attached**  
3. Are parcels located in a fire zone or district? **No** If yes, designate zone.  
4. Any special fire dept requirements in addition to standard plans? **No**

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## SITE/LANDSCAPING

1. Is there a landscaping ordinance in place? **Yes** Ord# **7-16.15** Date adopted **5/10/04**  
Would it be considered minimal, normal or extensive? **Extensive**
2. What type of solid waste disposal is permitted? **No restrictions, must be approved during site plan approval procedure**  
Compaction: \_\_\_\_\_ Bulk pick up \_\_\_\_\_ Front loader \_\_\_\_\_ Side loader \_\_\_\_\_  
Rear loader \_\_\_\_\_  
Jurisdiction of solid waste: **Charter Township of fort Gratiot**  
Wal-Mart requires minimum of concrete block screening for compactor, dumpster.  
Is this adequate for jurisdiction? **No**  
If no, please explain. **The Township requires the screening to be constructed of the same material as the building façade.**  
Is a drain required in the trash area? **TBD**  
Are hot and cold water hose bibs required in trash area? **TBD**

## SOILS/ENVIRONMENTAL

1. Is the outlot ( & excess property) pad ready? **Yes**  
Are they compacted to Wal-Mart's specs? **Yes**  
If no, to either question, please explain in detail & provide estimated costs to correct.
2. The Phase 1 Environmental report did or did not indicate contamination? **Did Indicate Contamination**  
Report prepared by; **TesTech, Inc.**  
Dated **September 2, 2005**

## TRAFFIC

1. Average Daily Traffic **17,500 v.p.d. 2006 (year) M-24**

The Purpose of these "Fact Sheets" are to provide general information regarding the subject property. It shall be the prospective buyer's obligation to perform due diligence to insure that the property is capable of meeting the intended use.

(Civil Consultant: Please add anything that you can think of that would effect the title to the parcels or the developability of these parcels.

## CONTACTS

The last page should be all local contacts (from your cover sheet)