

**CITY OF SUMMERSET PLANNING AND ZONING BOARD
ONLINE ZOOM MEETING
REGULAR MEETING
7055 LEISURE LANE
TUESDAY APRIL 14, 2020
6:00 P.M.**

Agenda

1) **ROLL CALL**

Bewley, Oldfield, Osten, Wilson

2) **CALL FOR CHANGES**

Approval of Agenda of the Regular Meeting of April 14, 2020 as presented or amended.

3) **CONSENT CALENDAR**

Approval of the minutes of the regular meeting of November 26, 2019, as presented or amended.

4) **OATH OF OFFICE**

A) Oath of office to new Board Member

Marcus Christensen

5) **PRELIMINARY PLAT APPLICATION**

A) Preliminary application: Preliminary Plat of Lots 17 thru 19, Block 1; Lots 5 thru 8, Block 2; and Lots 1 thru 12, Block 5; and Dedicated Public Right-of-Way for Glenwood Drive and Arapahoe Street of Sun Valley Estates. Formerly a Portion of the Un-platted Portion of the SE ¼ of Section 14 Township 4 North, Range 6 East, Black Hills Meridian, City of Summerset, Meade County, South Dakota.

6) **PUBLIC HEARING**

Motion to open public hearing on the following:

- 1) Zoning Request: **Not Zoned to Single Family Residential (R1)** Lot HG revised of Shadowland Ranch Subdivision in Tract 6 of the SW ¼ of Section 25 in Township 3 North, Range 6 East, Black Hills Meridian, City of Summerset, Meade County, South Dakota, and

Lot I of Shadowland Ranch Subdivision, in Tract 3 of NW1/4 of Section 36 all in T3N, R6E, BHM, City of Summerset, Meade County, SD

Motion to close public hearing

- 4B) Action item – Vote on proposed public hearing item

- 1) Zoning Request: **Not Zoned to Single Family Residential (R1)** Lot HG revised of Shadowland Ranch Subdivision in Tract 6 of the SW ¼ of Section 25 in Township 3 North, Range 6 East, Black Hills Meridian, City of Summerset, Meade County, South Dakota, and

Lot I of Shadowland Ranch Subdivision, in Tract 3 of NW1/4 of Section 36 all in T3N, R6E, BHM, City of Summerset, Meade County, SD

7) **ADJOURNMENT**

Information regarding accessibility for the disabled may be obtained by calling the Summerset City Finance Officer at 605-718-9858. Individuals needing special accommodations are asked to call at least 48 hours prior to the meeting.

In relation to the COVID-19 virus, and in following guidelines from the CDC in relation to minimizing exposure, the City will have a call-in number available (instructions below) for Thursday's City Commission meeting. For those that wish to participate in the meeting remotely, we encourage you to follow the instructions below.

Call-in instructions:

Topic: Planning and Zoning

Time: Apr 14, 2020 06:00 PM Mountain Time (US and Canada)

Join Zoom Meeting

<https://us04web.zoom.us/j/76874995042?pwd=UkZpV3MrUUZ0K2ZNUEN2a2d0d1RMDz09>

Meeting ID: 768 7499 5042

*If you are participating telephonically, please ensure that you mute your phone during times where you are not speaking to keep the background noise to a minimum.

Memo

Date: Friday, April 03, 2020

Project: Lots 17-19, Block 1; Lots 5-8, Block 2; and Lots 1-12, Block 5; and Dedicated Public Right-of-way for Glenwood Drive and Arapahoe Street of Sun Valley Estates

To: Lonnie Harmon, City Administrator

From: HDR Engineering

Subject: Preliminary Plat Review

General

1. Need letter of approval from Diamond A Water.
2. Need letter of approval from Piedmont Fire Department.
3. Will Summerset Wastewater Treatment Plant access road be moved to come off the end of the new Glenwood? If so, we don't need the End of Road Diamonds

Lighting

4. Summerset has new lighting design standards that need to be incorporated into the plans:
 - a. 30' tall w/ 8' arm extension
 - b. 40 watt LED
 - c. direct bury style
 - d. poles shall be galvanized steel material as manufactured by HAPCO, Millerbernd, and Valmont
 - e. 185' spacing, with poles placed at intersections and curves
 - f. placed in line with property lines and 2' off the back of curb for boulevards and 1' off sidewalk for curbside sidewalk
 - g. light pole details attached

Roadway

5. Why does the proposed Glenwood Drive roadway jog at the connection to the existing Glenwood Drive?
6. PI shown at approximately Station 2+12 needs to be a vertical curve. We only allow a PI without a vertical curve in the road profile if the change in grade is 1% or less.

Water

7. Water main should be located per Figure 3-1 in Summerset.



Sanitary Sewer

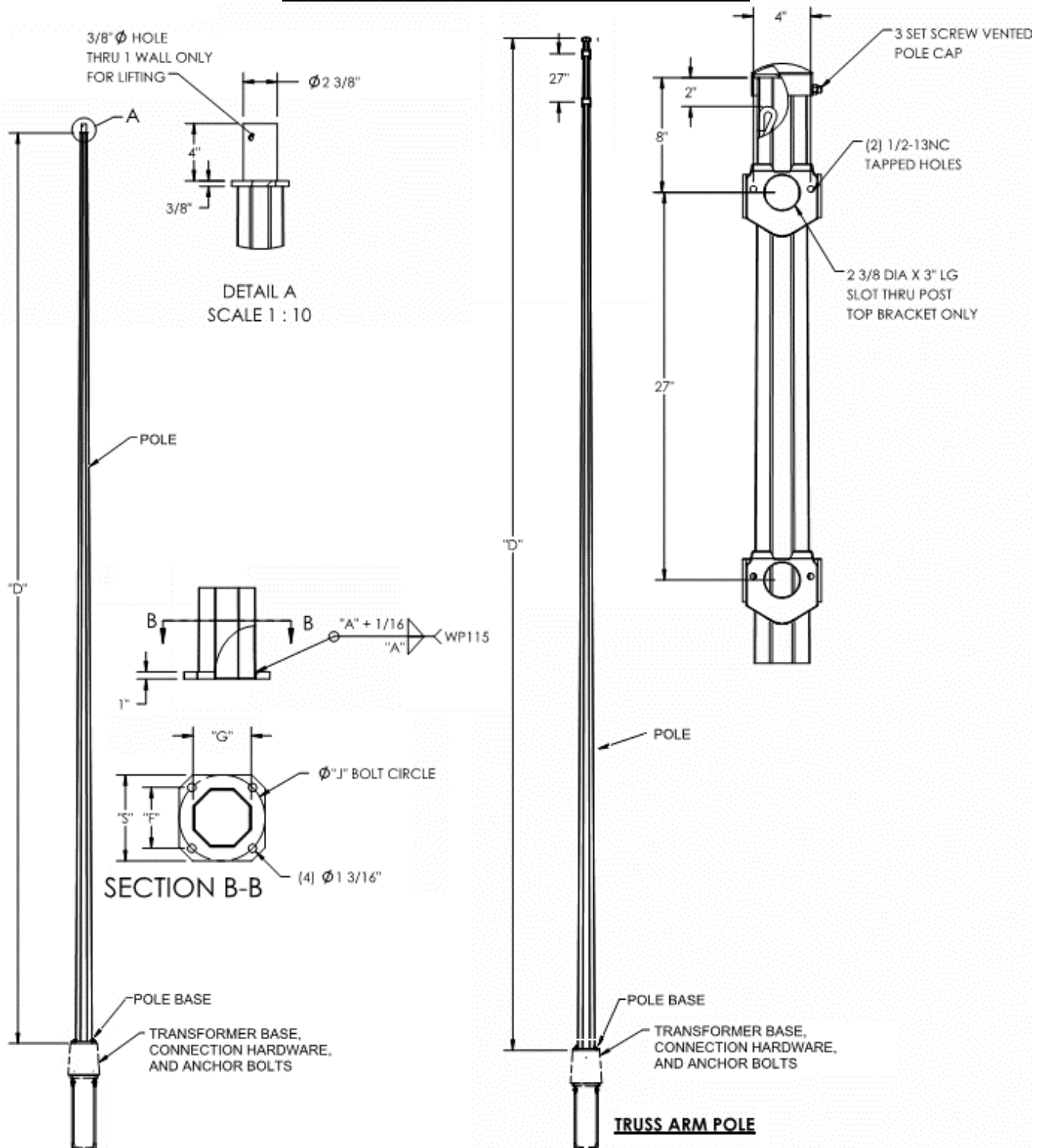
8. Why is there such a steep grade in the sewer between the existing manhole in Glenwood and Manhole #1?

Drainage

9. Where does the runoff from Basin 3 flow?
10. The report is showing this development is adding 12.65 cfs to the Stagebarn Canyon and South Channels. It is understood that this is one phase of the development and final detention will be addressed when providing culverts at the the Glenwood Dr. and Arapahoe St. channel crossings. However, the runoff added by this phase of the development should be detained so no runoff over the existing 100 year runoff is flowing beyond the borders of the development.

ROADWAY LIGHTING

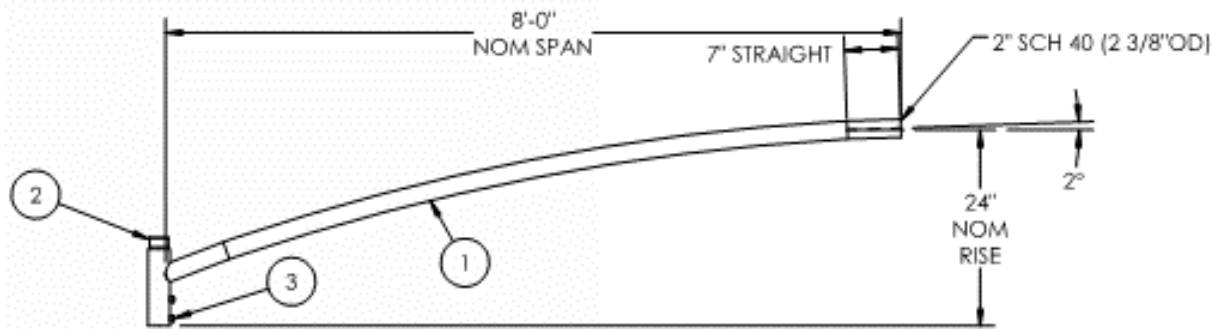
Detail for 25', 30', 40' and 50' Pole with Base



POLE TYPE	LUM ARM TYPE	POLE DATA				BASE DATA			
		"A" TK	"B" BASE DAC	"C" TOP DAC	"D" LENGTH	"S" SQ	"T" CTRS	"G" DAF BASE OPENING	"J" BOLT CIRCLE
25' LIGHT POLE		.1196" (11GA)	6.5	4.05	20'-0"	12"	8 1/2"	6 1/8"	12"
30' LIGHT POLE		.1196" (11GA)	7.18	3.40	28'-0"			6 3/4"	
40' LIGHT POLE		.1196" (11GA)	8.63	3.45	38'-0"			8 1/16"	
50' LIGHT POLE		.1196" (11 GA)	10.29	3.57	48'-0"	15"	10 5/8"	9 5/8"	15"
50' LIGHT POLE	15' TRUSS ARM	.1196" (11GA)	10.29	3.71	47'-0"				

ROADWAY LIGHTING

Detail for 8' Arm



SINGLE 8' UPSWEEP LUMINAIRE ARM
FOR USE WITH TENON MOUNT POLES

ITEM NO.	DESCRIPTION	QTY.
1	WLDMT ARM UPSWEEP CAN 2 1/2 X 8' ARM	1
2	CAP NON THD PL 2-3/8	1
3	SCRW STHXSKCPPT 1-2-13NC X 1 SS	2

Final Plat Review

General Information:

Parcel Acreage 6.815 acres
Location City of Summerset, SE ¼ Section 14, T3N, R6E.
Date of Application 3-18-2020
Reviewed By: **Gary Anderson, LS, HDR Engineering, Inc.**

Purpose: Create additional lots in Sun Valley Estates

Access and Utilities: Glenwood Dr. and Arapahoe St.

Fire Protection: Piedmont Fire Department

Drainage: No major drainage easements in this plat. 8' drainage and utility easement on interior of all lots lines is notes.

Final Plat Review:

Un-platted ground not suitable for subdividing and surrounded by platted land will not be allowed (un-platted portion b/w Lot 16 and Lot 17, Block 1 & un-platted portion b/w Lot 228 and Lot 1 of Block 5).

Williston Basin Gas Line Easement ground (on Lots 7 & 8, Block 2 and Lot 12, Block 5) shall be platted as a separate lot/green space/park as it is in previous plats and the piece on the north side of Arapahoe St needs to be platted as well, as it is shown now it would be un-platted ground.

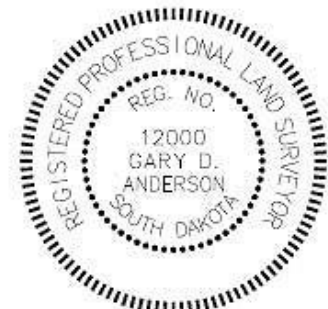
Lot 4, Block 5 does not meet minimum lot size of 8,500 S.F. established in Summerset Ordinance 155.058.E.

Lot 7 does not meet minimum lot width of 75' at the front building line established in Summerset Ordinance 155.058.D.

Change line data font (at lot lines and in table). It is difficult to read and may be even more difficult in a scanned copy.

Block 5 has a misclosure of .467

Gary Anderson, LS 12000





MEMORANDUM

PROJECT: Sun Valley Estates Subdivision Phase 2
LOCATION: Summerset, South Dakota
DATE: April 10, 2020
TOPIC: Responses to Preliminary Plat Review Comments

Comments have been inserted from the original attached document in order to respond effectively in line with *response* directly below the comment.

General

1. Need letter of approval from Diamond A Water.
Response: Letter shall be provided by Owner.
2. Need letter of approval from Piedmont Fire Department.
Response: Letter shall be provided by Owner.
3. Will Summerset Wastewater Treatment Plant access road be moved to come off the end of the new Glenwood? If so, we don't need the End of Road Diamonds
Response: Yes, the access road will be adjusted to the new end of Glenwood Dr. The End of Road Diamonds have been removed.

Lighting

4. Summerset has new lighting design standards that need to be incorporated into the plans:
 - a. 30' tall w/ 8' arm extension
 - b. 40 watt LED
 - c. direct bury style
 - d. poles shall be galvanized steel material as manufactured by HAPCO, Millerbernd, and Valmont
 - e. 185' spacing, with poles placed at intersections and curves
 - f. placed in line with property lines and 2' off the back of curb for boulevards and 1' off sidewalk for curbside sidewalk
 - g. light pole details attached

Response: New lighting standards have been incorporated.

Roadway

5. Why does the proposed Glenwood Drive roadway jog at the connection to the existing Glenwood Drive?
Response: We have the new roadway centered in the ROW. If there is a jog it would be a slight adjustment in the field with a smooth transition.

6. PI shown at approximately Station 2+12 needs to be a vertical curve. We only allow a PI without a vertical curve in the road profile if the change in grade is 1% or less.

Response: A vertical curve has been added at this location.

Water

7. Water main should be located per Figure 3-1 in Summerset.

Response: The water main in Arapahoe St. has been revised to meet the requirements of Figure 3-1

Sanitary Sewer

8. Why is there such a steep grade in the sewer between the existing manhole in Glenwood and Manhole #1?

Response: This location is the transition point to allow the new sanitary sewer main to be located at a responsible depth of 9' not 14'+. Based on future phasing, this will support future expansion of Glenwood and Arapahoe as well.

Drainage

9. Where does the runoff from Basin 3 flow?

Response: Basin 3 is located at the general north end of the Sun Valley Subdivision. Basin 3 consists of three (3) residential lots where the north property lines shall be directly adjacent to the drainage way of the South Channel for the Stagebarn Canyon Drainage area. The east side of this Basin (157') is adjacent to the Stagebarn Canyon Channel. The additional runoff from this Basin for a 100 year event is a mere 1.92 CFS and is therefore considered for this location insignificant.

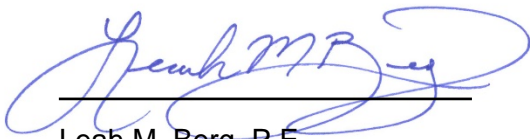
10. The report is showing this development is adding 12.65 cfs to the Stagebarn Canyon and South Channels. It is understood that this is one phase of the development and final detention will be addressed when providing culverts at the Glenwood Dr. and Arapahoe St. channel crossings. However, the runoff added by this phase of the development should be detained so no runoff over the existing 100 year runoff is flowing beyond the borders of the development.

Response: Correct, the final detention will be addressed with the culverts at the Glenwood Dr. and Arapahoe St. crossings. The flow from Basin 3 is discussed above and Basin 2 does not contribute to the Stagebarn Canyon Channel, which means that Basin 1 contributes 10.73 CF of additional flow for the 100 year storm event to the Stagebarn Canyon Channel.

Even though this phase has not directly evaluated major flow channels, Phase 4 located upstream on this dry Stagebarn Canyon Channel was developed last year. It was determined through the drainage evaluation that the channel provided 92% additional capacity above the required flow capacity. It is planned to retain the large open channel through the development in order

to retain this storage capacity. Therefore, it can safely be assumed that the 10.73 CF of flow being added to the Stagebarn Canyon Channel at the end of Glenwood Drive will be acceptable within the extra storage capacity of the open channel.

This additional contributing flow will be evaluated with the next phase expansion off of Glenwood Dr. and Arapahoe St. where there will be the drainage way crossings.



Leah M. Berg, P.E.