

OFFICIAL MINUTES
SUMMERSET PLANNING AND ZONING COMMISSION
REGULAR MEETING
NOVEMBER 22, 2022 @ 6:00 P.M.

The meeting was called to order by Commissioner Oldfield at 6:00 p.m.

ROLL CALL: Brody Oldfield, Dustin Hirsch, Casey Kenrick and Mike Martin present. John Hough absent. Also present was the City Administrator.

CALL FOR CHANGES: Motion by Kenrick, second by Martin to approve the agenda of the meeting for November 22, 2022. Motion carried.

CONSENT CALENDAR: Motion by Hirsch, second by Kenrick to approve the minutes of the regular meeting of June 14th, 2022. Motion carried.

TAB INDUSTRIAL PARK – PRELIMINARY PLAT

Plat of Lots 1 through 8 and Dedicated Public Right of Way for Buckaroo Court all of Tab Industrial Park, Formerly Lot N Revised of the E1/2 of Section 6. All Located in SE1/4 of Section 6, Township 2 North, Range 7 East, Black Hills Meridian, Meade County, South Dakota.

Motion by Martin, second by Kirsch to open discussion. Motion carried.

Speaking on behalf of the applicant were Leah Berg, Civil Engineer for ACES and Jessica Larson, Attorney at Law Beardsley Jensen & Lee.

Speaking on behalf of the City of Summerset Talbot Wieczorek, Attorney at Law Gunderson, Palmer, Nelson & Ashmore and Lindsay Shagla, Engineer HDR, and as a resident of the City of Summerset.

Discussion ensued on the application for preliminary plat wherein the applicant, per the memorandum dated October 28th, stated that no annexation is intended due to no water and sewer and that the location does not warrant City expansion. The property in question is across the right of way on the other side of Sturgis Road.

The question on variances was discussed for annexation and regarding the road width and how Infinity Drive was done through a Developer's Agreement.

It was pointed out that the City's ordinance states under annexation that the term adjacent ignores any right of way or dedication that lies between the municipal boundary and the subdivision boundary. It also states that it is required when subdividing to submit a petition for voluntary annexation with the final plat.

As far as variances, it requires a different vote and the same would need to be noticed in the paper and a hearing date set.

Motion by Martin, second by Hirsch, to close discussion. Motion carried.

Motion by Kenrick, second by Martin, to reject the preliminary plat based on the plat fails to conform with the requirements set out in the ordinances of the City of Summerset. Motion carried.

ADJOURNMENT

Motion by Martin, second by Kenrick, to adjourn the meeting at 6:57 p.m. Motion carried.

Candace Sealey, Finance Officer

Brody Oldfield, Chairman

Published once _____ at a cost of \$_____.

NOTICE OF PUBLIC HEARING

**NOTICE OF HEARING APPLICATION FOR VARIANCE BEFORE THE CITY
OF SUMMERSET BOARD OF ADJUSTMENTS**

Notice is hereby given that the following petitioner has applied to the City of Summerset Board of Adjustments under the provisions of the City of Summerset Zoning Ordinance as follows:

Applicant: RCS STORAGE INC.

Legal Description:

Existing: Tract A Blk 7 of Summerset USA Section 25, Township 3 North, Range 6 East, Black Hills Meridian, Meade County, SD – 11160 Liberty Street.

Variance:

Variance request for one driveway to be 28.7' at the mini storage facility.

Notice is further given that said applications will be heard and considered by the City of Summerset Board of Adjustments at Summerset City Hall, 7055 Leisure Lane, Summerset, SD 57718 at 6:00 p.m. on the 27th day of December 2022. At that time, any person, persons, or their attorney who are interested in the approval or rejection of said application may appear and be heard at said scheduled public hearing.

Dated this 7th day of December, 2022.

City of Summerset

Published once _____, 2022, at an approximate cost of \$_____.

Customer Ad Proof

132-60017480 SUMMERSET FINANCE OFFICE

Order Nbr 52942

Publication	Rapid City Journal		
Contact	SUMMERSET FINANCE OFFICE	PO Number	
Address 1	7055 LEISURE LANE	Rate	Open
Address 2		Order Price	45.70
City St Zip	SUMMERSET SD 57718	Amount Paid	0.00
Phone	6057189858	Amount Due	45.70
Fax	6051789883		
Section	Legal	Start/End Dates	12/13/2022 - 12/13/2022
SubSection		Insertions	1
Category	0072 Public Notices	Size	45
Ad Key	52942-1	Salesperson(s)	Legals 90
Keywords	Notice of Public Hearing of Application for Variance	Taken By	Shawn Killinger
Notes			

Ad Proof

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Dated this 7th day of December, 2022.
City of Summerset

(Published December 13, 2022, at the total approximate cost of \$52942 and may be viewed free of charge at www.sdpublicnotices.com)
Legal No: 52942



- Submitted 12/7/22

COMMUNITY PLANNING & DEVELOPMENT SERVICES

City of Summerset

12150 Siouxland Dr., Summerset, SD 57718

Phone: (605) 718-9858

Fax: (605) 718-9883

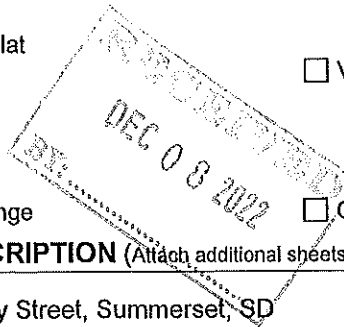
Web: www.summerset.us

APPLICATION FOR DEVELOPMENT REVIEW

REQUEST (please check all that apply)

- Annexation
- Comprehensive Plan Amendment
- Fence Height Exception
- Planned Development (Overlay)
 - Designation
 - Initial Plan Final Plan
 - Major Amendment
 - Minimal Amendment
- Subdivision
 - Layout Plan
 - Preliminary Plat
 - Final Plat
 - Minor Plat
- Variance
- Rezoning
- Road Name Change

- Conditional Use Permit
 - Major Amendment
 - Minimal Amendment
- Vacation
 - Utility / Drainage Easement
 - R.O.W. / Section Line Highway
 - Access / Non-Access
 - Planting Screen Easement
- OTHER (specify) _____



LEGAL DESCRIPTION (Attach additional sheets as necessary)

EXISTING Tract A of Block 7, Summerset USA - 11160 Liberty Street, Summerset, SD		
PROPOSED		
LOCATION		
Size of Site—Acres 4.7 acres	Square Footage 96,750	Proposed Zoning
DESCRIPTION OF REQUEST: Variance request for one driveway to be 28.7 feet at mini storage facility		Utilities: Private / Public
HARDSHIP:		Water
		Sewer

APPLICANT

Name RCS Construction Inc, - Josiah Scull Phone 605-342-3787
 Address 1314 Fountain Plaza Drive E-mail josiah@rcsconst.com
 City, State, Zip Rapid City, SD

PROJECT PLANNER - AGENT

Name _____ Phone _____
 Address _____ E-mail _____
 City, State, Zip _____

OWNER OF RECORD (If different from applicant)

Name RCS Storage LLC Phone 605-209-0169
 Address PO Box 9365 E-mail bobs@rcsconst.com
 City, State, Zip Rapid City, SD 57709

<p><u>[Signature]</u> <u>12/7/22</u> Property Owner Signature Date</p> <p><u>[Signature]</u> <u>12/7/22</u> Signature Date</p> <p>Print Name: <u>Josiah Scull</u> Title*: <u>Project Manager</u></p>	<p>Property Owner Signature Date _____ Signature Date _____ Print Name: _____ Title*: _____</p>
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*required for Corporations, Partnerships, etc.

FOR STAFF USE ONLY

ZONING	
Current	
North	
South	
East	
West	
Planner	
File No.	
Comp Plan	
Received By:	

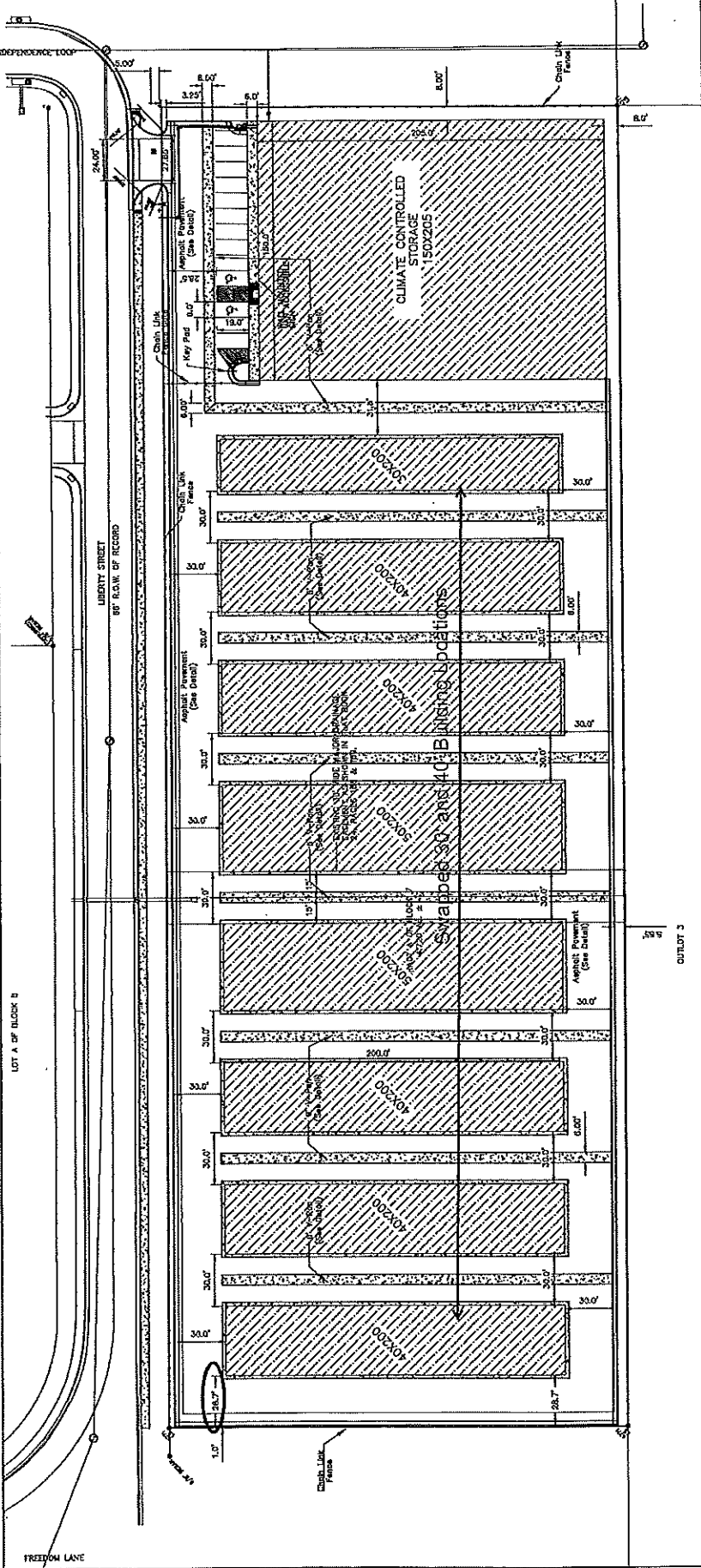
- | | | |
|--|---|--|
| <input type="checkbox"/> Sewer Utility | <input type="checkbox"/> BHP&L | <input type="checkbox"/> Diamond D Water |
| <input type="checkbox"/> Fire Department | <input type="checkbox"/> Finance Officer | <input type="checkbox"/> Black Hills Water |
| <input type="checkbox"/> Public Works | <input type="checkbox"/> Register of Deeds | <input type="checkbox"/> Other: _____ |
| <input type="checkbox"/> Planning | <input type="checkbox"/> County - Planning | <input type="checkbox"/> Other: _____ |
| <input type="checkbox"/> Building Inspector | <input type="checkbox"/> SD DOT | <input type="checkbox"/> Other: _____ |
| <input type="checkbox"/> Engineering | <input type="checkbox"/> SD DENR | <input type="checkbox"/> Other: _____ |
| <input type="checkbox"/> City Code Enforcement | <input type="checkbox"/> Auditor - Annexation | <input type="checkbox"/> Other: _____ |
| <input type="checkbox"/> Police | <input type="checkbox"/> Drainage | <input type="checkbox"/> |
| <input type="checkbox"/> City Attorney | <input type="checkbox"/> Parks & Recreation | |

Board of Adjustments Meeting Date: _____
 Date Paid: _____
 Sign Deposit Received: _____ Amount: _____ Sign returned: _____ Payment Type: Cash Credit Check 06/2015



PROJECT NO.	150X205
DATE	08/15/2018
SCALE	AS SHOWN
BY	J. SMITH
CHECKED BY	M. JONES

LEGAL DESCRIPTION
 PART OF BLOCK 2, LOT 1 OF SECTION 10, T12N, R10E, S12E, COUNTY OF TARRANT, TEXAS.



INTENT: TO SHOW THE LAYOUT OF THE STORAGE YARD AND THE LOCATION OF THE SHEDS AND RACKS.

NOTES:
 1. ALL DIMENSIONS ARE IN FEET AND INCHES.
 2. THE SHEDS AND RACKS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE CITY OF FORT WORTH ORDINANCES.
 3. THE STORAGE YARD SHALL BE MAINTAINED IN A CLEAN AND SAFE MANNER.
 4. THE SHEDS AND RACKS SHALL BE MAINTAINED IN A CLEAN AND SAFE MANNER.
 5. THE SHEDS AND RACKS SHALL BE MAINTAINED IN A CLEAN AND SAFE MANNER.

DATE: 08/15/2018
 SCALE: 1" = 30'
 SHEET 4.1

NOTICE OF PUBLIC HEARING

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Notice is hereby given that the following petitioner has applied to the City of Summerset Board of Adjustments under the provisions of the City of Summerset Zoning Ordinance as follows:

Applicant: Chad Gollnick

Legal Description:

Existing: Lot N Revised of the E1/2 of Section 6, Township 2 North, Range 7 East, Black Hills Meridian, Meade County, SD.

Proposed: Lots 1 through 8 and dedicated public Right of Way for Buckaroo Court all of TAB Industrial Park. All located in the SE1/4 of Section 6, Township 2 North, Range 7 East, Black Hills Meridian, Meade County, SD.

Variances:

Applicant has requested the following variances:

- 1) Ordinance 115(e) Annexation – rather than the immediate filing for voluntary annexation it is requested a future annexation agreement can be utilized until services are available from the City of Summerset in that area.
- 2) Variance to Summerset IDCM. Urban section for commercial use: 26' min. street width with curb and gutter and sidewalk. Requesting 26' asphalt surfacing, 1' wide gravel shoulders and open ditch with no sidewalk.
- 3) Variance to Summerset IDCM. Commercial roadways min. Right of Way width of 70'. Meade County Standard is 66' width and proposed improvements do not warrant a wider Right of Way.
- 4) Variance to Ordinance 115. Request that since the city municipal sanitary sewer collection system is not available, that individual onsite wastewater treatment systems are allowed as approved by Meade County and SD DANR.

Notice is further given that said applications will be heard and considered by the City of Summerset Board of Adjustments at Summerset City Hall, 7055 Leisure Lane, Summerset, SD 57718 at 6:00 p.m. on the 27th day of December 2022. At that time, any person, persons, or their attorney who are interested in the approval or rejection of said application may appear and be heard at said scheduled public hearing.

Dated this 1st day of December, 2022.

City of Summerset

Published once 12/13, 2022, at an approximate cost of \$63.98.

**NOTICE OF PUBLIC HEARING
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APPLICATION FOR VARIANCE
BEFORE THE CITY OF
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Proposed: Lots 1 through 8 and dedicated public Right of Way for Buckaroo Court all of TAB Industrial Park. All located in the SE1/4 of Section 6, Township 2 North, Range 7 East, Black Hills Meridian, Meade County, SD.

Variations:

Applicant has requested the following variances:

1) Ordinance 115(e) Annexation – rather than the immediate filing for voluntary annexation it is requested a future annexation agreement can be utilized until services are available from the City of Summerset in that area.

2) Variance to Summerset IDCM. Urban section for commercial use: 26' min. street width with curb and gutter and sidewalk. Requesting 26' asphalt surfacing, 1' wide gravel shoulders and open ditch with no sidewalk.

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Dated this 1st day of December, 2022.

City of Summerset

(Published December 13, 2022, at the total approximate cost of \$ and may be viewed free of charge at www.sdpublicnotices.com)
Legal No: 52833



COMMUNITY PLANNING & DEVELOPMENT SERVICES

City of Summerset
12150 Siouxland Dr., Summerset, SD 57718
Phone: (605) 718-9858 Fax: (605) 718-9883 Web: www.summerset.us

APPLICATION FOR DEVELOPMENT REVIEW

REQUEST (please check all that apply)

- Annexation
- Comprehensive Plan Amendment
- Fence Height Exception
- Planned Development (Overlay)
 - Designation
 - Initial Plan Final Plan
 - Major Amendment
 - Minimal Amendment

- Subdivision
 - Layout Plan
 - Preliminary Plat
 - Final Plat
 - Minor Plat
- Variance **1 of 4**
- Rezoning
- Road Name Change

- Conditional Use Permit
 - Major Amendment
 - Minimal Amendment
- Vacation
 - Utility / Drainage Easement
 - R.O.W. / Section Line Highway
 - Access / Non-Access
 - Planting Screen Easement
- OTHER (specify) _____

LEGAL DESCRIPTION (Attach additional sheets as necessary)

EXISTING

LOT N REVISED of the E1/2 of Section 6, Township 2 North, Range 7 East, Black Hills Meridian, Meade County, South Dakota.

PROPOSED

Lots 1 through 8 AND Dedicated Public Right of Way for Buckaroo Court all of TAB Industrial Park. ALL Located in the SE1/4 of Section 6, Township 2 North, Range 7 East, Black Hills Meridian, Meade County, South Dakota.

LOCATION 7935 Cpt Soelzer St, Black Hawk, SD 57718

Size of Site—Acres 28.761	Square Footage 1,252,829.16	Proposed Zoning N/A
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DESCRIPTION OF REQUEST: Variance to Ordinance 115 (E) Annexation. Rather than the immediate filing for voluntary annexation it is requested a future annexation agreement can be utilized until services are available from the City of Summerset to this area.

Utilities: Private / Public
Water BLACK HAWK WATER
Sewer INDIVIDUAL

HARDSHIP: No services or benefit will be received in order to justify the City taxes & unnecessary control

APPLICANT

Name Chad Gollnick Phone 605-415-5090
 Address PO BOX 825 E-mail cgollnick@ironoutfitter.com
 City, State, Zip Black Hawk, SD 57718

PROJECT PLANNER - AGENT

Name Leah M. Berg, P.E. of ACES - Affordably Creative Engineering Services, Inc. Phone 605-716-4646 / 605-545-1120
 Address 324 St. Joseph St, Ste 200 E-mail LBerg@proacesinc.com
 City, State, Zip Rapid City, SD 57701

OWNER OF RECORD (If different from applicant)

Name Dakota Cable Solutions, Inc. - Chad Gollnick Phone 605-415-5090
 Address PO BOX 825 E-mail cgollnick@ironoutfitter.com
 City, State, Zip Black Hawk, SD 57718

Chad Gollnick 11/29/27
 Property Owner Signature Date Property Owner Signature Date

Signature Date Signature Date
 Print Name: CHAD GOLLNICK
 Title*: owner - President
 *required for Corporations, Partnerships, etc.

FOR STAFF USE ONLY

ZONING	
Current	
North	
South	
East	
West	
Planner	
File No.	
Comp Plan	
Received By:	

- Sewer Utility
- Fire Department
- Public Works
- Planning
- Building Inspector
- Engineering
- City Code Enforcement
- Police
- City Attorney
- BHP&L
- Finance Officer
- Register of Deeds
- County - Planning
- SD DOT
- SD DENR
- Auditor - Annexation
- Drainage
- Parks & Recreation
- Diamond D Water
- Black Hills Water
- Other: _____
- Other: _____
- Other: _____
- Other: _____

Board of Adjustments Meeting Date: _____
 Date Paid: _____
 Sign Deposit Received: _____ Amount: _____ Sign returned: _____ Payment Type: Cash Credit Check 06/2015



MEMORANDUM

PROJECT: TAB Industrial Park – Lots 1 thru 8 & Buckaroo Court
LOCATION: Black Hawk, South Dakota
DATE: November 28, 2022
TOPIC: Variance Request 1 of 4 – Immediate Forced Annexation

This Memorandum shall provide additional information in support of the variance request application submitted.

The landowner, Dakota Cable Solutions, Inc., is owned and operated by Chad Gollnick, whose family has lived and worked in South Dakota for over one hundred years. Chad operates the "2017 Black Hills Community Economic Development Small Business of the Year" and is a "2018 DakotaRising Fellow". Chad's businesses currently employ up to 70 people, and he is an advocate and mentor for dozens of other small businesses around the State. Chad's goal is to not only offer employment to hundreds of people in South Dakota, but also to help other small business owners do the same.

The intent behind subdividing the property is largely about creating a space for local small business people to gain the opportunity to own the ground under them. Verbal commitments have been made for 4 of the 7 lots platted for sale (selling the lots at submarket pricing to support the growth of small business locally). These are people seeking space for a Geotech firm, an office for construction management, and a small-scale components manufacturer. The businesses are locally owned by our neighbors. One of these lots will likely hold a warehouse area to store Chad's personal property (a pontoon and offroad toys). Chad has seen that our community has become dominated by property owners only interested in creating real estate opportunities to lease. In his eyes, this puts a disproportionate return in the hands of the wealthy and exacts a disproportionate cost on the up-and-coming. Chad wants to battle that at all costs. He believes in supporting the small business person; they are the pioneers of our day.

A variance from the forced annexation is warranted because annexation of this property would cause an undue hardship on the property owner. Annexation would result in no benefit to the property (no services are being requested and the majority of City services are not available). There is no current plan in place to extend the City's sewer collection system to this location. Annexation would result in unnecessary and unwarranted taxation on the property. It would also result in putting burdensome restrictions on the use of the property – in effect taking away the property owner's rights to use and develop his property.

In order to cooperate with the City and to meet the spirit of the ordinance, the landowner would be willing to work with the City to incorporate certain limited covenants and restrictions on the use of the property in order to address the City's main concerns. We have drafted an initial proposal (the included Declaration of Future Voluntary Annexation and Restrictive Covenants), but would also be willing to meet with the City to explore additional restrictions to alleviate concerns the City may have for the use of this property located on the outer boarder of the City. This would give the City the opportunity to weigh in on the uses of the property without taking away the property owner's current rights to use and develop unincorporated property.

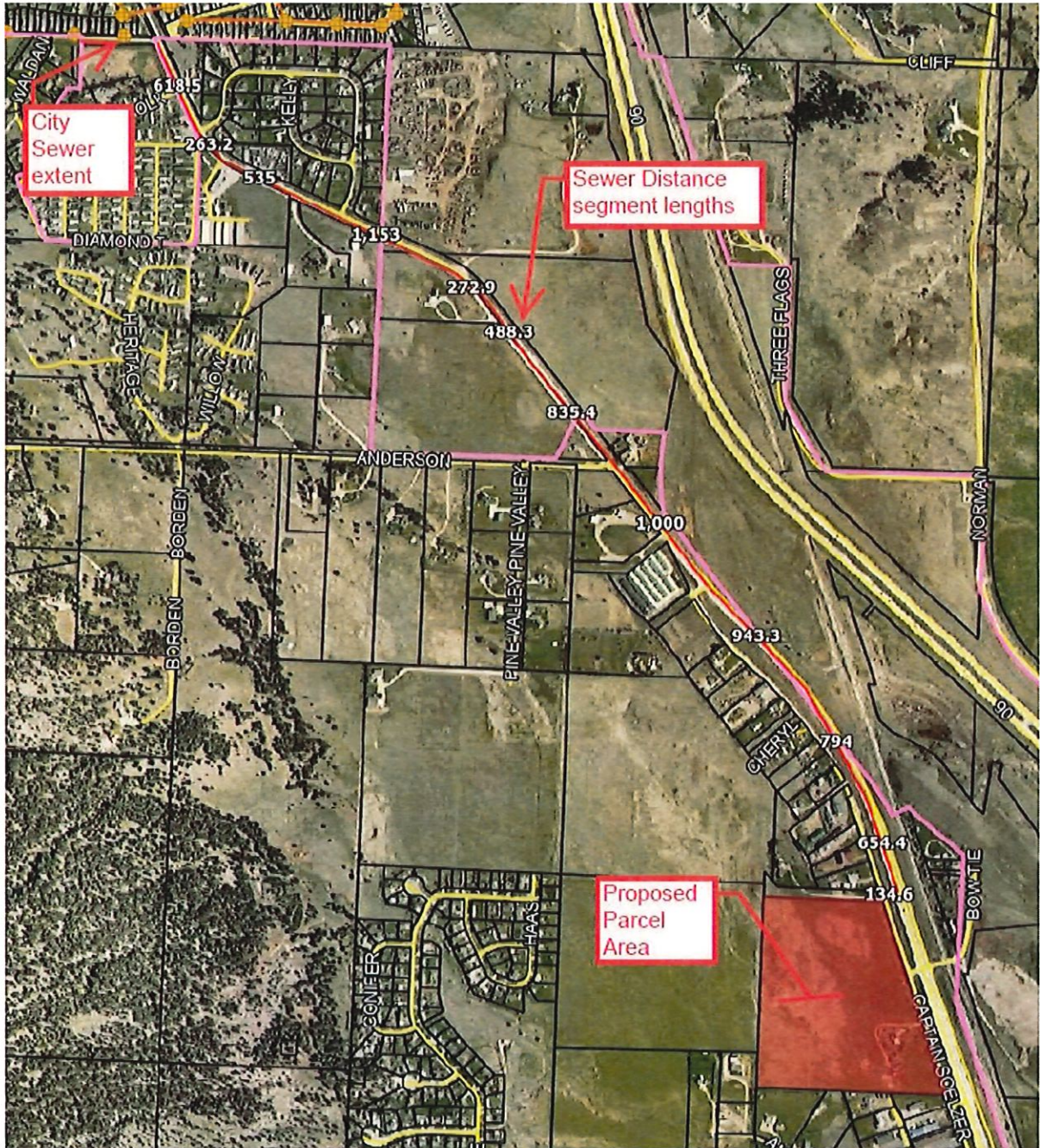
Key Factors:

- The current location being proposed is not within the City of Summerset's municipal boundary.
- An exception/variance to immediate forced (voluntary) annexation per Ordinance section § 151.020, (E) is being requested.
 - **§ 151.020 GENERAL REQUIREMENTS, (E): Annexation.** The subdivider shall be required to submit a petition for voluntary annexation of his or her subdivision into the city with the final or minor plat application if any portion of the subdivision is adjacent to the city's municipal boundary. For the purposes of this chapter, the term "adjacent" ignores any right-of-way or dedication that lies between the municipal boundary and the subdivision boundary.
- A Declaration of Future Voluntary Annexation and Restrictive Covenants is included for consideration as a way to work with the City.
- The reason why a Future Annexation Agreement is being proposed is as follows:
 - No City services are provided or are likely to be provided to the property (no City water or sewer service is available; no City trash collection is available or needed for the commercial property; no City snow removal or road maintenance is available or needed, as the frontage road and Sturgis Road are serviced by the SDDOT). Ongoing road maintenance and snow removal will be established through a road district when warranted in coordination with Meade County.
 - No water service is being requested or provided by the City of Summerset
 - Water is committed to be provided by Black Hawk Water
 - Sanitary Sewer is not being requested and such municipal service is not possible to be provided by the City of Summerset at this time.
 - Individual Onsite Wastewater Treatment is planned as approved by Meade County and SDDANR.
 - The City's collections system is about 7,700 feet away and is at a higher elevation than the parcel area (meaning an extension with gravity collection is not possible, multiple lift stations would be required to serve this area).
 - The following map snip is from the Meade County Beacon GIS system. This Legend applies to the map features:

Legend






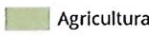




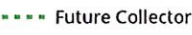

- Parcels 2022
- Roads
- ▭ Somerset City Limits
- Somerset Manholes
- Somerset Sanitary Pipe

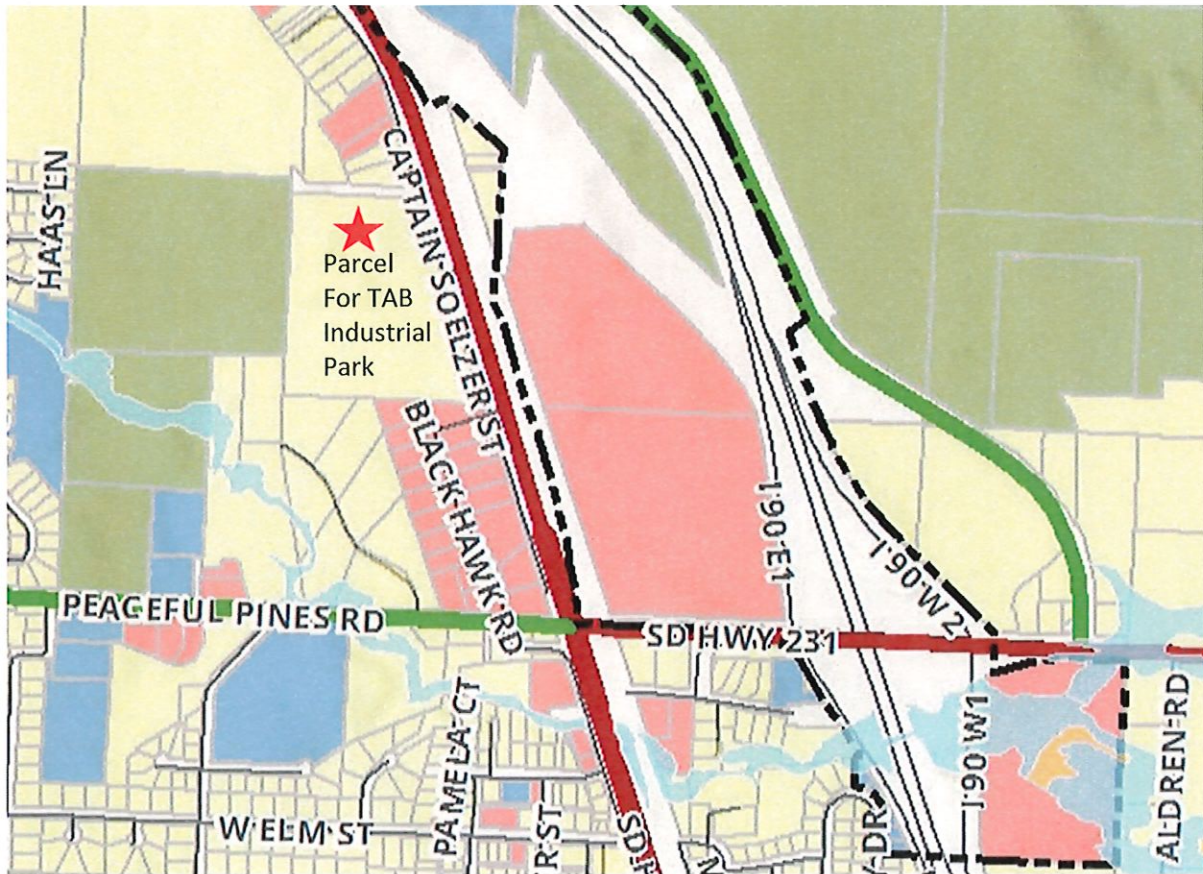
The distance to the property area is shown with segment measurements and labeled.



- Location does not warrant City expansion
 - Adjacent areas are either already developed or have an agricultural use and all have no intention to voluntarily annex into the City of Somerset
 - Annexation of this property would not be consistent with the Comprehensive Plan and would result in a strange peninsula surrounded by non-incorporated property that is unlikely to ever be annexed into the City
 - A snip from the current Comprehensive plan, showing future land use is shown below with legend.

FUTURE LAND USE AND MAJOR STREET PLAN

 Meade County Boundary	Future Land Use Plan	Major Street Plan
 Somerset Extra-Territorial Jurisdiction	 Industrial	 Arterial
 Somerset Boundary	 Agricultural	 Future Arterial
	 Commercial	 Collector
	 Public/Quasi-Public	 Future Collector
	 Residential	

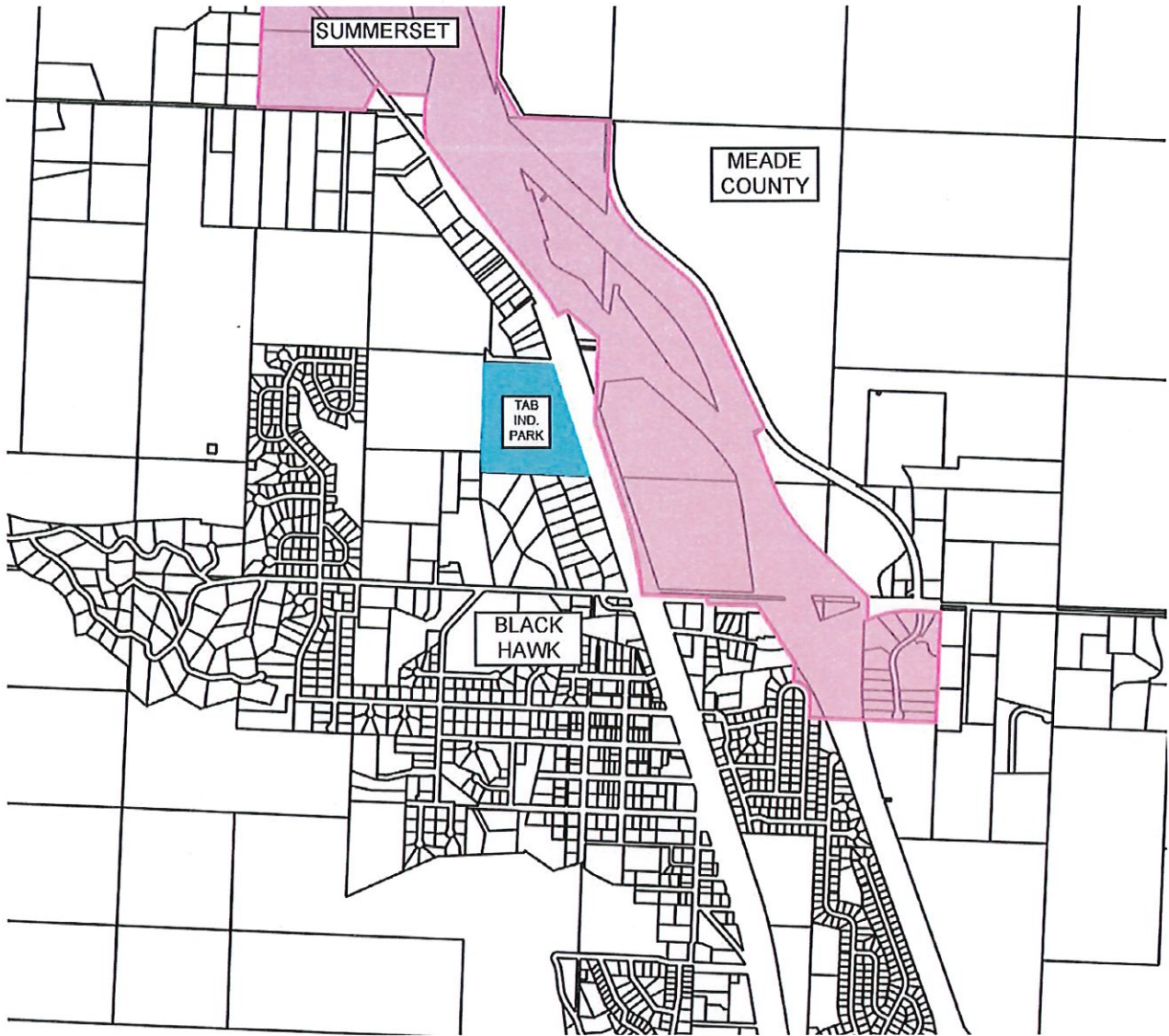


- Location is not fully adjacent to the current municipal boundary
 - Only about 30% of the parcel edge could be considered adjacent based on Ordinance description
 - The limited property that is arguably adjacent to City property is separated by multiple ROWs that are not within the jurisdiction of the City of Somerset.

The snip included below from the Meade County Beacon GIS system is zoomed into this parcel area to show in detail how the City of Summerset's municipal boundary runs in this area.

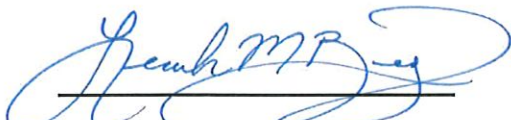


It can easily be seen in the last map that annexation of the parcel does not make logical sense for the growth of the City's boundary. The one sentence in the Ordinance does not appear to be for this situation and should not apply to this parcel area. The City of Summerset's municipal area is shown in pink and the fully separated parcel (highlighted in blue) is amongst developed Black Hawk parcels. It is not in line with the expansion of the City of Summerset. Forced annexation is not applicable. The Declaration of Future Voluntary Annexation and Restrictive Covenants is a way to move forward for both parties.



Note: If Variance Request 1 of 4 regarding annexation is granted, then the owner will, upon warranted request comply with IDCM items as listed in Variance Request 2 of 4 regarding curb & gutter and sidewalk, and Variance Request 3 of 4 regarding ROW width.

Any technical questions or additional information needed please contact project agent, Leah M. Berg at 605-716-4646 / 605-545-1120 or at LBerg@proacesinc.com. For any legal questions please contact project Attorney, Jessica L. Larson, with Beardsley Jensen & Lee at 605-721-2800 or at jl Larson@blackhillslaw.com.


Leah M. Berg, P.E.



COMMUNITY PLANNING & DEVELOPMENT SERVICES

City of Summerset
12150 Siouxland Dr., Summerset, SD 57718
Phone: (605) 718-9858 Fax: (605) 718-9883 Web: www.summerset.us

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- Rezoning
- Road Name Change

- Conditional Use Permit
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DESCRIPTION OF REQUEST: Variance to Summerset IDCM. Urban section for commercial use: 26' min. street width with curb and gutter and sidewalk. Requesting 26' asphalt surfacing, 1' wide gravel shoulders and open ditch drainage with no sidewalk.		Utilities: Private / Public
HARDSHIP: There is no curb and gutter system to connect to and industrial areas don't warrant sidewalk. Precedent has been set by Infinity Drive in City of Summerset for commercial type use areas.		Water BLACK HAWK WATER
		Sewer INDIVIDUAL

APPLICANT

Name Chad Gollnick Phone 605-415-5090
 Address PO BOX 825 E-mail cgollnick@ironoutfitter.com
 City, State, Zip Black Hawk, SD 57718

PROJECT PLANNER - AGENT

Name Leah M. Berg, P.E. of ACES - Affordably Creative Engineering Services, Inc. Phone 605-716-4646 / 605-545-1120
 Address 324 St. Joseph St, Ste 200 E-mail LBERG@proacesinc.com
 City, State, Zip Rapid City, SD 57701

OWNER OF RECORD (If different from applicant)

Name Dakota Cable Solutions, Inc. - Chad Gollnick Phone 605-415-5090
 Address PO BOX 825 E-mail cgollnick@ironoutfitter.com
 City, State, Zip Black Hawk, SD 57718

Chad Gollnick 11/29/22
 Property Owner Signature Date Property Owner Signature Date

Signature Date Signature Date
 Print Name: CHAD GOLLNICK
 Title*: Owner-President

*required for Corporations, Partnerships, etc.

FOR STAFF USE ONLY

ZONING	
Current	
North	
South	
East	
West	
Planner	
File No.	
Comp Plan	
Received By:	

- Sewer Utility
- Fire Department
- Public Works
- Planning
- Building Inspector
- Engineering
- City Code Enforcement
- Police
- City Attorney
- BHP&L
- Finance Officer
- Register of Deeds
- County - Planning
- SD DOT
- SD DENR
- Auditor - Annexation
- Drainage
- Parks & Recreation
- Diamond D Water
- Black Hills Water
-
- Other: _____
- Other: _____
- Other: _____
-

Board of Adjustments Meeting Date: _____
 Date Paid: _____
 Sign Deposit Received: _____ Amount: _____ Sign returned: _____ Payment Type: Cash Credit Check 06/2015



MEMORANDUM

PROJECT: TAB Industrial Park – Lots 1 thru 8 & Buckaroo Court
LOCATION: Black Hawk, South Dakota
DATE: November 18, 2022
TOPIC: Variance Request 2 of 4 – Curb & Gutter and Sidewalk

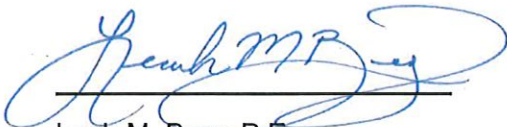
This Memorandum shall provide additional information in support of the variance request application submitted.

The Proposed street section does not meet Summerset's IDCM. For a commercial area the IDCM requires an urban section (26' min. street width with curb and gutter and sidewalk). A variance/exception to the IDCM requirement is being requested due to the facts that curb and gutter and sidewalk are not warranted in this area and at this location.

There is no adjacent curb and gutter system to convey surface drainage from this area. The surrounding areas are not within the City of Summerset, therefore, an extension of existing improvements are not possible. The proposed open ditch drainage shall meet surface drainage needs. This area is proposed for light industrial use, which does not generate pedestrian traffic. Also, there are no adjacent pedestrian travel ways to extend to or from. The proposed section matches and exceeds the standard commercial area roadway section, which has been established by Infinity Drive for the City of Summerset.

Note: If Variance Request 1 of 4 regarding annexation is granted, then the owner will, upon warranted request comply with IDCM items as listed in Variance Request 2 of 4 regarding curb & gutter and sidewalk, and Variance Request 3 of 4 regarding ROW width.

Any technical questions or additional information needed please contact project agent, Leah M. Berg at 605-716-4646 / 605-545-1120 or at LBerg@proacesinc.com. For any legal questions please contact project Attorney, Jessica L. Larson, with Beardsley Jensen & Lee at 605-721-2800 or at jl Larson@blackhillslaw.com.

A handwritten signature in blue ink, appearing to read "Leah M. Berg", is written over a horizontal line. The signature is fluid and cursive.

Leah M. Berg, P.E.



COMMUNITY PLANNING & DEVELOPMENT SERVICES

City of Summerset

12150 Siouxland Dr., Summerset, SD 57718

Phone: (605) 718-9858

Fax: (605) 718-9883

Web: www.summerset.us

APPLICATION FOR DEVELOPMENT REVIEW

REQUEST (please check all that apply)

- Annexation
- Comprehensive Plan Amendment
- Fence Height Exception
- Planned Development (Overlay)
 - Designation
 - Initial Plan Final Plan
 - Major Amendment
 - Minimal Amendment

- Subdivision
 - Layout Plan
 - Preliminary Plat
 - Final Plat
 - Minor Plat
- Variance **3 of 4**
- Rezoning
- Road Name Change

- Conditional Use Permit
 - Major Amendment
 - Minimal Amendment
- Vacation
 - Utility / Drainage Easement
 - R.O.W. / Section Line Highway
 - Access / Non-Access
 - Planting Screen Easement
- OTHER (specify) _____

LEGAL DESCRIPTION (Attach additional sheets as necessary)

EXISTING LOT N REVISED of the E1/2 of Section 6, Township 2 North, Range 7 East, Black Hills Meridian, Meade County, South Dakota.		
PROPOSED Lots 1 through 8 AND Dedicated Public Right of Way for Buckaroo Court all of TAB Industrial Park. ALL Located in the SE1/4 of Section 6, Township 2 North, Range 7 East, Black Hills Meridian, Meade County, South Dakota.		
LOCATION 7935 Cpt Soelzer St, Black Hawk, SD 57718		
Size of Site—Acres 28.761	Square Footage 1,252,829.16	Proposed Zoning N/A
DESCRIPTION OF REQUEST Variance to Summerset IDCM. Commercial roadways min. ROW width of 70'. Meade County Standard is 66' width and proposed improvements do not warrant a wider ROW.		Utilities: Private / Public
HARDSHIP: Precedent has been set by Infinity Drive in City of Summerset for 66' width ROW.		Water BLACK HAWK WATER
		Sewer INDIVIDUAL

APPLICANT

Name Chad Gollnick Phone 605-415-5090
 Address PO BOX 825 E-mail cgollnick@ironoutfitter.com
 City, State, Zip Black Hawk, SD 57718

PROJECT PLANNER - AGENT

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Chad Gollnick 11/28/22
 Property Owner Signature Date Property Owner Signature Date
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 Print Name: CHAD GOLLNICK
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|--|---|--|
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| <input type="checkbox"/> Fire Department | <input type="checkbox"/> Finance Officer | <input type="checkbox"/> Black Hills Water |
| <input type="checkbox"/> Public Works | <input type="checkbox"/> Register of Deeds | <input type="checkbox"/> |
| <input type="checkbox"/> Planning | <input type="checkbox"/> County - Planning | <input type="checkbox"/> Other: _____ |
| <input type="checkbox"/> Building Inspector | <input type="checkbox"/> SD DOT | <input type="checkbox"/> Other: _____ |
| <input type="checkbox"/> Engineering | <input type="checkbox"/> SD DENR | <input type="checkbox"/> Other: _____ |
| <input type="checkbox"/> City Code Enforcement | <input type="checkbox"/> Auditor - Annexation | <input type="checkbox"/> Other: _____ |
| <input type="checkbox"/> Police | <input type="checkbox"/> Drainage | <input type="checkbox"/> |
| <input type="checkbox"/> City Attorney | <input type="checkbox"/> Parks & Recreation | |

Board of Adjustments Meeting Date: _____
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 Sign Deposit Received: _____ Amount: _____ Sign returned: _____ Payment Type: Cash Credit Check 06/2015



MEMORANDUM

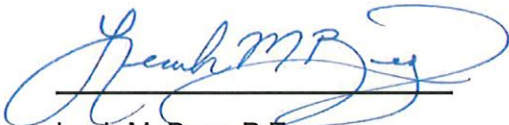
PROJECT: TAB Industrial Park – Lots 1 thru 8 & Buckaroo Court
LOCATION: Black Hawk, South Dakota
DATE: November 18, 2022
TOPIC: Variance Request 3 of 4 – ROW Width

This Memorandum shall provide additional information in support of the variance request application submitted.

The proposed ROW width is 66 feet. The Summerset IDCM requires a minimum ROW width of 70 feet for commercial roadways. The proposed ROW matches the standard commercial area roadway section of 66 feet, which has been established by Infinity Drive for the City of Summerset. The proposed improvements do not warrant a larger ROW width. Meaning the roadway section and utilities will fit within the 66 ft ROW without issue. There are no other known areas in the City of Summerset that have a 70 ft ROW width.

Note: If Variance Request 1 of 4 regarding annexation is granted, then the owner will, upon warranted request comply with IDCM items as listed in Variance Request 2 of 4 regarding curb & gutter and sidewalk, and Variance Request 3 of 4 regarding ROW width.

Any technical questions or additional information needed please contact project agent, Leah M. Berg at 605-716-4646 / 605-545-1120 or at LBerg@proacesinc.com. For any legal questions please contact project Attorney, Jessica L. Larson, with Beardsley Jensen & Lee at 605-721-2800 or at jl Larson@blackhillslaw.com.



Leah M. Berg, P.E.



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City of Summerset
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Phone: (605) 718-9858 Fax: (605) 718-9883 Web: www.summerset.us

APPLICATION FOR DEVELOPMENT REVIEW

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- Annexation
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- Fence Height Exception
- Planned Development (Overlay)
 - Designation
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- Subdivision
 - Layout Plan
 - Preliminary Plat
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- Variance **4 of 4**
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- Road Name Change

- Conditional Use Permit
 - Major Amendment
 - Minimal Amendment
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 - Utility / Drainage Easement
 - R.O.W. / Section Line Highway
 - Access / Non-Access
 - Planting Screen Easement
- OTHER (specify) _____

LEGAL DESCRIPTION (Attach additional sheets as necessary)

EXISTING

LOT N REVISED of the E1/2 of Section 6, Township 2 North, Range 7 East, Black Hills Meridian, Meade County, South Dakota.

PROPOSED

Lots 1 through 8 AND Dedicated Public Right of Way for Buckaroo Court all of TAB Industrial Park. ALL Located in the SE1/4 of Section 6, Township 2 North, Range 7 East, Black Hills Meridian, Meade County, South Dakota.

LOCATION

7935 Cpt Soelzer St, Black Hawk, SD 57718

Size of Site—Acres 28.761

Square Footage 1,252,829.16

Proposed Zoning N/A

DESCRIPTION OF REQUEST Variance to Ordinance 115. Request that since the City municipal sanitary sewer collection system is not available, that individual onsite wastewater treatment systems are allowed as approved by Meade County and SD DANR.

Utilities: Private / Public
Water BLACK HAWK WATER
Sewer INDIVIDUAL

HARDSHIP: The City's sewer system is about 7,700 feet away from this property at a higher elevation.

Precedent has been set by Infinity Drive in City of Summerset for commercial type use areas.

APPLICANT

Name Chad Gollnick Phone 605-415-5090
 Address PO BOX 825 E-mail cgollnick@ironoutfitter.com
 City, State, Zip Black Hawk, SD 57718

PROJECT PLANNER - AGENT

Name Leah M. Berg, P.E. of ACES - Affordably Creative Engineering Services, Inc. Phone 605-716-4646 / 605-545-1120
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 City, State, Zip Black Hawk, SD 57718

Chad Gollnick 11/28/22
 Property Owner Signature Date Property Owner Signature Date

Signature Date Signature Date
 Print Name: CHAD GOLLNICK
 Title*: Owner - President
 *required for Corporations, Partnerships, etc.

FOR STAFF USE ONLY

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|--|---|--|
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Board of Adjustments Meeting Date: _____
 Date Paid: _____
 Sign Deposit Received: _____ Amount: _____ Sign returned: _____ Payment Type: Cash Credit Check 06/2015

2nd Review
for meeting on
December 27th

Memo

Date: Friday, December 09, 2022

Project: Lots 1-8 and Dedicated ROW for Buckaroo Ct All of TAB Industrial Park

To: Lisa Schieffer, City Administrator

From: HDR, Inc

Subject: Preliminary Plat - Plan Review

Carry Over Comments from 11-10-22

Roadway

3. Proposed street section does not meet Summerset IDCM. For a commercial area IDCM requires an urban section (26' min. street width with curb and gutter and sidewalk).

Drainage

4. It is not clear in the plans nor the drainage report if the required freeboard for the detention pond is being met.
5. Based on the City's indication that this property will be zoned C-1 commercial, for the proposed detention pond to serve as the detention pond for all 8 lots, the drainage report and drainage facilities may need to be updated and/or revised.

Sanitary Sewer

6. Proposed sewer is septic. City does not currently have sewer service in the area. City will need to decide if individual septic systems will be allowed.

Comments from 12-7-22

Roadway

7. What is the plan for connecting to Black Hawk Road? Summerset IDCM doesn't allow dead-end roadways, a turnaround at the end of Black Hawk Road will be required so emergency vehicles, snowplows, garbage trucks, etc. can turn around. By connecting Black Hawk Road to Captain Soelzer through Buckaroo Court, two cul-de-sacs could be eliminated.

Drainage

8. Should there be a major drainage easement in the skinny part of Lot 4?

Geotechnical

9. Gypsum is indicated in bore holes 4, 5, & 8. The following note shall be added to the plat "Due to the presence of gypsum on Lots 4, 5 & 8 a geotechnical investigation will need to be completed at building locations and all foundations, unless determined otherwise, shall be designed by a licensed geotechnical engineer."

1st Review.
for meeting on
November 22nd

Memo

Date: Thursday, November 10, 2022
Project: Lots 1-8 and Dedicated ROW for Buckaroo Ct All of TAB Industrial Park
To: Lisa Schieffer, City Administrator
From: HDR, Inc
Subject: Preliminary Plat - Plan Review

General

1. Provide letter of approval from Black Hawk Water User District.
2. Provide letter of approval from Black Hawk Volunteer Fire Department
3. Provide letter of approval from SDDOT for the proposed intersection with SDDOT HWY 14 (Captain Soelzer St.), storm runoff to their ROW, and any work in their ROW.

Roadway

4. Proposed street section does not meet Summerset IDCM. For a commercial area IDCM requires an urban section (26' min. street width with curb and gutter and sidewalk).

Drainage

5. Based on the proposed layout, the storm runoff will be taking multiple paths through the proposed subdivision to get to the detention pond. The drainage report shall reflect this including evaluation of the culverts under Buckaroo Ct. and Captain Soelzer St. It is not clear in the plans nor the drainage report if the required freeboard for the culverts and the detention pond are being met.
6. Based on the City's indication that this property will be zoned C-1 commercial, for the proposed detention pond to serve as the detention pond for all 8 lots, the drainage report and drainage facilities may need to be updated and/or revised.

Sanitary Sewer

7. Proposed sewer is septic. City does not currently have sewer service in the area. City will need to decide if individual septic systems will be allowed.

2nd review for
December 27th HDR

December 9th, 2022

Final Plat Review

Lots 1-8 and Dedicated Public Right of Way for Buckaroo Court All of TAB
Industrial Park

*Formerly Lot N Revised of the E1/2 of Section 6
All located in the SE1/4 of Section 6 Township 2 North, Range 7 East
Black Hills Meridian, Meade County, South Dakota.*

General Information:

Parcel Acreage 28.782

Location SE ¼ Section 6 Township 2 North Range 7 East Black Hills Meridian, Meade,
South Dakota County

Date of Application October 28, 2022

Surveyor Job Number 22-263

Reviewed By: **Gary Anderson, LS, HDR Engineering, Inc.**

Purpose: New Subdivision

Zoning: Property is in the City of Summerset extraterritorial jurisdiction and is not
currently zoned. The City of Summerset indicated review should be
completed assuming the zoning will be C-1 General Commercial District.

Access and Utilities: Access for Lots 1-3 & 5-7 off proposed Buckaroo Court. Lot 4 access off Black
Hawk Road and Lot 8 access off unnamed ROW. Water provided by Black
Hawk Water User District. Proposed sewer is septic, Summerset does not
currently have sewer in this area.

Fire Protection: Black Hawk Volunteer Fire Department

Drainage: Major drainage easement shown on south end of Lot 1. Minor drainage and
utility easements noted along interior side of all lot lines.

Final Plat Review:

Bearings Distances of the Perimeter do NOT close by 4 feet

Acreages shown for the proposed lots and ROW comes to 28.758 Acres, this doesn't match previous plat of Lot N.

For commercial roadways Summerset IDCM requires a minimum ROW width of 70'.

Based on the City's indication this will be zoned C-1, subdivision name may need to be changed.

Lot between Lot 1 and Lot 3 is not labeled, appears it should be Lot 2.



Gary Anderson, LS 12000

hdrinc.com

601 Metz Dr. Gillette WY. 82717



1st review for
November 22nd HDR

Nov. 10th, 2022

Final Plat Review

Lots 1-8 and Dedicated Public Right of Way for Buckaroo Court All of TAB
Industrial Park

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All located in the SE1/4 of Section 6 Township 2 North, Range 7 East
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currently have sewer in this area.

Fire Protection: Black Hawk Volunteer Fire Department

Drainage: Major drainage easement shown on south end of Lot 1. Minor drainage and
utility easements noted along interior side of all lot lines.

Final Plat Review:

Bearings Distances of the Perimeter do NOT close by 4 feet

Buckaroo Crt. ROW is not a Parallel width, bearing of L1 is different than the north line of the dedicated ROW.

Why are bearing and distance not provided to found Wendland monument (at Black Hawk Rd. CL).

Acreages shown for the proposed lots and ROW comes to 28.715 Acres, this doesn't match previous plat of Lot N.

For commercial roadways Summerset IDCM requires a minimum ROW width of 70'.

Based on the City's indication this will be zoned C-1, subdivision name may need to be changed.



Gary Anderson, LS 12000

hdrinc.com

601 Metz Dr. Gillette WY. 82717





MEMORANDUM

PROJECT: TAB Industrial Park – Lots 1 thru 8 & Buckaroo Court
LOCATION: Black Hawk, South Dakota
DATE: November 18, 2022
TOPIC: Variance Request 4 of 4 – Individual Onsite Wastewater Treatment Systems

This Memorandum shall provide additional information in support of the variance request application submitted.

Ordinance 115 references the City's sanitary sewer collection system. However, Ordinance 115, also defines 'Sanitary Sewer' as follows:

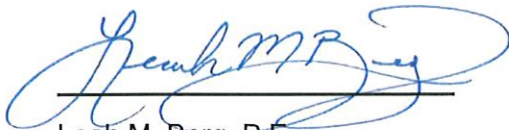
"A municipal, community, small or individual sewage disposal system of a type approved by DENR."

It is requested that based on the facts that a sanitary sewer collection system does not exist in this area and that the parcel is not located within the City of Summerset; that the requirements and jurisdiction of Meade County and SDDANR (South Dakota Department of Agriculture and Natural Resources) are followed for individual onsite wastewater treatment systems.

Sanitary Sewer service is not being requested and such municipal service is not possible to be provided by the City of Summerset at this time. Individual Onsite Wastewater Treatment is planned as approved by Meade County and SDDANR.

The City's collection system is about 7,700 feet away and is at a higher elevation than the parcel area (meaning an extension with gravity collection is not possible, multiple lift stations would be required to serve this area).

Any technical questions or additional information needed please contact project agent, Leah M. Berg at 605-716-4646 / 605-545-1120 or at LBerg@proacesinc.com. For any legal questions please contact project Attorney, Jessica L. Larson, with Beardsley Jensen & Lee at 605-721-2800 or at jl Larson@blackhillslaw.com.



Leah M. Berg, P.E.



MEMORANDUM

PROJECT: TAB Industrial Park – Lots 1 thru 8 & Buckaroo Court
LOCATION: Black Hawk, South Dakota
DATE: November 29, 2022
TOPIC: Overall Project Narrative and Submittal Package

This Memorandum shall provide an overall narrative of the proposed TAB Industrial Park Project and the submittal items provided with the Preliminary Plat application.

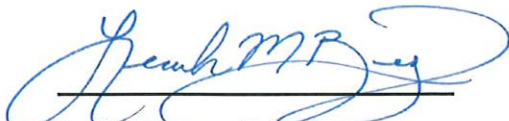
Items included with the Submittal Package:

1. Preliminary Plat Application Form and Checklist
2. Check #1580 for Application fee of \$1,000
3. Preliminary Plat
4. Lots 1 through 8 and Buckaroo Court constriction plan set
5. Geotechnical Report
6. Technical Memorandum – Drainage – Stormwater Management Plan
7. Four (4) variance applications with supporting documentation
8. SDDOT Access Permit
9. Black Hawk Fire Dept and Black Hawk Water have provided letters directly to the City
10. Electronic copy of items to be emailed to Lisa Schieffer

Summary of intent for platting process:

- Following comments received from P&Z Meeting, 11/22/22, the Preliminary Plat application has been revised to include four (4) formal variance request applications.
- Submittal to City of Summerset Tuesday, November 29, 2022
- Meeting requested with City of Summerset December 7th -9th to discuss plat and variance applications
- On the Agenda at the **Planning and Zoning Meeting, Tuesday, December 13, 2022**
 - Intent is to receive recommendation of approval for preliminary plat and variances
- On the Agenda at the **City Commission Meeting, Thursday, December 22, 2022**
 - Intent is to receive approval of Preliminary Plat and variances

Any technical questions or additional information needed please contact project agent, Leah M. Berg at 605-716-4646 / 605-545-1120 or at LBerg@proacesinc.com. For any legal questions please contact project Attorney, Jessica L. Larson, with Beardsley Jensen & Lee at 605-721-2800 or at jl Larson@blackhillslaw.com.



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Size of Site—Acres	28.782	Square Footage 1,253,743.92
		Proposed Zoning N/A
DESCRIPTION OF REQUEST:		Utilities: Private / Public
Extra Territorial Jurisdiction		Water BLACK HAWK WATER
TAB Industrial Park - Platting 8 Lots and Dedicated Public Right of Way – Buckaroo Court		Sewer INDIVIDUAL

APPLICANT

Name Chad Gollnick Phone 605-415-5090
 Address PO BOX 825 E-mail cgollnick@ironoutfitter.com
 City, State, Zip Black Hawk, SD 57718 Signature [Signature] Date 11-28-22

PROJECT PLANNER - AGENT

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 City, State, Zip Black Hawk, SD 57718

[Signature] 11/29/22 Property Owner Signature Date
[Signature] 11/29/22 Property Owner Signature Date

Signature _____ Date _____
 Print Name: CHAD GOLLNICK
 Title*: Owner - President
 *required for Corporations, Partnerships, etc.

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- Police
- Drainage
- Other: _____
- City Attorney
- Parks & Recreation
-

Planning and Zoning Meeting Date: _____
 Commission Meeting Date: _____
 Date Paid: _____ Payment Type: Cash Check Credit Card

COUNTY TREASURER'S CERTIFICATE

I, Treasurer of Meade County, South Dakota, do hereby certify that all taxes which are liens upon the land described herein, as shown by the records of my office, are fully paid.

Dated this _____ day of _____, 20____.

Meade County Treasurer

CERTIFICATE OF CITY FINANCE OFFICER

I, Finance Officer of the City of Summit, South Dakota, do hereby certify that the foregoing instrument is a true and correct copy of the same as recorded in the records of the City of Summit, South Dakota at a meeting held on the _____ day of _____, 20____.

Finance Officer

CERTIFICATE OF CITY FINANCE OFFICER

I, Finance Officer of the City of Summit, do hereby certify that all special assessments which are liens upon the within described lands are fully paid according to the records of my office.

Dated this _____ day of _____, 20____.

Finance Officer

CERTIFICATE OF PLANNING COMMISSION

The City of Summit Planning and Zoning Commission certifies it has reviewed the final plat and hereby recommends approval to the City Commission of the City of Summit, South Dakota.

Dated this _____ day of _____, 20____.

Planning Commission Member

RESOLUTION OF CITY COMMISSION

Whereas there has been presented to the City Commission of the City of Summit, South Dakota, a preliminary plat for the subdivision of described lands, and it appears to the Council of Commissioners that:

- a. The system of streets set forth therein conforms to the system of streets of the existing plat of the City, and
- b. All lots and special assessments upon the Tract or Subdivision comply with, and
- c. All laws and special assessments upon the Tract or Subdivision are previously recorded with the Meade County Register of Deeds Office in Sturgis, South Dakota,
- d. And such plat and survey thereof have been executed according to law.

NOW THEREFORE, BE IT RESOLVED that said plat is hereby approved in all respects.

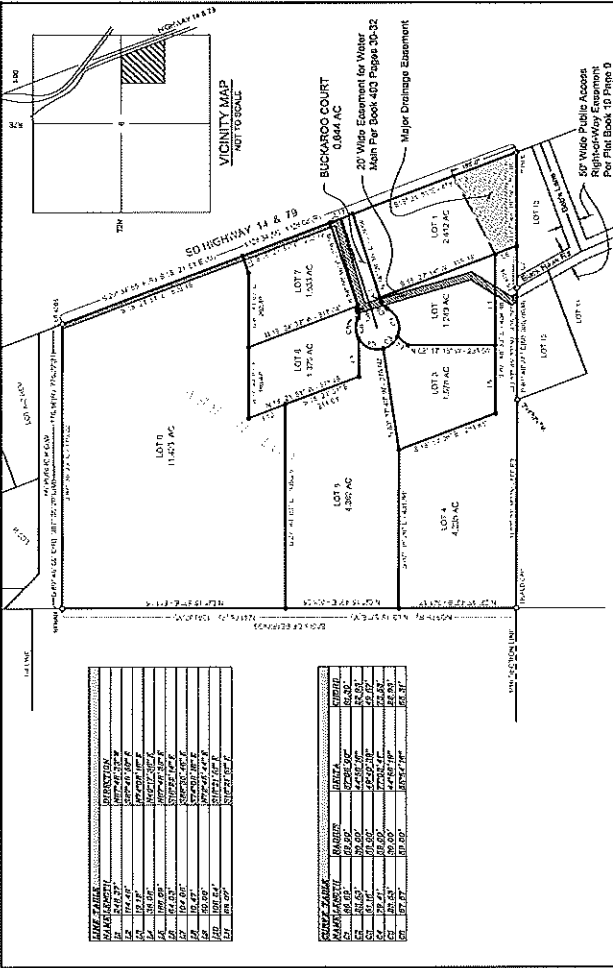
Dated at Summit, South Dakota

this _____ day of _____, 20____.

Mayer

PREPARED BY: BASELINE SURVEYING, INC.,
23005 JUNCTION AVENUE, STURGIS, S.D. 57785

Lots 1 through 8 AND Dedicated Public Right of Way for Buekaroo Court of TAB Industrial Park. Formerly LOT N REVISED of the E1/2 of Section 6. ALL Located in the SE1/4 of Section 6, Township 2 North, Range 7 East, Black Hills Meridian, Meade County, South Dakota.



SURVEYOR'S CERTIFICATE

I, Sharon E. Vasekatz, 2305 Junction Avenue, Sturgis, SD, being a Registered Land Surveyor in the State of South Dakota, do hereby certify that at the request of the Owner herein, I have surveyed and set the corners and boundaries of the within described plat, to conform to the best of my knowledge, information and belief, and that the same are in accordance with the original plat and all other Agreements that are not known to me are not shown herein.



I herewith set my hand and seal

this _____ day of _____, 20____.

Sharon E. Vasekatz
Registered Land Surveyor No. 7718

OWNER'S CERTIFICATE

I, Chad Collins, Owner, Director of Dakota Cable Solutions Inc, do hereby certify that I am the owner of the land shown and described herein, and that I did authorize and do join in and approve the survey and plat, to conform to the best of my knowledge, information and belief, and that the same are in accordance with the original plat and all other Agreements that are not known to me are not shown herein. I am in possession of the land shown and described herein, and I have not been notified of any other claims or interests in the land shown and described herein, and I have not been notified of any other claims or interests in the land shown and described herein, and I have not been notified of any other claims or interests in the land shown and described herein.

I herewith set my hand this _____ day of _____, 20____.

Dakota Cable Solutions Inc, Owner (Director) Chad Collins

ACKNOWLEDGEMENT OF OFFICERS

STATE OF SOUTH DAKOTA } SS
COUNTY OF _____ }

On this _____ day of _____, 20____, before me, the undersigned officer, personally appeared Dakota Cable Solutions Inc, (Director) Chad Collins, Designated as Owner, known to me to be the person whose name is subscribed to the foregoing instrument, and acknowledged to me that they executed the same for purposes therein contained.

IN WITNESS WHEREOF, I hereby set my hand and official seal.
Notary Public _____ by commission expires: _____

OFFICE OF REGISTER OF DEEDS

DRAINAGE NOTES
All major drainage easements shown herein are for the purpose of drainage only, but not limited to buildings, wells, fences, hedges, trees and shrubs. These easements are for the purpose of drainage only and do not constitute, operate, maintain, support or repair such improvements and structures as it may be necessary to facilitate drainage from any source.

Meade County Register of Deeds
PHONE: 605-490-1401 EMAIL: baseline@sturgisurveying.com JOB NUMBER: 22-263



APPROVAL BY HIGHWAY OR STREET AUTHORITY
The location of the proposed access to the Highway or Street as shown herein is hereby approved. Any change in the location of the proposed access shall require additional approval.
Dated this _____ day of _____, 20____.

Highway or Street Authority

CERTIFICATE OF DIRECTOR OF EQUALIZATION
I, Director of Equalization of Meade County, South Dakota, do hereby certify that I have on record in my office a copy of the within described plat.
Dated this _____ day of _____, 20____.

Meade County Director of Equalization

SURVEYOR'S NOTES

1. Utility & Minor Drainage Easements: As eight foot (8') wide easement for utility lines and minor drainage easements on the interior side of all lot lines. Removal or modification of any obstruction or impediment to such easement shall be the financial responsibility of lotowner.
2. Plat of Record as Reference
3. Per FEMA Mapping, FEMA Form 400803787F, Designated in Zone X Effective Date 9/18/2011.

LOTS 1 THROUGH 8 AND BUCKAROO COURT PROJECT

MEADE COUNTY, BLACK HAWK, SOUTH DAKOTA



SOUTH DAKOTA

BLACK HAWK



PROJECT LOCATION MAP

NOT TO SCALE

BLACK HAWK, SD PROJECT

INDEX OF SHEETS

- 1.0 COVER SHEET
- 2.0 GENERAL NOTES AND MATERIAL QUANTITIES
- 3.0 LOT LAYOUT PLAN
- 4.0 GRADING AND DRAINAGE PLAN
- 5.0 EROSION AND SEDIMENT CONTROL WITH DEMOLITION
- 6.0 PLAN & PROFILE STA. 0+00 - 3+37.07
- 7.0 DETAILS



324 Saint Joseph Street, Suite 200, Rapid City, SD 57701
 (605) 716-4548 • Fax: (605) 716-1144

AFFORDABLY CREATIVE ENGINEERING SERVICES, INC.

FINAL DESIGN

REVISIONS: DATE:

ACEE PROJECT NO: 19-1090-4
 DATE: 10/28/2022

LOTS 1 THROUGH 8 AND BUCKAROO COURT PROJECT
 BLACK HAWK, SD PROJECT
 CHAD GOLNICK
 BLACK HAWK, MEADE COUNTY, SD

TITLE: COVER SHEET

1.0

DATE: 10/28/2022

SCALE: 1" = 100'

PROJECT: 19-1090-4

DATE: 10/28/2022

PROJECT NO: 19-1090-4

DATE: 10/28/2022



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SPECIFICATIONS TO BE USED

PROJECT SITE IS LOCATED IN BLACK HAWK MEADE COUNTY, SOUTH DAKOTA BEING WITHIN THE PLATTING JURISDICTION OF THE CITY OF SUMNER. ALL WORK SHALL BE IN ACCORDANCE WITH THE CITY OF SUMNER INFRASTRUCTURE DESIGN CRITERIA EXCEPT AS NOTED. WHERE NECESSARY, THE PROJECT SPECIFICATIONS WILL BE SUPPLEMENTED WITH STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION, 2007 EDITION.

PROJECT INTENT

THIS PROJECT IS THE CREATION OF LOTS 1 THROUGH 4 WITHIN THE SUBDIVISION OF BLACK HAWK MEADOWS COURT, SOUTH DAKOTA. BLACK HAWK MEADOWS COURT IS ABOUT 157' OFF CAPTAIN SOELZER STREET IN BLACK HAWK, SOUTH DAKOTA. THIS PROJECT INCLUDES THE GENERAL CONSTRUCTION OF: 1. 4' HIGH CONCRETE RETAINMENT WALLS; 2. DRAINAGE WATER SERVICES OFF AN EXISTING MAIN FOR BLACK HAWK WATER LOCATED ON THE PROPERTY; AND UTILITY SERVICES FOR 1.5' HIGH CONCRETE RETAINMENT WALL LIGHT AT THE WEST END OF BUCKAROO COURT.

GENERAL SURVEY NOTES

THE TOPOGRAPHIC SURVEY WAS PROVIDED BY BASELINE SURVEYING, INC. THE SURVEY WAS COMPLETED IN SEPTEMBER 2022. THE UTILITY LOCATIONS SHOWN ARE BASED ON FIELD LOCATES AND RECORDS. THE SIZE AND LOCATION OF UNDERGROUND UTILITIES WAS DETERMINED BY THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR LOCATING AND PROTECTING UTILITIES DURING CONSTRUCTION.

GENERAL NOTES:

THE CONTRACTOR IS REQUIRED TO OBTAIN COVERAGE UNDER THE DEPARTMENT OF ENVIRONMENT AND NATURAL RESOURCES GENERAL STORM WATER CONSTRUCTION PERMIT FOR MORE THAN 1 ACRE OF IMPAVED SURFACE. CONTACT SD DNR AT 1-800-737-8878 FOR INFORMATION. PROJECT SOIL DISTURBANCE AREA IS 2.5 ACRES.

IF WATER FROM TEMPORARY DEWATERING WILL BE DISCHARGED TO WATERS OF THE STATE DURING CONSTRUCTION, CONTRACTOR MUST OBTAIN A PERMIT FROM THE SOUTH DAKOTA DEPARTMENT OF ENVIRONMENT & NATURAL RESOURCES GENERAL PERMIT FOR TEMPORARY DEWATERING. FOR MORE INFORMATION, CONTACT SD DNR AT (605) 773-3361.

CONTRACTOR SHALL UTILIZE THE SOUTH DAKOTA DEPARTMENT OF ENVIRONMENT & NATURAL RESOURCES TO PROVIDE ADVANCE NOTICE FOR ALL UTILITY LOCATIONS, 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.

THE CONTRACTOR SHALL MEASURE AND RECORD ANY HORIZONTAL OR VERTICAL DEVIATIONS FROM THE CONTRACT DRAWINGS. DEVIATIONS SHALL BE IDENTIFIED IN AN ACCURATE MEASUREMENT AND IN DRAWINGS AND FURNISHED TO THE OWNER.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING WATER FOR COMPACTION OF GRANULAR MATERIALS AND TRENCH BACKFILL AS REQUIRED.

THE CONTRACTOR SHALL PROTECT ALL EXISTING IMPROVEMENTS FROM DAMAGE DURING CONSTRUCTION. DAMAGE TO EXISTING CONSTRUCTION SHALL BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.

DEWATERING PERMIT

ALTHOUGH NOT ANTICIPATED, DEWATERING OF TRENCHES AND RELATED EXCAVATIONS MAY BE REQUIRED ON THIS PROJECT.

DEWATERING ACTIVITIES SHALL BE CONDUCTED IN ACCORDANCE WITH THE CITY OF SUMNER DISCHARGE UNDER THE SURFACE WATER ACTIVITIES IN SOUTH DAKOTA. SOEHR PERMIT AUTHORIZATION TO FURNISH THE REQUIRED FOR AUTHORIZATION TO SODDER AS REQUIRED UNDER THE PERMIT. TO OBTAIN SOEHR PERMIT, THE CONTRACTOR SHALL CONTACT ANY DEWATERING ACTIVITIES.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING SELF-MONITORING ACTIVITIES SUCH AS SAMPLING, TESTING, AND REPORTING AS MAY BE DETERMINED TO BE REQUIRED UNDER THE AUTHORIZATION TO DISCHARGE.

AGGREGATE MATERIAL

AGGREGATE BASE COURSE SHALL BE IN ACCORDANCE WITH SECTION 800 OF THE SDOT STANDARD SPECIFICATIONS.

MATERIAL TESTING

THE CONTRACTOR SHALL PROVIDE ALL NEEDED MATERIAL TESTING FOR THE PROJECT. SURFACE AND BASE COURSE SHALL BE COMPLETED BY AN INDEPENDENT TESTING AGENCY.

AGGREGATE SHALL BE PROOF ROLLED AND DENSITY TESTED BY AN INDEPENDENT TESTING AGENCY TO THE SATISFACTION OF THE ENGINEER AND OWNER.

A MINIMUM OF 2 DENSITY TESTS SHALL BE TAKEN ON THE SURGRADE AND AGAIN ON THE SUBGRADE. THESE TESTS SHALL BE PROJECT PER PHASE. THESE TESTS SHALL BE EVENLY SPREAD OVER THE PROJECT AREA. THE SUBGRADE AND AGGREGATE COURSE SHALL BE TESTED AT THE FOLLOWING PERCENTAGES: 5% OPTIMUM MOISTURE CONTENT; (ASTM D-698).

FAILING TESTS: CONTRACTOR SHALL RE-TEST AND RE-TEST UNTIL ALL TESTS PASS BY FAILING TESTS AT THEIR OWN EXPENSE.

EXCAVATION

THE CONTRACTOR SHALL BE RESPONSIBLE TO INSURE THAT ALL EXCAVATION, TRENCHING AND SHORING, AND THE LIKE SHALL BE PERFORMED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR CONSTRUCTION AND STANDARD SPECIFICATIONS.

GRADING SHALL BE DONE AS MAY BE NECESSARY TO PREVENT SURFACE WATER FROM FLOWING INTO EXCAVATIONS, AND ANY EXCAVATION SHALL BE PROTECTED FROM ALL CIRCUMSTANCES SHALL WATER BE PERMITTED TO RISE IN UNBACKFILLED TRENCHES.

GEOTECHNICAL INVESTIGATION

GEOTECHNICAL FIELD TESTING WAS PERFORMED ON OCTOBER 24, 2022. REPORT AVAILABLE UPON REQUEST.

WATER SERVICE

WATER SHALL BE SUPPLIED BY BLACK HAWK WATER. THERE IS AN EXISTING MAIN AND FIRE HYDRANT ON THE PROPERTY AND SERVICES WILL BE COORDINATED WITH BLACK HAWK WATER.

ON-SITE WASTEWATER TREATMENT

THE TAB INDUSTRIAL PARK SHALL HAVE INDIVIDUAL ON-SITE WASTEWATER TREATMENT SYSTEMS.

UTILITIES

THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES ON THE SITE ON UTILITIES ENCOUNTERED ON THE SITE.

THE INFORMATION ON THESE DRAWINGS CONCERNING THE LOCATION OF UTILITIES HAS BEEN OBTAINED FROM THE BEST INFORMATION AVAILABLE. THE UTILITY LOCATIONS SHOWN WERE BASED ON FIELD SURVEY. LOCATION OF UNDERGROUND UTILITIES WAS NOT VERIFIED BY EXCAVATION. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES PRIOR TO BEGINNING CONSTRUCTION.

NEW UTILITIES WITHIN THE SUBDIVISION SHALL BE LOCATED AS SHOWN ON THE PLAN AND PROFILE SHEETS 8.0-4.2.

UTILITY INFORMATION:
SOUTH DAKOTA ONE-CALL 1-800-741-7474
(ELECTRIC)
MONTANA-DAKOTA UTIL.
MONTANA-AVE., RAPID CITY, SD
(605) 342-6476
PHONE 815-816-1101
MIDCONTINENTAL COMMUNICATIONS
1310 OMAHA ST.
RAPID CITY SD
(605) 466-1390
(GAS)

PAVEMENT

ASPHALT PAVEMENT SHALL NOT BE INSTALLED AFTER OCTOBER 15 THROUGH APRIL 15 WITHOUT THE APPROVAL OF THE ENGINEER. NO PAVEMENT SHALL BE INSTALLED FOR TEMPORARY SURFACING AND MAINTENANCE.

CAREFUL CONSIDERATION SHALL BE GIVEN TO MAINTAIN PROPOSED FLOW LINES. STREETS SHALL BE REPLACED INSTALLED PAVEMENT AT THEIR OWN EXPENSE IF ADEQUATE FLOW CHARACTERISTICS ARE NOT MAINTAINED ON INSTALLED PAVEMENT.

STREET SIGN

STREET SIGN SHALL MEET MEADE COUNTY HIGHWAY REQUIREMENTS.

RESTORED AREAS

TOPSOIL SHALL BE STRIPPED AND STOCKPILED. ALL DISTURBED AREAS OUTSIDE OF AREAS TO BE PAVED SHALL RECEIVE 4" OF TOPSOIL AND BE RESEDED. THE SEED MIXTURE USED SHALL BE:

NON IRRIGATED SEED MIX: PERCENT BY WEIGHT (COMMON)

- ANNUAL RYEGRASS 20%
 - BLUEBUNCHWHEATGRASS 10%
 - PERENNIAL RYEGRASS 10%
 - KENTUCKY 31 TALL FESCUE 15%
 - CANON CANADA BLUEGRASS 10%
 - HELMET CRACK FESCUE 10%
 - HARD FESCUE 15%
- OR APPROVED EQUAL.
- ONCE TOPSOIL HAS BEEN PLACED, THE SEED MIXTURE SHALL BE BROADCAST, TILLED, PACKED, AND HYDROMULCHED. RATE OF SEED SHALL BE 15 POUNDS PER ACRE. SEEDING SHALL BE 175 POUNDS (LBS) PER ACRE.

DISTURBED AREAS SHALL BE RESEDED EITHER BY SPREADING OR THE CONTRACTOR SHALL MAINTAIN THE SEEDED AREA UNTIL 70% OF THE NEW VEGETATION HAS BEEN ESTABLISHED.

ESTIMATE OF QUANTITIES

Item No.	Description of Item	Estimated Quantity	Unit
1	Mobilization	1.0	LS
2	Macadamize and Infiltrate	1.0	LS
3	Erosion and Sediment Control	1.0	LS
4	Construction Staking	25.0	LS
5	Undisturbed Excavation	140.0	CY
6	Stormwater Vitrification	230.0	LS
7	1" Polyethylene Vitrification	8.0	EA
8	1" Polyethylene Vitrification	8.0	EA
9	Aggregate Base Course, 5"	780.0	TON
10	Aggregate Base Course, 5"	487.0	TON
11	Aggregate Shoulder 1' Wide	27.0	TON
12	Seed, Fertilizer and Mulch	640.0	57
13	Street Sign, Standard Court	1.0	EA
14	Street Sign, Standard Court	1.0	EA
15	Street Sign, Standard Court	1.0	EA
16	Street Sign, Standard Court	1.0	EA

ACES
AFFORDABLE CREATIVE ENGINEERING SERVICES
324 Gates Road, Suite 200, Rapid City, SD 57701
(605) 710-4646 Fax (605) 710-1144

REVISIONS: _____ DATE: _____
FINAL DESIGN
ACES PROJECT NO: 19-1098-4
DATE: 10/26/2022

LOT 1 THROUGH 8 AND PROJECT
BLACK HAWK, SD PROJECT
CHAD GOLINICK
BLACK HAWK, MEADE COUNTY, SD

GENERAL NOTES AND MATERIAL QUANTITIES
SCALE: 2.0

ACES
AFFORDABLY CREATIVE ENGINEERING SERVICES

324 South Johnson Street, Suite 200, Rapid City, SD 57701
(605) 718-6165 • Fax: (605) 718-1144

FFORDABLY CREATIVE ENGINEERING SERVICES, INC.

LEGEND

- 3540 --- EXISTING 3" MAJOR CONTOUR INTERVAL
- EXISTING 1" MINOR CONTOUR INTERVAL
- 3335 --- PROPOSED 3" MAJOR CONTOUR INTERVAL
- PROPOSED 1" MINOR CONTOUR INTERVAL
- EXISTING PROPERTY LINE
- EXISTING ADJACENT PROPERTY LINE
- EXISTING POWER POLE, GUY WIRE & OVERHEAD POWER LINE
- NATURAL GAS LINE
- EXISTING FENCE
- EXISTING FIBER OPTIC LINE
- EXISTING UTILITY RISERS
- EXISTING CONIFEROUS TREE
- EXISTING DECIDUOUS TREE
- EXISTING ASPHALT ROAD
- PROPOSED ASPHALT ROADWAY
- △ CONTROL POINT
N: 13273.2249
E: 1089978.1489
- EXISTING BLACK HAWK WATER FIRE HYDRANT, WATER VALVE, WATER LINE & EASEMENT
- ☆ PROPOSED ROADWAY LIGHT

FINAL DESIGN

REVISIONS: _____ DATE: _____

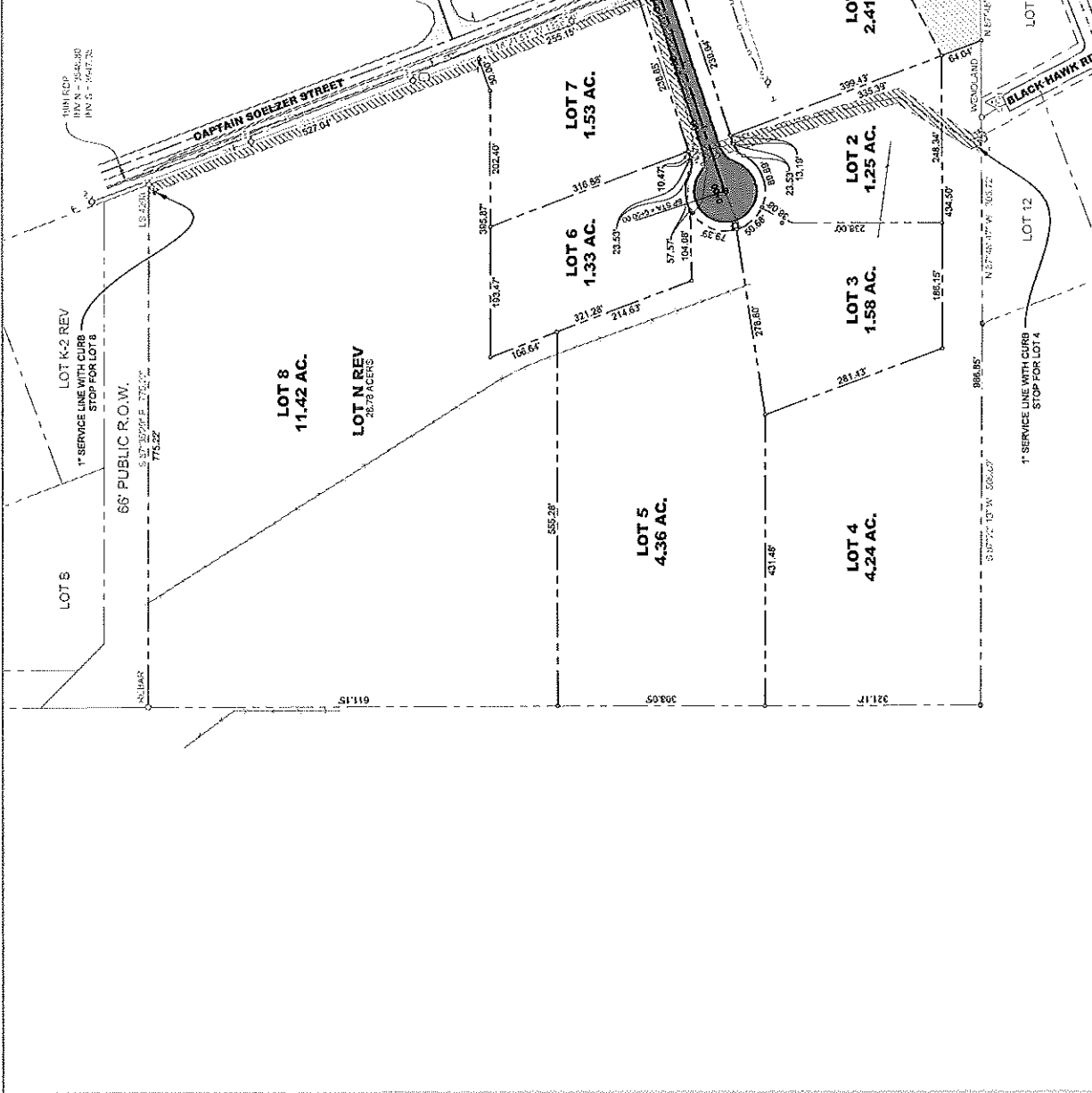
ACED PROJECT NO: 19-1098-4 DATE: 10/26/2022

LOT LAYOUT PLAN

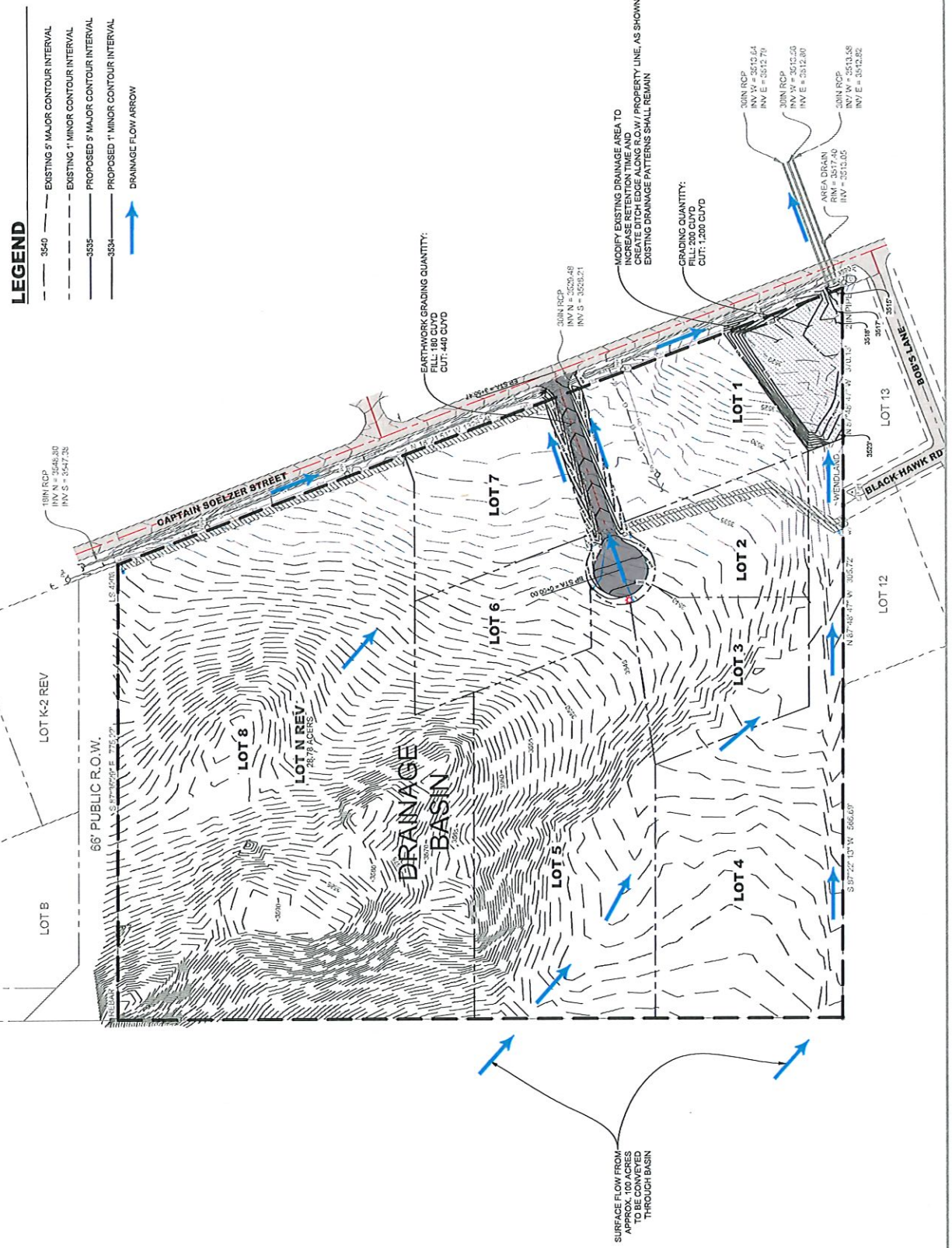
SCALE: 1" = 100'

DATE: _____

SCALE: 3.0



BLACK HAWK, MEADE COUNTY, SD
CHAD GOLLNICK
PROJECT
BUCKAROO COURT
LOT LAYOUT PLAN



NOTES

INSTALL TEMPORARY VEHICLES TRUCKS CONTAINING ALL MATERIALS WHICH VEHICLES ENTER FROM PAVEMENT INTO CONSTRUCTION SITE. CONTRACTOR TO CLEAN PAVEMENTS OF SEDIMENTS AND MUD THAT IS NOT CONTROLLED BY VEHICLE TRACKING.

EROSION CONTROL MEASURES SHOWN ARE BASED ON THE ENGINEER'S JUDGMENT. EROSION CONTROL MEASURES WILL BE MADE IN THE EVENT ADDITIONAL MEASURES ARE REQUIRED.

CONTRACTOR TO SEED, FERTILIZE & COVER ALL AREAS DISTURBED BY CONSTRUCTION WITH NON-IRRADIATED SEED MIX.

SEED FENCES, CONSTRUCTION ENTRANCES, AND/OR OTHER SUITABLE PERIMETER EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO THE START OF ANY GRADING OR LAND DISTURBING OR AS SOON AS POSSIBLE.

THE CONTRACTOR SHALL INSTALL BUMPS CORRECTLY AND MAINTAIN THEM THROUGHOUT THE CONSTRUCTION PERIOD.

EROSION CONTROL MEASURES SHALL BE MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMEDIATION OF ANY ADVERSE IMPACTS TO ADJACENT WATERWAYS, WETLANDS, ETC., RESULTING FROM WORK DONE AS PART OF THIS PROJECT.

ALL EROSION CONTROL AND BEST MANAGEMENT PRACTICES (BMPs) SHALL BE MAINTAINED FOR THE DURATION OF THE PROJECT.

EROSION CONTROL SIGNS MAY BE FIELD ADJUSTED BY THE ENGINEER AS NECESSARY DURING CONSTRUCTION.

THE CONTRACTOR SHALL MOODY INSTALL ADDITIONAL AND/OR ADJUST BEST MANAGEMENT PRACTICES AS NECESSARY TO REDUCE EROSION AND/OR SEDIMENT TRANSPORT.

EROSION CONTROL SHOWN IS A MINIMUM. CONTRACTOR SHALL ADD ADDITIONAL MEASURES AS NECESSARY.

STABILIZED CONSTRUCTION ENTRANCES MUST BE INSPECTED FOR EVIDENCE OF EROSION. IF EVIDENCE OF EROSION IS OBSERVED, THE ENTRANCE SHALL BE REMOVED FROM ALL OPPOSITE SURFACES WITHIN 24 HOURS OF DISCOVERY. NECESSARY REPAIRS MUST BE MADE WITHIN 24 HOURS OF DISCOVERY, OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.

ANY ERT FENCES MUST BE REPAIRED, REPLACED, OR BURNISHED WHEN THEY BECOME NON-FUNCTIONAL OR THE SEDIMENT REACHES 10" OF THE HEIGHT OF THE FENCE. THESE REPAIRS MUST BE MADE WITHIN 24 HOURS OF DISCOVERY, OR AS SOON AS FIELD CONDITIONS ALLOW ACCESS.

THE CONTRACTOR SHALL LEAVE THE EROSION CONTROLS IN PLACE FOR THE DURATION OF THE CONSTRUCTION PERIOD. VEGETATION MEETS PRE-CONSTRUCTION CONDITIONS. ONCE VEGETATION MEETS PRE-CONSTRUCTION CONDITIONS, THE CONTRACTOR SHALL REMOVE EROSION AND SEDIMENT CONTROLS.

SEED, FERTILIZER AND SEEDING/OPERATION AREA, SHOWN AS HATCH IS ANTICIPATED BUT SHOULD NOT BE LIMITED TO THE AREA SHOWN. ANY DISTURBED AREAS NOT RECEIVING HURDSCAPE SHALL BE RESTORED TO PRE CONSTRUCTION CONDITIONS AND SEEDING.

DEMOLITION ITEMS

REMOVE AND STUMP GRIND EXISTING DECIDUOUS TREE

REMOVE AND STUMP GRIND EXISTING CONIFEROUS TREE

REMOVE AND STUMP GRIND EXISTING RESIDENTIAL STRUCTURE(S) TO BE REMOVED

REMOVE AND STUMP GRIND EXISTING DRIVEWAY TO BE REMOVED

REMOVE AND STUMP GRIND EXISTING FENCE AT PROPOSED HOUSE LOCATION

REMOVE AND STUMP GRIND EXISTING CONIFEROUS TREE

NOTES

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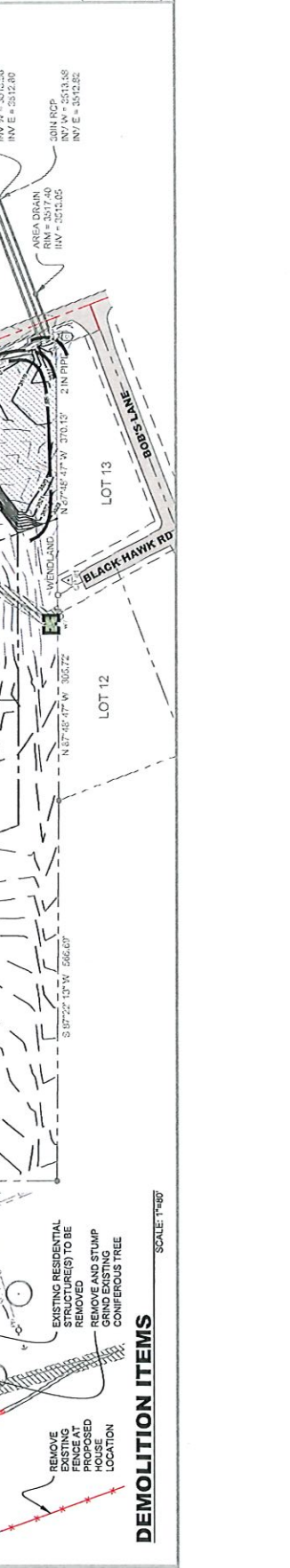
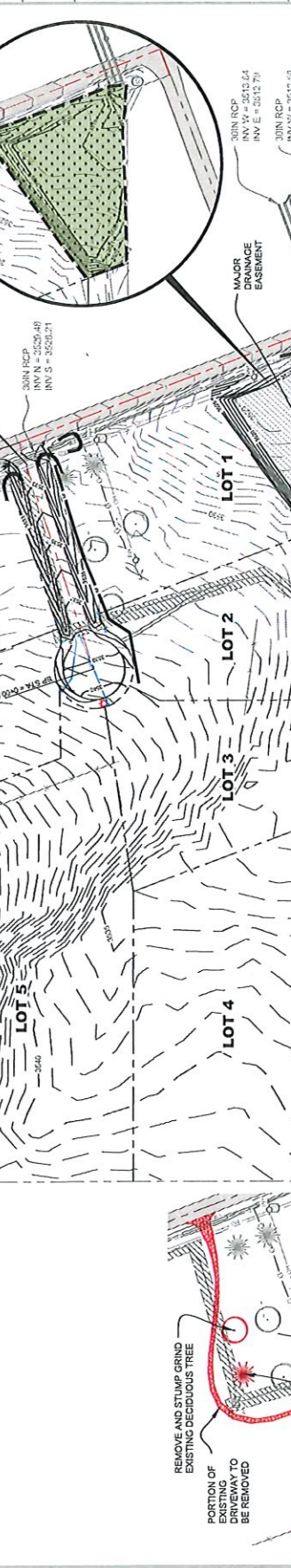
REMOVE AND STUMP GRIND EXISTING CONIFEROUS TREE

REMOVE AND STUMP GRIND EXISTING RESIDENTIAL STRUCTURE(S) TO BE REMOVED

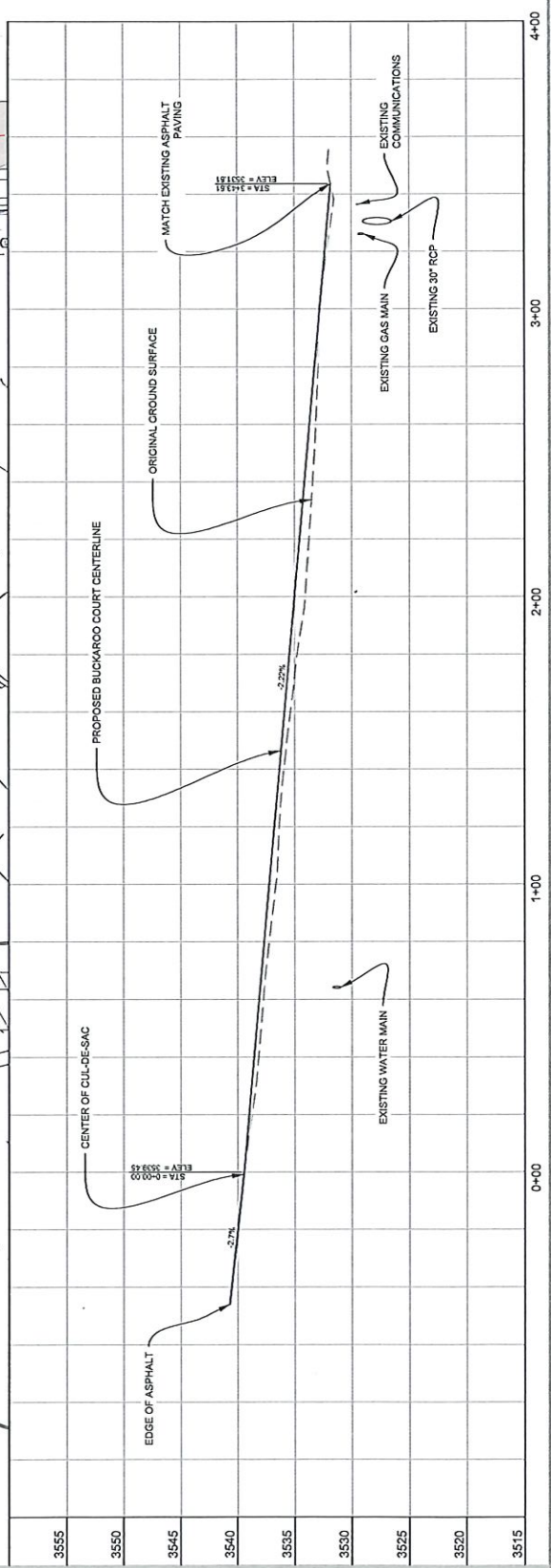
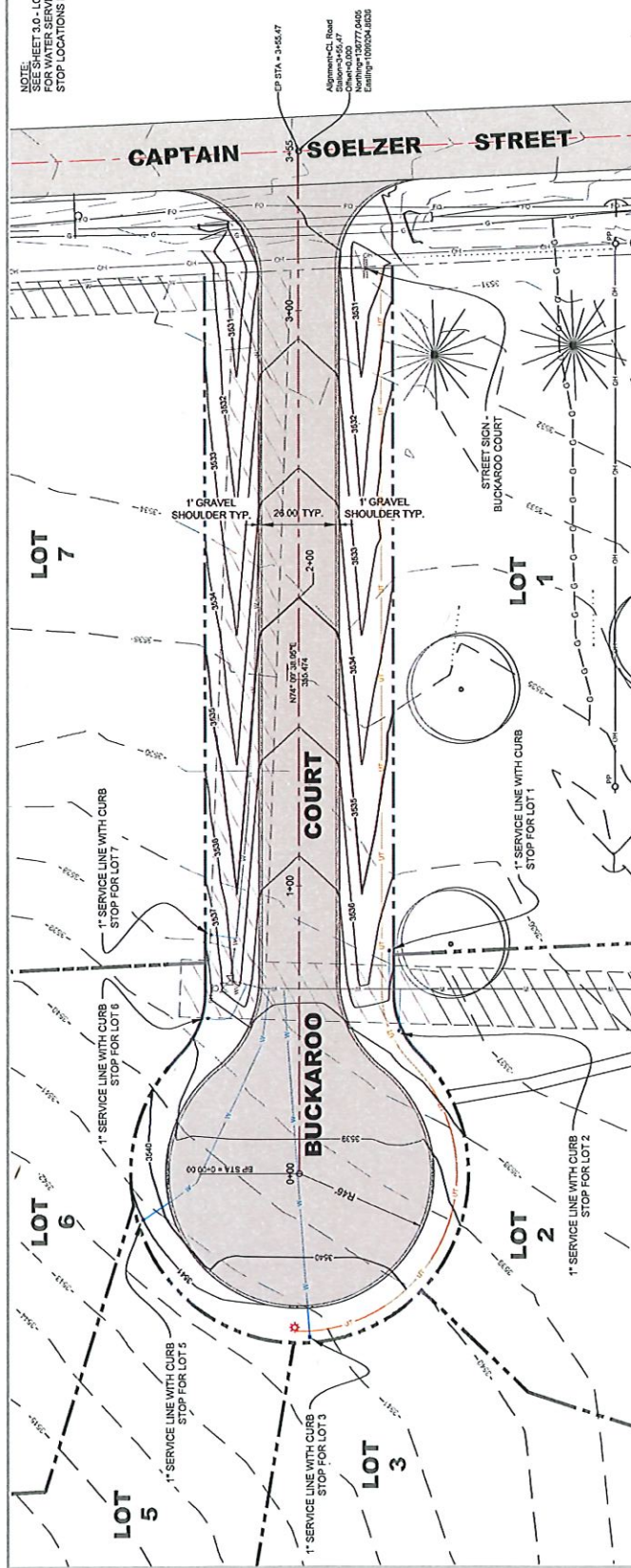
REMOVE AND STUMP GRIND EXISTING DRIVEWAY TO BE REMOVED

REMOVE AND STUMP GRIND EXISTING FENCE AT PROPOSED HOUSE LOCATION

REMOVE AND STUMP GRIND EXISTING CONIFEROUS TREE



NOTE:
SEE SHEET 3.0 - LOT LAYOUT PLAN
FOR WATER SERVICES WITH CURB
STOP LOCATIONS FOR LOTS 4 AND 8.



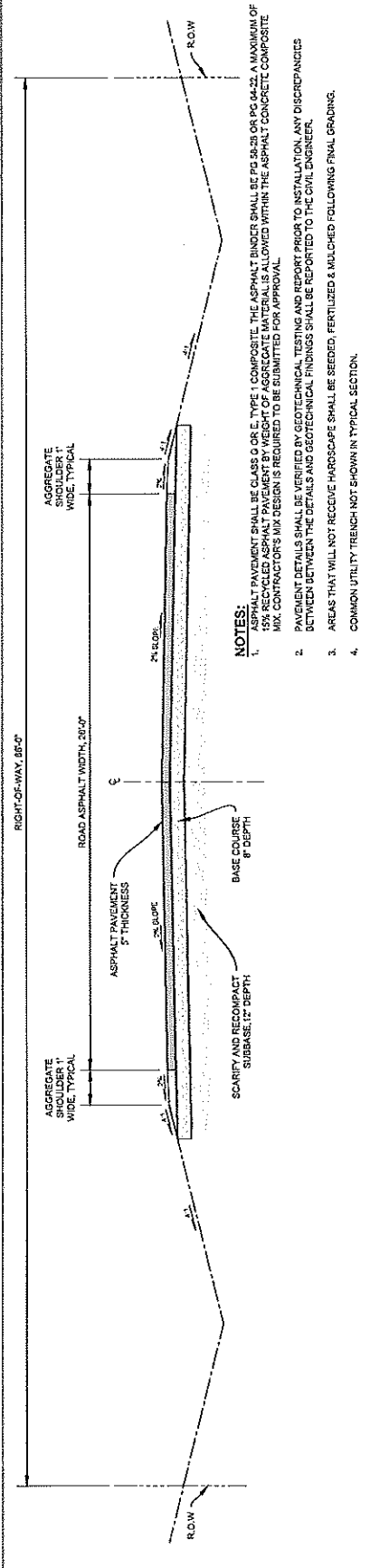
ACES
AFFORDABLY CREATIVE ENGINEERING SERVICES
324 S. Joseph Street, Suite 200, Rapid City, SD 57701
(605) 716-4548 • Fax: (605) 716-1144

FINAL DESIGN
REVISIONS:
DATE:

ACED PROJECT NO: 19-1090-4
DATE: 10/26/2022

LOTS 1 THROUGH 8 AND PROJECT
BUCKAROO COURT
BLACK HAWK, SD PROJECT
BLACK HAWK, MEADE COUNTY, SD
CHAD GOLLNICK

SCALE: 1" = 40'
20 10 0 20
VERTICAL SCALE: 1" = 10'
TITLE: PLAN & PROFILE STA. 0+00 - 3+97.07
SHEET NUMBER: 6.0
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- TYPICAL ROAD SECTION**
N.T.S.
- NOTES:**
1. ASPHALT PAVEMENT SHALL BE CLASS O OR E TYPE COMPOSITE. THE ASPHALT BINDER SHALL BE PG 58-28 OR PG 54-28. A MAXIMUM OF 1% POLYMER MODIFIED ASPHALT BINDER IS ALLOWED. THE ASPHALT CONCRETE COMPOSITE MIX CONTRACTOR'S MIX DESIGN IS REQUIRED TO BE SUBMITTED FOR APPROVAL.
 2. PAVEMENT DETAILS SHALL BE VERIFIED BY GEOTECHNICAL TESTING AND REPORT PRIOR TO INSTALLATION. ANY DISCREPANCIES BETWEEN THE DETAILS AND GEOTECHNICAL FINDINGS SHALL BE REPORTED TO THE CIVIL ENGINEER.
 3. AREAS THAT WILL NOT RECEIVE HARDSHAPE SHALL BE SEEDED, FERTILIZED & MULCHED FOLLOWING FINAL GRADING.
 4. COMMON UTILITY TRENCH NOT SHOWN IN TYPICAL SECTION.
 5. WATER MAIN IS EXISTING.
 6. PUBLIC SANITARY SEWER SYSTEM IS NOT AVAILABLE. EACH LOT WILL HAVE INDIVIDUAL ONSITE WASTEWATER TREATMENT SYSTEMS.

PROVISIONS: DATE: _____

FINAL DESIGN DATE: 10/26/2022

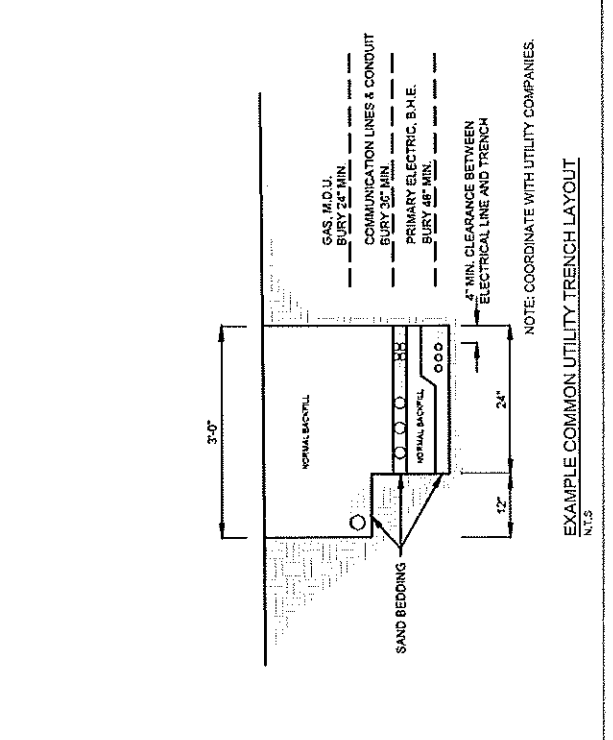
ACED PROJECT NO: 19-1100-4

LOTS 1 THROUGH 8 AND
BUCKAROO COURT
PROJECT
BLACK HAWK, MEADE COUNTY, SD
CHAD GOLLNICK
BLACK HAWK, MEADE COUNTY, SD

TITLE: DETAILS

SHEET # 7.0

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EXAMPLE COMMON UTILITY TRENCH LAYOUT
N.T.S.

NOTE: COORDINATE WITH UTILITY COMPANIES.

TECHNICAL MEMORANDUM

PROJECT: TAB Industrial Park – Lots 1 thru 8
 LOCATION: Black Hawk, South Dakota
 DATE: November 29, 2022
 TOPIC: Drainage – Stormwater Management Plan

This Technical Memorandum shall provide information related to the drainage of the existing parcel and the impact related to the creation of Lots 1 through 8 with Buckaroo Court. The layout of the Lots are shown in Figure 1.

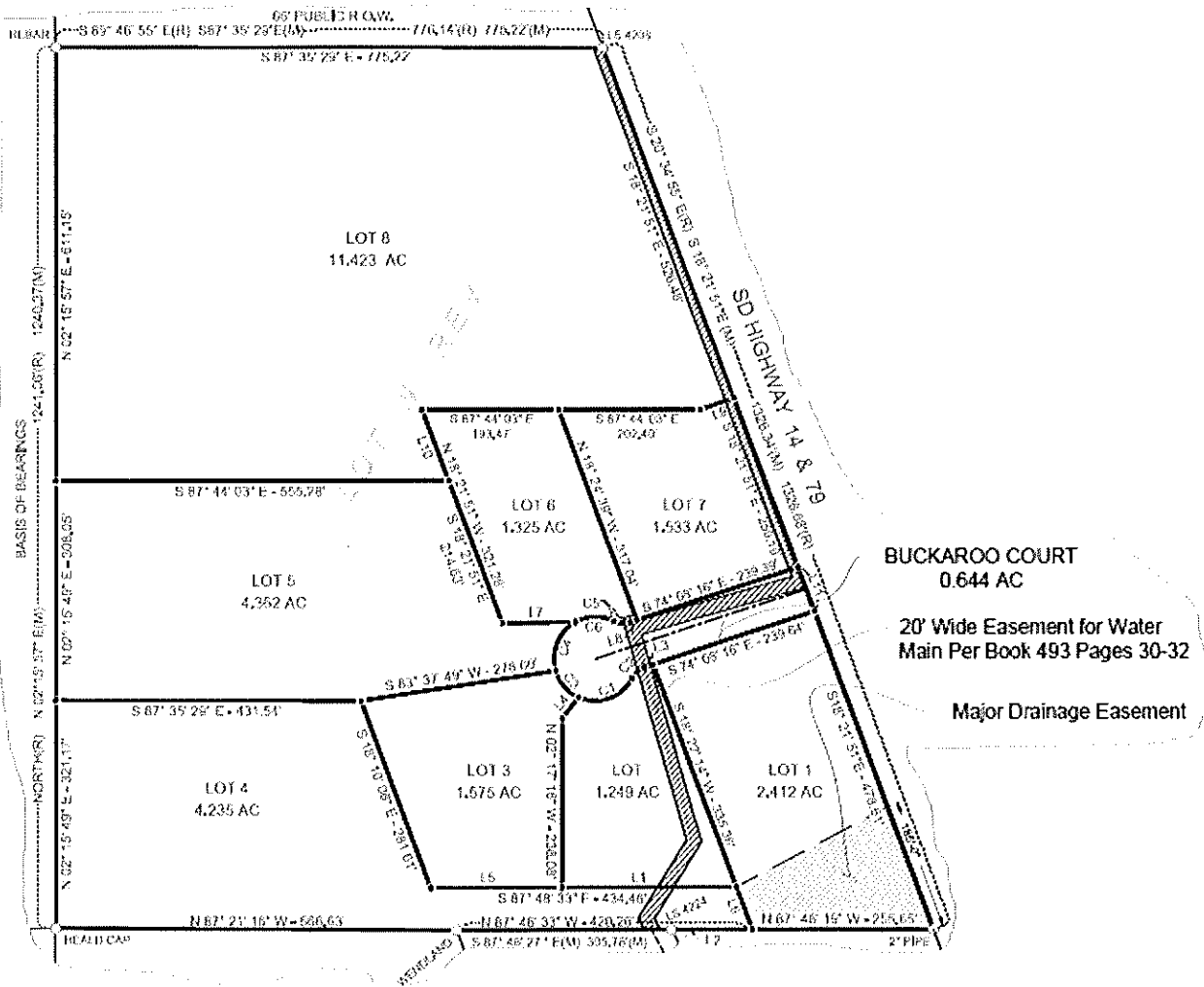


Figure 1: Lot Layout from Preliminary Plat

There is no FEMA regulated flood hazard zones within the limits of this property or adjacent areas. FIRM Map Number 46093C1787F, Effective Date September 16, 2011 is included for

reference.

Based on the field verification of the Lot layout and investigation of area elements the drainage can be evaluated. The extent of the contributing area was determined utilizing the USGS StreamStats system and actual conditions and drainage patterns. The contributing area is from the NW and includes about 100 acres of land up to Anderson Road. The drainage path and pattern is toward the SE across the parcel and it will not be impacted or altered by the creation of Lots 1 through 8. The contributing drainage area is shown in Figure 2.



Figure 2: Contributing Drainage Area shown in Blue from Google Earth

With the contributing drainage area being established and the project area of Lots 1 through 8 being set as the Basin the Rational Method was selected for estimating the peak runoff based on the low complexity and size of the contributing area of the watershed and Basin. The selected Basin area is considered rural with open field conditions and adjacent roadways having open ditch drainage systems. The results of the contributing drainage flow calculations are as follows:

The Rational Method equation is $Q = ciA$

Q = Discharge, ft³/sec (CFS)

c = Runoff Coefficient

i = Rainfall Intensity, in/hr

(IDF curve found in SDDOT Drainage Manual for Rapid City as a close comparison at a time of concentration of 10 minutes)

A = Drainage Area, acre (AC)

The runoff coefficients, c, were selected from Table 4-1 of the Summerset IDCM, for "Parks/Cemeteries" for the Pre-Construction to best reflect the impervious area and "Light Industrial" for Post-Construction on Lots 1 through 7 and "Multi-Unit (Detached)" to best represent the large area of Lot 8.

The storm events for a 2-year, 10-year and 100-year were evaluated. The results are provided in Table 1.

Table 1: Calculation Results for the Pre-Construction and Post-Construction conditions

DRAINAGE BASIN	UNITS	PRE-CONSTRUCTION	POST-CONSTRUCTION	
BASIN AREA	(AC)	28.7	28.7	
PERVIOUS AREA	(AC)	27.27	3.46	5.71
IMPERVIOUS AREA	(AC)	1.44	13.83	5.71
IMPERVIOUS AREA	(%)	5.0	80.0	50.0
TIME OF CONCENTRATION (t_c)	(MIN)	10.0	10.0	10.0
C_2		0.05	0.71	0.45
C_{10}		0.20	0.76	0.60
C_{100}		0.40	0.82	0.70
i_2	(IN/HR)	4.30	4.30	4.30
i_{10}	(IN/HR)	6.5	6.5	6.5
i_{100}	(IN/HR)	9.6	9.6	9.6
Q_2	(CFS)	6.2	52.8	22.1
Q_{10}	(CFS)	37.3	85.4	44.5
Q_{100}	(CFS)	110.2	136.1	76.8
RUNOFF VOLUME ₂	(CF)	10,626	69,923	
RUNOFF VOLUME ₁₀	(CF)	64,248	119,161	
RUNOFF VOLUME ₁₀₀	(CF)	189,778	193,841	
RUNOFF VOLUME ₂	(ACFT)	0.24	1.61	
RUNOFF VOLUME ₁₀	(ACFT)	1.47	2.74	
RUNOFF VOLUME ₁₀₀	(ACFT)	4.36	4.45	

The proposed Lots are large and will have light industrial use at the Post Construction condition. The creation of impervious area should be considered but is unknown at this time. What was assumed for calculations is a conservative estimate of 80% impervious area will be created for Lots 1 through 7 and 50% impervious area will be created on Lot 8. The

difference is due to the size of Lot 8 being 11.4 Acres.

The exact flow directions/paths across each lot is unknown at this time but the areas can be considered with the natural drainage patterns being conveyed to the south-east corner of the property area, just as the existing drainage is conveyed today.

The 2 year, 10 year, and 100 year storm event will result in some additional runoff being created. The difference in runoff for the storm events, as listed in Table 1, is 1.4 ACFT, 1.3 ACFT and 0.1 ACFT, respectively. Since there is an increase in runoff, the additional runoff needs to be retained within the project area. Since there are natural drainage areas and substantial natural area being retained, the ideal option is to retain the surface drainage within the retained natural/drainage areas.

Storm Water Quality Capture Volume (WQCV) is required to control storm water quality within the site prior to discharge to the open ditch system along Captain Soelzer Street. WQCV was calculated for the site and compared to detention volume to determine the controlling volume. The volume is calculated based on the time required to treat storm water and drain the detained volume to the open ditch conveyance system. The fraction of mapped impervious is also used for the calculation.

For the site, a drain time equal to 12 hours was selected. The WQCV calculations are as follows:

$$\text{Basin: WQCV} = 1.16 * a * (0.91I_3 - 1.19I_2 + 0.78I_1)$$

$$\text{Design Volume} = \text{WQCV} / 12 * \text{area}$$

$$I = \text{Impervious Area Fraction } 60\%$$

$$a = \text{Drain Time (12 hrs.) } 0.8$$

$$\text{WQCV} = 0.22 \text{ inches}$$

$$\text{DV} = 2,762 \text{ CF}$$

The required detention volume was calculated using the Modified Rational Method. Storage Calculations are attached to this Technical Memorandum. The required storage for the Basin is based on the difference between the existing and developed 100 year peak flows. The maximum storage volume calculated for detaining flows is 49,178 CF.

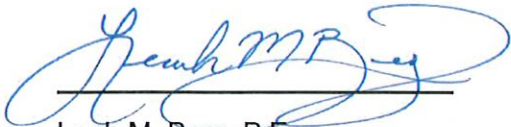
The Required Storage Volume for the Basin is 49,178 CF and the Water Quality Volume is 2,762 CF. Therefore, a minimum detention volume of 49,178 CF is required, which is the maximum volume control. The area of the Basin is 1,253,744 sqft and based on Light Industrial being planned, a conservative area of the pervious or natural area retained of 20% for Lots 1 through 7 and 50% on Lot 8 is 399,441 sqft of area is utilized. This area is assumed to be able to retain 1.0 inch deep surface drainage. The conservative area of turf with a 1.0 inch drainage depth equals 33,287 CF of volume being retained onsite.

Storage volume required is 49,178 CF and the storage volume provided onsite is 33,287 CF, leaving a difference of 15,892 CF needing to be retained onsite. The basin has existing drainage patterns and areas that will be retained. All surface flow is ultimately conveyed by three (3) 30 inch RCP culverts at Captain Soelzer Street. This crossing includes flows from the contributing area, the drainage basin and from adjacent areas to the south.

Without altering the existing drainage patterns the low drainage area shall be shaped to create more retention area and the slope will be lowered and area flattened out to slow flows and allow for surface flow to collect, as needed, during events. The area being created has a bottom size of about 18,400 sqft. However, the south edge, due to existing drainage patterns shall be retained, therefore, a conservative area of 16,000 sqft shall be utilized in calculations. This shaped area shall be turf and will be able to retain 12 inches deep of surface flow, as needed, prior to entering the culverts at this SE corner of the drainage basin. That size allows 16,000 CF of storage. The combination of the natural area storage of 33,287 CF and the modified drainage area storage of 16,000 CF, a total storage amount of 49,287 CF is provided. The contributing drainage area will continue to function at pre-construction conditions through the area.

Culverts are existing under Buckaroo Court and under Captain Soelzer Street. The culvert under Buckaroo Court is a 30 inch RCP pipe with inlet invert set at 3529.48' and outlet invert set at 3528.21' and a length, field measured, of 71.6 feet. This culvert is required to pass a 10 year storm event based on the City's IDCM. This location will convey about 40% of the flow from the TAB Industrial Park, therefore, 40% of the 10 year storm event is 17.8 cfs. The culvert was analyzed with the CulvertMaster Bentley software based on existing field conditions. The flow conveyed by this culvert shall be 24.98 cfs and therefore meets the requirement with no freeboard required to convey a 10 year storm event. The CulvertMaster Report is included with this Technical Memorandum. The culverts under Captain Soelzer Street include three (3) 30 inch RCP pipes. The combined conveyance provided are 161.66 cfs, with CulvertMaster report included. The post construction 10 year storm event is 129.9 cfs and with contributing flow of 100 acres being 130 cfs, the required conveyance is 259.9 cfs. The culverts will pass 161.66 cfs, that leaves 98.24 cfs that could freeboard over Captain Soelzer Street. That flow would result in a potential 2 inch deep freeboard situation, which is less than the allowable 12 inch depth. Captain Soelzer is within the Meade County jurisdiction as well.

The required storage volume is 49,178 CF as detailed above, the storage volume being provided onsite exceeds the requirement at 49,287 CF. The project plan set includes a Grading and Drainage Plan as well as an Erosion and Sediment Control Plan in order to clarify the drainage items required and protection of the existing drainage patterns through and after construction. A major drainage easement is included within Lot 1 at the SW corner of the project area and is shown on the Plat. This stormwater management plan has been proposed in order to account for existing and future drainage conditions.


Leah M. Berg, P.E.



Prepared by:
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**DECLARATION OF FUTURE VOLUNTARY ANNEXATION
AND RESTRICTIVE COVENANTS**

This Declaration of Future Voluntary Annexation and Restrictive Covenants ("Declaration") is made by Dakota Cable Solutions, Inc., a South Dakota corporation, P.O. Box 825, Black Hawk, South Dakota 57718 ("Declarant").

Recitals

- A. Declarant owns certain property in Meade County, South Dakota, legally described as follows (the "Property"):
 - Lot N Revised of the East Half (E1/2) of Section 6, Township 2 North, Range 7 East, BHM, Meade County, South Dakota, as shown in Plat Book 18 on Page 32
- B. Declarant is making an application to re-plat the Property, whereby Lot N Revised will be divided into eight lots, known as Lot 1, Lot 2, Lot 3, Lot 4, Lot 5, Lot 6, Lot 7, and Lot 8 of TAB Industrial Park;
- C. The parties understand and acknowledge that Lot 8 may be further subdivided in the future.
- D. As a condition for the plat approval, the City of Summerset requires a voluntary annexation agreement to establish a plan for voluntary annexation when City services are made available to the Property.
- E. As a further condition for plat approval, the City of Summerset requires certain restrictive covenants running with the land for the use of the Property.

Now, therefore, in consideration of the plat approval and other good and valuable consideration, the Property shall be held and subject to the restrictions and conditions as set forth herein, that shall constitute a servitude on the Property, run with the Property, and be binding on all parties that have or shall have any right, title, or interest in the Property.

1) Voluntary Annexation Agreement. If, prior to December 31, 2032, a municipal sewer system of the City of Summerset is available within two hundred (200) feet of all or any part of Lots 1-7 of the Property, each lot owner of Lots 1-7 shall file a voluntary annexation petition for that particular lot. Should the lot owner or any successor in interest fail to file the voluntary annexation petition within sixty (60) days of the availability, the parties agree that the City is authorized by this agreement to

proceed immediately with a statutory annexation procedure. Upon further subdivision or re-platting of Lot 8, the parties agree that immediate voluntary annexation will be a requirement for approval of the re-platting of Lot 8.

2) Road Maintenance. The City of Summerset shall have no responsibility for maintaining, repairing, or providing snow removal service for Buckaroo Court. When the Property is subdivided and two or more Lots are transferred, a separate Road District will be formed.

3) Restrictive Covenants Running with the Land. The ownership, development, and use of the Property and any and all buildings, structures, or other improvements (each an "Improvement" and collectively the "Improvements") shall be restricted, burdened, and subject to all of the limitations below.

- a. All approaches and driveways constructed on the Property shall comply with all City of Summerset Ordinances.
- b. The following uses are specifically prohibited on the Property without the prior written consent of the City of Summerset:
 - i. a gambling establishment or betting parlor;
 - ii. an adult type bookstore or other establishment selling, renting, displaying, or exhibiting pornographic or obscene materials (including, without limitation: magazines, books, movies, videos, photographs or so called "sex toys") or providing adult type entertainment or activities (including, without limitation, any displays or activities of a variety involving, exhibiting, or depicting sexual themes, nudity, or lewd acts); provided, however, the incidental sale of such materials by a national bookstore such as "Barnes and Noble" as the same operate in a majority of their stores shall be permitted;
 - iii. a mobile home park, trailer court, labor camp, or mobile home sales lot (except this shall not prohibit the temporary use of construction trailers during any periods of construction, reconstruction, or maintenance nor shall it prohibit the use of one single- or double-wide mobile home trailer for use as an office or work facility by the lot owner or tenant);
 - iv. a mortuary, crematorium, or funeral home;
 - v. a junk yard, stock yard, or animal raising operation; or
 - vi. a landfill, garbage dump, or other such facility for dumping of garbage.
- c. The foregoing covenants, restrictions, and agreements are imposed upon the Property for the benefit of the City of Summerset and shall be deemed restrictive covenants running with the land and shall be binding

upon the Property and any person who may from time to time own, lease, or otherwise have an interest in the Property or any portion thereof.

4) Amendments. Any of the foregoing restrictions may be waived, amended, modified, released, or terminated at any time and from time to time by Declarant; provided, however, that Declarant shall not waive, amend, modify, release, or terminate this Declaration without the prior written consent of the City of Summerset.

Dated to be effective the ____ day of _____, 2022.

Declarant:
Dakota Cable Solutions, Inc.

BY: _____
Chad Gollnick, President

STATE OF SOUTH DAKOTA)
) ss.
COUNTY OF PENNINGTON)

On this the ____ day of _____, 2022, before me, the undersigned officer, personally appeared Chad Gollnick, who acknowledged himself to be the President of Dakota Cable Solutions, Inc., and that he, being authorized to do so, executed the foregoing instrument for the purposes therein contained by signing his name as President.

In witness whereof I hereunto set my hand and official seal.

Notary Public, South Dakota

My Commission Expires:
(SEAL)