

CAPRI ARCHITECTURAL GUIDELINES



SUNSET PLACE ASSOCIATION
OF CARLSBAD

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1. Introduction and Background

1.1 Community Description

The Capri neighborhood is a unique community of homes, with a distinctive architectural style, built above the Agua Hedionda Lagoon with views of the Pacific Ocean in Carlsbad, California.

1.2 Background

These Design Guidelines are in place to protect the prevailing character of the Capri community and serve to provide a higher design standard than the City of Carlsbad development standards. Design guidelines have been a part of the Capri neighborhood since its inception. They ensure that appropriate modifications are made to the residences and land to maintain the unique character and style of the Capri community.

1.3 Community Style

1.3.1 General

All building materials to be used in hardscaping, additions to homes, garages or lots shall be, whenever possible the same as the original materials or consistent and harmonious in color and class of materials.

1.3.2 Architectural Style

Additions or modifications of original floor plans, the additions shall be of the SAME architectural style, not merely similar.

1.3.3 Colors

Colors used on the exterior of the home and accessory elements shall be complementary with the color and design of the home and shall comply with the BOD suggested colors, appendix 13-B.

1.4 Purpose of the Guidelines

The purpose of this Guideline is to assist Owners in obtaining approval from the Architectural Control Committee (ACC) and the Board of Directors (BOD) for improvements they wish to make to their homes and properties and to insure that such improvements are made in accordance with the Association's Governing Documents. This Guideline is subordinate to the other Governing Documents (CC&R's, Articles or Bylaws) and while it might consolidate or provide a Board's interpretations of the provisions of the Governing Documents it does not supersede and is not intended to replace those other documents. Therefore, Owners should always refer to all of the Governing Documents for the final authority.

1.5 How to Use the Guidelines

Before proposing a project owners should review these guidelines. These guidelines should be used prior to initiating the project design and throughout the design process. Examples contained in the guidelines should not be considered as the only design solution, but as a beginning point for the design process. Owners should attempt to be creative and innovative, and should look beyond simple or artless architectural and landscape design treatments. It is important, too, that owners involve ACC members, adjacent affected owners, nearby residents and the community in the design process prior to making a significant investment in design.

1.6 Interpretation of Provisions

The ACC and BOD have the designated authority to interpret and apply these Design Guidelines. Interpretations and application of the guidelines shall be based on the application submittal, the context and applicability of the guideline, and the Design Guidelines as a whole. Some guidelines may not apply to all projects due to a variety of reasons, such as type of project, architectural design, site specific location issues, and character of the surrounding residences. Interpretations and application of the guidelines should achieve the purpose of the Design Guidelines located in the Introduction and the guiding principles contained in each section.

To aid in the interpretation of these guidelines, an applicant should understand the meaning of “shall,” “should,” “encouraged,” and “discouraged”.

Guidelines, which employ the word “shall” are in most cases mandatory.

Guidelines, which employ the word “should” are intended to express the ACC and BOD’s desire and expectation. An alternative measure may be considered if it meets or exceeds the intent of the guideline.

Guidelines, which employ the word “encouraged” are intended to express a more desirable design solution.

Guidelines, which employ the word “discouraged” are intended to express a less desirable design solution.

1.7 Applicability

ARTICLE IX Section 9. Architectural Control Committee of the CC&R’s essentially provides that no fence, patio, or other improvement or structure including alterations be erected or painted within the Project without the approval in writing by the Board of Directors (BOD) or an Architectural Control Committee (ACC) appointed by the Board. Also included is landscaping (“hardscape” but not natural plants) visible from the street or Common Area. Plans and specifications showing nature and location of the improvements are to be submitted in writing to the Board for approval as to quality of workmanship and design and harmony of external design with existing structures, topography and finish grade elevation. Section 9. specifically provides that Owners may repaint in accordance with the color scheme previously approved by the Board without any additional approval subject to the provisions of guideline 1.3.3 Colors. Plans must be disapproved within 60 days of submission or they will be deemed approved.

1.8 Review Process

Submittal requirements for projects are described in section 10, approval guidelines. The application for project submittal is Appendix A of the guidelines. Following submittal of the project drawings and a complete application, a continuing exchange of information should occur as the design is finalized and the ACC review application starts.

1.9 Review Approvals

Obtaining an approval signifies a project's compliance with the architectural appearance and physical development of the Capri Architectural Guidelines, as determined by the ACC and BOD. Future alterations and/or remodeling of a project with an ACC and BOD approval would be reviewed within the context of the original residence design and subsequent design approvals.

1.10 Owner Consideration

The ACC, BOD & Association requests that each Owner be considerate of other Owners when making improvements or when maintaining landscaping on their lot. Owners are encouraged to consult with other Owners and cooperate with other Owners when practical, minor changes in a plan may be of substantial benefit to other Owners. While an Owner may have a legal right to accomplish what the Owner proposes, the Association requests that each Owner at least consider the impact on other Owners' view, privacy and light expectations.

2. Grading and Landscaping Guidelines

2.1 Grading and Earth Movement

Grading or earth movement on the existing prepared lots is strongly discouraged. If it is proposed it must be below the limits that would require a grading plan from the City of Carlsbad and it should be demonstrated why it is vital to the proposed design or necessary based on existing site conditions.

2.2 Site Drainage

2.2.1 Subsurface

Subsurface drainage systems (French drains) are permitted. Existing systems should be maintained so that they work efficiently and do no harm to adjacent properties. New systems should be installed as a part of an integrated landscape plan. In most cases the outlet for the subsurface drainage system should be under the sidewalk and through the curb so as to avoid water sheet flow over the sidewalk.

2.2.2 Surface

Existing surface drainage in most cases shall be maintained as each lot's surface drainage was carefully designed when the community was created. If surface drainage is proposed to be altered it should be demonstrated that the proposed changes will not adversely affect the subject lot, adjacent properties and the community at large. In no case shall the surface drainage drain toward the residence or onto an adjacent lot.

2.3 Hardscaping

2.3.1 Location

Hardscaping should be provided at the driveway from the street to the garage door. It should also be provided from the driveway or sidewalk to the entry of the residence. Hardscape should also be provided along the side of the house, on at least one side, to provide access from the front to the rear of the home. Hardscape is also allowed at all exits, patios and other exterior use areas. Hardscape should not exceed 50% of the exterior area of a property.

2.3.2 Materials

All materials used in hardscaping shall be, whenever possible, the same as the original materials or consistent with the original materials. Brick, tile and/or natural stone may be used as a walkway, steps or ribbon accent on walks or driveways and may be used as a cap on walls.

2.3.3 Color and texture

All materials used in hardscaping shall be, whenever possible, harmonious in color and class to the original materials. Colors shall be consistent with the color and design of the residence.

2.4 Planting Borders

Planting borders along walkways and driveways are encouraged. They should be consistent with, and harmonious to the landscaping provided on the rest of the property.

2.5 Landscaping

Landscaping at each residence should be consistent with, and complementary to, landscaping observed around the neighborhood.



Landscapes shown above encouraged as complementary



Landscapes shown above discouraged as conflicting

2.6 Sloped Banks

Sloped banks on private property shall be planted with landscaping materials that cover the bank in its entirety to protect from erosion. Exposed dirt banks are not allowed. Plantings on sloped banks shall not obscure or interfere with the view from adjacent properties or be taller than 24 feet from the lower pad level of the residence. Planting of palm trees on sloped banks shall not be allowed.

2.7 Tree Trimming

Trimming of trees on private property shall be done on a regular basis (a minimum of every two years) to maintain adjacent views, reduce leaf litter and to enhance the community appeal.

2.8 Height of Landscaping Elements

As provided in Article XII of CC&R's, no landscaping, (trees, shrubs, or plants) shall be allowed to attain a height in excess of twenty-four (24) feet **when measured from the lower pad level**. Palm trees are not included in this restriction, however, palms must be trimmed a minimum of at least every two years.

3. Fencing and Site Walls Guidelines

3.1 General

- 3.1.1 In order to maintain quality of workmanship and design and harmony of external design with existing structures, strict guidelines are to be maintained with regards to fencing. Fencing which is visible from any public thoroughfare (street or the path surrounding the project) shall conform to the following parameters.
- 3.1.2 All fencing will conform to the fencing specifications as detailed in this guideline. The fence specification drawings are located at the conclusion of this guideline section. All other forms of fencing are prohibited unless approved by the Architectural Control Committee (ACC).

3.2 Wood Fencing and Gates

- 3.2.2 Wood fences surfaced with cement plaster (Type A) are allowed, but a cement plaster finished masonry fence is the preferred selection.
- 3.2.3 All Wood Fences (Type B) shall be painted to match the color of the house trim. Wood shall be permitted only between houses and on the return to the house if they are not in a view corridor. Wood fences are allowed but not encouraged.

3.3 Metal Fencing and Gates

All fencing in view sensitive areas shall be (Type C) open metal fence with cement plaster pilasters. Open metal fences and gates are preferred in the front yard leading to the entry.

3.4 Glass Fencing and Gates

Clear glass fencing (Type D) that meets the design standards illustrated in the detail are allowed in view corridors upon approval of the ACC.

3.5 Masonry Fencing

All masonry fences (Type E) shall receive a cement plaster finish to match the color and texture of the house. Exposed concrete block, or slump stone fencing shall not be allowed. Exposed brick or tile elements are acceptable if approved by the ACC.

3.6 Low Walls and Retaining Walls

Cement plaster finished low walls (also known as pony or half walls) of less than a full five feet shall be permitted for the purpose of soils retention (retaining walls) and also can be used for decorative purposes. Also 32" or less in height (Type E) cement plaster walls may be used in lieu of the open metal fence in view sensitive areas. Walls that retain earth shall meet the City of Carlsbad standards for retaining walls or be designed by a structural engineer with the calculations and drawings provided to the ACC as part of the submittal package.

3.7 Pilasters

Cement plaster pilasters of the (Type C) fencing shall be 16-18" square. Their spacing shall be uniform, approximately 20' on center. Spacing can vary to be more or less than 20' on center, depending on lot dimensions, but all pilasters shall be evenly spaced. Cement plaster pilasters and cement plaster walls visible from the street shall match the color of the home. One color only is allowed on a pilaster visible from the street or common area.

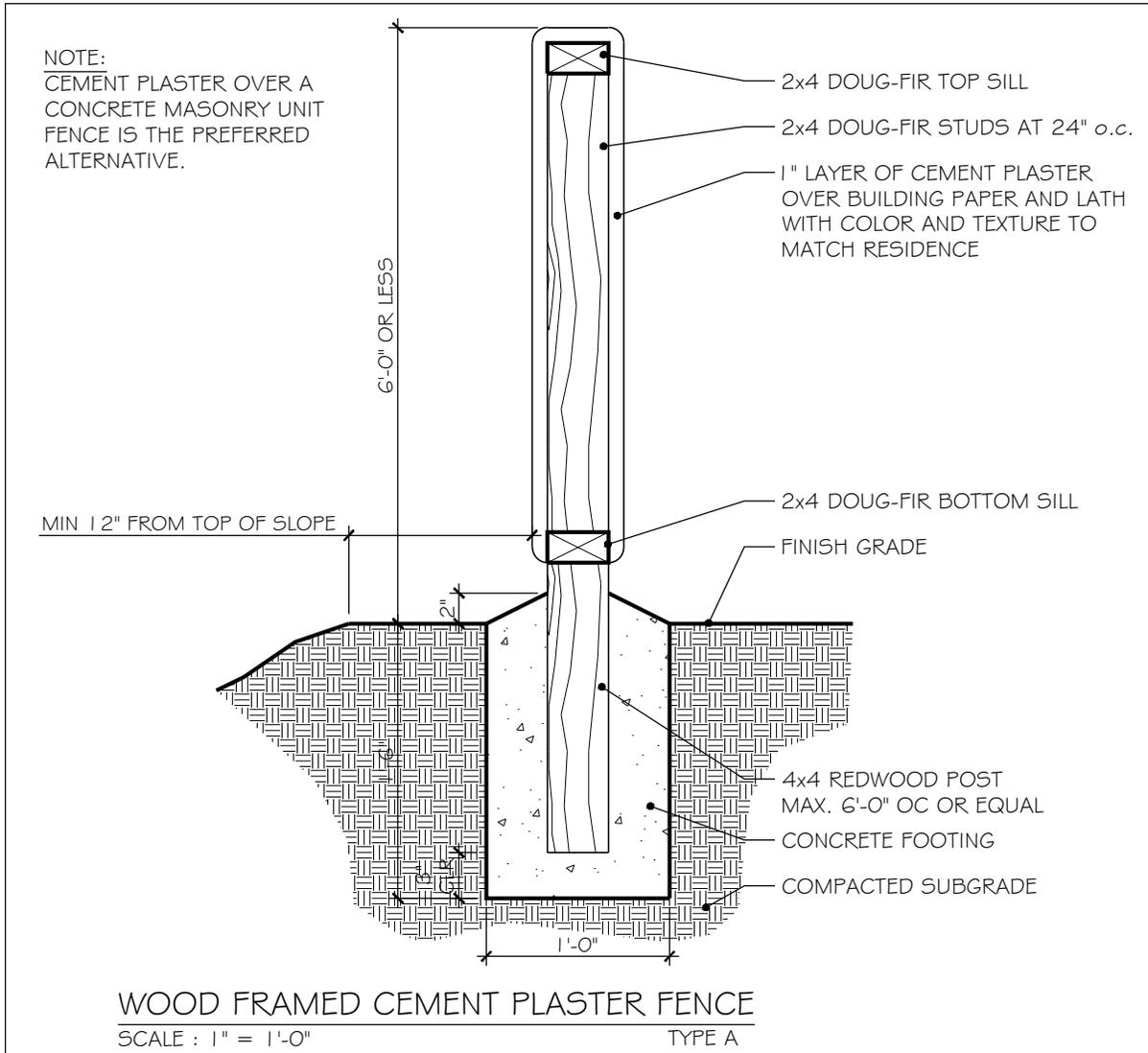
3.8 Temporary Fencing

Temporary chain link fencing of construction projects with a screening material is encouraged for use during construction. Other temporary fences shall not be allowed. Corrugated metal, woven chicken wire, welded wire, plastic and vinyl are all examples of temporary fencing material that shall not be allowed.

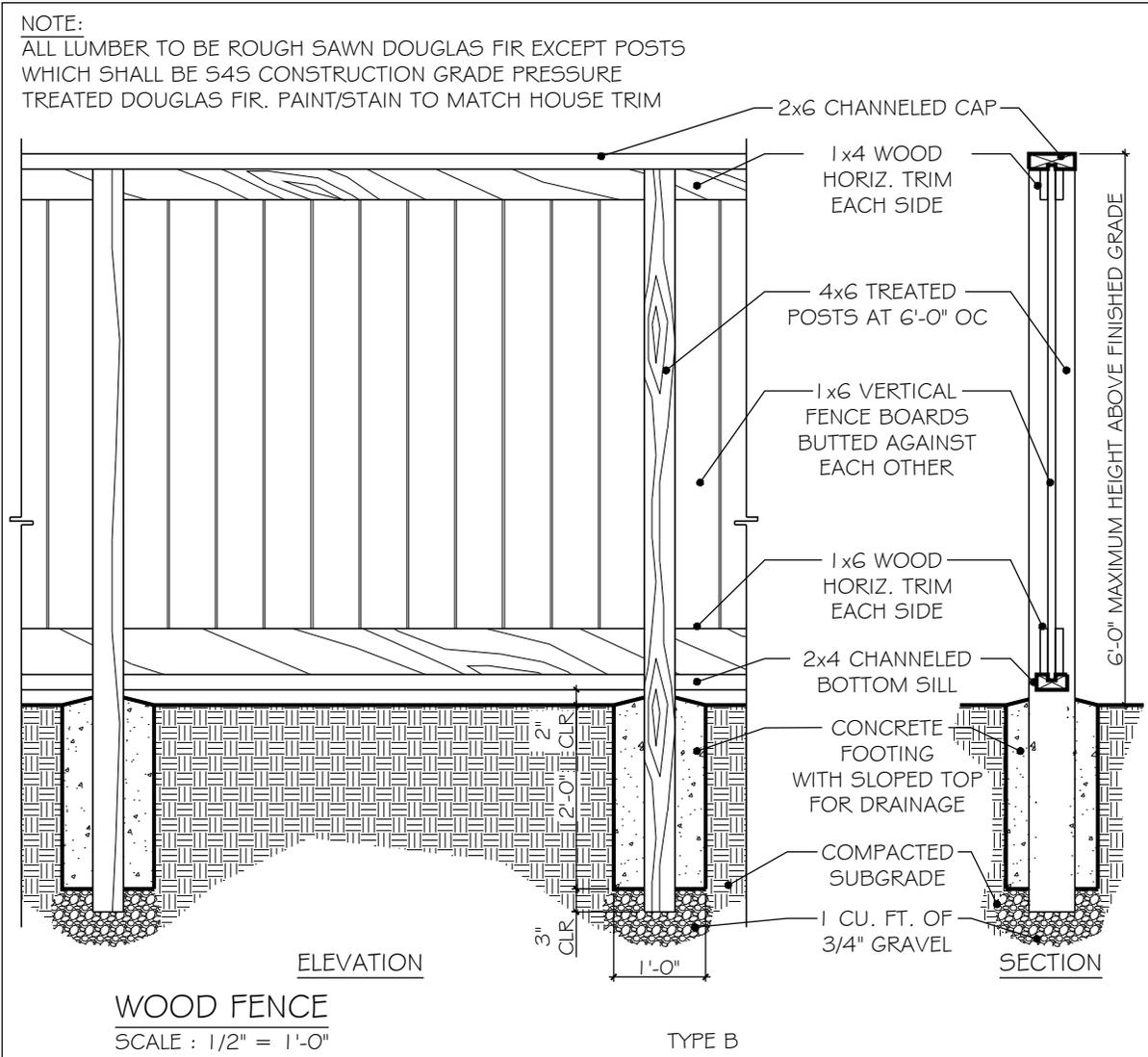
3.9 Interior Bank Fencing

If an Owner on an interior lot wishes to fence the rear bank portion of the lot as it proceeds uphill to meet the boundary of the backyard on the upper level, the fencing shall "tie-in" with the existing fencing on the upper boundary of the bank. Open metal fence with cement plaster pilaster "Type C" fencing shall be used for bank applications. At the point of connection with fencing of the upper lot, the open metal fence on the banks shall be welded to the existing open metal fence or connected to existing pilasters but no new pilasters shall be introduced on the upper boundary of the rear bank if possible.

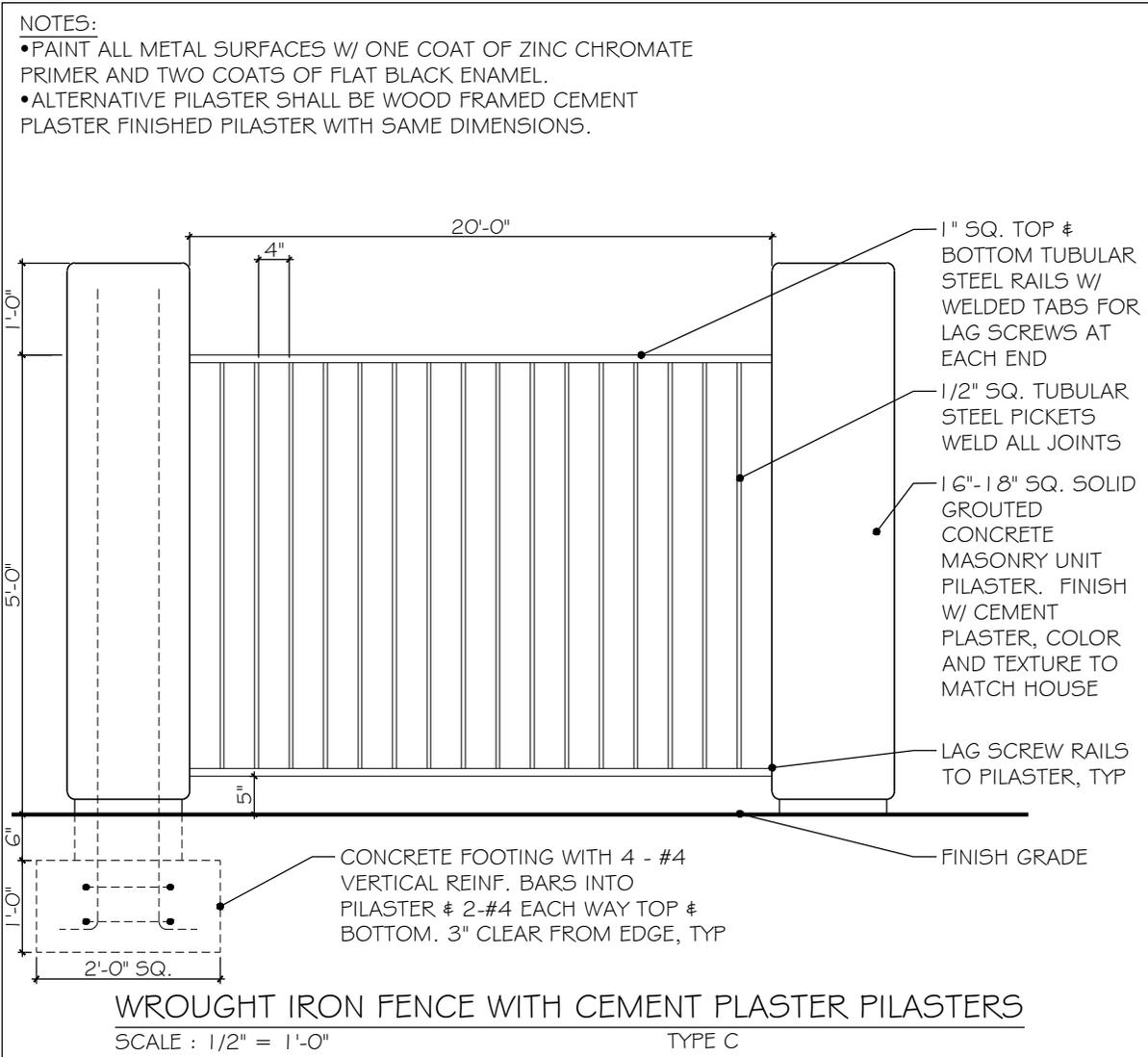
TYPE A



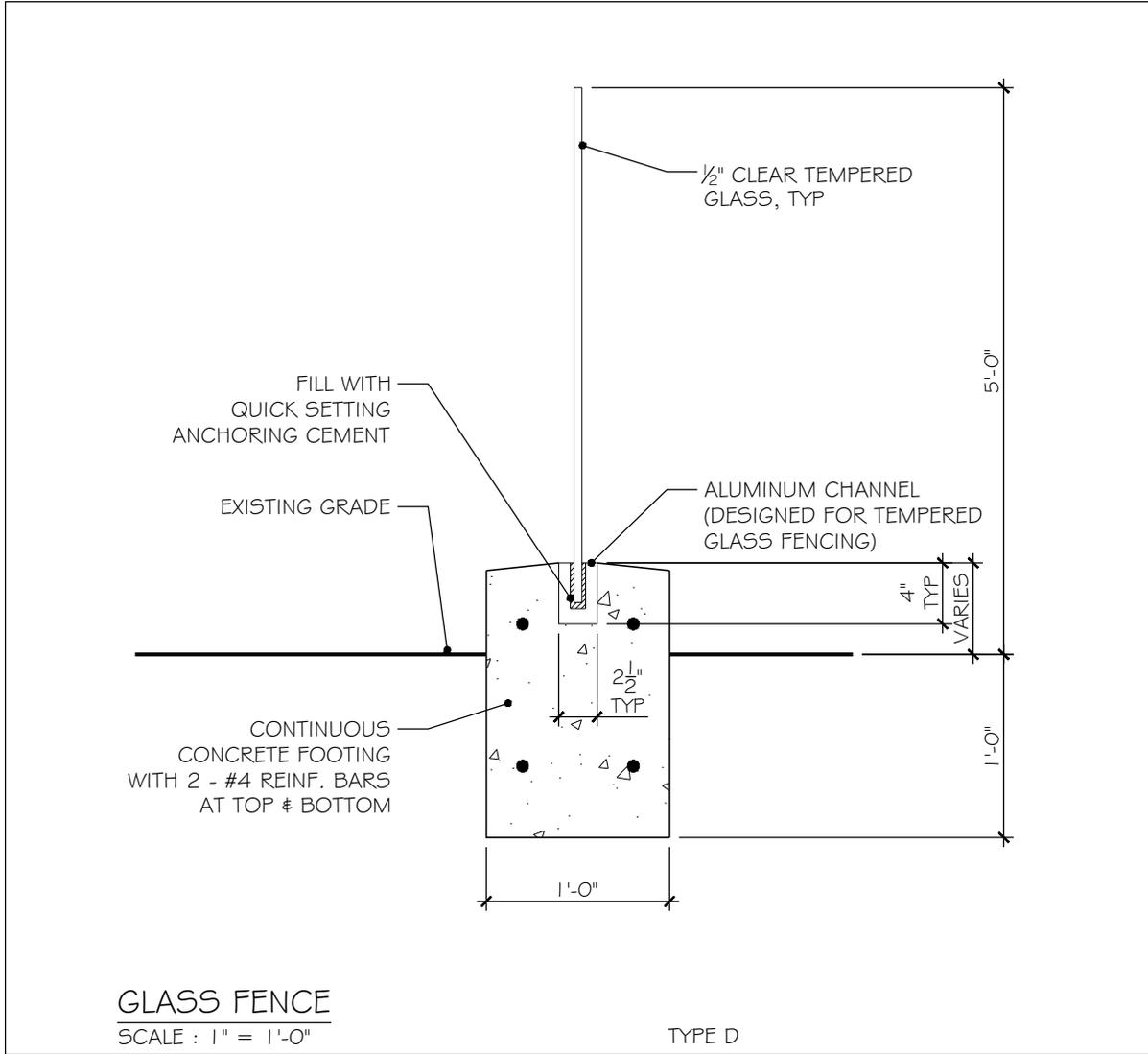
TYPE B



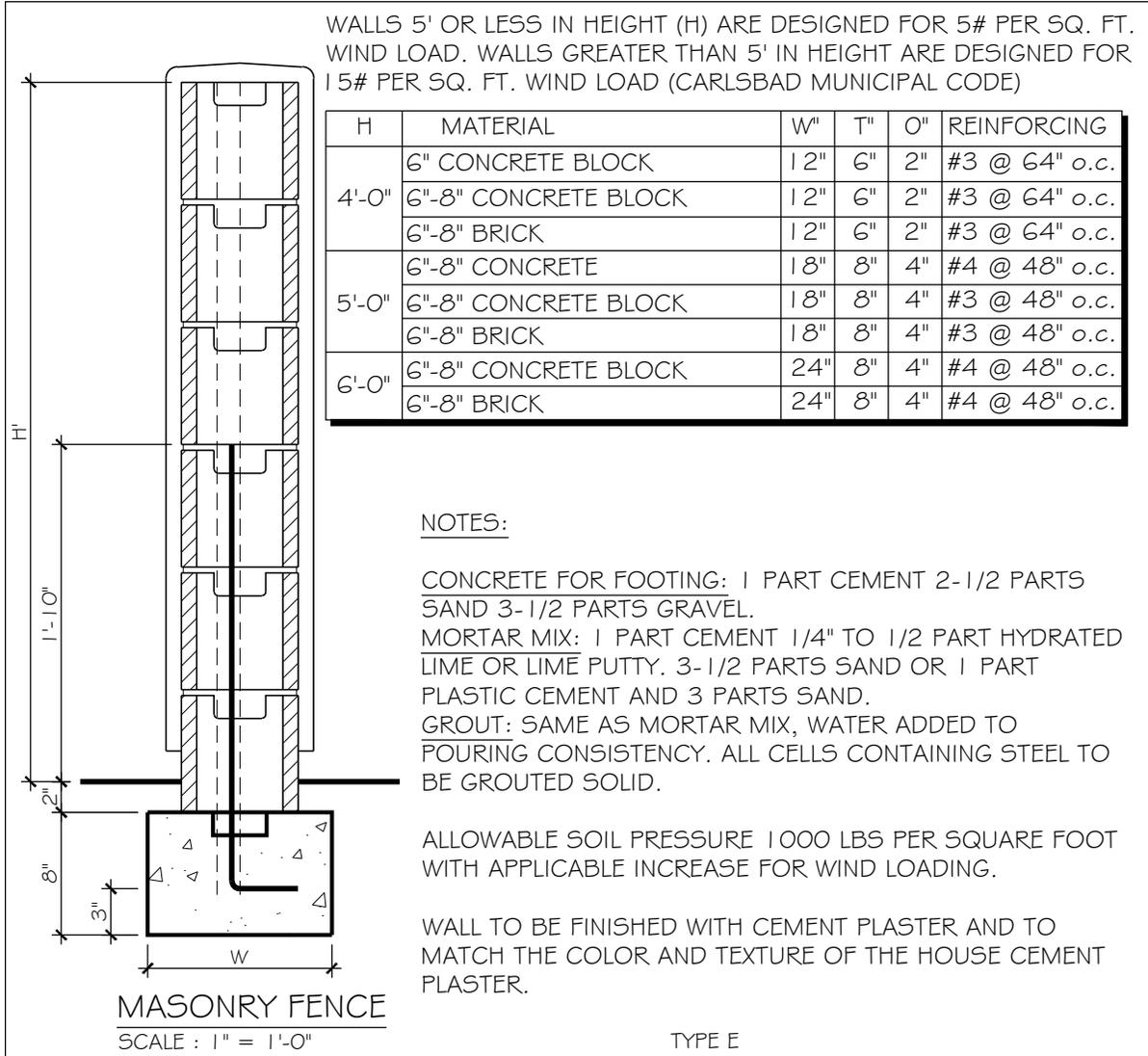
TYPE C



TYPE D



TYPE E



WALLS 5' OR LESS IN HEIGHT (H) ARE DESIGNED FOR 5# PER SQ. FT. WIND LOAD. WALLS GREATER THAN 5' IN HEIGHT ARE DESIGNED FOR 15# PER SQ. FT. WIND LOAD (CARLSBAD MUNICIPAL CODE)

H	MATERIAL	W"	T"	O"	REINFORCING
4'-0"	6" CONCRETE BLOCK	12"	6"	2"	#3 @ 64" o.c.
	6"-8" CONCRETE BLOCK	12"	6"	2"	#3 @ 64" o.c.
	6"-8" BRICK	12"	6"	2"	#3 @ 64" o.c.
5'-0"	6"-8" CONCRETE	18"	8"	4"	#4 @ 48" o.c.
	6"-8" CONCRETE BLOCK	18"	8"	4"	#3 @ 48" o.c.
	6"-8" BRICK	18"	8"	4"	#3 @ 48" o.c.
6'-0"	6"-8" CONCRETE BLOCK	24"	8"	4"	#4 @ 48" o.c.
	6"-8" BRICK	24"	8"	4"	#4 @ 48" o.c.

NOTES:

CONCRETE FOR FOOTING: 1 PART CEMENT 2-1/2 PARTS SAND 3-1/2 PARTS GRAVEL.
 MORTAR MIX: 1 PART CEMENT 1/4" TO 1/2 PART HYDRATED LIME OR LIME PUTTY. 3-1/2 PARTS SAND OR 1 PART PLASTIC CEMENT AND 3 PARTS SAND.
 GROUT: SAME AS MORTAR MIX, WATER ADDED TO POURING CONSISTENCY. ALL CELLS CONTAINING STEEL TO BE GROUTED SOLID.

ALLOWABLE SOIL PRESSURE 1000 LBS PER SQUARE FOOT WITH APPLICABLE INCREASE FOR WIND LOADING.

WALL TO BE FINISHED WITH CEMENT PLASTER AND TO MATCH THE COLOR AND TEXTURE OF THE HOUSE CEMENT PLASTER.

TYPE E

4. Wall Materials and Accessories Guidelines

4.1 General

Wall material that is altered shall maintain the color, texture and finish of the original wall material. Wall material at new walls shall maintain the color, texture and finish of the original wall material.

4.2 Cement Plaster

4.2.1 Colors

Colors of cement plaster shall comply with guideline 1.3.3 Colors and appendix 13-B.

4.2.2 Texture

The texture of cement plaster shall be the same for all elements of a residence.

4.3 Trim and Wood Work

Trim and woodwork that is altered shall maintain the color and finish of the original trim material. New trim and woodwork shall maintain the color and finish of the original trim material. Colors of trim and woodwork plaster shall comply with guideline 1.3.3 Colors and appendix 13-B.

4.4 Address Numbers

Address numbers on the front of the residence shall be black individual numbers as originally placed on each residence and can be installed without approval. Alternative address numbers shall require the approval of the ACC and BOD and shall meet the requirements of the Carlsbad Fire Department.



Examples of the original address numbers.



Address numbers that require approval.

4.5 Design Accents

Design accents provided as part of the original design of the residence shall be maintained to the greatest extent possible when a residence is modified. This includes quatrefoils, banding, corbels and other cement plaster and trim accents. Design accents added to a residence that deviates substantially from the original residence design shall require approval of the ACC and BOD.



Existing accents to be maintained



Proposed accents requiring approval

4.6 Flags and Flag Mounts

Each residence shall be allowed to have one flag mount attached to the fascia or wall at the front of the residence. If the American flag is flown on the mount all rules governing its care shall be observed. Freestanding flagpoles on private property are not encouraged and require approval of the ACC and BOD.



Example of fascia mounted flag



Example of freestanding flagpole

5. Door and Window Guidelines

5.1 General

Doors and windows are an integral part of the design theme of the community and of each residence. Care should be taken in selecting replacement or new doors and windows for a residence.

5.2 Entry Doors

5.2.1 Material

Entry doors should be wood or wood with glass. Other materials may be considered if the door maintains the desired qualities for an entry door. Replacement entry doors should emulate many of the qualities of the original entry door.

5.2.2 Color

Entry doors can be stained or painted. The entry door can display the natural color of the wood or be stained or painted to provide a contrasting color. Entry door colors should be complementary to the residence color scheme and harmonious with other adjacent entry doors. Brightly colored entry doors not in step with the community composition shall not be allowed.

5.2.3 Texture

Entry doors can have a smooth or rough texture. They should have raised panels, glass insets or other trim elements that distinguish them as the entry door.



Acceptable entry doors shown above.

5.3 Garage Doors

5.3.1 Garage Door Types

Maintaining or replacing the original overhead garage doors is encouraged. Sectional roll-up replacement garage doors, with or without windows in the top panel may be installed in lieu of the existing overhead garage door.



An original overhead garage door shown above.



Acceptable replacement sectional roll-up garage doors shown above.

5.3.2 Garage Door Materials

Metal, wood or fiberglass insulated doors are encouraged as a replacement to the original overhead doors. Metal framed sectional garage doors with glass panels at each section shall not be allowed. Sectional doors with a color contrasting natural wood finish are also not allowed.



Garage door styles that are not allowed are shown above.

5.3.3 Garage Door Colors

Garage doors shall be painted to match the approved residence color, white or almond. Garage doors shall blend with the residence, be monochromatic and not be a highly contrasting color. Guideline [1.3.3 Colors](#) and [appendix 13-B](#) can be referenced for approved colors.

5.4 Door and Window Replacement

5.4.1 Door and Window Material

Door and window material should be aluminum to match the original doors and windows. Vinyl, fiberglass, wood or aluminum clad wood doors and windows can be acceptable alternatives if they maintain a similar design appearance to the original windows. Replacement doors and windows with oversized perimeter frames are discouraged.



Discouraged replacement windows with oversized perimeter frames shown above.

5.4.2 Door and Window Color

Door and window color shall be white to match the original door and window color. Other door and window colors are strongly discouraged unless it can be shown that the alternate color is part of an integrated color scheme and it blends with the other colors of the residence.

5.5 Door and Window Treatments

5.5.1 Operational Style

The operational style of doors and windows should be maintained at replacement or new doors and windows. For example, if a window is a horizontal sliding window its replacement is encouraged to be a horizontal sliding window.

5.5.2 Mullions/Muttons

The original doors and windows traditionally had dividing mullions or muttons. It is preferred that if a door or window is replaced it again have the dividing mullions or muttons. However, proposed replacement doors and windows with the mullions or muttons eliminated may be approved by the ACC and BOD.

5.5.3 Tinting and Films

Glazed doors and windows may have tinted glazing or have a tinted film attached where required for sunlight control. Reflective tinted glazing or tinted film where the glazing acts as a mirror from the exterior shall not be allowed.

5.6 Skylights and Tubular Light Domes

5.6.1 Skylights

Skylights were not a common original design element of the community. If proposed they are encouraged to be placed so that they are not visible from the street or other public way. Flat glass skylights with bronze or roof colored frames are encouraged if a skylight is proposed, white opaque domed skylights shall not be allowed.

5.6.2 Tubular Light Domes

Tubular light domes were not an original design element of the community. Their use is not encouraged. If proposed they are encouraged to be placed so that they are not visible from the street or other public way. Clear plastic domes with bronze or roof colored frames are encouraged if a tubular light dome is proposed.

5.7 Door and Window Trim

Replacement or new door and window trim constructed from cement plaster or wood shall match similar trim elements on the residence. Colors of trim shall comply with guideline 1.3.3 Colors and appendix 13-B.

5.8 Shutters

Shutters were not a common original design element of the community. They have become an acceptable design element if they reflect a Spanish/Mediterranean aesthetic and are integrated into the residence design theme and colors.



Examples of shutters shown above.

5.9 Exterior Screens

Exterior screens at window and door openings shall be maintained and replaced when they become faded, fail to operate correctly or appear visibly deteriorated. Motorized or non-motorized exterior screens at door or window openings or hanging from eaves or other exterior structures are discouraged.

5.10 Security Doors, Grills & Bars

Security screen doors are not allowed at the front entry or any other door viewable from a public way. Security screen doors at other locations are strongly discouraged. Security grills and security bars at window or door openings are not allowed.

6. Roofing and Roof Accessories Guidelines

6.1 Roofing

Roofing used to repair an existing roof or to roof an addition shall match the existing clay roof tile style, color and construction. Birds stops, hip ends, ridge tiles and other roof elements shall match the existing roof elements.



6.2 Waterproof Deck Surfacing

Waterproof deck surfacing shall be consistent and harmonious with the colors and textures of the residence.

6.3 Awnings

Awnings of fabric or metal were not a part of the original design aesthetic. Therefore their use as a design element is discouraged.

6.4 Gutters and Downspouts

New or replacement metal gutters and downspouts shall match the existing metal gutters and downspouts in color and material. They shall be painted the color of the trim or cement plaster, depending on the material they are attached to, so that they blend in as much as possible. Plastic gutters and downspouts shall not be allowed.



6.5 Metal Roof Accessories and Trim

New or replacement metal accessories and trim shall match the existing metal accessories and trim in color and material. Metal roof accessories shall be painted to match the roofing, trim or cement plaster depending on the material they are attached to, so that they blend in as much as possible.

7. Exterior Structure and Furnishings Guidelines

7.1 Trellis and Patio Covers

Trellises and patio covers are acceptable additions to a residence. They must meet City of Carlsbad code requirements and be designed to comply with guideline 1.3 Community Style to be considered for approval. They should be built in the side and rear yard. If they are built in the front or in a yard open to public view they should be of exceptional design quality to be considered for approval. They shall not be proposed to be constructed in a location that could obstruct the view of an adjacent neighbor without the written approval of that neighbor.

7.2 Decks and Deck Railings

Decks or balconies and their guardrails are acceptable additions to a residence. They must meet City of Carlsbad code requirements and be designed to comply with guideline 1.3 Community Style to be considered for approval. Materials used for new or renovated deck elements should be harmonious and not be strongly contrasting or distinctly different from the original design or deviate from the approved color scheme. Deck guardrails of wood and/or glass are encouraged. Other guardrail materials and designs could be considered for approval. Decks or balconies should be built in the side and rear yard. If they are built in the front or in a yard open to public view they should be of exceptional design quality to be considered for approval. They shall not be proposed to be constructed in a location that could obstruct the view or impact the privacy of an adjacent neighbor without the written approval of that neighbor.

7.3 Gazebos

Gazebos and other detached open shade structures are acceptable additions to the yard of a residence. They must meet City of Carlsbad code requirements and be designed to comply with guideline 1.3 Community Style to be considered for approval. They should be built in the side and rear yard. If they are built in the front or in a yard open to public view they should be of exceptional design quality to be considered for approval. They shall not be proposed to be constructed in a location that could obstruct the view of an adjacent neighbor without the written approval of that neighbor.

7.4 Sheds

Enclosed exterior storage sheds shall not be allowed in any exterior yard of a residence.

7.5 Outdoor Cooking Facilities

7.5.1 Barbeques

Permanent barbeques are acceptable additions to the yard of a residence. They must meet City of Carlsbad code requirements and be designed to comply with guideline 1.3 Community Style to be considered for approval. They should be built in the rear yard. If they are built in the side, front or in a yard open to public view they should be of exceptional design quality and be screened from public view to be considered for approval. They shall not be proposed to be constructed in a location that could obstruct the view of an adjacent neighbor without the written approval of that neighbor.

7.5.2 Fireplace

Permanent outdoor fireplaces are acceptable additions to the yard of a residence. They must meet City of Carlsbad code requirements and be designed to comply with guideline 1.3 Community Style to be considered for approval. They should be built in the rear yard. If they are built in the side, front or in a yard open to public view they should be of exceptional design quality and be screened from public view to be considered for approval. They shall not be proposed to be constructed in a location that could obstruct the view of an adjacent neighbor without the written approval of that neighbor.

7.5.3 Pizza Ovens

Permanent pizza ovens are acceptable additions to the yard of a residence. They must meet City of Carlsbad code requirements and be designed to comply with guideline 1.3 Community Style to be considered for approval. They should be built in the rear yard. If they are built in the side, front or in a yard open to public view they should be of exceptional design quality and be screened from public view to be considered for approval. They shall not be proposed to be constructed in a location that could obstruct the view of an adjacent neighbor without the written approval of that neighbor.

7.5.4 Fire Pits

Permanent fire pits are acceptable additions to the yard of a residence. They must meet City of Carlsbad code requirements and be designed to comply with guideline 1.3 Community Style to be considered for approval. They should be built in the rear yard. If they are built in the side, front or in a yard open to public view they should be of exceptional design quality and be screened from public view to be considered for approval. They shall not be proposed to be constructed in a location that could obstruct the view of an adjacent neighbor without the written approval of that neighbor.

7.6 Play Equipment, Umbrellas and Swings

7.6.1 Play Equipment

Play equipment structures are not encouraged, but may be approved as additions to the yard of a residence. They must meet City of Carlsbad guidelines for not requiring a building permit and be designed to comply with guideline 1.3 Community Style to be considered for approval. They shall be placed only in the rear yard and not generally in an area open to public view. They shall not be proposed to be constructed in a location that could obstruct the view of an adjacent neighbor without the written approval of that neighbor.

7.6.2 Umbrellas

Fabric Umbrellas are acceptable additions to the yard of a residence. They should comply with guideline 1.3 Community Style to be considered for approval. They should be placed in the side and rear yard. If they are placed in the front or in a yard open to public view they should be of exceptional quality to be considered for approval. They shall be maintained in good condition and once the fabric has faded the fabric should be replaced. Umbrellas placed in a location that could block the view of an adjacent neighbor shall be relocated if a written request is submitted to the ACC by the adjacent neighbor.

7.6.3 Swings

Swings are not encouraged, but may be approved as additions to the yard of a residence. They must meet City of Carlsbad guidelines for not requiring a building permit and be designed to comply with guideline 1.3 Community Style to be considered for approval. They shall be placed only in the rear yard and not generally in an area open to public view. They shall not be proposed to be constructed in a location that could obstruct the view of an adjacent neighbor without the written approval of that neighbor.

7.7 Exterior Exposed Mechanical Units

Exterior exposed ground mounted mechanical units are acceptable additions to the yard of a residence. They shall be placed only in the side or rear yard and not in an area open to public view.

Exterior window mounted mechanical conditioning units and roof mounted mechanical conditioning equipment shall not be allowed.

7.8 Outdoor Furnishings

Outdoor furnishings with or without fabric are acceptable additions to the yard of a residence. They should comply with guideline 1.3 Community Style to be considered for approval. They shall be maintained in good condition and once the furniture material has deteriorated or faded the furniture should be replaced. They can be placed in any yard. If they are placed in the front or in a yard open to public view they should be of exceptional quality to be considered for approval. Outdoor furniture placed in a location that could block the view of an adjacent neighbor shall be relocated if a written request is submitted to the ACC by the adjacent neighbor.

8. Lighting, Solar Panel, Satellite Dish and Antenna Guidelines

8.1 General

Exterior electric fixtures and electronic accessories are allowed to be attached to a residence. They should be placed in a manner that is complementary to the residence style and not obtrusive to the neighborhood.

8.2 Exterior Lighting

Exterior lighting shall be harmonious with the overall style of the residence. Fixture style and color should be consistent for each residence. Fixtures should be decorative and the bulb should be shielded or enclosed. Security style lighting, with large bright bulbs is discouraged.



Exterior lighting that is encouraged is shown above.



Exterior lighting that is discouraged is shown above.

8.3 Temporary Exterior Lighting

Temporary exterior lighting is allowed for Holidays that traditionally includes lighting displays. Temporary exterior lighting for special events other times of the year are allowed as well. Temporary exterior lighting shall not be installed for more than 60 continuous days.



8.4 Solar Panels

Solar Panels should be installed out of sight from streets and common areas to the extent practicable. Wiring and piping to the solar panels is encouraged to be in the attic of the residence rather than surface mounted on the roof.

The installation and use of certain devices which utilize solar energy is controlled by Civil Code Section 714. That law places certain restrictions on Associations and may override certain provisions of the governing documents, the Association will observe the then current provisions of the law to the extent applicable.

8.5 Satellite Dishes

Satellite Dishes should be installed out of sight from streets and common areas to the extent practicable. Wiring to satellite dishes is encouraged to be in the attic of the residence rather than surface mounted on the roof.

The installation of certain devices to receive video programming may be controlled by “The Telecommunications Act of 1996”. Currently, Satellite Dishes of one meter or less are controlled by that Act. This Act places certain restrictions on Associations and may override certain portions of the governing documents; the Association will observe the then current provisions of the Act to the extent applicable.



Placement of satellite dishes at the front of the residence is strongly discouraged.

8.6 Antenna

Permanent antennas, visible to the neighborhood, to receive commercial and/or hobby video and audio signals are strongly discouraged as the communities utilities are provided underground.

9. Storage Guidelines

9.1 Refuse Container Storage

Refuse containers shall not be stored in the front yard of the residence. They should not be stored in the Entry area of the home either. Storage of refuse containers along the side yard adjacent to the Garage is encouraged. Refuse containers should typically be placed at the curb the night before the municipal pickup and removed the next day after pick up.

9.2 Personal Vehicle Storage

Personal vehicles should be stored in the Garage attached to the residence when possible. The Garage should maintain parking spaces for the number of vehicles intended for its size.

9.3 RV Storage

9.3.1 RV's and Trailers

Long term exterior RV and travel trailer storage shall not be allowed.

Short term exterior RV or travel trailer storage in the residence driveway or in the street immediately adjacent to the residence is allowed for a period no longer than 48 hours or the time interval allowed by the City of Carlsbad whichever is shortest.

9.3.2 Boats and other watercraft

Long term exterior boat or other watercraft storage shall not be allowed.

Short term exterior boat or other watercraft storage in the residence driveway or in the street immediately adjacent to the residence is allowed for a period no longer than 48 hours or the time interval allowed by the City of Carlsbad whichever is shortest.

9.3.3 Other

Long term exterior storage of other vehicles, motorized or non-motorized, is strongly discouraged. If it can be shown that the vehicle is significantly shielded in a side or rear yard from public view it may be considered for approval.

Short term storage of other vehicles, motorized or non-motorized, is allowed in the residence driveway or in the street immediately adjacent to the residence is allowed for a period no longer than 48 hours or the time interval allowed by the City of Carlsbad whichever is shortest.

9.4 Outdoor Clutter

The front yard and other areas of the residence yard visible from the street or public way should be kept free of refuse, debris and excessive over-decoration.

10. Approval Guidelines

10.1 Plan Submission

A Homeowner/Applicant (Owner) wishing to modify, improve, or enhance their lot will submit two (2) sets of complete plans to the Chair of the Architectural Control Committee (ACC). The submitted plans will clearly illustrate the proposed project. The ACC has prepared an Architectural Review Application (ARA) for use in submitting the request, a copy of which is attached as Appendix A. The ARA will clearly describe the proposed project.

10.2 Plan Review

The ACC shall have the responsibility to (I) preliminarily approve; (II) seek modification; (III) conditionally approve; or (IV) preliminarily disapprove the ARA and plans of the Owner. The ARA and plans will be sent to the Board of Directors (BOD) for approval or disapproval prior to its next meeting. The ACC shall include the specific exception it is taking to any ARA and plans it does not recommend for unconditional approval. The ACC shall notify the Owner of its recommendation to the BOD. The Owner shall have the right to appear at the BOD Meeting to support or explain the ARA and plans. If the Owner has not allowed sufficient time for the BOD to have included the ARA and plans on its posted agenda, it is likely the ARA and plans will be disapproved unless the improvement is considered routine and the ACC has recommended unconditional approval. Both the ACC and the BOD shall act with all due diligence in order to cause as little delay as possible for the Owner. However, other Owners have a right to notice of pending BOD actions and the right to address the BOD in support or opposition.

10.3 Plan Approval

- 10.3.1 Upon approval the Board of Directors shall return one copy of the Owner's ARA and plans with written approval. The remaining copy will be kept for the Association's records.
- 10.3.2 If the BOD conditionally approves and/or issues instructions for specific alteration or modification of the ARA and plans both copies of the ARA and plans shall be returned to the ACC. Upon concurrence by the Owner to the condition or modification as evidenced by a written notation on both copies of the ARA and plans, the ARA and plans shall be deemed approved. If the notation is not accomplished within the required 30 days the ARA and plans shall be deemed disapproved.
- 10.3.3 If the Plan is disapproved by the BOD, a copy of the ARA and plans shall be returned to the Owner with a notation of the reason for disapproval and at least one reason for the disapproval shall be noted in the minutes of the BOD meeting. The other copy of the Plan shall be retained by the Association for at least six months or until revised Plans may be submitted.
- 10.3.4 The Owner shall keep the approved copy of the ARA and plans readily accessible for reference during the construction phase of the project. The Board of Directors shall keep the Association copy of the approved plans on file for future reference.

10.4 Application

The Architectural Review Application (ARA) is attached as Appendix A to these guidelines.

11. Violation Guidelines

11.1 Notification

Owners known to the Architectural Control Committee (ACC) or the Board of Directors (BOD) to be violating these guidelines shall be notified in writing of their violation by the BOD.

11.2 Construction

Should the violation involve construction in progress without prior written approval, they will be instructed in writing to cease construction immediately by the BOD.

11.3 Time

The Owner in violation of these guidelines shall be given reasonable time to correct such violations and/or appeal their case for deviation to the Board of Directors. After reasonable time for correction, the BOD shall proceed as is necessary to insure compliance.

11.4 Compliance and Enforcement

In accordance with ARTICLE X, Section 1, Enforcement of the CC&R's, The Association and the BOD shall have the right to require compliance with the Guidelines and have the authority to enforce the Guidelines.

12. Miscellaneous Guidelines

12.1 Miscellaneous Guidelines

12.1.1 Pet Waste

Pet waste should be immediately removed from public areas as the waste incident occurs and deposited in the community refuse cans or in a private waste container. Pet waste on private property should be cleared from the yard on a regular basis not more than 96 hours apart.

13. Appendix

Appendix A

Architectural Review Application

Appendix B

Board of Directors suggested colors

Appendix C

City of Carlsbad fence ordinance

ARCHITECTURAL REVIEW APPLICATION

Please complete the following application and submit it to a member of the Architectural Control Committee (ACC). In addition to completing the following application, the ACC will require completed plans and specifications showing the nature, kind, shape, height, materials and colors proposed for the project.

1. A site plan will be needed to identify grading, landscaping, patios, accessory structures, additions or any construction within the private yard area of the residence.
2. Exterior elevations shall be required to identify any alteration to the exterior portion of the residence or accessory structures. As an example; patio coverings, fences, window treatments, additions and similar modifications.
3. All plans must be drawn to scale and provide specifications of all the materials to be used, the color of the materials, and the size of the materials. If applicable identify the structural design and connection to the residence.

NAME: _____ DATE: _____

ADDRESS _____ PHONE: _____

EMAIL: _____

Please provide a general description of work to be performed to include nature of work, shape, dimensions, materials, color, locations, and any other pertinent information. Enclose brochures, drawings, photographs or sketches as supplemental materials to the required plans on separate pages, depicting location and design of project requested for review by the ACC.

DESCRIPTION: _____

MATERIALS LIST: _____

Is a BUILDING PERMIT required? YES NO If YES, a copy of the permit will be required to be submitted to the ACC prior to commencing construction should the project be approved.

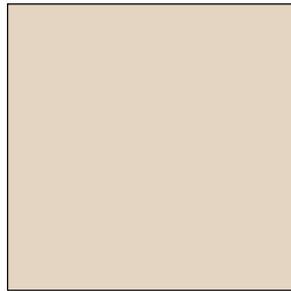
Will the existing drainage be altered? YES NO If YES describe alteration: _____

SIGNATURE OF OWNER

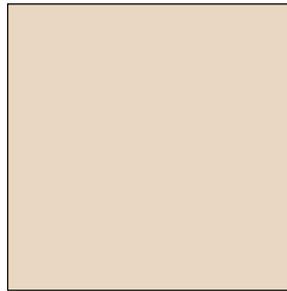
Original Colors

The original colors may still be used: Arizona White, Navajo White, White Shadow, Pearl White, Obsession, Savvy, Omega 12 & 14.

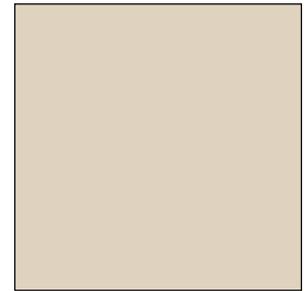
Suggested Colors - Frazee Paint



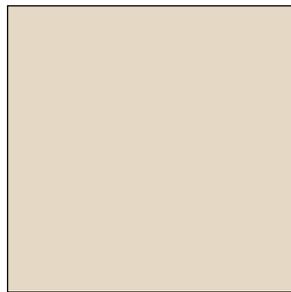
1. ULTRA SUEDE 1243W



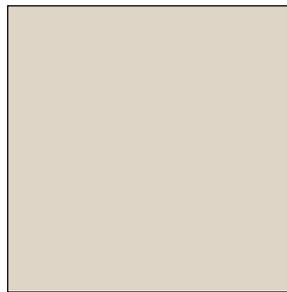
2. CELLOPHANE 1258W



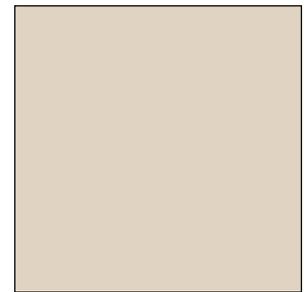
3. JONESBORO 1219W



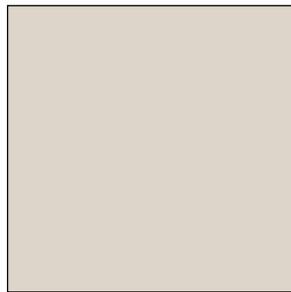
4. SNOW VALLEY 1010W



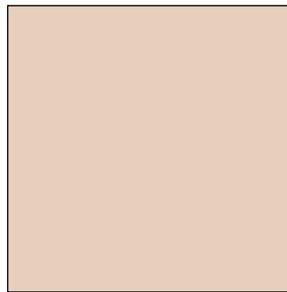
5. GULL 2861W



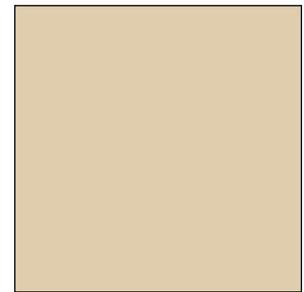
6. SARANA 1261W



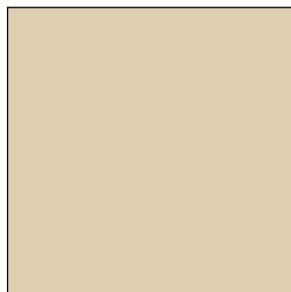
7. NATURAL 1270W



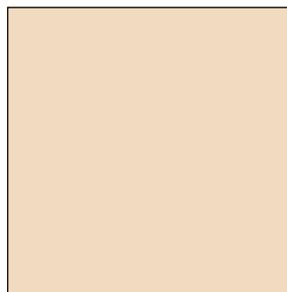
8. INTUIT 1264W



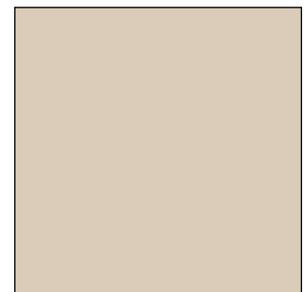
9. NEWBURY 1228W



10. SPRITE 2792W



11. YUMA 1231W



12. TRACER 1267W

Other Trim and Fence Colors

The original color may still be used: Swiss Coffee & Shell White. Flat Black shall be used for all steel fencing.

21.46.130 - Walls, fences or hedges.

In any "R" zone, no fence, wall or hedge over forty-two inches in height shall be permitted in any required front yard setback. In the required side yard or street side of either a corner lot or reversed corner lot, a six-foot high fence may be permitted when approved by the city planner when the safety and welfare of the general public are not imposed upon. The issuing of a permit upon the approval of the city planner shall be subject to special conditions which may vary due to the topography, building placement and vehicular or pedestrian traffic. On an interior lot, a wall or fence not more than six feet in height may be located anywhere to the rear of the required front yard.

(Ord. NS-675 § 42, 2003; Ord. 1256 § 14, 1982; Ord. 9291 § 1, 1972; Ord. 9180 § 1; Ord. 9060 § 1612)

(Ord. No. CS-102, § XCI, 8-24-2010; Ord. No. CS-164, § 10, 12-6-2011)