WHITTED HOUSE HOUSE RENOVATION

509 WEST HILLS RD KNOXVILLE, TN 37909

FALCONNIER DESIGN CO.

DESIGN PROFESSIONALS

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MECHANICAL:

ALT ALTERNATE

ALUM ALUMINUM

ANOD ANODIZED

ANC ANCHOR (AGE)

AB ANCHOR BOLT

APPROX APPROXIMATE

AD AREA DRAIN

AUTO AUTOMATIC

BS BACKSPLASH

BEAM

BEARIN

BITUMINOUS

BSMT BASEMENT

BETW BETWEEN

BLK BLOCK

BD BOARD

вот воттом

BLKG BLOCKING

BVL BEVEL (ED)

ВМ

ARCH ARCHITECT (URAL)

ASSEM ASSEMBLY (IES)

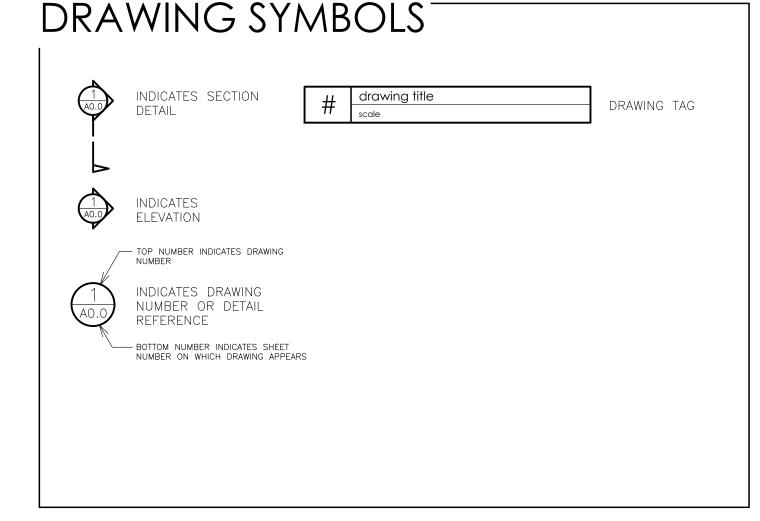
APA AMERICAN PLYWOOD ASSOC.

ALBERT F.G. BEDINGER, P.E. 4622 CHAMBLISS AVENUE KNOXVILLE, TN 37919 PH: 865.584.7868

LOCATION PLAN 509

ISSUE	DATE	REV	DESCRIPTION	SHEET NO.
.1	8/9/23	2	OWNER REVIEW	ALL

MATERIAL INDICATIONS CRUSHED STONE BATT INSULATION FIBERGLASS SHINGLES GLUE LAMINATED SECTION WOOD SECTION



DRAWING INDEX

COVER SHEET & PROJECT DATA GENERAL NOTES **DEMOLITION FLOOR PLAN & DEMOLITION** CLEARSTORY FLOOR PLAN A-100 FLOOR PLAN A-101 REFLECTED CEILING PLAN & CLEARSTORY FRONT & RIGHT EXTERIOR ELEVATIONS PARTIAL BUILDING SECTIONS, INTERIOR **ELEVATIONS, & DOOR DETAILS** FLOOR PLAN HVAC P-100 FLOOR PLAN WASTE

ELECTRICAL - POWER AND COMMUNICATIONS

P-101 FLOOR PLAN WATER

ELECTRICAL - LIGHTING

AS INSTRUMENTS OF SERVICE, THESE THEM ARE THE PROPERTY OF DAMON A.

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ISSUED:	2
REVISION(S):	
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FILE:	2022-094
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ABBREVIATIONS CONT CONTINUE (IOUS) EACH FACE FIXT FIXTURE CONTR CONTRACTOR EACH WAY FLASH'G FLASHING AFF ABOVE FINISHED FLOOR BLDG BUILDING CJ CONTROL JOINT EAST FLEX FLEXIBLE CONV CONVENTIONAL AP ACCESS PANEL BUR BUILT UP ROOFING EXTERIOR INSULATION & FINISH SYSTEM FLR FLOOR (ING) BBD BULLETIN BOARD COORD COORDINATE (ION) ACOUST ACOUSTICAL ELEC ELECTRIC (AL) FLOOR DRAIN CG CORNER GUARD ACT ACOUSTICAL TILE EWC ELECTRIC WATER COOLER FLUOR FLUORESCENT CORRUG CORRUGATED ADD ADDENDUM ELEV ELEVATION FOOT/FEET CS COUNTER SINK ADJ ADJUSTABLE CARPET (ED) EMER EMERGENCY FTG FOOTING CU.FT. CUBIC FOOT/FEET A/C AIR CONDITIONER (ING) CAST IRON ENCL ENCLOSURE FOUND FOUNDATION CU.YD. CUBIC YARD ACCESSIBLE CATCH BASIN EPDM ETHYLENE PROPYLENE DIENE MONOMER FR FRAME/FRENCH

CEILING

CEMENT

CENTER

CERAMIC

CHANNEL

CIRCLE

COATED

COLUMN

CRT COMPUTER MONITOR

COMP COMPRESS (ED, ION, IBLE)

CMU CONCRETE MASONRY UNIT

COM COMMON

CONC CONCRETE

COND CONDENSER

CEM

CLR

CTR

CONST CONSTRUCTION

DOWNSPOUT

DRINKING FOUNTAIN

DRAWER

DRAWING

DRYER

DUR DURATION

DS

DWG

EXPANDED POLYSTYRENE INSULATION FS FULL SIZE CW COLD WATER EPS DL DEAD LOAD EQUIP EQUIPMENT DEMO DEMOLISH (TION) EST CENTER LINE ESTIMATE DEPT DEPARTMENT EXAMPLE DES DESIGN CERAMIC TILE EXHAUST DETAIL CHAM CHAMFER EXIST EXISTING DIAG DIAGONAL EXPAN EXPANSION DIAMETER EB EXPANSION BOLT DIMENSION DIM CIRCUMFERENCE EXPANSION JOINT CLEAN OUT DW DISH WASHER EXP EXPOSED CLEAR (ANCE) DISP DISPOSAL EXT EXTERIOR DIVISION ETR EXISTING TO REMAIN DOOR DOUBLE COLD ROLLED FINISH (ED) DOUBLE HUNG FINISHED FLOOR ELEVATION

EACH

FIRE EXTINGUISHER

FIRE HOSE CABINET

FIREPLACE

FUR FURRED (ING) FUT FUTURE GAGE/GAUGE GALV GALVANIZED GEN GENERAL JST GENERAL CONTRACTOR GLASS/GLAZING GRAB BAR GRADE (ING) GRAVEL GND GROUND LBL LABEL LAB GYP GYPSUM LB GPBD GYPSUM BOARD LAM FIRE ALARM/FRESH AIR HDW HARDWARE LAUND LAUNDRY HDR FIRE EXTINGUISHER CABINET HEADER LAUNDRY TUB

HTG HEATING

HYD HYDRANT

HVAC HTG, VENT, AIR. COND.

FR FIRE RETARDANT

LLH LONG LEG HORIZONTAL INCL INCLUDE (D)(ING) INSIDE DIA./DIMENSION INSUL INSULATE (D)(ING) INT INTERIOR FULL SIZE FUR INTER INTERMEDIATE FURRED (ING) INV INVERT FUTURE JAN JANITOR MFR JANITOR CLOSET MANUFACTURE (R) JOINT MAS MASONRY JOIST MASONRY OPENING MATERIAL KITCHEN MAX MAXIMUM KO KNOCK OUT MECH MECHANICAL MC MEDICINE CABINET MEM MEMBER LABORATORY MET METAL LAG BOLT METAL THRESHOLD LAMINATE (D) MM MILLIMETER LARGE MWK MILLWORK MIN

MIR

LEV LEVEL

LIM

LIN

LTWT LIGHTWEIGHT

LIMITING

LINEN

LINTEL

LIVE LOAD

LOCKER

MINIMUM

MIRROR

MISC MISCELLANEOUS

MOD MODULAR

HEAVY DUTY

HEIGHT

HIGH

HM HOLLOW METAL

HORIZ HORIZONTAL

HW HOT WATER

HR HOUR

HD

HGT

LAV

LH

LAVATORY

LEFT HAND

POUNDS PER SQUARE FOOT NAT NATURAL POUNDS PER SQUARE INCH NOM NOMINAL PRECAST CONCRETE NONCOMB NONCOMBUSTIBLE PREFAB PREFABRICATED NORTH PREENG PREENGINEERED NOT IN CONTRACT NTS NOT TO SCALE NO or # NUMBER ON CENTER (S) QTR OPNG OPENING OPP OPPOSITE OUTSIDE DIAMETER OVERALL OVERFLOW DRAIN OFD REFL OVERHEAD/OVERHANG REFR OUNCE REG PAIR PNL PANEL RSFL RET PAR PARAPE1 PART PARTIAL

MUSIC/MACH TRANS CLASS PLF

MLD MOLDING

MOUNTED

MOVABLE

MULLION

MTD

MOV

MUL

PTN

PVMT

PARTITION

PLAM PLASTIC LAMINATE

PERIM PERIMETER

PLAS PLASTER

PAVEMENT

PRESTRESSED CONCRETE PRESSURE TREATED QUARRY TILE QUARTER RAINWATER LEADER REFERENCE/REFER REFLECTED REFRIGERATOR (ED) REGULAR REINF REINFORCE (D)(ING) REQ'D REQUIRED RESIL RESILIANT RESILIANT SHEET FLOORING RETURN RETURN AIR REV REVISION (S)/REVISED RIGHT HAND RISER

ROOF DRAIN

POLYVINYL CHLORIDE

POUNDS PER CUBIC FOOT

POUNDS PER LINEAR FOOT

PL PLATE

PLYWD PLYWOOD

S/S SAND & SEAL SERVICE TELEPHONE TELEVISION SERVICE SINK SHEET TEMP TEMPERED/TEMPORARY SHELF (VING)/SINGLE HUNG TERM TERMINATE (ION) SHOWER TERR TERRAZZO SIMILAR THICK (NESS) THRES SINGLE THRESHOLD SLOPE TOL TOLERANCE SOLID CORE TONGUE & GROOVE SOUND PROOF T.O.B. TOP OF BEAM SOUND TRANSMISSION CLASS T.O.C. TOP OF CURB T.O.J. TOP OF JOIST SPKR SPEAKER SPEC(S) SPECIFICATION (S) SQUARE FOOT/FEET SQUARE INCH (S) SQ.YD. SQUARE YARD (S) STAINLESS STEEL STAGGER (ED) TREAD STD STANDARD

REINFORCED MASONRY GROUT

ROUGH OPENING

RUBBER BASE

SCHED SCHEDULE

WATER PROOFING T.O.M. TOP OF MASONRY T.O.SL. TOP OF SLAB WATER STOP WS T.O.S. TOP OF STEEL WT T.O.W. TOP OF WALL T.O.PAR. TOP OF PARAPET TEMPERATURE & PRESSURE WDW TRASH COMPACTOR WG WM TYPICAL UNDERCOUNTER SYSTEME INTERNACIONALE UNFIN UNFINISHED (METRIC SYSTEM) UNO URIN URINAL

STORM DRAIN

SYMMETRY (ICAL)

STRUC STRUCTURAL

SUBFLR SUBFLOOR

SUSP SUSPENDED

SYS SYSTEM

WEIGHT UNLESS NOTED OTHERWISE YD YARD

WELDED WIRE MESH WINDOW WIRE GLASS WIRE MESH WITH W/O WITHOUT WOOD WROUGHT IRON

V-JOINT

VENEER

VERT VERTICAL

WSCT WAINSCOT

VWC

VARNISH

VESTIBULE

VINYL BASE

VINYL TILE

VERIFY IN FIELD

VINYL COMPOSITION TILE

VENT THROUGH ROOF

VINYL WALLCOVERING

WALK IN CLOSET

WALL FABRIC

WATER CLOSET

WATER HEATER

WALL HYDRANT

WATER RESISTANT

STATION

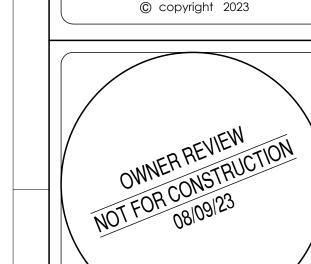
STEEL

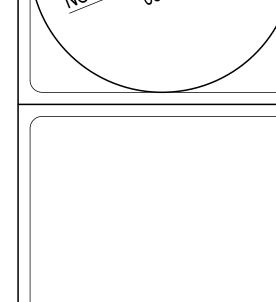
STOR STORAGE

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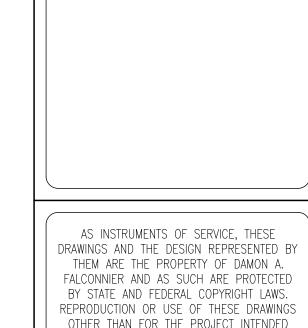
WHITTED HOUSE

509 WEST HILLS ROAD

KNOXVILLE, TN 37909 **COVER SHEET &** PROJECT DATA

G-100

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GENERAL NOTES AND SPECIFICATIONS WOOD NOTES 1. ALL NEW CONSTRUCTION SHALL COMPLY WITH ALL APPLICABLE FEDERAL, 1. WHERE NOTED, CONTRACTOR SHALL USE "SIMPSON STRONG-TIE" (OR EQUIVALENT) WOOD FRAMING ANCHORS, CONNECTORS, HANGERS, ETC. FOR ALL WOOD TO WOOD STATE, AND LOCAL BUILDING CODES AND RESTRICTIVE ORDINANCES FOR CONSTRUCTION, PLUMBING, ELECTRICAL, MECHANICAL, AND FIRE PROTECTION CONNECTIONS, ALL ANCHORS ETC. TO BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S PRINTED SPECIFICATIONS. 2. NOT USED. 2. DO NOT SCALE THESE DRAWINGS. WORK TO ALL DIMENSIONS. 3. UNLESS NOTED OTHERWISE ON PLANS HEADERS TO BE AS FOLLOWS: 3. THE INTENT OF THESE DRAWINGS IS TO PROVIDE THE BUILDER WITH UP TO 10'-0" ----GENERAL GUIDELINES FOR THE SOUND CONSTRUCTION OF THE STRUCTURE INDICATED WITHIN. DEVIATIONS FROM THESE DRAWINGS ARE AT THE ANY OP'G IN 2x6 BEARING WALL ———— $-(3) 2 \times 12$ OWNER/CONTRACTOR'S RISK UNLESS APPROVED IN WRITING, AND WITH OVER 10'-0" _____ SUPPLÉMENTARY DRAWINGS FROM ARCHITECT. 4. CUTTING, NOTCHING, BORED HOLES IN STUD WALLS, RAFTERS, BEAMS, COLUMNS, ETC., SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL RESIDENTIAL CODE 4. NOT USED. 5. NOT USED. 5. OWNER/CONTRACTOR TO SECURE AND PAY FOR ALL NECESSARY FEES AND PERMITS FOR CONSTRUCTION, ELECTRICAL AND PLUMBING INSPECTIONS, ETC. 6. ALL WOOD BUILT-UP GIRDERS, BEAMS, STUDS TO SOLE PLATE, ETC., TO BE CONNECTED AS PER INTERNATIONAL RESIDENTIAL CODE 6. DIMENSIONS INDICATED ON DRAWINGS ARE TO OUTSIDE FACE OF EXTERIOR CONCRETE BLOCK OR STUD WALL TO CENTERLINE OF INTERIOR STUDS AND 7. AT OPENINGS IN EXTERIOR WALLS, A WALL STUD SHALL BE AT EACH SIDE OF THE OPENING WITH THE ENDS OF THE HEADER SUPPORTED AS COLUMNS UNLESS NOTED OTHERWISE. FOLLOWS (UNLESS OTHERWISE NOTED): 7. IT IS THE RESPONSIBILITY OF THE OWNER AND/OR CONTRACTOR TO A) FOR OPENINGS LESS THAN 3 FT. IN WIDTH EACH END OF HEADER SHALL CHECK THE LOCAL AND STATE BUILDING CODES, SUB-DIVISION REST ON A SINGLE HEADER STUD OR MAY BE SUPPORTED BY FRAMING RESTRICTIONS AND HEALTH DEPARTMENT GUIDELINES AND ADHERE TO THEIR ANCHORS ATTACHED TO WALL STUD; REQUIREMENTS. B) FOR OPENINGS OVER 3 FT. TO LESS THAN 6'-0" IN WIDTH, EACH END SHALL BEAR ON SINGLE HEADER STUD; 8. ANY DISCREPANCIES CONTAINED WITHIN THESE DRAWINGS ARE TO BE C) FOR OPENINGS MORE THAN 6'-0" IN WIDTH, EACH END SHALL BEAR ON IMMEDIATELY REPORTED TO ARCHITECT. DOUBLE HEADER STUD: 9. NOT USED. D) ANY LENGTH HEADER SUPPORTING CONCENTRATED LOADS FROM BEAMS 10. ALL EXISTING SITE CONDITIONS ARE TO BE VERIFIED BY OWNER/CONTRACTOR ABOVE, EACH END SHALL BEAR ON DOUBLE HEADER STUD. E) ANY LENGTH HEADER SUPPORTING CONCENTRATED LOADS FROM BEAMS BEFORE START OF CONSTRUCTION. ABOVE, EACH END SHALL BEAR ON DOUBLE HEADER STUD. 11. NOT USED. F) SUPPLY KING STUDS IN QUANTITY TO MATCH JACK STUDS, KING STUDS TO RUN FULL HEIGHT OF WALL FROM BOTTOM PLATE TO TOP PLATE 12. LANDSCAPING EXISTING TO REMAIN. 13. NOT USED. 8. WHERE WOOD BEAMS BEAR ON STUD WALLS, PROVIDE MIN. DOUBLE OR TRIPLE STUD, DEPENDING ON BEAM WIDTH, UNDER BEAM BEARING. 14. THE DESIGN ADEQUACY AND SAFETY OF ERECTION BRACING, SHORING, ETC. FOR ALL WORK DONE BY THE OWNER/CONTRACTOR 9. ALL WOOD IN CONTACT WITH MASONRY, CONCRETE, OR EXPOSED TO THE IS THE SOLE RESPONSIBILITY OF THE OWNER/CONTRACTOR. WALLS WHICH WEATHER SHALL BE PRESSURE TREATED AS FOLLOWS: SUPPORT JOISTS, RAFTERS, ETC., AND ARE LATERALLY SUPPORTED BY A) TREATED LUMBER: SOUTHERN PINE OR DOUGLAS FIR CONSTRUCTION SAME SHALL BE BRACED UNTIL ALL CONSTRUCTION IS COMPLETED. GRADE S4S, AWPA STANDARD C1 & C2. B) ALL FIELD CUTS AND DRILLED HOLES IN TREATED LUMBER AND POSTS 15. NOT USED. SHALL BE TREATED IN ACCORDANCE WITH AWPA M-4. 16. CONTRACTOR SHALL CAULK AND SEAL ALL JOINTS AND CRACKS AROUND 10. WHEN PRE-FINISHED METAL IS INSTALLED OVER PRESSURE TREATED WOOD, USE (1) LAYER WINDOWS, CHIMNEYS, DOORS, COUNTER TOPS, MUD SILLS, SILL PLATES, ETC. OF 15# FELT BETWEEN WOOD AND METAL TO PREVENT CORROSION. SOME PRE-FINISHED WITH PROPER EXTERIOR OR INTERIOR COMPOUNDS. INSTALL AS PER METALS CAN BE ORDERED WITH ORGANIC POLYMER COATINGS FOR THE SAME PURPOSE. MANUFACTURER'S PRINTED INSTRUCTIONS. 17. ALL FINISHES, WALL COVERINGS, CARPET, PANELING, FLOOR TILES, COUNTER TOPS, FURNITURE, FURNISHINGS, HARDWARE, AND PAINT: THEIR COLORS, PATTERNS AND TEXTURES TO BE SELECTED BY OWNER UNLESS NOTED OTHERWISE. 18. ALL WATER LINES SHALL BE INSULATED. 19. ALL WATERPIPING AT FIXTURES CONNECTIONS SHALL BE THOROUGHLY ENVELOPE REQUIREMENTS (CLIMATE ZONE 4) SECURED IN OR ON WALL OF PIPE CHASE BEHIND FIXTURES. NEW ADDITION: R-19 INSULATION & R-38 CEILING INSULATION 20. OFFSET PLUMBING VENTS THROUGH ROOF AS REQUIRED TO AVOID ANY FOAM EXISTING CMU WALLS AROUND MASTER BATH OBSTRUCTIONS. ALL ROOF PENETRATIONS, WHERE PRACTICAL, TO BE SIMILAR IN COLOR TO ROOF FINISH. ROOF IS EXISTING TO REMAIN. 21. PROVIDE 110V, UL APPROVED SMOKE/CO DETECTORS IN NUMBERS AS DOORS AND WINDOWS ARE EXISTING TO REMAIN UNLESS NOTED OTHERWISE REQUIRED BY LOCAL CODES. DETECTORS SHALL BE LISTED AND MEET THE MECHANICAL EQUIPMENT AND LIGHTING SEE M-100, E-101, & E-102. INSTALLATION REQUIREMENTS OF NFPA 72A AND 74. 2. CONTRACTOR TO PRE-WIRE FOR TELEPHONE, CABLE TV, DOOR CHIMES, INTERNET AND SOUND SYSTEMS AS PER OWNER'S DIRECTION. ENERGY CODE GENERAL NOTES: 23. WINDOWS FROM ALL SLEEPING ROOMS MUST HAVE A MINIMUM NET CLEAR OPENING HEIGHT OF 24" AND A MINIMUM NET CLEAR OPENING 1. CONFORM TO LOCAL AUTHORITY ENERGY CODE REPORTING STANDARDS. WIDTH OF 20". THE SILL HEIGHT CANNOT EXCEED A MAXIMUM OF 44" 2. SEE SECTIONS A-301 thru A-303 FOR LOCATIONS OF INSULATION. ABOVE THE FLOOR. 3. INSULATION VALUES AND SPECIFICATIONS SHOWN IN TABLE AND DETAILS THIS SHEET. TOTAL OPEN AREA TO BE 5 SQ. FT. AT GROUND LEVEL ROOMS AND 4. SEE M-101 FOR MECHANICAL EQUIPMENT AND DESIGN. 5. SEE P-101 FOR PLUMBING AND WATER HEATING EQUIPMENT AND DESIGN. 5.7 SQ. FT. AT UPPER LEVEL ROOMS (WHERE ALLOWED BY LOCAL CODES). 6. THE DESIGN INTENT IS FOR THE NEW ROOF/ATTIC INSULATION TO CONTINUE ABOVE TOP OF 24. NO QUALIFYING STATEMENTS OR EXCEPTIONS TO PLANS OR NOTES TO EXTERIOR WALLS, THEREBY QUALIFYING FOR 100% RULE IN IECC (R)402.2.1 AND (R)402.2.2 BE PERMITTED. EXISTING BUILDING ENERGY CODE COMPLIANCE: **BUILDING CODE NOTES:** 1. EXISTING WALL, FLOOR OR ROOF INSULATION WHICH IS EXISTING TO REMAIN, DOES NOT NEED TO . MUNICIPAL JURISDICTION: CITY OF KNOXVILLE BE REPLACED (IECC R503.1.1 EXCEPTION 2). 2. CODES: 2. EXISTING WALL, FLOOR OR ROOF INSULATION WHICH IS NOT EXPOSED AS PART OF THE 2.1. 2018 INTERNATIONAL RESIDENTIAL CODE INCLUDING ALL LOCAL AMENDMENTS. ALTERATION, DOES NOT NEED TO BE REPLACED (IECC R503.1.1 EXCEPTION 3). 2.2. 2018 INTERNATIONAL EXISTING BUILDING CODE. 3. NEWLY INSTALLED OR REPLACEMENT INSULATION SHALL COMPLY WITH THE TABLE ABOVE. 2.3. KNOX COUNTY ZONING ORDINANCE 4. NEWLY INSTALLED WINDOWS OR DOORS SHALL COMPLY WITH THE ENERGY CODE FOR NEW 3. OCCUPANCY GROUP: SINGLE FAMILY RESIDENTIAL CONSTRUCTION. 4. CONSTRUCTION TYPE: V-B, UN-SPRINKLERED 5. EXISTING MECHANICAL EQUIPMENT IS EXISTING TO REMAIN. ANY NEW ELEMENTS OF THE 5. STRUCTURAL: MECHANICAL SYSTEM MUST MEET REQUIREMENTS FOR NEW CONSTRUCTION. 5.1. SEISMIC DESIGN CATEGORY: C 5.1. EXISTING DUCTS WHICH ARE LESS THAN 40 LINEAR FEET DO NOT REQUIRE TESTING (IECC 5.2. DESIGN WIND SPEED: 90mph, 3—SECOND GUST: 110mph 503.1.2 EXCEPTION). 5.3. DESIGN SNOW LOAD: 10psf 6. NEW LIGHTING SYSTEMS SHALL COMPLY WITH THE ENERGY CODE FOR NEW CONSTRUCTION. 5.4. LIVE LOADS: 5.4.1. 40 psf 5.4.2. 30 psf (BEDROOMS) 6. ENERGY CODE: 2018 INTERNATIONAL ENERGY CONSERVATION CODE 6.1. SEE A-301 thru A-303 FOR NEW ROOF/ATTIC INSULATION DUE TO NEW CEILING FRAMING/ ROOF SUPPORT. CONFORM TO TOWN OF FARRAGUT REPORTING STANDARDS. NOTE: 509 WEST HILLS ROAD IS 6.2. NO CHANGES TO EXTERIOR ENVELOPE. EXISTING FLOOR & WALL INSULATION TO LISTED ON THE NATIONAL HISTORIC REMAIN. REGISTER. CONSIDERATION MUST BE 7. OWNER SHALL: GIVEN TO ITS HISTORICAL VALUE. 7.1. BE RESPONSIBLE FOR ALL BUILDING PERMITS AND INSPECTIONS UNLESS DELEGATED IN WRITING TO THE GENERAL CONTRACTOR. 7.2. VERIFY SEWER AND SEPTIC REQUIREMENTS WITH LOCAL UTILITIES AND HEALTH 7.3. SCHEDULE ALL SITE UTILITY CONNECTIONS INCLUDING WATER, SEWER, ELECTRICAL AND COMMUNICATIONS.

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WHITTED HOUSE

509 WEST HILLS ROAD KNOXVILLE, TN 37909

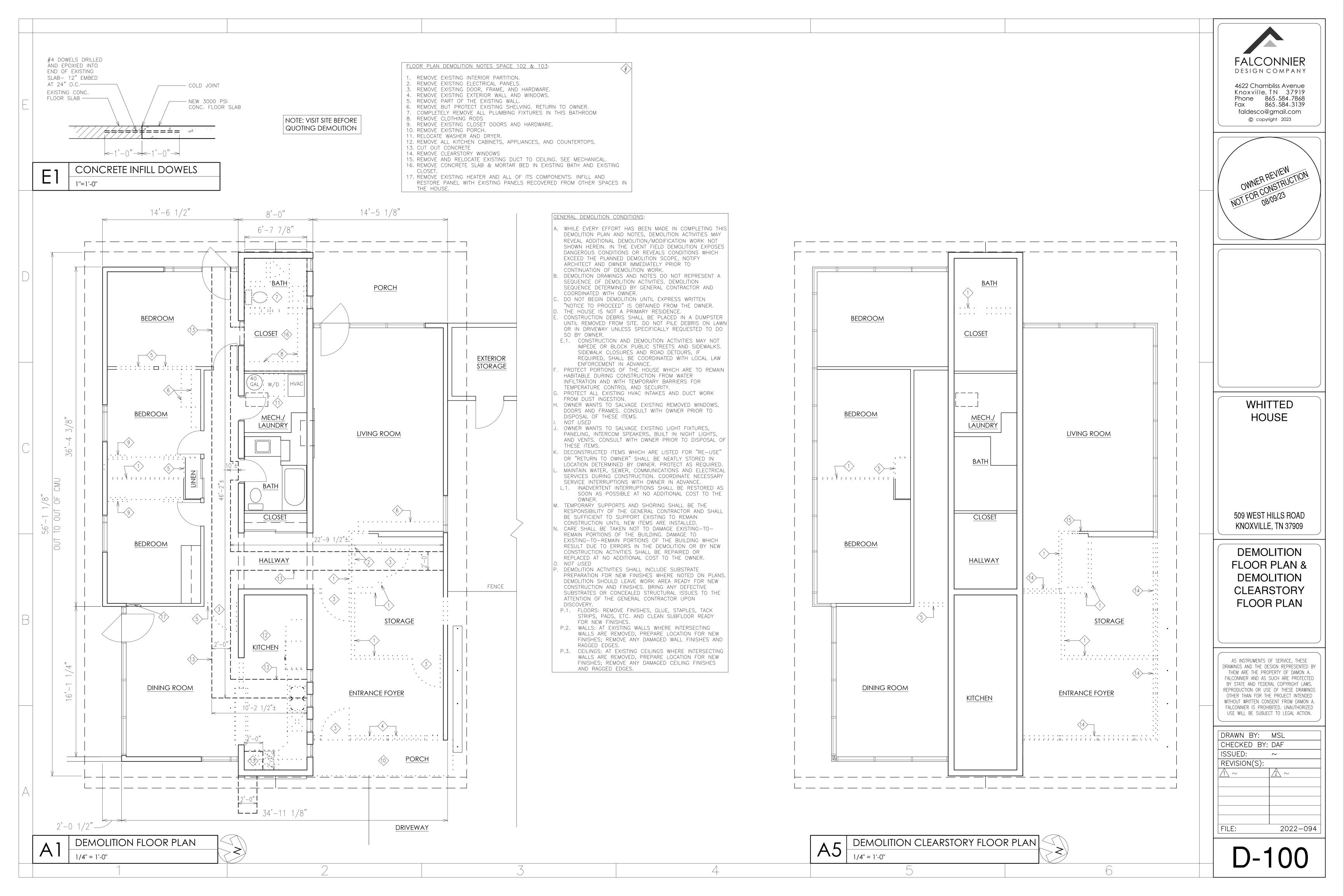
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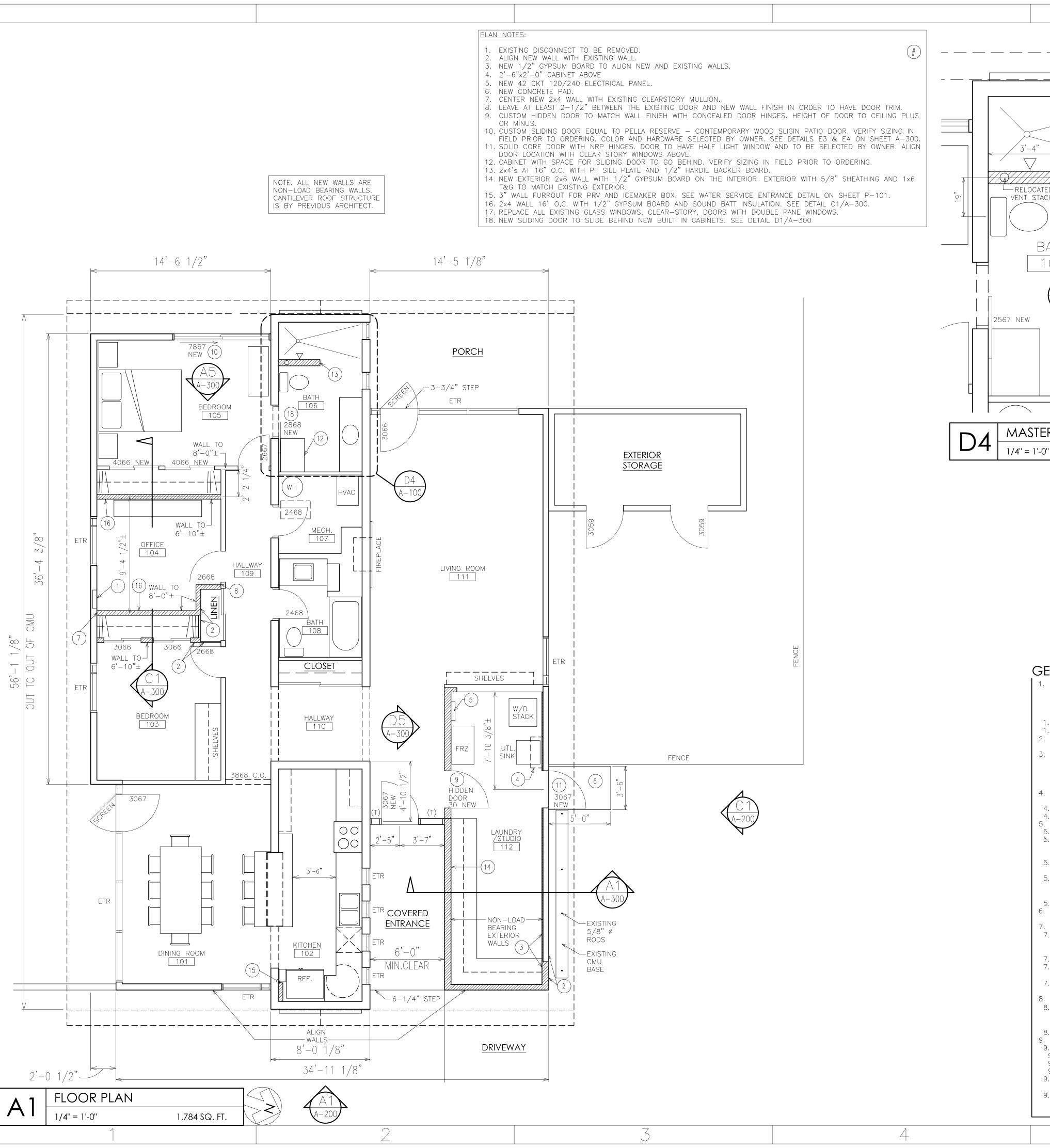
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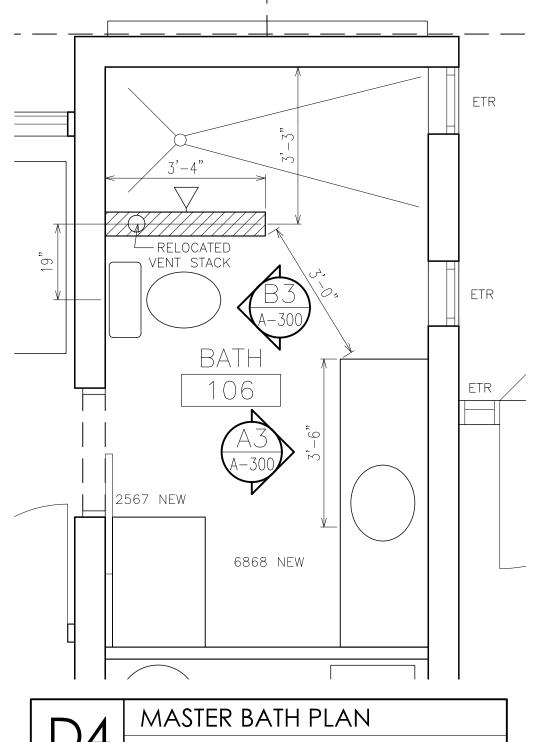
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G-101







WINDOW NOTES

- OWNER AND CONTRACTOR ARE TO REVIEW AND VERIFY WINDOW SIZES AND PLACEMENT BEFORE ORDERING WINDOWS.
- WINDOWS MARKED WITH A (T) ARE TO HAVE TEMPERED GLASS.
- WINDOW ENERGY CRITERIA: LOW-E 270 DUAL GLASS + ARGON U: 0.28 SHGC: 0.23 VT: 0.42

DOOR NOTES

DESIGNATIONS ON DOORS ARE IN FEET AND INCHES. 2. "3068" INDICATES $3'-0"\times6'-8"$.

GENERAL NOTES

ETR

- OWNER & GENERAL CONTRACTOR ARE RESPONSIBLE FOR ALL BUILDING PERMITS AND INSPECTIONS. CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE 2018 INTERNATIONAL RESIDENTIAL CODE AS ENFORCED BY KNOX COUNTY INCLUDING ALL LOCAL AMENDMENTS.
- 1.1. OCCUPANCY GROUP: SINGLE FAMILY RESIDENTIAL 1.2. CONSTRUCTION: V-B, UNSPRINKLERED

GRAPHIC LEGEND

MAY BE FOUND.

DETAIL MAY BE FOUND.

INDICATES NEW 2x WALL

INDICATES EXISTING TO REMAIN

- 2. ALL WOOD IN CONTACT w/ CONCRETE OR CONCRETE MASONRY SHALL BE PRESSURE TREATED.
- ALL WOOD TO WOOD CONNECTORS SHALL BE BY SIMPSON STRONG-TIE. UBS CONNECTORS ARE AN ACCEPTABLE ALTERNATIVE IF LOADING SPECIFICATIONS MEET OR EXCEED SIMPSON STRONG-TIE. ALL WOOD TO WOOD CONNECTORS
- SHALL BE GALVANIZED. EXTERIOR FINISHES: OWNER TO SELECT EXTERIOR COLORS AND FINISHES INCLUDING:
- 4.1. SIDING 4.2. PAINT AND TRIM COLORS
- 5. EXTERIOR WOOD: 5.1. ALL EXTERIOR WOOD SHALL BE PRESSURE TREATED. 5.2. ALL SCREWS SHALL BE GALVANIZED OR STAINLESS STEEL OR SHALL HAVE POLYMER ORGANIC COATING TO PREVENT
- 5.3. THROUGH BOLTS SHALL BE STAINLESS STEEL WITH STAINLESS STEEL NUTS AND WASHERS.
- 5.4. PRESSURE TREATED WOOD SHALL BE SEPARATED FROM PRE-FINISHED METAL w/ 15# FELT OR PROVIDE METAL w/ ORGANIC POLYMER COATING
- 5.5. SEAL OR STAIN EXTERIOR WOOD AS DIRECTED BY OWNER. 6. PROVIDE SOLID BLOCKING WHERE REQUIRED FOR NOTCHING AND NAILING. INTERIOR WALLS:
- 7.1. SHALL BE OF 2x4 WOOD STUDS AT NOT MORE THAN 16" O.C. WITH (1) LAYER OF 1/2" GYP.BD. EACH SIDE UNLESS NOTED OTHERWISE.
- 7.1. 2x6 WALLS ARE NOTED ON PLAN.
- 7.2. USE MOISTURE RESISTANT GYP.BD. IN BATHROOMS, KITCHENS OR OTHER LOCATIONS EXPOSED TO MOISTURE.
- 7.3. INSTALL 5/8" TYPE "X' GYP.BD. ON WALLS BETWEEN GARAGE AND CONDITIONED SPACES. 8. EXTERIOR WALLS
- 8.1. SHALL BE OF 2x4 WOOD STUDS NOT MORE THAN 16" O.C. w/ (1) LAYER OF 1/2" APA PLYWOOD EXTERIOR SHEATHING AND 1/2" GYP.BD. INTERIOR SHEATHING 8.2. INSULATE WITH R-20 SPRAY-APPLIED FOAM INSULATION
- 9. ELECTRICAL: 9.1. OWNER TO LOCATE:
- 9.1.1. NEW ELECTRICAL OUTLETS 9.1.2. LIGHT SWITCHES
- 9.1.3. COMMUNICATIONS OUTLETS
- 9.2. OWNER TO SELECT ALL LIGHT FIXTURES, STYLES AND
- 9.3. CONSULT WITH OWNER ABOUT I.T./COMMUNICATIONS & SECURITY REQUIREMENTS PRIOR TO COMPLETION OF

INDICATES DETAIL REFERENCE. TOP NUMBER IS DETAIL

INDICATES SECTION/ELEVATION REFERENCE. TOP NUMBER

IS DETAIL NUMBER. LOWER NUMBER IS SHEET ON WHICH

NUMBER. LOWER NUMBER IS SHEET ON WHICH DETAIL

- 10. INTERIOR FINISHES, PAINT COLORS, AND TRIMS SHALL BE SELECTED BY OWNER. 11. PLUMBING FIXTURES, FAUCETS AND TRIMS SHALL BE SELECTED
- BY OWNER. CONSULT WITH OWNER TO ENSURE CORRECT FRAMING DIMENSIONS, ESPECIALLY AT SHOWER UNITS. 12. KITCHEN CABINETS AND MILLWORK TO BE SELECTED BY OWNER. 3. WINDOWS:
- 13.1. OWNER TO SELECT TYPE, FUNCTION AND STYLE 13.2. WINDOWS SHALL MEET CODE-REQUIRED SLEEPING ROOM EGRESS MINIMUM CLEARANCES 13.3. WINDOWS SHALL MEET ALL APPLICABLE ENERGY CODE
- REQUIREMENTS. 14. ADDITION NOTES: 14.1. SEE DEMOLITION NOTES SHEET D-100. 14.2. ONLY NEW DOORS AND WINDOWS HAVE SIZES AND TYPES

INDICATED. OTHER DOORS AND WINDOWS ARE EXISTING TO

- 14.3. CONSTRUCTION WILL NECESSITATE COORDINATION WITH OWNER AS TO CONSTRUCTION SCHEDULE, MATERIALS STORAGE AND ACCESS TO OTHER PARTS OF THE HOUSE. 14.4. PROTECT EXISTING SPACES FROM WEATHER AND WATER
- INFILTRATION DURING CONSTRUCTION. 14.5. CONSTRUCTION WILL REQUIRE ACCESS TO MAIN FLOOR, 2nd FLOOR, ATTIC AND GARAGE. COORDINATE ACCESS WITH
- 14.6. CONSTRUCTION WILL REQUIRE THE REMOVAL AND REPLACEMENT OF SOME EXISTING WALL, FLOOR AND CEILING FINISHES TO INSTALL ADDITIONAL STRUCTURAL COMPONENTS. ALL DAMAGE TO EXISTING FINISHES SHALL BE REPAIRED AND REPLACED IN A NEAT, WORKMANLIKE MANNER WHICH SHALL MATCH EXISTING, ADJACENT FINISHES SO AS TO BE INDISTINGUISHABLE FROM UN-
- DAMAGED ADJACENT MATERIALS. 14.7. ANY AND ALL INCIDENTAL DAMAGE TO THE EXISTING HOUSE, FINISHES, STRUCTURE, ETC. WHICH MAY RESULT FROM CONSTRUCTION ACTIVITIES, SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER. 14.8. ALL SUBSURFACE PREPARATION OF SUBFLOORS, WALLS
- AND CEILINGS FOR NEW FINISHES SHALL BE INCLUDED IN PROJECT PRICING. FOR DEMOLISHED AND RENOVATION AREAS, GC TO EXAMINE ALL SUBSTRATES AND PREPARE AS REQUIRED FOR NEW FINISH INSTALLATION. 15. CONSTRUCTION ACTIVITIES SHALL NOT IMPEDE OR BLOCK ANY
- PUBLIC STREET OR SIDEWALK AND SHALL IN NO WAY DISRUPT VEHICULAR TRAFFIC (ESPECIALLY EMERGENCY FIRST RESPONDER ACCESS) OR NEIGHBORS' ACCESS TO ADJACENT PROPERTIES. INFORM LOCAL AUTHORITIES IF UNLOADING OR TEMPORARY PARKING IS NECESSARY FOR MATERIALS DELIVERY AND OTHER CONSTRUCTION ACTIVITIES.



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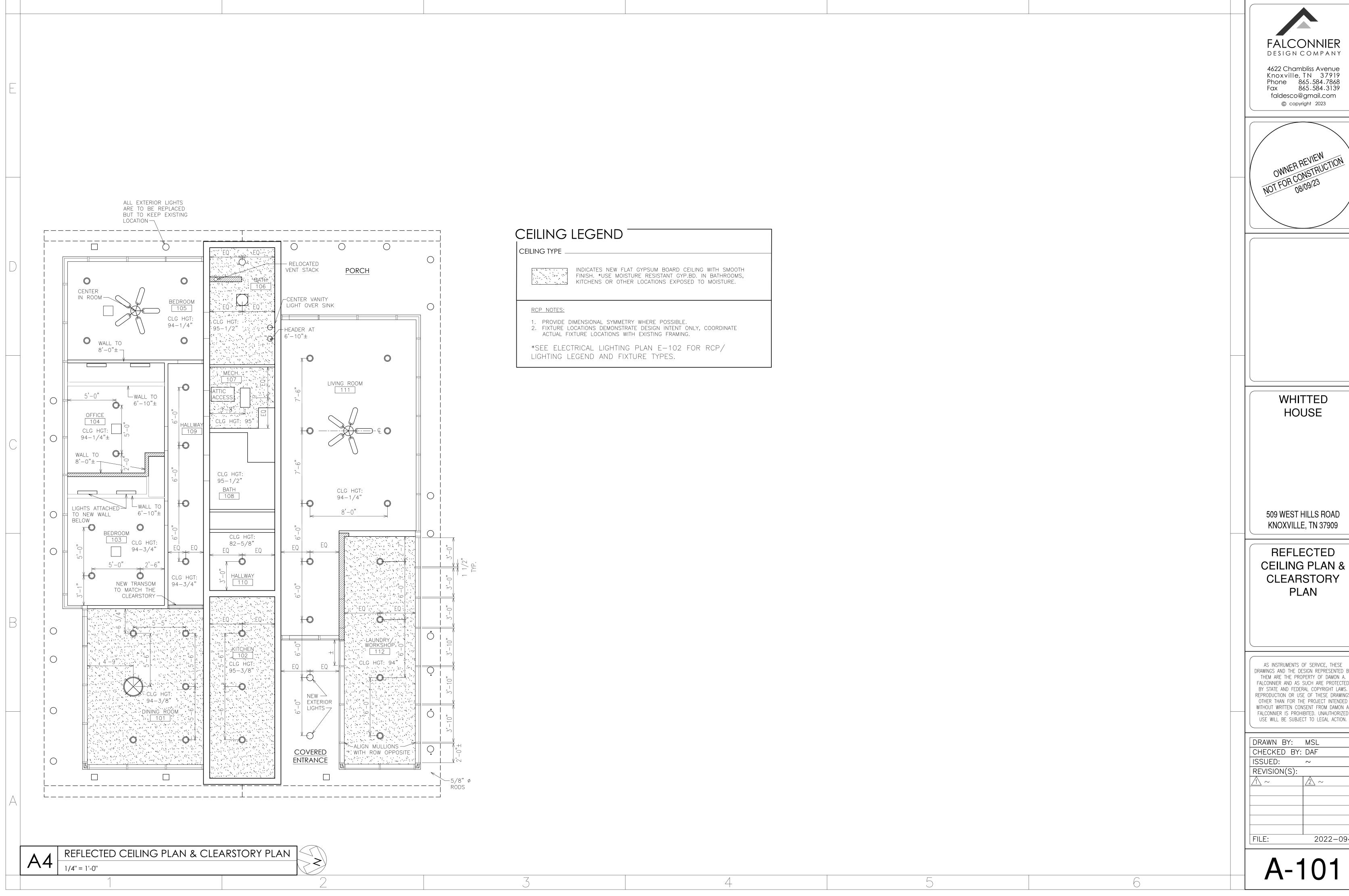
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FLOOR PLAN

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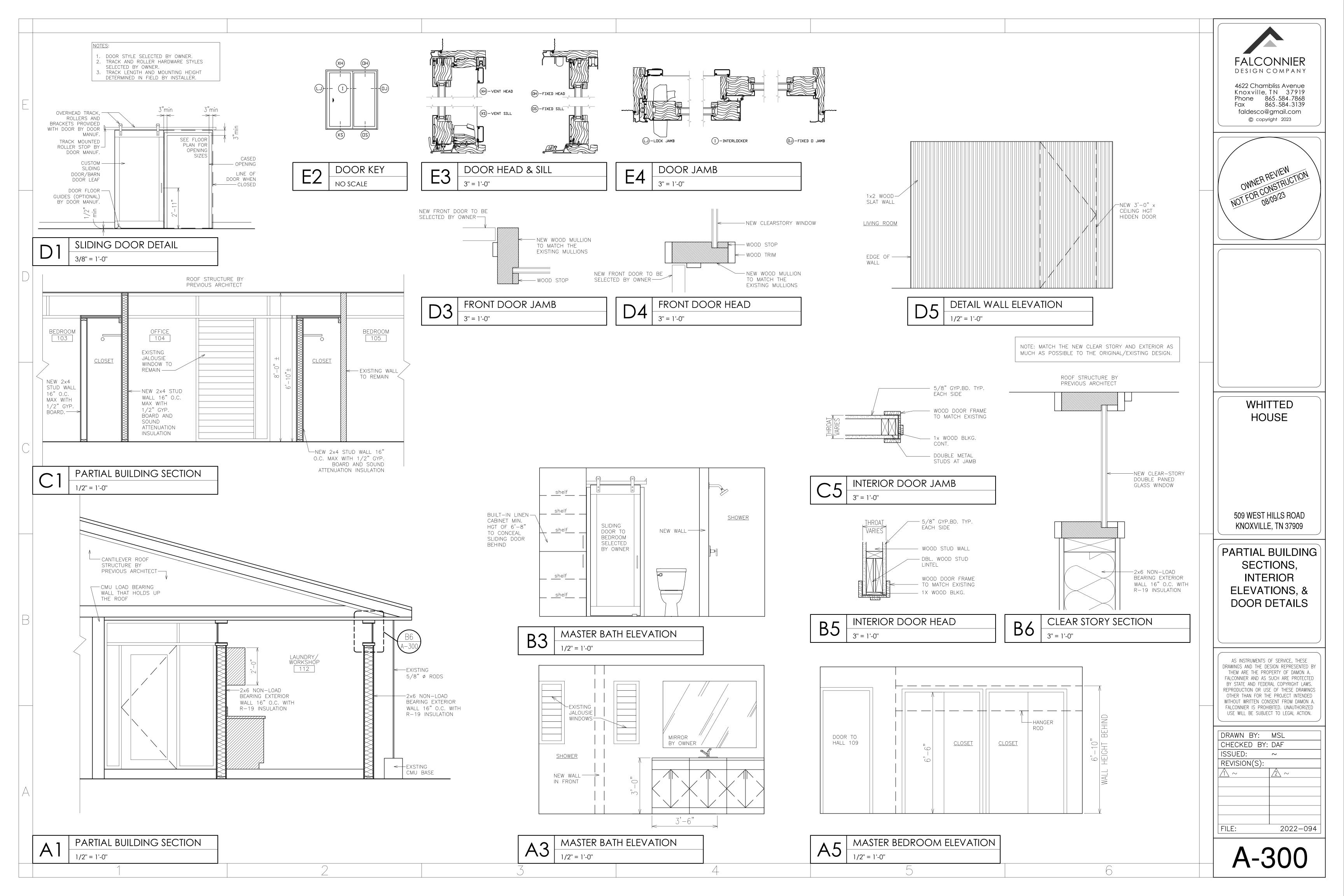
REFLECTED **CEILING PLAN &** CLEARSTORY PLAN

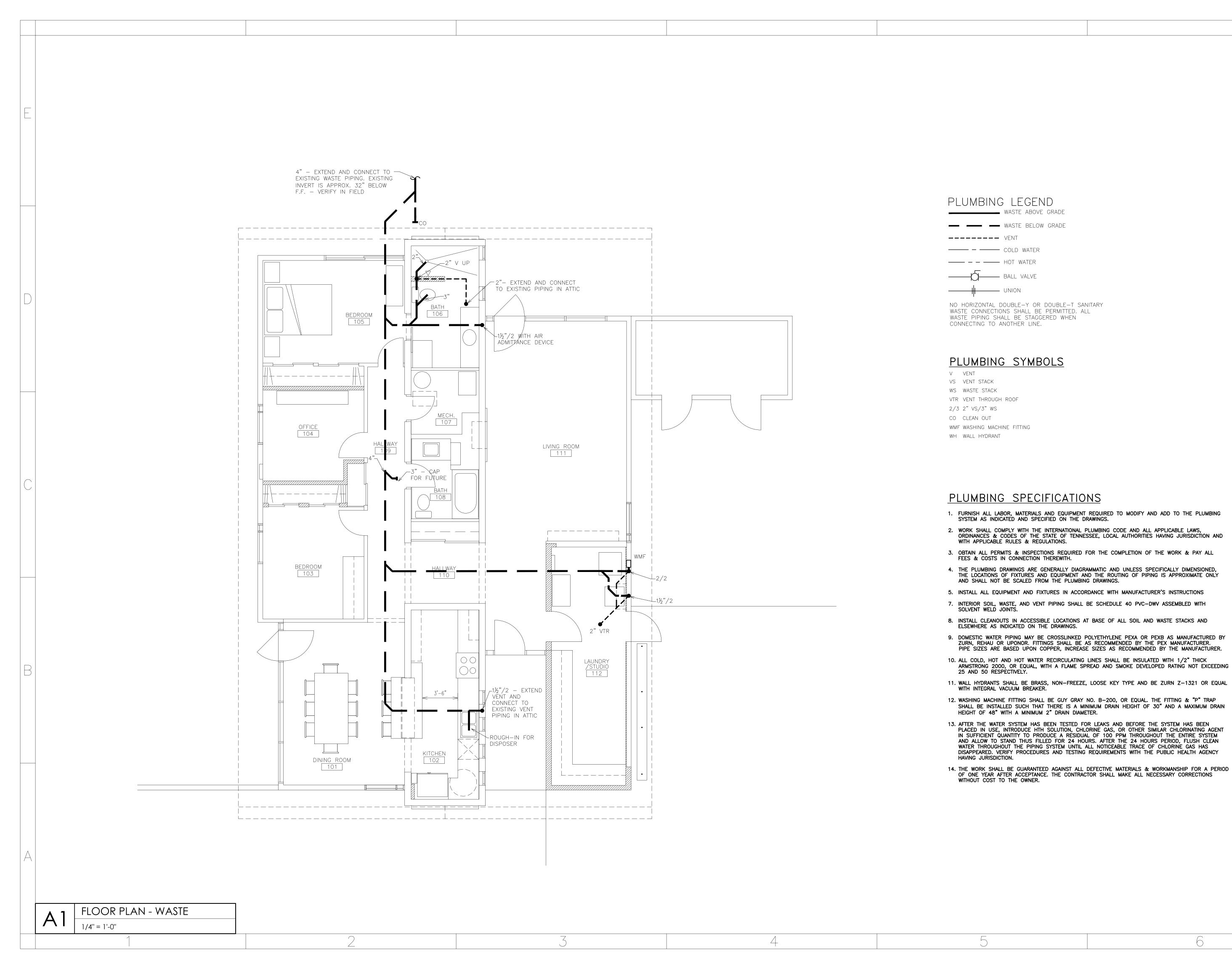
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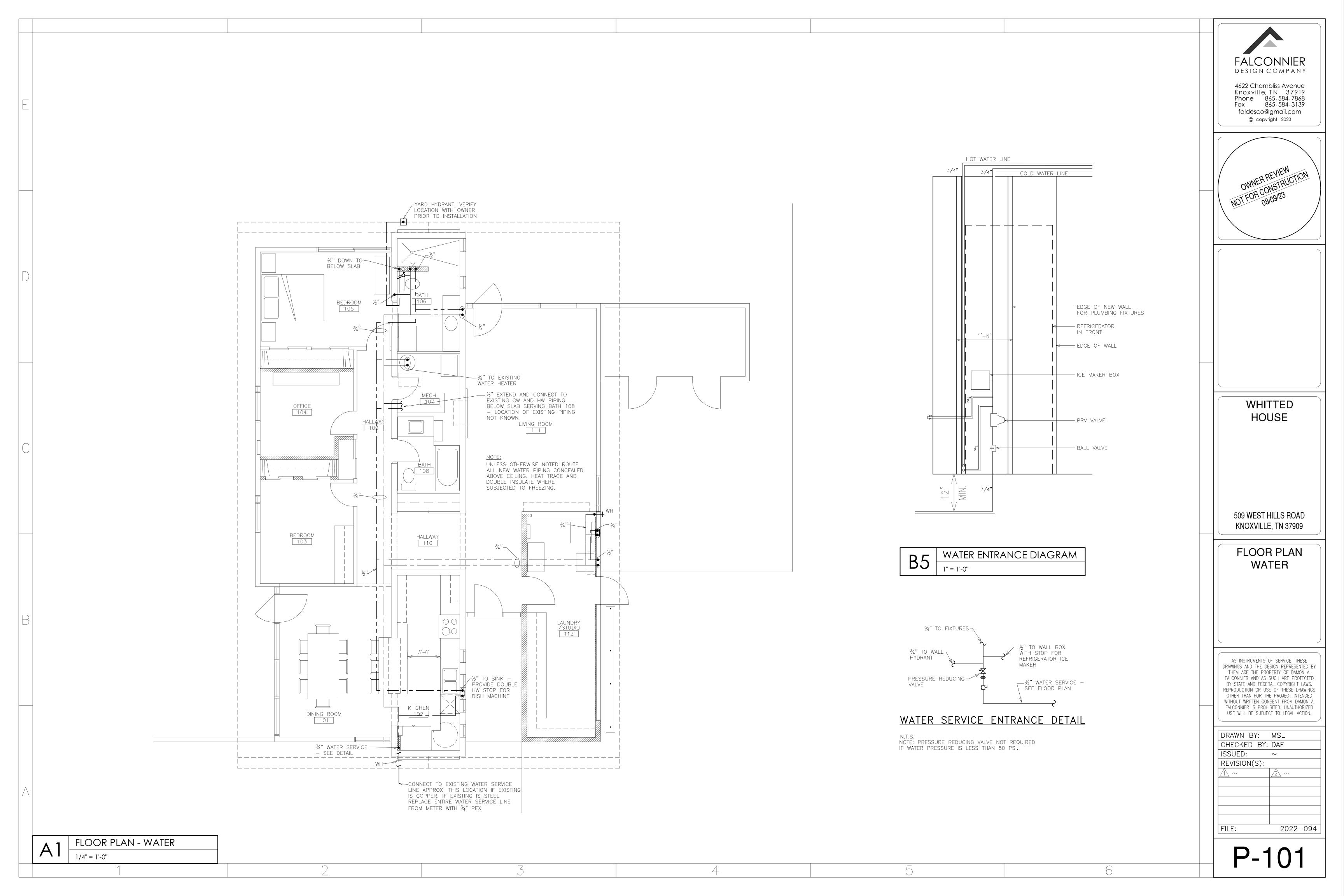
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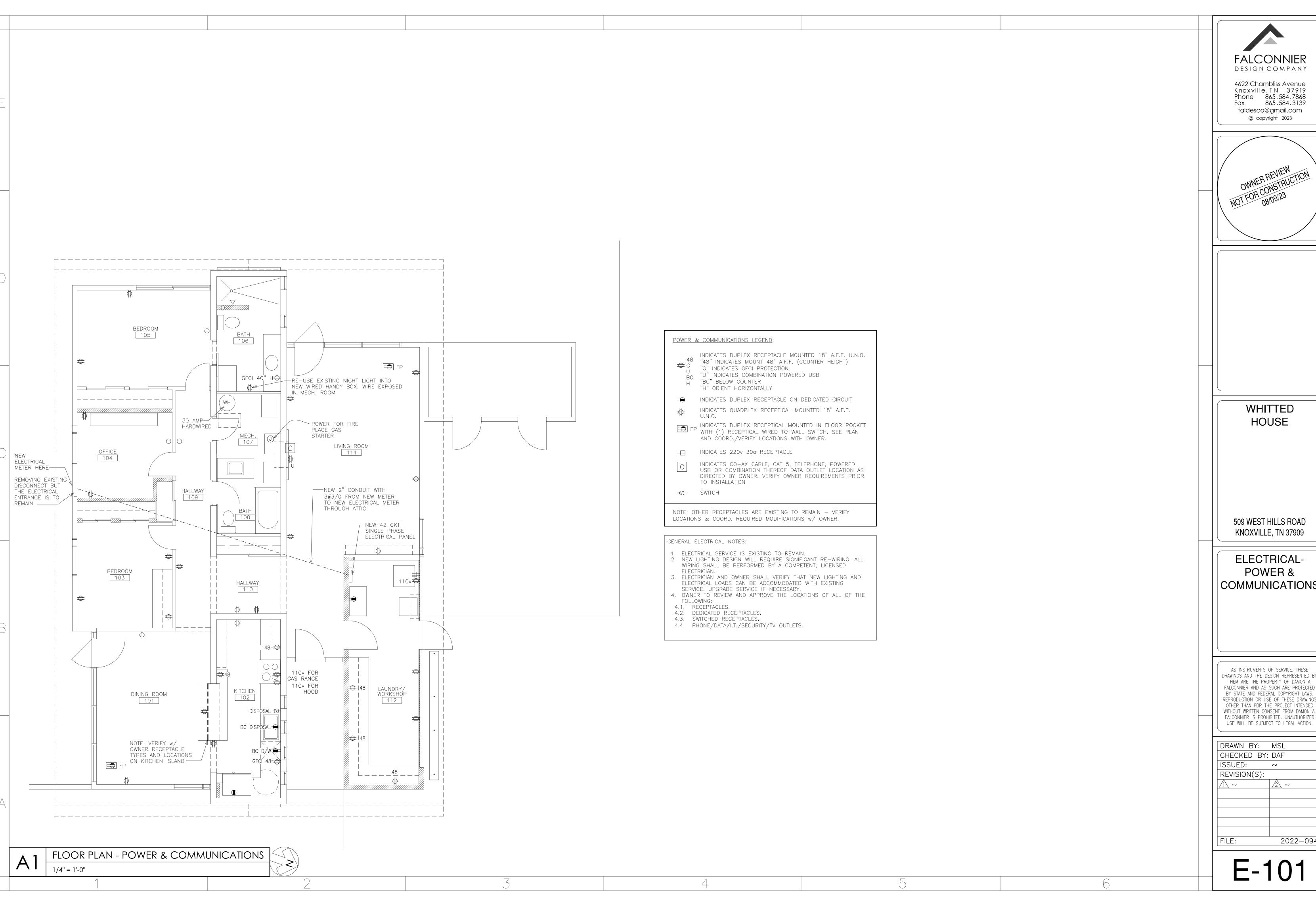
FLOOR PLAN WASTE

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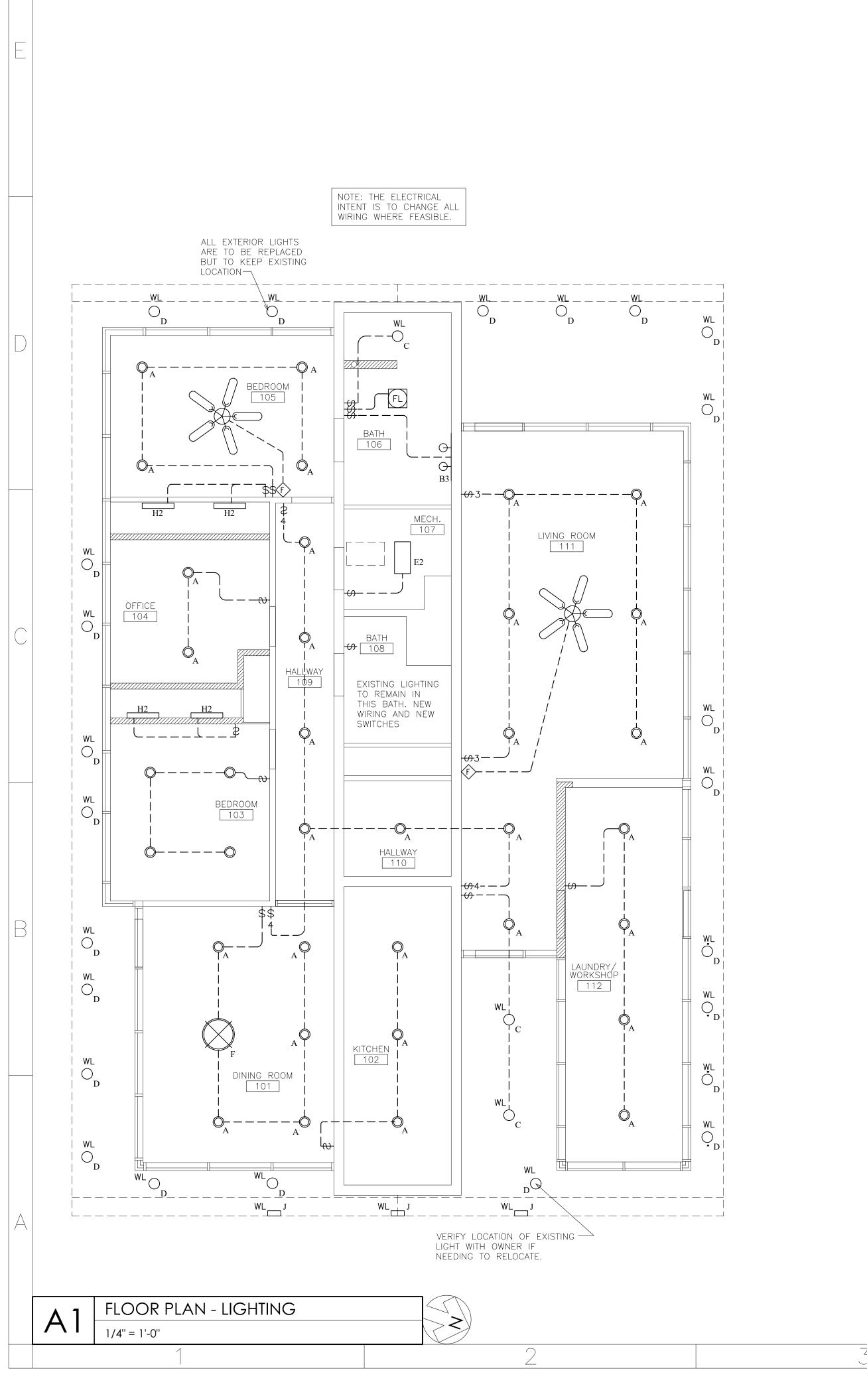
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ELECTRICAL-POWER & COMMUNICATIONS

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<u>LIGHTING & CONTROLS LEGEND</u>: NOTE: LOWER-CASE LETTERS INDICATE SWITCHING CIRCUIT.

O INDICATES 6" PECESSED LED CAN LIGHT W/ 0-10 A DIMMING DRIVER AND GYP.BD. TRIM RING

indicates vanity wall fixture B2 = 24" LONG; B3 = 36" LONG

INDICATES 6"Ø RECESSED LED CAN LIGHT WET \bigcirc LOCATION w/ GYP.BD. TRIM RING

INDICATES 6"Ø SURFACE MOUNTED LED CAN LIGHT WET LOCATION w/ GYP.BD. TRIM RING. REPLACING

ALL EXISTING EXTERIOR LIGHTS. INDICATES LED UTILITY FIXTURE W/ WRAP AROUND PRISMATIC LENSE, CLG. MOUNT AS INDICATED

E2 = 24" LONG; E4 = 48" LONG DL = DAMP LOCATION

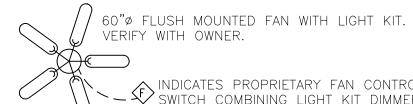
DECORATIVE KITCHEN CHANDELIER w/ DIMMING DRIVER. CENTERED ABOVE TABLE. VERIFY WITH OWNER BEFORE SETTING BOX. HEIGHT DETERMINED BY OWNER, BUT F SHALL NOT EXTEND BELOW 7'-0" A.F.F.

G NOT USED

INDICATES LED UTILITY FIXTURE, WALL MOUNT AND H CENTER ABOVE DOOR. H2 = 24" LONG; H3 = 36" LONG



WL $_{\rm J}$ indicates surface mounted exterior led narrow channel light in wet location. Modify in field to LENGTH NECESSARY. SEE A-200 FOR LOCATIONS



NDICATES PROPRIETARY FAN CONTROL SWITCH COMBINING LIGHT KIT DIMMER

HARDWIRED INTERCONNECTED COMBINATION SMOKE/CO DETECTORS OR HEAT DETECTORS W/ BATTERY BACK UP

AND SPEED CONTROL.

EXHAUST FAN AND LIGHT COMBINATION UNIT WITH DEDICATED POWER. SWITCH FAN & ROOM LIGHT FUNCTIONS TOGETHER. VERIFY UNIT w/ OWNER

ALL FIXTURES, STYLES, & COLORS SELECTED BY OWNER. VERIFY DIMMING FIXTURE LOCATIONS WITH OWNER (SEE GENERAL LIGHTING NOTE 4 BELOW).

SEE A-101 FOR DIMENSIONED LIGHT LOCATIONS.

GENERAL LIGHTING NOTES:

- 1. ALL LIGHTING FIXTURES AND FANS SHALL BE SELECTED BY OWNER. 2. ALL SWITCHING AND CONTROL OPTIONS WILL BE REVIEWED AND APPROVED BY OWNER.
- . LIGHTING DIMENSIONS SHOWN ON PLAN (SEE A-111) ARE ALONG AN ASSUMED FLAT PLANE AND DO NOT TAKE SLOPE INTO CONSIDERATION. LIGHT LOCATIONS MAY BE ADJUSTED TO ACCOMMODATE FIELD CONDITIONS (SUCH AS RAFTER OR TRUSS LOCATIONS). ALIGN CENTERLINES IF ADJUSTMENTS ARE NECESSARY. <u>DO NOT</u> CUT RAFTERS TO INSTALL LIGHTING.
- 4.1. OWNER REQUIRES SOME LIGHT FIXTURES TO BE MANUALLY DIMMING. OWNER TO ADVISE ON LOCATIONS & REQUIREMENTS. 4.2. PROVIDE 3-POLE DIMMERS WHERE REQUIRED. 5. FAN CONTROLS AND SWITCHING:
- 5.1. (1) DIMMER FOR THE LIGHT KIT (WHERE PROVIDED) 5.2. (1) REOSTAT FOR FAN SPEED CONTROL
- 6. EXISTING EXTERIOR LIGHTING TO REMAIN IN THE EXISTING LOCATIONS BUT TO BE REPLACED AND REPLACE THE MISSING CAN LIGHTS.
- 7. LED LIGHTING NOTES: 7.1. COLOR TEMPERATURE OF 2700k TO 3500k RECOMMENDED WITH
- A MINIMUM OF 80 CRI. 7.2. THE WHITE AND WARM COMBINATION LIGHT BULBS ARE TO BE
- USED FOR ALL CAN LIGHTS. VERIFY WITH OWNER.
- 7.3. DO NOT MIX COLOR TEMPERATURES IN THE SAME ROOM UNLESS DIRECTED TO DO SO BY OWNER.
- 7.4. ALL LED FIXTURES IN A GIVEN ROOM SHALL HAVE COMMON BINNING TO ASSURE COLOR MATCHING ACROSS MANUFACTURERS AND FIXTURES. FIXTURES IN THE SAME ROOM WITH NOTICEABLY DIFFERENT LIGHT TEMPERATURES OR COLORS SHALL BE REPLACED AT NO ADDITIONAL COST TO THE OWNER.



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ELECTRICAL-LIGHTING

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