

2019 CAPITAL FUND PROJECT

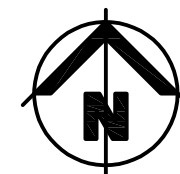
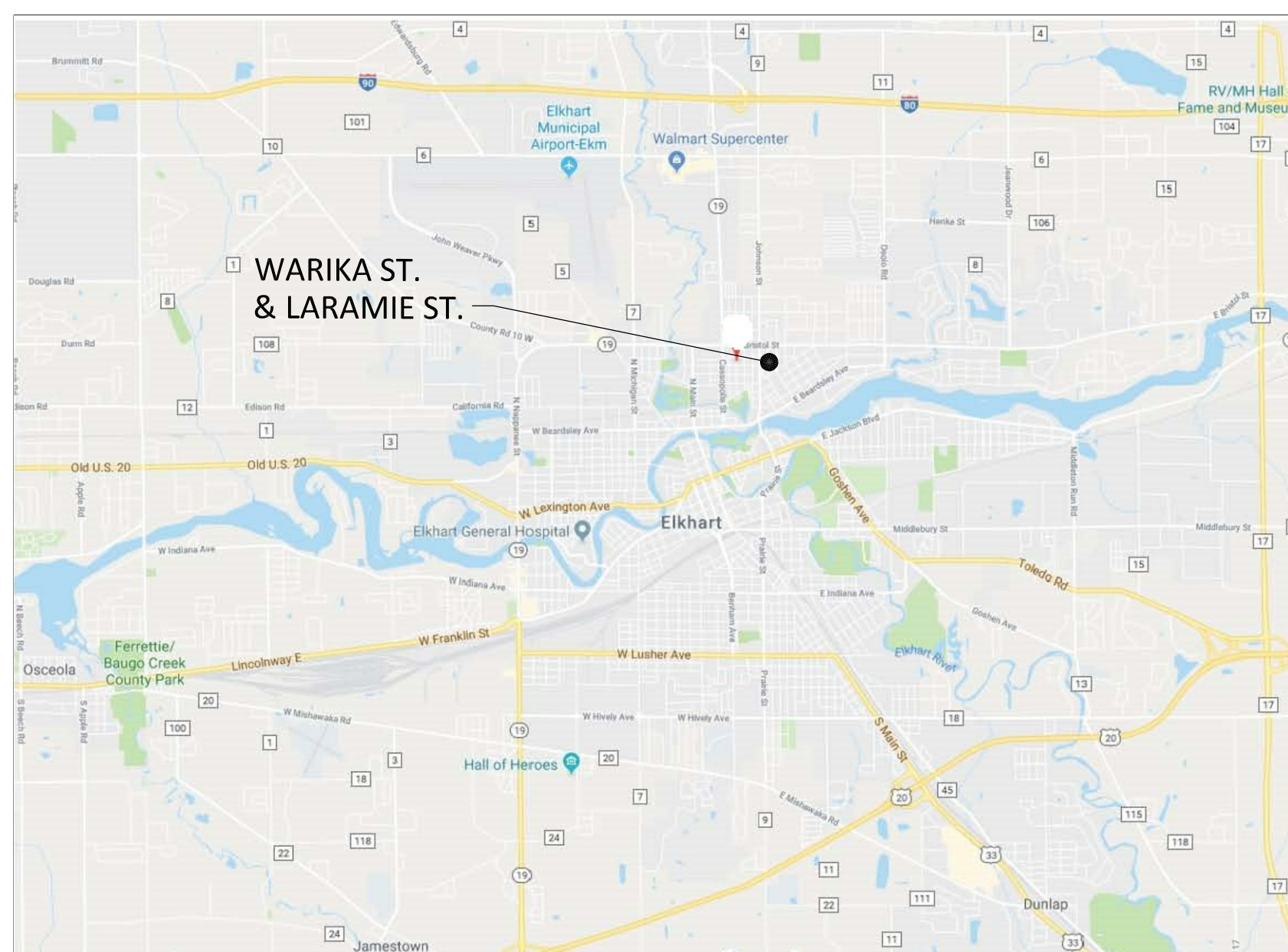
BATHROOM REMODELS FOR :

SCATTERED SITES - PHASE 4

IN0264-19-1

THE HOUSING AUTHORITY OF THE CITY OF ELKHART INDIANA
1396 Benham Avenue Elkhart, Indiana 46516

VICINITY MAP



SHEET INDEX

TITLE SHEET

C101 SITE PLAN
A101 FLOOR PLANS - TYPES "E" & "F"
A701 TYPES "E" & "F" BATHROOM PLANS
A702 FIXTURE SCHEDULE & M.E.P. GENERAL NOTES

BOARD OF COMMISSIONERS

JeNeva Ward Commissioner
Reverend LeFate Owens Commissioner
Len Paff Commissioner
Margaret Owens Commissioner
Vicki Fireline Commissioner
Tonda Hines Commissioner
Tamara Holmes Commissioner

Ms Terry Walker Executive Director

UNIT COSTS / ALTERNATES

UNIT COST NO.1:
PROVIDE UNIT COST (LABOR & MATERIAL) FOR THE COMPLETE BATHROOM REMODELING OF A TYPE "E" BUILDING.

UNIT COST NO.2:
PROVIDE UNIT COST (LABOR & MATERIAL) FOR THE COMPLETE BATHROOM REMODELING OF A TYPE "F" BUILDING.

ALTERNATE NO.1:
STATE THE DEDUCT AMOUNT (LABOR & MATERIAL) TO THE BASE BID TO DELETE THE COMPLETE BATHROOM REMODELING OF A TYPE "E" BUILDING.

ALTERNATE NO.2:
STATE THE DEDUCT AMOUNT (LABOR & MATERIAL) TO THE BASE BID TO DELETE THE COMPLETE BATHROOM REMODELING OF A TYPE "F" BUILDING

ABBREVIATIONS

A/C	AIR CONDITIONING	FD	FLOOR DRAIN	PC	PLUMBING CONTRACTOR
AC	ACOUSTIC	FE	FIRE EXTINGUISHER	PERF	PERFORATED
ADJ	ADJUSTABLE	FEC	FIRE EXTINGUISHER CABINET	R	PLATE
AFF	ABOVE FINISHED FLOOR	FHC	FIRE HOSE CABINET	PLAS	PLASTIC
AL	ALUMINUM	FIN	FLASHING	PLBG	PLUMBING
AP	ACCESS PANEL	FL	FLOOR	PREFAB	PREFABRICATED
Z	ANGLE	FLR	FLOOR	PSF	POUNDS PER SQUARE FOOT
APPX	APPROXIMATE	FLUOR	FLUORESCENT	PSI	POUNDS PER SQUARE INCH
ARCH	ARCHITECTURAL	FNDN	FOUNDATION	PT	PAINT
ASPH	ASPHALT	FRP	FIBERGLASS REINF. PANEL	QT	QUARRY TILE
		FT	FOOT (FEET)		
		FTG	FOOTING		
B MK	BENCH MARK	GA	GAUGE	RA	RETURN AIR
BD	BOARD	GALV	GALVANIZED	RD	ROOF DRAIN
BIT	BITUMINOUS	GC	GENERAL CONTRACTOR	RE	REFER TO
BLDG	BUILDING	GL	GLASS	REINF	REINFORCING (REINFORCED)
BLK	BLOCK	GPM	GALLONS PER HOUR	Ø	ROUND
BLKG	BLOCKING	GPH	GALLONS PER MINUTE		
BM	BEAM	GYP BD	GYPSUM BOARD	S TO S	STUD TO STUD
BRG	BEARING			SAT	SUSPENDED ACOUSTICAL TILE
BTM	BOTTOM			SC	STAINED CONCRETE
		HB	HOSE BIBB	SCHED	SCHEDULE
CAB	CABINET	HC	HOLLOW CORE	SCW	SOLID CORE WOOD
CB	CONCRETE BLOCK	HDCP	HANDICAP	SECT	SECTION
CC	CENTER TO CENTER	HDWR	HARDWARE	SF	SQUARE FOOT
CF	CUBIC FEET	HM	HOLLOW METAL	SGL	SINGLE
CFM	CUBIC FEET PER MINUTE	HORZ	HORIZONTAL	SGT	STRUCTURAL GLAZED TILE
CHB	CHALK BOARD	HR	HOUR	SHT	SHEET
CI	CAST IRON	HT	HEIGHT	SI	SQUARE INCH
CJ	CONTROL JOINT	HTR	HEATER	SIM	SIMILAR
C	CENTER LINE	HW	HOT WATER	SJ	STEEL JOIST
CLG	CEILING	ID	INSIDE DIAMETER	SPEC	SPECIFICATIONS
CM	CONSTRUCTION MANAGER	INSUL	INSULATION (INSULATED)	SS	STAINLESS STEEL
CMU	CONCRETE MASONRY UNIT	INT	INTERIOR	STL	STEEL
CO	CLEAN OUT	ISO JT	ISOLATION JOINT	STOR	STORAGE
COL	COLUMN			SUSP	SUSPENDED
CONC	CONCRETE			SV	STAINED AND VARNISHED
CONT	CONTINUOUS				
CONTR	CONTRACTOR	JT	JOINT	T	TREAD
CPT	CARPET	LAV	LAVATORY	T&G	TONGUE & GROOVE
CT	CERAMIC TILE			TB	TACK BOARD
CTR	CENTER	MATL	MATERIAL	TEL	TELEPHONE
CW	COLD WATER	MAX	MAXIMUM	TERR	TERRAZZO
CY	CUBIC YARD	MC	MECHANICAL CONTRACTOR	THK	THICK
		MECH	MECHANICAL	TLT	TOILET
DBL	DOUBLE	MFR	MANUFACTURER	TOB	TOP OF BEARING
DF	DRINKING FOUNTAIN	MIN	MINIMUM	TYP	TYPICAL
DIA	DIAMETER	MISC	MISCELLANEOUS	V	VINYL
DIM	DIMENSION	MNTG HT	MOUNTING HEIGHT	VAN	VANITY
DN	DOWN	MO	MASONRY OPENING	VCT	VINYL COMPOSITION TILE
DR	DOOR	MSRY	MASONRY	VERT	VERTICAL
DS	DOWN SPOUT	MT	MOSAIC TILE	VEST	VESTIBULE
DTL	DETAIL	MTD	MOUNTED	VF	VINYL FABRIC
DW	DRYWALL	MTL	METAL	VT	VINYL TILE
DWG	DRAWING	NIC	NOT IN CONTRACT	VTR	VENT THRU ROOF
		NO	NUMBER	VWC	VINYL WALL COVERING
EA	EACH			WC	WATER CLOSET
EC	ELECTRICAL CONTRACTOR	OAI	OUTSIDE AIR INTAKE	WD	WOOD
EL	ELEVATION	OC	ON CENTER	WIDW	WINDOW
ELEC	ELECTRIC (ELECTRICAL)	OD	OUTSIDE DIAMETER	WH	WATER HEATER
EP	EPOXY PAINT	OPNG	OPENING	WP	WEATHER PROOF
EPNL	ELECTRICAL PANEL				
ER	EMERGENCY				
EWC	ELECTRIC WATER COOLER				
EXST	EXISTING				
EXT	EXTERIOR				

GOVERNING CODES

INDIANA BUILDING CODE 2014 2012 IBC
INDIANA PLUMBING CODE 2012 2006 IPC
INDIANA MECHANICAL CODE 2014 2012 IMC
INDIANA ELECTRICAL CODE 2009 2008 NFPA 70
INDIANA FIRE CODE 2014 INDIANA ENERGY 2012 IFC
CONSERVATION CODE 2010 ASHRAE 90.1 2007

WITH ALL LOCAL AND STATE AMENDMENTS

ISSUED FOR: CONSTRUCTION DOCUMENTS
DATE: JULY 19, 2019

FORUM ARCHITECTS, LLC

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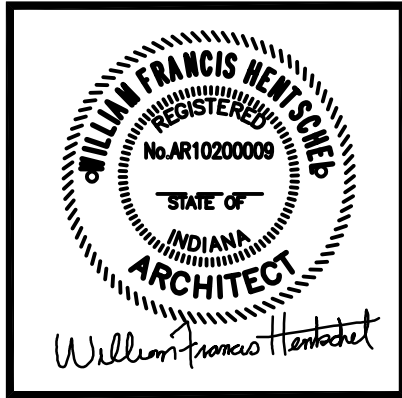


SET NUMBER



SEAL / SIGN

DATE:	JULY 19, 2019
FILE:	98-114 A101.DWG
DRAWN BY:	JG
CHECKED BY:	WFH
REVISIONS:	



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BATHROOM REMODELS FOR:
ELKHART HOUSING AUTHORITY

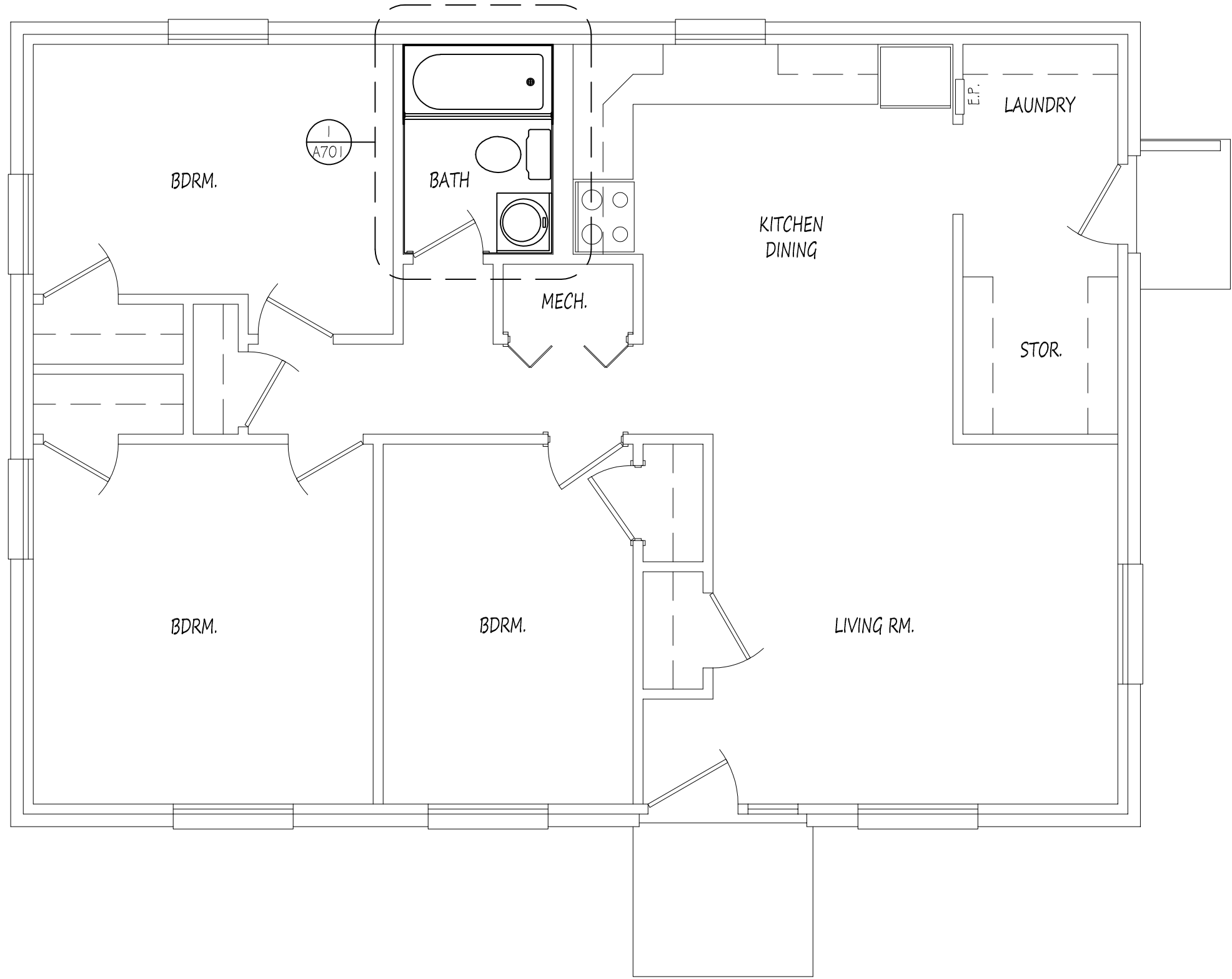
SCATTERED SITES - PHASE 4

INDIANA

ELKHART

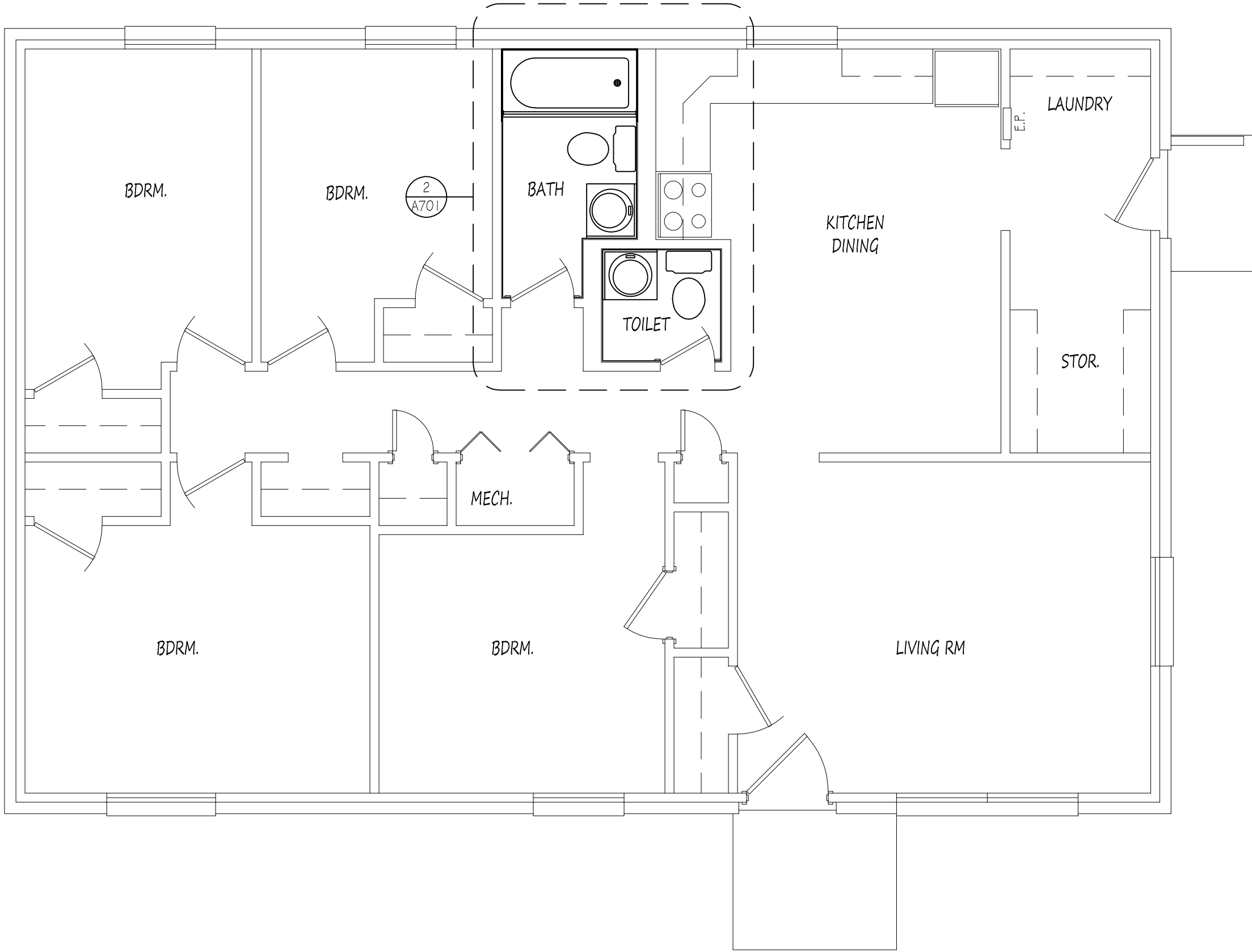
FLOOR PLANS
DWELLING TYPES "E" & "F"

A101



DWELLING TYPE "E"

SCALE: 1/4"=1'-0"
(EIGHT (8) BUILDINGS TOTAL FOR BASE BID)



DWELLING TYPE "F"

SCALE: 1/4"=1'-0"
(EIGHT (8) BUILDINGS TOTAL FOR BASE BID)

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GENERAL NOTES - DEMOLITION

1. REPAIR, PATCH AND/OR REPLACE EXISTING FLOOR, WALL AND / OR CEILING FINISHES ADJACENT OR CONTIGUOUS TO RENOVATION WORK FOR CONSISTENT FINISH ACCEPTABLE TO THE ARCHITECT.
2. ALL REUSABLE ITEMS INDICATED TO BE REMOVED (SUCH AS DOORS, CABINETS, LIGHT FIXTURES, ETC.) SHALL BE TURNED OVER TO THE OWNER UNLESS NOTED OTHERWISE. ALL OTHER MATERIAL (DEBRIS) SHALL BE REMOVED FROM SITE AND DISPOSED OF THROUGH PROPER MEANS. COORDINATE WITH OWNER ITEMS TO BE SALVAGED AND DELIVER TO STORAGE PER OWNER DIRECTION.
3. CONTRACTOR TO MAINTAIN A DAILY CLEANING PROCESS AND TO KEEP DUST AND DIRT TO A MINIMUM. USE TEMPORARY ENCLOSURES TO PREVENT DUST AND DIRT MIGRATION INTO OTHER AREAS.
4. OWNER SHALL OCCUPY PORTIONS OF THE BUILDING IMMEDIATELY ADJACENT TO AREAS OF SELECTIVE DEMOLITION. CONDUCT SELECTIVE DEMOLITION WORK IN A MANNER WHICH WILL MINIMIZE THE NEED FOR DISRUPTION OF OWNERS NORMAL OPERATION.
5. PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION TO PROTECT THE OWNERS PERSONNEL AND GENERAL PUBLIC FROM INJURY DUE TO SELECTIVE DEMOLITION WORK.
6. WHEN OPENINGS ARE CUT INTO EXISTING MASONRY WALL, THE OPENINGS SHALL BE A MINIMUM OF 1'-4" LONGER THAN THE FINISHED OPENING REQUIRED TO ALLOW FOR 8" (MIN.) OF NEW MASONRY TOOTHED INTO EXISTING MASONRY.
7. EXPECT TO FIND ELECTRICAL, MECHANICAL AND OTHER SUCH ITEMS WITHIN THE DEMOLITION AREA. RELOCATE THESE ITEMS AS REQUIRED TO KEEP SUCH SYSTEMS IN OPERATION. RELOCATED ITEMS SHOULD BE CONCEALED. SEE MECHANICAL/ELECTRICAL PLANS FOR ADDITIONAL NOTES RELATING TO DEMOLITION OF MECHANICAL/ELECTRICAL ITEMS.
8. REMOVAL OF HAZARDOUS MATERIAL BY OWNER. CONTRACTOR TO COORDINATE DEMOLITION WITH OWNERS REMOVAL OF HAZARDOUS MATERIAL. (VERIFY TYPE AND LOCATION OF HAZARDOUS MATERIALS WITH OWNER PRIOR TO STARTING DEMOLITION.)

GENERAL NOTES - NEW CONSTRUCTION

1. THE SUBMISSION OF A PROPOSAL WILL BE CONSIDERED AS EVIDENCE THAT THE CONTRACTOR HAS FAMILIARIZED HIMSELF WITH THE PLANS, BUILDING SITE, AND EXISTING CONDITIONS. CLAIMS MADE SUBSEQUENT TO THE PROPOSAL FOR MATERIALS AND / OR LABOR, BECAUSE OF DIFFICULTIES ENCOUNTERED AFTER THE COMMENCEMENT OF WORK, WILL NOT BE RECOGNIZED IF THEY COULD HAVE BEEN FORESEEN HAD PROPER EXAMINATION BEEN MADE.
2. DETAILS AND SCHEDULES ARE TO BE FOUND IN SUBSEQUENT CONSTRUCTION DOCUMENTS.
3. DIMENSIONS SHOWN ON PLANS ARE FROM FACE OF STUD TO FACE OF STUD AND FACE OF MASONRY WALL TO FACE OF STUD UNLESS NOTED OTHERWISE.
4. ORIGINAL DRAWINGS AND / OR ON SITE MEASUREMENTS WERE USED AS A REFERENCE FOR RENOVATION. DRAWINGS, DETAILS AND DIMENSIONS. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES AND SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO RENOVATION WORK.
5. PROVIDE NECESSARY BLOCKING AS REQUIRED FOR PROPER INSTALLATION OF TOILET ROOM ACCESSORIES, COUNTERTOPS, ETC. BLOCKING SHALL BE OF NON-COMBUSTIBLE MATERIAL TO MAINTAIN CONSISTENT ASSEMBLY RATING WHERE REQUIRED.
6. REPAIR AND / OR REPLACE ANY EXISTING MATERIALS OR SURFACES TO REMAIN THAT BECOME DAMAGED DUE TO CONSTRUCTION OPERATIONS.
7. WHEN DIFFERENT FLOOR FINISHES (MATERIALS) MEET AT DOOR OPENING, EACH FINISH SHALL TERMINATE AT THE CENTERLINE UNDER THE DOOR UNLESS NOTED OTHERWISE.
8. THE EXTERIOR ENVELOPE OF THE BUILDING SHALL BE SEALED CONTINUOUS FROM WATER INTRUSION. ALL PENETRATIONS OR OPENINGS SHALL BE SEALED FROM MOISTURE AND AIR INFILTRATION.
9. PATCH AND / OR REPAIR EXISTING PENETRATION IN RATED WALLS AS REQUIRED AT ALL LOCATIONS IN ORDER TO MAINTAIN RATED WALL ASSEMBLIES.

KEYNOTES - DEMOLITION

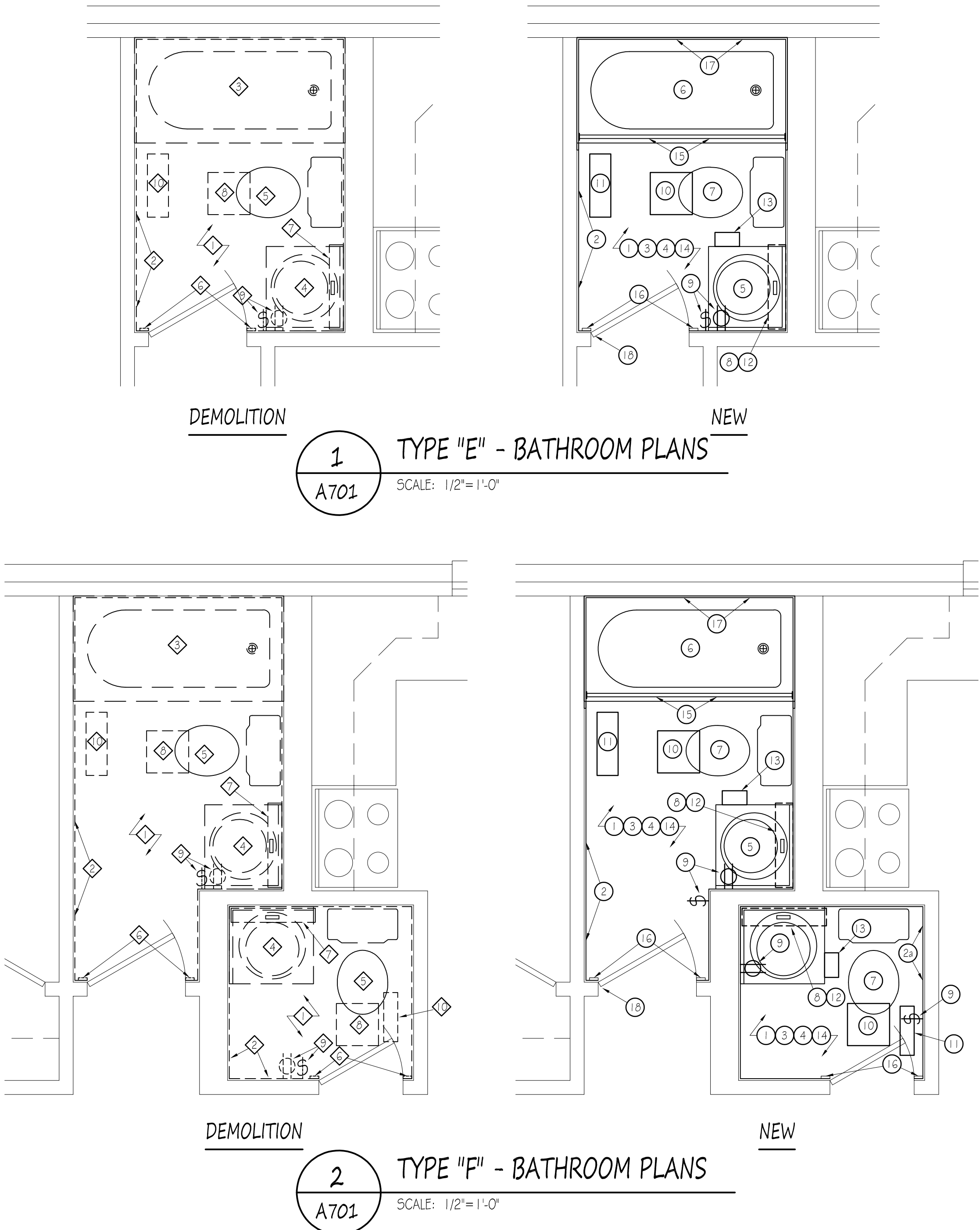
- REMOVE BOTH LAYERS (TWO) OF EXIST. V.C.T. FLOORING & ADHESIVE, PATCH & REPAIR SUBFLOOR AS NECESSARY
- REMOVE EXIST. GYPSUM BOARD / CORIAN WALL PROTECTION PANELS, WOOD AND / OR VINYL WALL BASE /, FASTENERS & ADHESIVE FROM ALL WALLS FROM FLOOR TO CEILING
- REMOVE EXIST. TUB, ASSOCIATED SHOWER FITTINGS, DRAIN TRAP & SURROUND
- REMOVE EXIST. VANITY LAVATORY, FAUCET FITTING AND ASSOCIATED STOP VALVES AND P-TRAP. ALSO, REMOVE EXIST. WOOD VANITY BASE CABINETS.
- REMOVE EXIST. WATER CLOSET AND ASSOCIATED SUPPLY TUBING AND STOP VALVE. CLEAN AND INSPECT FLOOR AREA AND FLANGE. REMOVE ALL DEBRIS LEFT BY WAX RING ON FLOOR AND FLANGE. IF EXIST. FLANGE IS DAMAGED, PROVIDE DOCUMENTATION TO OWNER FOR APPROVAL TO REPLACE FLOOR FLANGE.
- REMOVE EXIST. WOOD DOOR TRIM.
- DISCONNECT & REMOVE EXIST. COMBINATION MEDICINE CABINET AND LIGHT FIXTURE, EXIST. WIRING TO REMAIN
- DISCONNECT & REMOVE EXIST. CEILING MOUNTED EXHAUST FAN, EXIST. WIRING TO REMAIN
- DISCONNECT & REMOVE EXIST. COMBINATION RECEPTACLE AND SWITCHES
- REMOVE EXIST. FLOOR DIFFUSER GRILLE

KEYNOTES - NEW CONSTRUCTION

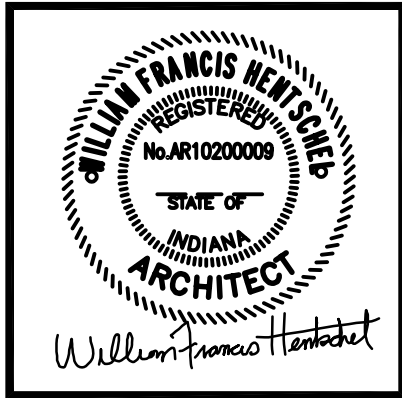
1. INSTALL NEW V.C.T. FLOORING, ARMSTRONG STANDARD EXCELOX, IMPERIAL TEXTURE # 51839 "FORTRESS WHITE", PROVIDE VINYL TRANSITION STRIP BETWEEN NEW AND EXISTING V.C.T. FLOORING
2. INSTALL NEW 1/2" MOISTURE RESISTANT GYPSUM BOARD ON ALL WALLS EXCEPT BEHIND NEW BATH TUB & NEW TUB SURROUND OR SHOWER BASE AND SHOWER SURROUND, PAINT (PRIMER & TWO (2) FINISH COATS) WITH OLEARY PAINT, "PEBBLE BEACH" 7900 LATEX SEMI-GLOSS *(SEE NOTE 17 FOR ADDITIONAL GYPSUM BOARD INSTALLATION REQUIREMENTS)*
3. INSTALL NEW 1/4" MOISTURE RESISTANT GYPSUM BOARD OVER EXISTING GYPSUM BOARD CEILINGS, PAINT (PRIMER & TWO (2) FINISH COATS) WITH OLEARY PAINT, "PEBBLE BEACH" 7900 LATEX SEMI-GLOSS
4. INSTALL NEW PVC COMPOSITE RANCH BASEBOARD TRIM BY ROYAL MOULDINGS OR APPROVED EQUAL BY OWNER / ARCHITECT. PAINTED TO MATCH WALL COLOR.
5. INSTALL NEW VANITY & LAV. INSTALL NEW 25"x22" DESIGN HOUSE # 557629 CULTURED MARBLE COUNTERTOP WITH AN INTEGRAL LAVATORY BOWL AND INTEGRAL BACKSPLASH, FOR CORNER LAV-VANITY UNITS, ALSO PROVIDE & FIELD INSTALL A MATCHING INTEGRAL SIDE-SPLASH. FOR VANITY BASE PROVIDE SMART CABINETS "FREEMOT" # 456248 WITH FLINWOOD CONSTRUCTION. VERIFY VANITY SIZES BEFORE STARTING CONSTRUCTION AND ORDERING MATERIALS. IF SIZES VARY, PROVIDE COMPARABLE UNITS THAT FIT VANITY. COLOR TO BE SELECTED BY OWNER / ARCHITECT
 1. PROVIDE COMPLETE WITH A NEW DELTA # 520LF-HDF FAUCET COMPLETE WITH POP-UP DRAIN, COPPER SUPPLY TUBES AND 1.2 GPM AERATOR. PROVIDE CHROME-PLATED BRASS STOP VALVES, NEW PVC P-TRAP AND NEW WALL ESCUTCHEONS.
6. INSTALL NEW TUB AND SURROUND INSTALL NEW FIBERGLASS TUB AND SURROUND KOHLER STERLING ACCORD # 71240120 FOR RIGHT-HAND CONFIGURATION AND KOHLER STERLING ACCORD # 71240110 FOR LEFT-HAND CONFIGURATION THIS IS A CAULKLESS SURROUND ASSEMBLY. COLOR TO BE SELECTED BY OWNER / ARCHITECT

- NOTE THAT ABOVE MODELS ASSUME AN "IN-FLOOR" WASTE ROUGH-IN AND A 30x60" FLOOR SPACE. IF ABOVE-FLOOR WASTE ROUGH-IN IS ENCOUNTERED, OR AVAILABLE FLOOR SPACE VARIES, PROVIDE COMPARABLE STYLE STERLING TUBE & SURROUND. ANY SPECIAL TUBE REQUIREMENTS SHOULD BE CONFIRMED PRIOR TO STARTING CONSTRUCTION AND ORDERING TUBS. INSTALL PER MANUFACTURER'S RECOMMENDATIONS INCLUDING ANY FLOOR FELTS, FLOOR LEVELING, SHIMS, APRON BRACING, ETC.
 - FOR A STANDARD TUB, PROVIDE A DELTA # T13491 HEAVY DUTY COMBINATION TUB / SHOWER FITTING. FITTING SHALL BE PRESSURE-BALANCING TYPE COMPLETE WITH STOP VALVES, TUB SPOUT, DIVERTER AND SHOWER HEAD, 2 GPM MAXIMUM FLOW RATE, PROVIDE NEW PVC P-TRAP AND WASTE FITTINGS, WITH A DAINCO # 51930 COMBINATION POP-UP DRAIN AND OVERFLOW KIT.
7. MEASURE WASTE ROUGH-IN DIMENSION AND PROVIDE NEW WATER CLOSET WITH NEW REINFORCED WAX RING AND PROVIDE COMPLETE WITH NEW STOP VALVE, WALL ESCUTCHEON AND BRAIDED FLEXIBLE HOSE TYPE WATER CLOSET CONNECTOR. COORDINATE EXACT SIZE AND LENGTH WITH WATER CLOSET PROVIDED. CONTRACTOR TO VERIFY FLEXIBLE CONNECTOR LENGTHS TO MAKE SURE THAT NEW FLEXIBLE CONNECTORS ARE APPROPRIATE LENGTH. FOR A 10" ROUGH-IN PROVIDE AN AMERICAN STANDARD EDGEMERE RIGHT HEIGHT ROUND FRONT HET 10" ROUGH-COMplete TOILET, MODEL: 765B8, 10". FOR 12" ROUGH-IN PROVIDE AN AMERICAN STANDARD MAINSTREAM FLOWISE RIGHT HEIGHT ROUND FRONT COMPLETE TOILET, MODEL: 3472.128 ADJUST FLUSH MECHANISMS AFTER INSTALLATION.
 8. INSTALL NEW LIGHT FIXTURE LITHONIA MODEL # 142.1 BL E21 LP830 IN EXISTING LOCATION ABOVE NEW MEDICINE CABINET AND CONNECTED TO EXISTING LIGHTING CIRCUIT WIRING AND CONTROL. FIELD VERIFY HEIGHT OF NEW FIXTURE AND COORDINATE WITH NEW MEDICINE CABINET.
 9. DISCONNECT AND REMOVE EXISTING SWITCHES AND RECEPTACLES AND ASSOCIATED J-BOX. EXISTING WIRING TO REMAIN TO REFEED NEW LIGHTS, EXHAUST FAN, AND SWITCH. PROVIDE NEW SINGLE GANG J-BOX TO REPLACE IN EXISTING LOCATION. REROUTE / RECONNECT EXISTING WIRING / CONDUIT FOR LIGHTING / EXHAUST FAN CIRCUIT THROUGH NEW J-BOX. PROVIDE NEW 15A1P SWITCH (HUBBELL COMMERCIAL GRADE CS115 SERIES) AND COVER PLATE AND CONNECT NEW LIGHTS AND EXHAUST FAN. PROVIDE NEW 20 AMP GFCI RECEPTACLE (HUBBELL COMMERCIAL STANDARD GRADE #GFST20 SERIES) WITH SELF-DIAGNOSTICS AND STATUS INDICATOR LIGHT, IN NEW SEPARATE OUTLET BOX LOCATED APPROXIMATELY 6" FROM SWITCH BOX. PROVIDE NEW WIRING AND DEDICATED SINGLE POLE 20 AMP CIRCUIT BREAKER IN EXISTING PANELBOARD TO FEED NEW RECEPTACLE. REWORK EXISTING LIGHTING CIRCUIT AS REQUIRED TO FEED NEW LIGHTS, EXHAUST FAN, AND SWITCH. WHEN COMPLETED, EACH RESTROOM WILL HAVE A LIGHTING AND EXHAUST FAN CIRCUIT CONTROLLED FROM A SINGLE SWITCH AND DEDICATED CIRCUIT FOR THE NEW GFCI RECEPTACLE. ALL NEW WIRING TO BE CONCEALED (NO SURFACE RACEWAY). COORDINATE COLORS WITH OWNER. COORDINATE WITH EXISTING FIELD CONDITIONS AS REQUIRED AND INCLUDE ALL COSTS. SEE SHEET A101 FOR LOCATIONS OF EXISTING ELECTRICAL PANELS
 10. INSTALL NEW EXHAUST FAN AT EXISTING LOCATION. CONNECT NEW EXHAUST FAN TO EXISTING DUCTWORK. NEW EXHAUST FAN TO BE A BROAD MODEL # 771, 120 VOLT, 70 CFM, 4.0 SONES.
 11. INSTALL NEW DIFFUSER BY HART AND COOLEY MODEL # 421. CONTRACTOR TO FIELD VERIFY SIZE OF DIFFUSER. COLOR TO BE SELECTED BY ARCHITECT.
 12. INSTALL NEW RECESSED MOUNTED MEDICINE CABINET W/ MIRROR MODEL # 105 MV BY "PROJECT SOURCE"
 13. INSTALL NEW SURFACE MOUNTED TOILET TISSUE HOLDER # 5161 BY GAMCO OR APPROVED EQUAL.
 14. INSTALL TWO (2) SURFACE MOUNTED TOWEL BARS # 5151 BY GAMCO OR APPROVED EQUAL BY OWNER / ARCHITECT. VERIFY LOCATION IN FIELD WITH OWNER.
 15. INSTALL NEW SURFACE MOUNTED SHOWER CURTAIN ROD #SG100E BY "GAMCO" OR APPROVED EQUAL BY OWNER / ARCHITECT
 16. INSTALL NEW PVC COMPOSITE RANCH CASING BY "ROYAL MOULDINGS" OR APPROVED EQUAL BY OWNER / ARCHITECT, PAINTED TO MATCH WALL COLOR.
 17. INSTALL NEW GYPSUM BOARD UP TO BUT NOT OVER FLANGES OF TUB / SHOWER PANELS OR SHOWER PANELS, INSTALL NEW PVC COMPOSITE 1x1 TRIM OVER TUB AND SHOWER PANEL FLANGES WITH SCREW & WASHER COMBINATION, CAULK SEAM BETWEEN PVC TRIM AND GYPSUM BOARD AND TUB / SHOWER PANEL.
 18. INSTALL HINGE DOOR BUMPER #BLG212 BY "HAGGER" OR APPROVED EQUAL BY OWNER / ARCHITECT

NOTE:
SEE SHEET A702 FOR
MECHANICAL, PLUMBING, AND
ELECTRICAL GENERAL NOTES



DATE:	JULY 19, 2019
FILE:	19-114 A701 A702
DRAWN BY:	JG
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BATHROOM REMODELS FOR:
ELKHART HOUSING AUTHORITY
SCATTERED SITES - PHASE 4

TYPES "E" & "F"
BATHROOM PLANS

A701



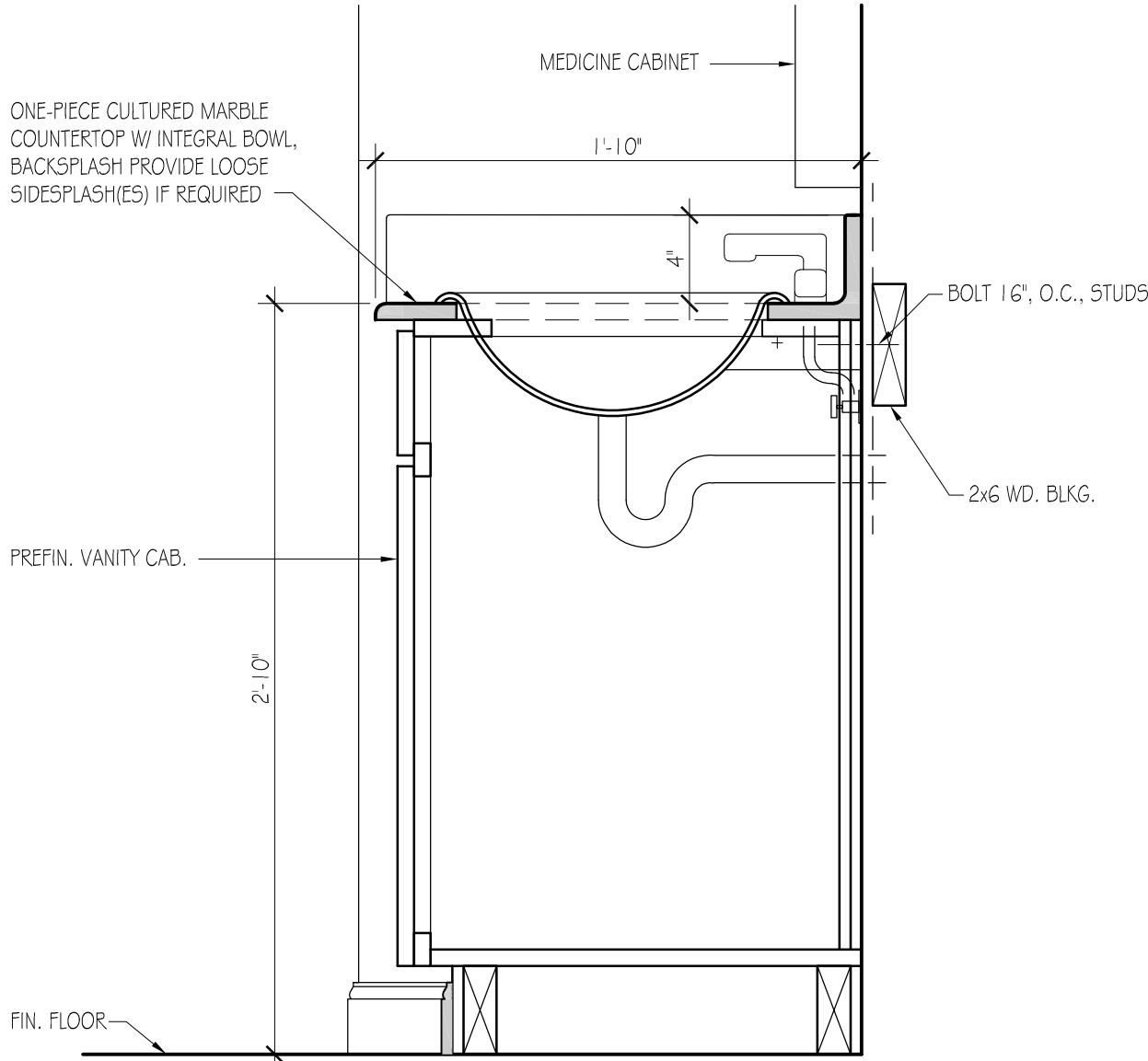
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ELECTRICAL - GENERAL NOTES

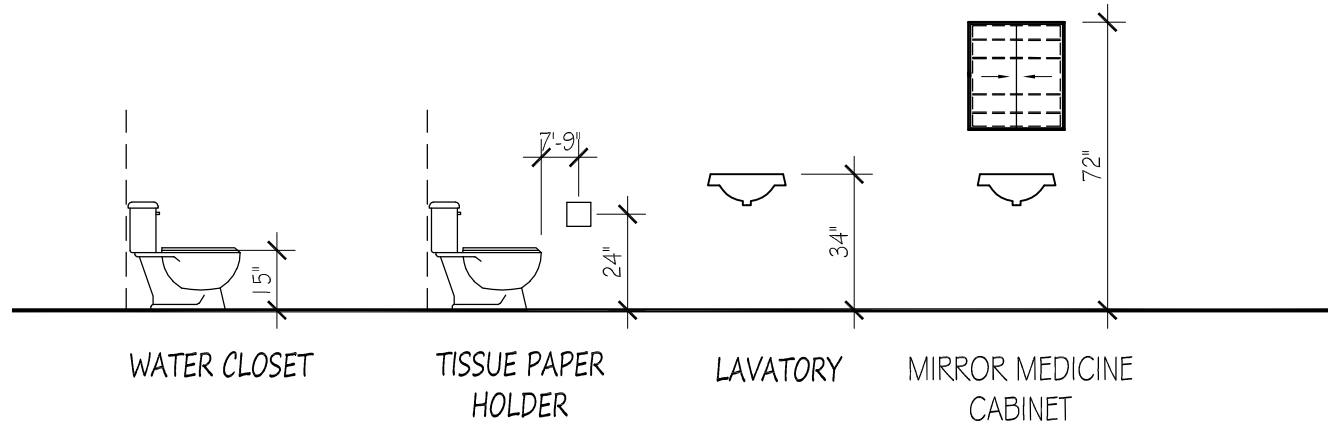
- THE SUBMISSION OF A PROPOSAL WILL BE CONSIDERED AS EVIDENCE THAT THE CONTRACTOR HAS FAMILIARIZED HIMSELF WITH THE PLANS AND BUILDING SITE. CLAIMS MADE SUBSEQUENT TO THE PROPOSAL FOR MATERIALS AND LABOR BECAUSE OF DIFFICULTIES ENCOUNTERED WILL NOT BE RECOGNIZED IF THEY COULD HAVE BEEN FORESEEN HAD PROPER EXAMINATION BEEN MADE.
- ALL WORK SHALL BE IN ACCORDANCE WITH NATIONAL, STATE, AND LOCAL CODES IN FORCE AT THE TIME OF BIDDING, INCLUDING, BUT NOT LIMITED TO, THE INDIANA CONSTRUCTION RULES AND NATIONAL ELECTRICAL CODE.
- DRAWINGS ARE DIAGRAMMATIC AND GENERALLY INDICATIVE OF WORK REQUIRED. POWER OUTLETS HAVE BEEN LOCATED BASED ON PRELIMINARY CASE WORK AND COUNTER DIMENSIONS. THIS CONTRACTOR SHALL VERIFY IN FIELD ACTUAL CASE WORK AND COUNTER DIMENSIONS AND LOCATIONS AND COORDINATE ELECTRICAL EQUIPMENT LOCATIONS WITH ACTUAL CASE WORK PROVIDED PRIOR TO INSTALLATION OF ROUGH-INS. WHERE REQUIRED, ELECTRICAL ITEM LOCATIONS, MOUNTING HEIGHTS, ETC. SHALL BE REVISED AS REQUIRED TO ACCOMMODATE ADJACENT CASE WORK, COUNTERS AND OTHER EQUIPMENT AT NO ADDITIONAL COST TO THE OWNER.
- ALL DEVICES, EQUIPMENT, FIXTURES, ETC., MUST BE GROUNDED BY USE OF A PROPERLY SIZED GROUNDING CONDUCTOR. MECHANICAL/ELECTRICAL BONDS OF THE METALLIC RACEWAY SYSTEM SHALL ALSO BE MAINTAINED.
- COORDINATE ALL DEVICE ELEVATIONS WITH ARCHITECT.
- WHERE WALLS TO REMAIN ARE DAMAGED BY THE REMOVAL OF ANY ELECTRICAL EQUIPMENT, THIS CONTRACTOR SHALL PATCH AS REQUIRED TO MATCH ADJACENT SURFACES.
- THE OWNER RETAINS FIRST SALVAGE RIGHTS TO ALL EQUIPMENT. ITEMS THAT THE OWNER WISHES TO RETAIN SHALL BE DELIVERED TO THE OWNERS STORAGE AREA. ALL OTHER MATERIALS SHALL BE REMOVED FROM THE SITE IMMEDIATELY.
- COORDINATE SCHEDULE OF DEMOLITION WORK WITH THE OTHER TRADES. COORDINATE SHUTDOWN OF MAIN SERVICES WITH OWNER (I.E. POWER, TELEPHONE, ETC.).
- IF EXISTING CIRCUITS TO REMAIN ARE DISRUPTED DURING DEMOLITION OR CONSTRUCTION REPAIR AND REROUTE AS REQUIRED.
- ELECTRICAL CONTRACTOR SHALL PROVIDE ALL CUTTING/PATCHING OF EXISTING WALLS, AS REQUIRED FOR NEW AND/OR DEMOLITION WORK.

MECHANICAL & PLUMBING - GENERAL NOTES

- THE SUBMISSION OF A PROPOSAL WILL BE CONSIDERED AS EVIDENCE THAT THE CONTRACTOR FAMILIARIZED HIMSELF WITH THE PLANS AND BUILDING SITE. CLAIMS MADE SUBSEQUENT TO FOR MATERIALS AND LABOR BECAUSE OF DIFFICULTIES ENCOUNTERED WILL NOT BE RECOGNIZED IF THEY COULD HAVE BEEN FORESEEN HAD PROPER EXAMINATION BEEN MADE.
- THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR PROTECTION OF ALL EXISTING UTILITIES! CONSTRUCTION. ALL COSTS FOR LOCATING, REMOVING, REPLACING OR RELOCATING THESE UTILITIES SHALL BE INCIDENTAL TO CONSTRUCTION. ALL UTILITIES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED WITH LIKE MATERIAL AT NO ADDITIONAL COST TO THE OWNER.
- DRAWINGS ARE DIAGRAMMATIC AND GENERALLY INDICATIVE OF THE WORK. PIPING AND SYSTEMS SHALL FOLLOW ARRANGEMENT AS MUCH AS POSSIBLE, HOWEVER, ACTUAL FIELD CONDITIONS SHALL PROVIDE NECESSARY MODIFICATIONS TO MEET FIELD CONDITIONS AND AVOID CONFLICT WITH OTHER TRADES. IF RESOLUTION CANNOT BE REACHED WITHOUT COMPROMISING THE DESIGN, THESE RESOLUTIONS SHALL BE PRESENTED TO THE ENGINEER/ARCHITECT FOR RESOLUTION. IN CONFLICT AREAS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE CONFLICT PRIOR TO RESOLUTION.
- THE FLOOR PLANS DO NOT SHOW ALL VALVES, FITTINGS, APPURTENANCES, DUCT TRANSITION PANELS, ELEVATION CHANGES, AND VARIOUS OTHER ITEMS CALLED FOR BY DETAILS AND SPECIFICATIONS. REFER TO DETAILS AND SPECIFICATIONS AND WHERE REQUIRED, THESE ITEMS SHALL BE PROVIDED AT NO ADDITIONAL COST FOR A COMPLETE AND OPERATING SYSTEM.
- CONNECTIONS TO EQUIPMENT SHALL CONFORM TO MANUFACTURER'S SPECIFICATIONS. MAINTAIN EQUIPMENT MANUFACTURER'S CLEARANCE REQUIREMENTS.
- ALL WORK AND MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE ORDINANCES AND REGULATIONS HAVING JURISDICTION. CONTRACTOR SHALL OBTAIN AND PAY FOR ALL APPROVED ADDITIONAL SERVICE FEES REQUIRED BY REGULATORY AGENCIES AND SERVICE COMPANIES.
- CEILING MOUNTED EXHAUST FANS SHALL INCLUDE A 12" SECTION OF DUCTWORK EXTENDING TO THE EXTERIOR MATCHING THE SIZE OF THE FAN DISCHARGE OUTLET TO ALLOW FOR THE FANS BUILT-IN BACK TO OPERATE FREELY.
- ALL PLUMBING AND MECHANICAL WORK SHALL BE INSTALLED IN ACCORDANCE WITH ALL APPLICABLE ORDINANCES AND REGULATIONS HAVING JURISDICTION. CONTRACTOR SHALL OBTAIN ALL APPROVED ADDITIONAL SERVICE FEES REQUIRED BY REGULATORY AGENCIES AND SERVICE COMPANIES.
- THE CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR PROTECTION OF ALL EXISTING BUILDING COMPONENTS DURING DEMOLITION/CONSTRUCTION. ALL COSTS FOR LOCATING, REMOVING, RELOCATING SHALL BE INCIDENTAL TO DEMOLITION/CONSTRUCTION. ALL DAMAGES WHICH OCCUR DURING DEMOLITION/CONSTRUCTION SHALL BE REPAIRED WITH LIKE MATERIAL AT NO ADDITIONAL COST TO THE OWNER.
- COORDINATE SCHEDULE OF DEMOLITION WORK WITH OTHER TRADES. COORDINATE SHUTDOWN OF MAIN SERVICES WITH OWNER. PROVIDE 48 HOUR NOTICE TO OWNER PRIOR TO SHUTDOWN.
- MECHANICAL CONTRACTOR SHALL PROVIDE ALL CUTTING AND/OR PATCHING OF EXISTING WALLS, AS REQUIRED FOR NEW AND/OR DEMOLITION WORK.

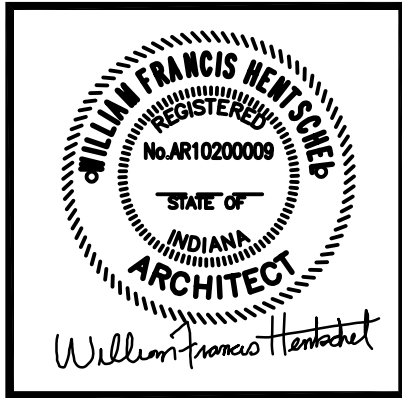


VANITY SECTION
 SCALE: 1/2" = 1'-0"



FIXTURE SCHEDULE

DATE:	JULY 19, 2019
FILE:	19-114 A701 A702
DRAWN BY:	JG
CHECKED BY:	WFH
REVISIONS:	



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BATHROOM REMODELS FOR:
ELKHART HOUSING AUTHORITY
 SCATTERED SITES - PHASE 4

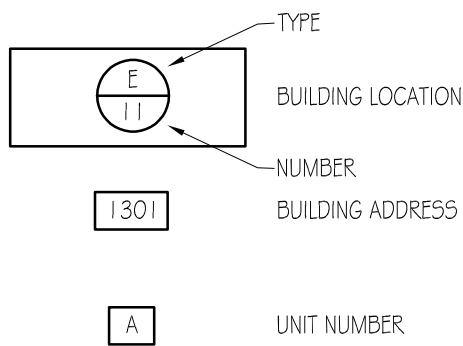
FIXTURE SCHEDULE &
 M.E.P. GENERAL NOTES

A702

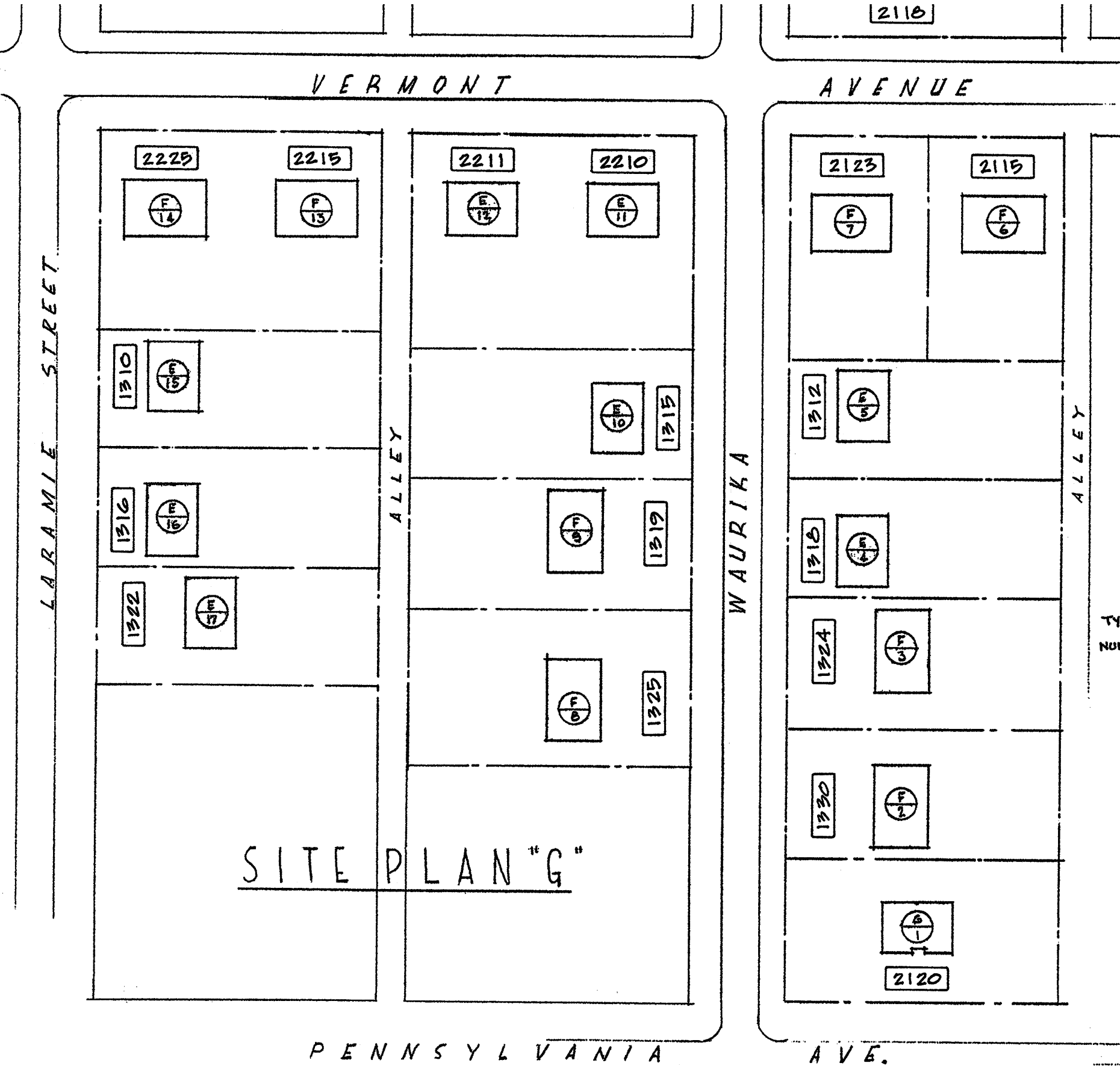


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LEGEND



SITE "G"			
BUILDINGS			
TYPE		STORIES	# BLDGS
E		1	11
F		1	10
G		1 1/2	2
TOTAL			23



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SCATTERED SITES - PHASE 4

SITE PLANS "E" & "F"

C101

