

**JUPITER INLET COLONY
BUILDING AND ZONING COMMITTEE MEETING**

10.17.19

50 Colony Road

Town Hall

5:00 P.M.

AGENDA

1. Call to Order.
2. Roll Call: Earl Fischer, Russell Bourne, William Gilbane, Butch Harper, Lisa Hines, Tony Prosser (alternate).

Building and Zoning Administrator: Bill Whiteford

3. Motion to approve prior minutes.
4. Public Comments - items not on the agenda (3 minutes).
5. 67 Colony Road – new construction of a 3,064 square foot two-story residence with an unenclosed pool. Proposed total lot occupancy, including home, driveway, hardscape, and pool is 49.8% (50% allowed).
6. Discussion Items:
 - A. Driveway Gates - discussion and recommendation to the Town Commission regarding residential driveway gates in the front setback.
 - B. Contractor Hours - discussion and recommendation to the Town Commission regarding contractor work hours Monday – Saturday.
 - C. Way Finding Signs - discussion and recommendation to the Town Commission regarding way finding and speed limit signs.
7. Any Other Matters.
8. Motion to Adjourn.

STATE MANDATED STATEMENT

If a person decides to appeal any decision made by the board, agency, or commission with respect to any matter considered at such meeting or hearing, he/she will need a record of the proceedings, and that, for such purpose, he/she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

Any person requiring a special accommodation at this meeting because of a disability or physical impairment should contact the Town prior to the meeting. Please contact the Town Administrative Office, Administration Building, 50 Colony Road, Jupiter Inlet Colony, and Florida 33469 – Telephone 746-3787.



TOWN OF JUPITER INLET COLONY
A MUNICIPAL CORPORATION

NOTICE OF PUBLIC MEETING

The Building and Zoning Committee of the Town of Jupiter Inlet Colony will conduct a public meeting on Thursday September 19, 2019 at 5:00 P.M. in Town Hall, 50 Colony Road, Jupiter Inlet Colony, Florida to consider the following:

LOCATION: 67 Colony Road

REQUEST: New two-story residence with unenclosed pool. Total under air: 3,064 sf. Total covered area: 3,881 sf. Lot occupancy calculation is 49.8% (50% allowed). Maximum building height: 25'. Plans are available for review in Town Hall.

All interested parties are encouraged to come to the public meeting and be heard concerning this matter. A copy of the proposed plans may be inspected before the meeting by contacting the Town Administrative Office at (561) 746-3787.

Jude M. Goudreau, CMC, TOWN CLERK
TOWN OF JUPITER INLET COLONY

If a person decides to appeal the decision of Building and Zoning Committee with respect to any matter considered at the public hearing or meeting herein referred, he or she may need to insure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is based. The Town of Jupiter Inlet Colony does not prepare or provide such a record. The above item may be postponed or withdrawn without prior notice.

Pursuant to the provision of the Americans with Disabilities Act, any person requiring special accommodations to participate in this meeting, because of a disability or physical impairment, should contact the Town Administration Officer, 561-746-3787, at least three (3) calendar days prior to the Hearing.

50 Colony Road, Jupiter Inlet Colony, Florida 33469
Telephone: (561) 746-3787 / Fax: 561-746-1068 / Email: goudreauj@jupiterinletcolony.org
www.jupiterinletcolony.org



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A NEW RESIDENCE FOR
MAURICE SALAMA

67 COLONY ROAD
JUPITER INLET COLONY 33469

DRAWING INDEX

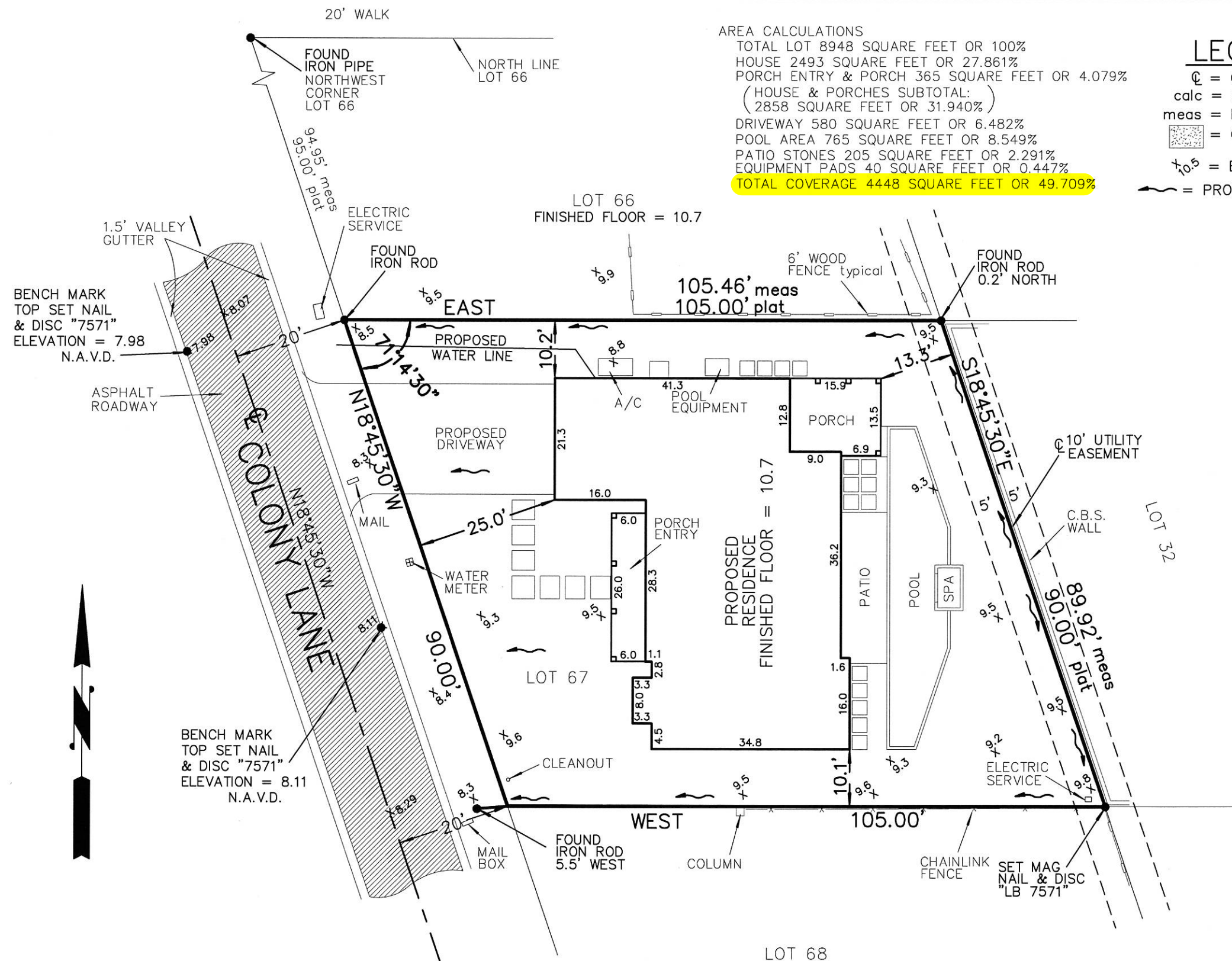
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PROPOSED RESIDENCE FOR:
MAURICE SALAMA
67 COLONY ROAD
JUPITER INLET COLONY
33469

J. SCOTT BARUCH
& ASSOCIATES
178 BEACON LANE
JUPITER, FLORIDA
AR-0014964

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GENERAL NOTES:

CONSTRUCT NEW RESIDENCE AS INDICATED

THE CONTRACTOR SHALL TAKE ALL NECESSARY SAFETY PRECAUTIONS TO INSURE THE HEALTH AND SAFETY OF ALL PERSONS AND SHALL COMPLY WITH ALL OSHA REQUIREMENTS. ALL WORKERS SHALL WEAR PROTECTIVE SAFETY EQUIPMENT AS REQUIRED.

ANY CONDITIONS NOT SHOWN ON THE DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT PRIOR TO CONSTRUCTION.

WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWING.

THE CONTRACTOR SHALL PROVIDE NECESSARY TEMPORARY CLOSING OF ALL OPENINGS IN WALLS, ROOFS OR FLOORS AT THE END OF EACH DAY'S WORK TO KEEP THE BUILDING WEATHER TIGHT AND SECURE.

PLUMBING- PROVIDE KITCHEN AND BATHROOMS AS INDICATED - CONTRACTOR TO PROVIDE CASEWORK, FINISHES AND FIXTURES FOR KITCHEN AND BATHROOMS.

ELECTRICAL- PROVIDE WIRING AND ELECTRICAL FIXTURES AS INDICATED. PROVIDE 200 AMP PANEL. CONTRACTOR'S ELECTRICAL SUB-CONTRACTOR TO CONFIRM LOAD DIAGRAM FOR PERMITTING. SEE NOTES AND ELECTRICAL PLAN FOR OUTLETS AND RECESSED LIGHT FIXTURES.

HVAC- PROVIDE HVAC SYSTEM, BALANCE SYSTEM AS NECESSARY. MECHANICAL CONTRACTOR TO PROVIDE ENERGY EFFICIENCY CALCULATIONS AND DUCTWORK DIAGRAMS FOR PERMITTING OR AS REQUIRED.

WINDOWS / SLIDING GLASS DOORS- PROVIDE IMPACT RESISTANT PGT OR EQUAL WINDOWS AND SLIDING GLASS DOORS. INSTALL PER MANUFACTURER SPECIFICATIONS. SEE WINDOW & DOOR SCHEDULE - CONTRACTOR TO PROVIDE NOA

DOORS- SEE DOOR SCHEDULE

KITCHEN- PROVIDE KITCHEN AS INDICATED - CONTRACTOR TO PROVIDE CASEWORK, SHOP DRAWINGS FOR OWNER ARCHITECT APPROVAL

BATHROOMS- PROVIDE MASTER BATHROOM AND GUEST BATHROOMS AS INDICATED

ROOF - 1" STANDING SEAM METAL ROOF SYSTEM

TRIM - ALL SPACES TO RECEIVE BASEBOARD, COVE, DOOR & WINDOW TRIM. - SEE DETAILS

SIDING - SMOOTH STUCCO

PAINT- ALL INTERIOR AND EXTERIOR PORCH SURFACES TO RECEIVE PAINT. WALLS TO RECEIVE TWO COATS OF FINISH AND ONE COAT OF PRIMER, SANDING BETWEEN COATS. TRIM AND WOODWORK TO RECEIVE SHERWIN WILLIAMS OIL BASE PAINT. INTERIOR TO RECEIVE SHERWIN WILLIAMS SELECT AND CEILINGS TO RECEIVE SHERWIN WILLIAMS WHITE. SEPARATE PERMITS TO BE FILED FOR ELECTRICAL, PLUMBING, HVAC, AND MASTER BUILDING PERMIT REQUIRED BY LOCAL CODES AND ORDINANCES.

ALL WORK IS TO MEET THE REQUIREMENTS OF THE FLORIDA BUILDING CODE, 2017 EDITION AND ASCE 7-10.

SQUARE FOOTAGE TABLE

PROPOSED RESIDENCE:

2043 SQ FT	FIRST FLOOR UA
1021 SQ FT	SECOND FLOOR UA
451 SQ FT	GARAGE UR
156 SQ FT	ENTRY UR
210 SQ FT	LANAI UR

TOTAL UNDER AIR: 3,064 SQ FT
TOTAL UNDER ROOF: 3,881 SQ FT

LOT AREA CALCULATIONS

PROPOSED COVERAGE:

FOOTPRINT - 2860 SQ FT

DRIVE WAY - 581 SQ FT
FRONT WALK - 100 SQ FT
AC/POOL EQUIP - 31 SQ FT
REAR/SIDE WALKWAY - 28 SQ FT
STOOP - 10 SQ FT
POOL - 546 SQ FT
POOL DECK - 300 SQ FT
TOTAL: 4456 SQ FT

TOTAL LOT COVERAGE CALC:

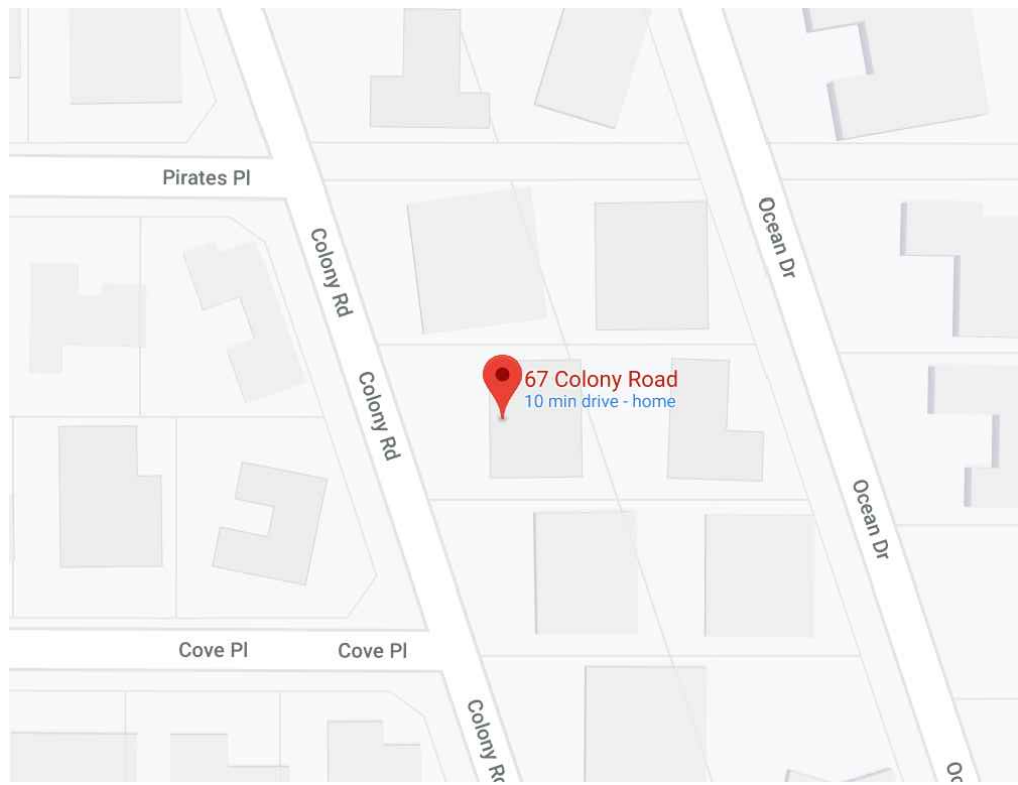
4456 / 8948 = .498
.498 * 100 = 49.8% COVERAGE

MAXIMUM LOT COVERAGE CALC:

LOT SIZE - 8948 SQ FT
MAXIMUM COVERAGE 50%
8948 * .5 = 4474 SQ FT

ENGINEERING CRITERIA:

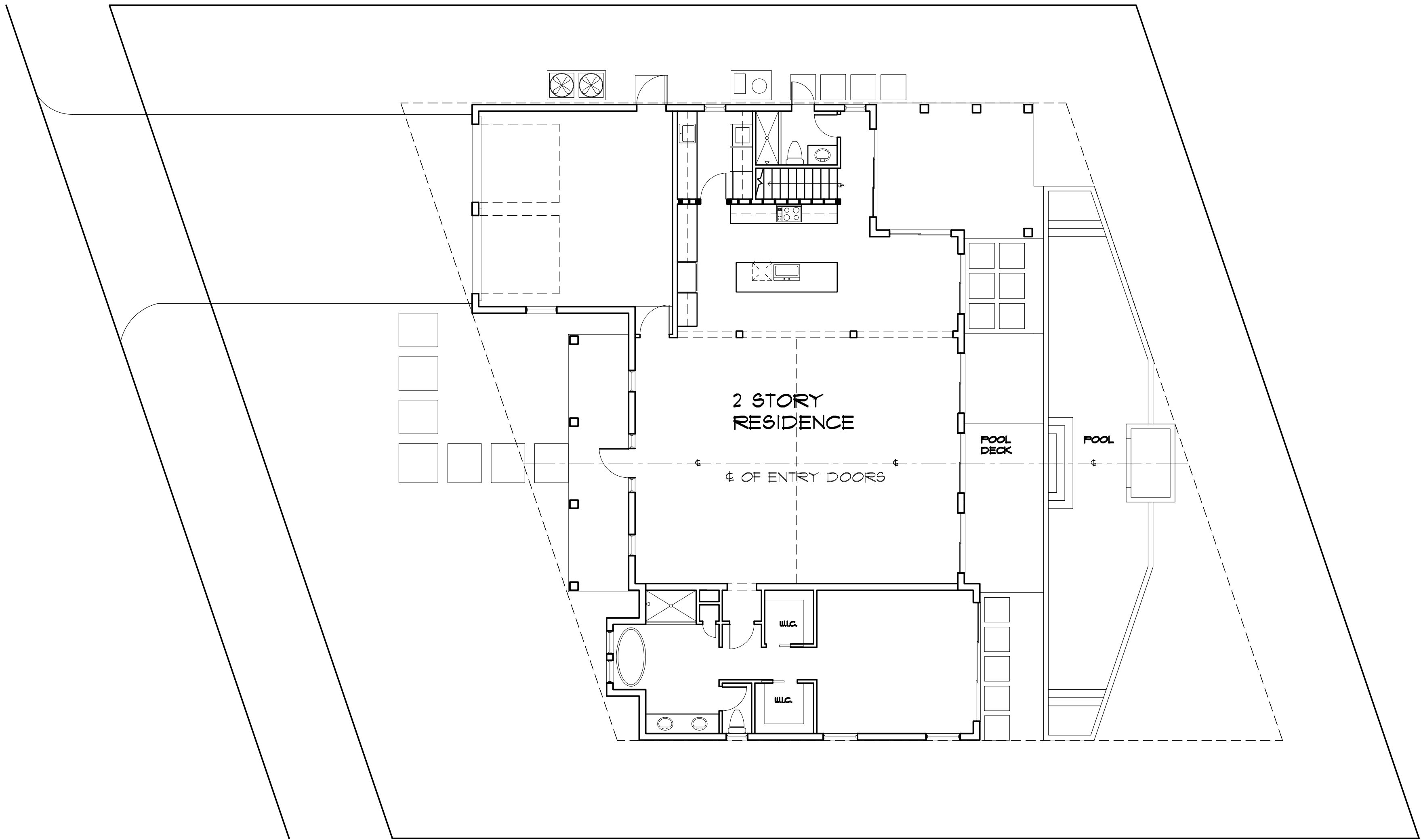
APPLICABLE CODE- FL BUILDING CODE 2017 5TH EDITION AND ASCE 7-10
WIND SPEED 170 MPH ULTIMATE AND 3 SEC GUST
EXPOSURE CATEGORY C
IMPORTANCE FACTOR 1.0
INTERNAL PRESSURE COEFFICIENT .18
BUILDING CATEGORY VB, R3, ENCLOSED
MAXIMUM DOOR PRESSURES +40.14 PSF, -52.35 PSF
MAXIMUM WINDOW PRESSURES +40.14 PSF, -52.35 PSF
MAXIMUM GARAGE DOOR PRESSURES +34.11 PSF, -42.36 PSF
MAXIMUM SLIDING GLASS DOOR PRESSURES 34.2 PSF, -43.41 PSF



MAP VIEW

AERIAL VIEW

PROJECT LOCATION



SITE PLAN

SCALE 1/8"=1'-0"

REVISIONS

PROPOSED RESIDENCE FOR:

MAURICE SALAMA
67 COLONY ROAD
JUPITER INLET COLONY
33463

J. SCOTT BARUCH
& ASSOCIATES

178 BEACON LANE
JUPITER, FLORIDA
AR-0014964

DRAIN

G.R.G.

CHECKED

J.S.B.

DATE

9/9/19

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AS SHOWN

JOB NO.

SHEET

1

OF

SHEETS

PROPOSED RESIDENCE FOR:
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JUPITER INLET COLONY
33463

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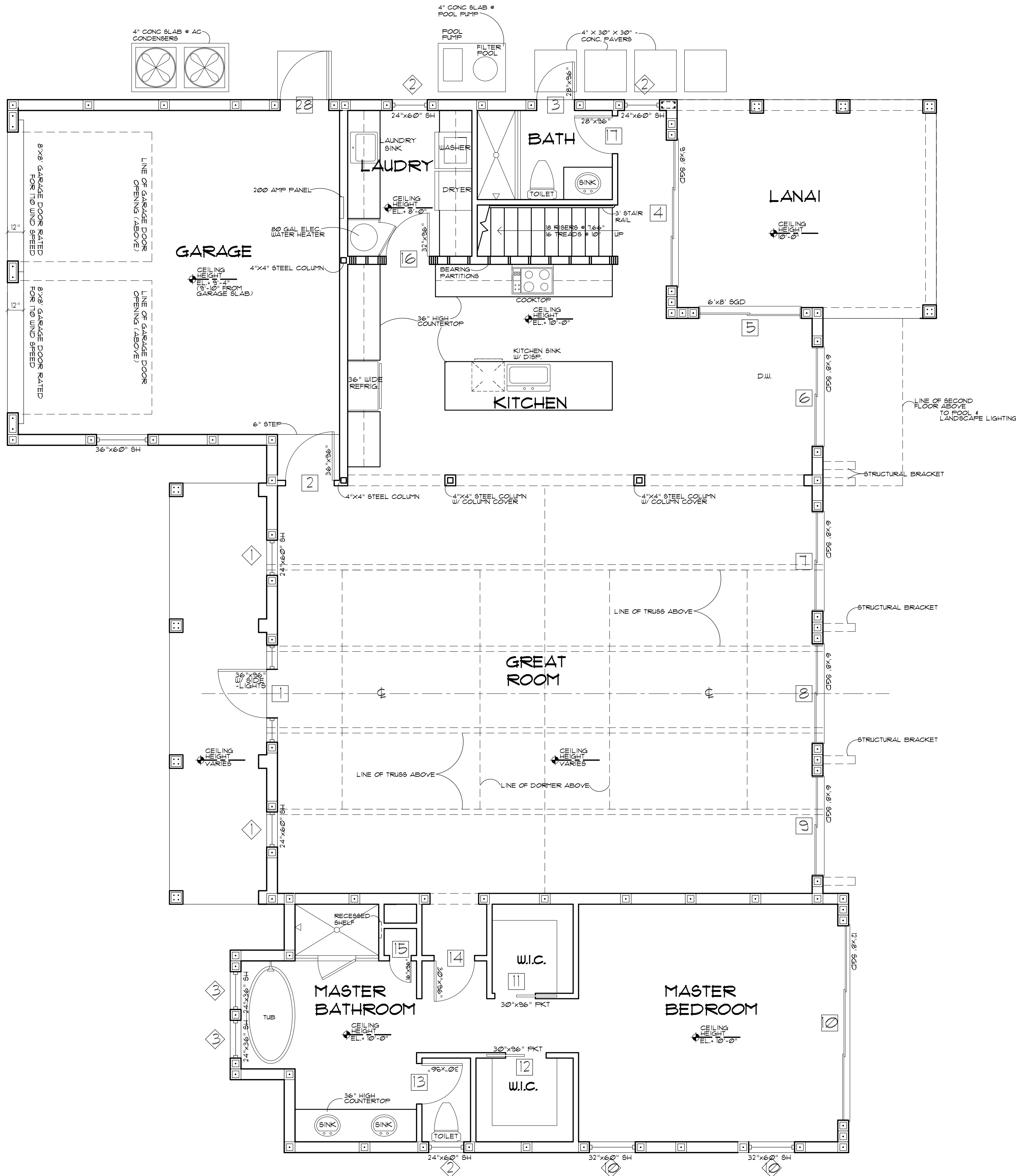
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DOOR SCHEDULE:				
DOOR	SIZE	TYPE	MATERIAL	NOTES
1	3'-0" X 8'-0"	SWING	CUSTOM	LOCKSET, WEATHER STRIPPING
2	3'-0" X 8'-0"	SWING	H. M.	LOCKSET
3	2'-4" X 8'-0"	SWING	H. M.	LOCKSET, WEATHER STRIPPING
4	9'-0" X 8'-0"	SLIDING	AL/GLASS	LOCKSET, IMPACT RATED
5	6'-0" X 8'-0"	SLIDING	AL/GLASS	LOCKSET, IMPACT RATED
6	6'-0" X 8'-0"	SLIDING	AL/GLASS	LOCKSET, IMPACT RATED
7	6'-0" X 8'-0"	SLIDING	AL/GLASS	LOCKSET, IMPACT RATED
8	6'-0" X 8'-0"	SLIDING	AL/GLASS	LOCKSET, IMPACT RATED
9	6'-0" X 8'-0"	SLIDING	AL/GLASS	LOCKSET, IMPACT RATED
10	12'-0" X 8'-0"	SLIDING	AL/GLASS	LOCKSET, IMPACT RATED
11	2'-6" X 8'-0"	POCKET	S.C. WOOD	POCKET DOOR HARDWARE
12	2'-6" X 8'-0"	POCKET	S.C. WOOD	POCKET DOOR HARDWARE
13	2'-6" X 8'-0"	SWING	S.C. WOOD	PRIVACY
14	2'-6" X 8'-0"	SWING	S.C. WOOD	PRIVACY
15	1'-4" X 8'-0"	SWING	S.C. WOOD	PASSAGE
16	2'-8" X 8'-0"	SWING	S.C. WOOD	PRIVACY
17	2'-4" X 8'-0"	SWING	S.C. WOOD	PRIVACY
18	2'-6" X 1'-0"	SWING	S.C. WOOD	PRIVACY
19	2'-6" X 1'-0"	SWING	S.C. WOOD	PRIVACY
20	2'-6" X 1'-0"	SWING	S.C. WOOD	PRIVACY
21	5'-0" X 1'-0"	SWING	S.C. WOOD	
22	2'-0" X 1'-0"	SWING	S.C. WOOD	
23	2'-6" X 1'-0"	SWING	S.C. WOOD	
24	2'-4" X 1'-0"	SWING	S.C. WOOD	
25	2'-0" X 1'-0"	SWING	S.C. WOOD	PRIVACY
26	2'-6" X 1'-0"	SWING	S.C. WOOD	PRIVACY
27	2'-6" X 1'-0"	SWING	S.C. WOOD	
28	3'-0" X 8'-0"	SWING	H. M.	LOCKSET, WEATHER STRIPPING

NOTES:
HARDWARE TO BE SELECTED BY THE OWNER, INSTALLED BY THE CONTRACTOR.
FRENCH DOORS TO BE CGI, WHITE ALUMINUM. MASONRY OPENINGS ASSUME 1X BUCK.
PROVIDE DADE COUNTY TESTED AND APPROVED IMPACT GLAZING AT ALL EXTERIOR DOORS. CONTRACTOR TO PROVIDE NOA PRODUCT APPROVAL FOR PERMITTING AS REQUIRED.
PROVIDE ENGINEERED 2 PANEL PAINTGRADE 1 3/8" SOLID CORE DOORS AT NEW INTERIOR LOCATIONS UNLESS NOTED OTHERWISE.
PROVIDE NEW TRIM- SEE DETAILS.
PROVIDE SOLID CORE, SLIDING DOOR SUBMITTALS FOR OWNER, ARCHITECT APPROVAL.
CONTRACTOR TO VERIFY ALL ROUGH OPENINGS PRIOR TO CONSTRUCTION, AND DOOR ORDERING.

WINDOW SCHEDULE:			
NO.	WIDTH/ HEIGHT	* UNITS	DESCRIPTION
1	2'-0" X 6'-0"	2	SINGLE HUNG
2	2'-0" X 5'-0"	3	SINGLE HUNG
3	2'-0" X 3'-0"	2	SINGLE HUNG
4	2'-8" X 5'-3"	2	SINGLE HUNG
5	3'-0" X 5'-0"	1	SINGLE HUNG
6	2'-8" X 5'-3"	2	SINGLE HUNG, EGRESS
7	2'-0" X 4'-0"	3	SINGLE HUNG
8	2'-0" X 3'-0"	1	SINGLE HUNG
9	2'-0" X 4'-0"	2	CASEMENT, EGRESS
10	FIELD MEASURE	10	FIXED

ALL WINDOWS TO BE FGT WINGUARD SINGLE HUNG OR FIXED IMPACT RESISTANT WINDOWS.
WHITE FINISH # INTERIOR AND EXTERIOR.
INSTALLATION TO BE PER MANUFACTURERS SPECIFICATIONS.
CONTRACTOR TO VERIFY EXISTING MASONRY OPENINGS FOR NEW STOCK SIZE WINDOWS AND PROVIDE CUSTOM SIZES IF NECESSARY. PROVIDE NEW P.T. BUCKS PER DETAILS.
SEE WINDOW JAMB HEAD AND SILL DETAILS FOR BOTH MASONRY AND WOOD FRAME CONDITIONS.
EGRESS WINDOWS NOTED ON PLAN- MIN. 20" CLEAR WIDTH, 24" CLEAR HEIGHT, NET CLEAR OPENING 5.7 SF @ 2ND FLOOR, 5.0 SF @ GROUND FLOOR; AND MAXIMUM WINDOW SILL 44" AFF. PER CODE. CONTRACTOR TO VERIFY EGRESS PROVIDED BY WINDOW SUPPLIER.
CONTRACTOR TO VERIFY WINDOW OPENINGS AND DIMENSIONS PRIOR TO ORDER. MASONRY AND WOOD FRAME ROUGH OPENINGS DIFFER.



1ST FLOOR PLAN

SCALE 1/4"=1'-0"

MAURICE SALAMA
67 COLONY ROAD
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33469

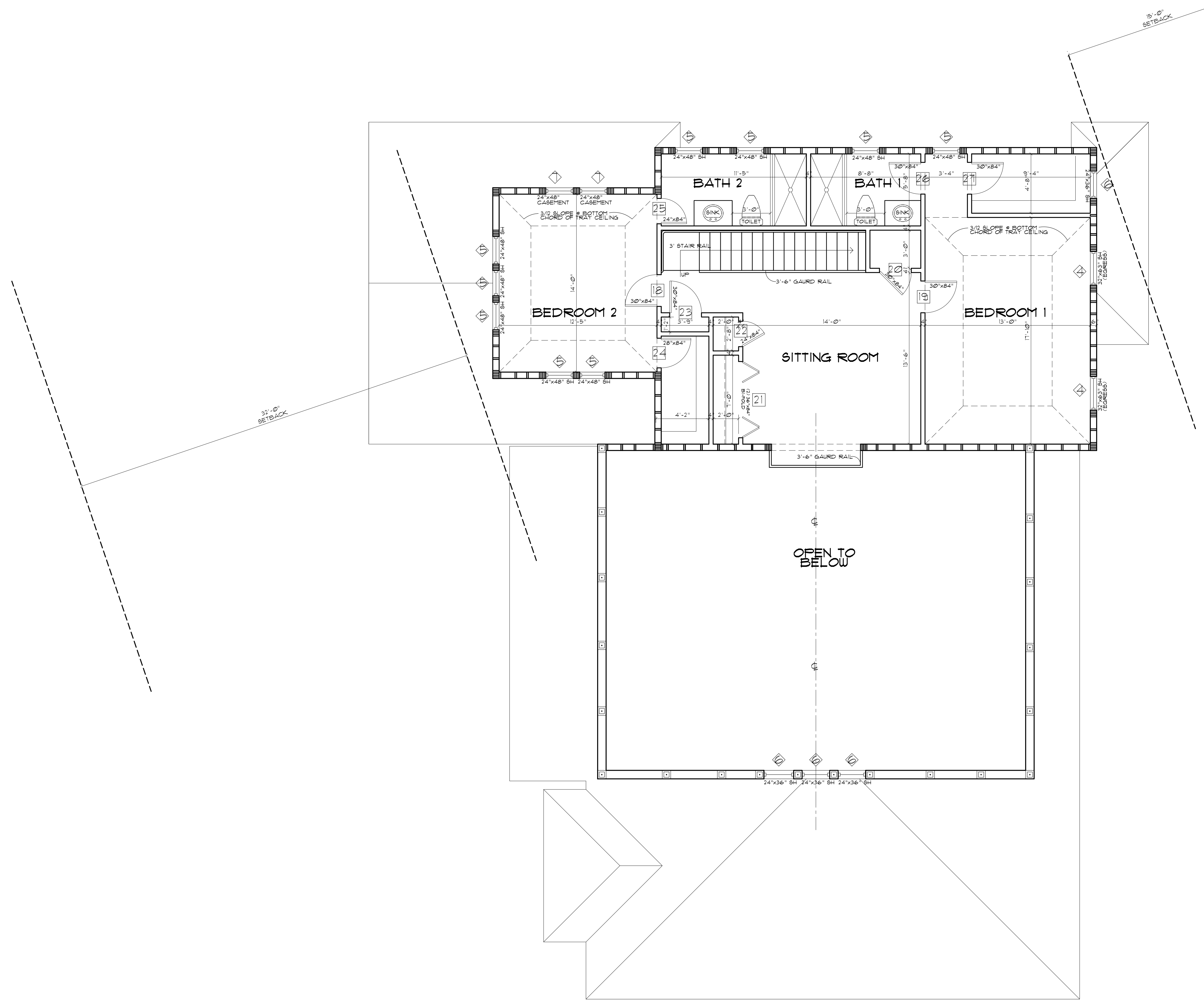
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2ND FLOOR PLAN

SCALE 1/4" = 1'-0"



WEST ELEVATION

SCALE 1/4"=1'-0"



EAST ELEVATION

SCALE 1/4"=1'-0"

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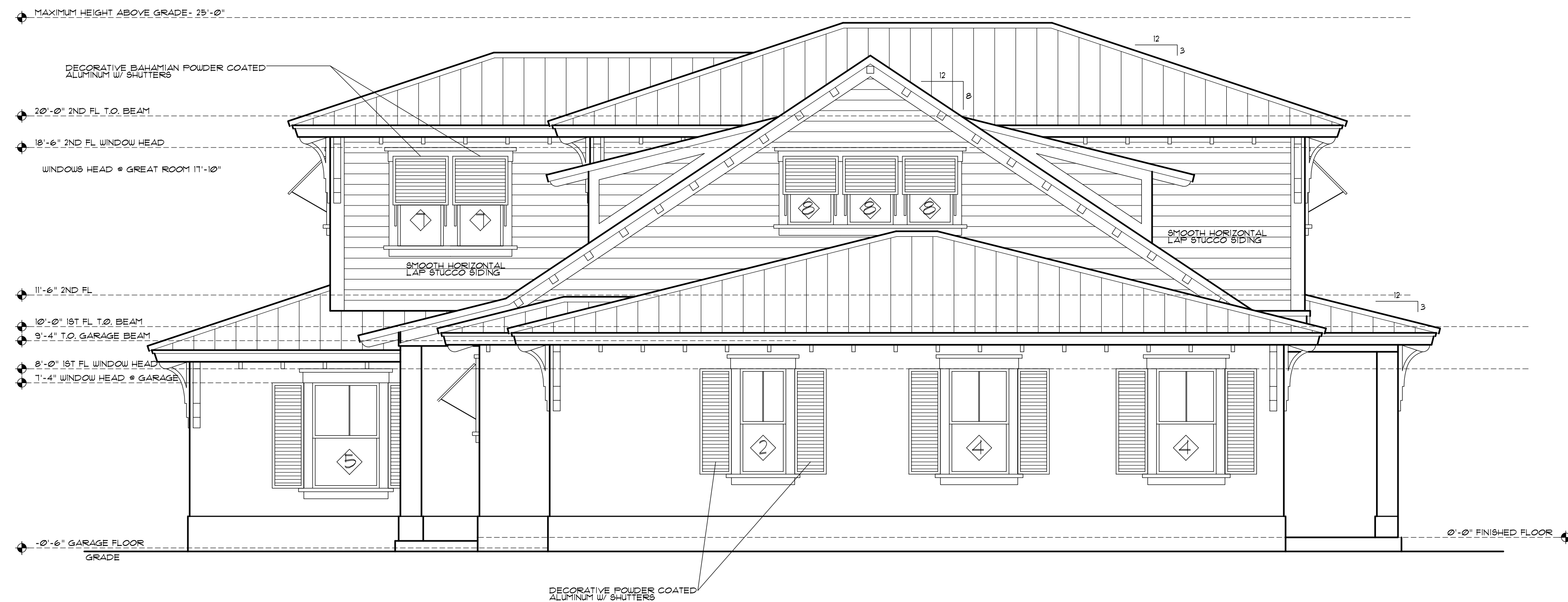
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OPENING CALCULATIONS
(SOUTH ELEVATION)

AREA OF WALL : 800 SQ FT
AREA OF WINDOW : 92 SQ FT
11.5%



SOUTH ELEVATION

SCALE 1/4"=1'-0"

OPENING CALCULATIONS
(NORTH ELEVATION)

AREA OF WALL : 916 SQ FT
AREA OF WINDOW : 163 SQ FT
17.5%



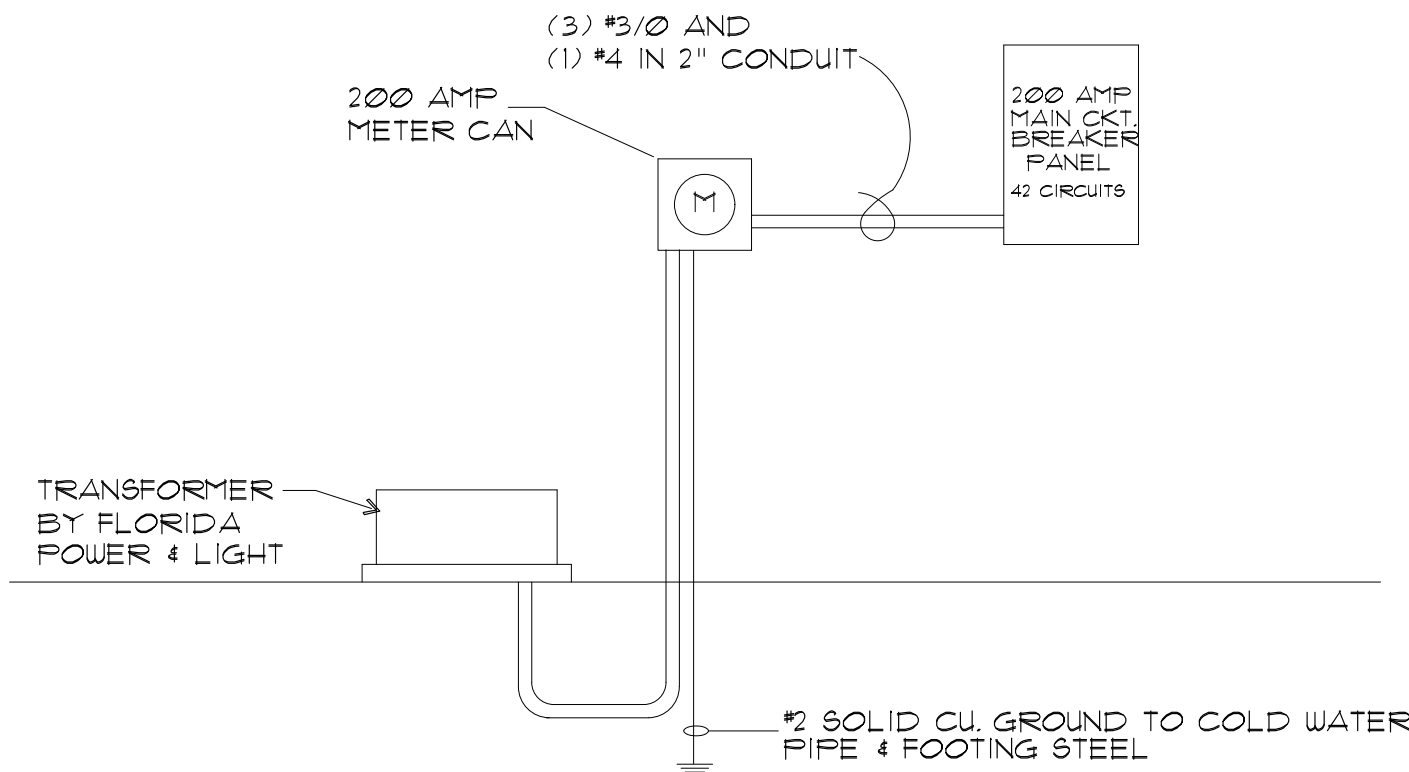
NORTH ELEVATION

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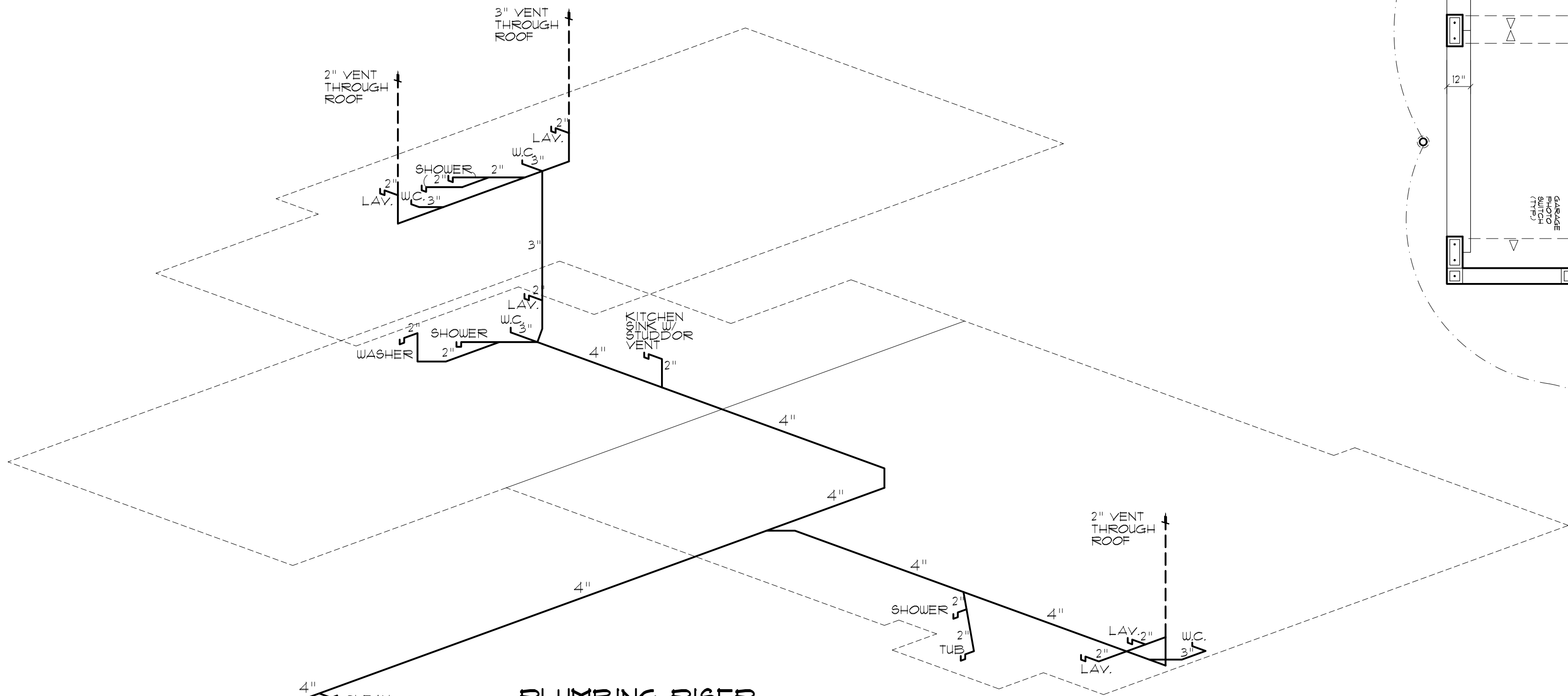
ELECTRICAL LOAD CALC

LIVING AREA 3,064 SF

3,064 SF @ 3W	9,192W
HUH	8,000W
RANGE	8,000W
DRYER	5,000W
WASHER	1,500W
REFRIGERATOR	1,500W
DISHWASHER	1,500W
MICROWAVE	1,500W
DISPOSAL	1,500W
APPLIANCES	3,000W
BATHROOMS	6,000W
GARAGE DOOR OPENER	1,500W
POOL PUMP	1,500W
SUBTOTAL:	48,942W
FIRST 10,000W @ 100% =	10,000W
BALANCE @ 40% =	15,511W
AC/HEAT	15,000W
	40,511W
40,511W/240V = 170 AMPS	
PROVIDE 200 AMP PANEL	



ELECTRICAL RISER DIAGRAM NT.8.



PLUMBING RISER

NOTE: THE ABOVE IS A SCHEMATIC DRAWING. CONTRACTOR TO MAKE NECESSARY ADJUSTMENTS AS REQUIRED FOR FIELD CONDITION AND / OR CODE COMPLIANCE.

GENERAL ELECTRICAL NOTES:

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH BOTH LOCAL AND NATIONAL ELECTRICAL CODES.
2. ELECTRICAL CONTRACTOR SHALL VERIFY ELECTRICAL PLAN, RISER DIAGRAM, AND LOADS, AND NOTIFY THE GENERAL CONTRACTOR OF ANY ERRORS OR DISCREPANCIES PRIOR TO INSTALLATION.
3. ALL EQUIPMENT INSTALLED OUTSIDE OR EXPOSED TO WEATHER SHALL BE NEMA TYPE 3R.
4. MINIMUM WIRE SIZE SHALL BE #14 COPPER.
5. ALL CONDUCTORS ARE TO BE COPPER TYPE THW UNLESS OTHERWISE NOTED.
6. CONNECT GROUNDING ELECTRODE CONDUCTOR TO GROUND ROD AND NEAREST COPPER WATER LINE (COLD).
7. ALL 120V 1 PHASE B.A. AND 20A BATHROOM, GARAGE, KITCHEN AND EXTERIOR RECEPTACLES SHALL HAVE GROUND FAULT INTERRUPTER (GFI) PROTECTION WITH EXTERIOR RECEPTACLES OF THE WATERPROOF TYPE ELECTRICAL CONTRACTOR MAY INSTALL INDIVIDUAL (GFI) IN LIEU OF (GFI) BREAKER WITH SEPARATE CIRCUIT.
8. SWITCHES SHALL BE ROCKER TYPE (UNLESS OTHERWISE NOTED).
9. RECEPTACLES SHALL BE B.A. AND 120V. OF THE GROUND TYPE 16" A.P.F. UNLESS OTHERWISE SPECIFIED.
10. THE ELECTRICAL CONTRACTOR IS TO SIZE MOST BRANCH CIRCUITS: A MAXIMUM VOLTAGE DROP OF 3% IS PERMITTED.
11. THE ELECTRICAL CONTRACTOR IS TO ARRANGE FOR TELEPHONE SERVICE AND TELEPHONE WIRING. COORDINATE WITH THE TELEPHONE COMPANY UNLESS OTHERWISE SPECIFIED.
12. BRANCH CIRCUITS SHALL BE IN THIN WALL CONDUIT OR APPROVED RIGID.
13. LIGHTING FIXTURES SHALL BE SELECTED BY THE BUILDER.
14. SMOKE ALARMS SHALL BE DIRECT WIRE 120V. UL 211 APPROVED TYPE WITH AUDIBLE ALARM INSTALLED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AND LISTING.
15. ALL DEVICES SHALL BE SMOOTH TYPE (WHITE) UNLESS OTHERWISE SPECIFIED (VERIFY).
16. ALL MECHANICAL EQUIPMENT SHALL BE PROTECTED BY OVERCURRENT DEVICES OF TYPE AND RATING PER MANUFACTURER NAMEPLATE SPECIFICATIONS.
17. THE ELECTRICAL CONTRACTOR IS TO COORDINATE WITH OTHER TRADES TO MAKE CERTAIN THAT ALL AIR-CONDITIONING POWER AND CONTROL WIRING AND CONDUITS ARE IN THE BID.
18. EXHAUST FANS IN BATHROOMS (IF USED) SHALL BE RATED AT 1 CMHSP OF VENTILATED FLOOR AREA.
19. ALL FAN VENTING AND ROOF PENETRATIONS SHALL BE BY MECHANICAL CONTRACTOR.
20. ELECTRICAL CONTRACTOR IS TO COORDINATE ALL SERVICE REQUIREMENTS WITH THE POWER COMPANY BEFORE BIDDING TO BE CERTAIN THAT ALL WORK NECESSARY TO MEET POWER COMPANY SPECIFICATIONS IS IN THE BID.
21. VERIFY REQUIRED CLEARANCES BETWEEN EQUIPMENT / LIGHT FIXTURES WITH ANY OTHER ITEMS AND / OR MATERIALS SUCH AS BUT NOT LIMITED TO PLUMBING FIXTURES, INSULATION, ETC. PRIOR TO INSTALLATION. ADJUST AS REQUIRED.
22. ALL MATERIALS TO BE NEW AND UL APPROVED.
23. VERIFY ELECTRICAL REQUIREMENTS OF EQUIPMENT TO BE INSTALLED AND ADJUST WIRE SIZE, BREAKER SIZE, ETC. AS REQUIRED PRIOR TO INSTALLATION.
24. ALL RECEPTACLE OUTLETS IN BEDROOMS TO BE PROTECTED BY ARC-FAULT CIRCUIT INTERRUPTERS.

ELECTRICAL LEGEND

- | | |
|----------------------------|-----------------------------|
| RECESSED HI-HAT | PUSH BUTTON |
| MINI RECESSED HI-HAT | DISCONNECT SWITCH |
| JUNCTION BOX | DOOR BELL |
| GLOBE LIGHT | CHIME BOX |
| FLUORESCENT LIGHT | GARAGE DOOR SENSOR BEAM |
| VAPOR PROOF RECESSED LIGHT | DIRECT WIRE MOTOR |
| WALL MOUNTED FIXTURE | CABLE TELEVISION LOCATION |
| KEYLESS LIGHT FIXTURE | 220V RECEPTACLE |
| EXHAUST FAN | SWITCH |
| FLOOD LIGHT | 3 WAY SWITCH |
| HARD WIRE SMOKE ALARM | 4 WAY SWITCH |
| PENDANT LIGHT FIXTURE | 120V RECEPTACLE |
| CEILING FAN | HALF HOT RECEPTACLE |
| PHONE JACK | 120V G.F.I. |
| | WEATHER PROOF G.F.I. |
| | W/ CARBON MONOXIDE DETECTOR |
| | W/ CARBON MONOXIDE DETECTOR |
| | 120V FLOOR OUTLET |

NOTE: ELECTRICAL CONTRACTOR MAY ADJUST ANY LIGHTING POSITIONING FROM SHOWN. ADJUST IN FIELD AS REQUIRED. ALL FINAL WORK TO COMPLY WITH CODE FOR OUTLET SPACING ETC. COORDINATE ANY CHANGES W/ ELECTRICAL CONTRACTOR AT TIME OF COMPLETION. AN AS BUILT DRAWING WOULD BE PROVIDED TO THE BUILDING INSPECTOR.

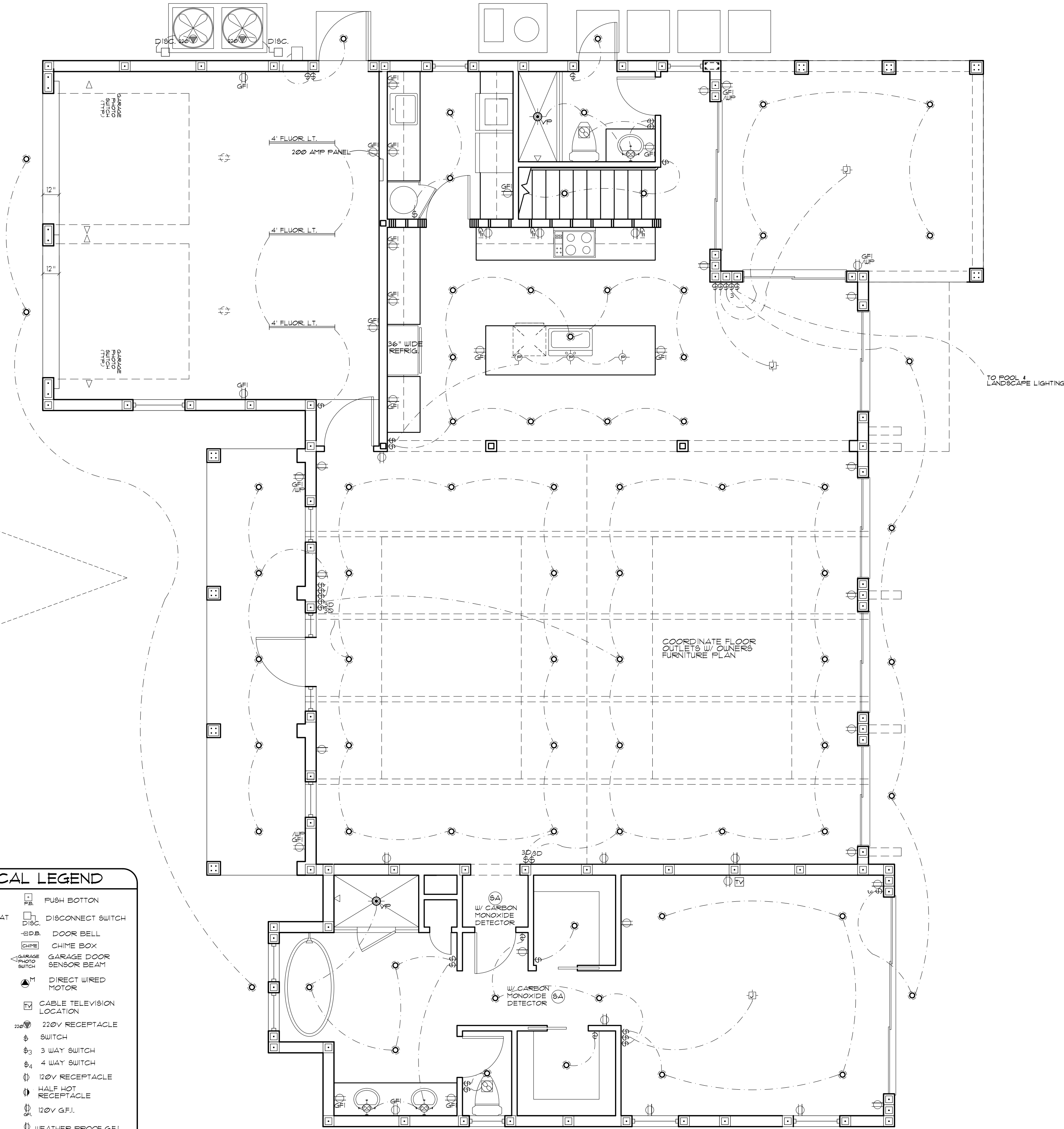
ELECTRIC NOTE:

ELECTRICAL CONTRACTOR TO PROVIDE AFCI CIRCUIT BREAKERS FOR ALL CIRCUITS PER N.E.C. 210.12(B).

ALL RECEPTACLES ARE REQUIRED TO BE TAMPER RESISTANT PER N.E.C. 406.11

ELECTRICAL CONTRACTOR TO VERIFY ALL ELECTRICAL LOADS. IF ANY ADJUSTMENTS NEED TO BE MADE A NEW PLAN WOULD BE SUBMITTED PRIOR TO THE C.O.

ALL SMOKE ALARMS TO HAVE CARBON MONOXIDE DETECTORS AS WELL AS SMOKE ALARM. THESE NEED TO BE INSIDE ALL SLEEPING ROOMS AND WITHIN 40' FEET OF THE OUTSIDE OF ALL SLEEPING ROOMS. ALL TO BE INTERCONNECTED.



REVISIONS

PROPOSED RESIDENCE FOR:

MAURICE SALAMA

61 COLONY ROAD

JUPITER INLET COLONY

33463

J. SCOTT BARUCH

& ASSOCIATES

110 BEACON LANE

JUPITER, FLORIDA

AR-0014964

DRAWN

G.R.G.

CHECKED

J.S.B.

DATE

9/9/19

SCALE

AS SHOWN

JOB NO.

SHEET

OF

SHEETS

PROPOSED RESIDENCE FOR:

MAURICE SALAMA

671 COLONY ROAD

JUPITER INLET COLONY

33463

J. SCOTT BARUCH
& ASSOCIATES

178 BEACON LANE

JUPITER, FLORIDA

AR-0014964

DRAIN

G.R.G.

CHECKED

J.S.B.

DATE

9/3/19

SCALE

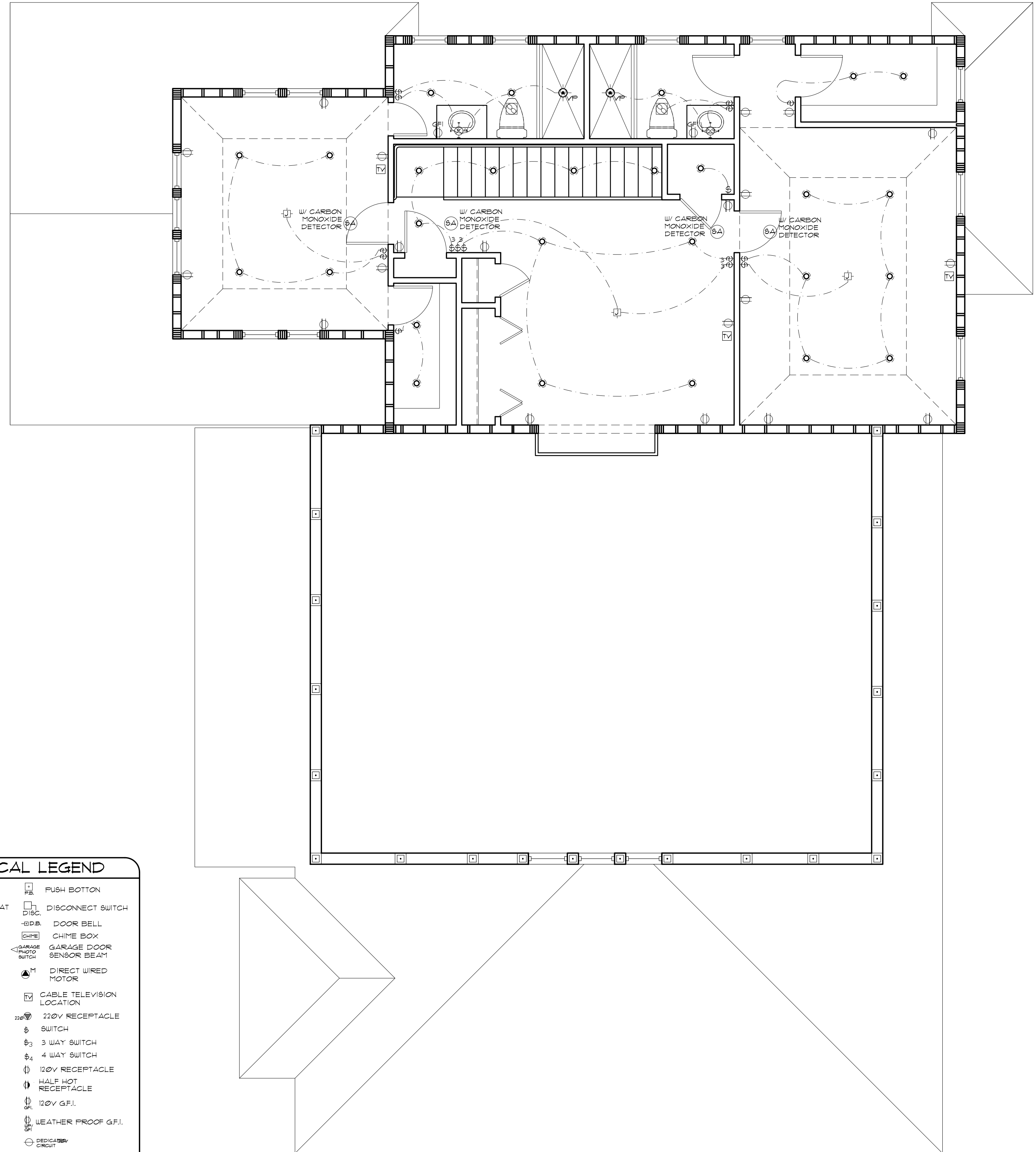
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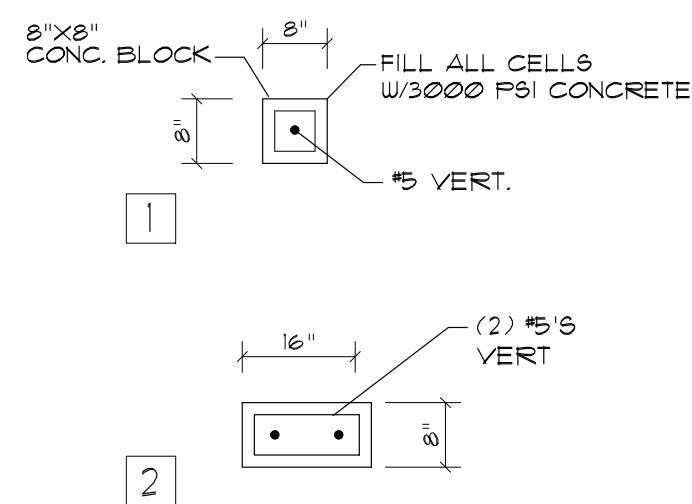
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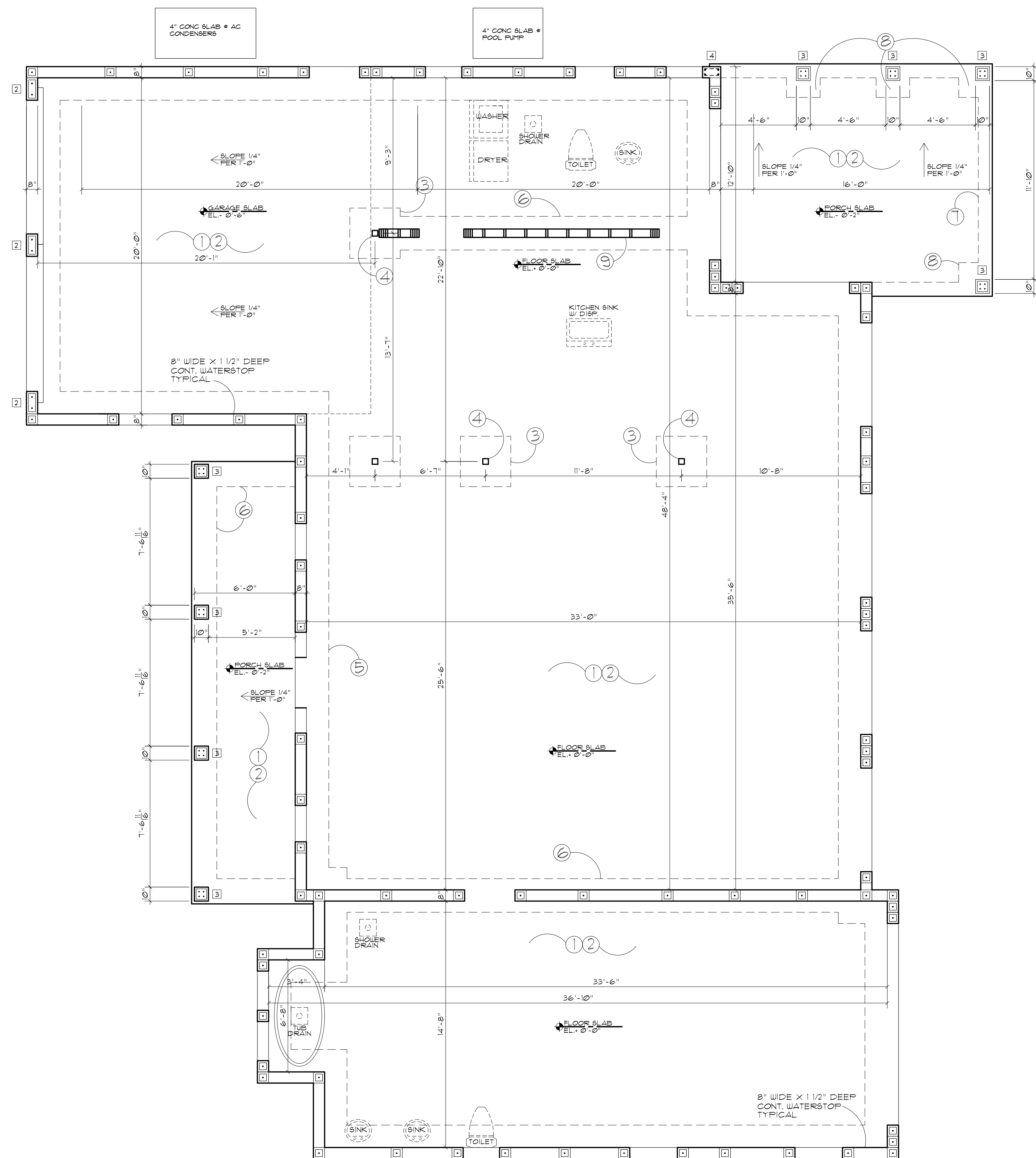
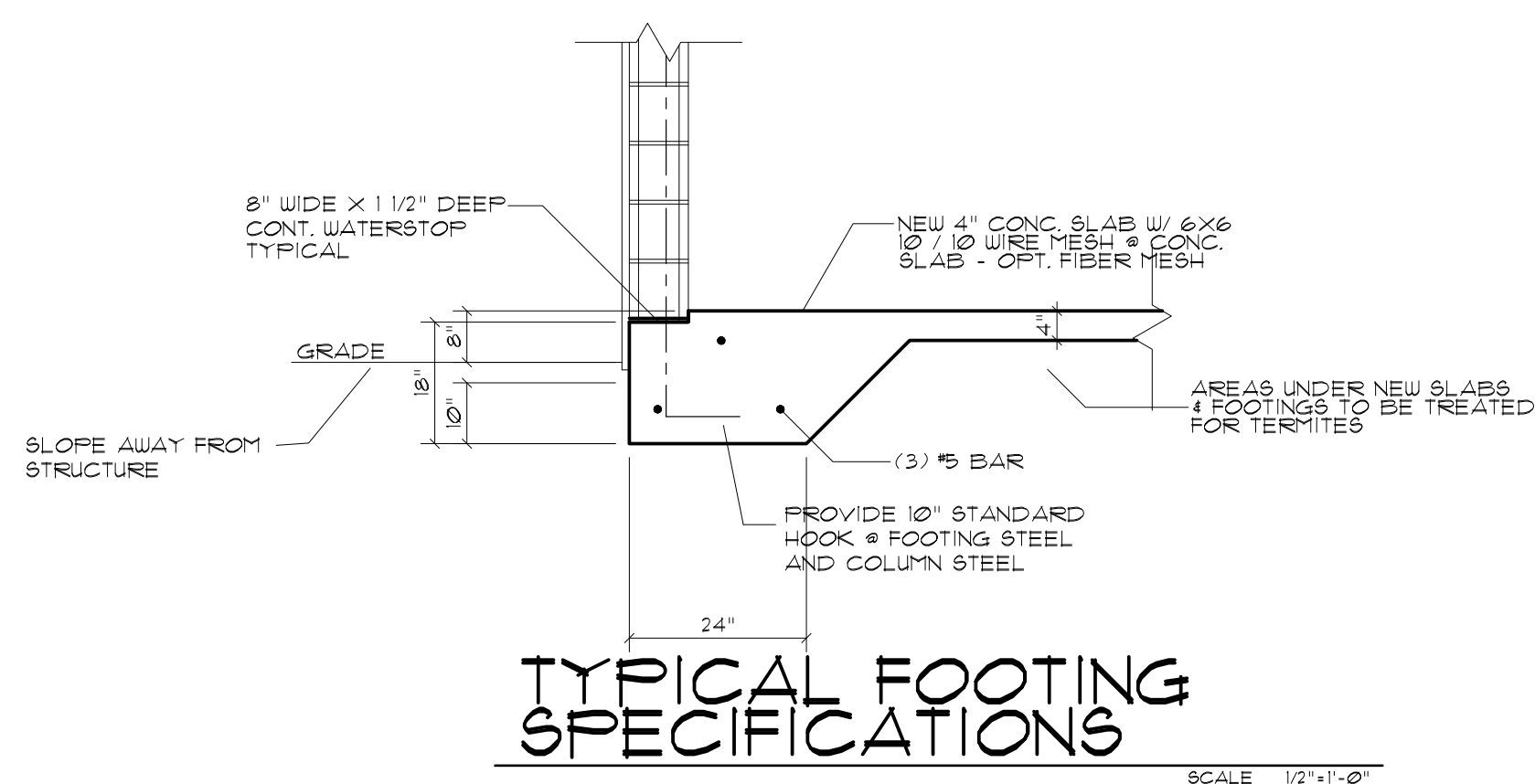
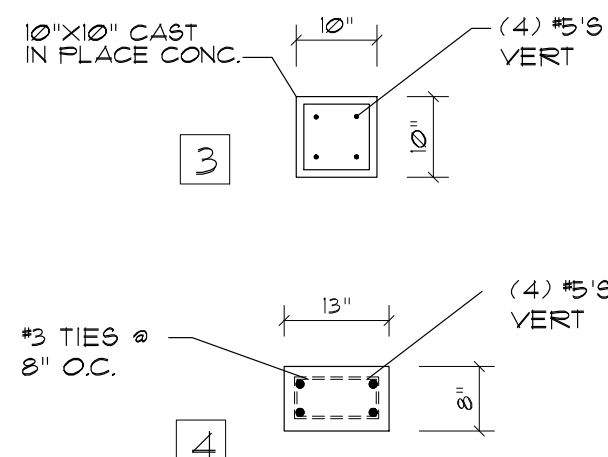
ELECTRICAL LEGEND

○ RECESSED HI-HAT	□ FUSE
○ MINI RECESSED HI-HAT	□ DISCONNECT SWITCH
□ JUNCTION BOX	□ DOOR BELL
○ GLOBE LIGHT	□ CHIME BOX
— FLUORESCENT LIGHT	□ GARAGE DOOR SENSOR BEAM
○ VAPOR PROOF RECESSED LIGHT	□ DIRECT WIRE MOTOR
○ WALL MOUNTED FIXTURE	□ CABLE TELEVISION LOCATION
KEYLESS LIGHT FIXTURE	□ 220V RECEPTACLE
□ EXHAUST FAN	□ SWITCH
□ FLOOD LIGHT	□ 3 WAY SWITCH
○ HARD WIRE SMOKE ALARM	□ 4 WAY SWITCH
○ PENDANT LIGHT FIXTURE	□ 120V RECEPTACLE
□ CEILING FAN	□ HALF HOT RECEPTACLE
□ PHONE JACK	□ 120V G.F.I.
	□ WEATHER PROOF G.F.I.
	□ DISCONNECT
	○ FLOOR OUTLET

ALL CONCRETE FOR NEW FOOTINGS SHALL NOT HAVE LESS THAN (2500 P.S.I.)
STRUCTURAL VALUE @ 28 DAYS
5. SOIL SHALL BE COMPACTED (MIN. 2500 P.S.F.)
6. PROVIDE REINFORCING STEEL PER DETAIL
4. PROVIDE VISQUEEN VAPOR BARRIER @ NEW SLAB AND FOOTING
7. SOIL SHALL BE DENSED USING VIBRATORY DIMENSIONS, ANY DISCREPANCIES
SHOULD BE BROUGHT TO THE ARCHITECT'S ATTENTION CONTINUING AN
WORK
6. SITE SOILS HAVE BEEN ASSUMED SUITABLE FOR SUPPORTING 2500 PSF WITH
THE NEW FOOTING. THE ARCHITECT ASSIGNS RESPONSIBILITY FOR THE
THE ACCURACY OF THE SOILS EXPLORATION OR RECOMMENDATIONS OR SOIL @
EXISTING FOOTINGS. IT WILL BE THE RESPONSIBILITY OF OTHERS TO PERFORM
COMPREHENSIVE SOIL TESTING AND REPORTS TO CERTIFY THAT
THE SITE SOILS MEET THE 2500 PSF REQUIREMENT.



1. NEW 4" CONC. SLAB W/ 6X6 10 / 10 WIRE MESH @ CONC. SLAB - OPT. FIBER MESH
2. AREAS UNDER NEW SLAB 4 FOOTINGS TO BE TREATED FOR TERMITES
3. 3X12" STEEL COLUMNS W/ 6" DIA. O.C. BOTH WAYS.
4. 24"X24" STEEL BEAMS SEE DETAIL.
5. 24"X18" MONOLITHIC FOOTING W/ 3 - 5 BAR CONT.
6. 24"X12" MONOLITHIC FOOTING W/ 3 - 5 BAR CONT.
7. 18"X12" THICKENED EDGE W/ 2 - 5 BAR CONT.
8. 2'X2'X12" CONC. FOOTING W/ 5 BAR 6" O.C. BOTH WAYS.
9. NEW 2" X 6" WOOD STUD BEARING WALL 16" O.C. - 2"X6" SPPF; WOOD STUDS @ 16"
10. CONTRACTOR TO VERIFY COMPACTION (1500 P.S.F.) OF NEW FOOTINGS & SLAB



SCALE 1/4" = 1'-0"

ROOF FRAMING PLAN KEY:

- 3/12 ROOF SLOPE
- 8/12 ROOF PLORE
- FRE-ENGINEERED ROOF TRUSSES @ 24" O.C.
- 18" DEEP FLOOR TRUSSES @ 16" O.C. - SEE TRUSS DRAWINGS
- 8"x24" TIE BEAM W/ 2 #5 BAR TOP, 2 #5 BAR MID, AND 2 #5 BAR BOT
- 4"x4" STEEL COLUMN W/ STEEL BUCKET - SEE DETAIL
- 3"x6" RAFTERS @ 24" O.C.
- 2'-2"x8" F.T. WOOD BEAM
- TRUSS GIRDER - SEE FRE-ENGINEERED TRUSS DRAWINGS
- STRUCTURAL BRACKET - SEE DETAIL
- FLUSH FRAME TRUSS/JOIST HEADER
- 2"x8" LEDGER - PROVIDE 1/2" X 3/4" LAG BOLTS W/ 1/2" WASHERS 16" O.C. ALTERNATE TOP AND BOTTOM 1/3RD OF LEDGER
- 2"x12" STAIR STRINGERS @ 12" O.C.
- SIMPSON LUS28-2 FACE MOUNT JOIST HANGER W/ 14 - 16D NAILS TYPICAL
- 1"x8" LEDGER - PROVIDE 16D NAILS 2 PER STUD 16" O.C.
- 8"x12" TIE BEAM W/ 4 - #5 BAR CONT.
- SIMPSON LUS28-2 FACE MOUNT JOIST HANGER W/ 4-16D NAILS @ JOIST & 6 - 2" X 1/4" TAP CONS @ TIE BEAM
- FLOOR JOISTS TO CANTILEVER
- 2"x8" RAFTERS @ 24" O.C.
- 208"x16" TIE BEAM W/ 2 #5 BAR TOP, 2 #5 BAR MID, AND 2 #5 BAR BOT
- 8"x22" TIE BEAM W/ 2 #5 BAR TOP, 2 #5 BAR MID, AND 2 #5 BAR BOT
- 2"x6" RAFTERS @ 24" O.C.

NOTE: CONTRACTOR TO PROVIDE FIELD MEASUREMENTS VERIFYING TRUSS DIMENSIONS PRIOR TO FABRICATION.

GENERAL ROOF NOTES:

- ALL PRE-ENGINEERED BEAMS TO BE DESIGNED BY TRUSS/ BEAM MANUFACTURER.
- ALL JOISTS/ BEAMS NOT SPECIFICALLY ADDRESSED ARE ASSUMED TO HAVE AN UPLIFT OF 1500# AND ARE TO BE SECURED WITH A SIMPSON HTS-16 OR HETAL-16 DEPENDING ON BEARING SURFACE.
- ROOF SHEATHING TO BE BE NAILED AS GABLE END ZONE ALL OVER, 8D RING SHANK OR 10D COMMON NAIL
- ALL NAILS TO BE GALVANIZED
- 4" O.C. ON EDGES
- 6" O.C. IN FIELD
- ALL SHEATHING TO BE EXTERIOR GRADE CDX PLYWOOD WITH GRAIN PERPENDICULAR TO TRUSS.
- NO SHEATHING PIECES ALLOWED TO BE UNDER 2' SQUARE OR RIPPED UNDER 16' ALONG &
- LENGTH
- ALL WOOD USED IN THE ROOF SYSTEM FOR CRICKETS, BRACING, LEDGERS, RAT RUNS ETC. ARE TO BE:
- NO 2 STR
- NO 2 HEV/ FUR
- NO 2 FT
- ALL CRICKETS TO BE HAND FRAMED AS FOLLOWS:
- 5" RAFTER LENGTH + 2x4 @ 16" O.C.
- 10" RAFTER LENGTH + 2x6 @ 16" O.C.
- ALL VALLEYS AND HIP RIDGES REQUIRED TO HAVE CATS. CATS TO BE 2" X 4" WITH A MAXIMUM JOINT GAP OF 1/8" EACH END.

CONNECTOR SCHEDULE

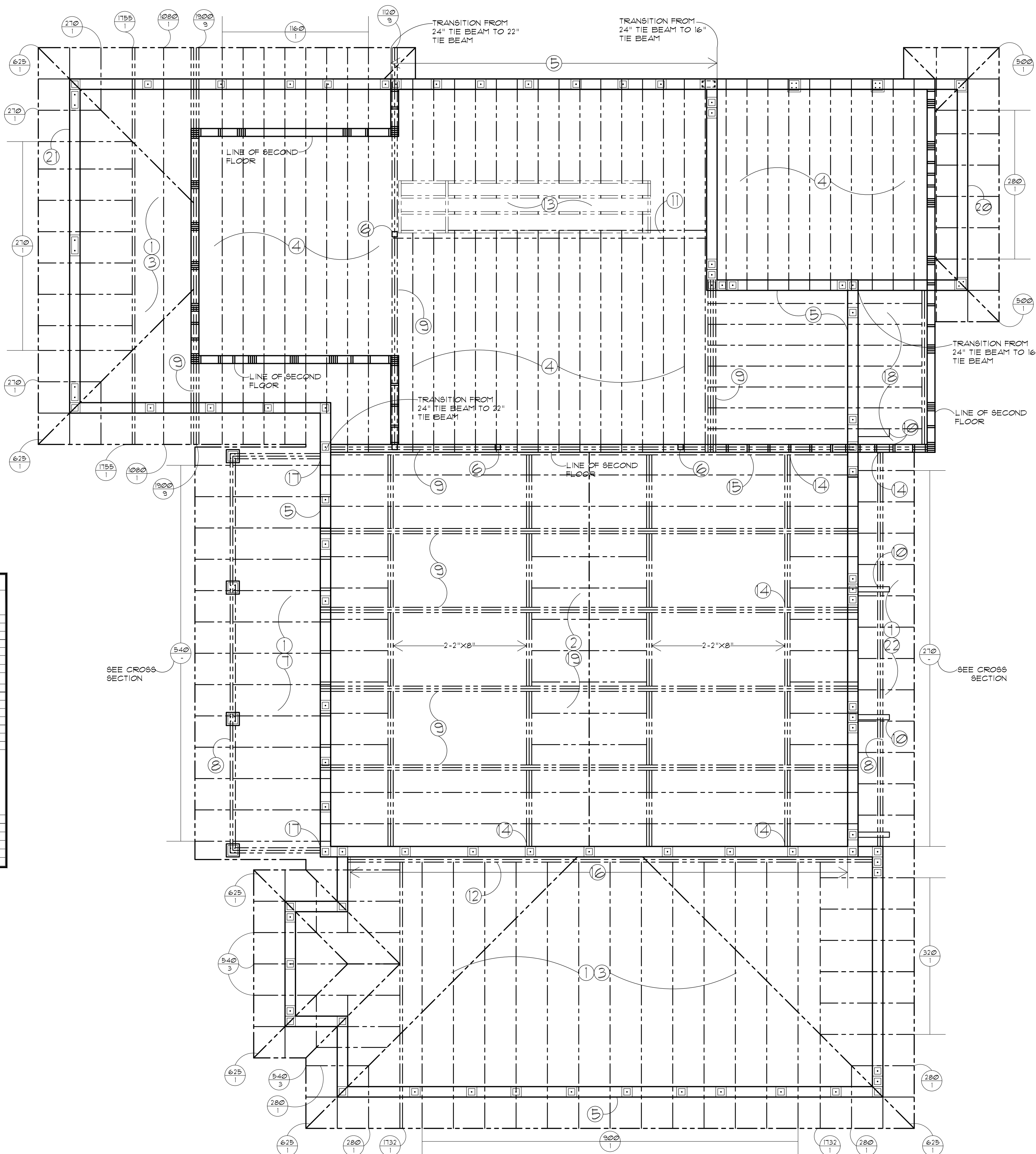
ID.	MFG R.	CONNECTOR	LATERAL FL/F2	UPLIFT	FASTENERS	FLORIDA APPROVAL *
1(+)	SIMPSON	HETAL-16	4/8/100	1810	EMBED	(14) 10d X 1-1/2" 12
1A	SIMPSON	DETAL-16	2,000/1,310	2,480	EMBED	(18) 10d X 1-1/2" 14T3
2	USP	HLPTA-15	2,600/1,115	2,125	EMBED	(20) 10d X 1-1/2" 12-1
3	USP	RT16A	800/645	1,300	(8) 10d	(3) 10d X 1-1/2" 8T1
3A	USP	RT16-2	655/415	1,600	(8) 8d	(8) 8d 8T1
3B, 11	USP	RT16M	630/480	1,305	(4) 1/4" X 1-3/4" TAPCONS	(5) 10d X 1-1/2" FL07139
4, 4A, 4B	GUSTON	WALL BRACKET 1/4" THK. STEEL			SEE DETAIL	SEE DETAIL
5	SIMPSON	HUC0410-SDS		2,510	(1/4" X 4" TAPCONS (2) 9, 905 2-1/2" (10) 16d	(6) SDS 1/4" X 2-1/2" 11-468
6	SIMPSON	HUC0412		3,635	(10) 16d	(10) 16d 10-655
8	SIMPSON	HD-3B		3,150	5/8" BOLT	(2) 5/8" BOLTS 16-0
9	SIMPSON	HD-3B		4,505	5/8" BOLT	(2) 3/4" BOLTS 16-0
9A	SIMPSON	MST		3,965	5/8" BOLT	(22) 10d 11-410
10	SIMPSON	HD-1B		6,645	1/8" BOLT	(3) 3/4" BOLTS 16-0
11	SIMPSON	HD-3B		3,950	1/8" BOLT	(3) 1/8" BOLTS 16-0
12	SIMPSON	TS-7-22		1,281/1,420	(3) 16d	(3) 16d 10-952
13	SIMPSON	CB5G44/66-SDS		5,335/6,855	EMBED	(14) SDS 1/4" X 2" ER5552
14	(2) JACKS WITH (4) TS-22 @ TOP AND HD-3B BOTTOM, USE FOUR (3) TS2 STRAPS @ BOTTOM WHEN STUDS ARE ATOP GIRDERS.					
15	(3) 2"x6" JACKS OR 4X6 FT POST WITH (4) SIMPSON TS/ST-22 @ TOP AND HD3B @ BOTTOM USE SIMPSON CGG64/66 SDS @ BOTTOM WHEN STUDS ARE ATOP GIRDERS.					
16	(2) 5/8" DIA. X 12" LONG POWERS CONC. SCREWS W/ WASHERS THRU GIRDER LEG-DOWN INTO ADJACENT CONCRETE COLUMN.					
17	(3) 3/4" DIA. X 8" LONG POWERS CONCRETE SCREWS W/ WASHERS THRU GIRDER LEG-DOWN INTO ADJACENT CONCRETE COLUMN.					
18	SIMPSON	CGG 44/66-SDS		5,680/1,145	(14) SDS 1/4x2-1/4	(16) SDS 1/4x2-1/4 10-860
19	SIMPSON	LGT		2,150	(1) 1/4 X 2-1/4 TITEN	(6) 16d 11-410
20	SIMPSON	ABU 44/66		2,200/2,300	5/8" X 6" POWERS CONC. SCREW	(12) 16d 10-843
21	SIMPSON	HUC 10/22 10/4		3,665	1/8" X 8" POWERS CONC. SCREW	(14) 1/4 X 2-1/2 SDS 11-10
22	SIMPSON	FGTR/2FGTR		5,000/3,400	(2) 1/2 X 3 TITEN	(8) SDS 1/4 X 3 11-415
23, 23A	SIMPSON	LGT3		3,685	(4) 3/8" X 5" TITEN HD	(12) SDS 1/4x2-1/4 11-410

- ALL BOLTS TO CONCRETE TO BE THREADED ROD, FASTENED INTO THE CONCRETE WITH EPOXY.
- TWO PART EPOXY OR EQUIVALENT OR RED HEAD LDT CONC. SCREWS. DO NOT USE EXPANSION ANCHORS. MINIMUM EMBEDMENT IS 6" FOR 1/2" AND 5/8" DIA. 8" FOR 3/4" DIA. AND 10" FOR 1/8" AND 1" DIA. BOLTS. ALTERNATE 5/8" X 6" OR 3/4" X 8" RED HEAD LDT CONC. SCREWS.
- INSTALL 30" FELT UNDER MEMBER
- (2) HETAL-16 SPACED 1-1/2" APART IN CONC. (1 MEMBER TRUSS) (12) 10d X 1-1/2" NAILS + 2035/2136 UPLIFT
- (2) HETAL-16 SPACED 3" APART IN CONC. (2 MEMBER TRUSS) (12) 16d NAILS + 3500/2100 UPLIFT
- PER SIMPSON STRONG-TIE LETTER - MULTIPLE EMBEDDED STRAPS - ADDITIONAL 8% IF TIE BEAM
- (2) HLPTA-15 SPACED 3" APART IN CONC. + 3500 UPLIFT
- MUST HAVE 5 NAILS IN TRUSS SEAT
- ADD 2x6 NAILER @ 2 MEMBER GIRDER

GENERAL ROOF NOTES

- ALL TRUSSES NOT SPECIFICALLY ADDRESSED HAVE UPLIFT @ 950# AND ARE TO BE SECURED TO CONCRETE BEARING SURFACES WITH A SIMPSON HETAL-16 OR TO WOOD BEARING SURFACES WITH (USP) RT-16A. ALL END JACKS, CORNER JACKS AND HIP JACKS LESS THAN 3 FOOT SPAN CAN BE SECURED TO CONCRETE W/ A SIMPSON "HETA-20" W/ (5) 10d X 1-1/2" NAILS OR TO WOOD WITH A SIMPSON "TS-18" W/ (8) 16d NAILS.
- HIGH PROFILE CONCRETE TILE IS TO BE SECURED WITH TWO 10d NAILS AND A CLIP, OR ALTERNATE APPROVED METHOD, AS REQUIRED, IN THE END ZONES OF THE ROOF.
- RT16A AND RT16-2 CONNECTORS MAY BE SUBSTITUTED FOR EACH OTHER, DEPENDING ON WHETHER THE GIRDER IS A ONE MEMBER OR TWO MEMBER. RT16A'S MAY BE USED TO SECURE TRUSSES TO TIE-BOND BM WHERE THE LAYOUT WAS MISSED WITH (4) TAPCONS AS DESCRIBED ABOVE. TS2 STRAPS WITH (4) TAPCONS MAY ALSO BE USED AT AN ANGLE WALL/TRUSS.
- CONNECTORS HAVE BEEN SELECTED TO PROVIDE ADEQUATE LATERAL RESISTANCE.
- CONNECTOR VALUES EXCLUDE A 33% INCREASE IN STRENGTH.

CONNECTOR LEGEND



LOWER ROOF/2ND FLOOR FRAMING PLAN

SCALE 1/4"=1'-0"

TRUSS DESIGN CRITERIA

APPLICABLE CODE = FL BLDG CODE 2011, 6th EDITION
CHAPTER 1609, USING ASCE 7-10
WIND SPEED = 170 mph (ULT), 132 mph (ASD)
R3 (ENCLOSED), EXPOSURE "C"
TPI-2007 ASCE 7-10

ROOF TRUSSES:
TOP CHORD LIVE LOAD: 30 P.S.F.
TOP CHORD DEAD LOAD: 15 P.S.F.
BOTTOM CHORD LIVE LOAD: 10 P.S.F. (NON-RECURRING)
BOTTOM CHORD DEAD LOAD: 10 P.S.F.
* TOTAL LOAD: *55 P.S.F. @ 133 DURATION FACTOR

1. TRUSS MANUFACTURER SHALL SUBMIT PLANS AND ENGINEERING DRAWINGS FOR PERMIT, WHICH SHALL BE CERTIFIED BY AN ENGINEER REGISTERED IN THE STATE OF FLORIDA.
2. ALL MEMBERS SHALL BE SO FRAMED, ANCHORED, TIED AND BRACED THAT THEY HAVE THE REQUIRED STRENGTH & RIGIDITY.
3. GENERALLY, WALL SIZES INDICATED ARE BASED ON NOMINAL LUMBER SIZES. CARE SHOULD BE TAKEN DURING LAYOUT TO HOLD ALL EXTERIOR DIMENSIONS AND WORK INTERIOR DIMENSIONS TO THE CENTER LINE OF WALLS.
4. ALL PLYWOOD SHALL BE IDENTIFIED WITH THE APPROPRIATE GRADE/TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION.
5. ALL PLYWOOD EXPOSED TO THE WEATHER SHALL BE EXTERIOR TYPE.
* 6. ADD 150 LIVE LOAD @ BOTTOM CHORD FOR ATTIC STORAGE

DOOR / WINDOW BUCK NOTES

2x FT BUCK (MATCH FRAME WIDTH) ATTACHED TO CBS W/ 1/4"x4" TAPCONS 4" FROM EACH END AND 12" O.C. REMAINDER.

OR

1"xPT CUSTOM BUCK (WIDTH OF WINDOW FRAME) ATTACHED TO CBS W/ 1" NAILS @ 12" O.C. AND WINDOW FRAMES ATTACHED THROUGH THE FRAME, BUCKS AND SHIMS INTO THE CBS W/ TAPCONS PER MFG'R INSTRUCTIONS.

PT 2"x6" ATTACHED TO THE CBS W/ 5/8" x 6" TITEN CONCRETE SCREWS W/ 1/4"x3" STEEL WASHERS 6" FROM EACH END, 24" O.C. REMAINDER.

WINDOW NOTES

1. ALL WINDOWS SECURED TO WOOD BUCKS OR THROUGH WOOD BUCKS INTO CBS AS PER MANUFACTURERS SPECIFICATIONS TO MEET MINIMUM 170 MPH INSTALLATION.

2. DOOR UNIT CHOSEN FOR PROJECT. BUILDER TO COORDINATE EXACT MASONRY OPENING WITH MASONRY SUBCONTRACTOR WINDOW / DOOR SUPPLIER.
NOTE: SOME DOORS HAVE A TOLERANCE OF 1/4" MAX. ADJUST MASONRY OPENINGS AS REQUIRED FOR BUCK AND DOOR SYSTEM CHOSEN.

3. ALLOWABLE SHIM SPACING AND TOLERANCE BETWEEN WINDOW FRAME AND WINDOW BUCK
A. LESS THAN 1/4": NO SHIM REQUIRED
B. GREATER THAN 1/4": CONTINUOUS PAD-OUT OF THE BUCK IS NECESSARY

CONNECTOR SCHEDULE							
ID.	MFG'R	CONNECTOR	LATERAL F/2	UPLIFT	FASTENERS	FLORIDA APPROVAL *	
1A	SIMPSON	HETAL-16	415/1000	1200	EMBED	(14) 10d x 1-1/2" 2	11413
1A	SIMPSON	DETAL-16	2200/1310	2480	EMBED	(18) 10d x 1-1/2" 1	11413
2	USP	HLPTA-15	1840/115	2125	EMBED	(10) 10d x 1-1/2" 1	1241
3	USP	RT16A	800/645	1380	(8) 10d	(3) 10d x 1-1/2" 1	811
3A	USP	RT16-2	855/415	1160	(8) 8d	(8) 8d	811
3B	USP	RT16H	630/480	1395	(14) 1/4" x 1 3/4" TAPCONS	(5) 10d x 1-1/2" 1	FL0735
4A-4B	CUSTOM WALL BRACKET 1/4" THK. STEEL. SEE DETAIL						
5	SIMPSON	HUCQ410-SD5		2510	1/4" x 4" TAPCONS (CNU) (3) 8d x 1-1/2" (9000)	(6) 5D5 1/4" x 2-1/2" 1	11468
6	SIMPSON	HUSC412		3635	(10) 16d	(10) 16d	10655
8	SIMPSON	HD-3B		3130	5/8" BOLT	(2) 5/8" BOLTS	160
9	SIMPSON	HD-5B		4365	5/8" BOLT	(2) 3/4" BOLTS	160
9A	SIMPSON	MG1		3965	5/8" BOLT	(2) 10d	11410
10	SIMPSON	HD-TB		6645	7/8" BOLT	(3) 3/4" BOLTS	160
11	SIMPSON	HD-TB		9510	7/8" BOLT	(3) 7/8" BOLTS	160
12	SIMPSON	TS 7-6T-22		1215/420	(3) 16d	(3) 16d	10952
13	SIMPSON	CBGQ44/66-5D52		5335/6855	EMBED	(14) 5D5 1/4" x 2" 1	ER5952
14	(2) JACKS WITH (4) TS-22 @ TOP AND HD-3B BOTTOM. USE FOUR (5) 1502 STRAPS @ BOTTOM WHEN STUDS ARE ATOP GIRDERS.						
15	(3) 2"x6" JACKS OR 4X6 PT POST WITH (4) SIMPSON TS/6T-22 @ TOP AND HD5B @ BOTTOM USE SIMPSON CCBG44/66 5D525 @ BOTTOM WHEN STUDS ARE ATOP GIRDERS.						
16	(2) 5/8" DIA. x 8" LONG POWERS CONC. SCREWS W/ WASHERS THRU GIRDER LEG-DOWN INTO ADJACENT CONCRETE COLUMN.						
17	(3) 3/4" DIA. x 8" LONG POWERS CONCRETE SCREWS W/ WASHERS THRU GIRDER LEG-DOWN INTO ADJACENT CONCRETE COLUMN.						
18	SIMPSON	CCG 44/66 5D525		5820/1145	(14) 5D5 1/4x2-1/4	(16) 5D5 1/4x2-1/4	10860
19	SIMPSON	LGT2		2150	(7) 1/4 x 2-1/4 TITEN	(16) 16d	11410
20	SIMPSON	ABU 44/66		2200/2300	5/8" x 6" POWERS CONC. SCREW	(12) 16d	10849
21	SIMPSON	HD-5	10/22/10/4	9665	1 1/8" x 8" POWERS CONC. SCREW	(24) 1/4" x 2-1/2 5D5	11-40
22	SIMPSON	FGTR/72 FGTR		3600/3400	(2) 1/2 x 5 TITEN	(8) 5D5 1/4 x 3	11413
23A	SIMPSON	LGT3		3685	(4) 3/8" x 5" TITEN HD/12/2	5D5 1/4x2-1/4	11410

- ALL BOLTS TO CONCRETE TO BE THREADED ROD FASTENED INTO THE CONCRETE WITH EPICON TWO PART EPOXY OR EQUIVALENT OR RED HEAD LDT CONC. SCREWS. DO NOT USE EXPANSION ANCHORS. MINIMUM EMBEDMENT IS 6" FOR 1/2" AND 5/8" DIA, 8" FOR 3/4" DIA. AND 10" FOR 1" DIA. AND 1" DIA. BOLTS. ALTERNATE 5/8" x 6" OR 3/4" x 8" RED HEAD LDT CONC. SCREWS.
- INSTALL 30# FELT UNDER MEMBER
- (2) METAL 16" SPACED 1-1/2" APART IN CONC. (1) MEMBER TRUSS (12) 10d x 1-1/2" NAILS + 2035/2198 UPLIFT
- (2) METAL 16" SPACED 3" APART IN CONC. (2) MEMBER TRUSS (12) 16d NAILS + 2500/2100 UPLIFT PER SIMPSON STRONG-TIE LETTER + MULTIPLE EMBEDDED STRAPS + ADDITIONAL 2# IF TIE BEAM (2) HLPTA-15 SPACED 3" APART IN CONC. + 3500 UPLIFT
- MUST HAVE 5 NAILS IN TRUSS SEAT
- ADD 2x6 NAILER @ 2 MEMBER GIRDER

- GENERAL ROOF NOTES

1. ALL TRUSSES NOT SPECIFICALLY ADDRESSED HAVE UPLIFT @ 950# AND ARE TO BE SECURED TO CONCRETE BEARING SURFACES WITH A SIMPSON HETAL-16 OR TO WOOD BEARING SURFACES WITH A (10P) RT-16A. ALL END JACKS, CORNER JACKS AND HIP JACKS LESS THAN 9 FOOT SPAN CAN BE SECURED TO CONCRETE W/ A SIMPSON "HETA-20" W/ (5) 10d x 1-1/2" NAILS OR TO WOOD WITH A SIMPSON TS-18" W/ (8) 16d NAILS.

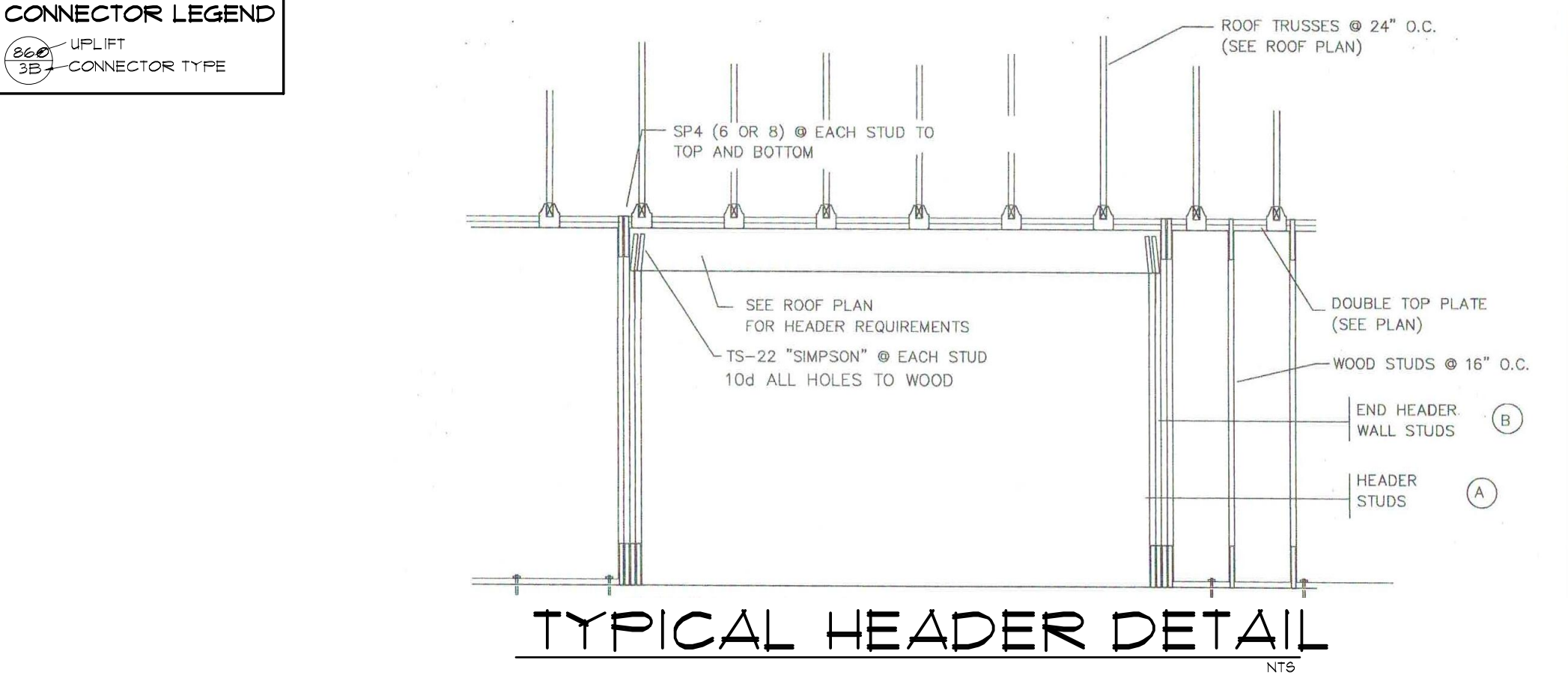
2. HIGH PROFILE CONCRETE TILE IS TO BE SECURED WITH TWO 10d NAILS AND A CLIP, OR ALTERNATE APPROVED METHOD, AS REQUIRED IN THE END ZONES OF THE ROOF.

3. RT16A AND RT16-2 CONNECTORS MAY BE SUBSTITUTED FOR EACH OTHER DEPENDING ON WHETHER THE GIRDER IS A ONE MEMBER OR TWO MEMBER. RT16A'S MAY BE USED TO SECURE TRUSSES TO TIE-BOND BM WHERE THE LAYOUT WAS MISSED WITH (4) TAPCONS AS DESCRIBED ABOVE.

1502 STRAPS WITH (4) TAPCONS MAY ALSO BE USED AT AN ANGLE WALL/TRUSS.

4. CONNECTORS HAVE BEEN SELECTED TO PROVIDE ADEQUATE LATERAL RESISTANCE.

5. CONNECTOR VALUES EXCLUDE A 33% INCREASE IN STRENGTH.



MINIMUM WALL HEADER STUD REQUIREMENTS						
UNSUPPORTED WALL HEIGHT	STUD TYPE	MAXIMUM HEADER SPAN (FT)				
		3'	6'	9'	12'	15'
UNDER 10 FEET	HEADER STUDS (A)	1	2	2	2	2
	WALL STUDS (B)	2	2	3	3	3
OVER 10 FEET	HEADER STUDS (A)	1	2	2	2	3
	WALL STUDS (B)	2	2	3	3	4

ROOF FRAMING PLAN KEY:

1. 3/12 ROOF SLOPE
2. 8/12 ROOF SLOPE
3. PRE-ENGINEERED ROOF TRUSSES @ 24" O.C.
4. 8"x12" TIE BEAM W/ 4" x 5 BAR
5. 2"x6" STUDS @ 16" O.C. BEARING WOOD WALL
6. TRUSS GIRDER - SEE PRE-ENGINEERED TRUSS DRAWINGS
7. 3/12 SLOPE @ BOTTOM CHORD OF TRAY CEILING
8. 2"x8" RAFTERS @ 24" O.C.
9. 4-2"x4" STUDS (TYPICAL) - SEE WOOD WALL DETAIL FOR STRAPPING
10. 2-2"x8" LINTEL

GENERAL ROOF NOTES:

1. ALL PRE-ENGINEERED BEAMS TO BE DESIGNED BY TRUSS/ BEAM MANUFACTURER.

2. ALL JOIST/ BEAMS NOT SPECIFICALLY ADDRESSED ARE ASSUMED TO HAVE AN UPLIFT OF 1300# AND ARE TO BE SECURED WITH A SIMPSON HTS-16 OR HETAL-16 DEPENDING ON BEARING SURFACE.

3. ROOF SHEATHING TO BE NAILED AS GABLE END ZONE ALL OVER.
8D RING SHANK OR 10D COMMON NAIL
ALL NAILS TO BE GALVANIZED
4" O.C. ON EDGES
6" O.C. IN FIELD

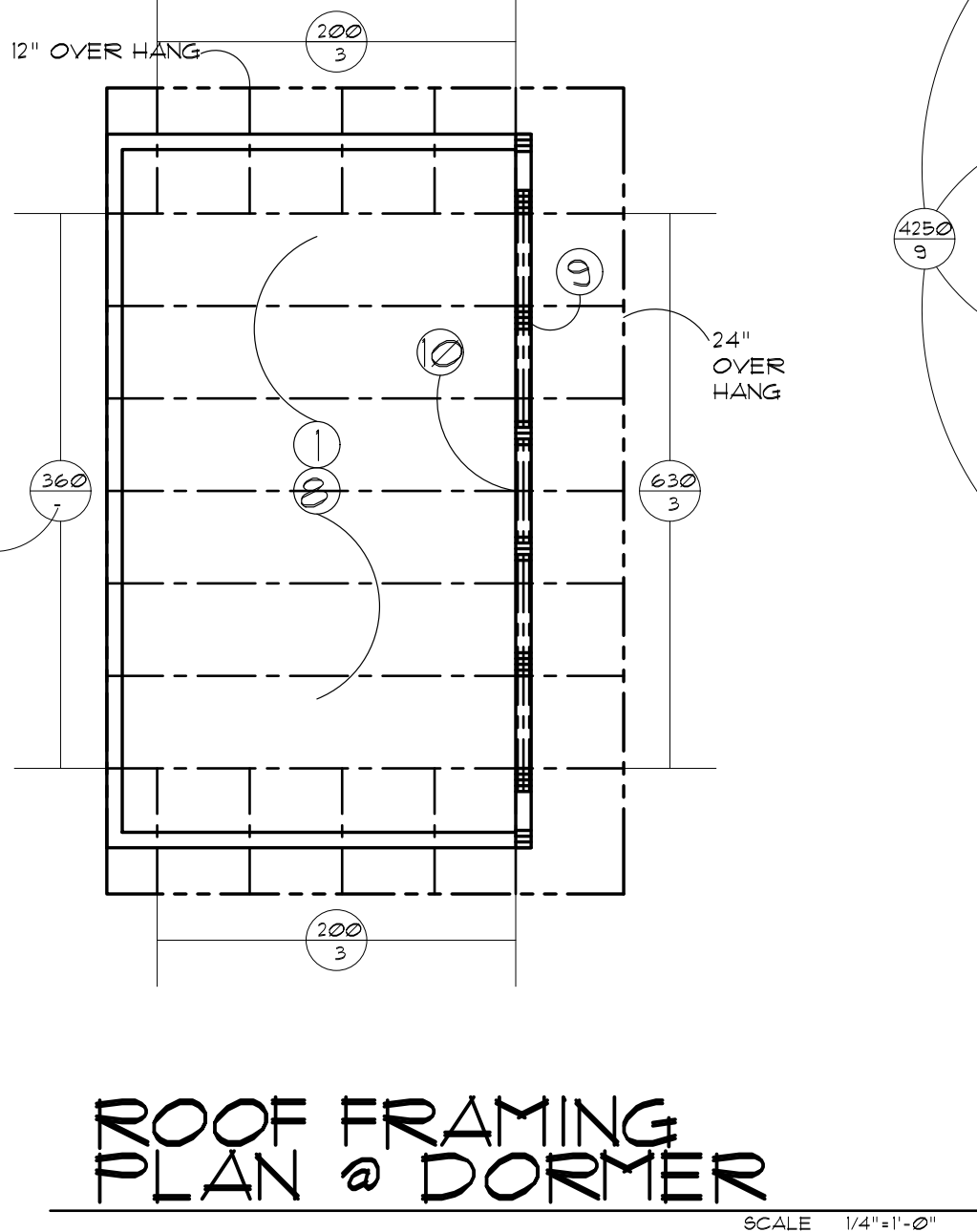
4. ALL SHEATHING TO BE EXTERIOR GRADE CDX PLYWOOD WITH GRAIN PERPENDICULAR TO TRUSS.

5. NO SHEATHING PIECES ALLOWED TO BE UNDER 2' SQUARE OR RIPPED UNDER 16" ALONG 8' LENGTH.

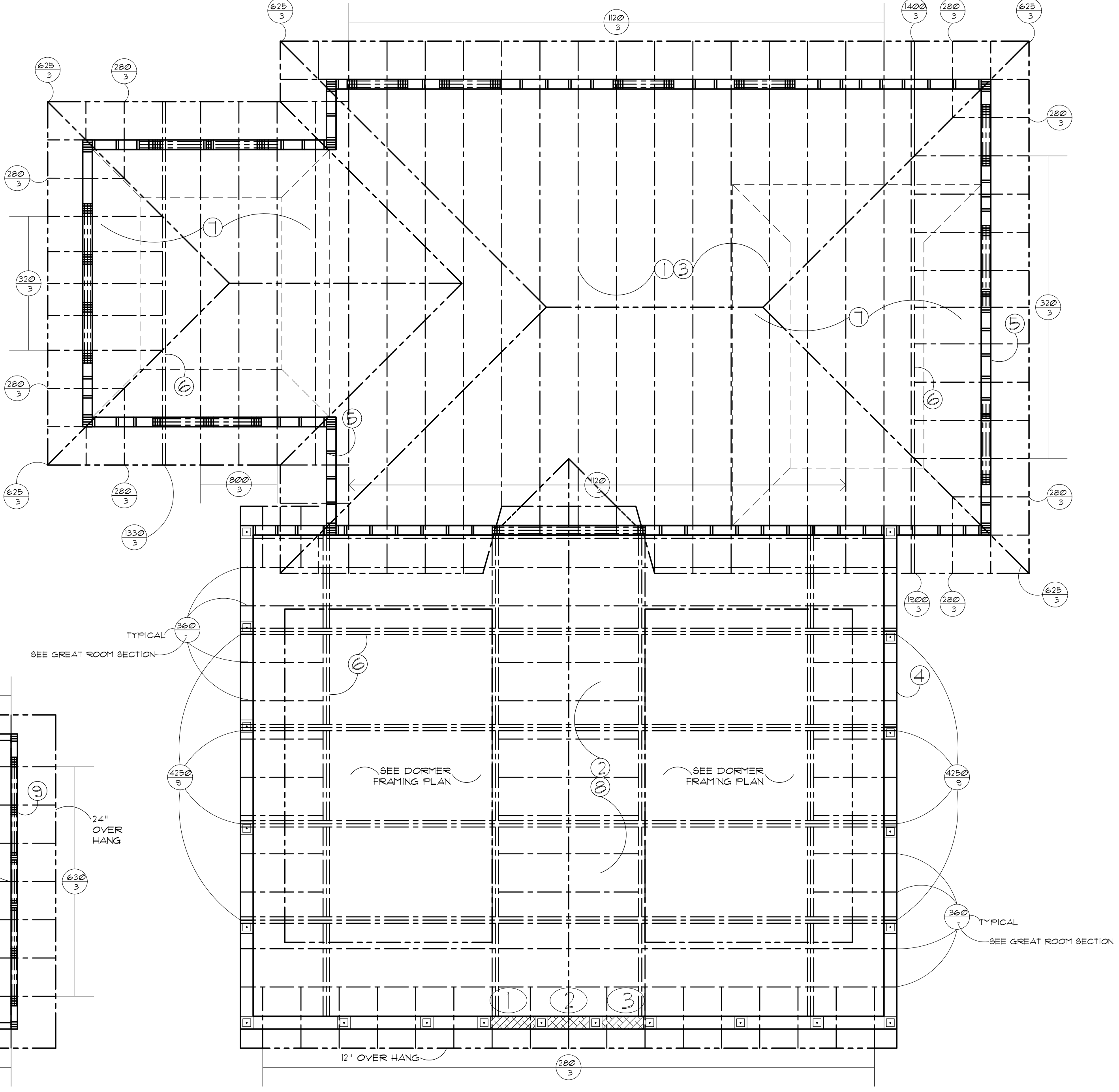
6. ALL WOOD USED IN THE ROOF SYSTEM FOR CRICKETS, BRACING, LEDGERS, RAT RUNS ETC. ARE TO BE:
NO. 2 SYP
NO. 2 HEM FUR
NO. 2 FT

7. ALL CRICKETS TO BE HAND FRAMED AS FOLLOWS:
5" RAFTER LENGTH + 2x4 @ 16" O.C.
10" RAFTER LENGTH + 2x6 @ 16" O.C.

8. ALL VALLEYS AND HIP RIDGES REQUIRED TO HAVE CATS. CATS TO BE 2" X 4" WITH A MAXIMUM JOINT GAP OF 1/8" EACH END.



#	LENGTH LINTEL	TYPE	APPLIED LOAD (GRAVITY)	ALLOWED (GRAVITY)	COMMENTS
1	3'-2"	8F24-0B	348	660T	
2	2'-10"	8F24-0B	348	754T	
3	3'-2"	8F24-0B	348	660T	



SAFE GRAVITY LOADS FOR 8" PRECAST & PRESTRESSED U-LINTELS									
SAFE LOAD - POUNDS PER LINEAR FOOT									
LENGTH	TYPE	8U8	8F8-08	8F12-08	8F16-08	8F20-08	8F24-08	8F28-08	8F32-08
			8F8-18	8F12-18	8F16-18	8F20-18	8F24-18	8F28-18	8F32-18
2'-10" (34") PRECAST	2231		3069	4605	6113	7547	8974	10394	11809
			3069	4605	6113	7547	8974	10394	11809
3'-6" (42") PRECAST	2231		3069	3719	5163	6607	8054	9502	10951
			3069	4605	6113	7547	8974	10394	11809
4'-0" (48") PRECAST	1966		2561	2751	3820	4890	5961	7034	8107
			2693	4605	6113	7547	8974	10394	11809

REVISIONS

PROPOSED RESIDENCE FOR:
MAURICE SALAMA
61 COLONY ROAD
JUPITER INLET COLONY
33463

J. SCOTT BARUCH
& ASSOCIATES
178 BEACON LANE
JUPITER, FLORIDA
AR-0014964

DRAWN
G.R.G.
CHECKED
J.S.B.
DATE
9/9/19
SCALE
AS SHOWN
JOB NO.
SHEET

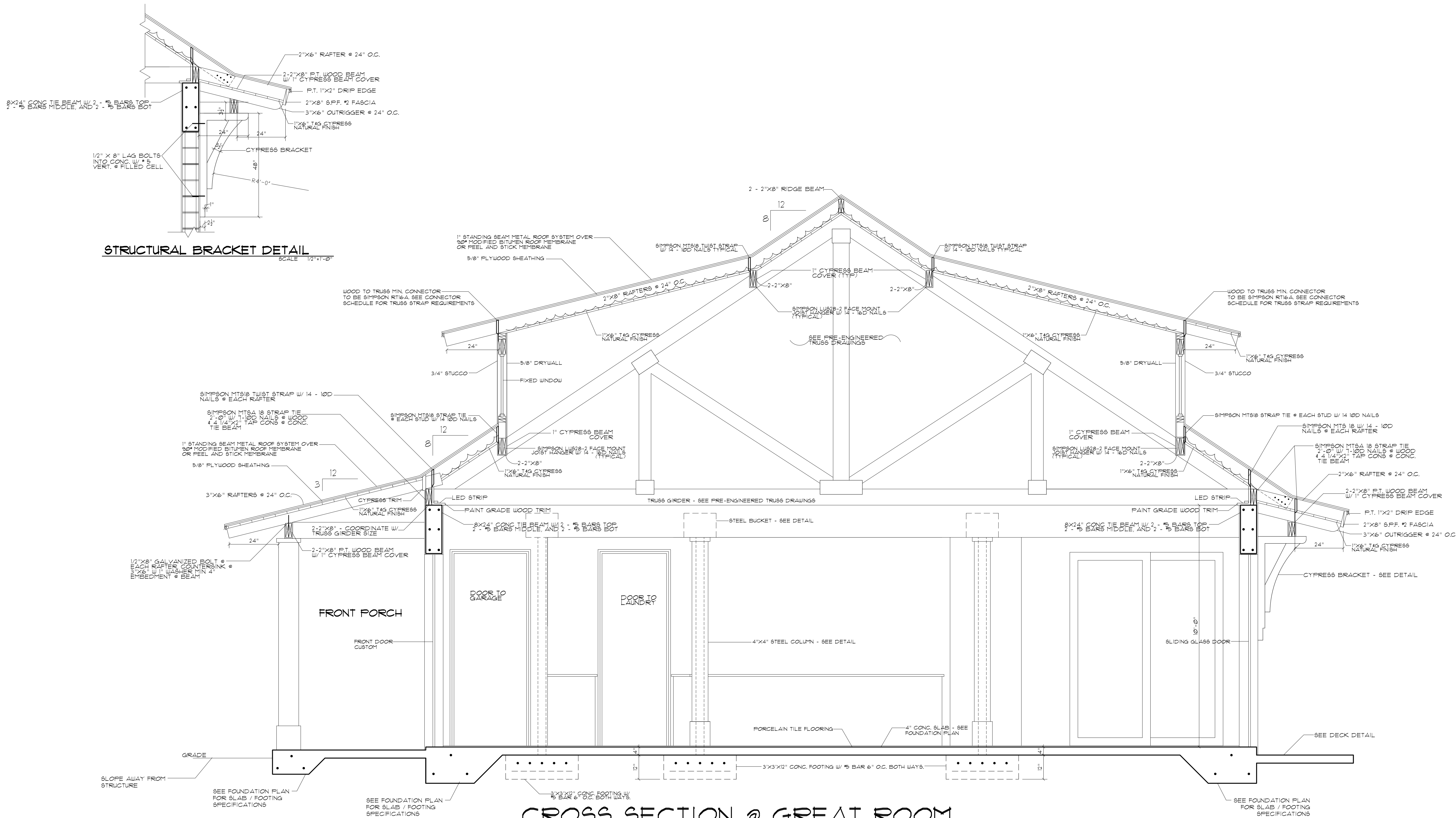
10
OF SHEETS

PROPOSED RESIDENCE FOR:
MAURICE SALAMA
61 COLONY ROAD
JUPITER INLET COLONY
33463

J. SCOTT BARUCH
& ASSOCIATES
118 BEACON LANE
JUPITER, FLORIDA
AR-0014964

DRAWN
G.R.G.
CHECKED
J.S.B.
DATE
9/9/19
SCALE
AS SHOWN
JOB NO.

SHEET
11
OF SHEETS



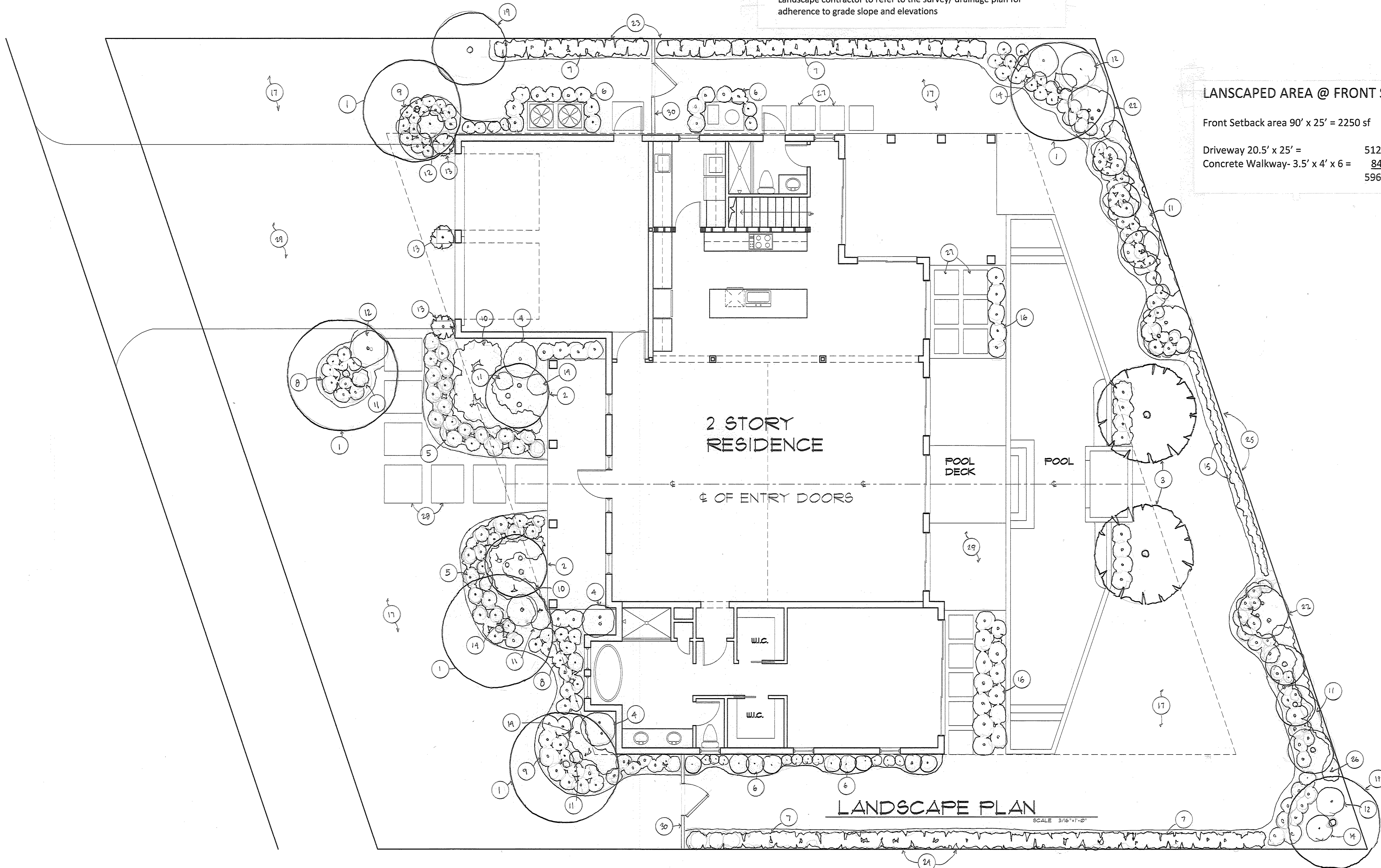
LANDSCAPE PLAN KEY:

1. Coconut Palm, Cocos Nucifera 7"-10" wood	QTY	17. Floratam Sod, Alternate: Empire Zoysia
2. Christmas Palm, Adonia Merrillii 6'-10 wood	5	18. Brown Mulch
3. Sylvester Palm, Phoenix Sylvestris 6'-9' wood	2	19. Existing Sabal Palms to remain
4. Pygmy Date Palm, Pheonix Rupicola, 3 gal	2	20. Existing Coconut Palm to be relocated
5. Green Island Ficus, Ficus Microcarpa 1 gal	2	21. Existing Foxtail Palms to be relocated
6. Arboricola Trinette, Shefflera Arboricola 3 gal	3	22. Existing Pygmy Date Palms to be relocated
7. Small Leaf Clusia Hedge, Clusia Guttifera 2 gal, 30" o.c.	74	23. Existing 6' wood fence to remain
8. Golden Dewdrop, Duranta Erecta	16	24. Existing 4' chain link fence to remain
9. Liriope, Liriope Spicata 1/2" gal	50	25. Existing 6' CBS retaining wall to remain
10. Croton, Codiaem Varigatum, 2 gal @ 24" c.c.	30	26. Remove existing Schefflera Tree
11. Bouganvilla, Bouganvilla Giabra, 3 gal red flower	40	27. 30" x 30" concrete pavers
12. Logustrum, Ligustrum Lucidum/Glossy Privet 3'-5'	30	28. 4' x 4' concrete entry pavers
13. Seagrape Topiary, Coccoloba Unifera	12	29. Stone driveway/ pool deck on gravel base Alternate: reuse existing Chicago Brick
14. Crinium Lilly, Crinium Asiaticum 3 gal	4	30. New 4' PVC fence and gate
15. Creeping Fig, Ficus Pumila on suspended cable grid 18" o.c.	6	
16. Jasmine Minima, Trachelospermum Asiaticum 1 gal 18" o.c.	16	
	22	

NOTE:
All existing landscaping not addressed in the plant list to remain, to be removed or relocated, is to be removed.
Landscape contractor to refer to the survey/ drainage plan for adherence to grade slope and elevations

LANDSCAPED AREA @ FRONT SETBACK- 73.5%

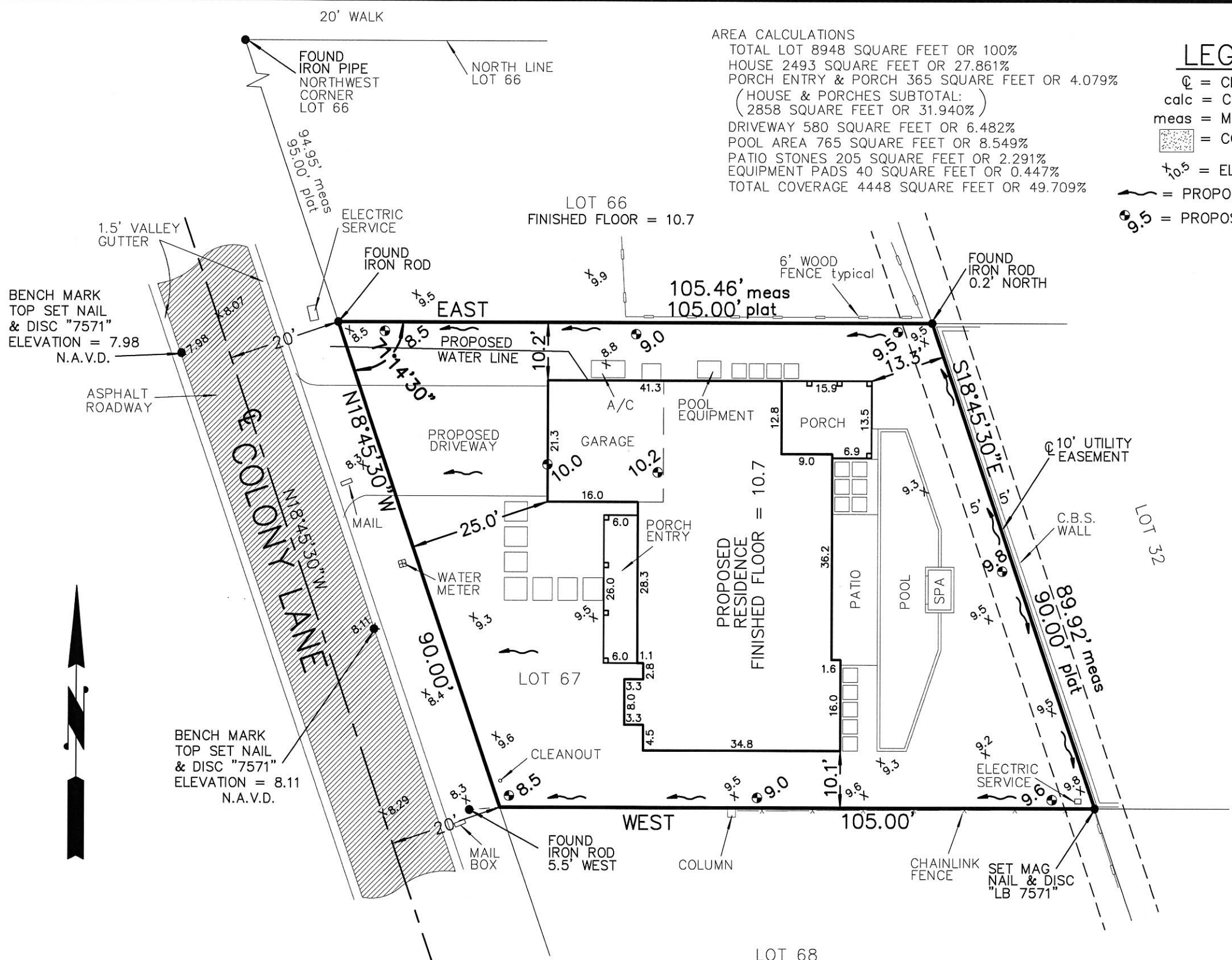
Front Setback area 90' x 25' = 2250 sf
Driveway 20.5' x 25' = 512 sf
Concrete Walkway- 3.5' x 4' x 6 = 84 sf
596 sf/ 2250 sf = 26.5%



PROPOSED RESIDENCE FOR:
MAURICE SALAMA
61 COLONY ROAD
JUPITER INLET COLONY
33469

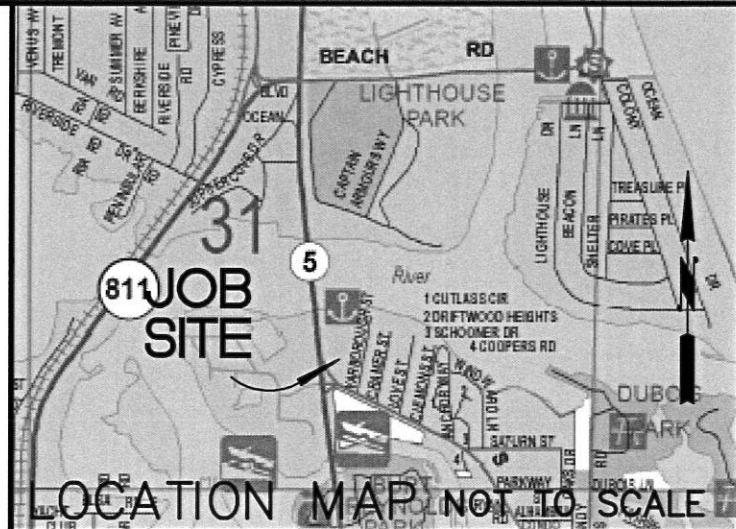
J. SCOTT BARUCH
& ASSOCIATES
178 BEACON LANE
JUPITER, FLORIDA
AR-0014364

DRAWN	G.R.G.
CHECKED	J.S.B.
DATE	9/4/19
SCALE	AS SHOWN
JOB NO.	
SHEET	14
OF SHEETS	



AREA CALCULATIONS
TOTAL LOT 8948 SQUARE FEET OR 100%
HOUSE 2493 SQUARE FEET OR 27.861%
PORCH ENTRY & PORCH 365 SQUARE FEET OR 4.079%
(HOUSE & PORCHES SUBTOTAL:
2858 SQUARE FEET OR 31.940%)
DRIVEWAY 580 SQUARE FEET OR 6.482%
POOL AREA 765 SQUARE FEET OR 8.549%
PATIO STONES 205 SQUARE FEET OR 2.291%
EQUIPMENT PADS 40 SQUARE FEET OR 0.447%
TOTAL COVERAGE 4448 SQUARE FEET OR 49.709%

- LEGEND:
C = CENTERLINE
calc = CALCULATED
meas = MEASURED
[Pattern] = CONCRETE
+10.5 = ELEVATIONS
~ = PROPOSED DRAINAGE
9.5 = PROPOSED ELEVATIONS



LEGAL DESCRIPTION 67 COLONY ROAD
OFFICIAL RECORDS BOOK 30587, PAGE 1970
LOT 67, JUPITER INLET BEACH COLONY, ACCORDING
TO THE MAP OR PLAT THEREOF AS RECORDED IN
PLAT BOOK 24, PAGE 139, PUBLIC RECORDS OF
PALM BEACH COUNTY, FLORIDA.
CONTAINING 8948 SQUARE FEET MORE OR LESS

- SURVEYORS NOTES:
1. THIS SURVEY COMPLIES WITH CHAPTER 5J-17, FLORIDA ADMINISTRATION CODE.
2. NO SEARCH OF THE PUBLIC RECORDS HAS BEEN MADE BY THIS OFFICE.
3. LEGAL DESCRIPTIONS SUPPLIED BY CLIENT OR CLIENT'S AGENT.
4. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS.
5. SOME ITEMS SHOWN HEREIN ARE FOR GRAPHIC AND INFORMATIONAL PURPOSES ONLY.
6. VISIBLE ENCROACHMENTS, IF ANY ARE SHOWN HEREON.
7. THIS SURVEY FOR CONSTRUCTION PURPOSES ONLY AND NOT INTENDED FOR CONVEYANCE PURPOSES WITHOUT PERMISSION OF THIS SURVEYOR.
8. ELEVATIONS HEREON BASED ON NORTH AMERICAN VERTICAL DATUM (N.A.V.D. 1988)
9. NO UNDERGROUND UTILITIES LOCATED EXCEPT WHERE SHOWN HEREON.
10. THIS IS NOT AN ENVIRONMENTAL SURVEY.
11. THIS SURVEY DOES NOT GUARANTY OWNERSHIP OR RIPARIAN RIGHTS BEYOND MEAN HIGH WATER LINE.
12. BEARINGS HEREON BASED ON THE ASSUMED BEARING OF N18°45'30"W ALONG THE CENTERLINE COLONY LANE AND ALL OTHER BEARINGS ARE RELATIVE THERETO.
13. ADDITIONS OR DELETIONS TO SURVEY MAPS OR REPORTS BY OTHER THAN THE SIGNING PARTY OR PARTIES IS PROHIBITED WITHOUT WRITTEN CONSENT OF THE SIGNING PARTY OR PARTIES.
14. FORM BOARD TIE-IN & UNDER CONSTRUCTION TIE-IN SURVEYS INTENT IS TO SHOW SETBACK COMPLIANCE; OWNER AND/OR CONTRACTOR ACCEPTS RESPONSIBILITY FOR PLACEMENT OF FORMBOARDS UPON RECEIPT OF THIS SURVEY. PLUMBING AND OTHER UTILITIES INSTALLED AT CONTRACTORS RISK.
15. THIS SURVEY IS NOT VALID WITHOUT SURVEYORS SIGNATURE & EMBOSSED SEAL.

NOTE:
THIS SURVEY PERFORMED
WITHOUT BENEFIT OF TITLE

PROPERTY SHOWN HEREON IS LOCATED IN
FLOOD ZONE X PER FLOOD INSURANCE RATE
MAP 125120 0179 F DATED OCTOBER 5, 2017

RONALD E. STOTLER
PROFESSIONAL SURVEYOR AND MAPPER
CERTIFICATE NO. 5026
STATE OF FLORIDA



MAGELLAN SURVEYING & MAPPING, INC.
PROFESSIONAL LAND SURVEYORS
LICENSED BUSINESS - 7571
450 S. OLD DIXIE HIGHWAY, SUITE 10
JUPITER, FLORIDA 33458
SINCE 2007 561-746-8745 FAX 561-746-9632 E-mail info@magellansurveying.com

Boundary Survey & Site Plan		
Prepared For: MAURICE & KELLY SALAMA		
Drawn by RES	Date Of Survey	Scale
Field: AB F.B.165 Pg10	SEPTEMBER 13, 2019	1"= 20'
REVISIONS:		Drawing Number
		19-242

September 27, 2019



Bill Whiteford, PhD, AICP,
Planning and Zoning Administrator
50 Colony Road
Jupiter Inlet Colony, Florida 33469

RE: 67 Colony Road, Jupiter Inlet Colony, Florida 33469 – Lot 67

Dear Bill,

We have reviewed the file we received September 9, 2019 of Lot 67. We find items relevant to the code are listed below, and additional areas of concern are stated also:

1. 50% Max. Lot area coverage calculation = 4,363 sq. ft. or 48.7%. 49.8% provided.
- 2.
- a) 32% Max First Floor Coverage = **2,859 sq. ft. or 31.9%**, (see the note below), the plan provided 2860.
- b) 60% Max (of first) Second Floor = 1,019 sq. ft. or 34.6%.
- c) 50% Total Floor Coverage 3,963 sq. ft. or 44.3%. Not provided.
3. 25' Building Height to the top: 25' plan.
4. Roof eave: Appears to be 2', except there is a 23' portion in the rear at 3'7". And the Second Floor Overhang is 50 sq. ft. – accounted for below.
5. Pool: meets setbacks (10' from Side).
6. 2 car garage, outdoor spaces provided.
7. The driveway appears to be 19.3' wide, the provided flare is 26.8'.
8. Windows, review of the south side (smallest) provided 11% calculated.
9. The building did meet the setbacks of 10' on the sides, 25' front (first floor) and 10' in the rear. And did meet the 32' setback for second floor front setback.
10. 30% Front Yard Landscape is: 77% Green.

Note: 1) The 50% Max Lot coverage accounts for the second floor overhang and deductions for pads and walks.

2.a) The 32% first floor cover DID NOT take into consideration the 50 square feet of the second floor overhang, or the 23' of 3'7" eave in the back of the house, this should be counted;

First Floor Cover = 2,945 square feet or 32.9%.

2.b) The vaulted ceiling was not counted as second Floor.

Sincerely,

Gary A. Rager, P.S.M.

License No. LB4828

Vice President

Director of East Coast Operations



BUILDING GROUP LLC

Jupiter Inlet Colony Jobsite Requirements

1. Treat customer's property BETTER than your own.
2. Always leave customer's property (house, lawn, and job-site) in better condition that you found it.
3. Smoking is STRICTLY PROHIBITED on customer's property at all times (indoors and outdoors). Smoking at lunch or during breaks must be confined to inside your car or designated areas. Under no circumstances shall smoking debris (butts) be discarded on the ground. Take them with you!
4. Bathroom privileges shall be respected and not abused, and the facilities shall be left as clean as, or cleaner than found.
5. Finished floors in living areas or paths of access/egress shall be covered for protection; booties should be worn as well.
6. Job site shall be left broom-clean at the end of each work day. Debris shall be cleaned up and excess debris removed from site or places in proper disposal containers. All trades are responsible for the removal of their OWN debris daily.
7. At the conclusion of each business day, tools shall be disconnected, placed in a designated area, and the customer notified accordingly. Every precaution shall be made to prevent non-authorized persons accessing tools or dangerous items.
8. Profanity and offensive clothing is STRICTLY PROHIBITED on customer's property.
9. Food debris and wrappers from breaks and lunch shall be immediately placed in appropriate containers.
10. Job-sites shall be left secured at the end of each work day.
11. Jobsite hours in Jupiter Inlet Colony are from 8:00 a.m. to 5:00 p.m. any persons found on Jobsite prior to or after may be escorted offsite.
12. Parking is allowed onsite only or directly in front of jobsite on one side of street to still allow traffic flow.
13. If large deliveries are to be accepted onsite, there must be a flagger onsite to allow constant traffic movement for other residents in the neighborhood. Traffic flow must not be impeded for local residents for any period of time.



BUILDING GROUP LLC

14. Jobsite signage is to be 12" x 16" and be place a minimum of 10 ft from edge of paved road. A permit must be received for signage.

I understand the codes of conduct and that working safely is a condition of my companies continued relationship with CEA Building Group LLC.

Applicant Signature:

Date:

**JUPITER INLET COLONY
BUILDING AND ZONING COMMITTEE MEETING**

**50 Colony Road
Town Hall**

Conditions of Approval:

- 1) A temporary area consisting of compacted gravel shall be installed on the lot for contractor parking.
- 2) Temporary filters shall be installed in the road drains within close proximity of the site to prevent sand and silt from entering the town's drainage system. Filters shall be cleaned thoroughly weekly and after each storm event. Sand and silt in the filters shall be properly disposed and not emptied into the town's drainage system.
- 3) A temporary screen shall be installed and maintained along the front of the property that shields construction activity from view to the extent possible.
- 4) The road in front of the lot shall be swept and cleaned nightly and kept clear of debris, runoff, sand, and vegetation at all times.
- 5) The contractor shall be responsible for the repair and maintenance of any damage in the town right-of-way and on private property as the result of construction activity.

DRIVEWAY GATES

On Monday, September 9, 2019, the Town Commission requested the Building and Zoning Committee discuss and consider a ban on residential driveway gates throughout the town. At present, driveway gates are allowed in accordance with the limited standards below. The Town Commission seeks direction regarding gates and their impact on the community.

(G) Utility Poles, Fences, and Walls Used as Fences.

- (1) Utility poles as required by public utility companies shall not be required to meet the setback requirements for structures.
- (2) All property fences and walls used as fences may be erected or maintained along or adjacent to a lot line to a height not exceeding six (6) feet in the required side yard or required rear yard and to a height not exceeding four (4) feet in the required front yard or required side street yard. On lots where the street is not the front street for adjoining lots the provisions for a side yard may apply. The front and side street lines as referred to above shall be the base building lines. Where the main dwelling is set back beyond the twenty-five (25) foot setback line, a six (6) foot high fence on the side yard line may extend to the setback line. All fence heights are to be measured from approved grade and from property owner's side upon which the fence is to be constructed. Walls and fences abutting on adjacent property and the street, must be finished on both sides so as to be aesthetically pleasing.
- (3) Driveway gates are required to open on the property and not infringe on the road right of way. Maximum height of the gate is allowed per section 17(G)(2) as noted above.

Meaning: a four-foot high gate in the driveway is allowed in the front setback, which is the first 25' extending from the edge of the r-o-w (35' from the road). Beyond 25', a six-foot high gate is allowed.

CONTRACTOR HOURS

On Monday, September 9, 2019, the Town Commission requested the Building and Zoning Committee discuss and consider modifications to the works hours allowed for contractors Monday - Saturday. At present, contractor hours are restricted in accordance with the standards below. The Town Commission seeks direction regarding the times allowed for construction and their impact on the community.

Sec. 4-3. - Times for construction restricted.

- (a) No person or persons shall conduct the erection (including excavation), demolition, alteration, or repair of any building or conduct any contracted labor or maintenance services such as painting or lawn or shrubbery maintenance services on **Sundays or legal holidays**. For purposes of this section, legal holidays shall mean New Year's Day, Memorial Day, Independence Day, Labor Day, Thanksgiving Day, and Christmas Day.
- (b) No person or persons shall conduct the erection (including excavation), demolition, alteration, or repair of any building or conduct any contracted labor or maintenance services such as painting or lawn or shrubbery maintenance services on **weekdays, including Saturdays**, nor shall any such person or persons be present at the job site, other than **between the hours of 8:00 a.m. and 6:00 p.m.**
- (c) No person or persons shall deliver building supplies or materials during the hours when the erection (including excavation), demolition, alteration, or repair or maintenance is prohibited as set forth in subsection (a) and (b) above.
- (d) If the building official determines that the public health and safety will not be impaired and that loss or inconvenience will result to any party in interest, he may grant permission for the erection (including excavation), demolition, alteration, repair or maintenance of any building or property, including the excavation of streets and highways, within the hours of 6:00 p.m. and 8:00 a.m., upon application being made at the time the permit for work is issued or during the progress of the work.
- (e) All contractor vehicle(s), truck(s), heavy equipment, and the like shall be removed from the job site at the end of each work day; provided, heavy construction equipment may remain on the job site overnight if the building commissioner determines that the public health and safety will not be impaired and that substantial loss or hardship will result to the owner or contractor if such heavy construction equipment is required to be removed from the job site on a daily basis. Prior to storing any heavy construction equipment on a job site at the end of a work day, an owner or contractor must file an application for and obtain a permit from the town permitting such storage. The application filing fee shall be thirty-five dollars (\$35.00). The application shall set forth the reason(s) for the request to allow the heavy construction equipment to remain on the job site, the estimated period of time that such storage will be necessary and a statement executed by the owner or contractor agreeing to remove the heavy construction equipment from the job site prior to the expiration of the permit. Any fine levied by a citation issued pursuant to Chapter 2 of this Code shall be paid prior to final inspections or issuance of a certificate of occupancy. For purposes of this section, heavy construction equipment means cranes, bulldozers, track vehicles, or other similar heavy equipment or vehicles used in the construction or demolition process.

Jupiter Island

Sec. 9-62. - Construction related activities; lawn maintenance activities.

(a) *Definitions.*

- (1) "*Winter season*" means the period between November 1 and April 30.
- (2) "*Summer season*" means the period between May 1 and October 31.
- (3) "*Legal holidays*" means the following holidays: New Year's Day (January 1), Memorial Day (Last Monday in May), Independence Day (July 4), Labor Day (1st Monday in September), Thanksgiving Day (4th Thursday in November) and the Friday immediately following Thanksgiving Day, Christmas Day (December 25) and the day immediately following Christmas Day and when Christmas Day falls on a Saturday or Sunday, the Friday immediately preceding Christmas weekend and the Monday following Christmas weekend.
- (4) "*Lawn maintenance equipment*" means motorized or powered equipment which is used to maintain lawns, trees, and landscaping, including but not limited to lawn mowers/yard tractors, chainsaws, lawn aerators, sod cutters, edgers, stump grinders, hedge trimmers, leaf blowers, lawn vacuum machines and monofilament line grass trimmers.

(b) *Use of restricted equipment.*

- (1) *Applicability.* Use of the following "restricted equipment" or engagement in the following activities during construction is restricted as provided in this section:
 - a. Compressors, gas- or diesel-engine driven for operating jack hammers, riveting or drilling devices.
 - b. Cranes of all weights and types and other related construction equipment such as, but not limited to, concrete pumps, pile driving, excavation and demolition.
 - c. Dredges, of all types.
 - d. Dry sandblasting machines and jackhammers.
 - e. Gasoline, diesel and/or steam engines that are operated in such a manner as to:
 1. Emit offensive odors which are materially perceptible from any property line; or
 2. Produce noise in excess of 60 decibels (dbs), measured at any property line.
 - f. Hammer-driven piledrivers, of all types.
 - g. Hammers, of all types, when used for metal-to-metal work that is not hammer-to-nail.
 - h. Power saws, band, cut-off and table, unless housed in a "dried-in" structure.
 - i. Radio, audio equipment or loudspeakers used in a manner that produces noise which is unreasonably loud.
 - j. Tractors, over two tons, which are rigged for earth moving or land clearing operations.
 - k. Any construction equipment, device or activity, which though otherwise permitted, produces noise in excess of 72 decibels (dbs), measured:
 1. Fifty feet from the construction activity, or
 2. From the property line nearest to where the construction activity is taking place, whichever is greater.
- (2) *Restrictions.* The use of "restricted equipment" is restricted as follows:
 - a. Use of restricted equipment is prohibited during the winter season.
 - b. Use of restricted equipment during the summer season is permitted only during the hours of 7:30 a.m. to 6:00 p.m., Monday through Friday.
 - c. Use of restricted equipment is prohibited on legal holidays.
- (3) *Exceptions.* The following are exempt from the restrictions of this section:
 - a. Operation of restricted equipment relating to essential services of the town;
 - b. Operation of restricted equipment to protect the public health, safety, and welfare during emergency conditions; and
 - c. Operation of restricted equipment for repairs, improvements or landscape work on permitted projects for a period of less than one week upon prior written approval of the

town's building official. A written request defining the specific nature of the work, its duration and the equipment involved shall be submitted to the town's building official at least five working days prior to commencement of the work.

The building official may approve such work only upon being assured that the proposed use of equipment will not exceed established noise level restrictions nor excessively impact the inhabitants of adjoining properties and public roadways. The building official may establish terms and conditions relating to the work, if approved.

(c) **Working hours for construction.**

- (1) During the winter season, construction work is restricted to the following hours:
 - a. 8:30 a.m. to 5:30 p.m., Monday through Friday; and
 - b. 8:30 a.m. to 1:00 p.m. on Saturday.
- (2) During the summer season, construction work is restricted to the following hours:
 - a. 7:30 a.m. to 6:00 p.m., Monday through Friday; and
 - b. 8:30 a.m. to 5:00 p.m. on Saturday, upon prior written approval of the administrative official, which shall be granted if the applicant demonstrates that the construction work will not excessively impact inhabitants of adjoining properties.
- (3) Construction work is prohibited on legal holidays.

(d) **Working hours for lawn maintenance.**

- (1) During the winter season, operation of lawn maintenance equipment is restricted to the hours of 8:30 a.m. to 5:30 p.m., Monday through Friday, and from 8:30 a.m. to 1:00 p.m. on Saturday.
- (2) During the summer season, operation of lawn maintenance equipment is restricted to the hours of 7:30 a.m. to 6:00 p.m., Monday through Friday, and from 8:30 a.m. to 5:00 p.m. on Saturday.
- (3) Operation of lawn maintenance equipment is prohibited on legal holidays.

(e) **Decibel levels.** The sound produced by lawn maintenance equipment shall not exceed 69 decibels (dbs), measured:

- (1) Fifty feet from the point of operation of the equipment, or
- (2) From the nearest property line to where the equipment is operated, whichever is greater.
- (3) Leaf blowers, backpack sprayers and hand-held blowers shall be limited to a maximum decibel level that shall not exceed 65 (dbs) at a distance of 30 feet from the point of operation of the equipment or from the nearest property line to where the equipment is operated, whichever is greater. This section relating to leaf blowers shall become effective October 1, 2007.

(f) **Maintenance of construction sites.** It is the responsibility of the person, firm or corporation indicated on the development permit to maintain the site in a neat and orderly manner, including broom-cleaning the site each day, and preventing unsightly piles of trash and debris from gathering during the course of construction.

(g) **Avoidance of nuisance.** When land has been cleared pursuant to a land clearing permit, the permittee shall either resod or replant the cleared area or periodically sprinkle the area ground to prevent windblown dust or dirt from creating a nuisance to other properties.

(h) **Violations.** Each separate violation and each day of a continuing violation shall be considered a separate offense.

(i) **Shutdown order.** In case of three or more violations of section 9-62(b) or (c) (Use of restricted equipment, Working hours for construction) the administrative official shall order the project to be shut down for the remainder of the winter season. If a shutdown order is issued, the site must be rendered safe and secure to the satisfaction of the administrative official within five working days.

Palm Beach

Sec. 42-199. - Hours for construction work.

- (a) *Definitions.* The following words, terms and phrases, when used in this section, shall have the meanings ascribed to them in this subsection, except where the context clearly indicates a different meaning:

Construction work means work of a physical nature requiring a permit in accordance with the provisions of this Code and/or violates the conditions of section 42-198 and/or violates the conditions of this section, and/or causes excessive noise as defined by section 42-228.

- (b) *Limited.* Beginning on the Monday preceding Thanksgiving, and during the months of December, January, February, March, and April of each year, construction work not otherwise prohibited by section 42-198 or other work resulting in noise tending to disturb the people in the vicinity thereof shall not begin until the hour of 8:00 a.m., and shall cease at the hour of 5:00 p.m., except Saturday, Sunday, and legal holidays, when all construction work is prohibited. In no event shall heavy equipment or other construction-related noise be permitted before 9:00 a.m. At all other times such work may commence at 8:00 a.m. and cease at the hour of 6:00 p.m., except Saturdays, Sundays and legal holidays, including the Friday immediately after Thanksgiving, when all construction work is restricted or prohibited. Construction work is permissible on Saturdays from May through the Monday preceding Thanksgiving, but subject to the following restrictions: work shall not begin until the hour of 9:00 a.m. and shall cease at the hour of 5:00 p.m.; all work must be quiet in nature during which all of the noise and machinery prohibitions identified in section 42-198 are applicable; material deliveries are prohibited in all cases unless the Building Official waives such restriction due to compelling circumstances; concrete pours and concrete sawing is prohibited unless the Building Official waives such restriction due to compelling circumstances; and the razing of buildings is prohibited, with the exception of non-mechanized debris clean-up. The permitted hours for construction work in the C-WA zoning district shall be from 8:00 a.m. until 8:00 p.m. during the months commencing May 1 and ending on October 31, except Sundays and legal holidays, when all construction work is prohibited.

- (c) *Exceptions.*

- (1) It shall be within the discretion of the town council when in its opinion the operation of any of the prohibited machinery or appliances mentioned in subsection 42-198(a) shall not be overly offensive to the residents or inhabitants of the town in the vicinity of the equipment's operation to grant an exception to this section.
- (2) The operation of equipment relating to essential services of the town and equipment operating during emergency conditions shall be exempted from subsection (a).
- (3) At the discretion of the director of planning, zoning and building, or his representative, emergency work for nontown related essential services may be authorized at any time during the year.
- (4) Interior work not resulting in noise tending to disturb people in the vicinity thereof, shall be allowed during the hours of 9:00 a.m. and 5:00 p.m. on Saturdays during the period commencing on the Monday preceding Thanksgiving and ending on April 30.
- (5) The town council, in its discretion, for the benefit of the health, safety and welfare of the residents of the town may, by resolution, temporarily amend the hours for construction work referenced herein.

Juno Beach

Sec. 12-127. - Permissible time for construction activity.

- (a) It shall be unlawful for any person to do, perform or engage in any construction work, building, excavating, hoisting, grading, pile driving, pneumatic hammering, demolition, dredging, building alteration or repair work of any nature to any building or structure or upon any site for same, except between the hours of 7:00 a.m. and 6:00 p.m. Monday through Friday, and except between the hours of 9:00 a.m. and 5:30 p.m. on Saturday. Interior work which does not cause noise beyond ambient noise is permitted at all times. No construction activity shall be permitted on Sundays or legal holidays. Any person desiring to engage in the aforesaid activity beyond the stated hours of limitation, based upon cases of urgent necessity or upon the interests of public health, safety and ultimate convenience, may apply to the town manager or representative for a special permit. Such permits, if granted, shall be limited to a certain period, but may be renewed for additional periods if the emergency or need therefor continues. In the issuance of such permits, the town manager or designated representative shall weigh all facts and circumstances and shall determine whether the reasons given for the urgent necessity are valid and reasonable, whether public health, safety and ultimate convenience will be protected or better served by granting the permit requested, and whether the manner and amount of loss or inconvenience to the party in interest imposes a significant hardship. Upon an affirmative finding of the foregoing considerations, the town manager or designee is authorized to issue the permit requested and any extensions thereof, as may be required. Any person aggrieved by the decision of the town manager or designated representative may appeal the decision of the town manager to the town council.
- (b) It shall be unlawful for any person to cause or permit the use of any power-driven machinery, tools or equipment in any portion of the town zoned and designated as a residential district or section other than between the hours of 7:00 a.m. and 6:00 p.m. on weekdays and between the hours of 9:00 a.m. and 5:30 p.m. on Saturdays except New Year's Day, Memorial Day, Independence Day, Labor Day, Thanksgiving Day and Christmas Day, or as excepted in section 12-135.

WAYFINDING AND TRAFFIC SIGNS

At the last the Building and Zoning Committee meeting, the Committee discussed signage in the rights-of-way to alert drivers of pedestrians and the new 20-mph speed limit. This item is for discussion and to formulate a recommendation to the Town Commission regarding additional r-o-w signage in the community.

