

E

D

C

B

A

# WHITTED HOUSE HOUSE RENOVATION

509 WEST HILLS RD  
KNOXVILLE, TN 37909

## FALCONNIER DESIGN CO.



4622 Chambliss Avenue  
Knoxville, TN 37919  
Phone 865.584.7868  
Fax 865.584.3139  
faldesco@gmail.com  
© copyright 2023

OWNER REVIEW  
NOT FOR CONSTRUCTION  
08/09/23

### DESIGN PROFESSIONALS

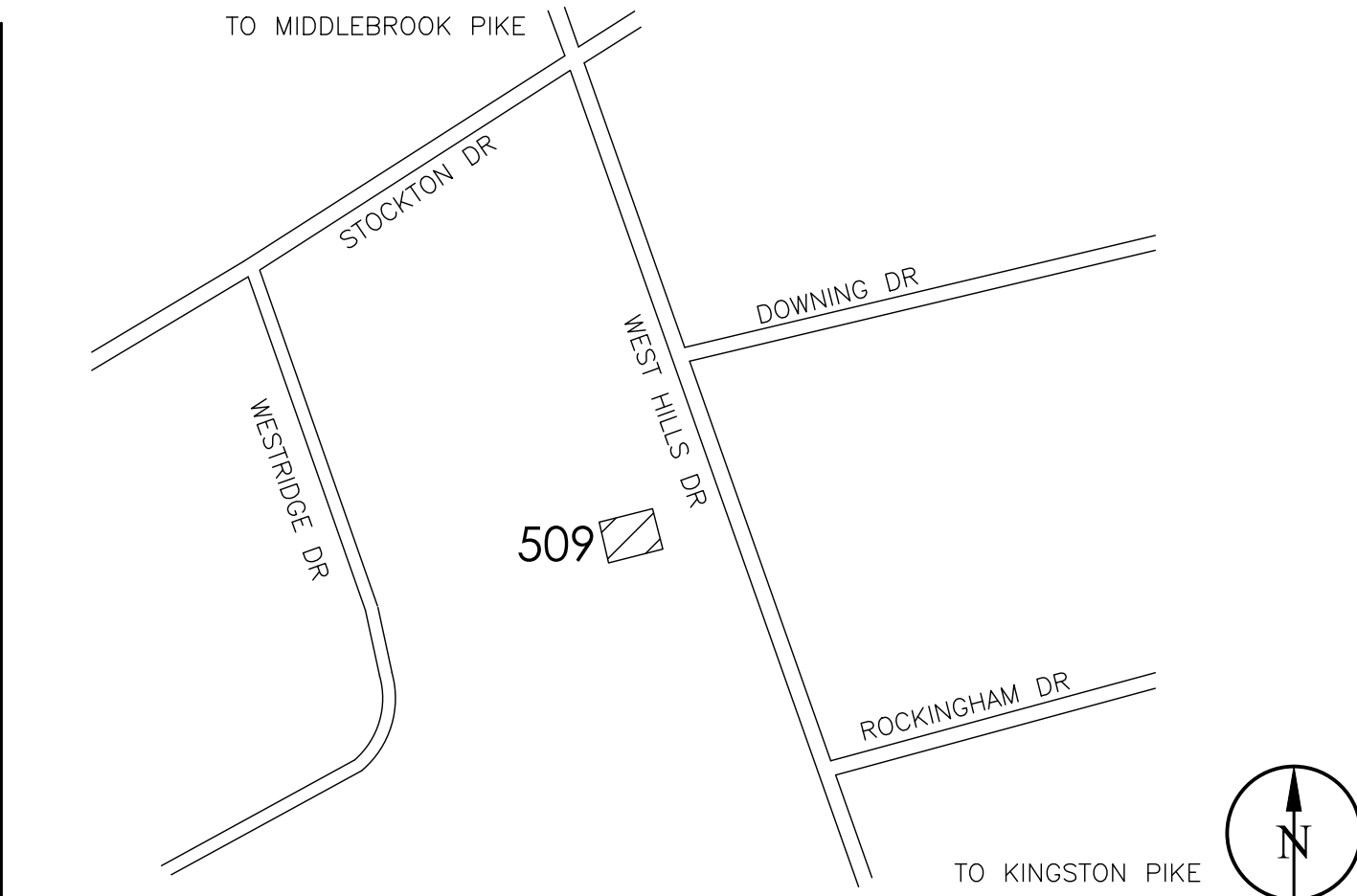
#### ARCHITECT:

FALCONNIER DESIGN CO.  
4622 CHAMBLISS AVE.  
KNOXVILLE, TN 37919  
PH: 865.584.7868  
FX: 865.584.3139  
faldesco@gmail.com

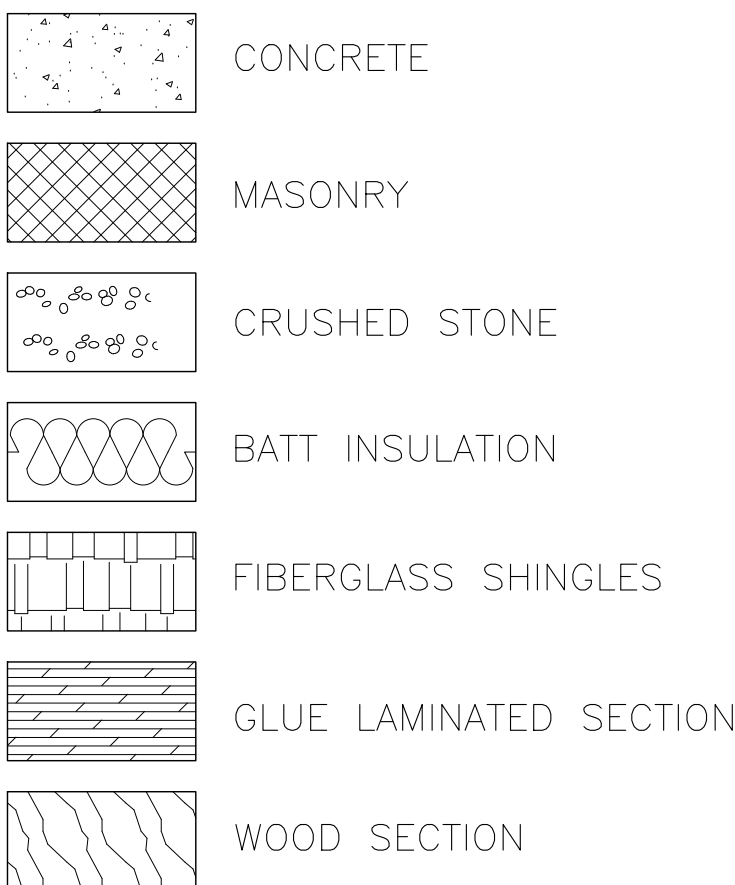
#### MECHANICAL:

ALBERT F.G. BEDINGER, P.E.  
4622 CHAMBLISS AVENUE  
KNOXVILLE, TN 37919  
PH: 865.584.7868

### LOCATION PLAN



### MATERIAL INDICATIONS



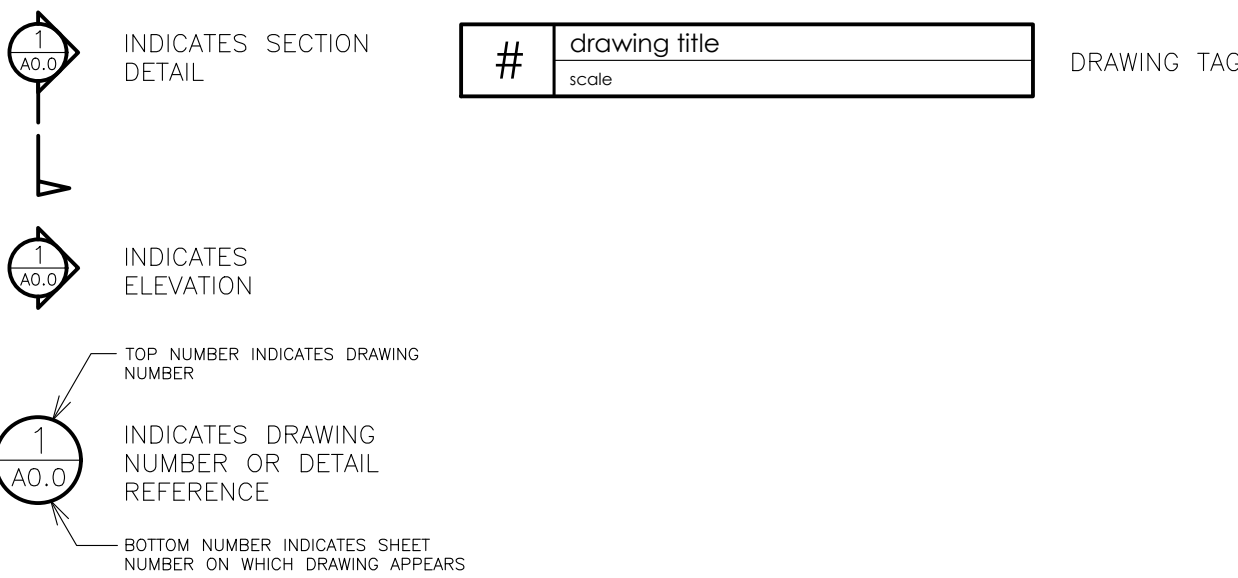
### DRAWING INDEX

G-100	COVER SHEET & PROJECT DATA
G-101	GENERAL NOTES
D-100	DEMOLITION FLOOR PLAN & DEMOLITION CLEARSTORY FLOOR PLAN
A-100	FLOOR PLAN
A-101	REFLECTED CEILING PLAN & CLEARSTORY PLAN
A-200	FRONT & RIGHT EXTERIOR ELEVATIONS
A-300	PARTIAL BUILDING SECTIONS, INTERIOR ELEVATIONS, & DOOR DETAILS
M-100	FLOOR PLAN HVAC
P-100	FLOOR PLAN WASTE
P-101	FLOOR PLAN WATER
E-101	ELECTRICAL - POWER AND COMMUNICATIONS
E-102	ELECTRICAL - LIGHTING

### ISSUE RECORD

ISSUE	DATE	REV	DESCRIPTION	SHEET NO.
.1	8/9/23	~	OWNER REVIEW	ALL

### DRAWING SYMBOLS



### ABBREVIATIONS

ABV	ABOVE	BR	BRUSH (ED)	CONTR	CONTRACTOR	EW	EAST	FLX	FLASHING	H	HIGH	LIM	LIMITING	MOV	MOVABLE	PVC	POLYVINYL CHLORIDE	RB	RUBBER BASE	SBFLR	SUBFLOOR	VAR	VARNISH
AFF	ABOVE FINISHED FLOOR	BLDG	BUILDING	CJ	CONTRACT JOINT	E	EACH	FLEX	FLEXIBLE	HM	HOLLOW METAL	LIN	LINEN	PCF	POUNDS PER CUBIC FOOT	RT	RUBBER TILE	SUSP	SUSPENDED	VNR	VENEER		
AP	ACCESS PANEL	BUR	BUILT UP ROOFING	CONV	CONVENTIONAL	E	EXTERIOR INSULATION & FINISH SYSTEM	FLR	FLOOR	HR	HORIZONTAL	LTL	LIVER	HTC	MUSIC/MACH TRANS CLASS	PLT	PLYWOOD	SYM	SYMMETRY (ICAL)	VERT	VERTICAL		
ACOUST	ACOUSTICAL	BBB	BULLETIN BOARD	COORD	COORDINATE (ION)	ELEC	ELECTRIC (AL)	FD	FLOOR DRAIN	HW	HOUR	LTL	LEVEL LOAD	PSF	POUNDS PER SQUARE FOOT	SCHD	SCHEDULE	SYS	SYSTEM	VEST	VESTIBULE		
ACT	ACOUSTICAL TILE	CB	CABINET	CS	CORNER GUARD	EWG	ELECTRIC WATER COOLER	FLR	FLOOR	HW	HOT WATER	LKR	LOCKER	NAT	NATURAL	PSI	POUNDS PER SQUARE INCH	SECT	SECTION	S/S	SAND & SEAL	VB	VBINT BASE
ADD	ADDENDUM	CBT	CARPET	CS	CORRUGATED	ELEV	ELEVATION	FT	FOOT/FEET	LLH	LONG LEG HORIZONTAL	LLV	LONG LEG VERTICAL	PC	PRECAST CONCRETE	SEP	SEPARATE	SERV	SERVICE	VIF	VERIFY IN FIELD		
ADJ	ADJUSTABLE	CPT	CARPET (ED)	CS	COUNTER SINK	EMER	EMERGENCY	FTG	FOOTING	INCL	INCLUDE (D)(ING)	INCL	INSIDE DIA/DIMENSION	PREFAB	PREFABRICATED	SS	SERVICE	TEL	TELEPHONE	VCT	VINYL COMPOSITION TILE		
A/C	AIR CONDITIONER (ING)	CI	CAST IRON	CS	CORRUGATED	ENCL	ENCLOSURE	FOUND	FOUNDATION	N	NORTH	N	NORTH	PREENG	PREENGINEERED	SS	SERVICE SINK	TV	TELEVISION	VT	VINYL TILE		
ACC	ACCESSIBLE	CB	CATCH BASIN	CI.YD.	CUBIC YARD	EPDM	ETHYLENE PROPYLENE DIENE MONOMER	FR	FRAME/FRENCH	INSUL	INSULATE (D)(ING)	FR	FRAME/FRENCH	NT	NOT IN CONTRACT	PSC	PRESTRESSED CONCRETE	SH	SH	TEMP	TEMPERED/TEMPORARY	VTR	VENT THROUGH ROOF
ALT	ALTERNATE	CLG	CATCH	CI	CUBIC YARD	EPS	EXPANDED POLYSTYRENE INSULATION	FS	FULL SIZE	INT	INTERIOR	FS	FULL SIZE	PT	PRESSURE TREATED	NTS	NOT TO SCALE	SH	SH	TERM	TERMINATE (ION)	WVC	WALL WALLCOVERING
ALUM	ALUMINUM	CEM	CEMENT	EQ	EQUAL	FUR	FURRED (ING)	FUT	FUTURE	NO or #	NUMBER	FUT	FUTURE	QT	QUARTY TILE	NO or #	NUMBER	SHWR	SHOWER	TERR	TERRAZZO		
ANC	ANCHOR (AGE)	CTR	CENTER	DE	DEAD LOAD	EQUIP	EQUIPMENT	FUT	FUTURE	INV	INVERT	FUT	FUTURE	QT	QUARTY TILE	OC	ON CENTER (S)	SHWR	SHOWER	THK	THICK (NESS)	WCS	WAINSCOT
AB	ANCHOR BOLT	CL	CENTER LINE	DEM	DEMOLISH (TION)	EST	ESTIMATE	GA	GAGE/GAUGE	JAN	JANITOR	MC	MANHOLE	QTR	QUARTER	THRES	THRESHOLD	THK	THICK (NESS)	WCS	WAINSCOT		
ANDD	AND D	CER	CERAMIC	DEPT	DEPTH	EX	EXAMPLE	GEN	GENERAL	JC	JANITOR CLOSET	MFR	MANUFACTURE (R)	OPNG	OPENING	SG	SINGLE	THRES	THRESHOLD	WCS	WAINSCOT		
APA	AMERICAN PLYWOOD ASSOC.	CT	CERAMIC TILE	DES	DESIGN	EXH	EXHAUST	GALV	GALVANIZED	JT	JOINT	MFR	MANUFACTURE (R)	OPNG	OPENING	SG	SINGLE	THRES	THRESHOLD	WCS	WAINSCOT		
APPROX	APPROXIMATE	CHAM	CHAMFER	DET	DETAIL	EXIST	EXISTING	GEN	GENERAL	JC	JANITOR CLOSET	MFR	MANUFACTURE (R)	OPNG	OPENING	SG	SINGLE	THRES	THRESHOLD	WCS	WAINSCOT		
ARCH	ARCHITECT (URAL)	CHAN	CHANNEL	DAG	DIAGONAL	EXPAN	EXPANSION	GC	GENERAL CONTRACTOR	JST	JOIST	MA	MASONRY	OPNG	OPENING	SG	SINGLE	THRES	THRESHOLD	WCS	WAINSCOT		
AD	AREA DRAIN	DIA	DIAMETER	DIA	DIAMETER	EXPAN	EXPANSION	GC	GENERAL CONTRACTOR	JST	JOIST	MA	MASONRY	OPNG	OPENING	SG	SINGLE	THRES	THRESHOLD	WCS	WAINSCOT		
ASSEM	ASSEMBLY (IES)	CIRC	CIRCUMFERENCE	DM	DIMENSION	EXPAN	EXPANSION	GC	GENERAL CONTRACTOR	JST	JOIST	MA	MASONRY	OPNG	OPENING	SG	SINGLE	THRES	THRESHOLD	WCS	WAINSCOT		
AUTO	AUTOMATIC	CLR	CLEAR (ANCE)	DISP	DISPOSAL	EXP	EXPOSED	GC	GENERAL CONTRACTOR	JST	JOIST	MA	MASONRY	OPNG	OPENING	SG	SINGLE	THRES	THRESHOLD	WCS	WAINSCOT		
BS	BACKSPLASH	CLO	CLOSET	DISP	DISPOSAL	EXP	EXPOSED	GC	GENERAL CONTRACTOR	JST	JOIST	MA	MASONRY	OPNG	OPENING	SG	SINGLE	THRES	THRESHOLD	WCS	WAINSCOT		
BSMT	BASEMENT	CTD	COATED	DISP	DISPOSAL	EXP	EXPOSED	GC	GENERAL CONTRACTOR	JST	JOIST	MA	MASONRY	OPNG	OPENING	SG	SINGLE	THRES	THRESHOLD	WCS	WAINSCOT		
BM	BEAM	CR	COLD ROLLED	DISP	DISPOSAL	EXP	EXPOSED	GC	GENERAL CONTRACTOR	JST	JOIST	MA	MASONRY	OPNG	OPENING	SG	SINGLE	THRES	THRESHOLD	WCS	WAINSCOT		
BRG	BEARING	COL	COLUMN	DISP	DISPOSAL	EXP	EXPOSED	GC	GENERAL CONTRACTOR	JST	JOIST	MA	MASONRY	OPNG	OPENING	SG	SINGLE	THRES	THRESHOLD	WCS	WAINSCOT		
BETW	BETWEEN	COM	COMMON	DISP	DISPOSAL	EXP	EXPOSED	GC	GENERAL CONTRACTOR	JST	JOIST	MA	MASONRY	OPNG	OPENING	SG	SINGLE	THRES	THRESHOLD	WCS	WAINSCOT		
BEVL	BEVEL (ED)	COMP	COMPRESS (ED, ION, IBLE)	DISP	DISPOSAL	EXP	EXPOSED	GC	GENERAL CONTRACTOR	JST	JOIST	MA	MASONRY	OPNG	OPENING	SG	SINGLE	THRES	THRESHOLD	WCS	WAINSCOT		
BIT	BITUMINOUS	CRT	COMPUTER MONITOR	DISP	DISPOSAL	EXP	EXPOSED	GC	GENERAL CONTRACTOR	JST	JOIST	MA	MASONRY	OPNG	OPENING	SG	SINGLE	THRES	THRESHOLD	WCS	WAINSCOT		
BLK	BLOCK	CONC	CONCRETE	DISP	DISPOSAL	EXP	EXPOSED	GC	GENERAL CONTRACTOR	JST	JOIST	MA	MASONRY	OPNG	OPENING	SG	SINGLE	THRES	THRESHOLD	WCS	WAINSCOT		
BLKG	BLOCKING	CONC	CONCRETE MASONRY UNIT	DISP	DISPOSAL	EXP	EXPOSED	GC	GENERAL CONTRACTOR	JST	JOIST	MA	MASONRY	OPNG	OPENING	SG	SINGLE	THRES	THRESHOLD	WCS	WAINSCOT		
BD	BOARD	COND	CONDENSER	DISP	DISPOSAL	EXP	EXPOSED	GC	GENERAL CONTRACTOR	JST	JOIST	MA	MASONRY	OPNG	OPENING	SG	SINGLE	THRES	THRESHOLD	WCS	WAINSCOT		
BOT	BOTTOM	DUR	DURABLE	DISP	DISPOSAL	EXP	EXPOSED	GC	GENERAL CONTRACTOR	JST	JOIST	MA	MASONRY	OPNG	OPENING	SG	SINGLE	THRES	THRESHOLD	WCS	WAINSCOT		

### WHITTED HOUSE

509 WEST HILLS ROAD  
KNOXVILLE, TN 37909

### COVER SHEET & PROJECT DATA

AS INSTRUMENTS OF SERVICE, THESE DRAWINGS AND THE DESIGN REPRESENTED BY THEM ARE THE PROPERTY OF DAMON A. FALCONNIER AND AS SUCH ARE PROTECTED BY STATE AND FEDERAL COPYRIGHT LAWS. REPRODUCTION OR USE OF THESE DRAWINGS WITHOUT WRITTEN CONSENT FROM DAMON A. FALCONNIER IS PROHIBITED. UNAUTHORIZED USE WILL BE SUBJECT TO LEGAL ACTION.

DRAWN BY:	MSL
CHECKED BY:	DAF
ISSUED:	~
REVISION(S):	~
FILE:	2022-094

# G-100





1. REMOVE EXISTING INTERIOR PARTITION.
2. REMOVE EXISTING ELECTRICAL PANELS.
3. REMOVE EXISTING DOOR, FRAME, AND HARDWARE.
4. REMOVE EXISTING EXTERIOR WALL AND WINDOWS.
5. REMOVE PART OF THE EXISTING WALL.
6. REMOVE BUT PROTECT EXISTING SHELVING. RETURN TO OWNER.
7. COMPLETELY REMOVE ALL PLUMBING FIXTURES IN THIS BATHROOM
8. REMOVE CLOTHING RODS
9. REMOVE EXISTING CLOSET DOORS AND HARDWARE.
10. REMOVE EXISTING PORCH.
11. RELOCATE WASHER AND DRYER.
12. REMOVE ALL KITCHEN CABINETS, APPLIANCES, AND COUNTERTOPS.
13. CUT OUT CONCRETE
14. REMOVE CLEARSATORY WINDOWS.
15. REMOVE AND RELOCATE EXISTING DUCT TO CEILING. SEE MECHANICAL
16. REMOVE CONCRETE SLAB & MORTAR BED IN EXISTING BATH AND EXISTING CLOSET.
17. REMOVE EXISTING HEATER AND ALL OF ITS COMPONENTS. INFILL AND RESTORE PANEL WITH EXISTING PANELS RECOVERED FROM OTHER SPACES IN THE HOUSE.

WHILE EVERY EFFORT HAS BEEN MADE IN COMPLETING THIS DEMOLITION PLAN AND NOTES, DEMOLITION ACTIVITIES MAY REVEAL ADDITIONAL DEMOLITION/MODIFICATION WORK NOT SHOWN HEREIN. IN THE EVENT FIELD DEMOLITION EXPOSES DANGEROUS CONDITIONS OR UNUSUAL CONDITIONS WHICH EXCEED THE PLANNED DEMOLITION SCOPE, NOTIFY ARCHITECT AND OWNER IMMEDIATELY PRIOR TO CONTINUATION OF DEMOLITION WORK.

B. DEMOLITION DRAWINGS AND NOTES DO NOT REPRESENT A SEQUENCE OF DEMOLITION ACTIVITIES. DEMOLITION SEQUENCE DETERMINED BY GENERAL CONTRACTOR AND COORDINATED WITH OWNER.

C. DO NOT BEGIN DEMOLITION UNTIL EXPRESS WRITTEN "NOTICE TO PROCEED" IS OBTAINED FROM THE OWNER.

D. THE HOUSE IS NOT A PRIMARY RESIDENCE.

E. CONSTRUCTION DEBRIS SHALL BE PLACED IN A DUMPSTER, UNTIL REMOVED FROM SITE. DO NOT PILE DEBRIS ON LAWN OR DRIVEWAY UNLESS SPECIFICALLY REQUESTED TO DO SO BY OWNER.

E.1. CONSTRUCTION AND DEMOLITION ACTIVITIES MAY NOT IMPEDE OR BLOCK PUBLIC STREETS AND SIDEWALKS. SIDEWALK CLOSURES AND ROAD DETOURS, IF REQUIRED, SHALL BE COORDINATED WITH LOCAL LAW ENFORCEMENT.

F. PROTECT PORTIONS OF THE HOUSE WHICH ARE TO REMAIN HABITABLE DURING CONSTRUCTION FROM WATER INFILTRATION AND WITH TEMPORARY BARRIERS FOR TEMPERATURE CONTROL AND SECURITY.

G. PROTECT ALL EXISTING HVAC INTAKES AND DUCT WORK FROM DUST INGESTION.

H. OWNER WANTS TO SALVAGE EXISTING REMOVED WINDOWS, DOORS AND FRAMES. CONSULT WITH OWNER PRIOR TO DISPOSAL OF THESE ITEMS.

I. NOT USED

J. OWNER WANTS TO SALVAGE EXISTING LIGHT FIXTURES, PAVING, INTERIOR SPEAKERS, AND IN-NIGHT LIGHTS, AND VENTS. CONSULT WITH OWNER PRIOR TO DISPOSAL OF THESE ITEMS.

K. DECONSTRUCTED ITEMS WHICH ARE LISTED FOR "RE-USE" OR "RETURN TO OWNER" SHALL BE NEATLY STORED IN LOCATION DETERMINED BY OWNER. PROTECT AS REQUIRED.

L. MAINTAIN WATER, SEWER, COMMUNICATIONS AND ELECTRICAL SERVICE DURING CONSTRUCTION. COORDINATE NECESSARY SERVICE INTERRUPTIONS WITH OWNER. IN ADDITION:

L.1. INADVERTENT INTERRUPTIONS SHALL BE RESTORED AS SOON AS POSSIBLE AT NO ADDITIONAL COST TO THE OWNER.

M. TEMPORARY SUPPORTS AND SHORING SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR AND SHALL BE SUFFICIENT TO SUPPORT EXISTING TO REMAIN CONSTRUCTION UNTIL NEW ITEMS ARE INSTALLED.

N. CARE SHALL BE TAKEN NOT TO DAMAGE EXISTING-TO-REMAIN PORTIONS OF THE BUILDING. DAMAGE TO EXISTING-TO-REMAIN PORTIONS OF THE BUILDING WHICH RESULT BE TO BE REPAIRED BY THE DEMOLITION OR BY NEW CONSTRUCTION ACTIVITIES SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.

O. NOT USED

P. DEMOLITION ACTIVITIES SHALL INCLUDE SUBSTRATE PREPARATION FOR NEW FINISHES WHERE NOTED ON PLANS. DEMOLITION SHOULD LEAVE WORK AREA READY FOR NEW CONSTRUCTION AND FINISHES. BRING ANY DEFECTIVE SUBSTRATES OR CONCEALED STRUCTURAL ISSUES TO THE ATTENTION OF THE GENERAL CONTRACTOR UPON DISCOVERY.

P.1. FLOORS: REMOVE FINISHES, GLUE, STAPLES, TACK STRIPS, PADS, ETC. AND CLEAN SUBFLOOR READY FOR NEW FINISHES.

P.2. WALLS: AT EXISTING WALLS WHERE INTERSECTING WALLS ARE REMOVED, PREPARE LOCATION FOR NEW FINISHES; REMOVE ANY DAMAGED WALL FINISHES AND RAGGED EDGES.

P.3. CEILINGS: AT EXISTING CEILINGS WHERE INTERSECTING WALLS ARE REMOVED, PREPARE LOCATION FOR NEW FINISHES; REMOVE ANY DAMAGED CEILING FINISHES AND RAGGED EDGES.

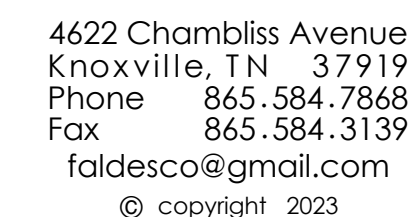

$$1'' = 1' - 0''$$

# A1

$$1/4'' = 1'-0''$$

# D-100





OWNER REVIEW  
NOT FOR CONSTRUCTION  
08/09/23

WHITTED  
HOUSE

509 WEST HILLS ROAD  
KNOXVILLE, TN 37909

## FLOOR PLAN

AS INSTRUMENTS OF SERVICE, THESE DRAWINGS AND THE DESIGN REPRESENTED BY THEM ARE THE PROPERTY OF DAMON A. FALCONNIER AND AS SUCH ARE PROTECTED BY STATE AND FEDERAL COPYRIGHT LAWS. REPRODUCTION OR USE OF THESE DRAWINGS OTHER THAN FOR THE PROJECT INTENDED WITHOUT WRITTEN CONSENT FROM DAMON A. FALCONNIER IS PROHIBITED. UNAUTHORIZED USE WILL BE SUBJECT TO LEGAL ACTION.

DRAWN BY:	MSL
CHECKED BY:	DAF
ISSUED:	~
REVISION(S):	

FILE:	2022-094
-------	----------

# A-100



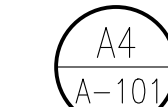
## WINDOW NOTES

1. OWNER AND CONTRACTOR ARE TO REVIEW AND VERIFY WINDOW SIZES AND PLACEMENT BEFORE ORDERING WINDOWS.
2. WINDOWS MARKED WITH A (T) ARE TO HAVE TEMPERED GLASS.
3. WINDOW ENERGY CRITERIA:  
LOW-E 270 DUAL GLASS + ARGON  
U: 0.28  
SHGC: 0.23  
VT: 0.42

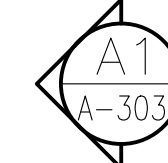
DOOR NOTES

1. DESIGNATIONS ON DOORS ARE IN FEET AND INCHES.
2. "3068" INDICATES 3'-0"x6'-8"

### GRAPHIC LEGEND



INDICATES DETAIL REFERENCE. TOP NUMBER IS DETAIL NUMBER. LOWER NUMBER IS SHEET ON WHICH DETAIL MAY BE FOUND.



INDICATES SECTION/ELEVATION REFERENCE. TOP NUMBER IS  
DETAIL NUMBER. LOWER NUMBER IS SHEET ON WHICH  
DETAIL MAY BE FOUND.



INDICATES NEW 2x WALL

ETR

INDICATES EXISTING TO REMAIN

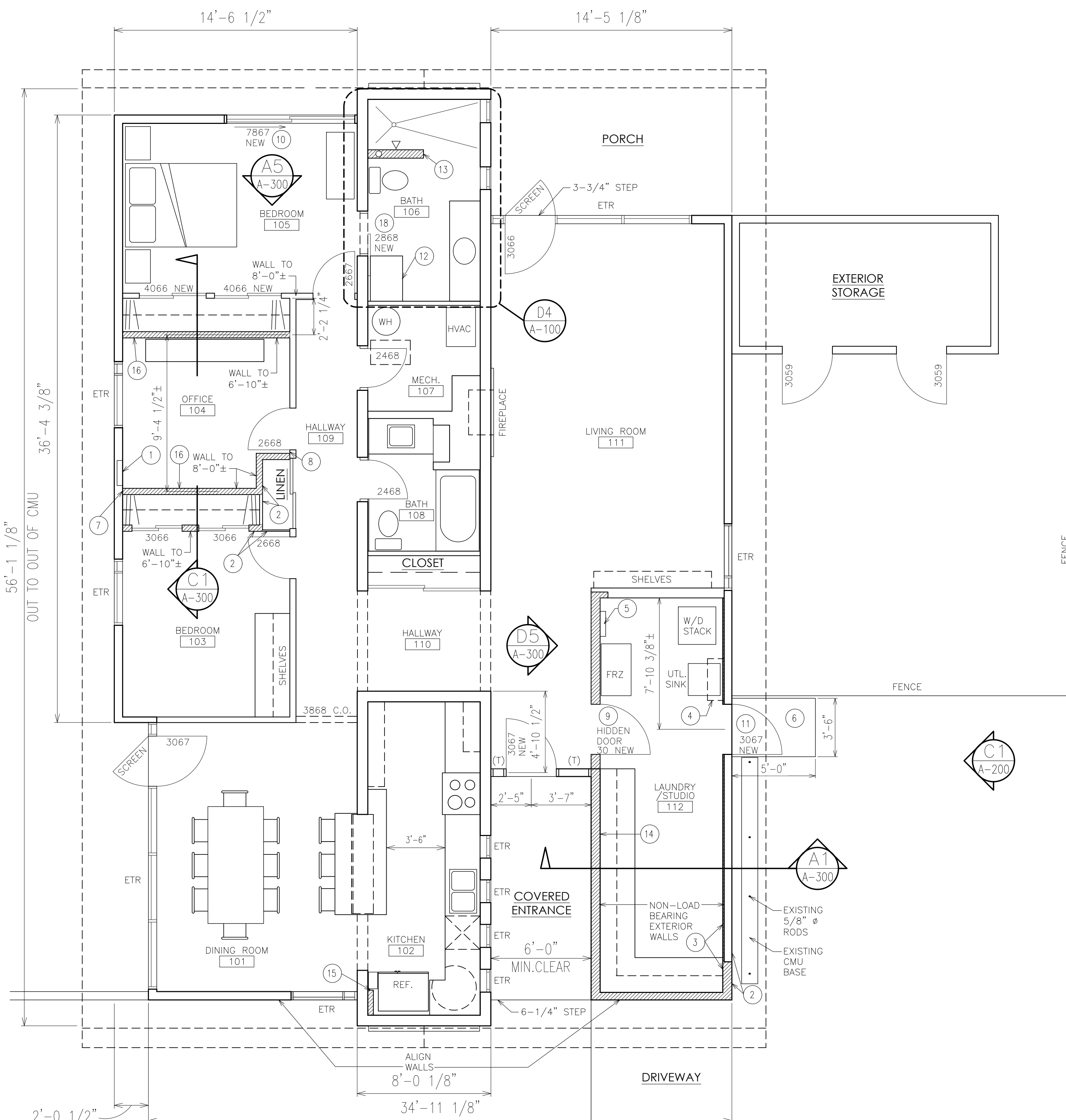
## GENERAL NOTES

1. OWNER & GENERAL CONTRACTOR ARE RESPONSIBLE FOR ALL BUILDING PERMITS AND INSPECTIONS. CONSTRUCTION SHALL MEET THE REQUIREMENTS OF THE 2018 INTERNATIONAL RESIDENTIAL CODE AS ENFORCED BY KNOX COUNTY INCLUDING ALL LOCAL AMENDMENTS.
  - 1.1. OCCUPANCY GROUP: SINGLE FAMILY RESIDENTIAL.
  - 1.2. CONSTRUCTION V-B-B UNSPRINKLERED
  2. ALL WOOD IN CONTACT W/ CONCRETE OR CONCRETE MASONRY SHALL BE PRESSURE TREATED.
  3. ALL WOOD TO WOOD CONNECTORS SHALL BE BY SIMPSON STRONG-TIE. UBS CONNECTORS ARE AN ACCEPTABLE ALTERNATIVE IF LOADING SPECIFICATIONS MEET OR EXCEED SIMPSON STRONG-TIE. ALL WOOD TO WOOD CONNECTORS SHALL BE GALVANIZED.
  4. EXTERIOR FINISHES: OWNER TO SELECT EXTERIOR COLORS AND FINISHES INCLUDING:
    - 4.1. SIDING
    - 4.2. PAINT AND TRIM COLORS
  5. EXTERIOR WOOD:
    - 5.1. ALL EXTERIOR WOOD SHALL BE PRESSURE TREATED.
    - 5.2. SCREWS SHALL BE GALVANIZED OR STAINLESS STEEL OR SHALL HAVE POLYMER ORGANIC COATING TO PREVENT CORROSION.
    - 5.3. THROUGH BOLTS SHALL BE STAINLESS STEEL WITH STAINLESS STEEL NUTS AND WASHERS.
    - 5.4. PRE-PRESSURE TREATED WOOD SHALL BE SEPARATED FROM PINE-FINISHED METAL W/ 15# FELT OR PROVIDE METAL W/ ORGANIC POLYMER COATING
    - 5.5. SEAL OR STAIN EXTERIOR WOOD AS DIRECTED BY OWNER.
  6. PROVIDE SOLID BLOCKING WHERE REQUIRED FOR NOTCHING AND NAILING.
  7. INTERIOR WALLS:
    - 7.1. SHALL BE OF 2x4 WOOD STUDS AT NOT MORE THAN 16" O.C. WITH (1) LAYER OF 1/2" GYP.BD. EACH SIDE UNLESS NOTED OTHERWISE.
    - 7.1. 2x6 WALLS ARE NOTED ON PLAN.
    - 7.2. USE MOISTURE RESISTANT GYP.BD. IN BATHROOMS, KITCHENS OR OTHER LOCATIONS EXPOSED TO MOISTURE.
    - 7.3. INSTALL 5/8" TYPE "X" GYP.BD. ON WALLS BETWEEN GARAGE AND CONDITIONED SPACES.
  8. EXTERIOR WALLS:
    - 8.1. SHALL BE OF 2x4 WOOD STUDS NOT MORE THAN 16" O.C. W/ (1) LAYER OF 1/2" APA PLYWOOD EXTERIOR SHEATHING AND 1/2" GYP.BD. INTERIOR SHEATHING
    - 8.2. INSULATE WITH R-20 SPRAY-APPLIED FOAM INSULATION
  9. ELECTRICAL:
    - 9.1.1. OWNER TO LOCATE:
    - 9.1.1.1. NEW ELECTRICAL OUTLETS
    - 9.1.2. LIGHT SWITCHES
    - 9.1.3. COMMUNICATIONS OUTLETS
  10. INTERIOR FINISHES, PAINT COLORS, AND TRIMS SHALL BE SELECTED BY OWNER.
  11. PLUMBING FIXTURES, FAUCETS AND TRIMS SHALL BE SELECTED BY OWNER. CONSULT WITH OWNER TO ENSURE CORRECT FRAMING DIMENSIONS, ESPECIALLY AT SHOWER UNITS.
  12. KITCHEN CABINETS AND MILLWORK TO BE SELECTED BY OWNER.
  13. WINDOWS:
    - 13.1. OWNER TO SELECT TYPE, FUNCTION AND STYLE
    - 13.2. WINDOWS SHALL MEET CODE-REQUIRED SLEEPING ROOM EGRESS MINIMUM CLEARANCES
    - 13.3. WINDOWS SHALL MEET ALL APPLICABLE ENERGY CODE REQUIREMENTS.
  14. ADDITION NOTES:
    - 14.1. SEE DEMOLITION NOTES SHEET D-100.
    - 14.2. ONLY NEW DOORS AND WINDOWS HAVE SIZES AND TYPES INDICATED. OTHER DOORS AND WINDOWS ARE EXISTING TO REMAIN.
  - 14.3. CONSTRUCTION WILL NECESSITATE COORDINATION WITH OWNER AS TO CONSTRUCTION SCHEDULE, MATERIALS STORAGE AND ACCESS TO OTHER PARTS OF THE HOUSE.
  - 14.4. PROTECT EXISTING SPACES FROM WEATHER AND WATER INFILTRATION DURING CONSTRUCTION.
  - 14.5. CONSTRUCTION WILL REQUIRE ACCESS TO MAIN FLOOR, 2nd FLOOR, ATTIC AND GARAGE. COORDINATE ACCESS WITH OWNER.
  - 14.6. CONSTRUCTION WILL REQUIRE THE REMOVAL AND REPLACEMENT OF SOME EXISTING WALL, FLOOR AND CEILING FINISHES TO INSTALL ADDITIONAL STRUCTURAL COMPONENTS. ALL DAMAGE TO EXISTING FINISHES SHALL BE REPAIRED AND REPLACED IN A NEAT, WORKMANLIKE MANNER WHICH SHALL MATCH EXISTING, ADJACENT FINISHES SO AS TO BE INDISTINGUISHABLE FROM UN-DAMAGED ADJACENT MATERIALS.
  - 14.7. ANY AND ALL INCIDENTAL DAMAGE TO THE EXISTING HOUSE, FINISHES, STRUCTURE, ETC. WHICH MAY RESULT FROM CONSTRUCTION ACTIVITIES, SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO THE OWNER.
  - 14.8. ALL SUBSURFACE PREPARATION OF SUBFLOORS, WALLS AND CEILINGS FOR NEW FINISHES SHALL BE INCLUDED IN PROJECT PRICING. FOR DEMOLISHED AND RENOVATION AREAS, GC TO EXAMINE ALL SUBSTRATES AND PREPARE AS REQUIRED FOR NEW FINISH INSTALLATION.
  15. CONSTRUCTION ACTIVITIES SHALL NOT IMPEDE OR BLOCK ANY PUBLIC STREET OR SIDEWALK AND SHALL IN NO WAY DISRUPT VEHICULAR TRAFFIC (ESPECIALLY EMERGENCY FIRST RESPONDER ACCESS) OR NEIGHBORS' ACCESS TO ADJACENT PROPERTIES. INFORM LOCAL AUTHORITIES IF UNLOADING OR TEMPORARY PARKING IS NECESSARY FOR MATERIALS DELIVERY AND OTHER CONSTRUCTION ACTIVITIES.

PLAN NOTES:

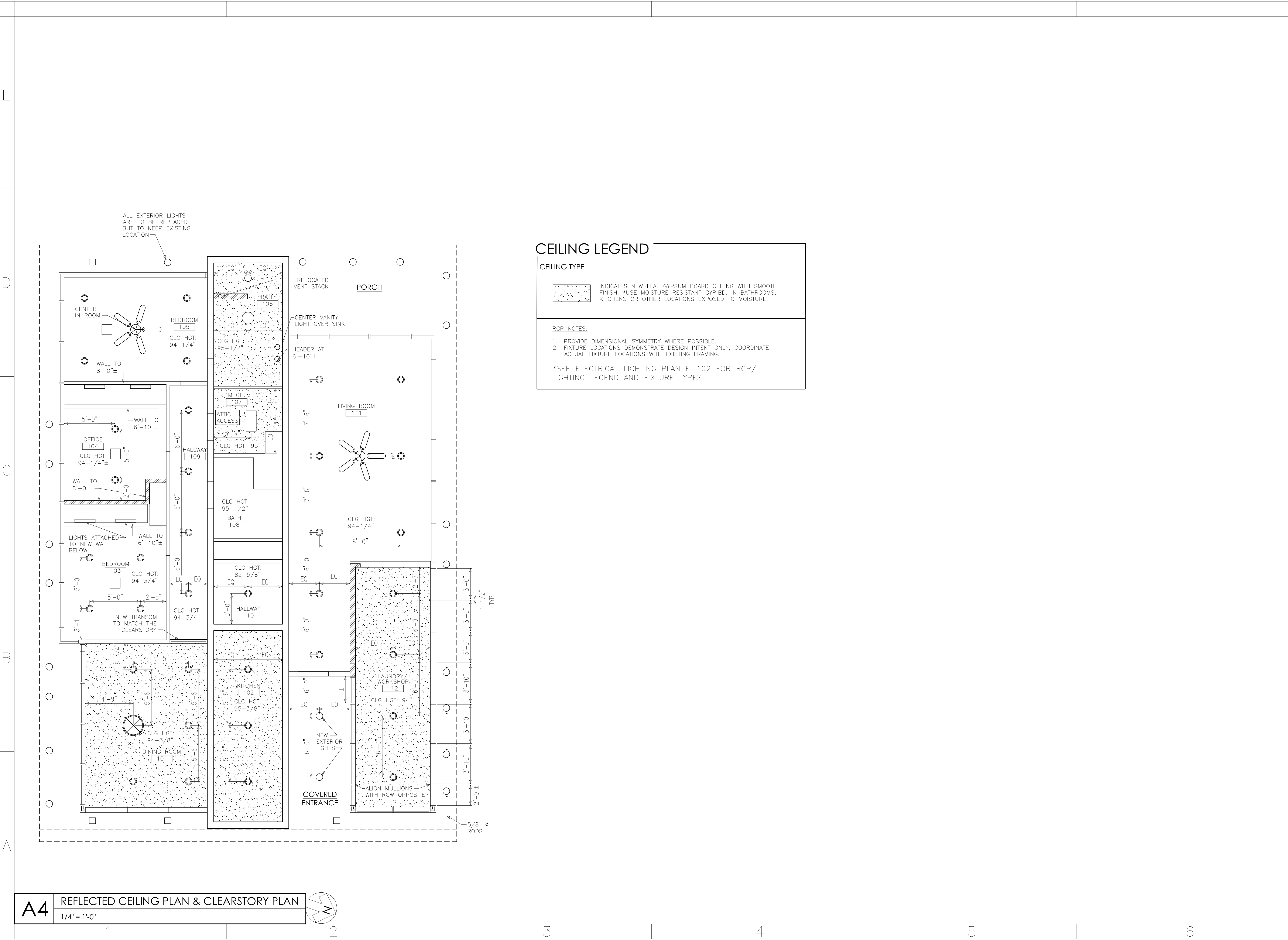
1. EXISTING DISCONNECT TO BE REMOVED.
2. ALIGN NEW WALL WITH EXISTING WALL.
3. NEW 1/2" GYPSUM BOARD TO ALIGN NEW AND EXISTING WALLS.
4. 2'-6"x2'-0" CABINET ABOVE
5. NEW 42 CKT 120/240 ELECTRICAL PANEL.
6. NEW CONCRETE PAD.
7. CENTER NEW 2x4 WALL WITH EXISTING CLEARSTORY MULLION.
8. LEAVE AT LEAST 2'-1/2" BETWEEN THE EXISTING DOOR AND NEW WALL FINISH IN ORDER TO HAVE DOOR TRIM.
9. CUSTOM HIDDEN DOOR TO MATCH WALL FINISH WITH CONCEALED DOOR HINGES. HEIGHT OF DOOR TO CEILING PLUS OR MINUS.
10. CUSTOM SLIDING DOOR EQUAL TO PELLA RESERVE - CONTEMPORARY WOOD SLIGIN PATIO DOOR. VERIFY SIZING IN FIELD PRIOR TO ORDERING. COLOR AND HARDWARE SELECTED BY OWNER. SEE DETAILS E3 & E4 ON SHEET A-300.
11. SOLID CORE DOOR WITH NRP HINGES. DOOR TO HAVE HALF LIGHT WINDOW AND TO BE SELECTED BY OWNER. ALIGN DOOR LOCATION WITH CLEAR STORY WINDOWS ABOVE.
12. CABINET WITH SPACE FOR SLIDING DOOR TO GO BEHIND. VERIFY SIZING IN FIELD PRIOR TO ORDERING.
13. 2x4s AT 16" O.C. WITH PT SILL PLATE AND 1/2" HARDIE BACKER BOARD.
14. EXTERIOR 2x4 WALL WITH 1/2" GYPSUM BOARD ON THE INTERIOR. EXTERIOR WITH 5/8" SHEATHING AND 1x6 T&G TO MATCH EXISTING EXTERIOR.
15. 3" WALL FURROUT FOR PRV AND ICEMAKER BOX. SEE WATER SERVICE ENTRANCE DETAIL ON SHEET P-101.
16. 2x4 WALL 16" O.C. WITH 1/2" GYPSUM BOARD AND SOUND BATT INSULATION. SEE DETAIL C1/A-300.
17. REPLACE ALL EXISTING GLASS WINDOWS, CLEAR-STORY, DOORS WITH DOUBLE PANE WINDOWS.
18. NEW SLIDING DOOR TO SLIDE BEHIND NEW BUILT IN CABINETS. SEE DETAIL D1/A-300

NOTE: ALL NEW WALLS ARE  
NON-LOAD BEARING WALLS.  
CANTILEVER ROOF STRUCTURE  
IS BY PREVIOUS ARCHITECT.



A1	FLOOR PLAN	
	1/4" = 1'-0"	1,784 SQ. FT.





CEILING LEGEND

CEILING TYPE

INDICATES NEW FLAT GYPSUM BOARD CEILING WITH SMOOTH FINISH. \*USE MOISTURE RESISTANT GYP.BD. IN BATHROOMS, KITCHENS OR OTHER LOCATIONS EXPOSED TO MOISTURE.

RCP NOTES:

1. PROVIDE DIMENSIONAL SYMMETRY WHERE POSSIBLE.

2. FIXTURE LOCATIONS DEMONSTRATE DESIGN INTENT ONLY, COORDINATE ACTUAL FIXTURE LOCATIONS WITH EXISTING FRAMING.

\*SEE ELECTRICAL LIGHTING PLAN E-102 FOR RCP/LIGHTING LEGEND AND FIXTURE TYPES.

FALCONNIER

DESIGN COMPANY

4622 Chambliss Avenue

Knoxville, TN 37919

Phone 865.584.7868

Fax 865.584.3139

faldesco@gmail.com

© copyright 2023

OWNER REVIEW

NOT FOR CONSTRUCTION

08/09/23

WHITTED

HOUSE

509 WEST HILLS ROAD

KNOXVILLE, TN 37909

REFLECTED

CEILING PLAN &

CLEARSTORY

PLAN

AS INSTRUMENTS OF SERVICE, THESE DRAWINGS AND THE DESIGN REPRESENTED BY THEM ARE THE PROPERTY OF DAMON A. FALCONNIER AND AS SUCH ARE PROTECTED BY STATE AND FEDERAL COPYRIGHT LAWS. REPRODUCTION OR USE OF THESE DRAWINGS OTHER THAN FOR THE PROJECT INTENDED WITHOUT WRITTEN CONSENT FROM DAMON A. FALCONNIER IS PROHIBITED. UNAUTHORIZED USE WILL BE SUBJECT TO LEGAL ACTION.

DRAWN BY: MSL

CHECKED BY: DAF

ISSUED: ~

REVISION(S):

△ ~

△ ~

FILE: 2022-094

A-101



**FALCONNIER**  
DESIGN COMPANY

4622 Chambliss Avenue  
Knoxville, TN 37919  
Phone 865.584.7868  
Fax 865.584.3139  
faldesco@gmail.com  
© copyright 2023

OWNER REVIEW  
NOT FOR CONSTRUCTION  
08/09/23

**WHITTED HOUSE**

509 WEST HILLS ROAD  
KNOXVILLE, TN 37909

**FRONT AND RIGHT EXTERIOR ELEVATIONS**

AS INSTRUMENTS OF SERVICE, THESE DRAWINGS AND THE DESIGN REPRESENTED BY THEM ARE THE PROPERTY OF DAMON A. FALCONNIER AND AS SUCH ARE PROTECTED BY STATE AND FEDERAL COPYRIGHT LAWS. REPRODUCTION OR USE OF THESE DRAWINGS OTHER THAN FOR THE PROJECT INTENDED WITHOUT WRITTEN CONSENT FROM DAMON A. FALCONNIER IS PROHIBITED. UNAUTHORIZED USE WILL BE SUBJECT TO LEGAL ACTION.

DRAWN BY:	MSL
CHECKED BY:	DAF
ISSUED:	~
REVISION(S):	~
FILE:	2022-094

**A-200**

OWNER REVIEW  
NOT FOR CONSTRUCTION  
08/09/23

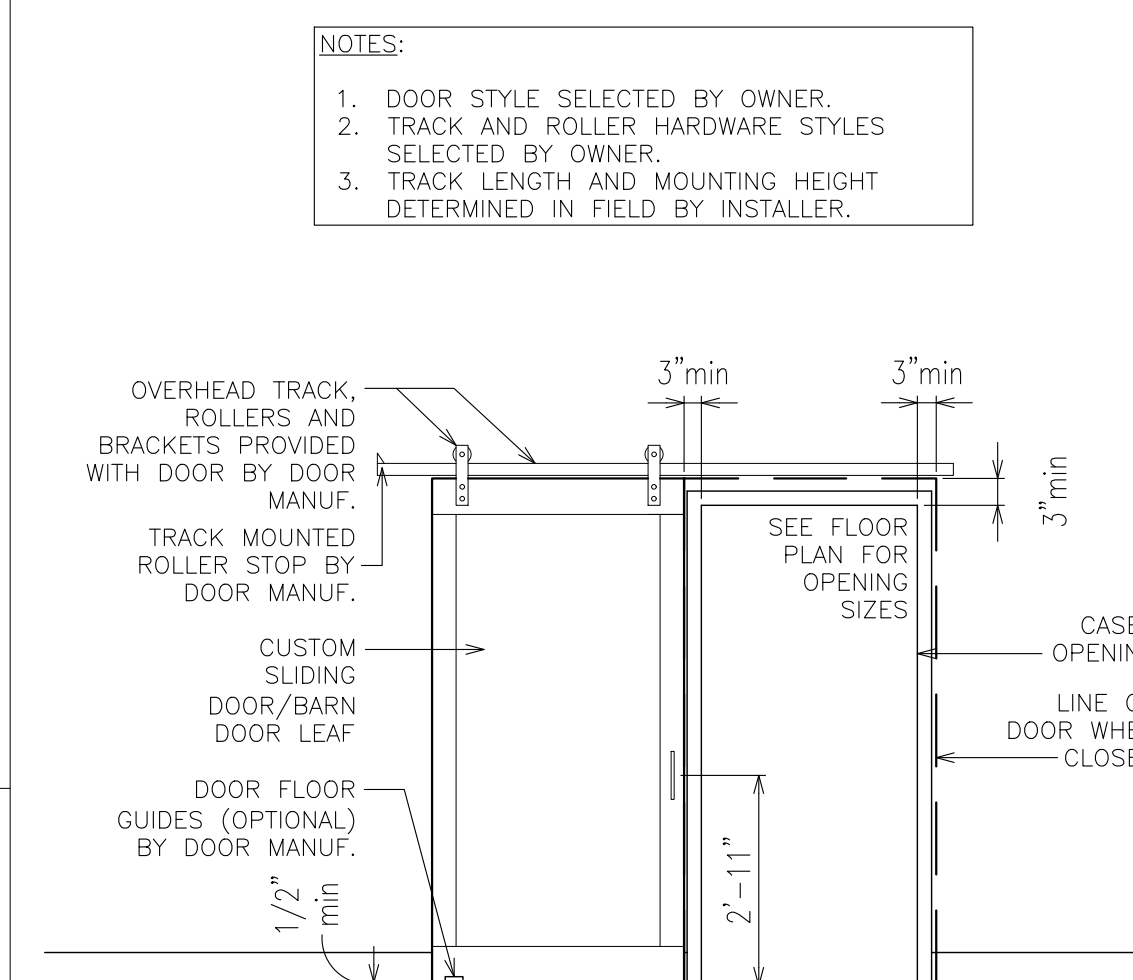
509 WEST HILLS ROAD  
KNOXVILLE, TN 37909

AS INSTRUMENTS OF SERVICE, THESE DRAWINGS AND THE DESIGN REPRESENTED BY THEM ARE THE PROPERTY OF DAMON A. FALCONNIER AND AS SUCH ARE PROTECTED BY STATE AND FEDERAL COPYRIGHT LAWS. REPRODUCTION OR USE OF THESE DRAWINGS OTHER THAN FOR THE PROJECT INTENDED WITHOUT WRITTEN CONSENT FROM DAMON A. FALCONNIER IS PROHIBITED. UNAUTHORIZED USE WILL BE SUBJECT TO LEGAL ACTION.

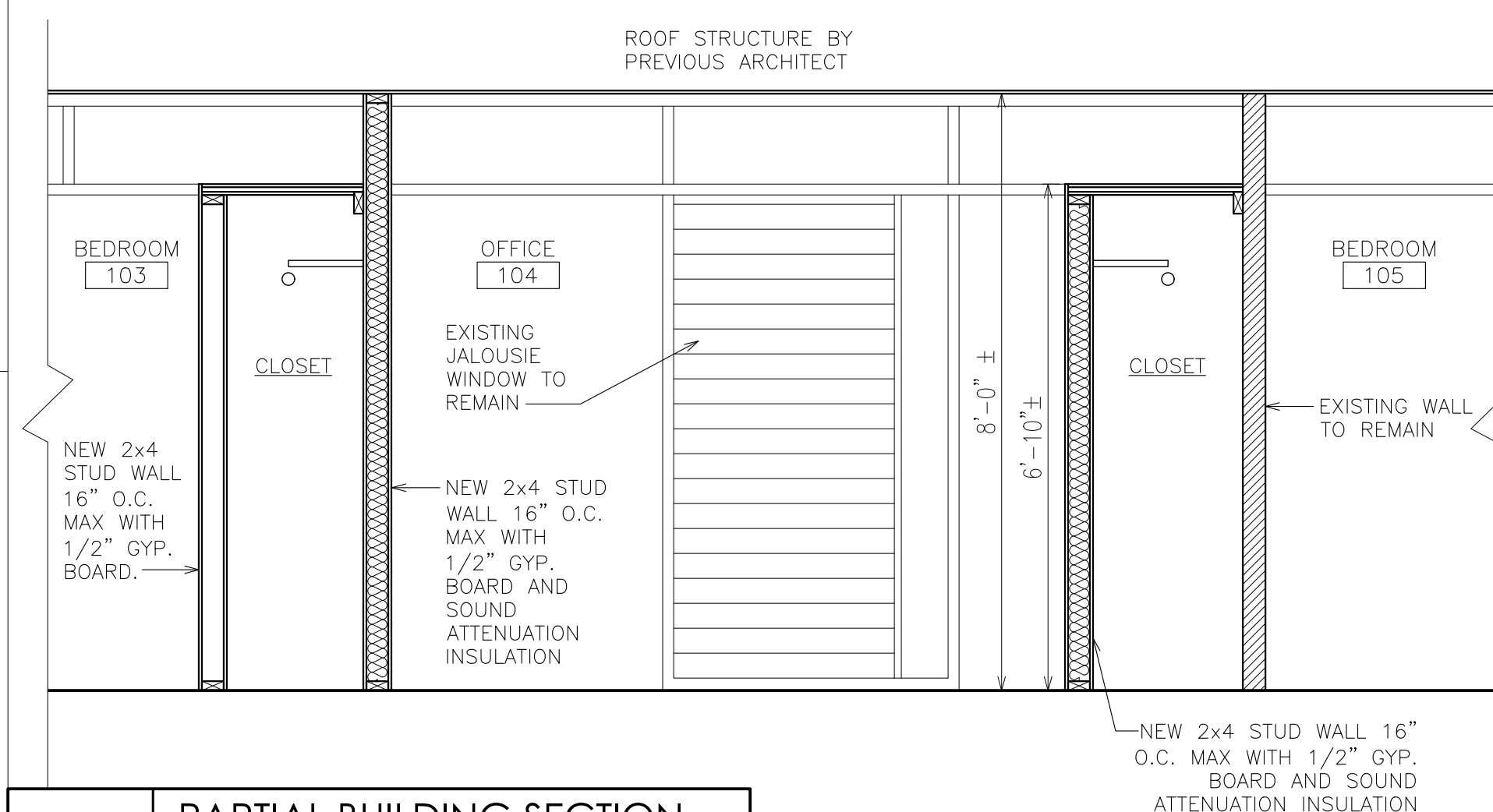
DRAWN BY:	MSL
CHECKED BY:	DAF
ISSUED:	~
REVISION(S):	
① ~	② ~

FILE:	2022-094
-------	----------

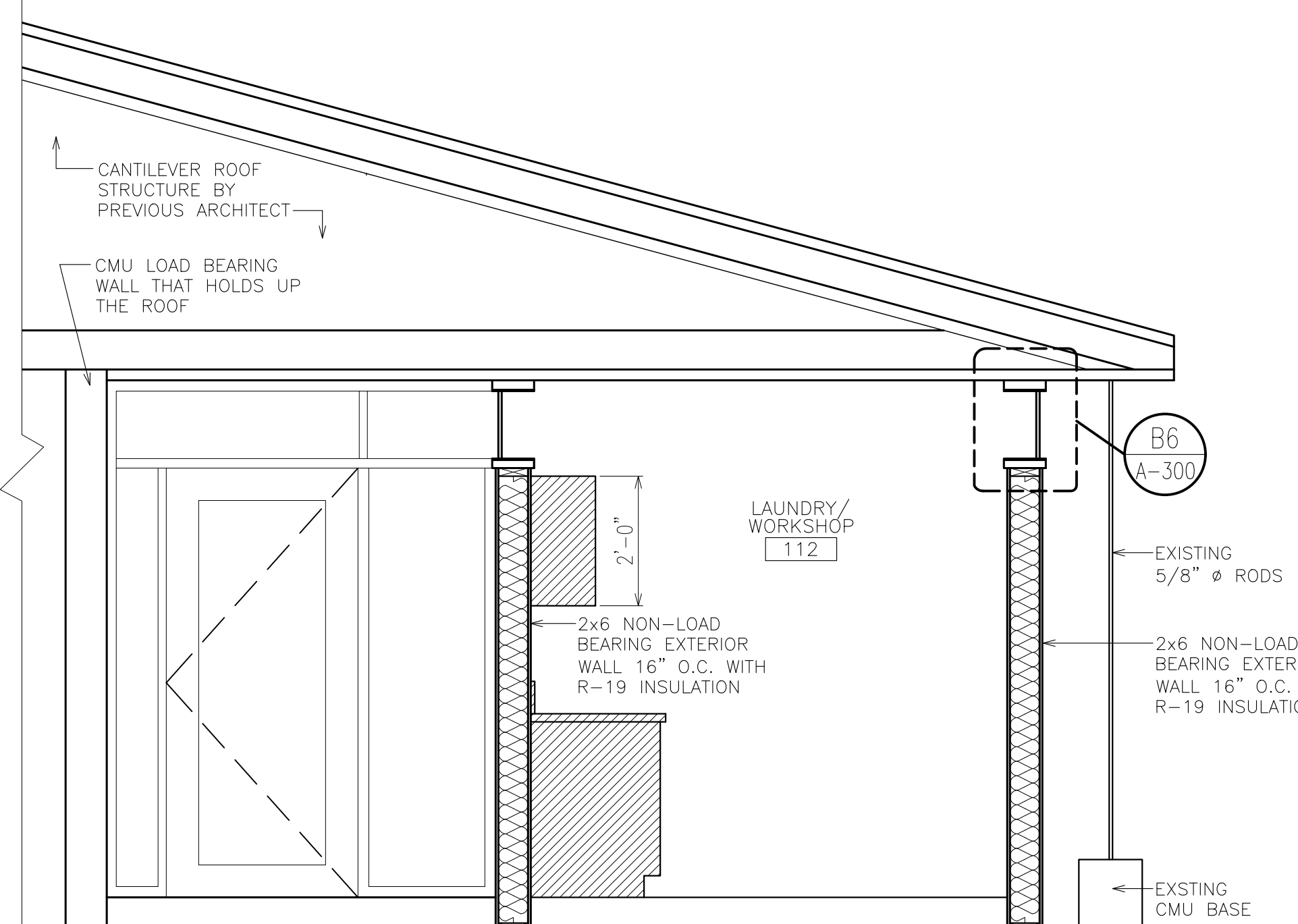
# A-300



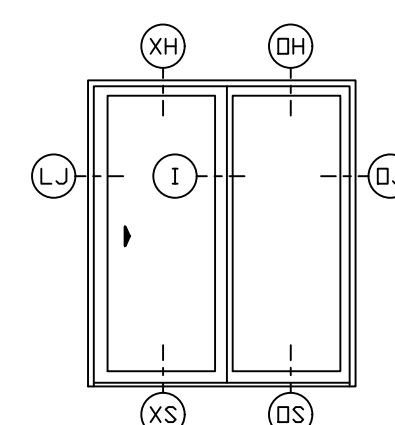
D1	SLIDING DOOR DETAIL
	3/8" = 1'-0"



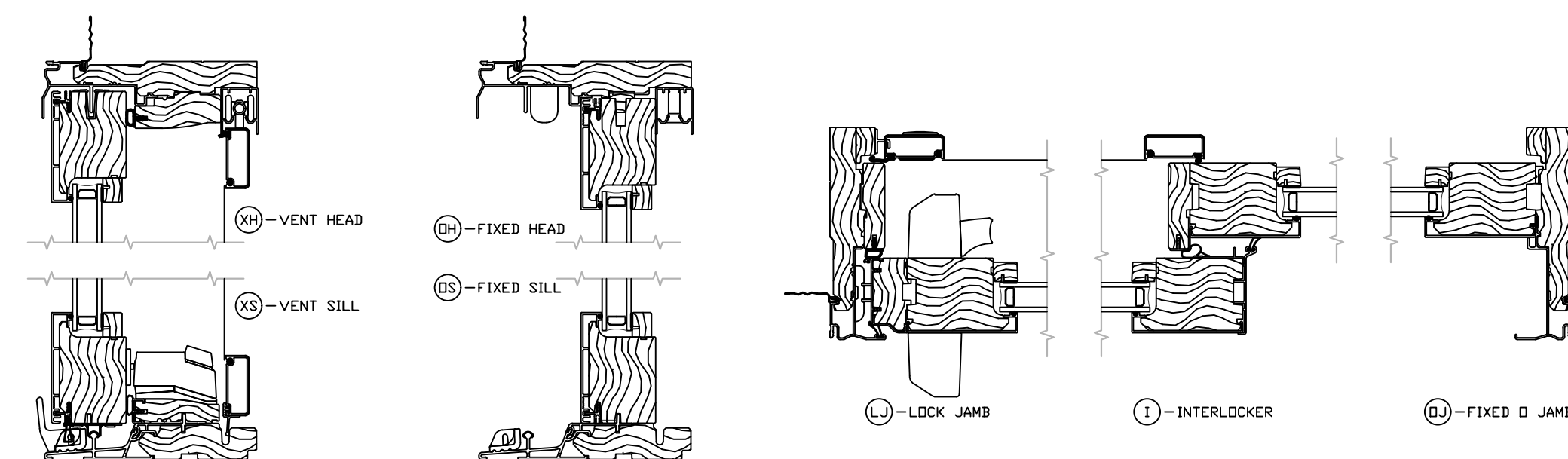
C1	PARTIAL BUILDING SECTION
	1/2" = 1'-0"



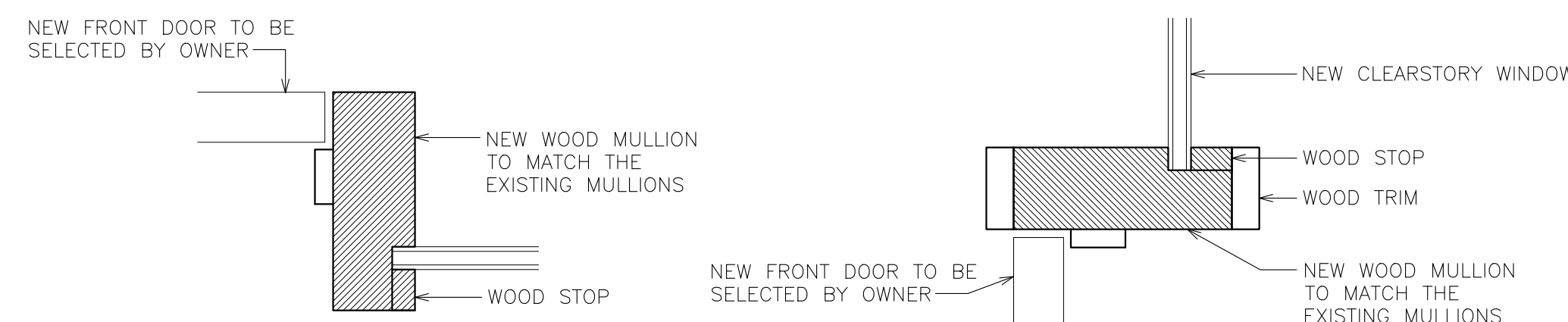
A1	PARTIAL BUILDING SECTION
	1/2" = 1'-0"



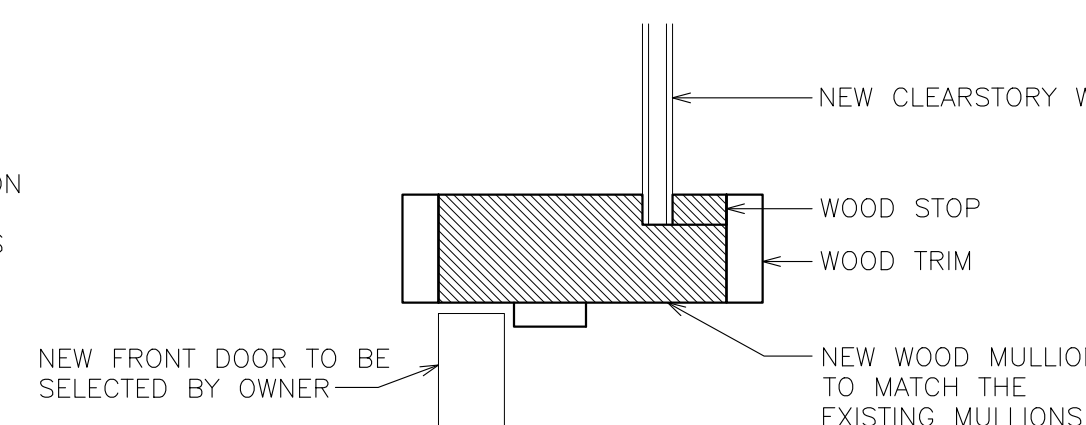
E2	DOOR KEY
	NO SCALE



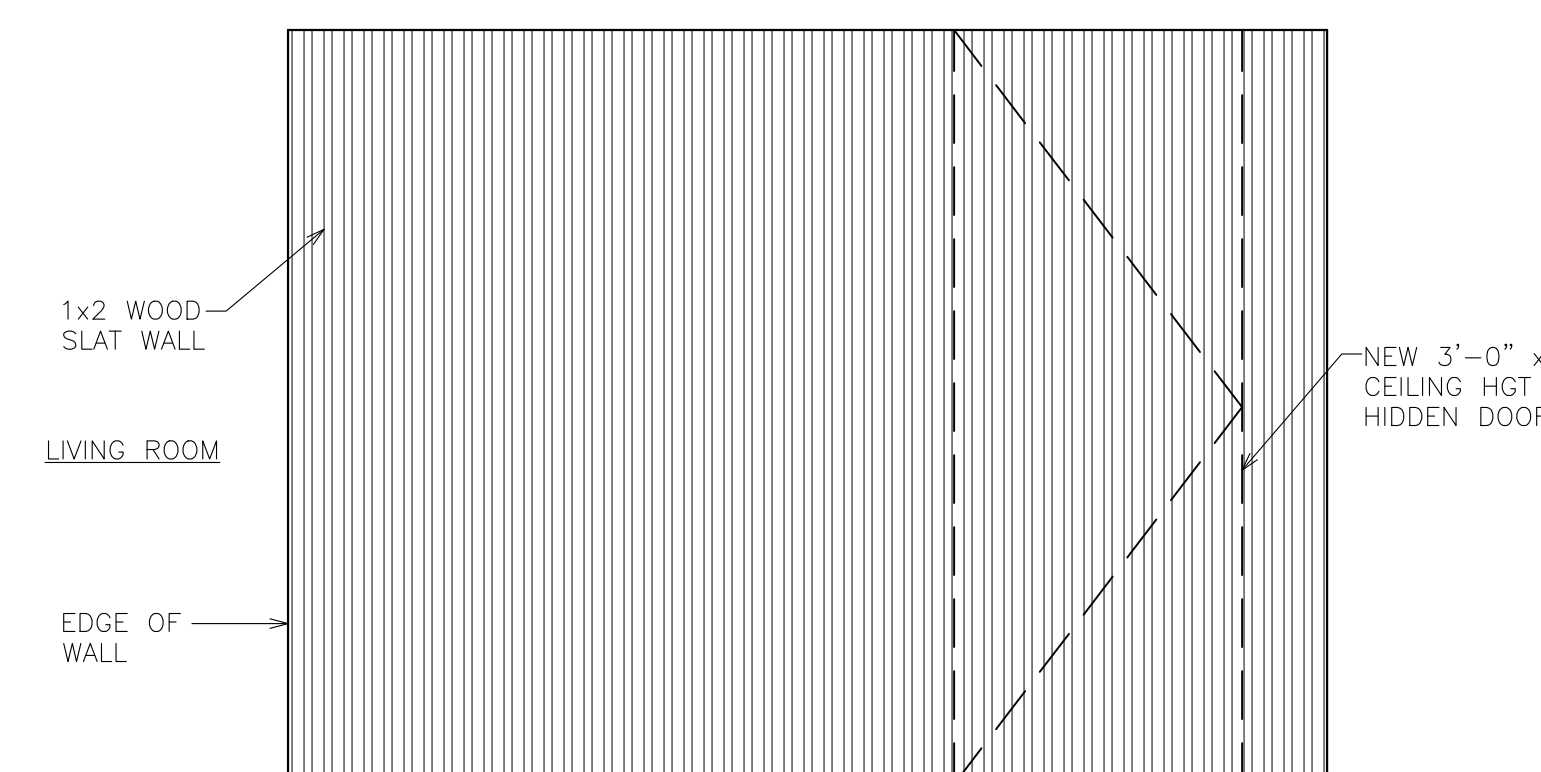
E3	DOOR HEAD & SILL
	3" = 1'-0"



D3	FRONT DOOR JAMB
	3" = 1'-0"

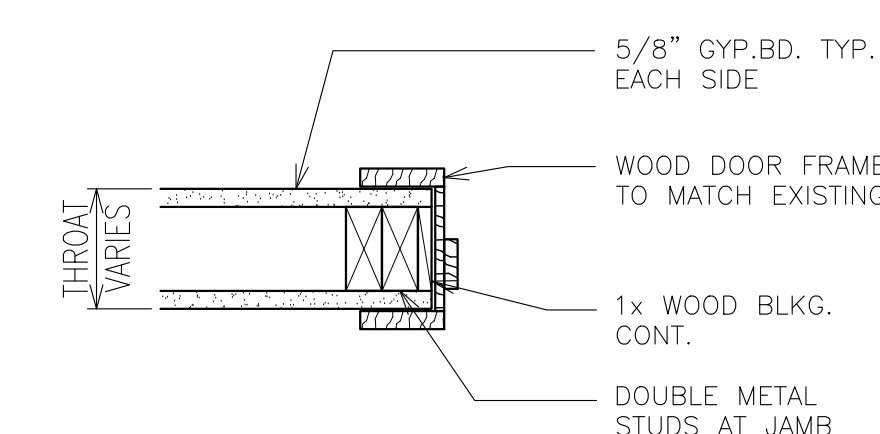


D4	FRONT DOOR HEAD
	3" = 1'-0"

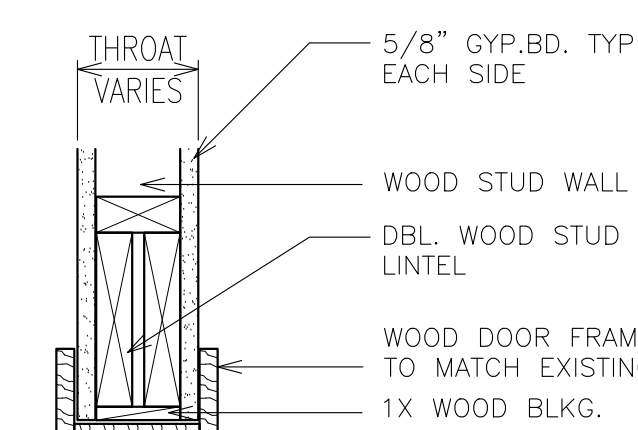


D5	DETAIL WALL ELEVATION
	1/2" = 1'-0"

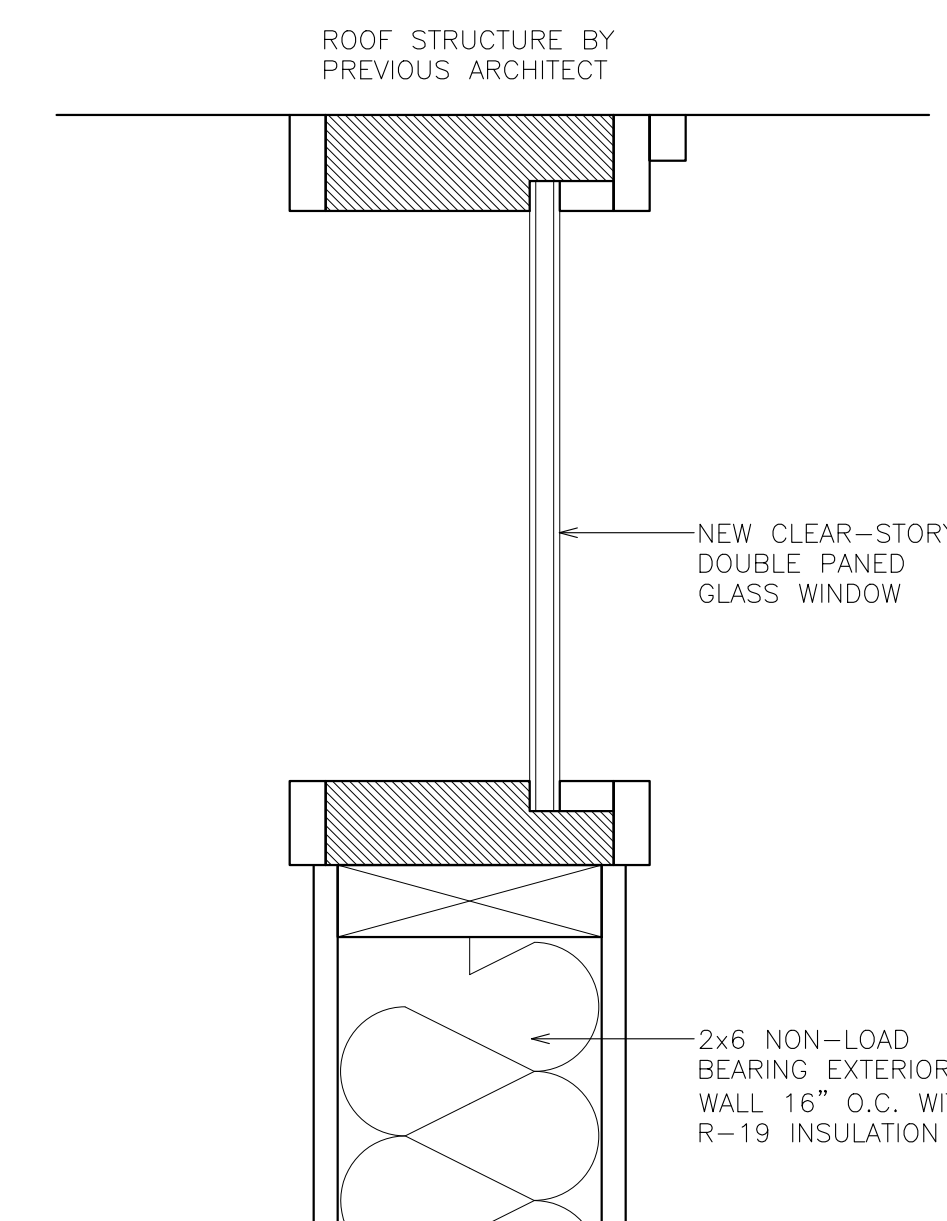
NOTE: MATCH THE NEW CLEAR STORY AND EXTERIOR AS MUCH AS POSSIBLE TO THE ORIGINAL/EXISTING DESIGN



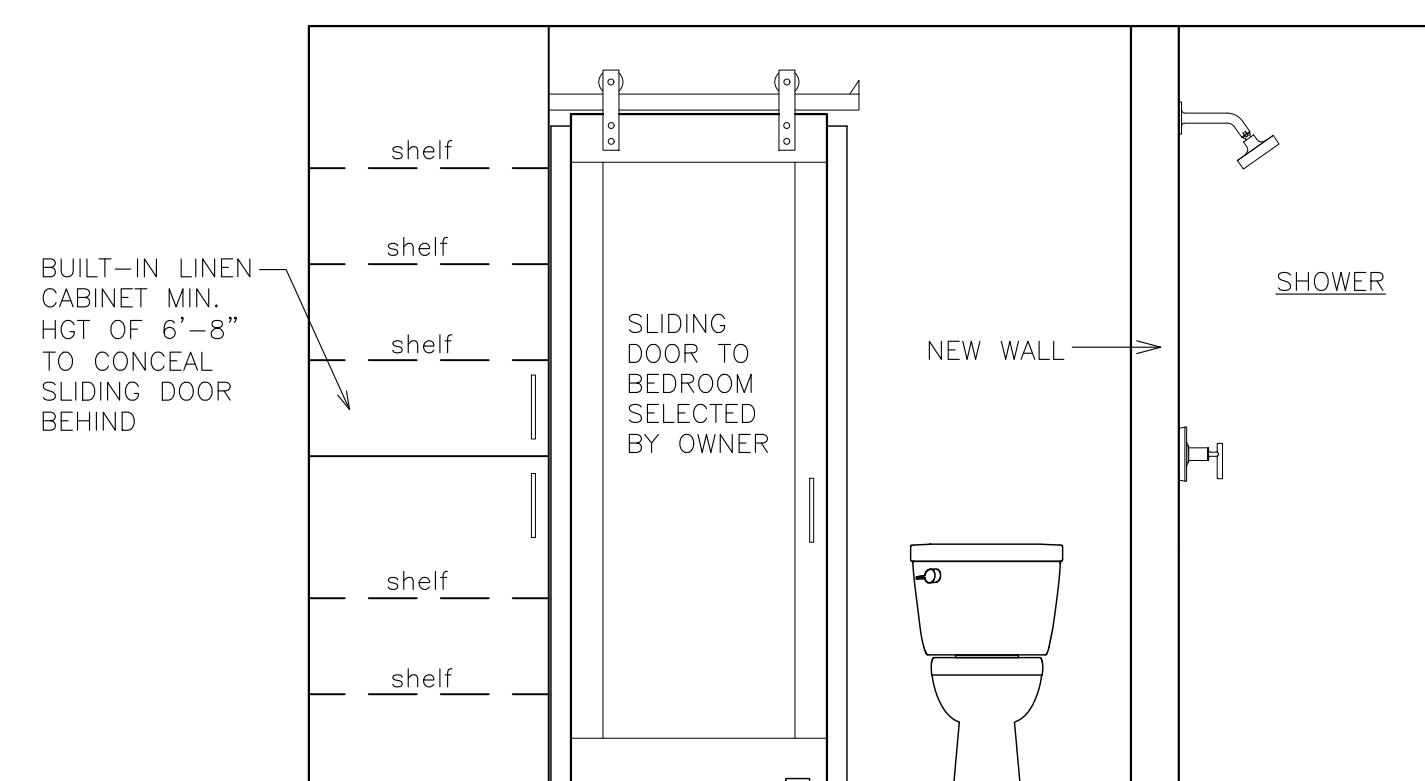
C5	INTERIOR DOOR JAMB
	3" = 1'-0"



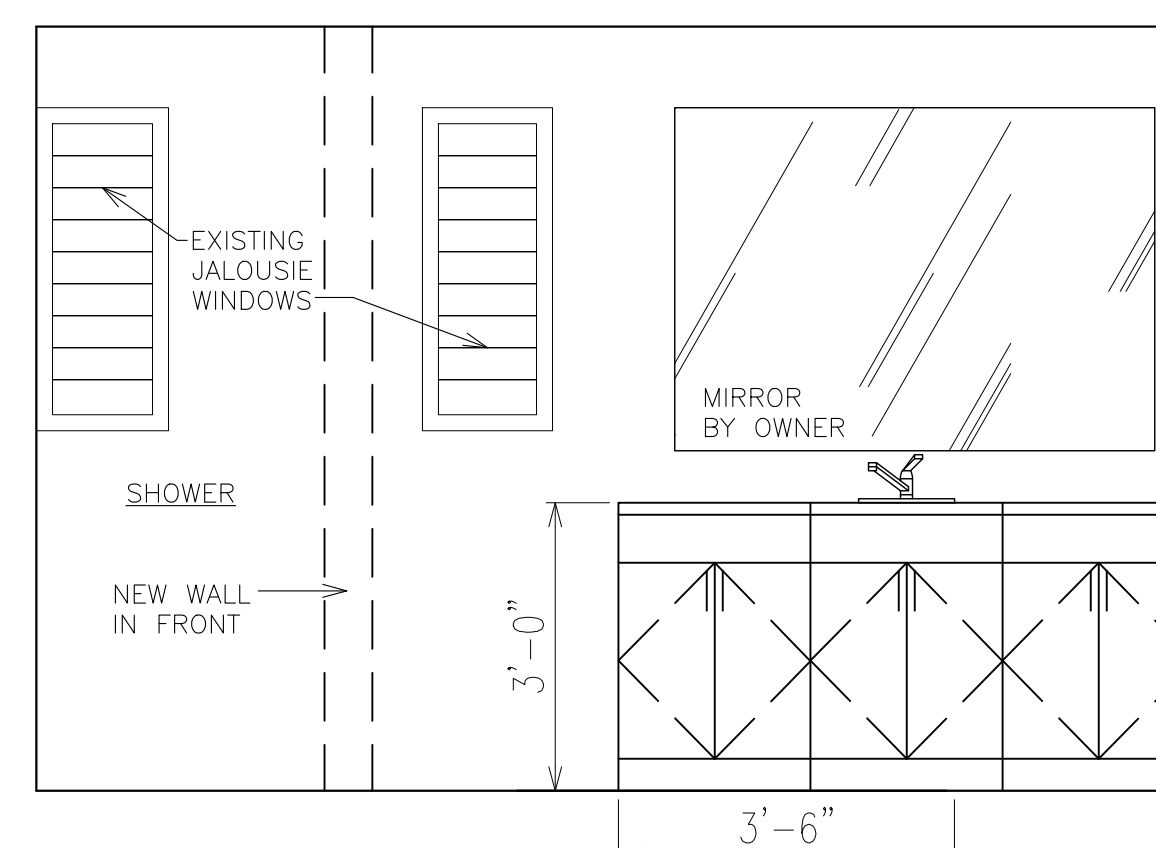
B5	INTERIOR DOOR HEAD
	3" = 1'-0"



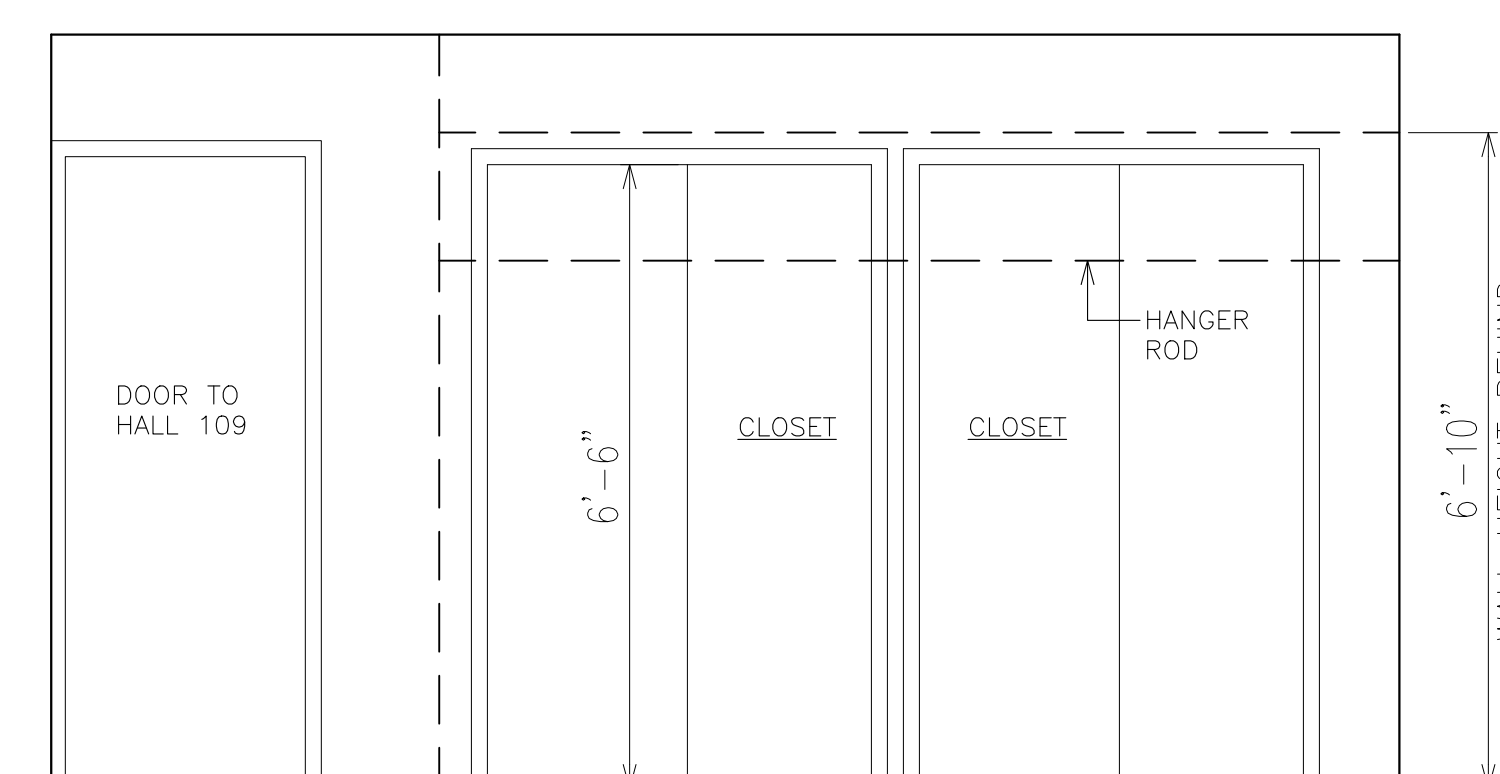
B6	CLEAR STORY SECTION
	3" = 1'-0"



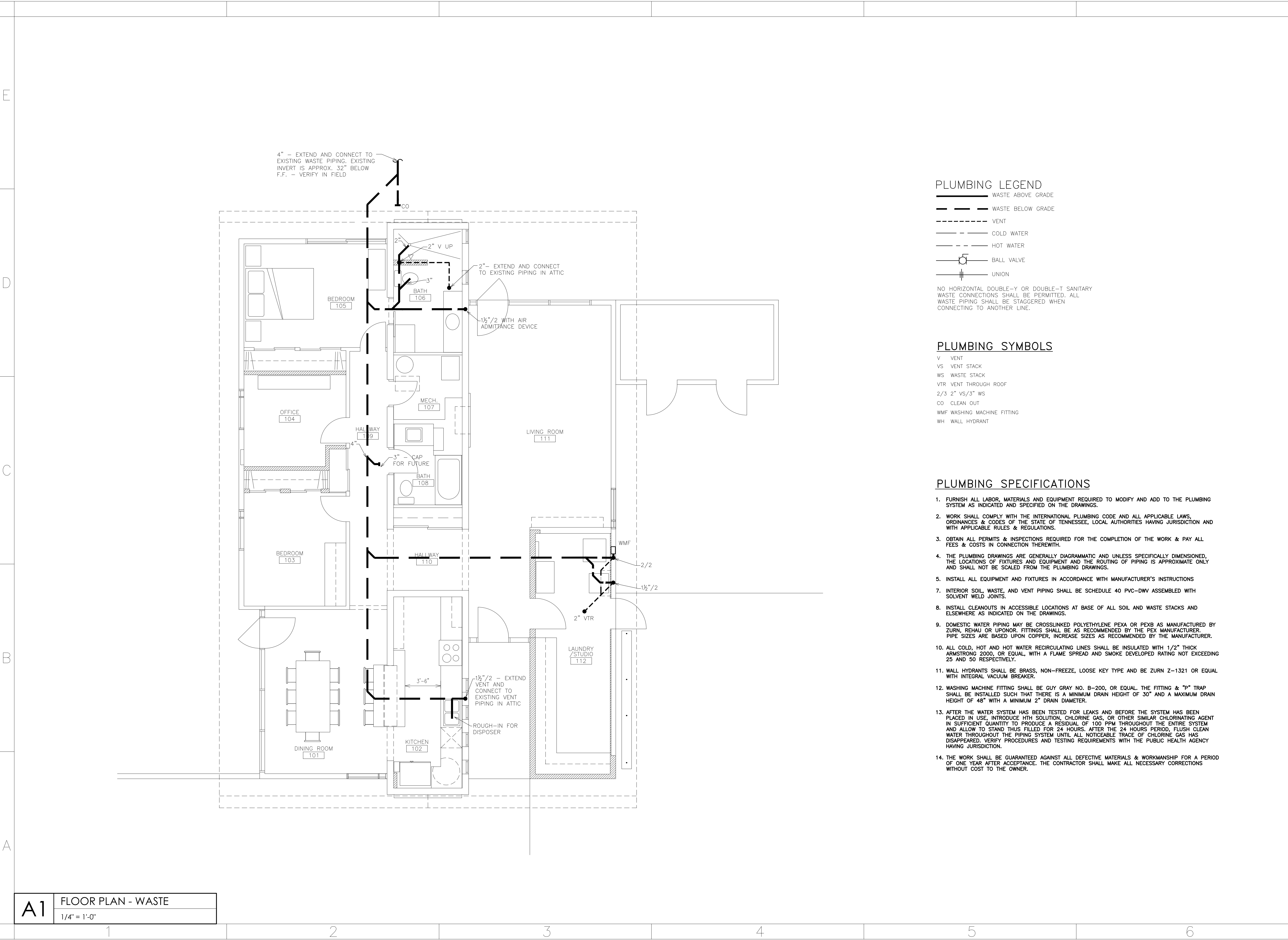
B3	MASTER BATH ELEVATION
	1/2" = 1'-0"




A3	MASTER BATH ELEVATION
	1/2" = 1'-0"



A5	MASTER BEDROOM ELEVATION
	1/2" = 1'-0"





**FALCONNIER**  
DESIGN COMPANY

4622 Chambliss Avenue  
Knoxville, TN 37919  
Phone 865.584.7868  
Fax 865.584.3139  
faldesco@gmail.com  
© copyright 2023

OWNER REVIEW  
NOT FOR CONSTRUCTION  
08/09/23

**WHITTED  
HOUSE**

509 WEST HILLS ROAD  
KNOXVILLE, TN 37909

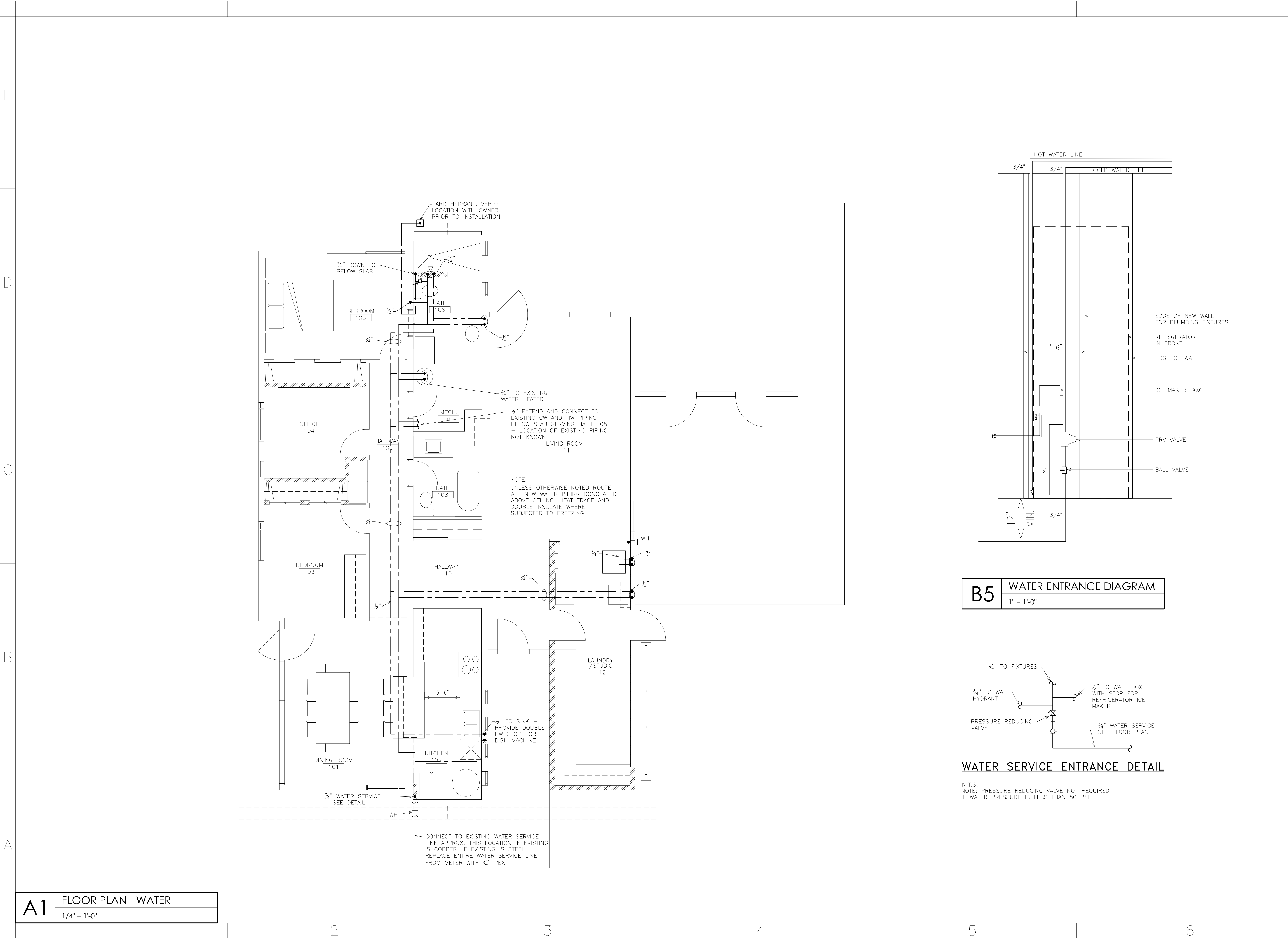
**FLOOR PLAN  
WASTE**

AS INSTRUMENTS OF SERVICE, THESE DRAWINGS AND THE DESIGN REPRESENTED BY THEM ARE THE PROPERTY OF DAMON A. FALCONNIER AND AS SUCH ARE PROTECTED BY STATE AND FEDERAL COPYRIGHT LAWS. REPRODUCTION OR USE OF THESE DRAWINGS OTHER THAN FOR THE PROJECT INTENDED WITHOUT WRITTEN CONSENT FROM DAMON A. FALCONNIER IS PROHIBITED. UNAUTHORIZED USE WILL BE SUBJECT TO LEGAL ACTION.

DRAWN BY:	MSL
CHECKED BY:	DAF
ISSUED:	~
REVISION(S):	
△ ~	△ ~
FILE:	2022-094

**P-100**





**FALCONNIER**  
DESIGN COMPANY

4622 Chambliss Avenue  
Knoxville, TN 37919  
Phone 865.584.7868  
Fax 865.584.3139  
faldesco@gmail.com  
© copyright 2023

OWNER REVIEW  
NOT FOR CONSTRUCTION  
08/09/23

WHITTED  
HOUSE

509 WEST HILLS ROAD  
KNOXVILLE, TN 37909

FLOOR PLAN  
WATER

AS INSTRUMENTS OF SERVICE, THESE DRAWINGS AND THE DESIGN REPRESENTED BY THEM ARE THE PROPERTY OF DAMON A. FALCONNIER AND AS SUCH ARE PROTECTED BY STATE AND FEDERAL COPYRIGHT LAWS. REPRODUCTION OR USE OF THESE DRAWINGS OTHER THAN FOR THE PROJECT INTENDED WITHOUT WRITTEN CONSENT FROM DAMON A. FALCONNIER IS PROHIBITED. UNAUTHORIZED USE WILL BE SUBJECT TO LEGAL ACTION.

DRAWN BY: MSL  
CHECKED BY: DAF  
ISSUED: ~  
REVISION(S):

△ ~	△ ~

FILE: 2022-094

P-101



OWNER REVIEW  
NOT FOR CONSTRUCTION  
08/09/23

WHITTED  
HOUSE

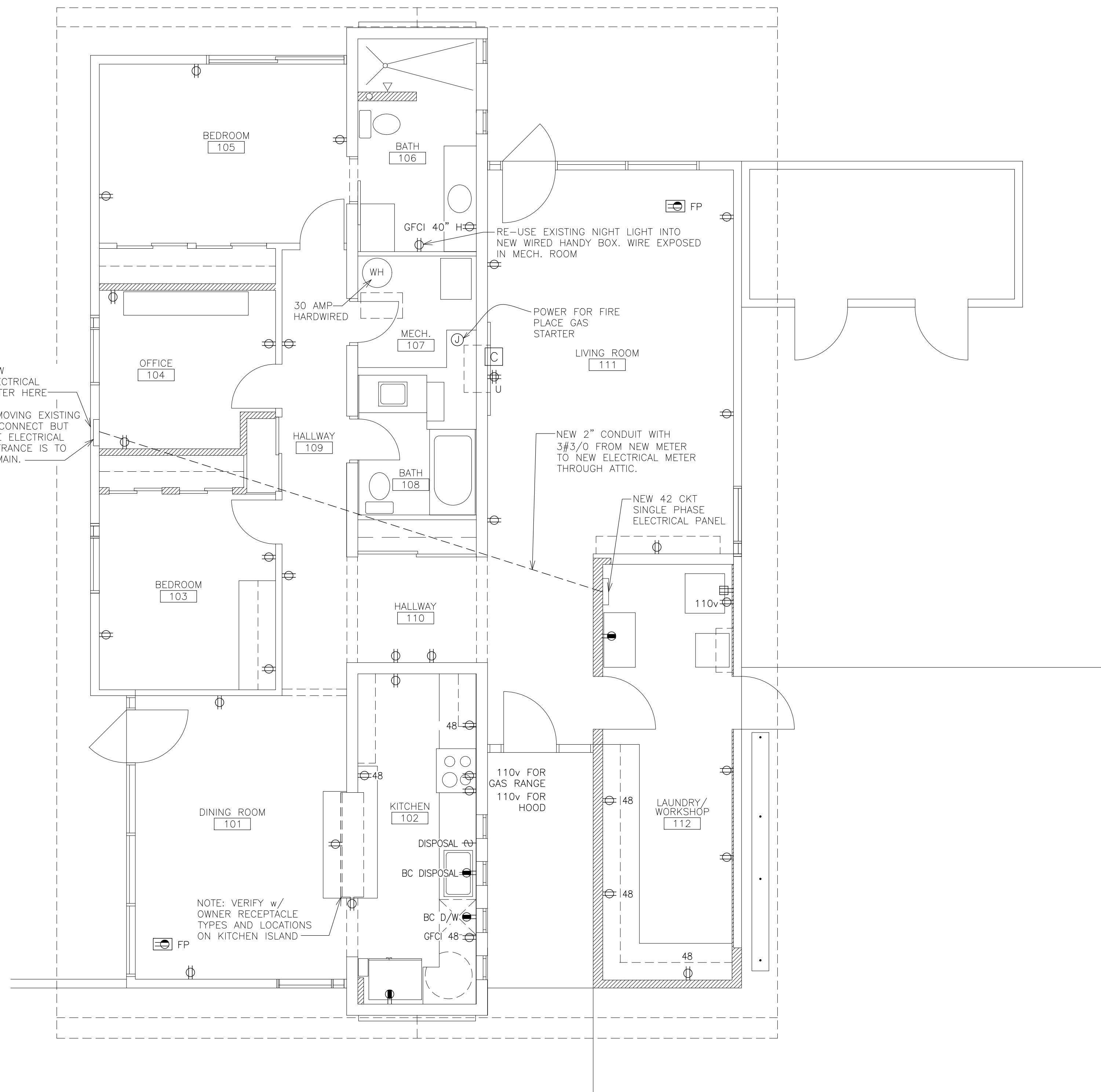
509 WEST HILLS ROAD  
KNOXVILLE, TN 37909

ELECTRICAL-  
POWER &  
COMMUNICATIONS

AS INSTRUMENTS OF SERVICE, THESE DRAWINGS AND THE DESIGN REPRESENTED BY THEM ARE THE PROPERTY OF DAMON A. FALCONNIER AND AS SUCH ARE PROTECTED BY STATE AND FEDERAL COPYRIGHT LAWS. REPRODUCTION OR USE OF THESE DRAWINGS OTHER THAN FOR THE PROJECT INTENDED WITHOUT WRITTEN CONSENT FROM DAMON A. FALCONNIER IS PROHIBITED. UNAUTHORIZED USE WILL BE SUBJECT TO LEGAL ACTION.

[illegible]

# E-101



POWER & COMMUNICATIONS LEGEND:

48 INDICATES DUPLEX RECEPTACLE MOUNTED 18" A.F.F. U.N.O.  
 "48" INDICATES MOUNT 48" A.F.F. (COUNTER HEIGHT)  
 "G" INDICATES GFCI PROTECTION  
 "U" INDICATES COMBINATION POWERED USB  
 "BC" BELOW COUNTER  
 "H" ORIENT HORIZONTALLY

 INDICATES DUPLEX RECEPTACLE ON DEDICATED CIRCUIT

 INDICATES QUADPLEX RECEPTICAL MOUNTED 18" A.F.F.  
U.N.O.

 FP INDICATES DUPLEX RECEPTICAL MOUNTED IN FLOOR POCKET WITH (1) RECEPTICAL WIRED TO WALL SWITCH. SEE PLAN AND COORD./VERIFY LOCATIONS WITH OWNER.

 INDICATES 220v 30a RECEPTACLE

**C** INDICATES CO-AX CABLE, CAT 5, TELEPHONE, POWERED USB OR COMBINATION THEREOF DATA OUTLET LOCATION AS DIRECTED BY OWNER. VERIFY OWNER REQUIREMENTS PRIOR TO INSTALLATION

 SWITCH

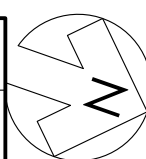
NOTE: OTHER RECEPTACLES ARE EXISTING TO REMAIN - VERIFY LOCATIONS & COORD. REQUIRED MODIFICATIONS w/ OWNER.

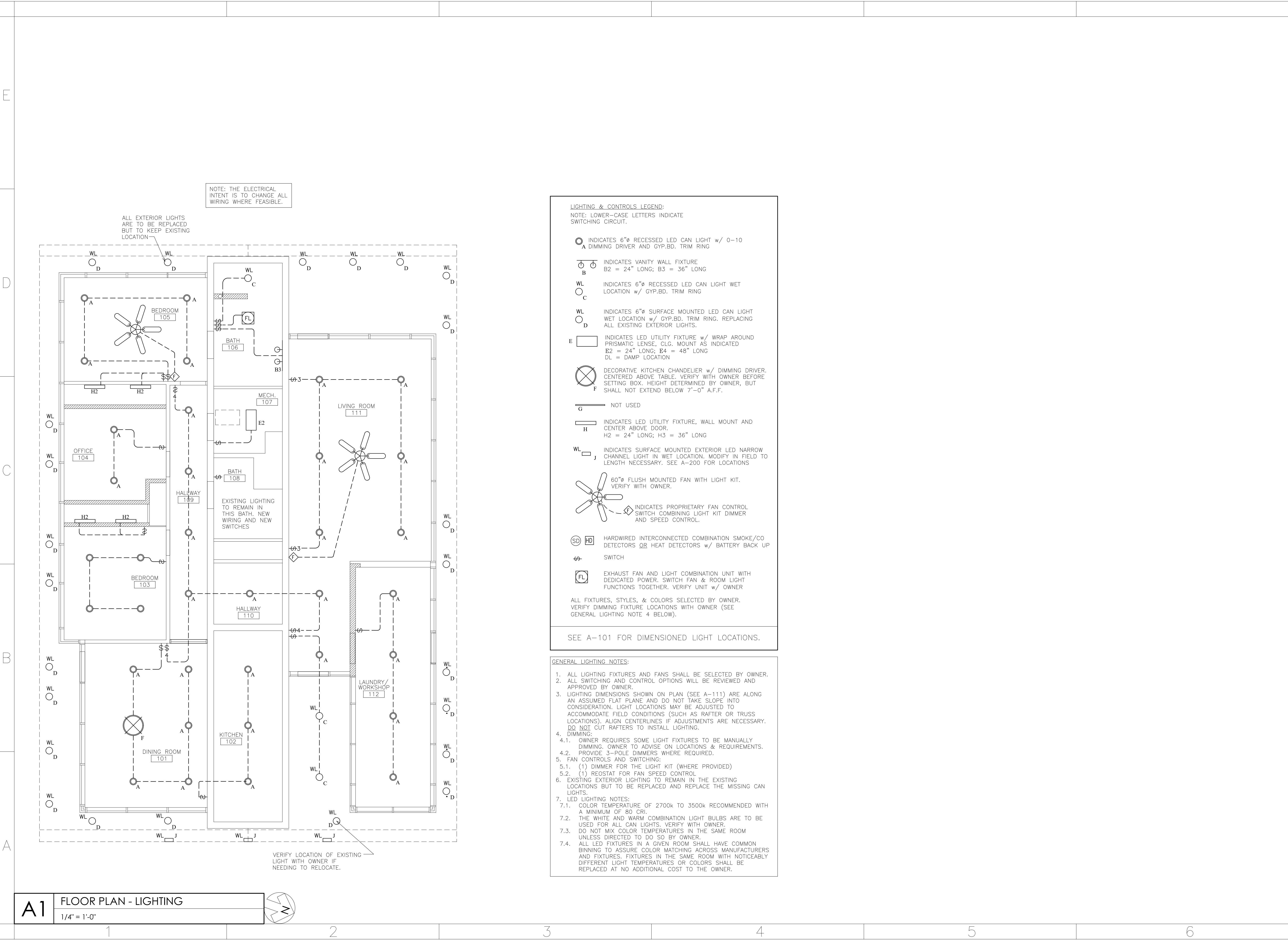
GENERAL ELECTRICAL NOTES:

1. ELECTRICAL SERVICE IS EXISTING TO REMAIN.
2. NEW LIGHTING DESIGN WILL REQUIRE SIGNIFICANT RE-WIRING. ALL WIRING SHALL BE PERFORMED BY A COMPETENT, LICENSED ELECTRICIAN.
3. ELECTRICIAN AND OWNER SHALL VERIFY THAT NEW LIGHTING AND ELECTRICAL LOADS CAN BE ACCOMMODATED WITH EXISTING SERVICE UPGRADE SERVICE IF NECESSARY.
4. OWNER TO REVIEW AND APPROVE THE LOCATIONS OF ALL OF THE FOLLOWING:
  - 4.1. RECEPTACLES.
  - 4.2. DEDICATED RECEPTACLES.
  - 4.3. SWITCHED RECEPTACLES.
  - 4.4. PHONE/DATA/I.T./SECURITY/TV OUTLETS.

# A1

## FLOOR PLAN - POWER & COMMUNICATIONS

$$1/4'' = 1'-0''$$




**FALCONNIER**  
DESIGN COMPANY

4622 Chambliss Avenue  
Knoxville, TN 37919  
Phone 865.584.7868  
Fax 865.584.3139  
falDESCO@gmail.com  
© copyright 2023

OWNER REVIEW  
NOT FOR CONSTRUCTION  
08/09/23

WHITTED  
HOUSE

509 WEST HILLS ROAD  
KNOXVILLE, TN 37909

ELECTRICAL-  
LIGHTING

AS INSTRUMENTS OF SERVICE, THESE DRAWINGS AND THE DESIGN REPRESENTED BY THEM ARE THE PROPERTY OF DAMON A. FALCONNIER AND AS SUCH ARE PROTECTED BY STATE AND FEDERAL COPYRIGHT LAWS. REPRODUCTION OR USE OF THESE DRAWINGS OTHER THAN FOR THE PROJECT INTENDED WITHOUT WRITTEN CONSENT FROM DAMON A. FALCONNIER IS PROHIBITED. UNAUTHORIZED USE WILL BE SUBJECT TO LEGAL ACTION.

DRAWN BY:	MSL
CHECKED BY:	DAF
ISSUED:	~
REVISION(S):	~
FILE:	2022-094

E-102