



DEPARTMENT OF REGULATORY  
AND ECONOMIC RESOURCES

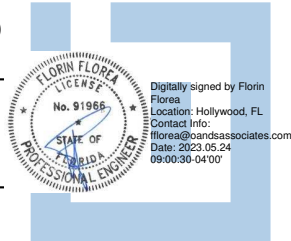
MINIMUM INSPECTION PROCEDURAL GUIDELINES  
FOR BUILDING ELECTRICAL RECERTIFICATION

INSPECTION COMMENCED

Date: 1/17/2022

INSPECTION COMPLETED

Date: 1/28/2022



INSPECTION MADE BY: FLORIN FLOREA P.E.

SIGNATURE:

PRINT NAME: FLORIN FLOREA PE 91966 FLORIDA

TITLE: Sr Electrical Engineer

ADDRESS: 2500 Hollywood Blvd, Suite 212

Hollywood, FL 33020

DESCRIPTION OF STRUCTURE

a. Name on Title: Village at Dadeland Condominiums (G)

b. Street Address: 7500 SW 82nd St. Miami, Florida 33143

c. Legal Description: Village at Dadeland Condominiums

d. Owner's Name: Village at Dadeland Condominiums

e. Owner's Mailing Address: 7500 SW 82nd St. Miami, Florida 33143

f. Folio Number of Property on which Building is Located: 30-4035-047-XXXX

g. Building Code Occupancy Classification: R2 - Residential

h. Present Use: Condominium, Residential

i. General Description, Type of Construction, Size, Number of Stories, and Special Features

Additional Comments:

The condominium building was built in 1968. Is a two story building comprised of concrete slab on compacted grade and stucco covered cmu exterior load bearing wall. The second floor catwalk consists of pre-cast concrete slabs, concrete tie columns and tie beams along exterior walls up to the roof level.

The roof is a low slope roof and comprised of timber trusses and plywood decking covered with a bituminous asphalt membrane. At the perimeter of the roof there are timber framed gable ends covered with asphalt shingles that also cover the building balconies and catwalks.

There is a Main Electrical Room at the rear of the building. There are multiple services at the building that are controlled by a main switch contained within the electrical room. The main switch controls power to the House Service Meter and the House Panel. The main switch also controls power to the individual condominium unit meters and breakers. The house panel serves common loads of the building.

**MINIMUM GUIDELINES AND INFORMATION FOR RECERTIFICATION OF ELECTRICAL  
SYSTEMS OF FORTY (40) YEAR STRUCTURES**

**1. ELECTRIC SERVICE**

1. Size:            Amperage            ( 600 )            Fuses            ( ☒ )            Breakers            (            )

2. Phase:            Three Phase            (            )            Single Phase            ( ☒ )

3. Condition:            Good            (            )            Fair            (            )            Needs Repair            ( ☒ )

Comments:    Main Power (1) 600A 120/240V AC 1 Phase 3 Wire - Poor Condition - Old with Rust

(1) House Panel is 200A 120/240V AC 1 Phase 3 Wire - Poor Condition - Old with Rust

(3) Meter Center 120/240V AC 1 Phase 3 Wire - 4 Meters each serving a 100A Branch Circuit.

**2. METER AND ELECTRIC ROOM**

1. Clearances:            Good    (            )            Fair    (            )            Requires Correction            ( ☒ )

Comments:    Main Power - Insufficient Clearance 22", House Panel Insufficient Clearance 33", and

Meter Center - Insufficient Clearance 33". Most electrical equipment is old and has corrosion.

All electrical equipment and branch circuits shall be clearly labeled and identified. No Storage permitted.

**3. GUTTERS**

Location: Go            od            (            )            Requires Repair            ( ☒ )

Taps and Fill:            Good            (            )            Requires Repair            ( ☒ )

Comments:    Observed corrosion, requires maintenance.

#### 4. ELECTRICAL PANELS

Location:                      Good            (            )    Needs Repair            ( ☒ )

1. Panel #( House )

   Good            (            )    Needs Repair            ( ☒ )

2. Panel #(            )

   Good            (            )    Needs Repair            (            )

3. Panel #(            )

   Good            (            )    Needs Repair            (            )

4. Panel #(            )

   Good            (            )    Needs Repair            (            )

5. Panel #(            )

   Good            (            )    Needs Repair            (            )

Comments: Insufficient Clearance only 33" at Panel and is installed in front of Water Heater.

The disconnect switch in the electric room serving the House Panel is corroded.

#### 5. BRANCH CIRCUITS:

1. Identified:                      Yes            (            )    Must be identified ( ☒ )

2. Conductors:                      Good            (            )    Deteriorated            (            )    Must be replaced (            )

Comments: All branch circuits must be clearly identified. Conductors not visible.

Main breakers at meters are not set properly and are old and worn.

## 6. GROUNDING SERVICE:

Good ( ) Repairs Required ( ☒ )

Comments: Observed corrosion and/or section loss at the ground bars. We recommend that grounding resistance to be tested by an electrician and repaired/replaced if necessary.

## 7. GROUNDING OF EQUIPMENT:

Good ( ) Repairs Required ( ☒ )

Comments: Observed corrosion and/or possible section loss at the ground bars. We recommend that the grounding of equipment be replaced/repaired by an electrician.

## 8. SERVICE CONDUITS/RACEWAYS:

Good ( ) Repairs Required ( ☒ )

Comments: Corrosion observed on conduits, maintenance required.

## 9. SERVICE CONDUCTOR AND CABLES:

Good ( ) Repairs Required ( )

Comments: Service conductors and cables were concealed.



**10. TYPES OF WIRING METHODS:**

Conduit Raceways:	Good	( <input checked="" type="checkbox"/> )	Repairs Required	(       )
Conduit PVC:	Good	(       )	Repairs Required	(       )
NM Cable:	Good	(       )	Repairs Required	(       )
BX Cable:	Good	(       )	Repairs Required	(       )

**11. FEEDER CONDUCTORS:**

Good (       ) Repairs Required (       )

Comments: Feeder cables were concealed.

**12. EMERGENCY LIGHTING:**

Good (       ) Repairs Required (       )

Comments: N/A

**13. BUILDING EGRESS ILLUMINATION:**

Good (       ) Repairs Required ( ☒ )

Comments: Insufficient illumination at points of egress; catwalks, stairs, and sidewalks.

**14. FIRE ALARM SYSTEM:**

Good ( ) Repairs Required ( ☒ )

Comments: Fire Alarm panel located in laundry room water heater room.

Fire Alarm panel is in fair condition.

Fire Alarm devices are old and worn.

**15. SMOKE DETECTORS:**

Good ( ) Repairs Required ( ☒ )

Comments: All old smoke detectors to be replaced. Smoke detectors to be installed and maintained in all .  
main electric rooms. Apartments - Not all apartments have smoke detectors in the living room, hallways,  
and/or bedrooms. All units to be verified for compliance.

**16. EXIT LIGHTS:**

Good ( ) Repairs Required ( )

Comments: N/A

**17. EMERGENCY GENERATOR:**

Good ( ) Repairs Required ( )

Comments: N/A

#### 18. WIRING IN OPEN OR UNDER COVER PARKING GARAGE AREAS:

Require Additional

Go od ( ) Repairs Required ( )

Comments: Wiring was concealed

#### 19. OPEN OR UNDERCOVER PARKING GARAGE AREAS AND EGRESS ILLUMINATION:

Require Additional

Go od ( ) Repairs Required ( ☒ )

Comments: Open parking areas have low illumination levels creating unsafe conditions and security concerns. Additional lighting is required to illuminate the parking walking surfaces for safety and security purposes. Parking light mounted on building is out - Repairs Required.

#### 20. SWIMMING POOL WIRING:

Go od ( ) Repairs Required ( )

Comments: N/A

#### 21. WIRING TO MECHANICAL EQUIPMENT:

Go od ( ) Repairs Required ( ☒ )

Comments: 1. Mechanical Rooftop Equipment - Repairs/Replacement Required at all oxidized electrical disconnect boxes, supports, and conduit. All disconnect switches are to be operable and inside electrical components rust free. 2. All Rooftop Mechanical Equipment and Disconnect Switches to be properly identified.

## 22. ADDITIONAL COMMENTS:

1. Not all apartments have GFCI type outlets in Kitchens, Bathrooms, and or Balconies - Repairs Required
2. Bathroom outlets are not GFCI type, Repairs Required
3. Unit G207 - Kitchen outlets are not GFCI type, Repairs Required
4. All Kitchen Island outlets are to be GFCI type, Repairs Required
5. Electrical outlets that have an open ground and/or are hot are to be repaired.
6. All Balcony and Patio outlets to be GFCI type and should be installed with a HD waterproof enclosure.
7. Not all balcony and/or patio outlets are GFCI type outlets, Repairs Required.
8. Not all balcony and/or patio outlets are WP type, Repairs Required.
9. Electrical Panels in the apartments have considerable oxidation and are to be replaced.
10. Electrical Panels in the apartments are missing labels and/or are not properly identified.
11. All Electrical Panels in the apartments are to be properly labeled with branch circuits clearly identified.
12. All Electric Panel covers to properly fit over circuit breakers boards. Unit G210

13. Some Electrical Panel covers do not fit properly leaving lots of space around the circuit breakers.

14. All electrical panels installed 40 years or later, even though in good working order has passed its useful life and is recommended to be replaced.

SD:rs:vc:mb:js:jg:rtc1:10/12/2015:40yrtrackingsystem

15. All open outlets, switches, or junction boxes are to be repaired.

16. All Open Neutral Wiring or Open Ground at bathroom or Kitchen outlet, repairs required.

17. Time clocks insufficient clearance, repairs required.

18. Outlets in laundry room and water heater room are not GFCI - Repairs Required.

19. Fire caulk all wall and ceiling penetrations at electric room.

Photo 1 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
No Storage Permitted

Missing sign with Room name  
and Building number.

Photo 2 – Village of Dadeland Condominium Association



Existing Electrical Room - 1<sup>st</sup> FL  
Main Switches for Apartments,  
Meters, and Gutter.

Insufficient clearance in front of  
electrical components.

Photo 3 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Main Disconnect and Meter  
Stacks are corroded.  
50 year old electrical  
components.

Photo 4 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Building Main Disconnect is  
corroded.  
50 year old electrical  
component.



Photo 5 – Village of Dadeland Condominium Association



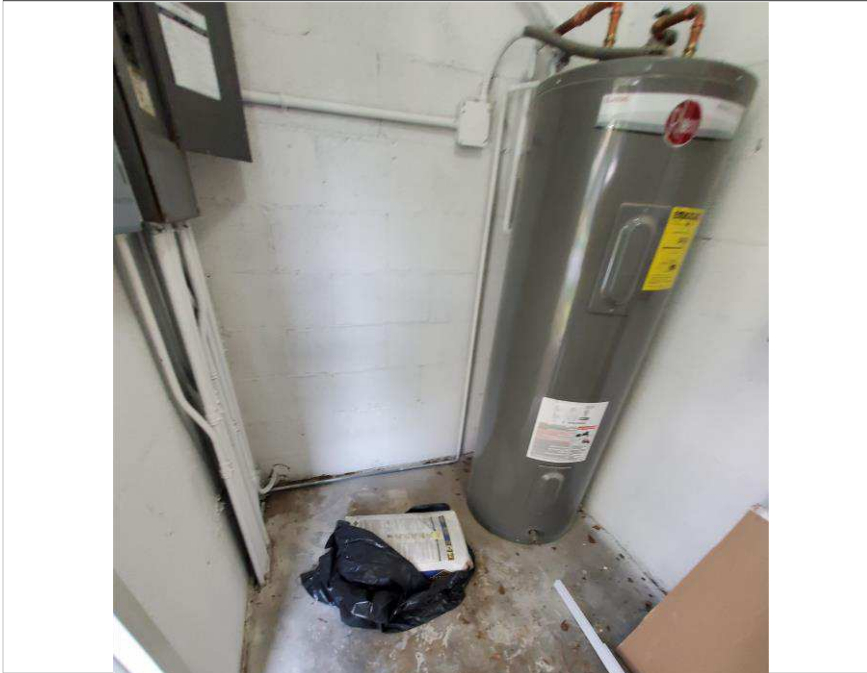
Existing Electrical Room - 1st FL  
House Panel Disconnect Switch  
is corroded.  
50 year old electrical  
component.

Photo 6 – Village of Dadeland Condominium Association



1st FL - Laundry/Water Heater  
Room  
House Main Panel Board  
  
Old 50 year old electrical  
component

Photo 7 – Village of Dadeland Condominium Association



1st FL - Laundry/ Water Heater Room  
House Panel Board

House Panel Board installed in front of Water Heater.

There is insufficient clearance in front of panel.

Photo 8 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Main Switches for Apartments, Meters, and Gutter.

Old and oxidized meter stacks.



Photo 9 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Apartment Meters and Main  
Switches

Old and oxidized meter stacks  
and breakers.

House Meter not labeled.  
All meters to be clearly labeled.

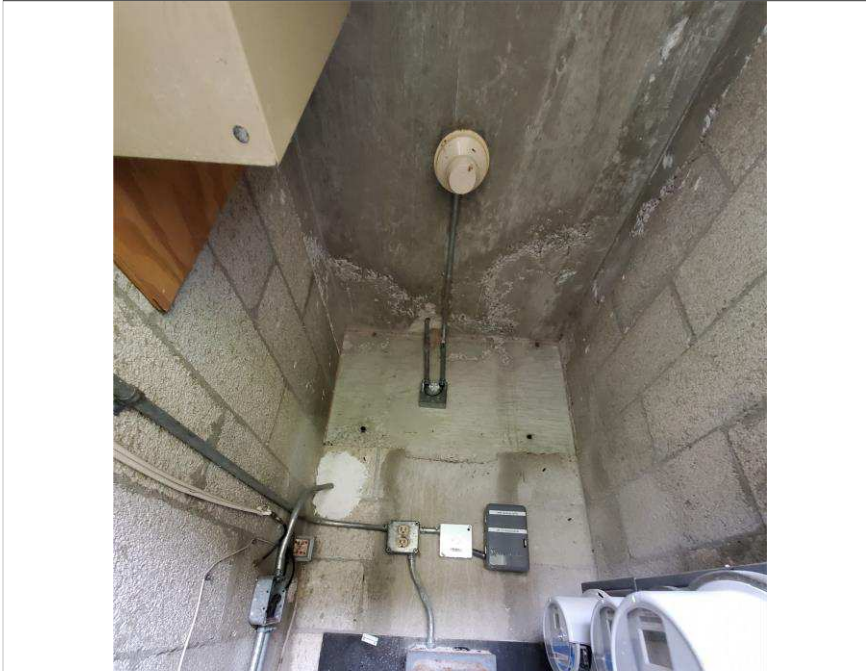
Photo 10 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL

Oxidized conduits.

Photo 11 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL

Old smoke detector.

Photo 12 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Main Service - Grounding

Grounding resistance to be tested to determine if repairs and/or maintenance are required.



Photo 13 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL

All wall penetrations to be fire caulked.

Open junction boxes to be closed.

Photo 14 – Village of Dadeland Condominium Association



Rooftop Condenser Units -  
Oxidized junction boxes and  
conduits.

Junction boxes not properly  
supported.

Missing disconnect switches.

Open electrical boxes.

Photo 15 – Village of Dadeland Condominium Association



1st FL - Laundry/Water Heater  
Room  
Fire Alarm Panel

Photo 16 – Village of Dadeland Condominium Association



Level 1  
Fire Alarm - Old and Weathered  
Fire Alarm Devices and Control  
Center



Photo 17 – Village of Dadeland Condominium Association



Level 1

Fire Alarm - Old and Weathered  
Fire Alarm Devices and Control  
Center

Old Strobe Horn/Strobe Device  
and Pull Stations

Photo 18 – Village of Dadeland Condominium Association



Level 2

Fire Alarm - Old and Weathered  
Fire Alarm Devices and Control  
Center

Old Strobe Horn/Strobe Device  
and Pull Stations

Photo 19 – Village of Dadeland Condominium Association



Egress Components  
Poorly illuminated Catwalks and  
Points of Egress.  
Exterior lights are not functional.

Insufficient illumination at Stairs  
sidewalk, and Catwalks.

Photo 20 – Village of Dadeland Condominium Association

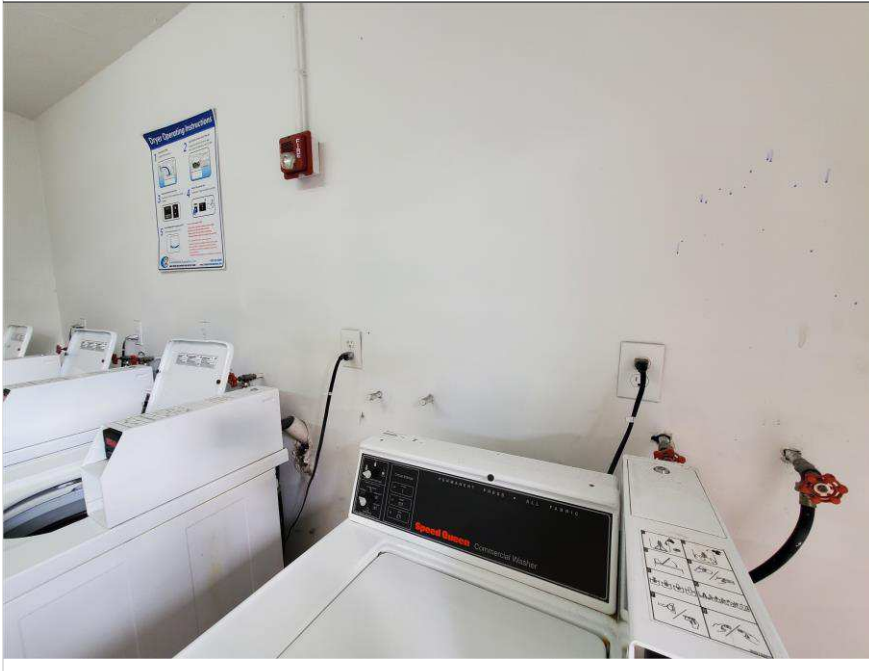


Egress Components  
Poorly illuminated Catwalks and  
Points of Egress.  
Exterior lights are not functional.

Insufficient illumination at Stairs  
sidewalk, and Catwalks.

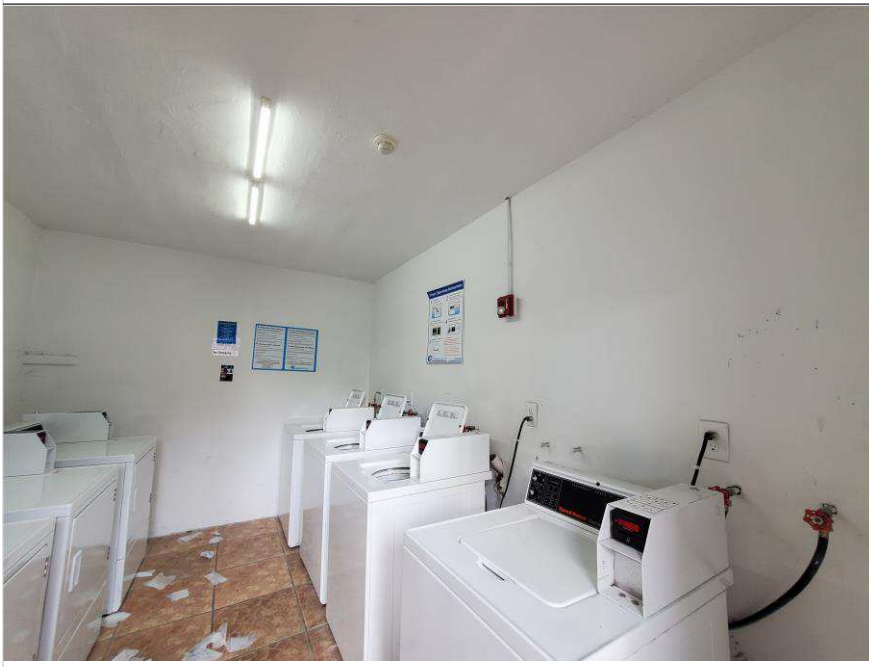
Parking  
Insufficient illumination at  
sidewalks and parking areas.

Photo 21 – Village of Dadeland Condominium Association



Laundry Room - Outlets are not GFCI type.

Photo 22 – Village of Dadeland Condominium Association



Laundry Room -  
Old smoke detector.



Photo 23 – Village of Dadeland Condominium Association



Apartments - Old Electrical Panels

Photo 24 – Village of Dadeland Condominium Association

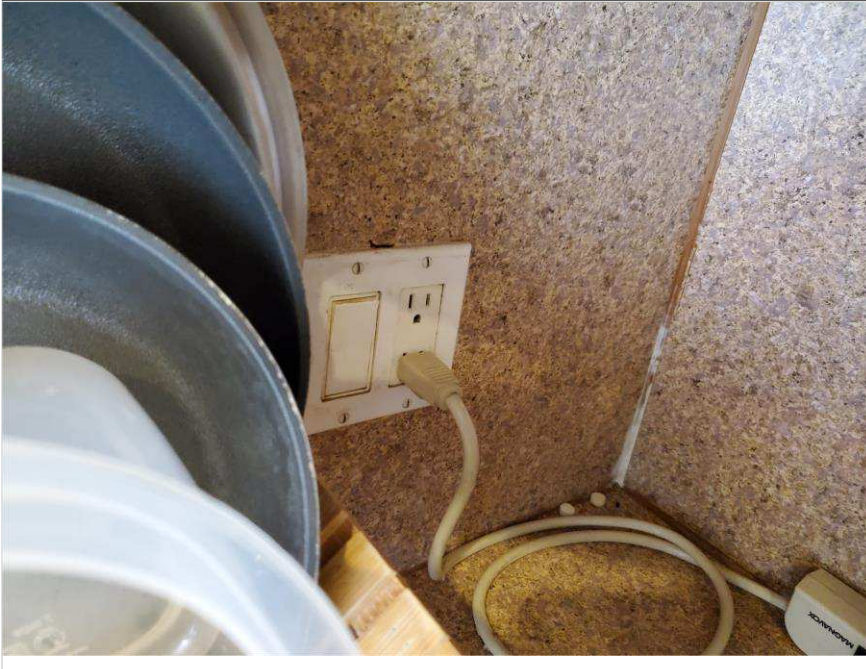


Apartments - Electrical Panels

Panel cover and panel box are not set properly leaving excessive space around breakers.

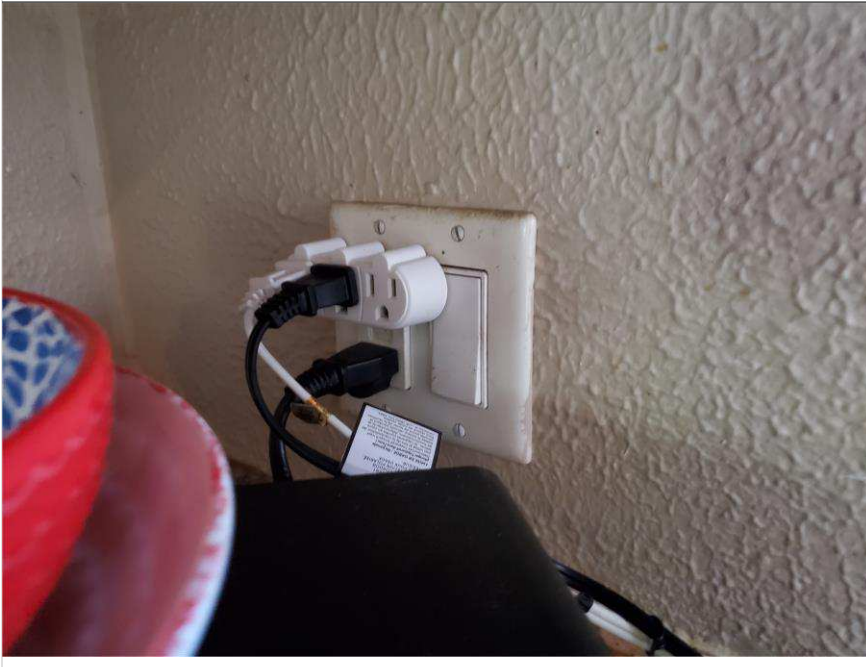


Photo 25 – Village of Dadeland Condominium Association



Apartments - Kitchen outlets  
not GFCI type.

Photo 26 – Village of Dadeland Condominium Association



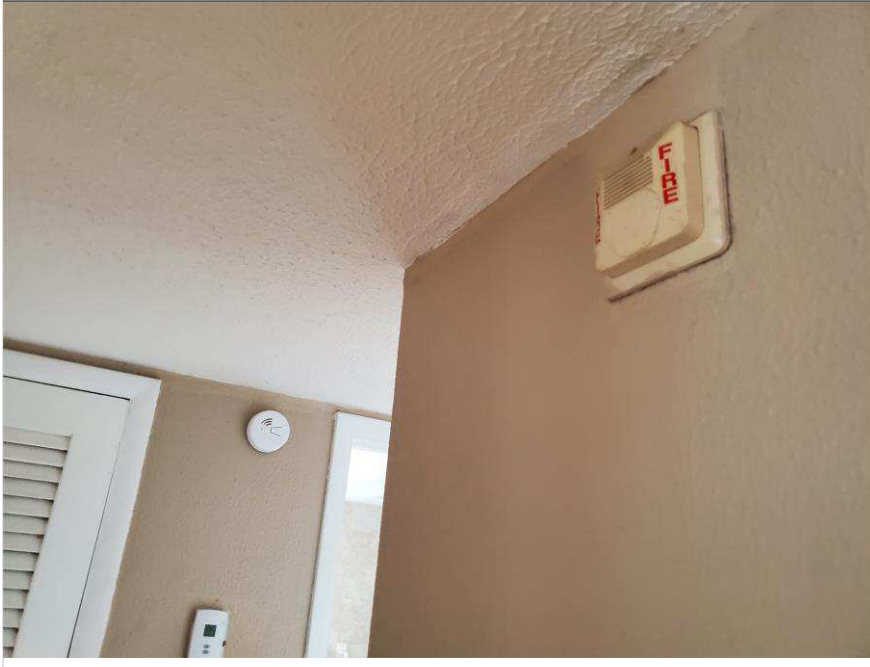
Apartments - Balcony/Patio  
outlets not GFCI type.

Photo 27 – Village of Dadeland Condominium Association



Apartments - Old Smoke  
Detectors

Photo 28 – Village of Dadeland Condominium Association



Apartments - Fire Alarm System

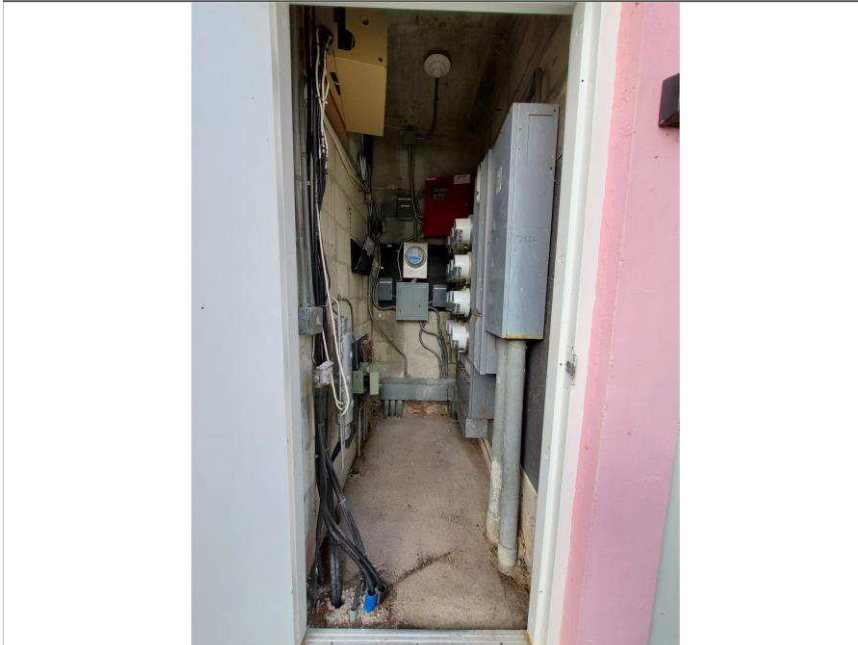
Old Devices exceeding useful  
life.

Photo 1 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Provide sign with Building  
Number

Photo 2 – Village of Dadeland Condominium Association



Existing Electrical Room - 1<sup>st</sup> FL  
Main Switches for Apartments,  
Meters, Gutter, and Fire Alarm  
Panel



Photo 3 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Building Main Disconnect is  
corroded.  
50 year old electrical  
component.

Photo 4 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Building Main Disconnect is  
corroded.  
50 year old electrical  
component.

Photo 5 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
House Panel Board and Meter.

Photo 6 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
House Panel Board and  
breakers.

Panel nameplate is covered.

Photo 7 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Apartment Meters and Gutter

Old and corroded meter stacks.

Photo 8 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Apartment Meters and Main  
Switches

Old and corroded meter stacks.



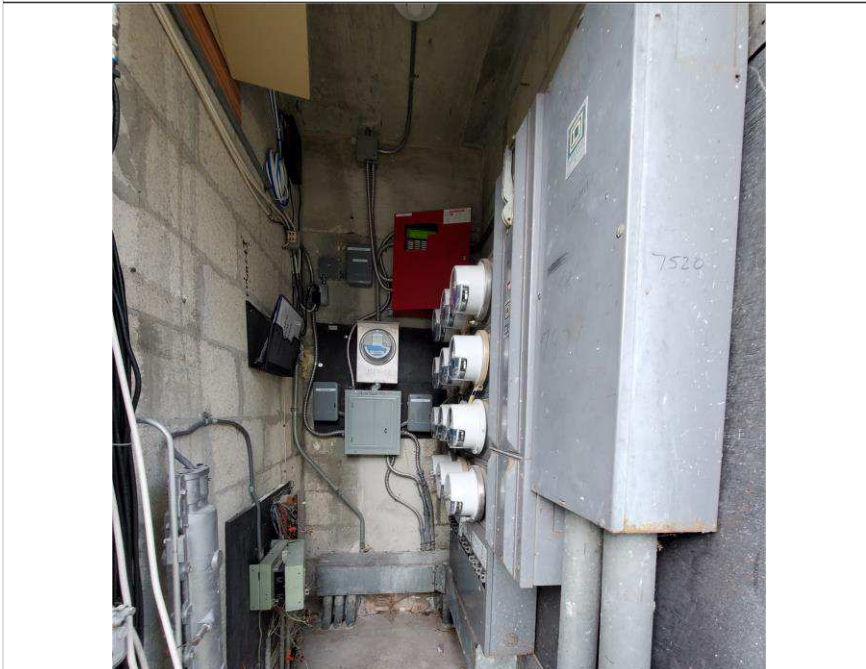
Photo 9 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Meter stacks are corroded.  
50 year old electrical  
component.

Old and corroded meter stacks.

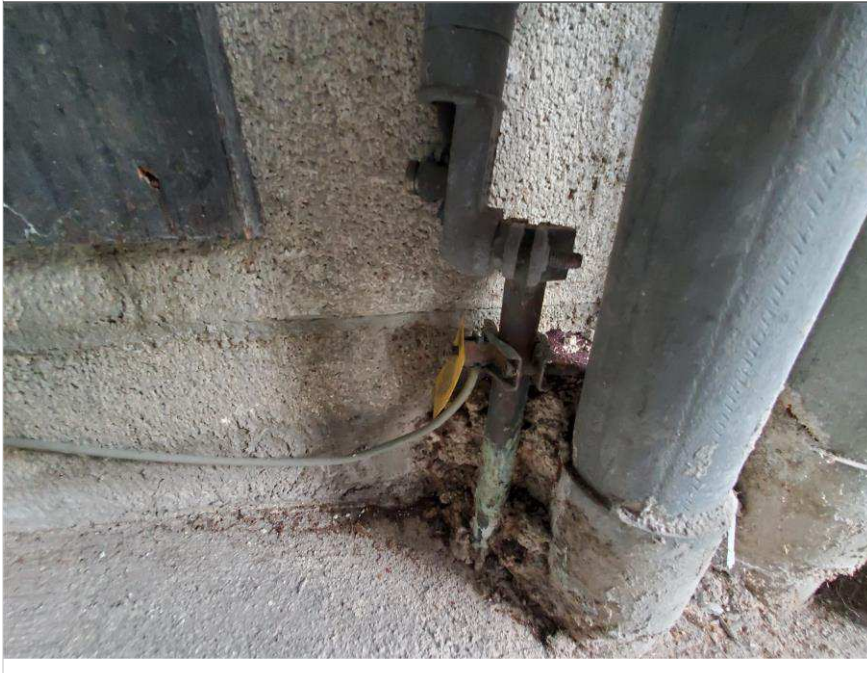
Photo 10 – Village of Dadeland Condominium Association



Existing Electric Room - 1<sup>st</sup> FL

Insufficient clearance at  
electrical components.

Photo 11 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Main Service - Grounding

Grounding resistance to be tested to determine if repairs and/or maintenance are required.

Photo 12 – Village of Dadeland Condominium Association



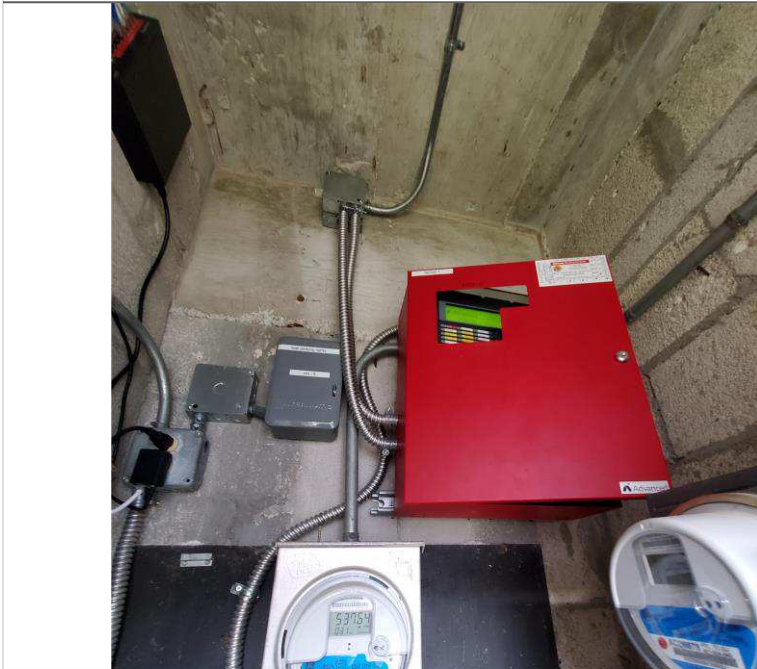
Rooftop -  
Rooftop Condenser Units

Junction boxes not properly supported.

Corroded conduits



Photo 13 – Village of Dadeland Condominium Association



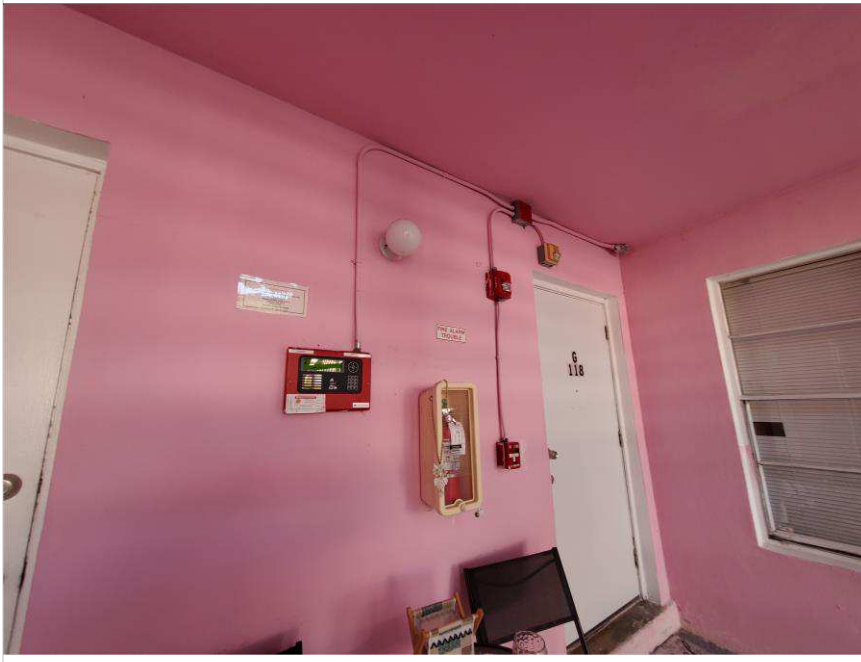
Existing Electrical Room - 1st FL  
Fire Alarm Panel

All penetrations or openings in  
walls are to be fire caulked.

Insufficient clearance in front of  
panel.

Panel is installed high.

Photo 14 – Village of Dadeland Condominium Association



Level 1  
Fire Alarm - Old and Weathered  
Fire Alarm Devices

Old Strobe Horn/Strobe Device

Photo 15 – Village of Dadeland Condominium Association

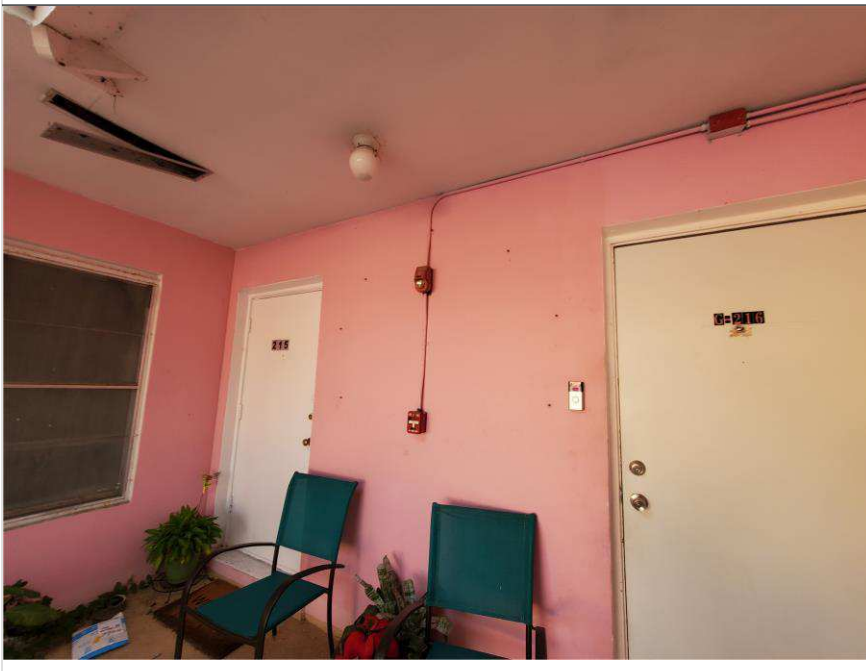


Level 2

Fire Alarm - Old and Weathered  
Fire Alarm Devices

Old Strobe Horn/Strobe Device  
and Pull Stations

Photo 16 – Village of Dadeland Condominium Association



Level 2

Fire Alarm - Old and Weathered  
Fire Alarm Devices

Old Strobe Horn/Strobe Device  
and Pull Stations

Photo 17 – Village of Dadeland Condominium Association



Parking/Catwalks -

Insufficient illumination at catwalks and sidewalks. Exterior lights are not functional.

Insufficient illumination at Parking Areas

Photo 18 – Village of Dadeland Condominium Association



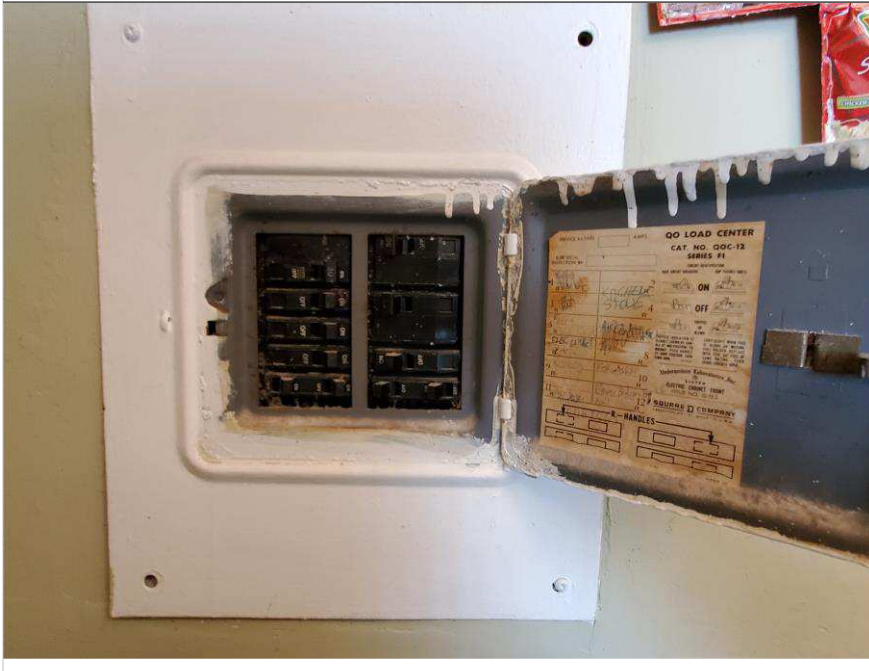
Points of Egress

Poorly illuminated Areas  
Exterior lights are not functional.

Insufficient illumination at sidewalks and points of egress.



Photo 19 – Village of Dadeland Condominium Association



Apartments - Old Electrical Panels

Photo 20 – Village of Dadeland Condominium Association



Apartments - Old Electrical Panels

Photo 21 – Village of Dadeland Condominium Association



Apartments - Kitchen outlets  
not GFCI type.

Photo 22 – Village of Dadeland Condominium Association



Apartments - Bathroom outlets  
not GFCI type.

Photo 23 – Village of Dadeland Condominium Association



Apartments - Balcony/Patio outlets not GFCI type.

Outlet is not in a HD waterproof enclosure.

Photo 24 – Village of Dadeland Condominium Association



Apartments - Old Smoke Detectors

Old Smoke Detectors to be replaced.



Photo 1 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
No Storage Permitted

Missing sign with Room name  
and Building number.

Photo 2 – Village of Dadeland Condominium Association



Existing Electrical Room - 1<sup>st</sup> FL  
Main Switches for Apartments,  
Meters, and Gutter.

Photo 3 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Main Disconnect and Meter  
Stacks

Photo 4 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Main Disconnect

Oxidized tops and taps of  
Electrical Components.



Photo 5 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
House Panel Board and Meter.

Photo 6 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
House Panel Board and  
Breakers.

Old and oxidized panel.

Photo 7 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Apartment Meters and Gutter.

Old and corroded meter stacks.

Photo 8 – Village of Dadeland Condominium Association

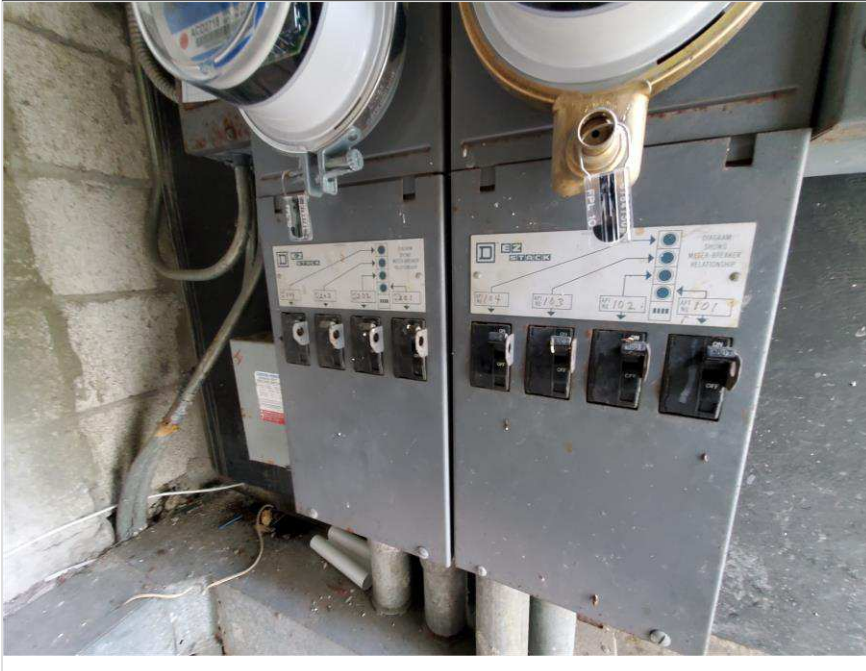


Existing Electrical Room - 1st FL  
Apartment Meters - Top View

Old and corroded meter stacks.



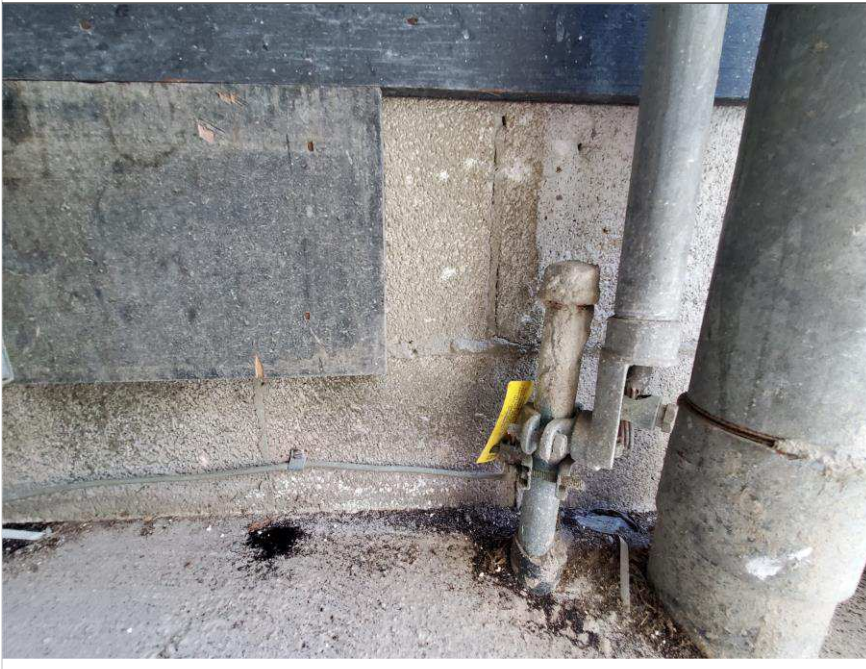
Photo 9 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Apartment Meters and Main  
Switches

Insufficient clearance at  
electrical components.

Photo 10 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Main Service - Grounding

Grounding resistance to be  
tested to determine if repairs  
and/or maintenance are  
required.



Photo 11 – Village of Dadeland Condominium Association



Rooftop Condenser Units -

Missing or improperly installed disconnect switches.

Photo 12 – Village of Dadeland Condominium Association



Rooftop Condenser Units -  
Corroded junction boxes and  
conduits.

Improperly installed switches.



Photo 13 – Village of Dadeland Condominium Association



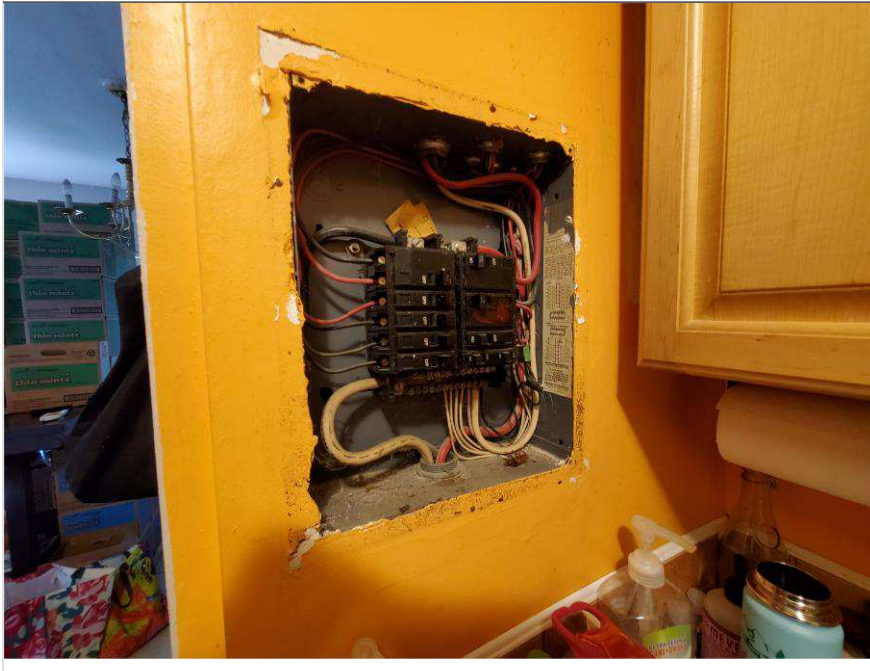
Points of Egress -  
Poorly illuminated sidewalks and  
stairs.  
Exterior lights not functional.

Photo 14 – Village of Dadeland Condominium Association



Points of Egress -  
Poorly illuminated sidewalks  
Exterior lights not functional

Photo 15 – Village of Dadeland Condominium Association



Apartments - Electrical Panels

Missing panel directory.

Photo 16 – Village of Dadeland Condominium Association



Apartments - Kitchen outlets are not GFCI type.

Photo 17 – Village of Dadeland Condominium Association



Apartments - Bathroom outlets  
are not GFCI type.



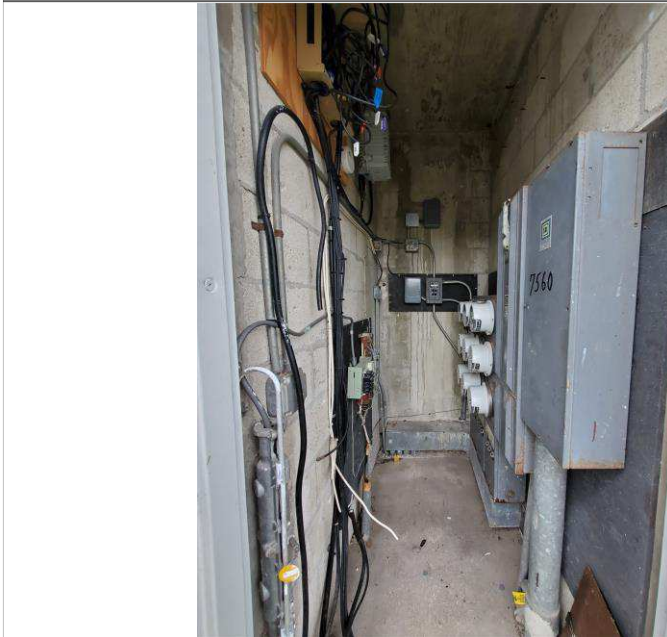
Photo 1 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
No Storage Permitted

Missing sign with Room name  
and Building number.

Photo 2 – Village of Dadeland Condominium Association



Existing Electrical Room - 1<sup>st</sup> FL  
Main Switches for Apartments,  
Meters, and Gutter.

Photo 3 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Main Disconnect and Meter  
Stacks

Photo 4 – Village of Dadeland Condominium Association

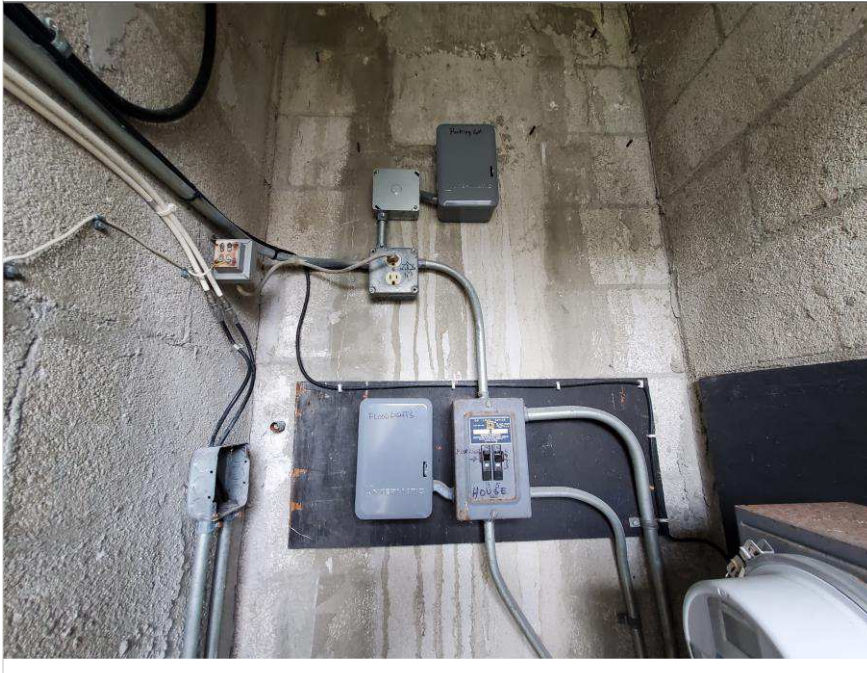


Existing Electrical Room - 1st FL  
Main Disconnect – Top View

Corroded tops and taps of  
electrical components.



Photo 5 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
House Panel Board and Meter

Open junction boxes to be  
closed.

All wall penetrations to be fire  
caulked.

Photo 6 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
House Panel Board and  
breakers.

Corroded panel and old circuit  
breakers.



Photo 7 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Main Switches for Apartments,  
Meters, and Gutter.

Old and corroded meter stacks.

Apartment Disconnect Switches  
are old.

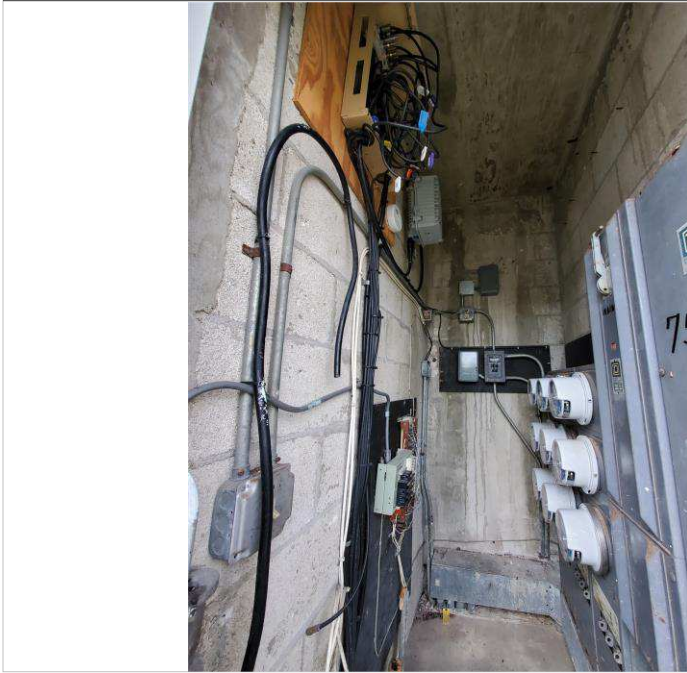
Photo 8 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Apartment Meters - Top View

Old and corroded meter stacks.

Photo 9 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Apartment Meters, Gutter and  
Main Disconnect Switch

Insufficient clearance at  
electrical components.

Photo 10 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Main Service - Grounding

Grounding resistance to be  
tested to determine if repairs  
and/or maintenance are  
required.



Photo 11 – Village of Dadeland Condominium Association



Rooftop Condenser Units -

Improperly supported switches.

Missing or non-compliant method of providing disconnect switches.

Corroded conduits and boxes.

Photo 12 – Village of Dadeland Condominium Association



Rooftop Condenser Units -

Corroded junction boxes and conduits.

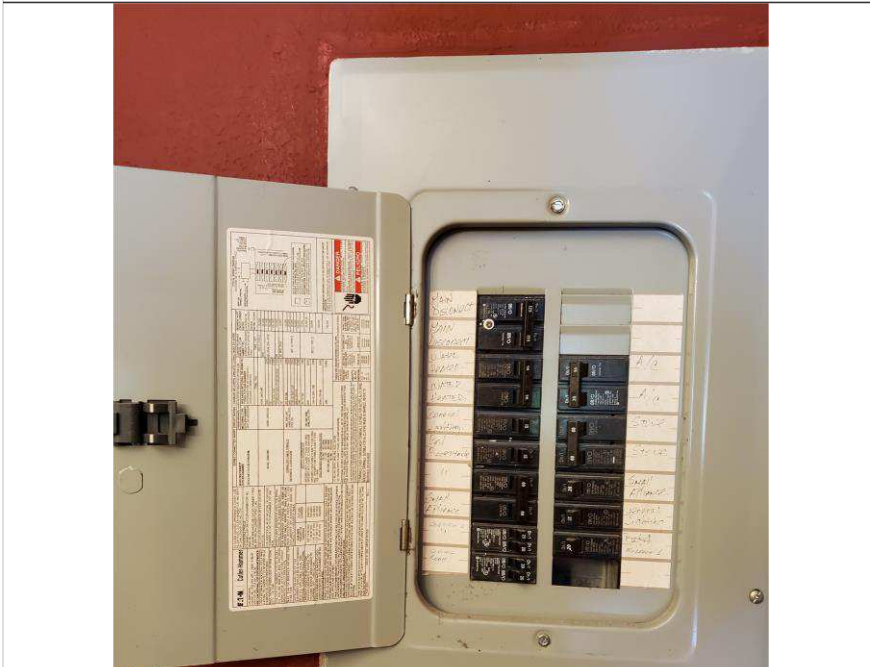


Photo 13 – Village of Dadeland Condominium Association



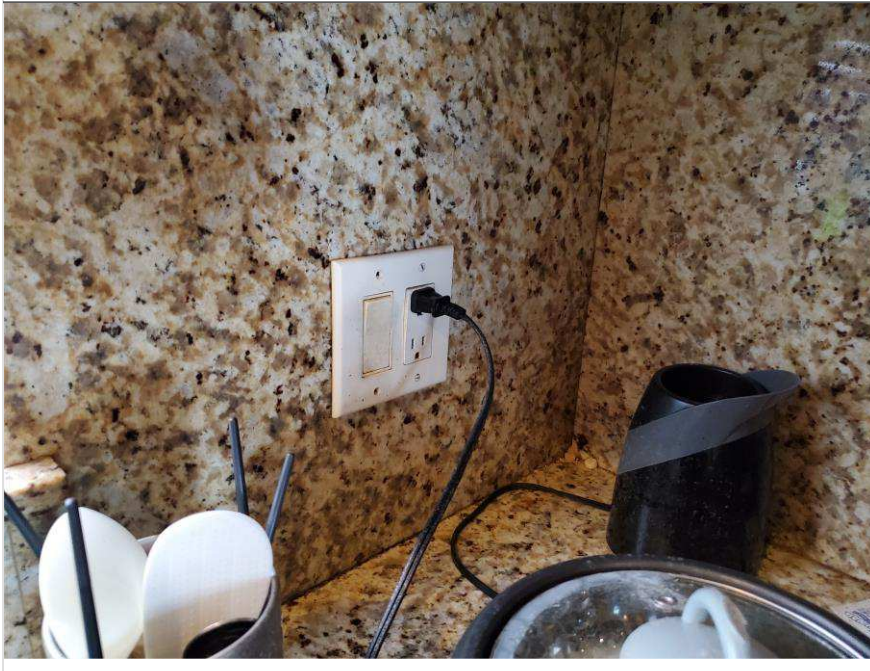
Points of Egress -  
Insufficient illumination at  
catwalks, stairs, and sidewalks.  
Exterior lights not functional.

Photo 14 – Village of Dadeland Condominium Association



Apartments - Electrical Panels  
Open breaker slot.

Photo 15 – Village of Dadeland Condominium Association



Apartments - Kitchen outlets are not GFCI type.

Photo 16 – Village of Dadeland Condominium Association



Apartments - Bathroom outlets are not GFCI type.

Photo 17 – Village of Dadeland Condominium Association



Apartments - Bathroom outlets are not GFCI type.

Photo 18 – Village of Dadeland Condominium Association



Apartments - Old Detectors





DEPARTMENT OF REGULATORY  
AND ECONOMIC RESOURCES

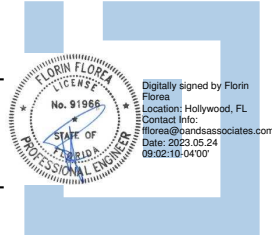
MINIMUM INSPECTION PROCEDURAL GUIDELINES  
FOR BUILDING ELECTRICAL RECERTIFICATION

INSPECTION COMMENCED

Date: 1/17/2022

INSPECTION COMPLETED

Date: 1/28/2022



INSPECTION MADE BY: FLORIN FLOREA P.E.

SIGNATURE:

PRINT NAME: FLORIN FLOREA PE 91966 FLORIDA

TITLE: Sr Electrical Engineer

ADDRESS: 2500 Hollywood Blvd, Suite 212

Hollywood, FL 33020

DESCRIPTION OF STRUCTURE

- a. Name on Title: Village at Dadeland Condominiums (G)
- b. Street Address: 7520 SW 82nd St. Miami, Florida 33143
- c. Legal Description: Village at Dadeland Condominiums
- d. Owner's Name: Village at Dadeland Condominiums
- e. Owner's Mailing Address: 7520 SW 82nd St. Miami, Florida 33143
- f. Folio Number of Property on which Building is Located: 30-4035-047-XXXX
- g. Building Code Occupancy Classification: R2 - Residential
- h. Present Use: Condominium, Residential
- i. General Description, Type of Construction, Size, Number of Stories, and Special Features

Additional Comments:

The condominium building was built in 1968. Is a two story building comprised of concrete slab on compacted grade and stucco covered cmu exterior load bearing wall. The second floor catwalk consists of pre-cast concrete slabs, concrete tie columns and tie beams along exterior walls up to the roof level.

The roof is a low slope roof and comprised of timber trusses and plywood decking covered with a bituminous asphalt membrane. At the perimeter of the roof there are timber framed gable ends covered with asphalt shingles that also cover the building balconies and catwalks.

There is a Main Electrical Room at the rear of the building. There are multiple services at the building that are controlled by a main switch contained within the electrical room. The main switch controls power to the House Service Meter and the House Panel. The main switch also controls power to the individual condominium unit meters and breakers. The house panel serves common loads of the building.

**MINIMUM GUIDELINES AND INFORMATION FOR RECERTIFICATION OF ELECTRICAL  
SYSTEMS OF FORTY (40) YEAR STRUCTURES**

**1. ELECTRIC SERVICE**

1. Size: Amperage ( 600 ) Fuses ( ☒ ) Breakers ( )  
2. Phase: Three Phase ( ) Single Phase ( ☒ )  
3. Condition: Good ( ) Fair ( ) Needs Repair ( ☒ )

Comments: Main Power (1) 600A 120/240V AC 1 Phase 3 Wire - Poor Condition - Old with Rust

(1) House Panel is 100A 120/240V AC 1 Phase 3 Wire - Condition - Good

(3) Meter Center Stacks - (3) at 4 Meters each serving a 100A Branch Circuit. - Condition - Old with Rust

**2. METER AND ELECTRIC ROOM**

1. Clearances: Good ( ) Fair ( ) Requires Correction ( ☒ )

Comments: Main Power - Insufficient Clearance 24", House Panel Insufficient Clearance 25" width, and  
Meter Centers - Insufficient Clearance 20". Most electrical equipment is old and has corrosion, replace.

All electrical equipment and branch circuits shall be clearly labeled and identified.

**3. GUTTERS**

Location: Good ( ) Requires Repair ( ☒ )  
Taps and Fill: Good ( ) Requires Repair ( ☒ )

Comments: Observed corrosion, requires maintenance.

#### 4. ELECTRICAL PANELS

Location:                      Good        (            )        Needs Repair        ( ☒ )

1. Panel #( House )

   Good        (            )        Needs Repair        ( ☒ )

2. Panel #(            )

   Good        (            )        Needs Repair        (            )

3. Panel #(            )

   Good        (            )        Needs Repair        (            )

4. Panel #(            )

   Good        (            )        Needs Repair        (            )

5. Panel #(            )

   Good        (            )        Needs Repair        (            )

Comments: Insufficient Clearance only 25" clearance side to side.

#### 5. BRANCH CIRCUITS:

1. Identified:                      Yes        (            )        Must be identified ( ☒ )

2. Conductors:                      Good        (            )        Deteriorated        (            )        Must be replaced (            )

Comments: All branch circuits must be clearly identified. Conductors not visible.

Old and deteriorated breakers to be replaced.



6. GROUNDING SERVICE:

Good ( ) Repairs Required ( ☒ )

Comments: Observed corrosion and/or section loss at the ground bars. We recommend that grounding resistance to be tested by an electrician and repaired/replaced if necessary.

7. GROUNDING OF EQUIPMENT:

Good ( ) Repairs Required ( ☒ )

Comments: Observed corrosion and/or possible section loss at the ground bars. We recommend that the grounding of equipment be replaced/repaired by an electrician.

8. SERVICE CONDUITS/RACEWAYS:

Good ( ) Repairs Required ( ☒ )

Comments: Corrosion observed on conduits, switch, outlet, maintenance required.

9. SERVICE CONDUCTOR AND CABLES:

Good ( ) Repairs Required ( )

Comments: Service conductors and cables were concealed.

**10. TYPES OF WIRING METHODS:**

Conduit Raceways:	Good	( <input checked="" type="checkbox"/> )	Repairs Required	(       )
Conduit PVC:	Good	(       )	Repairs Required	(       )
NM Cable:	Good	(       )	Repairs Required	(       )
BX Cable:	Good	(       )	Repairs Required	(       )

**11. FEEDER CONDUCTORS:**

Good (       ) Repairs Required (       )

Comments: Feeder cables were concealed.

**12. EMERGENCY LIGHTING:**

Good (       ) Repairs Required (       )

Comments: N/A

**13. BUILDING EGRESS ILLUMINATION:**

Good (       ) Repairs Required ( ☒ )

Comments: Insufficient illumination at catwalks and stairs. In addition some lights are out and must be
repaired.

#### 14. FIRE ALARM SYSTEM:

Good ( ) Repairs Required ( ☒ )

Comments: Fire Alarm panel located in Electric Room and is installed too high to the controls.

Fire Alarm panel has insufficient clearance. Fire Alarm devices are old and worn.

Fire Alarm annunciator controls located at center stair.

#### 15. SMOKE DETECTORS:

Good ( ) Repairs Required ( ☒ )

Comments: All old smoke detectors to be replaced. Smoke detectors to be installed and maintained in all .  
main electric rooms. Apartments - Not all apartments have smoke detectors in the living room, hallways,  
and/or bedrooms. As observed in Units G218, all other units to be verified for compliance.

#### 16. EXIT LIGHTS:

Good ( ) Repairs Required ( )

Comments: N/A

#### 17. EMERGENCY GENERATOR:

Good ( ) Repairs Required ( )

Comments: N/A



#### 18. WIRING IN OPEN OR UNDER COVER PARKING GARAGE AREAS:

Require Additional

Go od ( ) Repairs Required ( )

Comments: Wiring was concealed

#### 19. OPEN OR UNDERCOVER PARKING GARAGE AREAS AND EGRESS ILLUMINATION:

Require Additional

Go od ( ) Repairs Required ( ☒ )

Comments: Open parking areas have low illumination levels creating unsafe conditions and security concerns. Additional lighting is required to illuminate the parking walking surfaces for safety and security purposes. Parking light mounted on building is out - Repairs Required.

#### 20. SWIMMING POOL WIRING:

Go od ( ) Repairs Required ( )

Comments: N/A

#### 21. WIRING TO MECHANICAL EQUIPMENT:

Go od ( ) Repairs Required ( ☒ )

Comments: 1. Mechanical Rooftop Equipment - Repairs/Replacement Required at all oxidized electrical disconnect boxes, supports, and conduit. All disconnect switches are to be operable and inside electrical components rust free. 2. All Rooftop Mechanical Equipment and Disconnect Switches to be properly identified.

## 22. ADDITIONAL COMMENTS:

1. Not all apartments have GFCI type outlets in Kitchens, Bathrooms, and or Balconies - Repairs Required
2. Unit G119, G218, G219 - Bathroom outlets are not GFCI type, Repairs Required
3. Unit G119, G218, G219 - Kitchen outlets are not GFCI type, Repairs Required
4. All Kitchen Island outlets are to be GFCI type, Repairs Required
5. Electrical outlets that have an open ground and/or are hot are to be repaired.
6. All Balcony and Patio outlets to be GFCI type and should be installed in a HD waterproof enclosure.
7. Unit G219 - Not all balcony and/or patio outlets are GFCI type outlets, Repairs Required.
8. Unit G219 - Not all balcony and/or patio outlets are WP type, Repairs Required.
9. Electrical Panels in the apartments have considerable oxidation and are to be replaced.
10. Electrical Panels in the apartments are missing labels and/or are not properly identified.
11. All Electrical Panels in the apartments are to be properly labeled with branch circuits clearly identified.
12. All Electric Panel covers to properly fit over circuit breakers boards. Unit 218

13. Some Electrical Panel covers do not fit properly leaving lots of space around the circuit breakers.

14. All electrical panels installed 40 years or later, even though in good working order has passed its useful life and is recommended to be replaced.

SD:rs:vc:mb:js:jg:rtc1:10/12/2015:40yrtrackingsystem

15. All open outlets, switches, or junction boxes are to be repaired.

16. All Open Neutral Wiring or Open Ground at bathroom or Kitchen outlet, repairs required.

17. Time clocks, and Fire Alarm Panel installed too high, repairs required.

18. Time Clocks installed with insufficient space - Repairs Required.

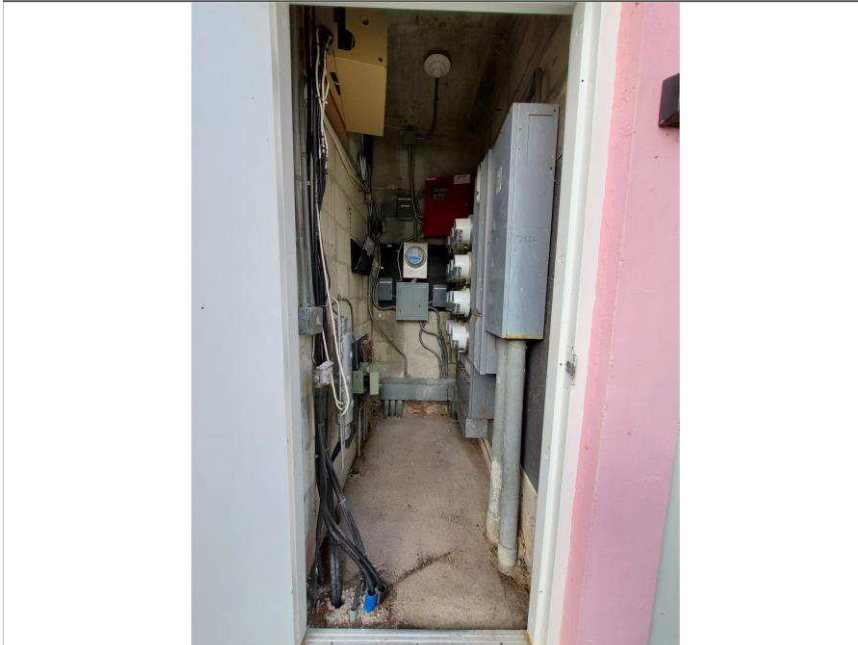
19. Fire caulk all wall and ceiling penetrations at electric room.

Photo 1 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Provide sign with Building  
Number

Photo 2 – Village of Dadeland Condominium Association



Existing Electrical Room - 1<sup>st</sup> FL  
Main Switches for Apartments,  
Meters, Gutter, and Fire Alarm  
Panel



Photo 3 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Building Main Disconnect is  
corroded.  
50 year old electrical  
component.

Photo 4 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Building Main Disconnect is  
corroded.  
50 year old electrical  
component.

Photo 5 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
House Panel Board and Meter.

Photo 6 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
House Panel Board and  
breakers.

Panel nameplate is covered.

Photo 7 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Apartment Meters and Gutter

Old and corroded meter stacks.

Photo 8 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Apartment Meters and Main  
Switches

Old and corroded meter stacks.



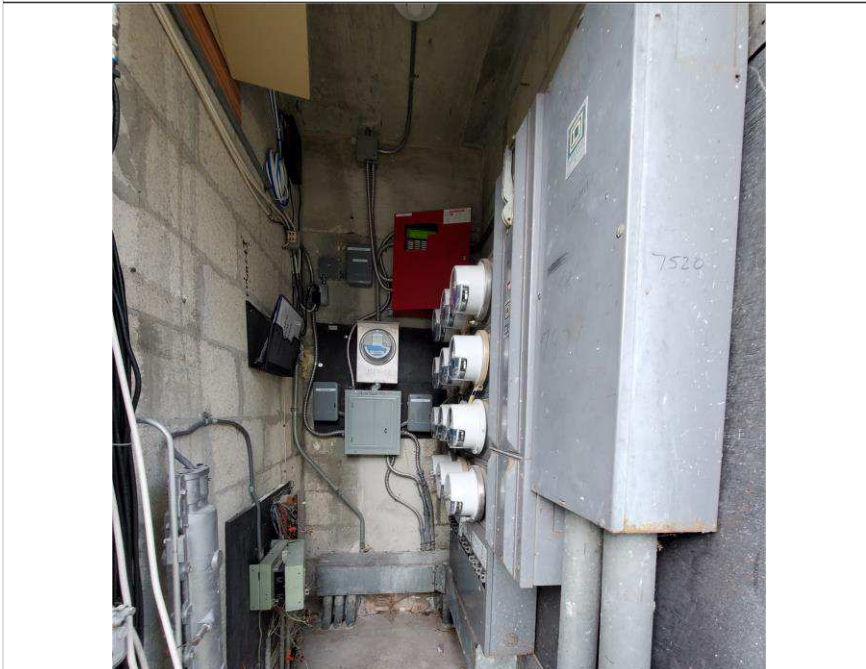
Photo 9 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Meter stacks are corroded.  
50 year old electrical  
component.

Old and corroded meter stacks.

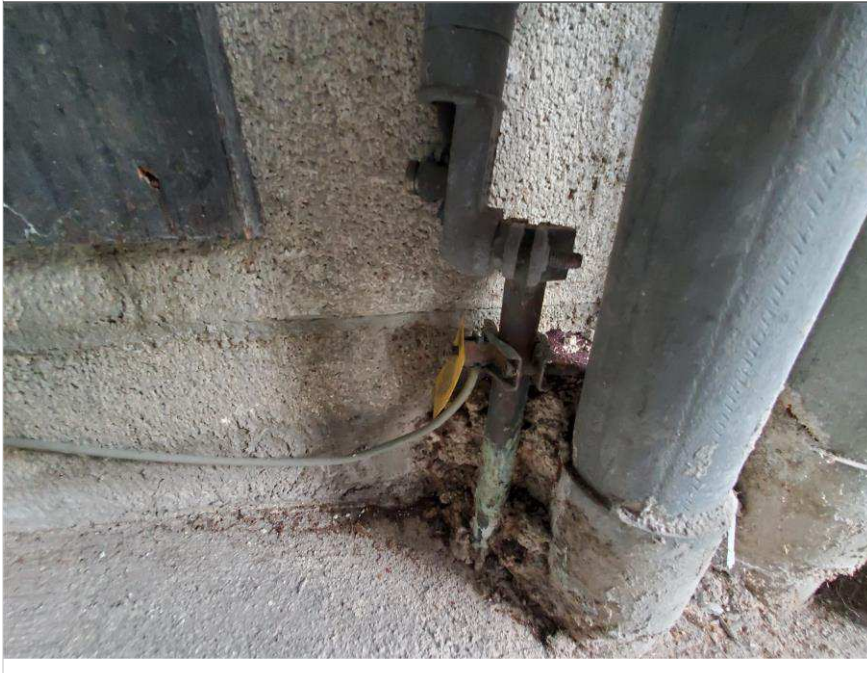
Photo 10 – Village of Dadeland Condominium Association



Existing Electric Room - 1<sup>st</sup> FL

Insufficient clearance at  
electrical components.

Photo 11 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Main Service - Grounding

Grounding resistance to be tested to determine if repairs and/or maintenance are required.

Photo 12 – Village of Dadeland Condominium Association



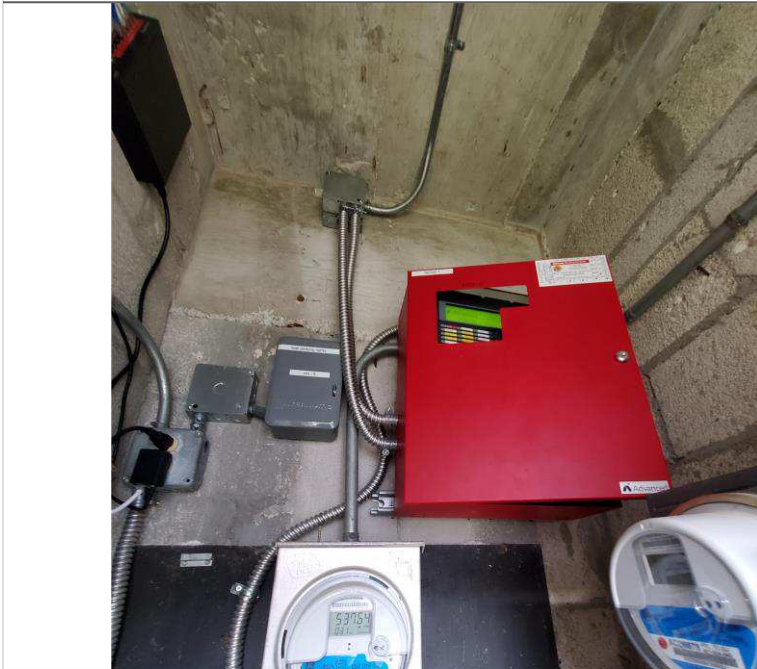
Rooftop -  
Rooftop Condenser Units

Junction boxes not properly supported.

Corroded conduits



Photo 13 – Village of Dadeland Condominium Association



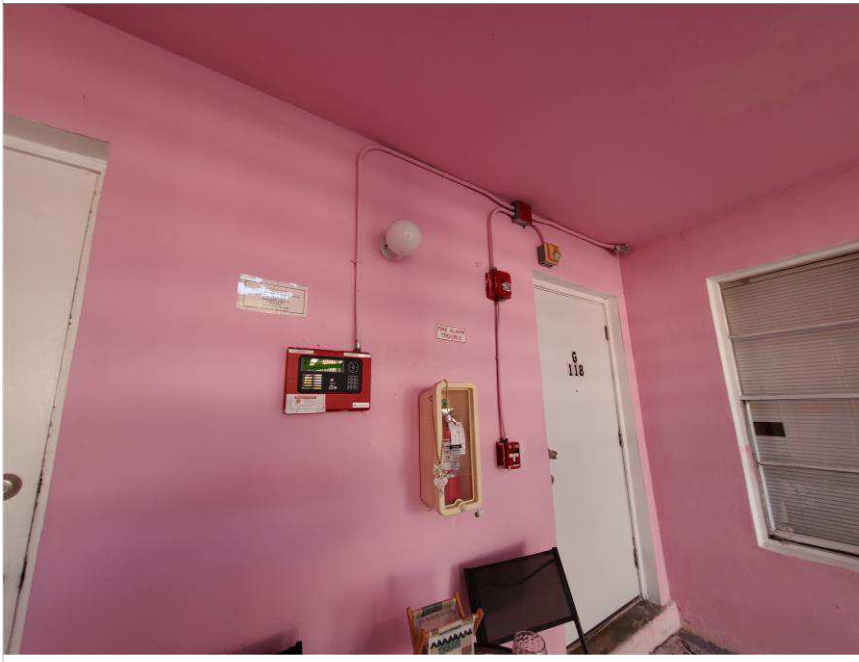
Existing Electrical Room - 1st FL  
Fire Alarm Panel

All penetrations or openings in  
walls are to be fire caulked.

Insufficient clearance in front of  
panel.

Panel is installed high.

Photo 14 – Village of Dadeland Condominium Association



Level 1  
Fire Alarm - Old and Weathered  
Fire Alarm Devices

Old Strobe Horn/Strobe Device



Photo 15 – Village of Dadeland Condominium Association

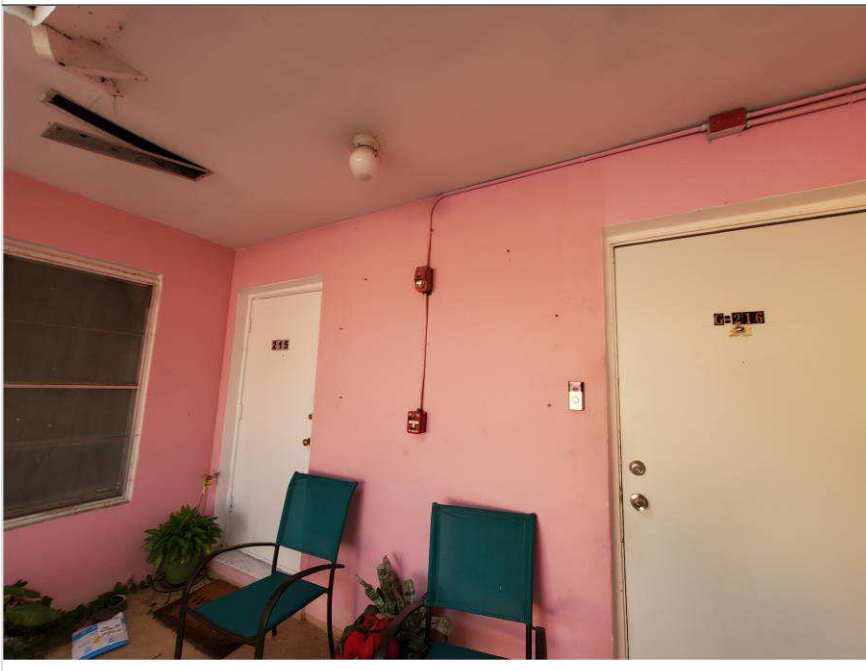


Level 2

Fire Alarm - Old and Weathered  
Fire Alarm Devices

Old Strobe Horn/Strobe Device  
and Pull Stations

Photo 16 – Village of Dadeland Condominium Association



Level 2

Fire Alarm - Old and Weathered  
Fire Alarm Devices

Old Strobe Horn/Strobe Device  
and Pull Stations

Photo 17 – Village of Dadeland Condominium Association



Parking/Catwalks -

Insufficient illumination at catwalks and sidewalks. Exterior lights are not functional.

Insufficient illumination at Parking Areas

Photo 18 – Village of Dadeland Condominium Association



Points of Egress

Poorly illuminated Areas  
Exterior lights are not functional.

Insufficient illumination at sidewalks and points of egress.

Photo 19 – Village of Dadeland Condominium Association



Apartments - Old Electrical Panels

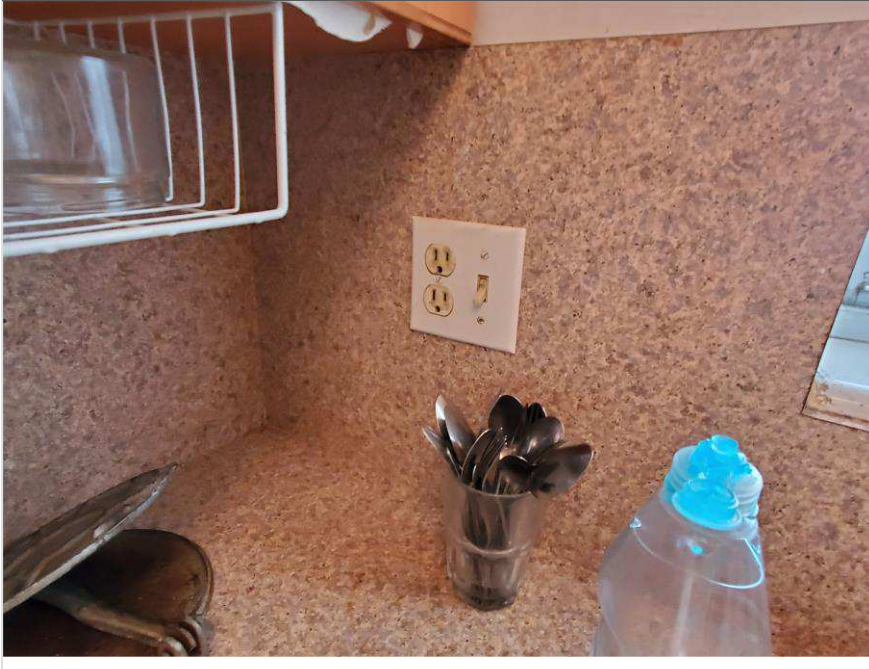
Photo 20 – Village of Dadeland Condominium Association



Apartments - Old Electrical Panels



Photo 21 – Village of Dadeland Condominium Association



Apartments - Kitchen outlets  
not GFCI type.

Photo 22 – Village of Dadeland Condominium Association



Apartments - Bathroom outlets  
not GFCI type.

Photo 23 – Village of Dadeland Condominium Association



Apartments - Balcony/Patio outlets not GFCI type.

Outlet is not in a HD waterproof enclosure.

Photo 24 – Village of Dadeland Condominium Association



Apartments - Old Smoke Detectors

Old Smoke Detectors to be replaced.

Photo 1 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
No Storage Permitted

Missing sign with Room name  
and Building number.

Photo 2 – Village of Dadeland Condominium Association



Existing Electrical Room - 1<sup>st</sup> FL  
Main Switches for Apartments,  
Meters, and Gutter.



Photo 3 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Main Disconnect and Meter  
Stacks

Photo 4 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Main Disconnect

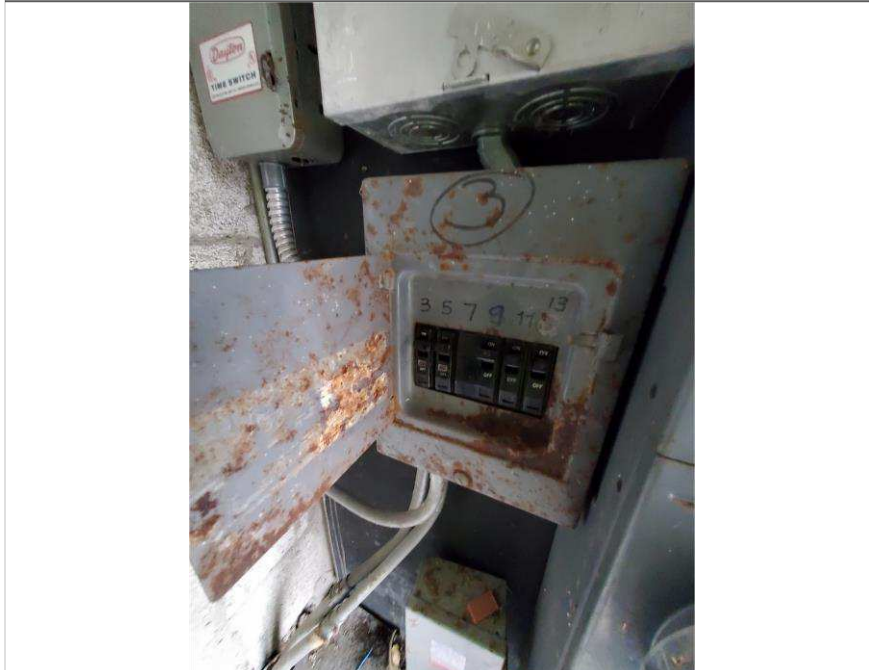
Oxidized tops and taps of  
Electrical Components.

Photo 5 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
House Panel Board and Meter.

Photo 6 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
House Panel Board and  
Breakers.

Old and oxidized panel.

Photo 7 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Apartment Meters and Gutter.

Old and corroded meter stacks.

Photo 8 – Village of Dadeland Condominium Association

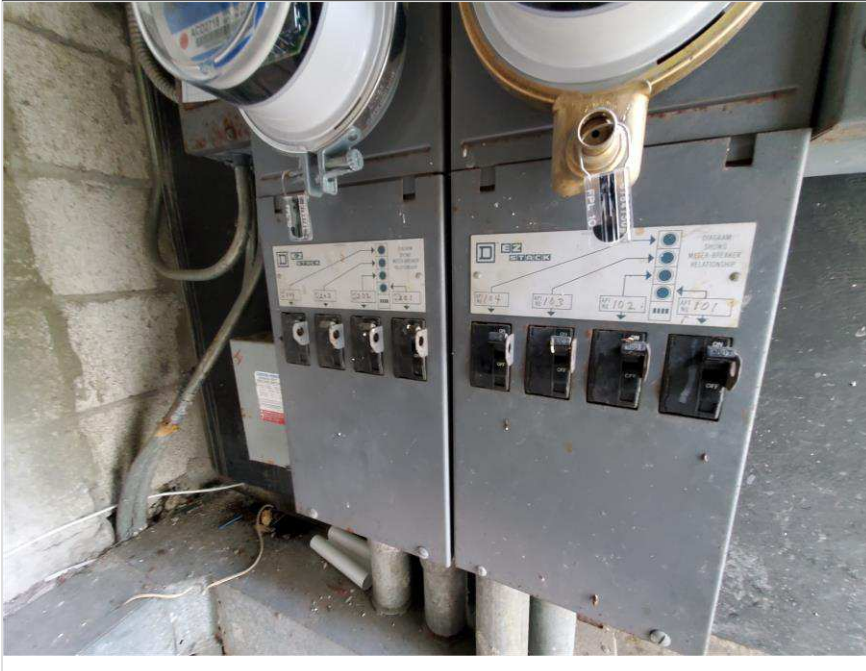


Existing Electrical Room - 1st FL  
Apartment Meters - Top View

Old and corroded meter stacks.



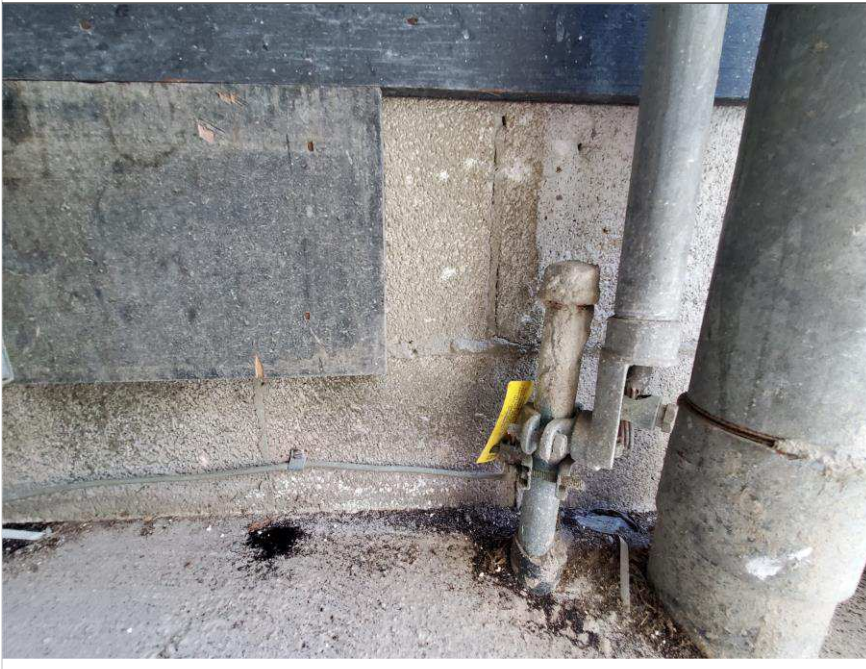
Photo 9 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Apartment Meters and Main  
Switches

Insufficient clearance at  
electrical components.

Photo 10 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Main Service - Grounding

Grounding resistance to be  
tested to determine if repairs  
and/or maintenance are  
required.



Photo 11 – Village of Dadeland Condominium Association



Rooftop Condenser Units -

Missing or improperly installed disconnect switches.

Photo 12 – Village of Dadeland Condominium Association



Rooftop Condenser Units -  
Corroded junction boxes and  
conduits.

Improperly installed switches.

Photo 13 – Village of Dadeland Condominium Association



Points of Egress -  
Poorly illuminated sidewalks and  
stairs.  
Exterior lights not functional.

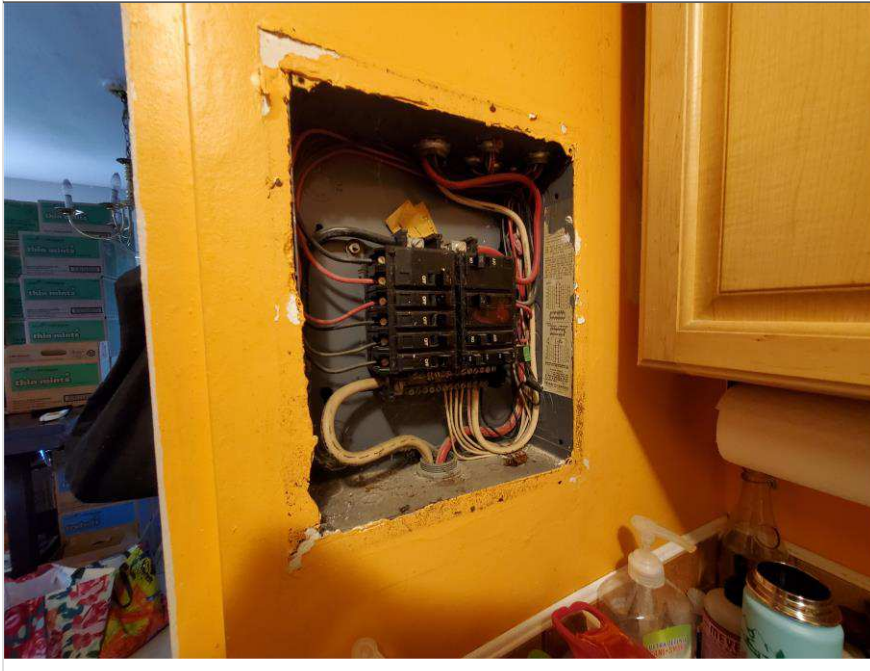
Photo 14 – Village of Dadeland Condominium Association



Points of Egress -  
Poorly illuminated sidewalks  
Exterior lights not functional



Photo 15 – Village of Dadeland Condominium Association



Apartments - Electrical Panels

Missing panel directory.

Photo 16 – Village of Dadeland Condominium Association



Apartments - Kitchen outlets are not GFCI type.

Photo 17 – Village of Dadeland Condominium Association



Apartments - Bathroom outlets  
are not GFCI type.

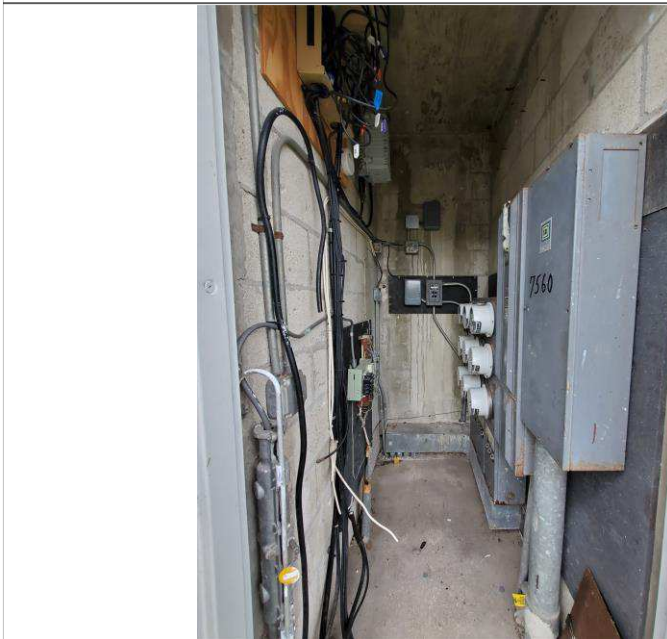
Photo 1 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
No Storage Permitted

Missing sign with Room name  
and Building number.

Photo 2 – Village of Dadeland Condominium Association



Existing Electrical Room - 1<sup>st</sup> FL  
Main Switches for Apartments,  
Meters, and Gutter.



Photo 3 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Main Disconnect and Meter  
Stacks

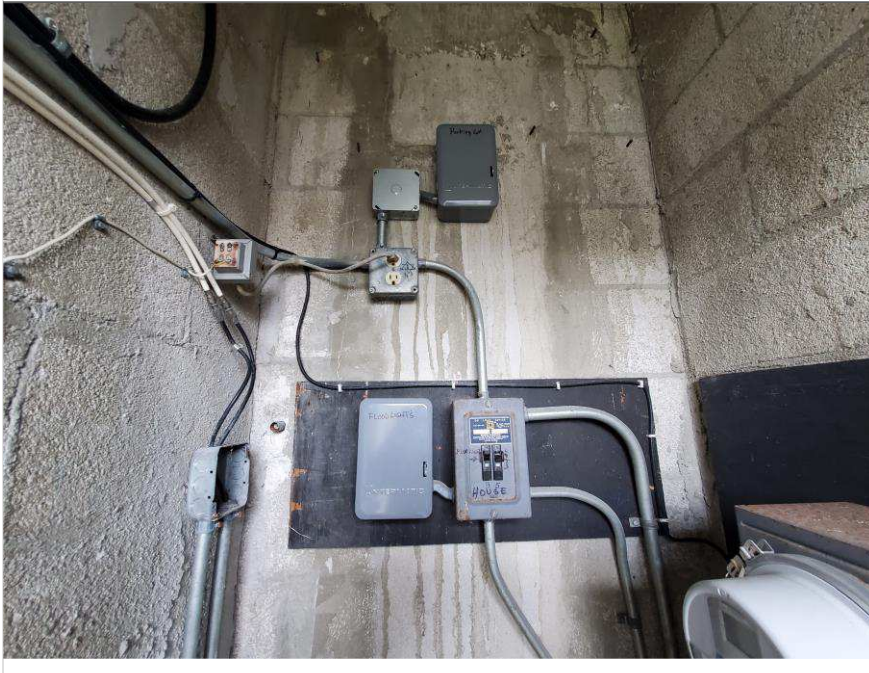
Photo 4 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Main Disconnect – Top View

Corroded tops and taps of  
electrical components.

Photo 5 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
House Panel Board and Meter

Open junction boxes to be  
closed.

All wall penetrations to be fire  
caulked.

Photo 6 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
House Panel Board and  
breakers.

Corroded panel and old circuit  
breakers.



Photo 7 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Main Switches for Apartments,  
Meters, and Gutter.

Old and corroded meter stacks.

Apartment Disconnect Switches  
are old.

Photo 8 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Apartment Meters - Top View

Old and corroded meter stacks.



Photo 9 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Apartment Meters, Gutter and  
Main Disconnect Switch

Insufficient clearance at  
electrical components.

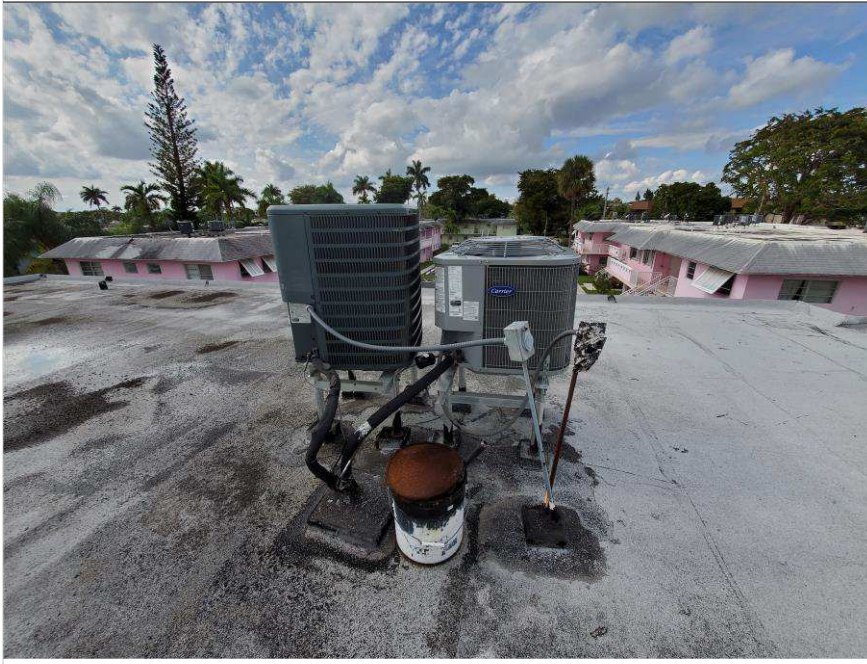
Photo 10 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Main Service - Grounding

Grounding resistance to be  
tested to determine if repairs  
and/or maintenance are  
required.

Photo 11 – Village of Dadeland Condominium Association



Rooftop Condenser Units -

Improperly supported switches.

Missing or non-compliant method of providing disconnect switches.

Corroded conduits and boxes.

Photo 12 – Village of Dadeland Condominium Association



Rooftop Condenser Units -

Corroded junction boxes and conduits.

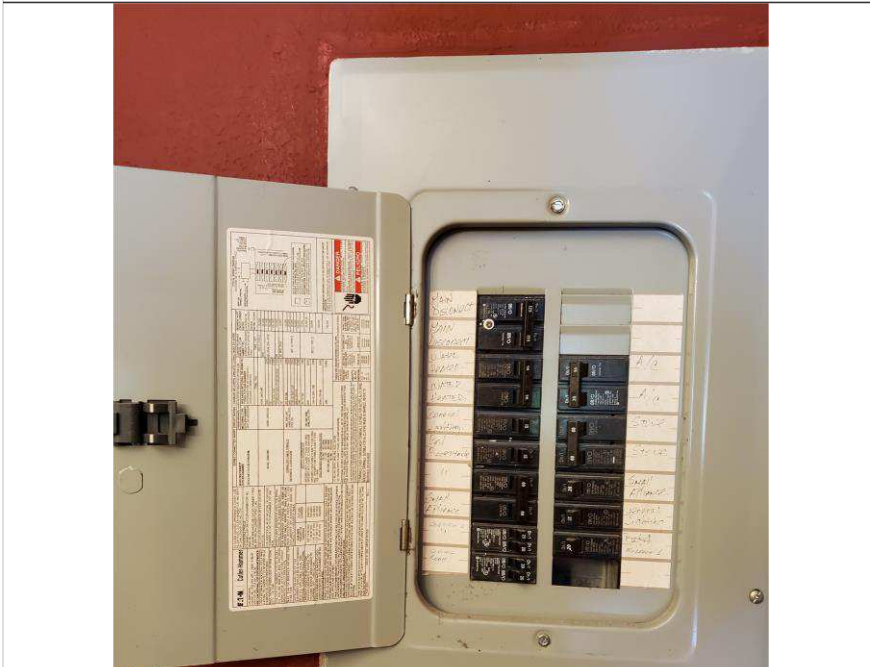


Photo 13 – Village of Dadeland Condominium Association



Points of Egress -  
Insufficient illumination at  
catwalks, stairs, and sidewalks.  
Exterior lights not functional.

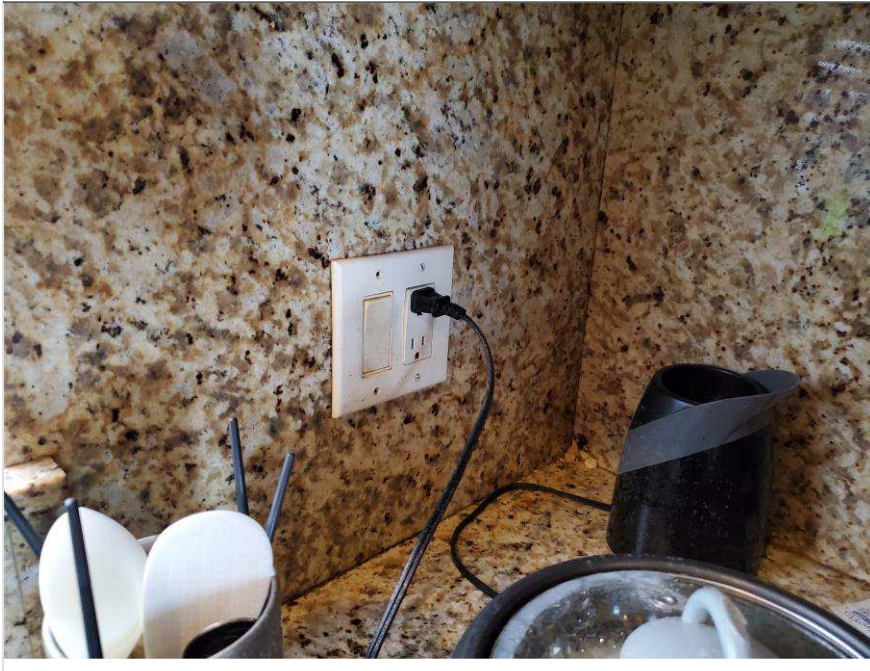
Photo 14 – Village of Dadeland Condominium Association



Apartments - Electrical Panels  
Open breaker slot.



Photo 15 – Village of Dadeland Condominium Association



Apartments - Kitchen outlets are not GFCI type.

Photo 16 – Village of Dadeland Condominium Association



Apartments - Bathroom outlets are not GFCI type.

Photo 17 – Village of Dadeland Condominium Association



Apartments - Bathroom outlets are not GFCI type.

Photo 18 – Village of Dadeland Condominium Association



Apartments - Old Detectors



DEPARTMENT OF REGULATORY  
AND ECONOMIC RESOURCES

MINIMUM INSPECTION PROCEDURAL GUIDELINES  
FOR BUILDING ELECTRICAL RECERTIFICATION

INSPECTION COMMENCED

Date: 1/17/2022

INSPECTION COMPLETED

Date: 1/28/2022



INSPECTION MADE BY: FLORIN FLOREA P.E.

SIGNATURE: \_\_\_\_\_

PRINT NAME: FLORIN FLOREA PE 91966 FLORIDA

TITLE: Sr Electrical Engineer

ADDRESS: 2500 Hollywood Blvd, Suite 212

Hollywood, FL 33020

DESCRIPTION OF STRUCTURE

- a. Name on Title: Village at Dadeland Condominiums (G)
- b. Street Address: 7530 SW 82nd St. Miami, Florida 33143
- c. Legal Description: Village at Dadeland Condominiums
- d. Owner's Name: Village at Dadeland Condominiums
- e. Owner's Mailing Address: 7530 SW 82nd St. Miami, Florida 33143
- f. Folio Number of Property on which Building is Located: 30-4035-047-XXXX
- g. Building Code Occupancy Classification: R2 - Residential
- h. Present Use: Condominium, Residential
- i. General Description, Type of Construction, Size, Number of Stories, and Special Features

Additional Comments:

The condominium building was built in 1968. Is a two story building comprised of concrete slab on compacted grade and stucco covered cmu exterior load bearing wall. The second floor catwalk consists of pre-cast concrete slabs, concrete tie columns and tie beams along exterior walls up to the roof level.

The roof is a low slope roof and comprised of timber trusses and plywood decking covered with a bituminous asphalt membrane. At the perimeter of the roof there are timber framed gable ends covered with asphalt shingles that also cover the building balconies and catwalks.

There is a Main Electrical Room at the rear of the building. There are multiple services at the building that are controlled by a main switch contained within the electrical room. The main switch controls power to the House Service Meter and the House Panel. The main switch also controls power to the individual condominium unit meters and breakers. The house panel serves common loads of the building.



**MINIMUM GUIDELINES AND INFORMATION FOR RECERTIFICATION OF ELECTRICAL  
SYSTEMS OF FORTY (40) YEAR STRUCTURES**

**1. ELECTRIC SERVICE**

1. Size:            Amperage            ( 400 )            Fuses            ( ☒ )            Breakers            (            )

2. Phase:            Three Phase            (            )            Single Phase            ( ☒ )

3. Condition:            Good            (            )            Fair            (            )            Needs Repair            ( ☒ )

Comments:    Main Power (1) 400A 120/240V AC 1 Phase 3 Wire - Poor Condition Old with Rust

(1) House Panel is 100A 120/240V AC 1 Phase 3 Wire - Poor Condition Old with Rust

(2) Meter Center 120/240V AC 1 Phase 3 Wire - 4 Meter each serving a 100A Branch Circuit.

**2. METER AND ELECTRIC ROOM**

1. Clearances:            Good    (            )            Fair    (            )            Requires Correction            ( ☒ )

Comments:    Main Power - Insufficient Clearance 22", House Panel Insufficient Clearance 26", and

Meter Center - Insufficient Clearance 18.5". All electrical equipment is old and has corrosion.

All electrical equipment and branch circuits shall be clearly labeled and identified.

**3. GUTTERS**

Location: Go            od            (            )            Requires Repair            ( ☒ )

Taps and Fill:            Good            (            )            Requires Repair            ( ☒ )

Comments:    Observed corrosion, requires maintenance.

#### 4. ELECTRICAL PANELS

Location:                      Good        (            )        Needs Repair        ( ☒ )

1. Panel #( House )

   Good        (            )        Needs Repair        ( ☒ )

2. Panel #(            )

   Good        (            )        Needs Repair        (            )

3. Panel #(            )

   Good        (            )        Needs Repair        (            )

4. Panel #(            )

   Good        (            )        Needs Repair        (            )

5. Panel #(            )

   Good        (            )        Needs Repair        (            )

Comments: Panel is old and has considerable corrosion. Panel needs to be replaced.

Insufficient Clearance only 26" at Panel.

#### 5. BRANCH CIRCUITS:

1. Identified:                      Yes        (            )        Must be identified ( ☒ )

2. Conductors:                      Good        (            )        Deteriorated        (            )        Must be replaced (            )

Comments: All branch circuits must be clearly identified. Conductors not visible.

**6. GROUNDING SERVICE:**

Good ( ) Repairs Required ( ☒ )

Comments: Observed corrosion and/or section loss at the ground bars. We recommend that grounding resistance to be tested by an electrician and repaired/replaced if necessary.

**7. GROUNDING OF EQUIPMENT:**

Good ( ) Repairs Required ( ☒ )

Comments: Observed corrosion and/or possible section loss at the ground bars. We recommend that the grounding of equipment be replaced/repaired by an electrician.

**8. SERVICE CONDUITS/RACEWAYS:**

Good ( ) Repairs Required ( ☒ )

Comments: Conduits and outlet are corroded. Open junction boxes to be closed.

**9. SERVICE CONDUCTOR AND CABLES:**

Good ( ) Repairs Required ( )

Comments: Service conductors and cables were concealed.



**10. TYPES OF WIRING METHODS:**

Conduit Raceways:	Good	( <input checked="" type="checkbox"/> )	Repairs Required	(       )
Conduit PVC:	Good	(       )	Repairs Required	(       )
NM Cable:	Good	(       )	Repairs Required	(       )
BX Cable:	Good	(       )	Repairs Required	(       )

**11. FEEDER CONDUCTORS:**

Good (       ) Repairs Required (       )

Comments: Feeder cables were concealed.

**12. EMERGENCY LIGHTING:**

Good (       ) Repairs Required (       )

Comments: N/A

**13. BUILDING EGRESS ILLUMINATION:**

Good (       ) Repairs Required ( ☒ )

Comments: Light out at catwalk - Repairs Required

**14. FIRE ALARM SYSTEM:**

Good ( ) Repairs Required ( )

Comments: N/A

**15. SMOKE DETECTORS:**

Good ( ) Repairs Required ( ☒ )

Comments: All old smoke detectors to be replaced. Smoke detectors to be installed and maintained in all .  
main electric rooms. Apartments - Not all apartments have smoke detectors in the living room, hallways,  
and/or bedrooms. All units to be verified for compliance.

**16. EXIT LIGHTS:**

Good ( ) Repairs Required ( )

Comments: N/A

**17. EMERGENCY GENERATOR:**

Good ( ) Repairs Required ( )

Comments: N/A

#### 18. WIRING IN OPEN OR UNDER COVER PARKING GARAGE AREAS:

Require Additional

Go od ( ) Repairs Required ( )

Comments: Wiring was concealed

#### 19. OPEN OR UNDERCOVER PARKING GARAGE AREAS AND EGRESS ILLUMINATION:

Require Additional

Go od ( ) Repairs Required ( ☒ )

Comments: Open parking areas have low illumination levels creating unsafe conditions and security concerns. Additional lighting is required to illuminate the parking walking surfaces for safety and security purposes. Parking lights mounted on other buildings are out - Repairs Required.

#### 20. SWIMMING POOL WIRING:

Go od ( ) Repairs Required ( )

Comments: N/A

#### 21. WIRING TO MECHANICAL EQUIPMENT:

Go od ( ) Repairs Required ( ☒ )

Comments: 1. Mechanical Rooftop Equipment - Repairs/Replacement Required at all oxidized electrical disconnect boxes, supports, and conduit. All disconnect switches are to be operable and inside electrical components rust free. 2. All Rooftop Mechanical Equipment and Disconnect Switches to be properly identified.



## 22. ADDITIONAL COMMENTS:

- |   |
|---|
| 1. Not all apartments have GFCI type outlets in Kitchens, Bathrooms, and or Balconies - Repairs Required        |
| 2. Unit G202 - Bathroom outlets are not GFCI type , Repairs Required  |
| 3. Unit G202 - Kitchen outlets are not GFCI type, Repairs Required  |
| 4. All Kitchen Island outlets are to be GFCI type, Repairs Required   |
| 5. Electrical outlets that have an open ground and/or are hot are to be repaired.                               |
| 6. All Balcony and Patio outlets to be GFCI type and should be installed in a HD waterproof enclosure.          |
| 7. Not all balcony and/or patio outlets are GFCI type outlets, Repairs Required.                                |
| 8. Not all balcony and/or patio outlets are WP type, Repairs Required.  |
| 9. Electrical Panels in the apartments have considerable oxidation and are to be replaced.                      |
| 10. Electrical Panels in the apartments are missing labels and/or are not properly identified.                  |
| 11. All Electrical Panels in the apartments are to be properly labeled with branch circuits clearly identified. |
| 12. All Electric Panel covers to properly fit over circuit breakers boards.                                     |
13. Some Electrical Panel covers do not fit properly leaving lots of space around the circuit breakers.
14. All electrical panels installed 40 years or later, even though in good working order has passed its useful life and is recommended to be replaced.
- SD:rs:vc:mb:js:jg:rtc1:10/12/2015:40yrtrackingsystem
15. All open outlets, switches, or junction boxes are to be repaired.
16. All Open Neutral Wiring or Open Ground at bathroom or Kitchen outlet, repairs required.
17. Time clock installed too high, repairs required.
18. Fire caulk all wall and ceiling penetrations at electric room.

Photo 1 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
No Storage Permitted

Missing sign with Room name  
and Building number.

Photo 2 – Village of Dadeland Condominium Association



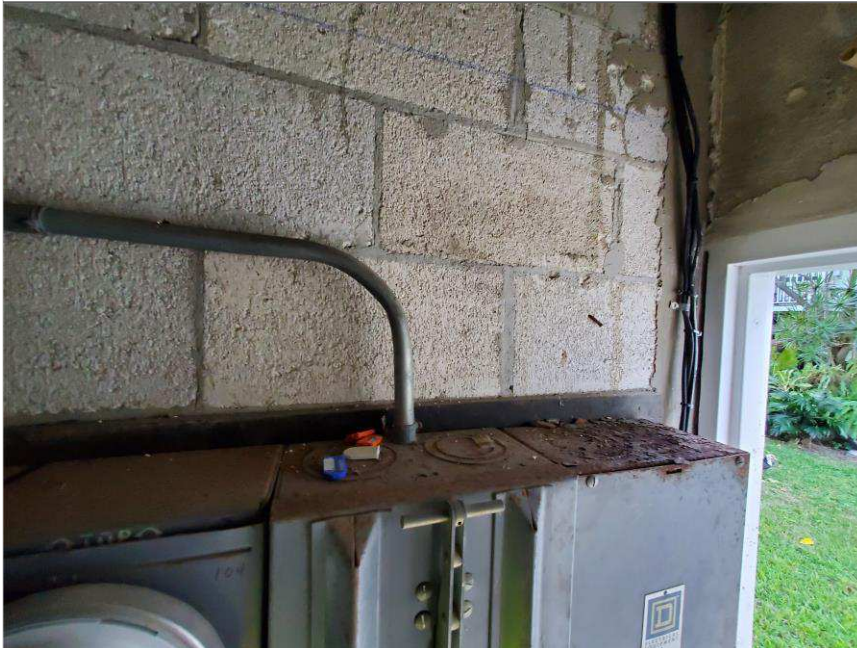
Existing Electrical Room - 1<sup>st</sup> FL  
Main Switches for Apartments,  
Meters, and Gutter.

Photo 3 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Main Disconnect and Meter  
Stacks

Photo 4 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Main Disconnect

Oxidized tops and taps of  
Electrical Components.



Photo 5 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
House Panel Board and Meter.

Photo 6 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
House Panel Board and  
Breakers.

Old and oxidized panel.

Photo 7 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Apartment Meters and Gutter.

Old and corroded meter stacks.

Photo 8 – Village of Dadeland Condominium Association

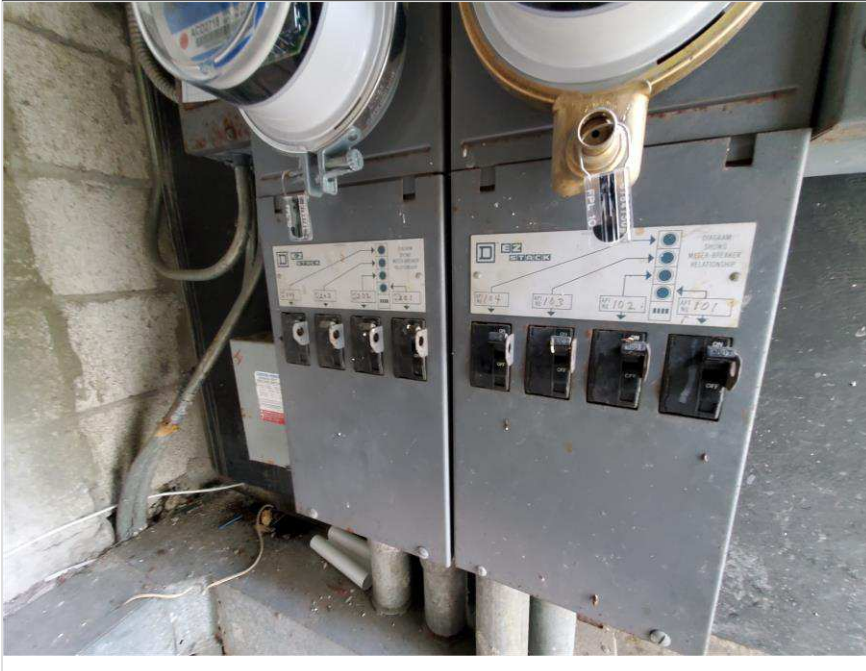


Existing Electrical Room - 1st FL  
Apartment Meters - Top View

Old and corroded meter stacks.



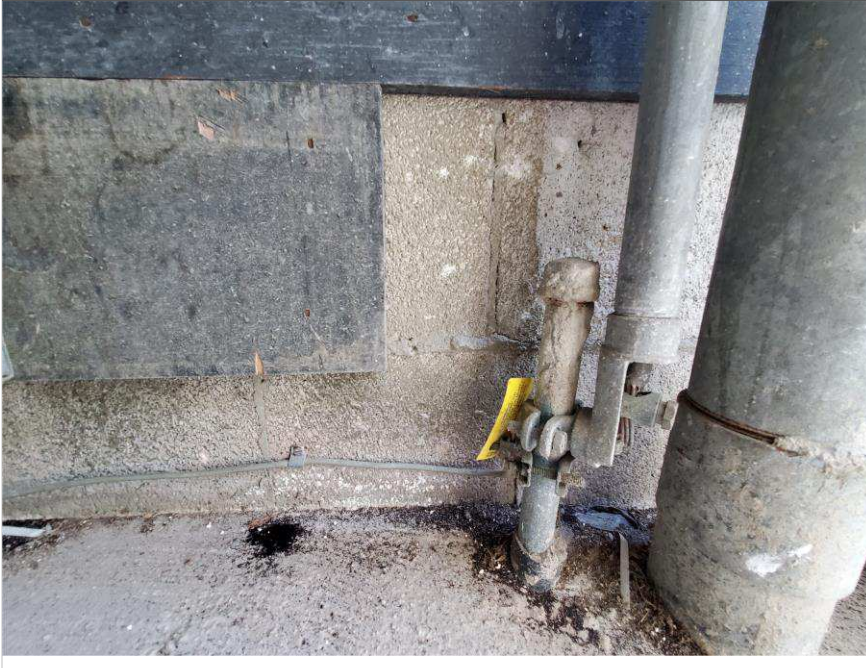
Photo 9 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Apartment Meters and Main  
Switches

Insufficient clearance at  
electrical components.

Photo 10 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Main Service - Grounding

Grounding resistance to be  
tested to determine if repairs  
and/or maintenance are  
required.



Photo 11 – Village of Dadeland Condominium Association



Rooftop Condenser Units -

Missing or improperly installed disconnect switches.

Photo 12 – Village of Dadeland Condominium Association



Rooftop Condenser Units -  
Corroded junction boxes and  
conduits.

Improperly installed switches.

Photo 13 – Village of Dadeland Condominium Association



Points of Egress -  
Poorly illuminated sidewalks and  
stairs.  
Exterior lights not functional.

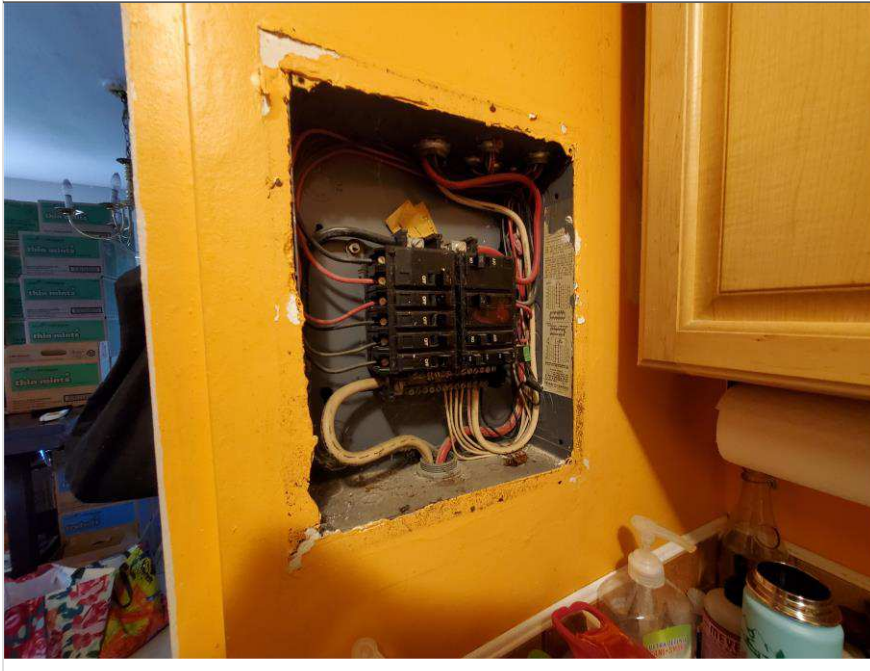
Photo 14 – Village of Dadeland Condominium Association



Points of Egress -  
Poorly illuminated sidewalks  
Exterior lights not functional



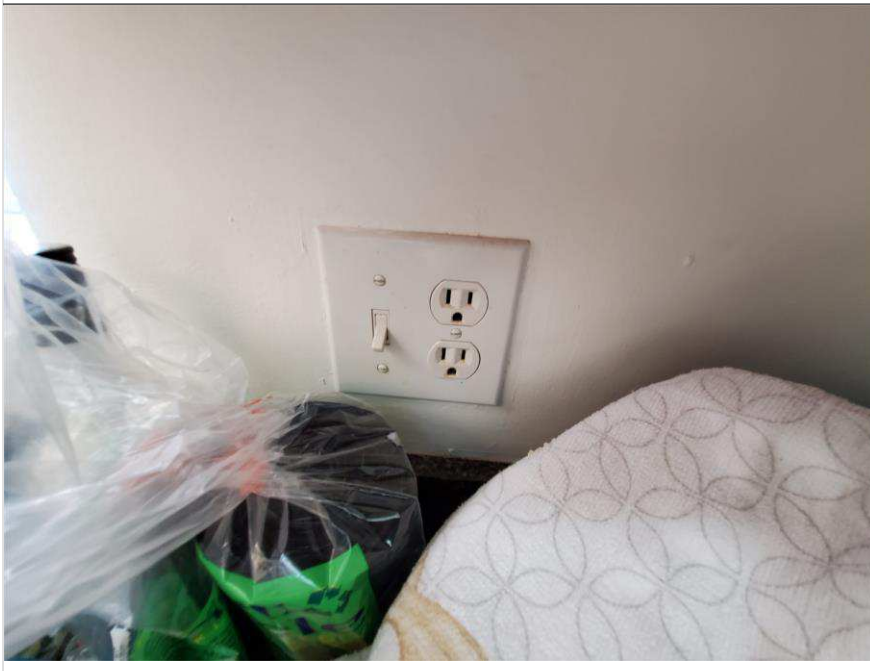
Photo 15 – Village of Dadeland Condominium Association



Apartments - Electrical Panels

Missing panel directory.

Photo 16 – Village of Dadeland Condominium Association



Apartments - Kitchen outlets are not GFCI type.



Photo 17 – Village of Dadeland Condominium Association



Apartments - Bathroom outlets  
are not GFCI type.

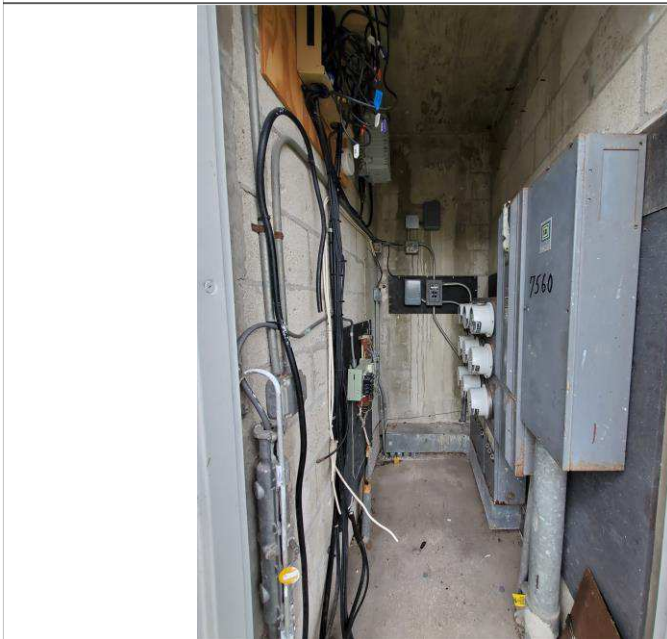
Photo 1 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
No Storage Permitted

Missing sign with Room name  
and Building number.

Photo 2 – Village of Dadeland Condominium Association



Existing Electrical Room - 1<sup>st</sup> FL  
Main Switches for Apartments,  
Meters, and Gutter.

Photo 3 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Main Disconnect and Meter  
Stacks

Photo 4 – Village of Dadeland Condominium Association

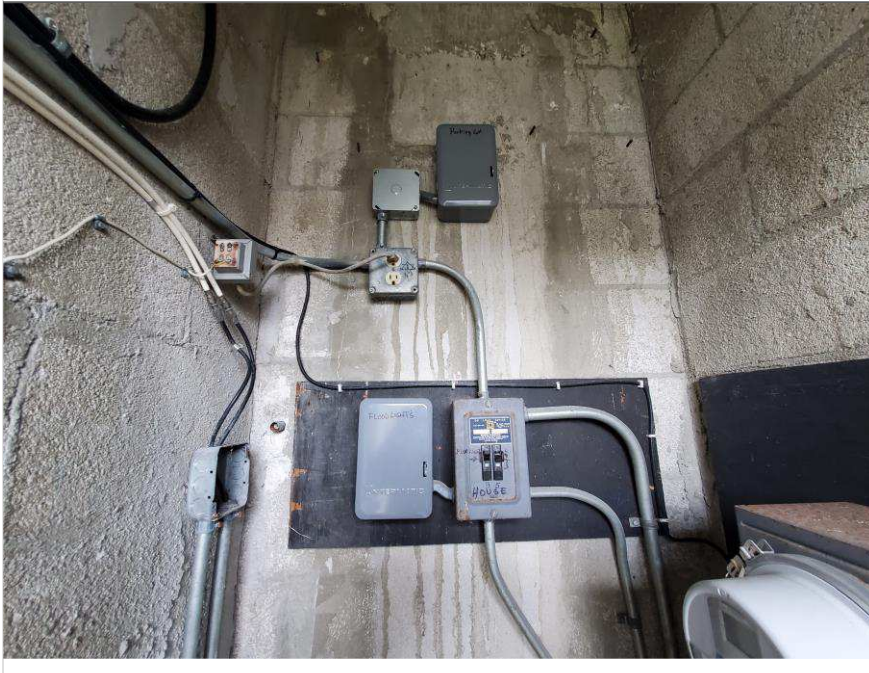


Existing Electrical Room - 1st FL  
Main Disconnect – Top View

Corroded tops and taps of  
electrical components.



Photo 5 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
House Panel Board and Meter

Open junction boxes to be  
closed.

All wall penetrations to be fire  
caulked.

Photo 6 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
House Panel Board and  
breakers.

Corroded panel and old circuit  
breakers.

Photo 7 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Main Switches for Apartments,  
Meters, and Gutter.

Old and corroded meter stacks.

Apartment Disconnect Switches  
are old.

Photo 8 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Apartment Meters - Top View

Old and corroded meter stacks.



Photo 9 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Apartment Meters, Gutter and  
Main Disconnect Switch

Insufficient clearance at  
electrical components.

Photo 10 – Village of Dadeland Condominium Association

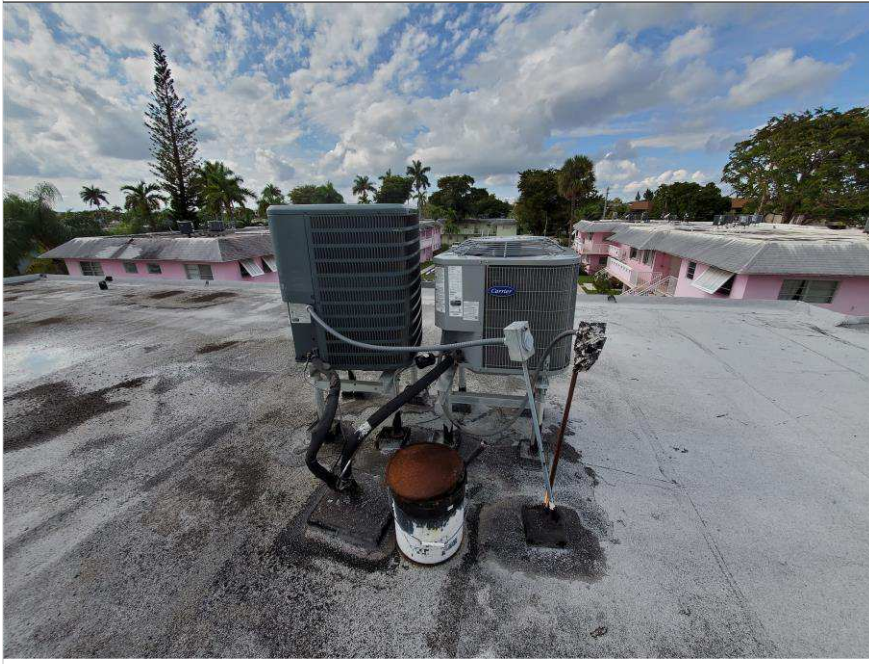


Existing Electrical Room - 1st FL  
Main Service - Grounding

Grounding resistance to be  
tested to determine if repairs  
and/or maintenance are  
required.



Photo 11 – Village of Dadeland Condominium Association



Rooftop Condenser Units -

Improperly supported switches.

Missing or non-compliant method of providing disconnect switches.

Corroded conduits and boxes.

Photo 12 – Village of Dadeland Condominium Association



Rooftop Condenser Units -

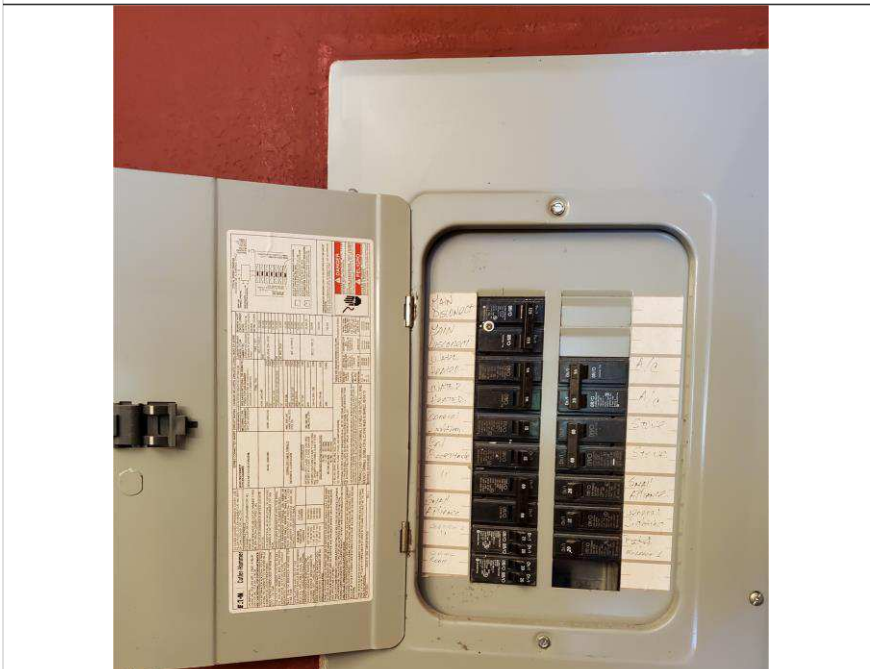
Corroded junction boxes and conduits.

Photo 13 – Village of Dadeland Condominium Association



Points of Egress -  
Insufficient illumination at  
catwalks, stairs, and sidewalks.  
Exterior lights not functional.

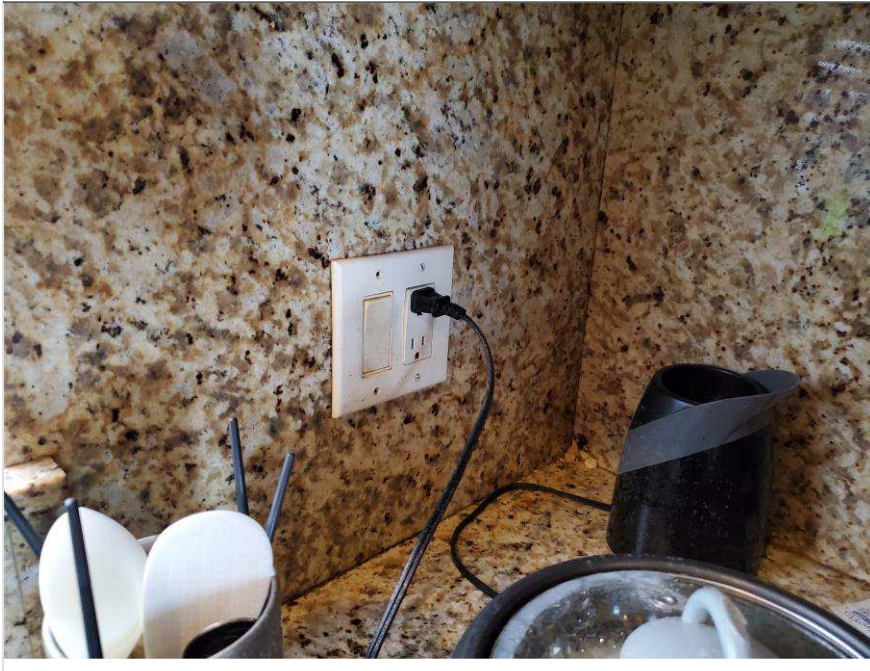
Photo 14 – Village of Dadeland Condominium Association



Apartments - Electrical Panels  
Open breaker slot.



Photo 15 – Village of Dadeland Condominium Association



Apartments - Kitchen outlets are not GFCI type.

Photo 16 – Village of Dadeland Condominium Association



Apartments - Bathroom outlets are not GFCI type.

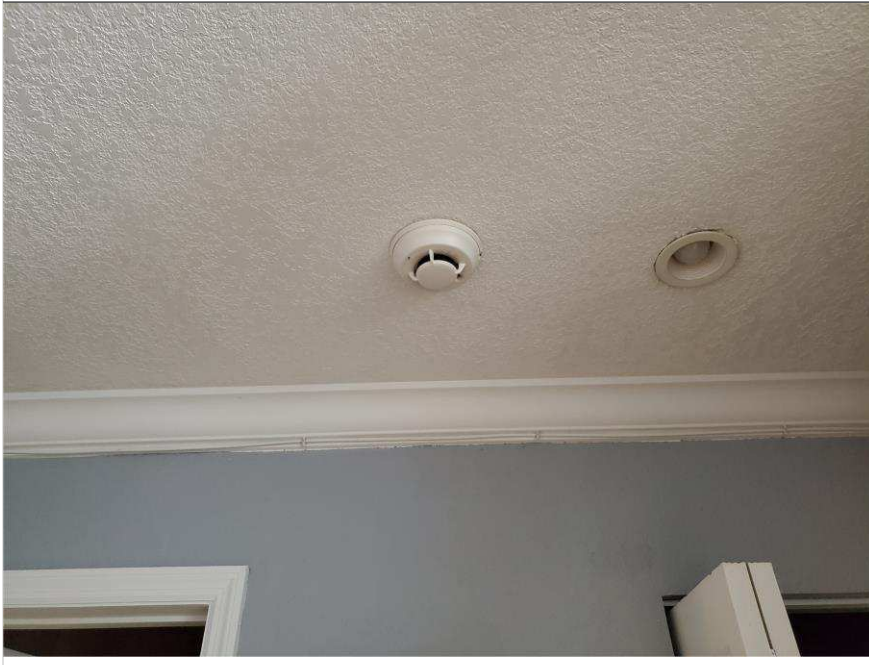


Photo 17 – Village of Dadeland Condominium Association



Apartments - Bathroom outlets are not GFCI type.

Photo 18 – Village of Dadeland Condominium Association



Apartments - Old Detectors



DEPARTMENT OF REGULATORY  
AND ECONOMIC RESOURCES

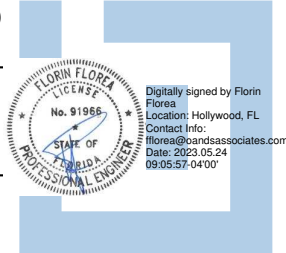
MINIMUM INSPECTION PROCEDURAL GUIDELINES  
FOR BUILDING ELECTRICAL RECERTIFICATION

INSPECTION COMMENCED

Date: 1/17/2022

INSPECTION COMPLETED

Date: 1/28/2022



INSPECTION MADE BY: FLORIN FLOREA P.E

SIGNATURE:

PRINT NAME: FLORIN FLOREA PE 91966 FLORIDA

TITLE: Sr Electrical Engineer

ADDRESS: 2500 Hollywood Blvd, Suite 212

Hollywood, FL 33020

DESCRIPTION OF STRUCTURE

- a. Name on Title: Village at Dadeland Condominiums (G)
- b. Street Address: 7560 SW 82nd St. Miami, Florida 33143
- c. Legal Description: Village at Dadeland Condominiums
- d. Owner's Name: Village at Dadeland Condominiums
- e. Owner's Mailing Address: 7560 SW 82nd St. Miami, Florida 33143
- f. Folio Number of Property on which Building is Located: 30-4035-047-XXXX
- g. Building Code Occupancy Classification: R2 - Residential
- h. Present Use: Condominium, Residential
- i. General Description, Type of Construction, Size, Number of Stories, and Special Features

Additional Comments:

The condominium building was built in 1968. Is a two story building comprised of concrete slab on compacted grade and stucco covered cmu exterior load bearing wall. The second floor catwalk consists of pre-cast concrete slabs, concrete tie columns and tie beams along exterior walls up to the roof level.

The roof is a low slope roof and comprised of timber trusses and plywood decking covered with a bituminous asphalt membrane. At the perimeter of the roof there are timber framed gable ends covered with asphalt shingles that also cover the building balconies and catwalks.

There is a Main Electrical Room at the rear of the building. There are multiple services at the building that are controlled by a main switch contained within the electrical room. The main switch controls power to the House Service Meter and the House Panel. The main switch also controls power to the individual condominium unit meters and breakers. The house panel serves common loads of the building.

**MINIMUM GUIDELINES AND INFORMATION FOR RECERTIFICATION OF ELECTRICAL  
SYSTEMS OF FORTY (40) YEAR STRUCTURES**

**1. ELECTRIC SERVICE**

1. Size:            Amperage            ( 400 )            Fuses            ( ☒ )            Breakers            (            )

2. Phase:            Three Phase            (            )            Single Phase            ( ☒ )

3. Condition:            Good            (            )            Fair            (            )            Needs Repair            ( ☒ )

Comments:    Main Power (1) 600A 120/240V AC 1 Phase 3 Wire - Poor Condition Old with Rust

(1) House Panel is 70A (40A Main Breaker) 120/240V AC 1 Phase 3 Wire - Poor Condition Rusted

(3) Meter Center 120/240V AC 1 Phase 3 Wire - 3 Meters each serving a 100A Branch Circuit.

**2. METER AND ELECTRIC ROOM**

1. Clearances:            Good    (            )            Fair    (            )            Requires Correction            ( ☒ )

Comments:    Main Power - Insufficient Clearance 25", House Panel Insufficient Clearance 25" side to side,  
and Meter Center - Insufficient Clearance 19". All electrical equipment is old and has corrosion.

All electrical equipment and branch circuits shall be clearly labeled and identified.

**3. GUTTERS**

Location: Go            od    (            )            Requires Repair            ( ☒ )

Taps and Fill:            Good    (            )            Requires Repair            ( ☒ )

Comments:    Observed corrosion, requires maintenance.



#### 4. ELECTRICAL PANELS

Location: Good ( ) Needs Repair ( ☒ )

1. Panel #( House )

Good ( ) Needs Repair ( ☒ )

2. Panel #( )

Good ( ) Needs Repair ( )

3. Panel #( )

Good ( ) Needs Repair ( )

4. Panel #( )

Good ( ) Needs Repair ( )

5. Panel #( )

Good ( ) Needs Repair ( )

Comments: Panel is old and has corrosion, replace panel.

Insufficient Clearance side to side only 25" at Panel.

#### 5. BRANCH CIRCUITS:

1. Identified: Yes ( ) Must be identified ( ☒ )

2. Conductors: Good ( ) Deteriorated ( ) Must be replaced ( )

Comments: All branch circuits must be clearly identified. Conductors not visible. Old Branch Circuits.

#### 6. GROUNDING SERVICE:

Good ( ) Repairs Required ( ☒ )

Comments: Observed corrosion and/or section loss at the ground bars. We recommend that grounding resistance to be tested by an electrician and repaired/replaced if necessary.

#### 7. GROUNDING OF EQUIPMENT:

Good ( ) Repairs Required ( ☒ )

Comments: Observed corrosion and/or possible section loss at the ground bars. We recommend that the grounding of equipment be replaced/repaired by an electrician.

#### 8. SERVICE CONDUITS/RACEWAYS:

Good ( ) Repairs Required ( ☒ )

Comments: Some conduits are corroded, open and corroded junction boxes and corroded outlet.

#### 9. SERVICE CONDUCTOR AND CABLES:

Good ( ) Repairs Required ( )

Comments: Service conductors and cables were concealed.

**10. TYPES OF WIRING METHODS:**

Conduit Raceways:	Good	( <input checked="" type="checkbox"/> )	Repairs Required	(       )
Conduit PVC:	Good	(       )	Repairs Required	(       )
NM Cable:	Good	(       )	Repairs Required	(       )
BX Cable:	Good	(       )	Repairs Required	(       )

**11. FEEDER CONDUCTORS:**

Good	(       )	Repairs Required	(       )
------	-----------	------------------	-----------

Comments: Feeder cables were concealed.

**12. EMERGENCY LIGHTING:**

Good	(       )	Repairs Required	(       )
------	-----------	------------------	-----------

Comments: N/A

**13. BUILDING EGRESS ILLUMINATION:**

Good	(       )	Repairs Required	( <input checked="" type="checkbox"/> )
------	-----------	------------------	---

Comments: Low illumination levels at catwalks and sidewalks - Repairs Required



**14. FIRE ALARM SYSTEM:**

Good ( ) Repairs Required ( )

Comments: N/A

**15. SMOKE DETECTORS:**

Good ( ) Repairs Required ( ☒ )

Comments: All old smoke detectors to be replaced. Smoke detectors to be installed and maintained in all .  
main electric rooms. Apartments - Not all apartments have smoke detectors in the living room, hallways,  
and/or bedrooms. As observed in Units G114, all other units to be verified for compliance.

**16. EXIT LIGHTS:**

Good ( ) Repairs Required ( )

Comments: N/A

**17. EMERGENCY GENERATOR:**

Good ( ) Repairs Required ( )

Comments: N/A

#### 18. WIRING IN OPEN OR UNDER COVER PARKING GARAGE AREAS:

Require Additional

Go od ( ) Repairs Required ( )

Comments: Wiring was concealed

#### 19. OPEN OR UNDERCOVER PARKING GARAGE AREAS AND EGRESS ILLUMINATION:

Require Additional

Go od ( ) Repairs Required ( ☒ )

Comments: Open parking areas have low illumination levels creating unsafe conditions and security concerns. Additional lighting is required to illuminate the parking walking surfaces for safety and security purposes. Parking lights mounted on other buildings are out - Repairs Required.

#### 20. SWIMMING POOL WIRING:

Go od ( ) Repairs Required ( )

Comments: N/A

#### 21. WIRING TO MECHANICAL EQUIPMENT:

Go od ( ) Repairs Required ( ☒ )

Comments: 1. Mechanical Rooftop Equipment - Repairs/Replacement Required at all oxidized electrical disconnect boxes, supports, and conduit. All disconnect switches are to be operable and inside electrical components rust free. 2. All Rooftop Mechanical Equipment and Disconnect Switches to be properly identified.

## 22. ADDITIONAL COMMENTS:

1. Not all apartments have GFCI type outlets in Kitchens, Bathrooms, and or Balconies - Repairs Required
2. Unit G213 - Bathroom outlets are not GFCI type, Repairs Required
3. Unit G114, G213 - Kitchen outlets are not GFCI type, Repairs Required
4. All Kitchen Island outlets are to be GFCI type, Repairs Required
5. Electrical outlets that have an open ground and/or are hot are to be repaired.
6. All Balcony and Patio outlets to be GFCI type and should be installed in a HD waterproof enclosure.
7. Not all balcony and/or patio outlets are GFCI type outlets, Repairs Required.
8. Not all balcony and/or patio outlets are WP type, Repairs Required.
9. Electrical Panels in the apartments have considerable oxidation and are to be replaced.
10. Electrical Panels in the apartments are missing labels and/or are not properly identified.
11. All Electrical Panels in the apartments are to be properly labeled with branch circuits clearly identified.
12. All Electric Panel covers to properly fit over circuit breakers boards.

13. Some Electrical Panel covers do not fit properly leaving lots of space around the circuit breakers.

14. All electrical panels installed 40 years or later, even though in good working order has passed its useful life and is recommended to be replaced.

SD:rs:vc:mb:js:jg:rtc1:10/12/2015:40yrtrackingsystem

15. All open outlets, switches, or junction boxes are to be repaired.

16. Unit G114 - Open Neutral Wiring or Open Ground at bathroom or Kitchen outlet, repairs required.

17. Time clocks, Disconnects, and Electric Panel installed too high, repairs required.

18. Time Clocks installed too high at 81" A.F.F. - Repairs Required.

19. Fire caulk all wall and ceiling penetrations at electric room.



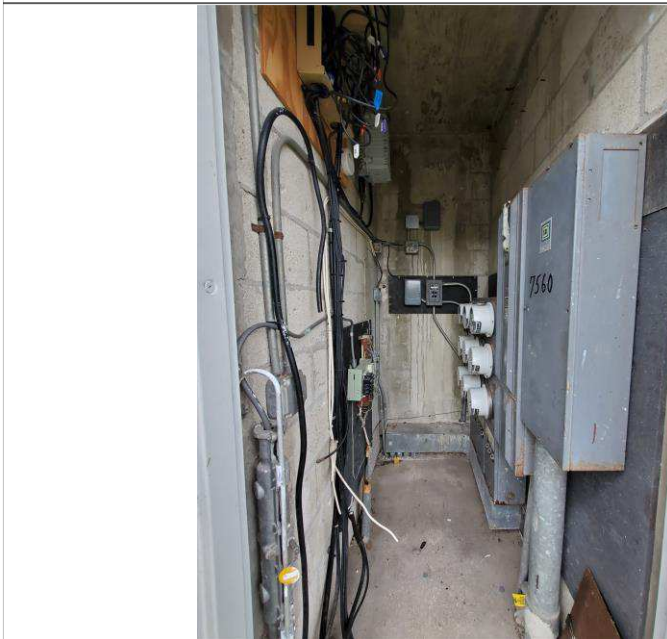
Photo 1 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
No Storage Permitted

Missing sign with Room name  
and Building number.

Photo 2 – Village of Dadeland Condominium Association



Existing Electrical Room - 1<sup>st</sup> FL  
Main Switches for Apartments,  
Meters, and Gutter.

Photo 3 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Main Disconnect and Meter  
Stacks

Photo 4 – Village of Dadeland Condominium Association

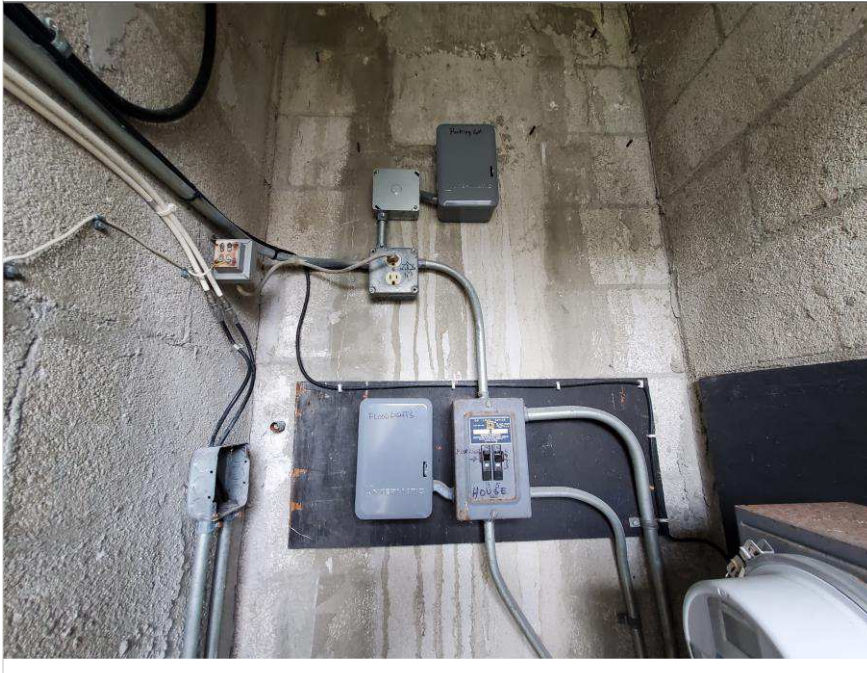


Existing Electrical Room - 1st FL  
Main Disconnect – Top View

Corroded tops and taps of  
electrical components.



Photo 5 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
House Panel Board and Meter

Open junction boxes to be  
closed.

All wall penetrations to be fire  
caulked.

Photo 6 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
House Panel Board and  
breakers.

Corroded panel and old circuit  
breakers.



Photo 7 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Main Switches for Apartments,  
Meters, and Gutter.

Old and corroded meter stacks.

Apartment Disconnect Switches  
are old.

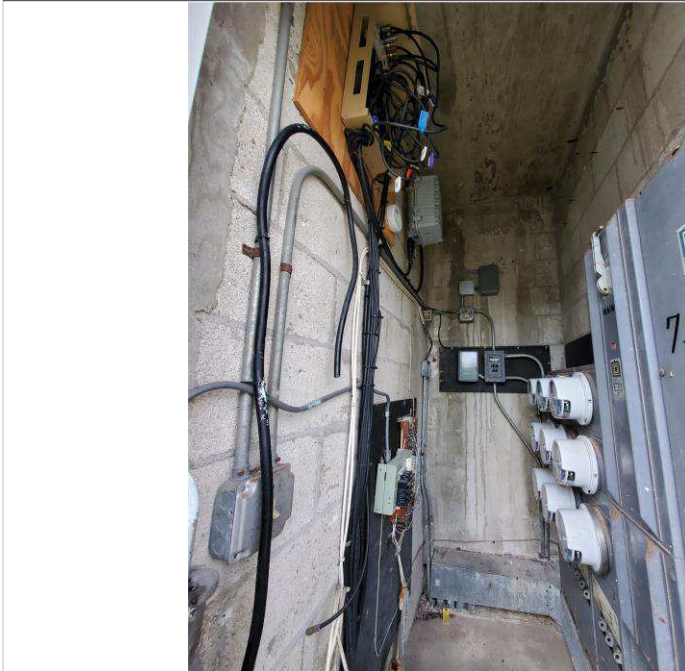
Photo 8 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Apartment Meters - Top View

Old and corroded meter stacks.

Photo 9 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL  
Apartment Meters, Gutter and  
Main Disconnect Switch

Insufficient clearance at  
electrical components.

Photo 10 – Village of Dadeland Condominium Association

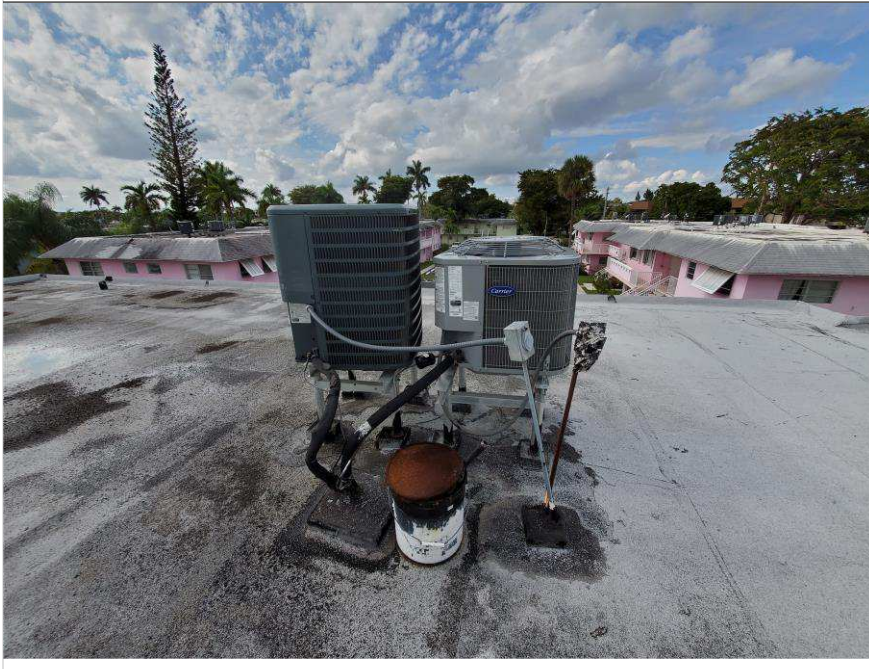


Existing Electrical Room - 1st FL  
Main Service - Grounding

Grounding resistance to be  
tested to determine if repairs  
and/or maintenance are  
required.



Photo 11 – Village of Dadeland Condominium Association



Rooftop Condenser Units -

Improperly supported switches.

Missing or non-compliant method of providing disconnect switches.

Corroded conduits and boxes.

Photo 12 – Village of Dadeland Condominium Association



Rooftop Condenser Units -

Corroded junction boxes and conduits.

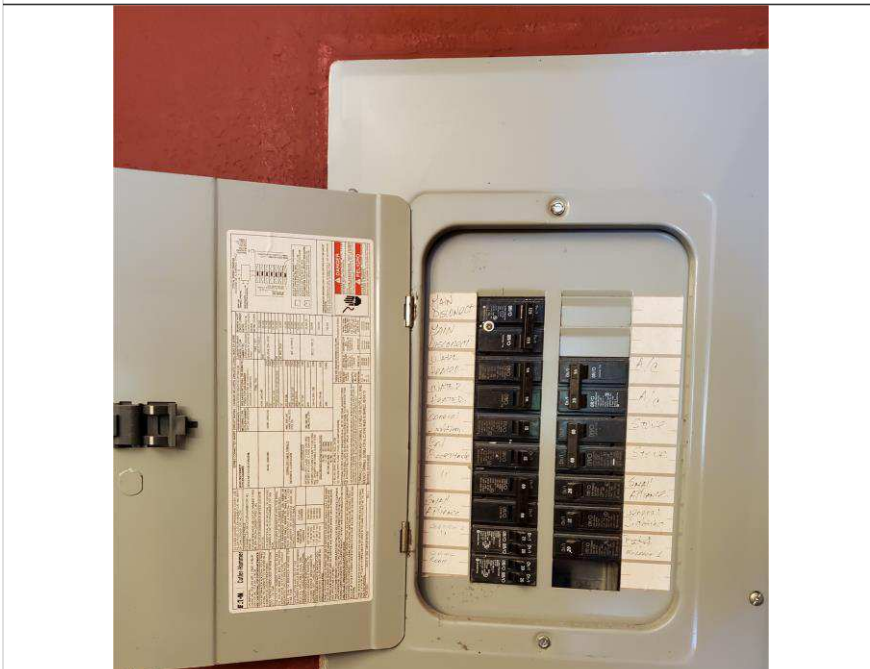


Photo 13 – Village of Dadeland Condominium Association



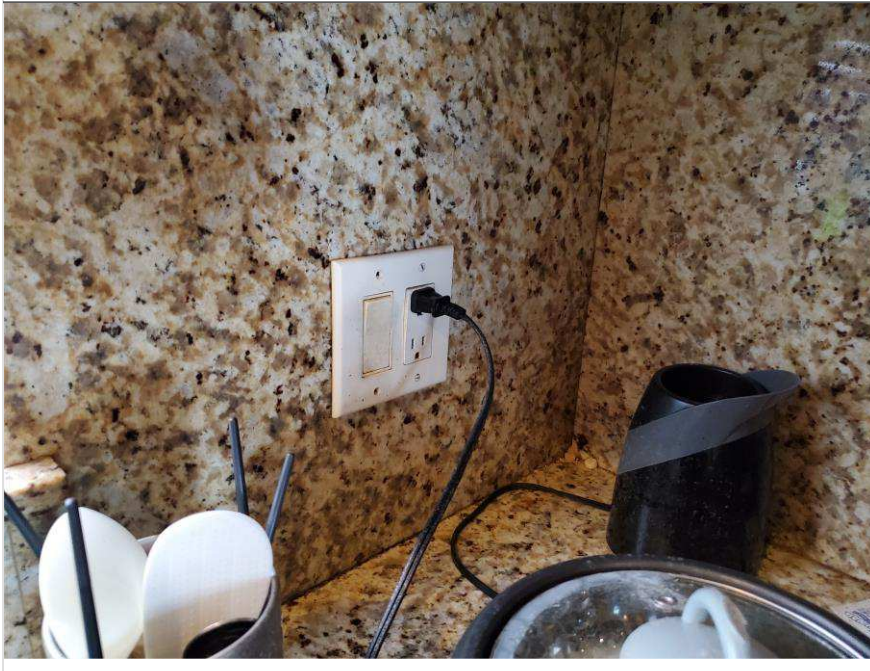
Points of Egress -  
Insufficient illumination at  
catwalks, stairs, and sidewalks.  
Exterior lights not functional.

Photo 14 – Village of Dadeland Condominium Association



Apartments - Electrical Panels  
Open breaker slot.

Photo 15 – Village of Dadeland Condominium Association



Apartments - Kitchen outlets are not GFCI type.

Photo 16 – Village of Dadeland Condominium Association



Apartments - Bathroom outlets are not GFCI type.

Photo 17 – Village of Dadeland Condominium Association



Apartments - Bathroom outlets are not GFCI type.

Photo 18 – Village of Dadeland Condominium Association



Apartments - Old Detectors



October 13, 2022

To: Building Department Official

City of Miami-Dade, FL  
11805 SW 26<sup>th</sup> Street,  
Miami, FL 33175.

**RE: Village at Dadeland Condominiums**  
**7500 SW 82<sup>nd</sup> St, Miami, FL 33143**  
**Structural Repairs for Building Recertification**  
**Parcel #: 30-4035-047-XXXX**

Dear Recipient,

To the best of my knowledge based on the visual inspection of exposed structural members, the building located at said address is structurally safe for continued occupancy while the concrete repairs are performed.

The association of Village at Dadeland Condominiums must submit all necessary repairs documents and specifications to the City Miami Dade Building Department within 180 days as described in the Miami-Dade County Building Safety Inspection requirements.

As routine matter, in order to avoid possible misunderstanding, nothing in this report should be construed directly or indirectly as a guarantee for any portion of the structure system. To the best of my knowledge and ability, this report represents an accurate appraisal of the present condition of the building based upon careful evaluation of observed conditions, to the extent reasonably possible. There was no destructive testing done at the building and none of the covered structural members could be visual inspected.

Please contact me with any concerns at (305) 676-9888.

Digitally signed by Jason Borden  
Contact Info: 305-676-9888  
Date: 2023.05.19 16:17:47-04'00'



Respectfully,

**Jason Borden, P.E.**

**Regional Director**

**O&S Associates, Inc. – Engineers & Architects**

[jborden@OandSassociates.com](mailto:jborden@OandSassociates.com)

October 13, 2022

To: Building Department Official

City of Miami-Dade, FL  
11805 SW 26<sup>th</sup> Street,  
Miami, FL 33175.

**RE: Village at Dadeland Condominiums**  
**7520 SW 82<sup>nd</sup> St, Miami, FL 33143**  
**Structural Repairs for Building Recertification**  
**Parcel #: 30-4035-047-XXXX**

Dear Recipient,

To the best of my knowledge based on the visual inspection of exposed structural members, the building located at said address is structurally safe for continued occupancy while the concrete repairs are performed.

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Please contact me with any concerns at (305) 676-9888.

Digitally signed by Jason Borden

Contact Info: 305-676-9888

Date: 2023.05.19

16:17:28-04'00"

Respectfully,

**Jason Borden, P.E.**

**Regional Director**

**O&S Associates, Inc. – Engineers & Architects**

[jborden@OandSassociates.com](mailto:jborden@OandSassociates.com)

October 13, 2022

To: Building Department Official

City of Miami-Dade, FL  
11805 SW 26<sup>th</sup> Street,  
Miami, FL 33175.

**RE: Village at Dadeland Condominiums**  
**7530 SW 82<sup>nd</sup> St, Miami, FL 33143**  
**Structural Repairs for Building Recertification**  
**Parcel #: 30-4035-047-XXXX**

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Digitally signed by Jason Borden  
Contact Info: 305-676-9888  
Date: 2023.05.19 16:17:04-04'00'



Respectfully,

**Jason Borden, P.E.**

**Regional Director**

**O&S Associates, Inc. – Engineers & Architects**

[jborden@OandSassociates.com](mailto:jborden@OandSassociates.com)



October 13, 2022

To: Building Department Official

City of Miami-Dade, FL  
11805 SW 26<sup>th</sup> Street,  
Miami, FL 33175.

**RE: Village at Dadeland Condominiums**  
**7560 SW 82<sup>nd</sup> St, Miami, FL 33143**  
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**Parcel #: 30-4035-047-XXXX**

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Please contact me with any concerns at (305) 676-9888.

Digitally signed by Jason Borden  
Contact Info: 305-676-9888  
Date: 2023.05.19 16:15:50-04'00'

Respectfully,

**Jason Borden, P.E.**

**Regional Director**

**O&S Associates, Inc. – Engineers & Architects**

[jborden@OandSassociates.com](mailto:jborden@OandSassociates.com)

May 24, 2023

To: Building Department Official

Miami-Dade County, FL  
11805 SW 26<sup>th</sup> Street,  
Miami, FL 33175.

**RE: Village at Dadeland Condominium Association**  
**7500 SW 82nd St, Miami, FL 33143**  
**Electrical Repairs for Building Recertification**  
**Folio #: 30-4035-047-XXXX**

Dear Recipient,

To the best of my knowledge, based on the visual inspection of observable elements of the building electrical system, the building located at the above noted address is safe for continued occupancy while the electrical repairs are performed.

The Village at Dadeland Condominium Association must submit all necessary repairs documents and specifications to the Miami-Dade County Building Department within 180 days as described in the Miami-Dade County Building Safety Inspection requirements.

As a routine matter, in order to avoid possible misunderstanding, nothing in this report should be construed directly or indirectly as a guarantee for any portion of the electrical system. To the best of my knowledge and ability, this report represents an accurate appraisal of the present condition of the building based upon careful evaluation of observed conditions, to the extent reasonably possible. There was no destructive testing done at the building and none of the covered electrical conduits or wiring could be visually inspected.

Please contact me with any concerns at (305) 676-9888.

Respectfully,  
**Florin Florea, P.E.**  
**Electrical Engineer**

**O&S Associates, Inc. – Engineers & Architects**



May 24, 2023

To: Building Department Official

Miami-Dade County, FL  
11805 SW 26<sup>th</sup> Street,  
Miami, FL 33175.

***RE: Village at Dadeland Condominium Association***  
***7520 SW 82nd St, Miami, FL 33143***  
***Electrical Repairs for Building Recertification***  
***Folio #: 30-4035-047-XXXX***

Dear Recipient,

To the best of my knowledge, based on the visual inspection of observable elements of the building electrical system, the building located at the above noted address is safe for continued occupancy while the electrical repairs are performed.

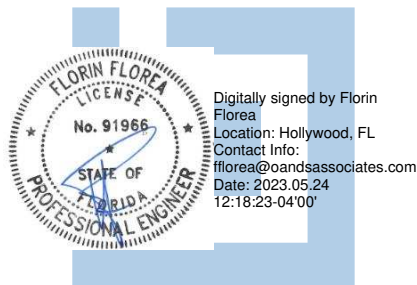
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Please contact me with any concerns at (305) 676-9888.

Respectfully,  
**Florin Florea, P.E.**  
**Electrical Engineer**

**O&S Associates, Inc. – Engineers & Architects**





May 24, 2023

To: Building Department Official

Miami-Dade County, FL  
11805 SW 26<sup>th</sup> Street,  
Miami, FL 33175.

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***Folio #: 30-4035-047-XXXX***

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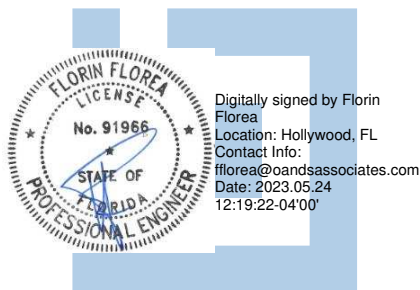
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Please contact me with any concerns at (305) 676-9888.

Respectfully,  
**Florin Florea, P.E.**  
**Electrical Engineer**

**O&S Associates, Inc. – Engineers & Architects**



May 24, 2023

To: Building Department Official

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11805 SW 26<sup>th</sup> Street,  
Miami, FL 33175.

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