



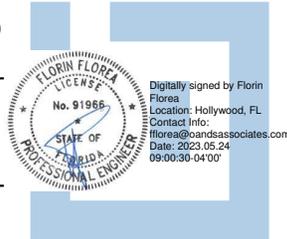
MINIMUM INSPECTION PROCEDURAL GUIDELINES FOR BUILDING ELECTRICAL RECERTIFICATION

INSPECTION COMMENCED

Date: 1/17/2022

INSPECTION COMPLETED

Date: 1/28/2022



INSPECTION MADE BY: FLORIN FLOREA P.E

SIGNATURE:

PRINT NAME: FLORIN FLOREA PE 91966 FLORIDA

TITLE: Sr Electrical Engineer

ADDRESS: 2500 Hollywood Blvd, Suite 212 Hollywood, FL 33020

DESCRIPTION OF STRUCTURE

Table with 1 column and 13 rows containing structure details: a. Name on Title: Village at Dadeland Condominiums (G), b. Street Address: 7500 SW 82nd St. Miami, Florida 33143, c. Legal Description: Village at Dadeland Condominiums, d. Owner's Name: Village at Dadeland Condominiums, e. Owner's Mailing Address: 7500 SW 82nd St. Miami, Florida 33143, f. Folio Number of Property on which Building is Located: 30-4035-047-XXXX, g. Building Code Occupancy Classification: R2 - Residential, h. Present Use: Condominium, Residential, i. General Description, Type of Construction, Size, Number of Stories, and Special Features. Additional Comments: The condominium building was built in 1968. Is a two story building comprised of concrete slab on compacted grade and stucco covered cmu exterior load bearing wall. The second floor catwalk consists of pre-cast concrete slabs, concrete tie columns and tie beams along exterior walls up to the roof level. The roof is a low slope roof and comprised of timber trusses and plywood decking covered with a bituminous asphalt membrane. At the perimeter of the roof there are timber framed gable ends covered with asphalt shingles that also cover the building balconies and catwalks. There is a Main Electrical Room at the rear of the building. There are multiple services at the building that are controlled by a main switch contained within the electrical room. The main switch controls power to the House Service Meter and the House Panel. The main switch also controls power to the individual condominium unit meters and breakers. The house panel serves common loads of the building.

MINIMUM GUIDELINES AND INFORMATION FOR RECERTIFICATION OF ELECTRICAL SYSTEMS OF FORTY (40) YEAR STRUCTURES

1. ELECTRIC SERVICE

1. Size: Amperage (600) Fuses () Breakers ()
2. Phase: Three Phase () Single Phase ()
3. Condition: Good () Fair () Needs Repair ()

Comments: Main Power (1) 600A 120/240V AC 1 Phase 3 Wire - Poor Condition - Old with Rust

(1) House Panel is 200A 120/240V AC 1 Phase 3 Wire - Poor Condition - Old with Rust

(3) Meter Center 120/240V AC 1 Phase 3 Wire - 4 Meters each serving a 100A Branch Circuit.

2. METER AND ELECTRIC ROOM

1. Clearances: Good () Fair () Requires Correction ()

Comments: Main Power - Insufficient Clearance 22", House Panel Insufficient Clearance 33", and Meter Center - Insufficient Clearance 33". Most electrical equipment is old and has corrosion.

All electrical equipment and branch circuits shall be clearly labeled and identified. No Storage permitted.

3. GUTTERS

Location: Good () Requires Repair ()
Taps and Fill: Good () Requires Repair ()

Comments: Observed corrosion, requires maintenance.

4. ELECTRICAL PANELS

Location: Good () Needs Repair ()

1. Panel #(House)

 Good () Needs Repair ()

2. Panel #()

 Good () Needs Repair ()

3. Panel #()

 Good () Needs Repair ()

4. Panel #()

 Good () Needs Repair ()

5. Panel #()

 Good () Needs Repair ()

Comments: Insufficient Clearance only 33" at Panel and is installed in front of Water Heater.

The disconnect switch in the electric room serving the House Panel is corroded.

5. BRANCH CIRCUITS:

1. Identified: Yes () Must be identified ()

2. Conductors: Good () Deteriorated () Must be replaced ()

Comments: All branch circuits must be clearly identified. Conductors not visible.

Main breakers at meters are not set properly and are old and worn.

6. GROUNDING SERVICE:

Good () Repairs Required ()

Comments: Observed corrosion and/or section loss at the ground bars. We recommend that grounding resistance to be tested by an electrician and repaired/replaced if necessary.

7. GROUNDING OF EQUIPMENT:

Good () Repairs Required ()

Comments: Observed corrosion and/or possible section loss at the ground bars. We recommend that the grounding of equipment be replaced/repared by an electrician.

8. SERVICE CONDUITS/RACEWAYS:

Good () Repairs Required ()

Comments: Corrosion observed on conduits, maintenance required.

9. SERVICE CONDUCTOR AND CABLES:

Good () Repairs Required ()

Comments: Service conductors and cables were concealed.

10. TYPES OF WIRING METHODS:

Conduit Raceways:	Good	(<input checked="" type="checkbox"/>)	Repairs Required	()
Conduit PVC:	Good	()	Repairs Required	()
NM Cable:	Good	()	Repairs Required	()
BX Cable:	Good	()	Repairs Required	()

11. FEEDER CONDUCTORS:

Good () Repairs Required ()

Comments: Feeder cables were concealed.

12. EMERGENCY LIGHTING:

Good () Repairs Required ()

Comments: N/A

13. BUILDING EGRESS ILLUMINATION:

Good () Repairs Required ()

Comments: Insufficient illumination at points of egress; catwalks, stairs, and sidewalks.

14. FIRE ALARM SYSTEM:

Good () Repairs Required ()

Comments: Fire Alarm panel located in laundry room water heater room.
Fire Alarm panel is in fair condition.
Fire Alarm devices are old and worn.

15. SMOKE DETECTORS:

Good () Repairs Required ()

Comments: All old smoke detectors to be replaced. Smoke detectors to be installed and maintained in all .
main electric rooms. Apartments - Not all apartments have smoke detectors in the living room, hallways,
and/or bedrooms. All units to be verified for compliance.

16. EXIT LIGHTS:

Good () Repairs Required ()

Comments: N/A

17. EMERGENCY GENERATOR:

Good () Repairs Required ()

Comments: N/A

18. WIRING IN OPEN OR UNDER COVER PARKING GARAGE AREAS:

Require Additional

Go od () Repairs Required ()

Comments: Wiring was concealed

19. OPEN OR UNDERCOVER PARKING GARAGE AREAS AND EGRESS ILLUMINATION:

Require Additional

Go od () Repairs Required ()

Comments: Open parking areas have low illumination levels creating unsafe conditions and security concerns. Additional lighting is required to illuminate the parking walking surfaces for safety and security purposes. Parking light mounted on building is out - Repairs Required.

20. SWIMMING POOL WIRING:

Go od () Repairs Required ()

Comments: N/A

21. WIRING TO MECHANICAL EQUIPMENT:

Go od () Repairs Required ()

Comments: 1. Mechanical Rooftop Equipment - Repairs/Replacement Required at all oxidized electrical disconnect boxes, supports, and conduit. All disconnect switches are to be operable and inside electrical components rust free. 2. All Rooftop Mechanical Equipment and Disconnect Switches to be properly identified.

22. ADDITIONAL COMMENTS:

1. Not all apartments have GFCI type outlets in Kitchens, Bathrooms, and or Balconies - Repairs Required
2. Bathroom outlets are not GFCI type, Repairs Required
3. Unit G207 - Kitchen outlets are not GFCI type, Repairs Required
4. All Kitchen Island outlets are to be GFCI type, Repairs Required
5. Electrical outlets that have an open ground and/or are hot are to be repaired.
6. All Balcony and Patio outlets to be GFCI type and should be installed with a HD waterproof enclosure.
7. Not all balcony and/or patio outlets are GFCI type outlets, Repairs Required.
8. Not all balcony and/or patio outlets are WP type, Repairs Required.
9. Electrical Panels in the apartments have considerable oxidation and are to be replaced.
10. Electrical Panels in the apartments are missing labels and/or are not properly identified.
11. All Electrical Panels in the apartments are to be properly labeled with branch circuits clearly identified.
12. All Electric Panel covers to properly fit over circuit breakers boards. Unit G210

13. Some Electrical Panel covers do not fit properly leaving lots of space around the circuit breakers.

14. All electrical panels installed 40 years or later, even though in good working order has passed its useful life and is recommended to be replaced.

SD:rs:vc:mb:js:jg:rtc1:10/12/2015:40yrtrackingsystem

15. All open outlets, switches, or junction boxes are to be repaired.

16. All Open Neutral Wiring or Open Ground at bathroom or Kitchen outlet, repairs required.

17. Time clocks insufficient clearance, repairs required.

18. Outlets in laundry room and water heater room are not GFCI - Repairs Required.

19. Fire caulk all wall and ceiling penetrations at electric room.

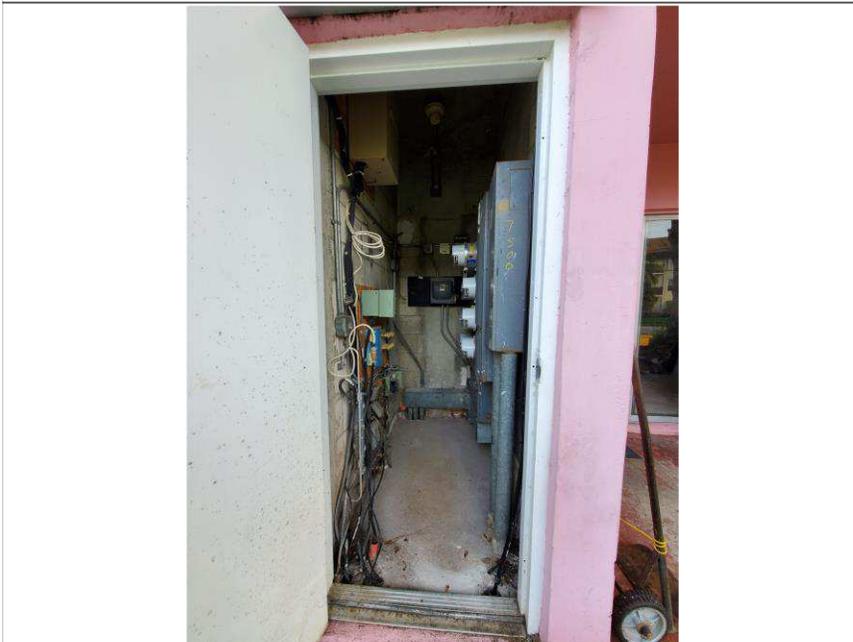
Photo 1 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
No Storage Permitted

Missing sign with Room name
and Building number.

Photo 2 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Main Switches for Apartments,
Meters, and Gutter.

Insufficient clearance in front of
electrical components.

Photo 3 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Main Disconnect and Meter
Stacks are corroded.
50 year old electrical
components.

Photo 4 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Building Main Disconnect is
corroded.
50 year old electrical
component.

Photo 5 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
House Panel Disconnect Switch
is corroded.
50 year old electrical
component.

Photo 6 – Village of Dadeland Condominium Association



1st FL - Laundry/Water Heater
Room
House Main Panel Board

Old 50 year old electrical
component

Photo 7 – Village of Dadeland Condominium Association



1st FL - Laundry/ Water Heater Room
House Panel Board

House Panel Board installed in front of Water Heater.

There is insufficient clearance in front of panel.

Photo 8 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Main Switches for Apartments,
Meters, and Gutter.

Old and oxidized meter stacks.

Photo 9 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Apartment Meters and Main
Switches

Old and oxidized meter stacks
and breakers.

House Meter not labeled.
All meters to be clearly labeled.

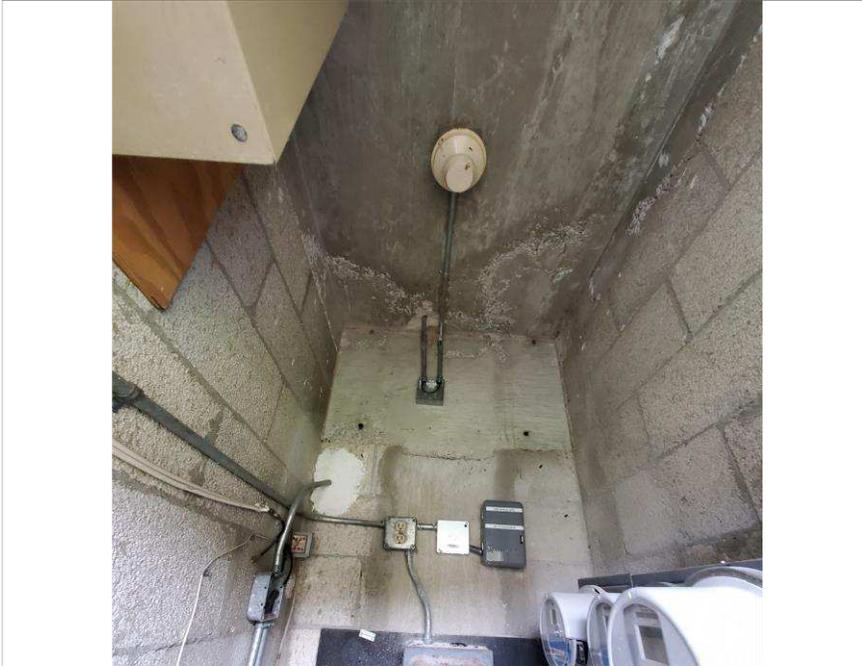
Photo 10 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL

Oxidized conduits.

Photo 11 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL

Old smoke detector.

Photo 12 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Main Service - Grounding

Grounding resistance to be tested to determine if repairs and/or maintenance are required.

Photo 13 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL

All wall penetrations to be fire caulked.

Open junction boxes to be closed.

Photo 14 – Village of Dadeland Condominium Association



Rooftop Condenser Units -
Oxidized junction boxes and
conduits.

Junction boxes not properly
supported.

Missing disconnect switches.

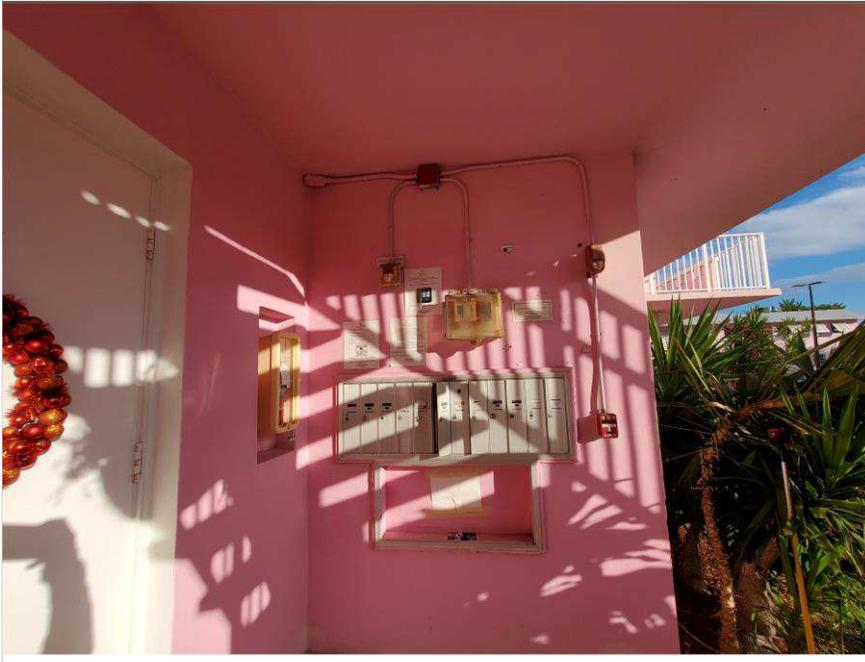
Open electrical boxes.

Photo 15 – Village of Dadeland Condominium Association



1st FL - Laundry/Water Heater Room
Fire Alarm Panel

Photo 16 – Village of Dadeland Condominium Association



Level 1
Fire Alarm - Old and Weathered
Fire Alarm Devices and Control
Center

Photo 17 – Village of Dadeland Condominium Association



Level 1
Fire Alarm - Old and Weathered
Fire Alarm Devices and Control
Center

Old Strobe Horn/Strobe Device
and Pull Stations

Photo 18 – Village of Dadeland Condominium Association



Level 2
Fire Alarm - Old and Weathered
Fire Alarm Devices and Control
Center

Old Strobe Horn/Strobe Device
and Pull Stations

Photo 19 – Village of Dadeland Condominium Association



Egress Components
Poorly illuminated Catwalks and
Points of Egress.
Exterior lights are not functional.

Insufficient illumination at Stairs
sidewalk, and Catwalks.

Photo 20 – Village of Dadeland Condominium Association

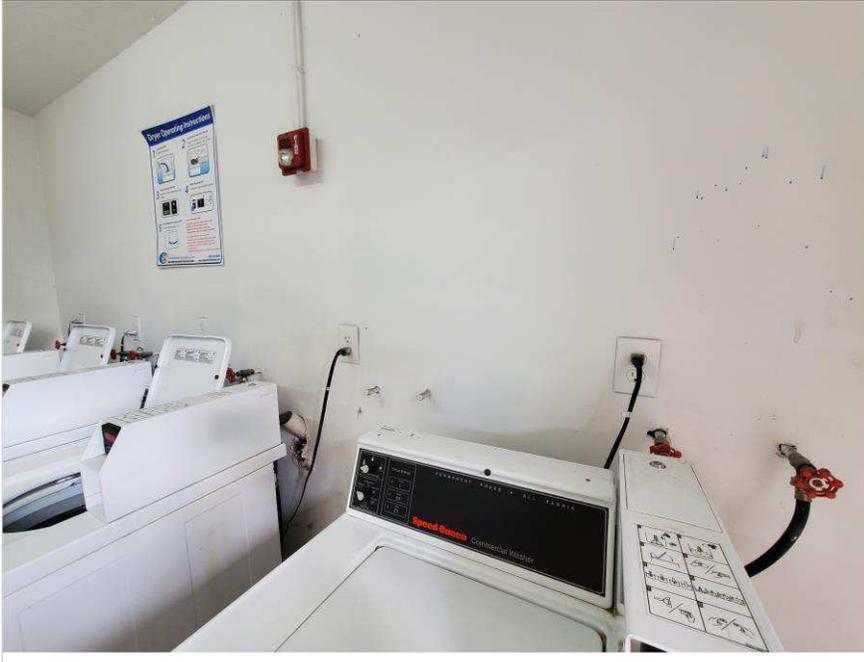


Egress Components
Poorly illuminated Catwalks and
Points of Egress.
Exterior lights are not functional.

Insufficient illumination at Stairs
sidewalk, and Catwalks.

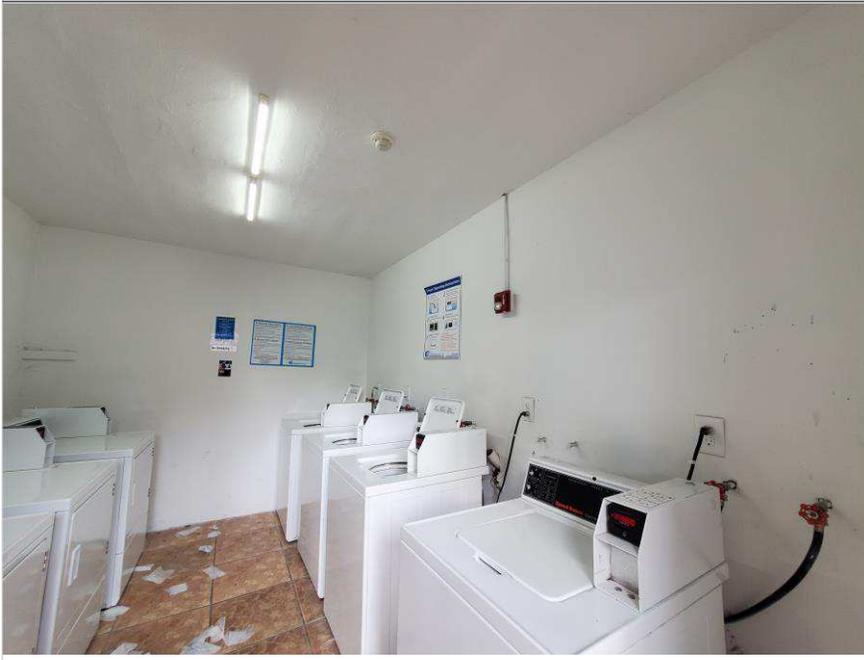
Parking
Insufficient illumination at
sidewalks and parking areas.

Photo 21 – Village of Dadeland Condominium Association



Laundry Room - Outlets are not GFCI type.

Photo 22 – Village of Dadeland Condominium Association



Laundry Room -
Old smoke detector.

Photo 23 – Village of Dadeland Condominium Association



Apartments - Old Electrical Panels

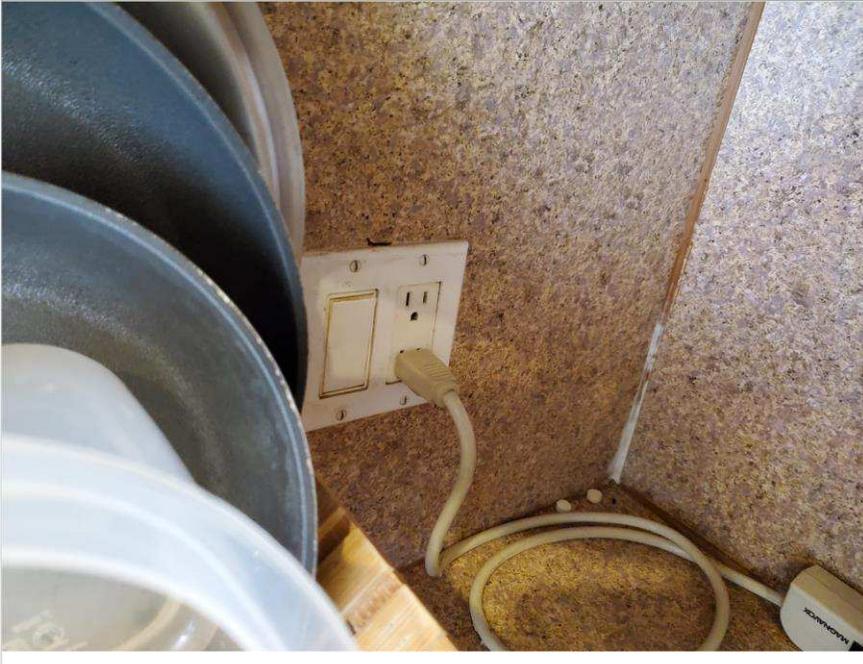
Photo 24 – Village of Dadeland Condominium Association



Apartments - Electrical Panels

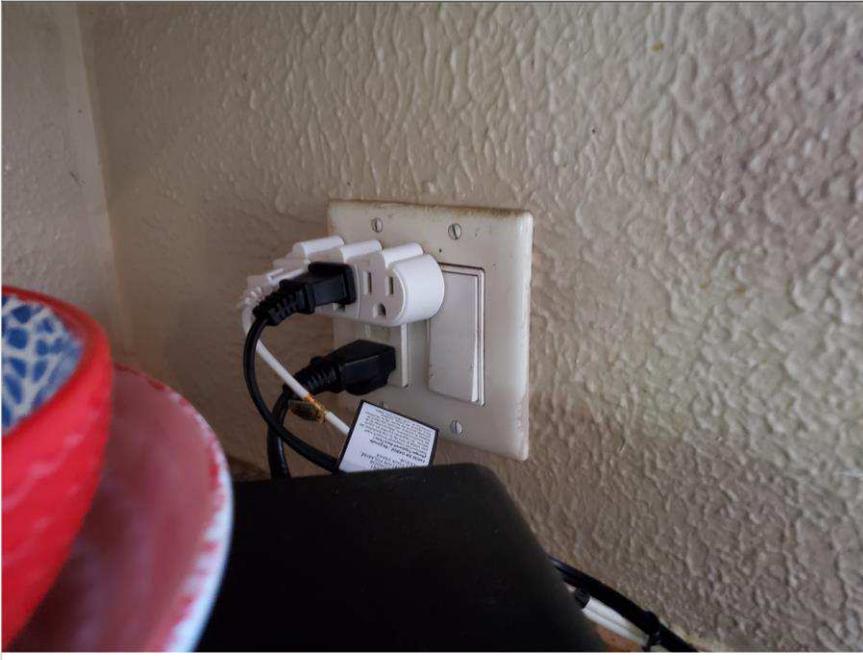
Panel cover and panel box are not set properly leaving excessive space around breakers.

Photo 25 – Village of Dadeland Condominium Association



Apartments - Kitchen outlets
not GFCI type.

Photo 26 – Village of Dadeland Condominium Association



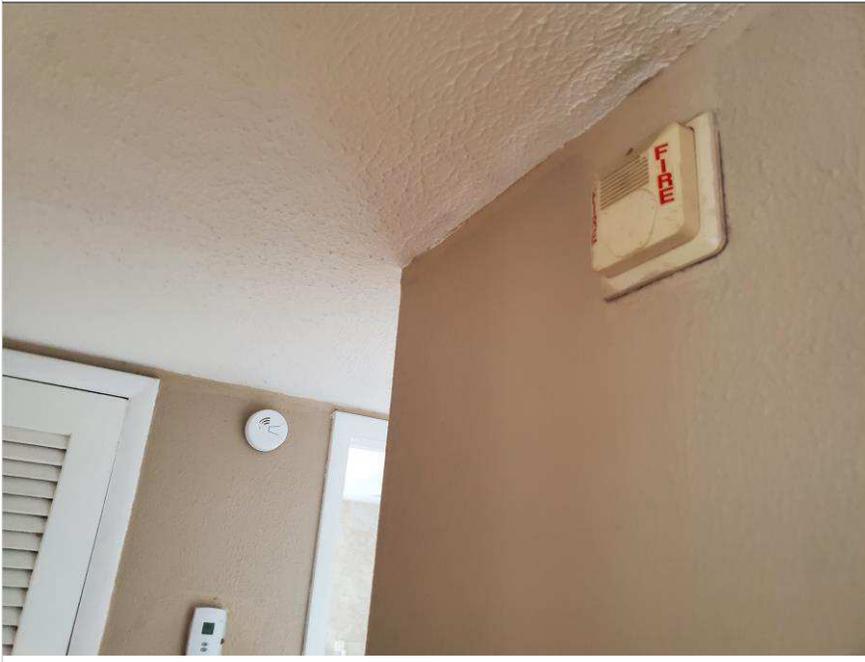
Apartments - Balcony/Patio
outlets not GFCI type.

Photo 27 – Village of Dadeland Condominium Association



Apartments - Old Smoke
Detectors

Photo 28 – Village of Dadeland Condominium Association



Apartments - Fire Alarm System

Old Devices exceeding useful
life.

Photo 1 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Provide sign with Building
Number

Photo 2 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Main Switches for Apartments,
Meters, Gutter, and Fire Alarm
Panel

Photo 3 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Building Main Disconnect is
corroded.
50 year old electrical
component.

Photo 4 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Building Main Disconnect is
corroded.
50 year old electrical
component.

Photo 5 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
House Panel Board and Meter.

Photo 6 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
House Panel Board and
breakers.

Panel nameplate is covered.

Photo 7 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Apartment Meters and Gutter

Old and corroded meter stacks.

Photo 8 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Apartment Meters and Main
Switches

Old and corroded meter stacks.

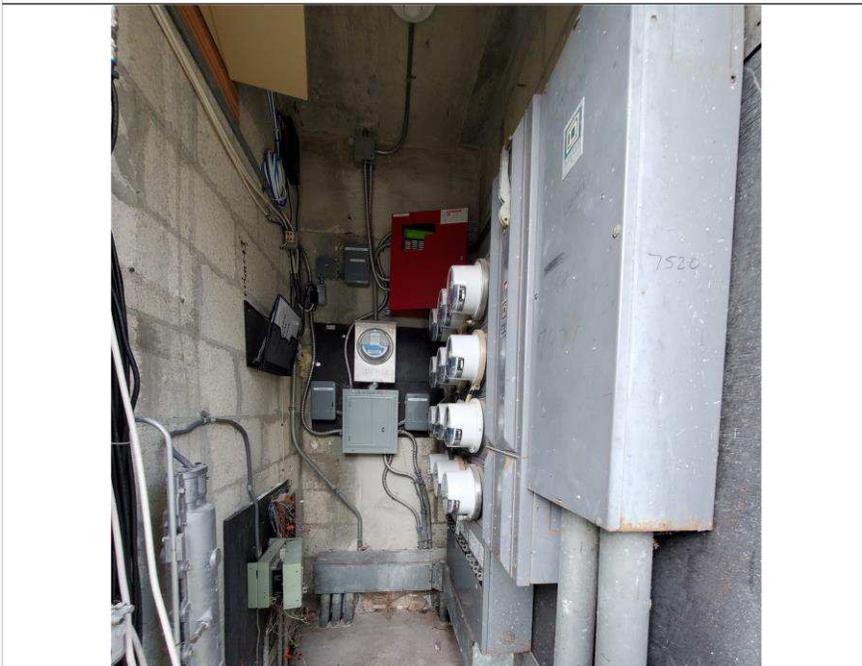
Photo 9 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Meter stacks are corroded.
50 year old electrical
component.

Old and corroded meter stacks.

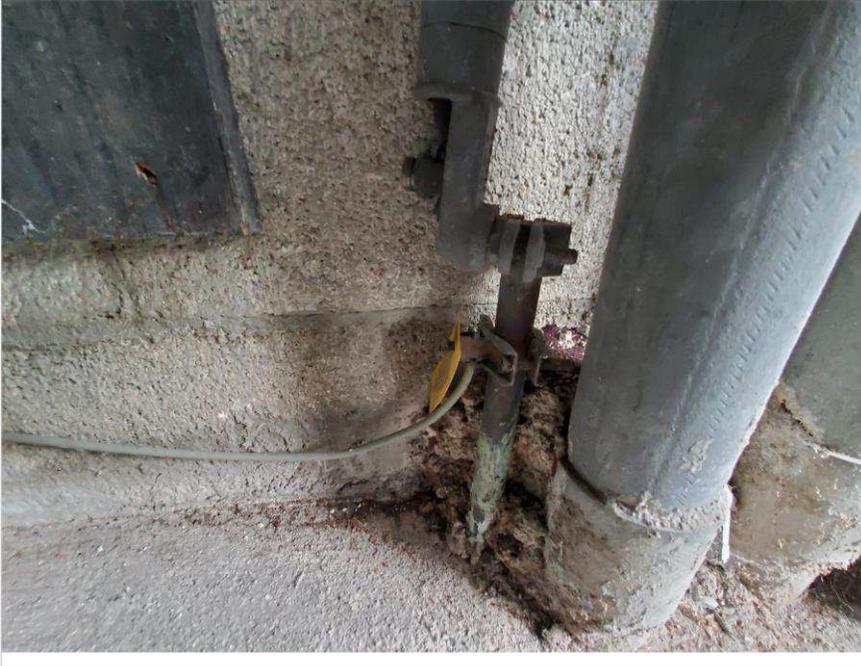
Photo 10 – Village of Dadeland Condominium Association



Existing Electric Room - 1st FL

Insufficient clearance at
electrical components.

Photo 11 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Main Service - Grounding

Grounding resistance to be tested to determine if repairs and/or maintenance are required.

Photo 12 – Village of Dadeland Condominium Association

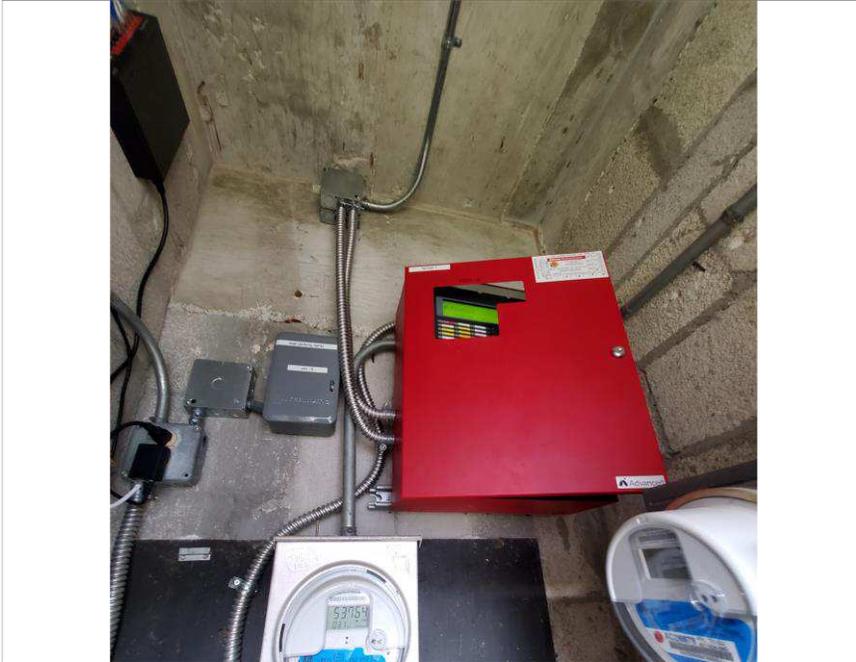


Rooftop -
Rooftop Condenser Units

Junction boxes not properly supported.

Corroded conduits

Photo 13 – Village of Dadeland Condominium Association



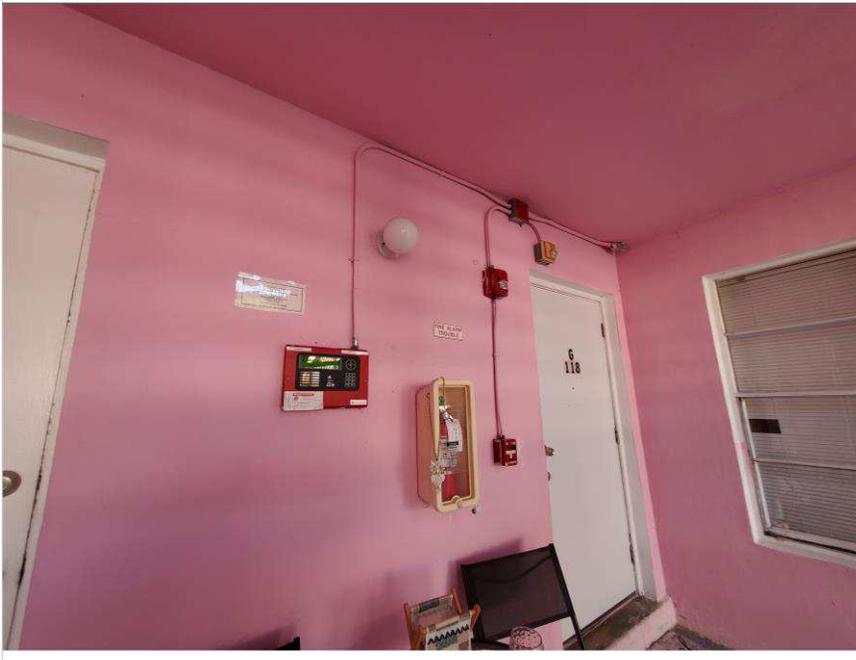
Existing Electrical Room - 1st FL
Fire Alarm Panel

All penetrations or openings in
walls are to be fire caulked.

Insufficient clearance in front of
panel.

Panel is installed high.

Photo 14 – Village of Dadeland Condominium Association



Level 1
Fire Alarm - Old and Weathered
Fire Alarm Devices

Old Strobe Horn/Strobe Device

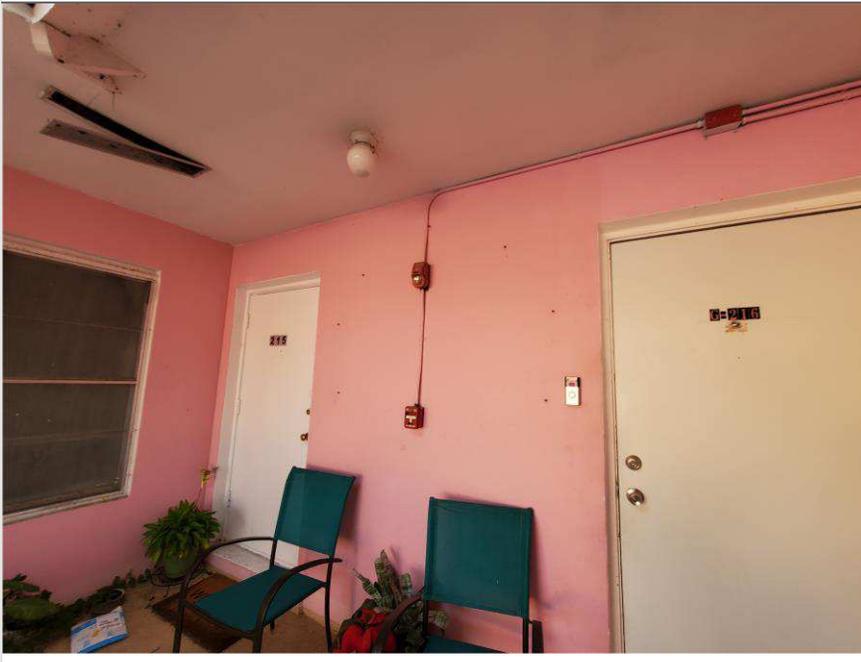
Photo 15 – Village of Dadeland Condominium Association



Level 2
Fire Alarm - Old and Weathered
Fire Alarm Devices

Old Strobe Horn/Strobe Device
and Pull Stations

Photo 16 – Village of Dadeland Condominium Association



Level 2
Fire Alarm - Old and Weathered
Fire Alarm Devices

Old Strobe Horn/Strobe Device
and Pull Stations

Photo 17 – Village of Dadeland Condominium Association



Parking/Catwalks -

Insufficient illumination at catwalks and sidewalks. Exterior lights are not functional.

Insufficient illumination at Parking Areas

Photo 18 – Village of Dadeland Condominium Association



Points of Egress

Poorly illuminated Areas
Exterior lights are not functional.

Insufficient illumination at sidewalks and points of egress.

Photo 19 – Village of Dadeland Condominium Association



Apartments - Old Electrical Panels

Photo 20 – Village of Dadeland Condominium Association



Apartments - Old Electrical Panels

Photo 21 – Village of Dadeland Condominium Association



Apartments - Kitchen outlets
not GFCI type.

Photo 22 – Village of Dadeland Condominium Association



Apartments - Bathroom outlets
not GFCI type.

Photo 23 – Village of Dadeland Condominium Association



Apartments - Balcony/Patio outlets not GFCI type.

Outlet is not in a HD waterproof enclosure.

Photo 24 – Village of Dadeland Condominium Association



Apartments - Old Smoke Detectors

Old Smoke Detectors to be replaced.

Photo 1 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
No Storage Permitted

Missing sign with Room name
and Building number.

Photo 2 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Main Switches for Apartments,
Meters, and Gutter.

Photo 3 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Main Disconnect and Meter
Stacks

Photo 4 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Main Disconnect

Oxidized tops and taps of
Electrical Components.

Photo 5 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
House Panel Board and Meter.

Photo 6 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
House Panel Board and
Breakers.

Old and oxidized panel.

Photo 7 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Apartment Meters and Gutter.

Old and corroded meter stacks.

Photo 8 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Apartment Meters - Top View

Old and corroded meter stacks.

Photo 9 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Apartment Meters and Main
Switches

Insufficient clearance at
electrical components.

Photo 10 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Main Service - Grounding

Grounding resistance to be
tested to determine if repairs
and/or maintenance are
required.

Photo 11 – Village of Dadeland Condominium Association



Rooftop Condenser Units -

Missing or improperly installed disconnect switches.

Photo 12 – Village of Dadeland Condominium Association



Rooftop Condenser Units -
Corroded junction boxes and conduits.

Improperly installed switches.

Photo 13 – Village of Dadeland Condominium Association



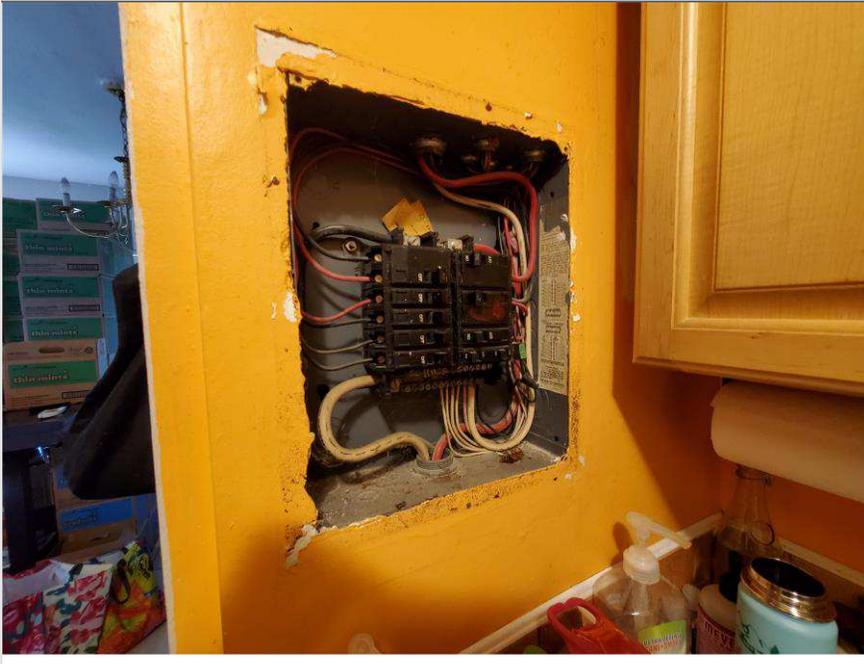
Points of Egress -
Poorly illuminated sidewalks and
stairs.
Exterior lights not functional.

Photo 14 – Village of Dadeland Condominium Association



Points of Egress -
Poorly illuminated sidewalks
Exterior lights not functional

Photo 15 – Village of Dadeland Condominium Association



Apartments - Electrical Panels

Missing panel directory.

Photo 16 – Village of Dadeland Condominium Association



Apartments - Kitchen outlets are not GFCI type.

Photo 17 – Village of Dadeland Condominium Association



Apartments - Bathroom outlets
are not GFCI type.

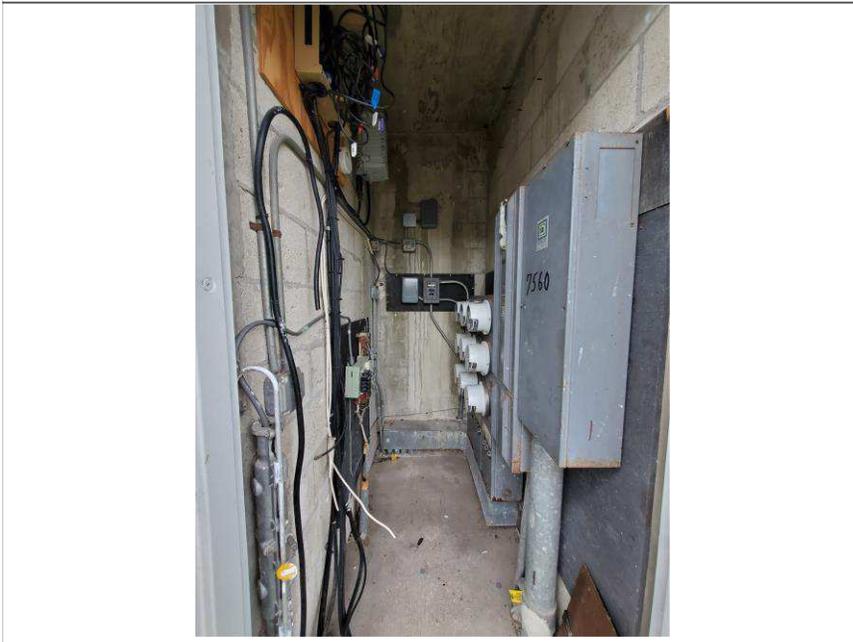
Photo 1 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
No Storage Permitted

Missing sign with Room name
and Building number.

Photo 2 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Main Switches for Apartments,
Meters, and Gutter.

Photo 3 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Main Disconnect and Meter
Stacks

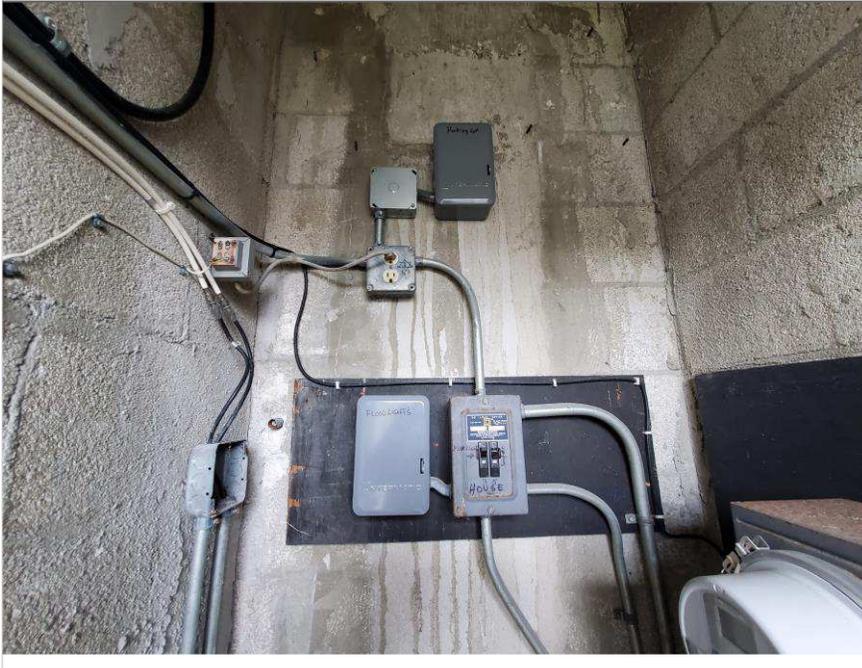
Photo 4 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Main Disconnect – Top View

Corroded tops and taps of
electrical components.

Photo 5 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
House Panel Board and Meter

Open junction boxes to be
closed.

All wall penetrations to be fire
caulked.

Photo 6 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
House Panel Board and
breakers.

Corroded panel and old circuit
breakers.

Photo 7 – Village of Dadeland Condominium Association

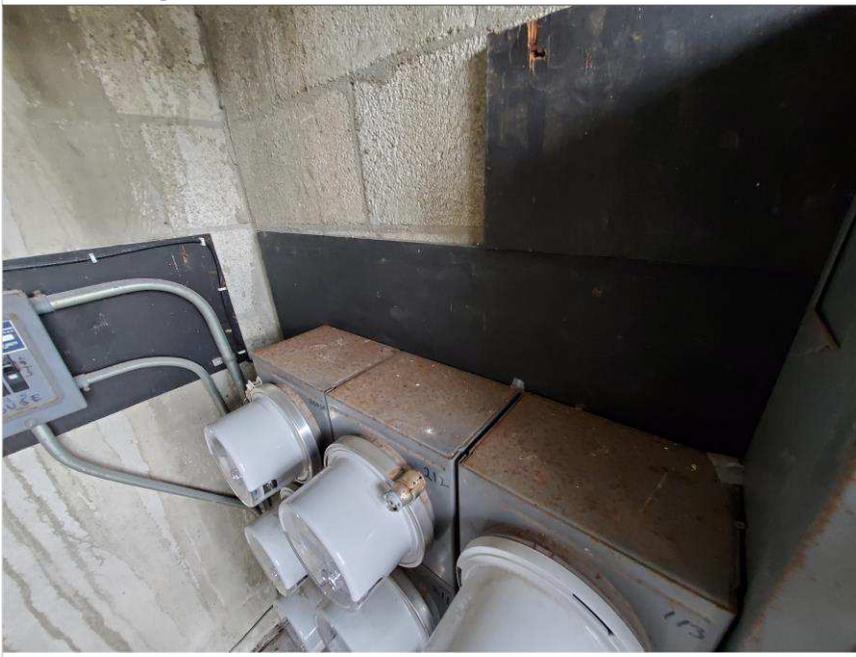


Existing Electrical Room - 1st FL
Main Switches for Apartments,
Meters, and Gutter.

Old and corroded meter stacks.

Apartment Disconnect Switches
are old.

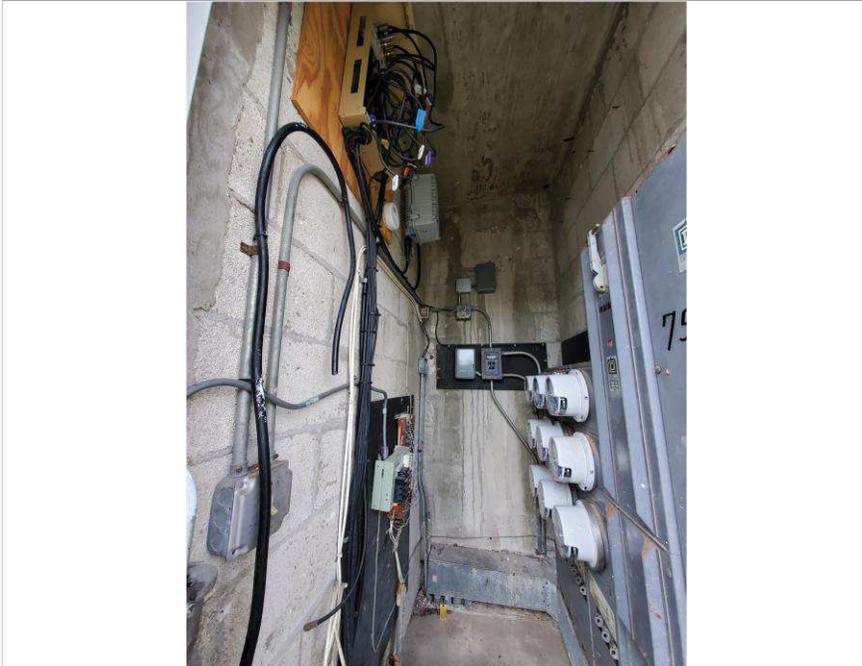
Photo 8 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Apartment Meters - Top View

Old and corroded meter stacks.

Photo 9 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Apartment Meters, Gutter and
Main Disconnect Switch

Insufficient clearance at
electrical components.

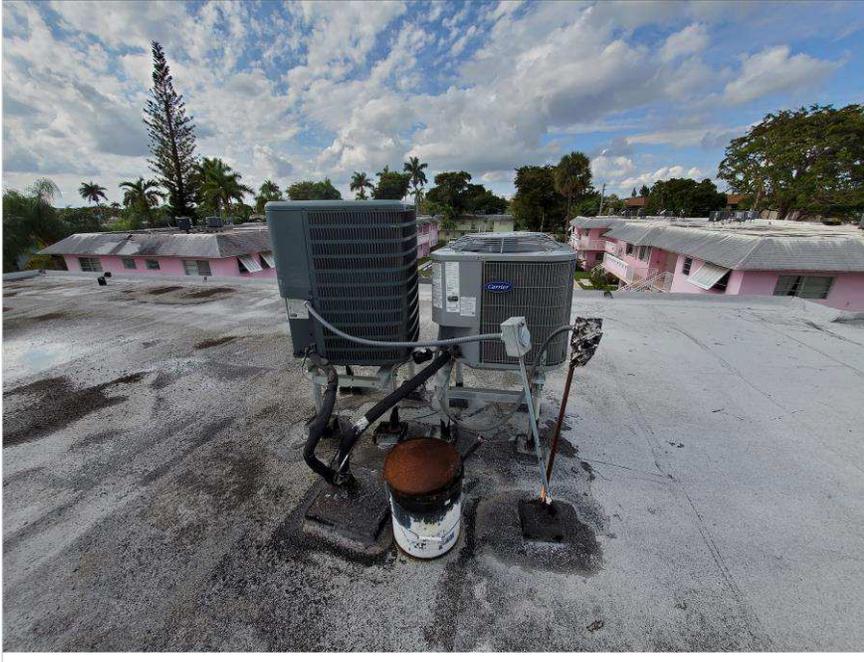
Photo 10 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Main Service - Grounding

Grounding resistance to be
tested to determine if repairs
and/or maintenance are
required.

Photo 11 – Village of Dadeland Condominium Association



Rooftop Condenser Units -
Improperly supported switches.
Missing or non-compliant method of providing disconnect switches.
Corroded conduits and boxes.

Photo 12 – Village of Dadeland Condominium Association



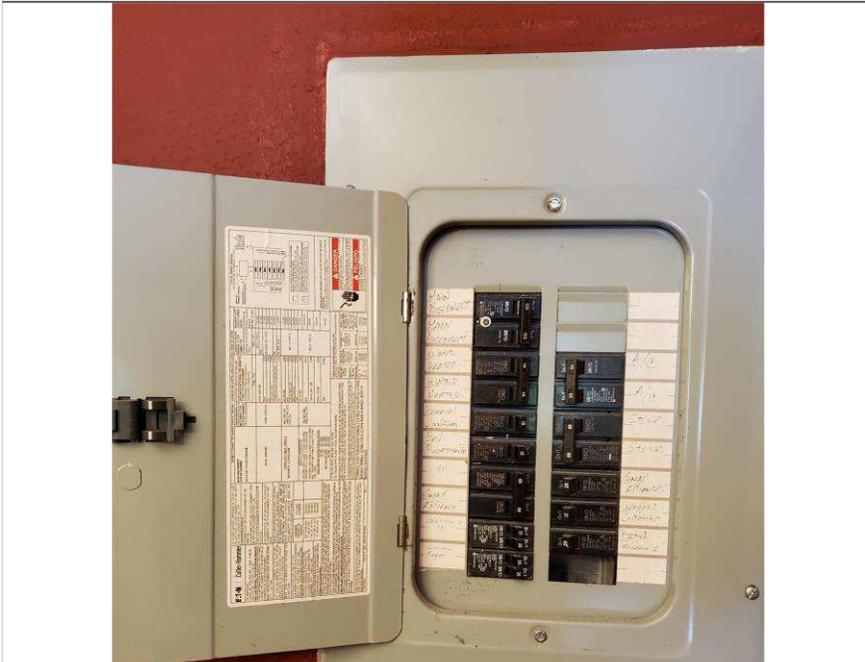
Rooftop Condenser Units -
Corroded junction boxes and conduits.

Photo 13 – Village of Dadeland Condominium Association



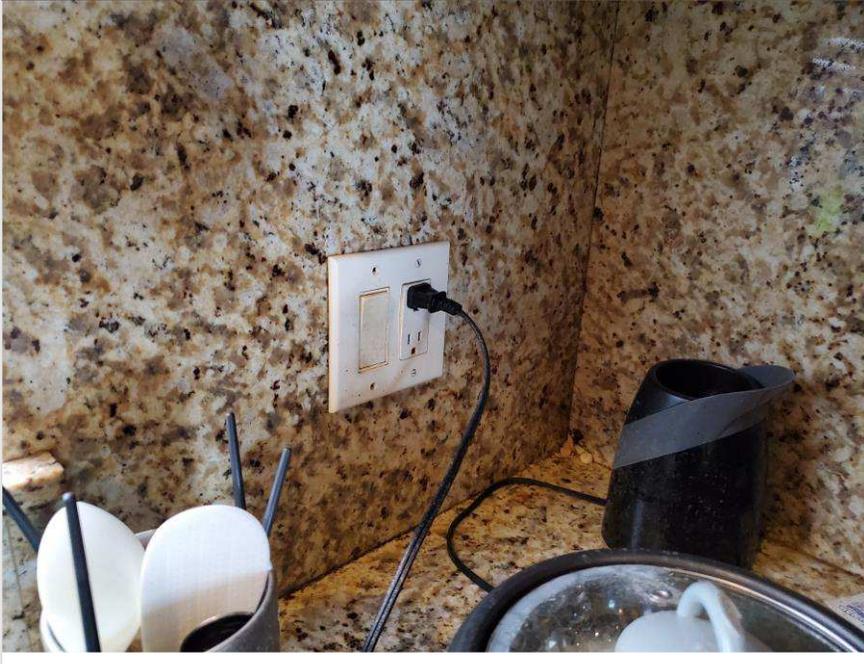
Points of Egress -
Insufficient illumination at
catwalks, stairs, and sidewalks.
Exterior lights not functional.

Photo 14 – Village of Dadeland Condominium Association



Apartments - Electrical Panels
Open breaker slot.

Photo 15 – Village of Dadeland Condominium Association



Apartments - Kitchen outlets are not GFCI type.

Photo 16 – Village of Dadeland Condominium Association



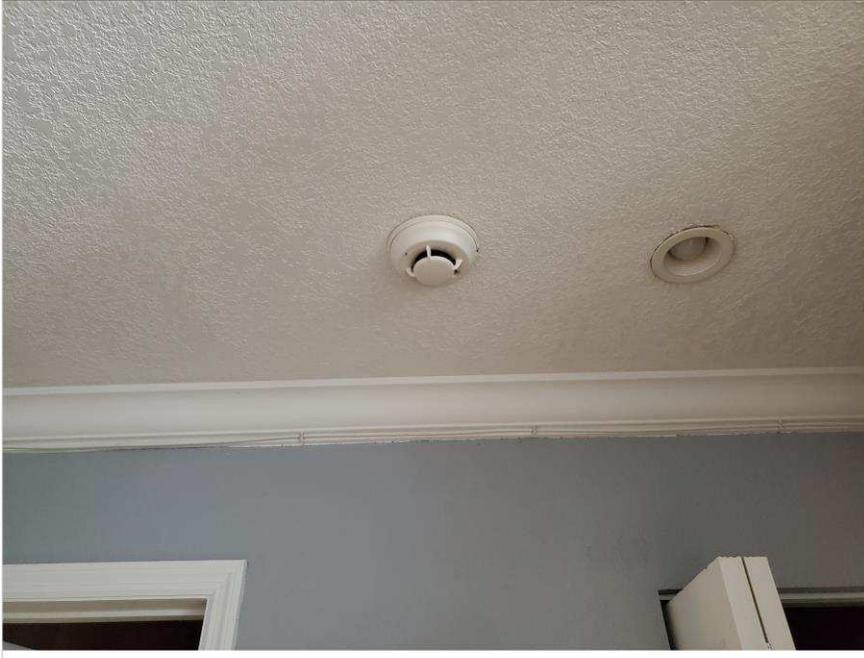
Apartments - Bathroom outlets are not GFCI type.

Photo 17 – Village of Dadeland Condominium Association



Apartments - Bathroom outlets
are not GFCI type.

Photo 18 – Village of Dadeland Condominium Association



Apartments - Old Detectors



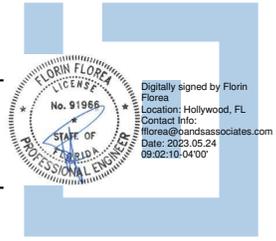
MINIMUM INSPECTION PROCEDURAL GUIDELINES FOR BUILDING ELECTRICAL RECERTIFICATION

INSPECTION COMMENCED

Date: 1/17/2022

INSPECTION COMPLETED

Date: 1/28/2022



INSPECTION MADE BY: FLORIN FLOREA P.E

SIGNATURE:

PRINT NAME: FLORIN FLOREA PE 91966 FLORIDA

TITLE: Sr Electrical Engineer

ADDRESS: 2500 Hollywood Blvd, Suite 212 Hollywood, FL 33020

DESCRIPTION OF STRUCTURE

Table with 1 column and 13 rows containing structure details: a. Name on Title: Village at Dadeland Condominiums (G), b. Street Address: 7520 SW 82nd St. Miami, Florida 33143, c. Legal Description: Village at Dadeland Condominiums, d. Owner's Name: Village at Dadeland Condominiums, e. Owner's Mailing Address: 7520 SW 82nd St. Miami, Florida 33143, f. Folio Number of Property on which Building is Located: 30-4035-047-XXXX, g. Building Code Occupancy Classification: R2 - Residential, h. Present Use: Condominium, Residential, i. General Description, Type of Construction, Size, Number of Stories, and Special Features. Additional Comments: The condominium building was built in 1968. Is a two story building comprised of concrete slab on compacted grade and stucco covered cmu exterior load bearing wall. The second floor catwalk consists of pre-cast concrete slabs, concrete tie columns and tie beams along exterior walls up to the roof level. The roof is a low slope roof and comprised of timber trusses and plywood decking covered with a bituminous asphalt membrane. At the perimeter of the roof there are timber framed gable ends covered with asphalt shingles that also cover the building balconies and catwalks. There is a Main Electrical Room at the rear of the building. There are multiple services at the building that are controlled by a main switch contained within the electrical room. The main switch controls power to the House Service Meter and the House Panel. The main switch also controls power to the individual condominium unit meters and breakers. The house panel serves common loads of the building.

MINIMUM GUIDELINES AND INFORMATION FOR RECERTIFICATION OF ELECTRICAL SYSTEMS OF FORTY (40) YEAR STRUCTURES

1. ELECTRIC SERVICE

1. Size: Amperage (600) Fuses () Breakers ()
2. Phase: Three Phase () Single Phase ()
3. Condition: Good () Fair () Needs Repair ()

Comments: Main Power (1) 600A 120/240V AC 1 Phase 3 Wire - Poor Condition - Old with Rust

(1) House Panel is 100A 120/240V AC 1 Phase 3 Wire - Condition - Good

(3) Meter Center Stacks - (3) at 4 Meters each serving a 100A Branch Circuit. - Condition - Old with Rust

2. METER AND ELECTRIC ROOM

1. Clearances: Good () Fair () Requires Correction ()

Comments: Main Power - Insufficient Clearance 24", House Panel Insufficient Clearance 25" width, and Meter Centers - Insufficient Clearance 20". Most electrical equipment is old and has corrosion, replace.

All electrical equipment and branch circuits shall be clearly labeled and identified.

3. GUTTERS

Location: Good () Requires Repair ()
Taps and Fill: Good () Requires Repair ()

Comments: Observed corrosion, requires maintenance.

4. ELECTRICAL PANELS

Location: Good () Needs Repair ()

1. Panel #(House)

 Good () Needs Repair ()

2. Panel #()

 Good () Needs Repair ()

3. Panel #()

 Good () Needs Repair ()

4. Panel #()

 Good () Needs Repair ()

5. Panel #()

 Good () Needs Repair ()

Comments: Insufficient Clearance only 25" clearance side to side.

5. BRANCH CIRCUITS:

1. Identified: Yes () Must be identified ()

2. Conductors: Good () Deteriorated () Must be replaced ()

Comments: All branch circuits must be clearly identified. Conductors not visible.

Old and deteriorated breakers to be replaced.

6. GROUNDING SERVICE:

Good () Repairs Required ()

Comments: Observed corrosion and/or section loss at the ground bars. We recommend that grounding resistance to be tested by an electrician and repaired/replaced if necessary.

7. GROUNDING OF EQUIPMENT:

Good () Repairs Required ()

Comments: Observed corrosion and/or possible section loss at the ground bars. We recommend that the grounding of equipment be replaced/repared by an electrician.

8. SERVICE CONDUITS/RACEWAYS:

Good () Repairs Required ()

Comments: Corrosion observed on conduits, switch, outlet, maintenance required.

9. SERVICE CONDUCTOR AND CABLES:

Good () Repairs Required ()

Comments: Service conductors and cables were concealed.

10. TYPES OF WIRING METHODS:

Conduit Raceways:	Good	(<input checked="" type="checkbox"/>)	Repairs Required	()
Conduit PVC:	Good	()	Repairs Required	()
NM Cable:	Good	()	Repairs Required	()
BX Cable:	Good	()	Repairs Required	()

11. FEEDER CONDUCTORS:

Good () Repairs Required ()

Comments: Feeder cables were concealed.

12. EMERGENCY LIGHTING:

Good () Repairs Required ()

Comments: N/A

13. BUILDING EGRESS ILLUMINATION:

Good () Repairs Required ()

Comments: Insufficient illumination at catwalks and stairs. In addition some lights are out and must be repaired.

14. FIRE ALARM SYSTEM:

Good () Repairs Required ()

Comments: Fire Alarm panel located in Electric Room and is installed too high to the controls.
Fire Alarm panel has insufficient clearance. Fire Alarm devices are old and worn.
Fire Alarm annunciator controls located at center stair.

15. SMOKE DETECTORS:

Good () Repairs Required ()

Comments: All old smoke detectors to be replaced. Smoke detectors to be installed and maintained in all .
main electric rooms. Apartments - Not all apartments have smoke detectors in the living room, hallways,
and/or bedrooms. As observed in Units G218, all other units to be verified for compliance.

16. EXIT LIGHTS:

Good () Repairs Required ()

Comments: N/A

17. EMERGENCY GENERATOR:

Good () Repairs Required ()

Comments: N/A

18. WIRING IN OPEN OR UNDER COVER PARKING GARAGE AREAS:

Require Additional

Go od () Repairs Required ()

Comments: Wiring was concealed

19. OPEN OR UNDERCOVER PARKING GARAGE AREAS AND EGRESS ILLUMINATION:

Require Additional

Go od () Repairs Required ()

Comments: Open parking areas have low illumination levels creating unsafe conditions and security concerns. Additional lighting is required to illuminate the parking walking surfaces for safety and security purposes. Parking light mounted on building is out - Repairs Required.

20. SWIMMING POOL WIRING:

Go od () Repairs Required ()

Comments: N/A

21. WIRING TO MECHANICAL EQUIPMENT:

Go od () Repairs Required ()

Comments: 1. Mechanical Rooftop Equipment - Repairs/Replacement Required at all oxidized electrical disconnect boxes, supports, and conduit. All disconnect switches are to be operable and inside electrical components rust free. 2. All Rooftop Mechanical Equipment and Disconnect Switches to be properly identified.

22. ADDITIONAL COMMENTS:

1. Not all apartments have GFCI type outlets in Kitchens, Bathrooms, and or Balconies - Repairs Required
2. Unit G119, G218, G219 - Bathroom outlets are not GFCI type, Repairs Required
3. Unit G119, G218, G219 - Kitchen outlets are not GFCI type, Repairs Required
4. All Kitchen Island outlets are to be GFCI type, Repairs Required
5. Electrical outlets that have an open ground and/or are hot are to be repaired.
6. All Balcony and Patio outlets to be GFCI type and should be installed in a HD waterproof enclosure.
7. Unit G219 - Not all balcony and/or patio outlets are GFCI type outlets, Repairs Required.
8. Unit G219 - Not all balcony and/or patio outlets are WP type, Repairs Required.
9. Electrical Panels in the apartments have considerable oxidation and are to be replaced.
10. Electrical Panels in the apartments are missing labels and/or are not properly identified.
11. All Electrical Panels in the apartments are to be properly labeled with branch circuits clearly identified.
12. All Electric Panel covers to properly fit over circuit breakers boards. Unit 218

13. Some Electrical Panel covers do not fit properly leaving lots of space around the circuit breakers.

14. All electrical panels installed 40 years or later, even though in good working order has passed its useful life and is recommended to be replaced.

SD:rs:vc:mb:js:jg:rtc1:10/12/2015:40yrtrackingsystem

15. All open outlets, switches, or junction boxes are to be repaired.

16. All Open Neutral Wiring or Open Ground at bathroom or Kitchen outlet, repairs required.

17. Time clocks, and Fire Alarm Panel installed too high, repairs required.

18. Time Clocks installed with insufficient space - Repairs Required.

19. Fire caulk all wall and ceiling penetrations at electric room.

Photo 1 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Provide sign with Building
Number

Photo 2 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Main Switches for Apartments,
Meters, Gutter, and Fire Alarm
Panel

Photo 3 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Building Main Disconnect is
corroded.
50 year old electrical
component.

Photo 4 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Building Main Disconnect is
corroded.
50 year old electrical
component.

Photo 5 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
House Panel Board and Meter.

Photo 6 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
House Panel Board and
breakers.

Panel nameplate is covered.

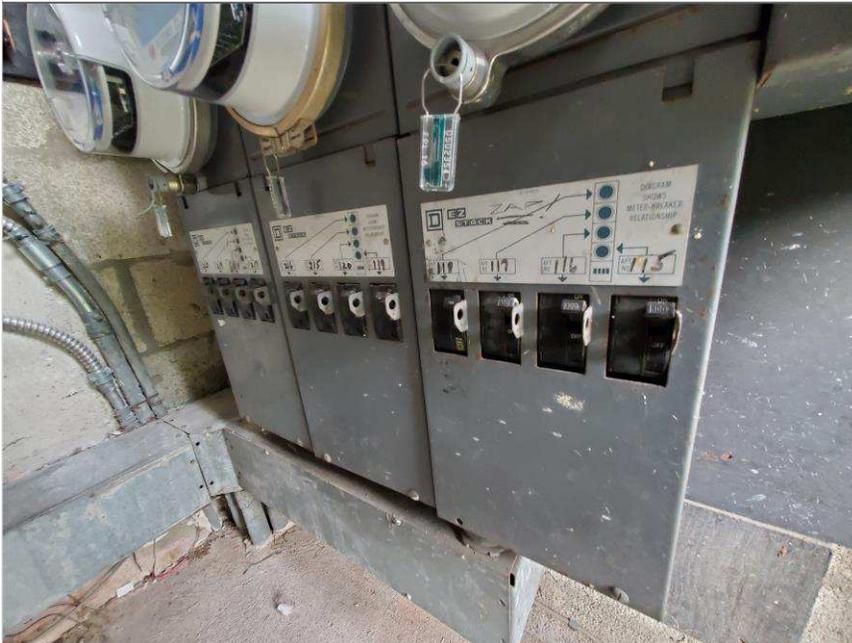
Photo 7 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Apartment Meters and Gutter

Old and corroded meter stacks.

Photo 8 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Apartment Meters and Main
Switches

Old and corroded meter stacks.

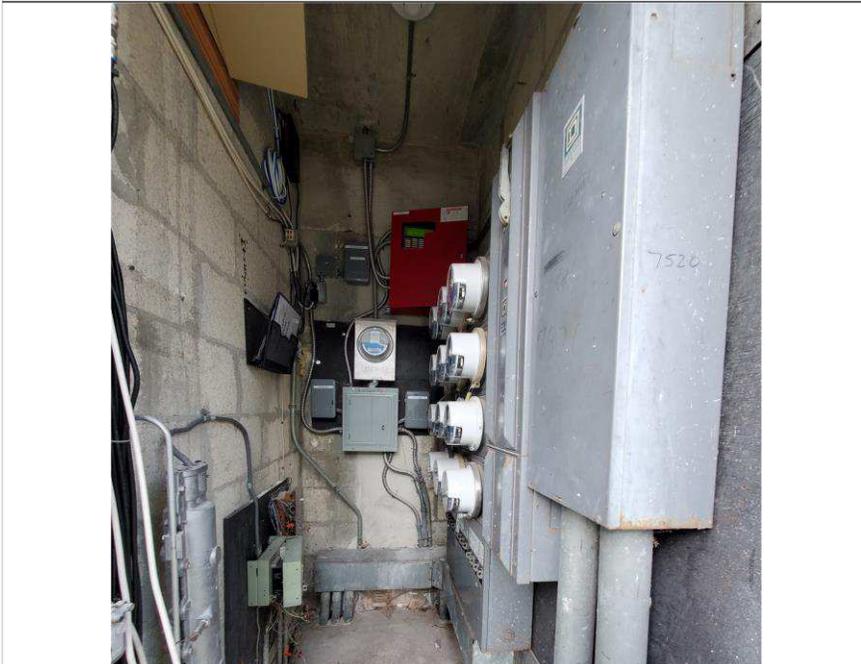
Photo 9 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Meter stacks are corroded.
50 year old electrical
component.

Old and corroded meter stacks.

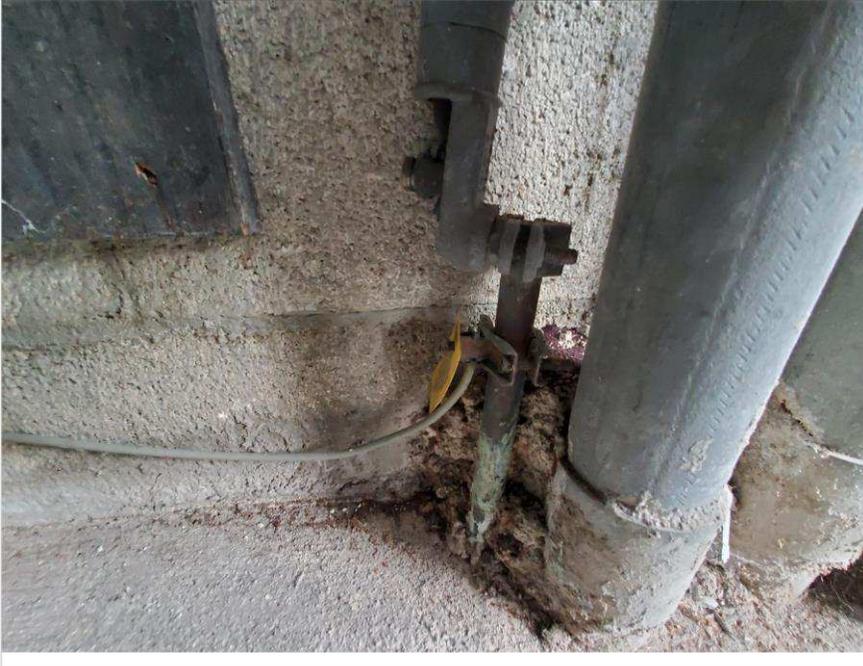
Photo 10 – Village of Dadeland Condominium Association



Existing Electric Room - 1st FL

Insufficient clearance at
electrical components.

Photo 11 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Main Service - Grounding

Grounding resistance to be tested to determine if repairs and/or maintenance are required.

Photo 12 – Village of Dadeland Condominium Association

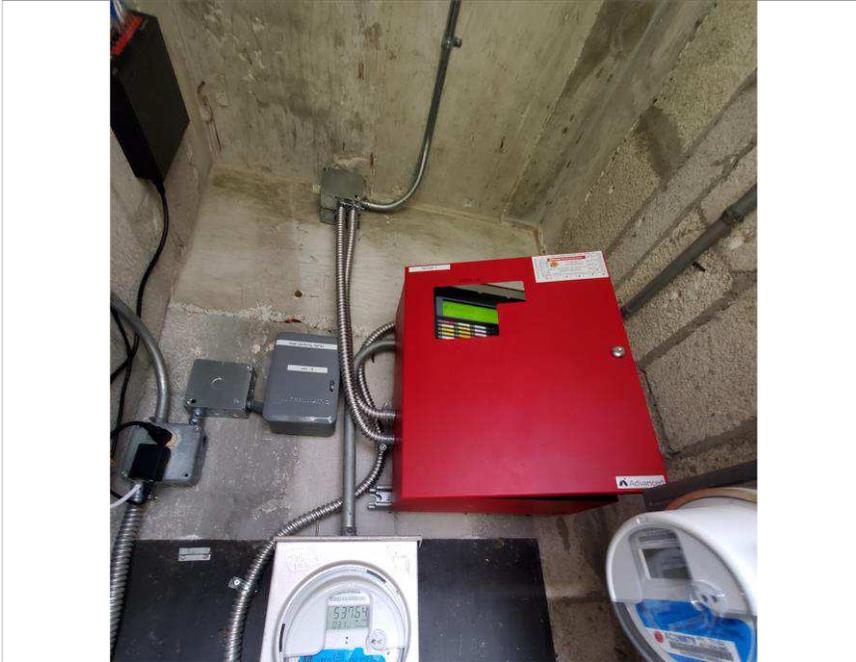


Rooftop -
Rooftop Condenser Units

Junction boxes not properly supported.

Corroded conduits

Photo 13 – Village of Dadeland Condominium Association



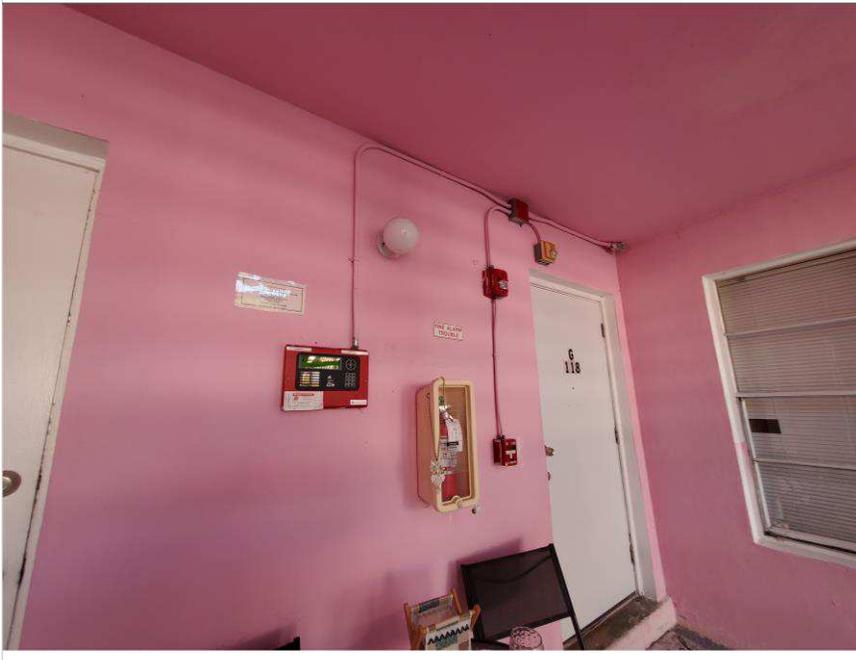
Existing Electrical Room - 1st FL
Fire Alarm Panel

All penetrations or openings in
walls are to be fire caulked.

Insufficient clearance in front of
panel.

Panel is installed high.

Photo 14 – Village of Dadeland Condominium Association



Level 1
Fire Alarm - Old and Weathered
Fire Alarm Devices

Old Strobe Horn/Strobe Device

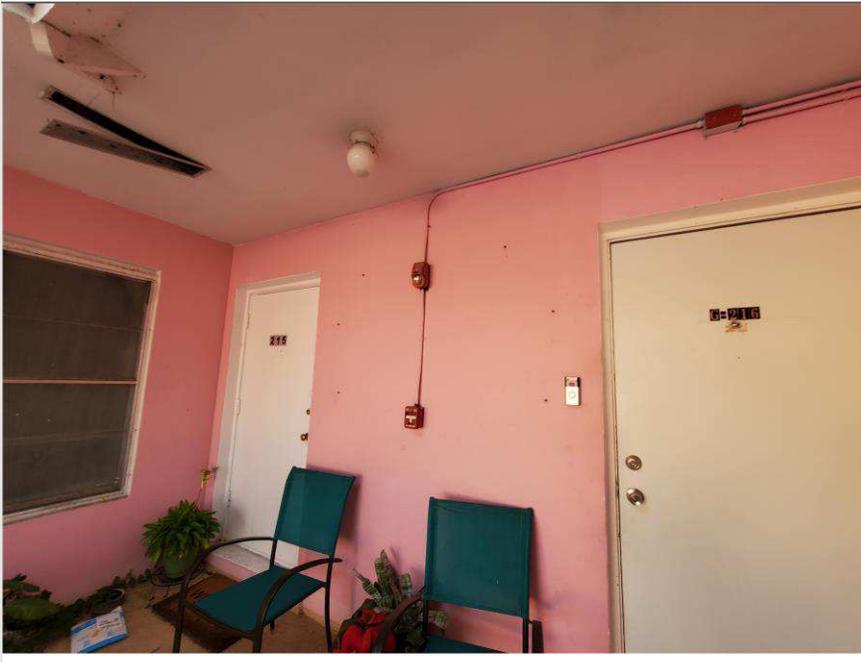
Photo 15 – Village of Dadeland Condominium Association



Level 2
Fire Alarm - Old and Weathered
Fire Alarm Devices

Old Strobe Horn/Strobe Device
and Pull Stations

Photo 16 – Village of Dadeland Condominium Association



Level 2
Fire Alarm - Old and Weathered
Fire Alarm Devices

Old Strobe Horn/Strobe Device
and Pull Stations

Photo 17 – Village of Dadeland Condominium Association



Parking/Catwalks -

Insufficient illumination at catwalks and sidewalks. Exterior lights are not functional.

Insufficient illumination at Parking Areas

Photo 18 – Village of Dadeland Condominium Association



Points of Egress

Poorly illuminated Areas
Exterior lights are not functional.

Insufficient illumination at sidewalks and points of egress.

Photo 19 – Village of Dadeland Condominium Association



Apartments - Old Electrical Panels

Photo 20 – Village of Dadeland Condominium Association



Apartments - Old Electrical Panels

Photo 21 – Village of Dadeland Condominium Association



Apartments - Kitchen outlets
not GFCI type.

Photo 22 – Village of Dadeland Condominium Association



Apartments - Bathroom outlets
not GFCI type.

Photo 23 – Village of Dadeland Condominium Association



Apartments - Balcony/Patio outlets not GFCI type.

Outlet is not in a HD waterproof enclosure.

Photo 24 – Village of Dadeland Condominium Association



Apartments - Old Smoke Detectors

Old Smoke Detectors to be replaced.

Photo 1 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
No Storage Permitted

Missing sign with Room name
and Building number.

Photo 2 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Main Switches for Apartments,
Meters, and Gutter.

Photo 3 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Main Disconnect and Meter
Stacks

Photo 4 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Main Disconnect

Oxidized tops and taps of
Electrical Components.

Photo 5 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
House Panel Board and Meter.

Photo 6 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
House Panel Board and
Breakers.

Old and oxidized panel.

Photo 7 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Apartment Meters and Gutter.

Old and corroded meter stacks.

Photo 8 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Apartment Meters - Top View

Old and corroded meter stacks.

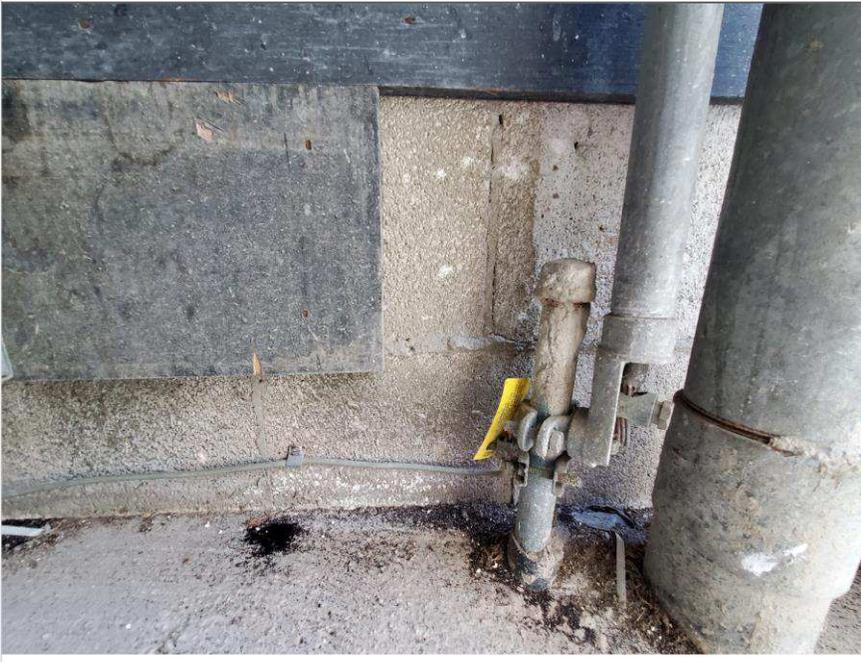
Photo 9 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Apartment Meters and Main
Switches

Insufficient clearance at
electrical components.

Photo 10 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Main Service - Grounding

Grounding resistance to be
tested to determine if repairs
and/or maintenance are
required.

Photo 11 – Village of Dadeland Condominium Association



Rooftop Condenser Units -

Missing or improperly installed disconnect switches.

Photo 12 – Village of Dadeland Condominium Association



Rooftop Condenser Units -
Corroded junction boxes and conduits.

Improperly installed switches.

Photo 13 – Village of Dadeland Condominium Association



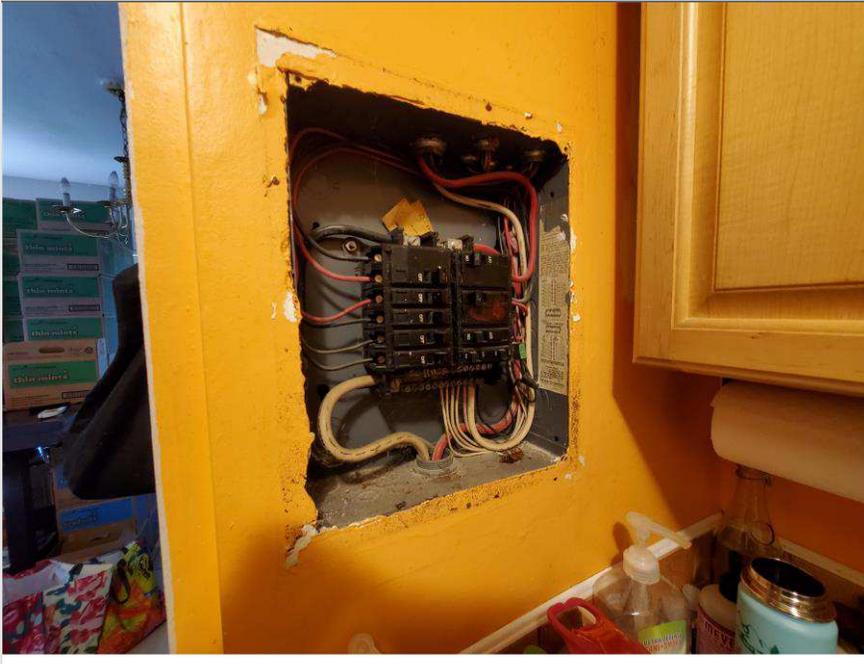
Points of Egress -
Poorly illuminated sidewalks and
stairs.
Exterior lights not functional.

Photo 14 – Village of Dadeland Condominium Association



Points of Egress -
Poorly illuminated sidewalks
Exterior lights not functional

Photo 15 – Village of Dadeland Condominium Association



Apartments - Electrical Panels

Missing panel directory.

Photo 16 – Village of Dadeland Condominium Association



Apartments - Kitchen outlets are not GFCI type.

Photo 17 – Village of Dadeland Condominium Association



Apartments - Bathroom outlets
are not GFCI type.

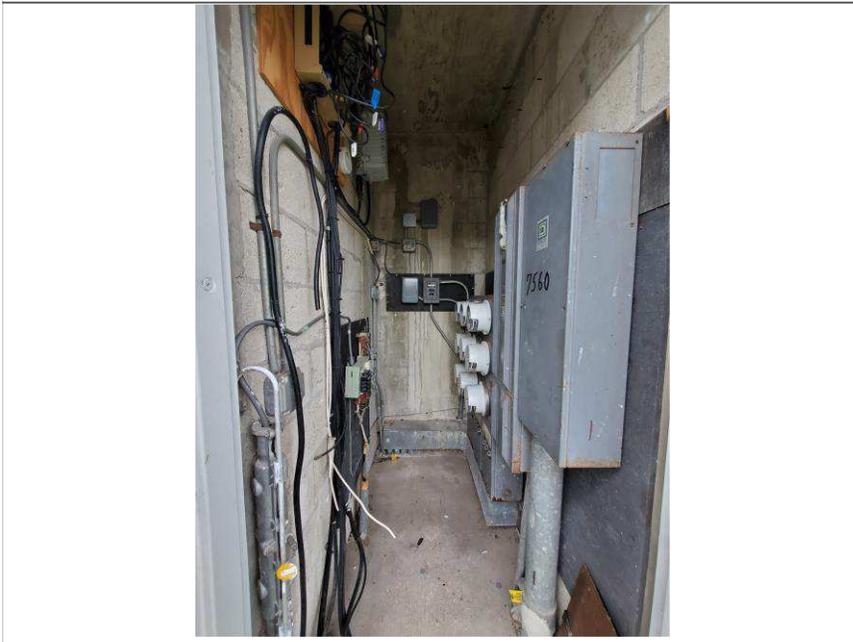
Photo 1 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
No Storage Permitted

Missing sign with Room name
and Building number.

Photo 2 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Main Switches for Apartments,
Meters, and Gutter.

Photo 3 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Main Disconnect and Meter
Stacks

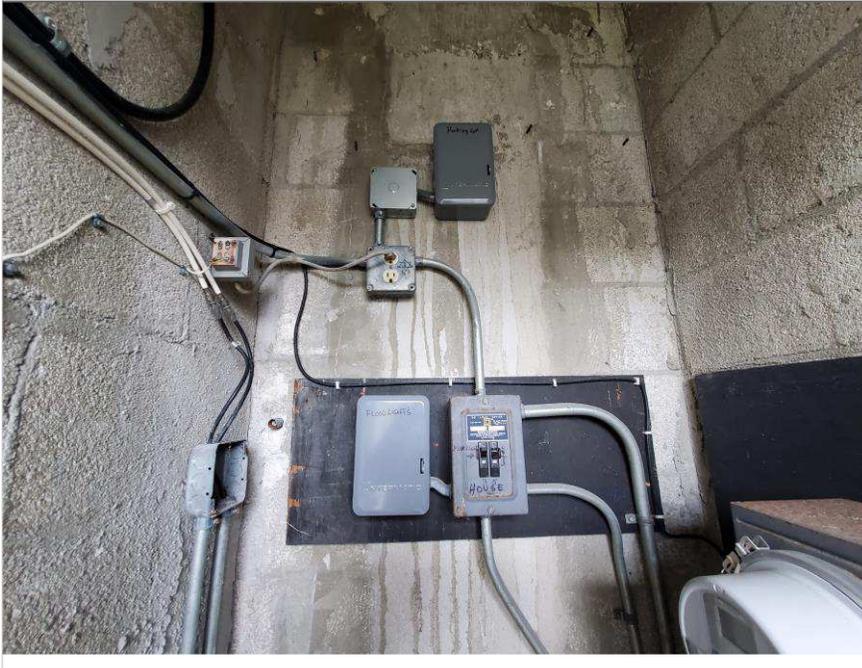
Photo 4 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Main Disconnect – Top View

Corroded tops and taps of
electrical components.

Photo 5 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
House Panel Board and Meter

Open junction boxes to be closed.

All wall penetrations to be fire caulked.

Photo 6 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
House Panel Board and
breakers.

Corroded panel and old circuit
breakers.

Photo 7 – Village of Dadeland Condominium Association

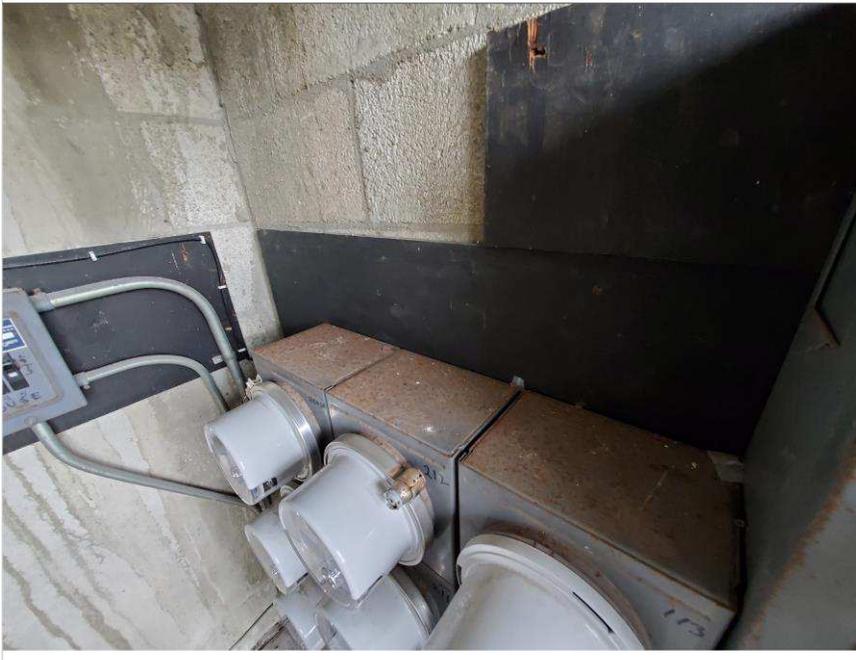


Existing Electrical Room - 1st FL
Main Switches for Apartments,
Meters, and Gutter.

Old and corroded meter stacks.

Apartment Disconnect Switches
are old.

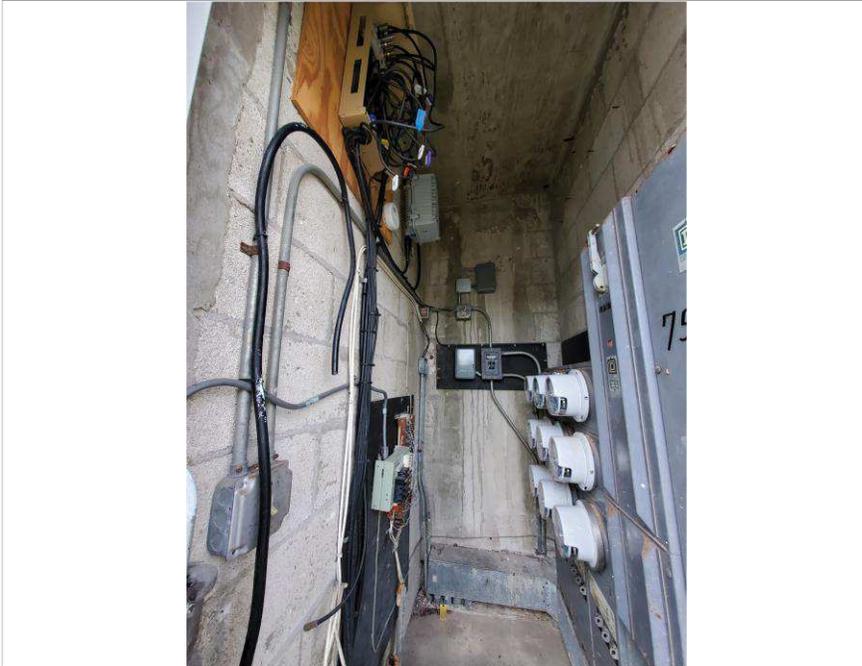
Photo 8 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Apartment Meters - Top View

Old and corroded meter stacks.

Photo 9 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Apartment Meters, Gutter and
Main Disconnect Switch

Insufficient clearance at
electrical components.

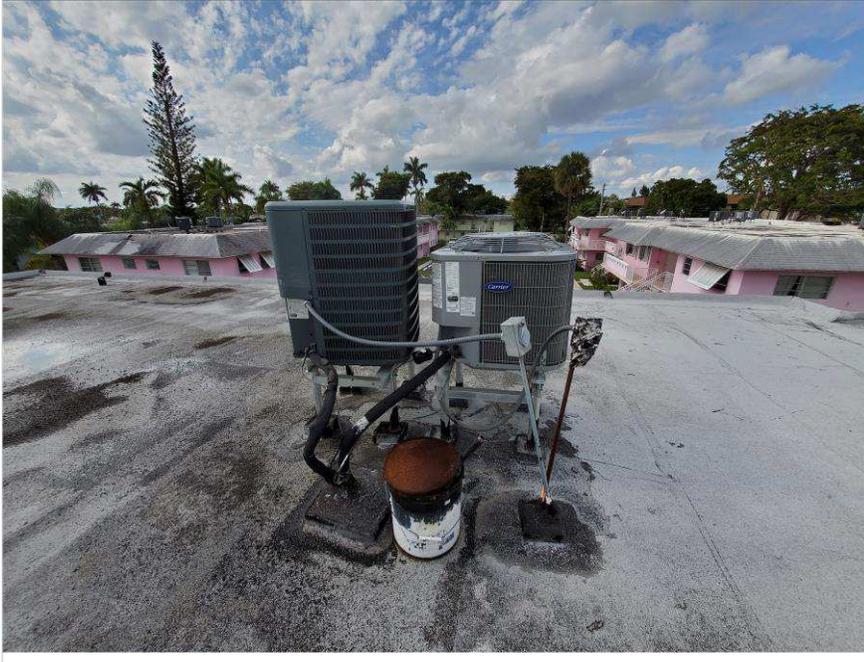
Photo 10 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Main Service - Grounding

Grounding resistance to be
tested to determine if repairs
and/or maintenance are
required.

Photo 11 – Village of Dadeland Condominium Association



Rooftop Condenser Units -
Improperly supported switches.
Missing or non-compliant method of providing disconnect switches.
Corroded conduits and boxes.

Photo 12 – Village of Dadeland Condominium Association



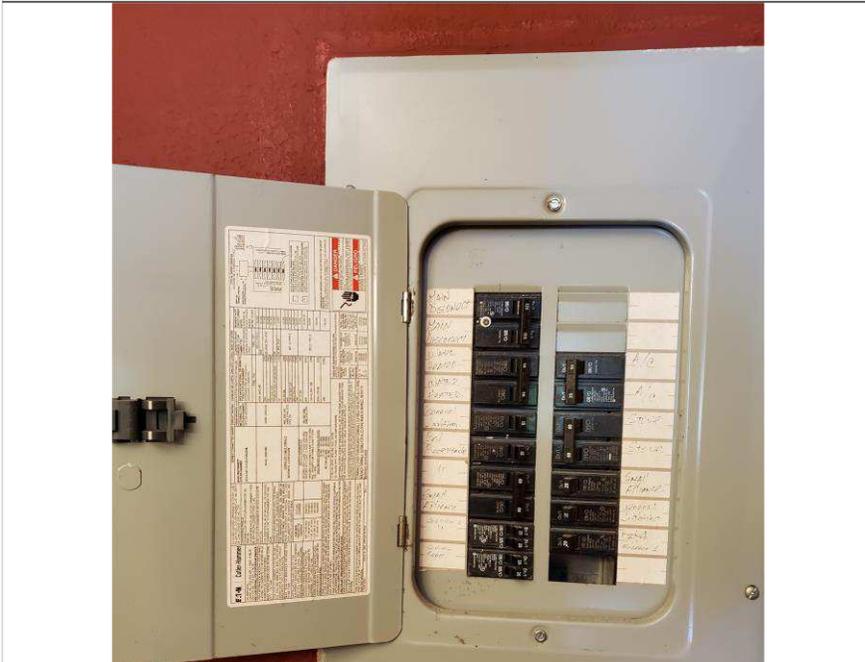
Rooftop Condenser Units -
Corroded junction boxes and conduits.

Photo 13 – Village of Dadeland Condominium Association



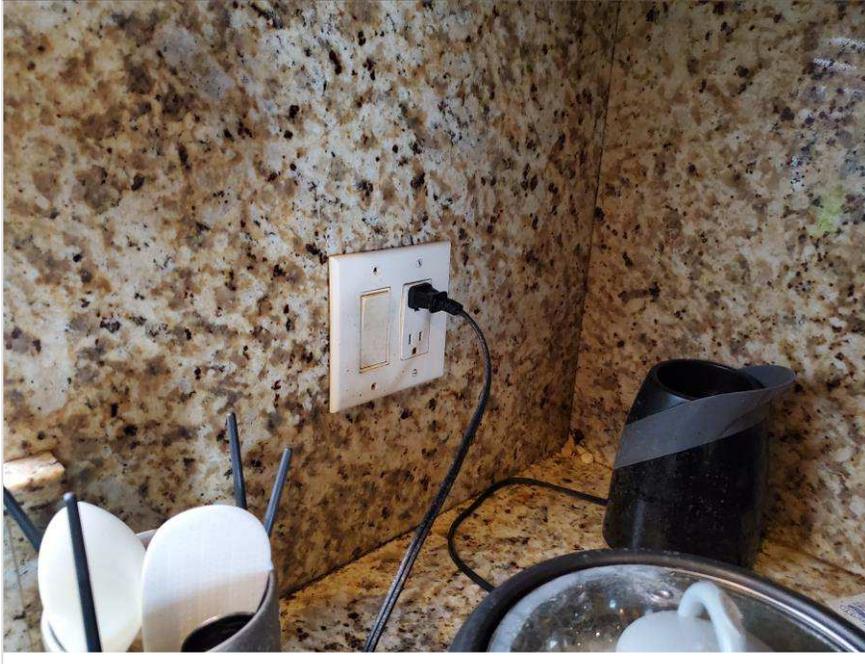
Points of Egress -
Insufficient illumination at
catwalks, stairs, and sidewalks.
Exterior lights not functional.

Photo 14 – Village of Dadeland Condominium Association



Apartments - Electrical Panels
Open breaker slot.

Photo 15 – Village of Dadeland Condominium Association



Apartments - Kitchen outlets are not GFCI type.

Photo 16 – Village of Dadeland Condominium Association



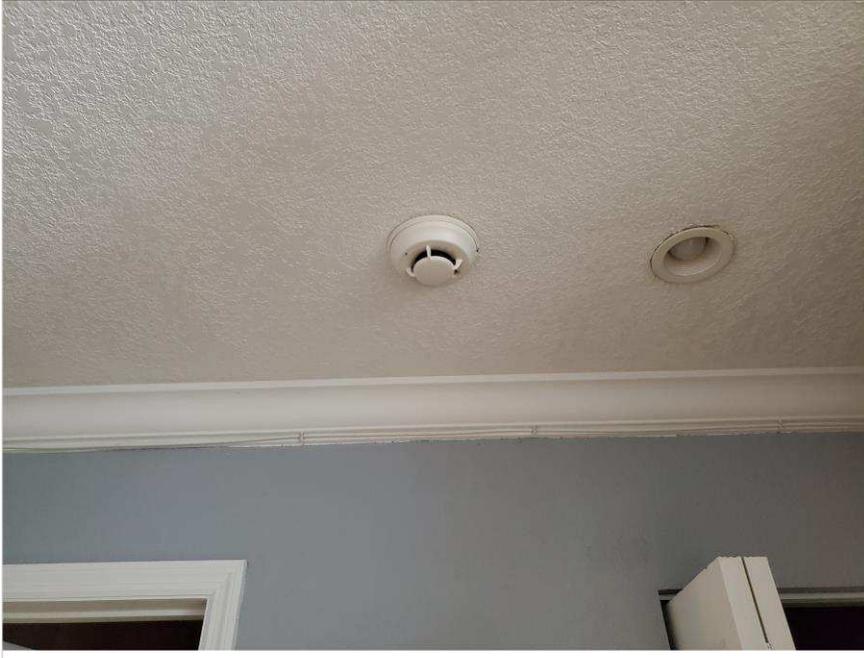
Apartments - Bathroom outlets are not GFCI type.

Photo 17 – Village of Dadeland Condominium Association



Apartments - Bathroom outlets are not GFCI type.

Photo 18 – Village of Dadeland Condominium Association



Apartments - Old Detectors



MINIMUM INSPECTION PROCEDURAL GUIDELINES FOR BUILDING ELECTRICAL RECERTIFICATION

INSPECTION COMMENCED

Date: 1/17/2022

INSPECTION COMPLETED

Date: 1/28/2022



INSPECTION MADE BY: FLORIN FLOREA P.E

SIGNATURE:

PRINT NAME: FLORIN FLOREA PE 91966 FLORIDA

TITLE: Sr Electrical Engineer

ADDRESS: 2500 Hollywood Blvd, Suite 212 Hollywood, FL 33020

DESCRIPTION OF STRUCTURE

Table with 10 rows (a-i) and 1 column. Row a: Name on Title: Village at Dadeland Condominiums (G). Row b: Street Address: 7530 SW 82nd St. Miami, Florida 33143. Row c: Legal Description: Village at Dadeland Condominiums. Row d: Owner's Name: Village at Dadeland Condominiums. Row e: Owner's Mailing Address: 7530 SW 82nd St. Miami, Florida 33143. Row f: Folio Number of Property on which Building is Located: 30-4035-047-XXXX. Row g: Building Code Occupancy Classification: R2 - Residential. Row h: Present Use: Condominium, Residential. Row i: General Description, Type of Construction, Size, Number of Stories, and Special Features. Additional Comments: The condominium building was built in 1968. Is a two story building comprised of concrete slab on compacted grade and stucco covered cmu exterior load bearing wall. The second floor catwalk consists of pre-cast concrete slabs, concrete tie columns and tie beams along exterior walls up to the roof level. The roof is a low slope roof and comprised of timber trusses and plywood decking covered with a bituminous asphalt membrane. At the perimeter of the roof there are timber framed gable ends covered with asphalt shingles that also cover the building balconies and catwalks. There is a Main Electrical Room at the rear of the building. There are multiple services at the building that are controlled by a main switch contained within the electrical room. The main switch controls power to the House Service Meter and the House Panel. The main switch also controls power to the individual condominium unit meters and breakers. The house panel serves common loads of the building.

MINIMUM GUIDELINES AND INFORMATION FOR RECERTIFICATION OF ELECTRICAL SYSTEMS OF FORTY (40) YEAR STRUCTURES

1. ELECTRIC SERVICE

1. Size: Amperage (400) Fuses () Breakers ()
2. Phase: Three Phase () Single Phase ()
3. Condition: Good () Fair () Needs Repair ()

Comments: Main Power (1) 400A 120/240V AC 1 Phase 3 Wire - Poor Condition Old with Rust

(1) House Panel is 100A 120/240V AC 1 Phase 3 Wire - Poor Condition Old with Rust

(2) Meter Center 120/240V AC 1 Phase 3 Wire - 4 Meter each serving a 100A Branch Circuit.

2. METER AND ELECTRIC ROOM

1. Clearances: Good () Fair () Requires Correction ()

Comments: Main Power - Insufficient Clearance 22", House Panel Insufficient Clearance 26", and

Meter Center - Insufficient Clearance 18.5". All electrical equipment is old and has corrosion.

All electrical equipment and branch circuits shall be clearly labeled and identified.

3. GUTTERS

Location: Good () Requires Repair ()
Taps and Fill: Good () Requires Repair ()

Comments: Observed corrosion, requires maintenance.

4. ELECTRICAL PANELS

Location: Good () Needs Repair ()

1. Panel #(House)

 Good () Needs Repair ()

2. Panel #()

 Good () Needs Repair ()

3. Panel #()

 Good () Needs Repair ()

4. Panel #()

 Good () Needs Repair ()

5. Panel #()

 Good () Needs Repair ()

Comments: Panel is old and has considerable corrosion. Panel needs to be replaced.

Insufficient Clearance only 26" at Panel.

5. BRANCH CIRCUITS:

1. Identified: Yes () Must be identified ()

2. Conductors: Good () Deteriorated () Must be replaced ()

Comments: All branch circuits must be clearly identified. Conductors not visible.

6. GROUNDING SERVICE:

Good () Repairs Required ()

Comments: Observed corrosion and/or section loss at the ground bars. We recommend that grounding resistance to be tested by an electrician and repaired/replaced if necessary.

7. GROUNDING OF EQUIPMENT:

Good () Repairs Required ()

Comments: Observed corrosion and/or possible section loss at the ground bars. We recommend that the grounding of equipment be replaced/repared by an electrician.

8. SERVICE CONDUITS/RACEWAYS:

Good () Repairs Required ()

Comments: Conduits and outlet are corroded. Open junction boxes to be closed.

9. SERVICE CONDUCTOR AND CABLES:

Good () Repairs Required ()

Comments: Service conductors and cables were concealed.

10. TYPES OF WIRING METHODS:

Conduit Raceways:	Good	(<input checked="" type="checkbox"/>)	Repairs Required	()
Conduit PVC:	Good	()	Repairs Required	()
NM Cable:	Good	()	Repairs Required	()
BX Cable:	Good	()	Repairs Required	()

11. FEEDER CONDUCTORS:

Good () Repairs Required ()

Comments: Feeder cables were concealed.

12. EMERGENCY LIGHTING:

Good () Repairs Required ()

Comments: N/A

13. BUILDING EGRESS ILLUMINATION:

Good () Repairs Required ()

Comments: Light out at catwalk - Repairs Required

14. FIRE ALARM SYSTEM:

Good () Repairs Required ()

Comments: N/A

15. SMOKE DETECTORS:

Good () Repairs Required ()

Comments: All old smoke detectors to be replaced. Smoke detectors to be installed and maintained in all main electric rooms. Apartments - Not all apartments have smoke detectors in the living room, hallways, and/or bedrooms. All units to be verified for compliance.

16. EXIT LIGHTS:

Good () Repairs Required ()

Comments: N/A

17. EMERGENCY GENERATOR:

Good () Repairs Required ()

Comments: N/A

18. WIRING IN OPEN OR UNDER COVER PARKING GARAGE AREAS:

Require Additional

Go od () Repairs Required ()

Comments: Wiring was concealed

19. OPEN OR UNDERCOVER PARKING GARAGE AREAS AND EGRESS ILLUMINATION:

Require Additional

Go od () Repairs Required ()

Comments: Open parking areas have low illumination levels creating unsafe conditions and security concerns. Additional lighting is required to illuminate the parking walking surfaces for safety and security purposes. Parking lights mounted on other buildings are out - Repairs Required.

20. SWIMMING POOL WIRING:

Go od () Repairs Required ()

Comments: N/A

21. WIRING TO MECHANICAL EQUIPMENT:

Go od () Repairs Required ()

Comments: 1. Mechanical Rooftop Equipment - Repairs/Replacement Required at all oxidized electrical disconnect boxes, supports, and conduit. All disconnect switches are to be operable and inside electrical components rust free. 2. All Rooftop Mechanical Equipment and Disconnect Switches to be properly identified.

22. ADDITIONAL COMMENTS:

1. Not all apartments have GFCI type outlets in Kitchens, Bathrooms, and or Balconies - Repairs Required

2. Unit G202 - Bathroom outlets are not GFCI type , Repairs Required

3. Unit G202 - Kitchen outlets are not GFCI type, Repairs Required

4. All Kitchen Island outlets are to be GFCI type, Repairs Required

5. Electrical outlets that have an open ground and/or are hot are to be repaired.

6. All Balcony and Patio outlets to be GFCI type and should be installed in a HD waterproof enclosure.

7. Not all balcony and/or patio outlets are GFCI type outlets, Repairs Required.

8. Not all balcony and/or patio outlets are WP type, Repairs Required.

9. Electrical Panels in the apartments have considerable oxidation and are to be replaced.

10. Electrical Panels in the apartments are missing labels and/or are not properly identified.

11. All Electrical Panels in the apartments are to be properly labeled with branch circuits clearly identified.

12. All Electric Panel covers to properly fit over circuit breakers boards.

13. Some Electrical Panel covers do not fit properly leaving lots of space around the circuit breakers.

14. All electrical panels installed 40 years or later, even though in good working order has passed its useful life and is recommended to be replaced.

SD:rs:vc:mb:js:jg:rtc1:10/12/2015:40yrtrackingsystem

15. All open outlets, switches, or junction boxes are to be repaired.

16. All Open Neutral Wiring or Open Ground at bathroom or Kitchen outlet, repairs required.

17. Time clock installed too high, repairs required.

18. Fire caulk all wall and ceiling penetrations at electric room.

Photo 1 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
No Storage Permitted

Missing sign with Room name
and Building number.

Photo 2 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Main Switches for Apartments,
Meters, and Gutter.

Photo 3 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Main Disconnect and Meter
Stacks

Photo 4 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Main Disconnect

Oxidized tops and taps of
Electrical Components.

Photo 5 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
House Panel Board and Meter.

Photo 6 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
House Panel Board and
Breakers.

Old and oxidized panel.

Photo 7 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Apartment Meters and Gutter.

Old and corroded meter stacks.

Photo 8 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Apartment Meters - Top View

Old and corroded meter stacks.

Photo 9 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Apartment Meters and Main
Switches

Insufficient clearance at
electrical components.

Photo 10 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Main Service - Grounding

Grounding resistance to be
tested to determine if repairs
and/or maintenance are
required.

Photo 11 – Village of Dadeland Condominium Association



Rooftop Condenser Units -

Missing or improperly installed disconnect switches.

Photo 12 – Village of Dadeland Condominium Association



Rooftop Condenser Units -
Corroded junction boxes and
conduits.

Improperly installed switches.

Photo 13 – Village of Dadeland Condominium Association



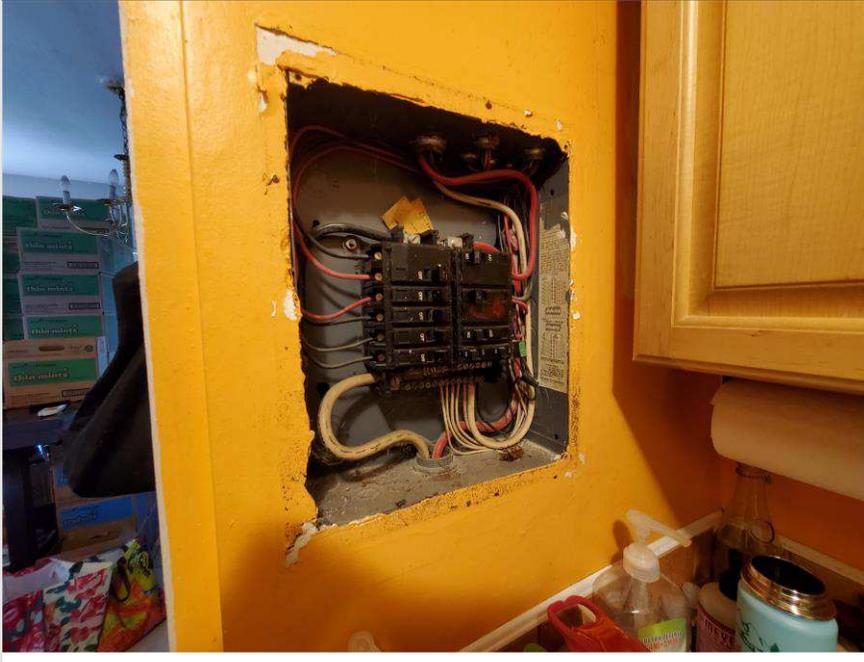
Points of Egress -
Poorly illuminated sidewalks and
stairs.
Exterior lights not functional.

Photo 14 – Village of Dadeland Condominium Association



Points of Egress -
Poorly illuminated sidewalks
Exterior lights not functional

Photo 15 – Village of Dadeland Condominium Association



Apartments - Electrical Panels

Missing panel directory.

Photo 16 – Village of Dadeland Condominium Association



Apartments - Kitchen outlets are not GFCI type.

Photo 17 – Village of Dadeland Condominium Association



Apartments - Bathroom outlets
are not GFCI type.

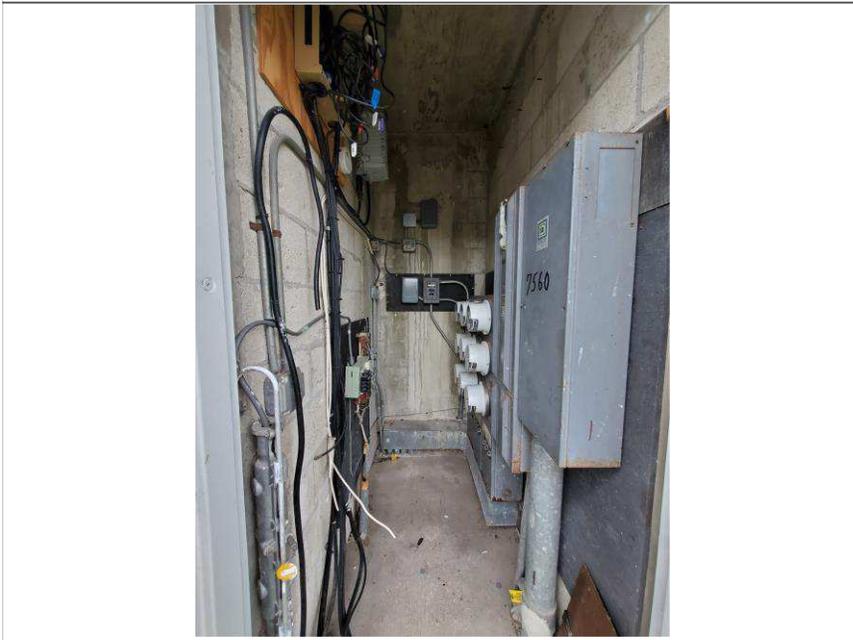
Photo 1 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
No Storage Permitted

Missing sign with Room name
and Building number.

Photo 2 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Main Switches for Apartments,
Meters, and Gutter.

Photo 3 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Main Disconnect and Meter
Stacks

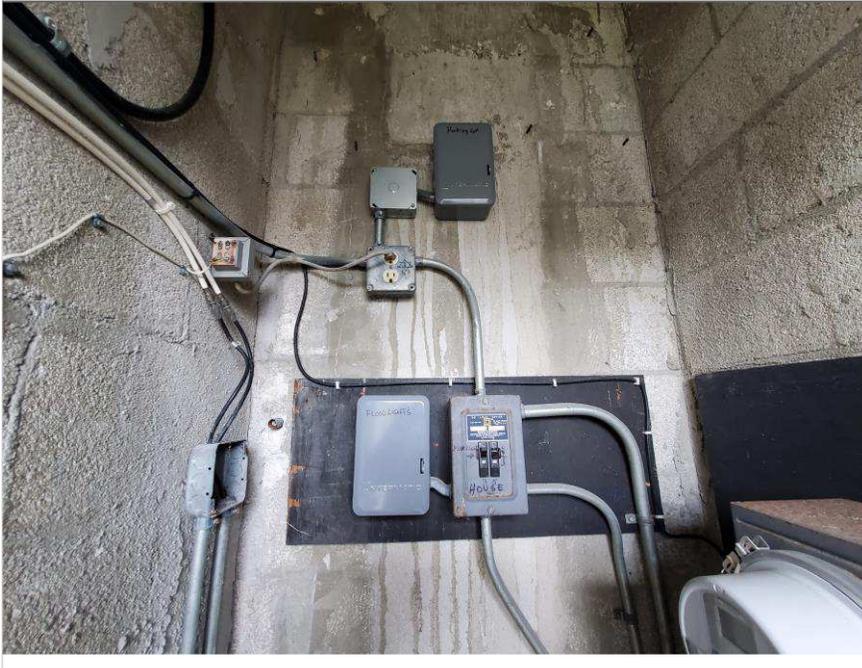
Photo 4 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Main Disconnect – Top View

Corroded tops and taps of
electrical components.

Photo 5 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
House Panel Board and Meter

Open junction boxes to be
closed.

All wall penetrations to be fire
caulked.

Photo 6 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
House Panel Board and
breakers.

Corroded panel and old circuit
breakers.

Photo 7 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Main Switches for Apartments,
Meters, and Gutter.

Old and corroded meter stacks.

Apartment Disconnect Switches
are old.

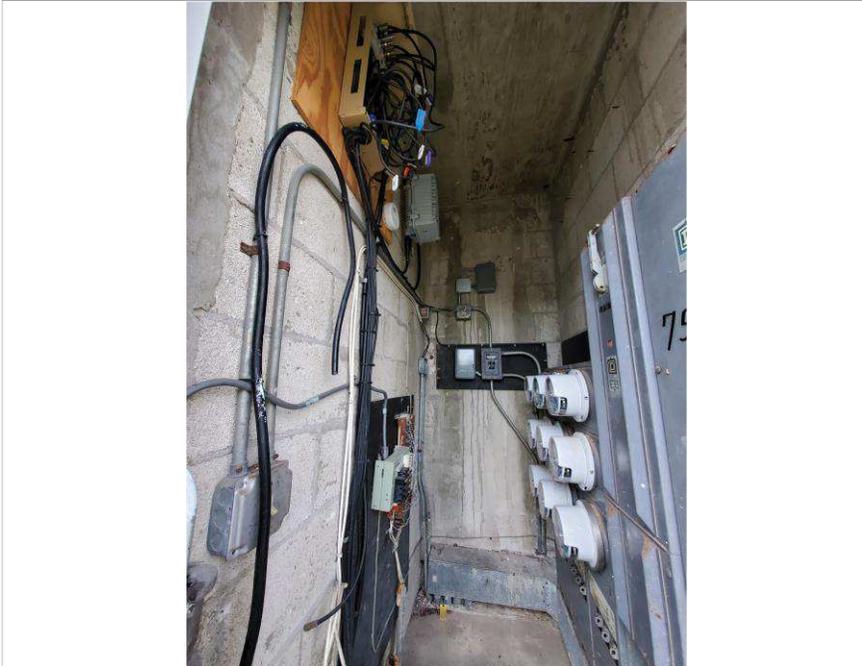
Photo 8 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Apartment Meters - Top View

Old and corroded meter stacks.

Photo 9 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Apartment Meters, Gutter and
Main Disconnect Switch

Insufficient clearance at
electrical components.

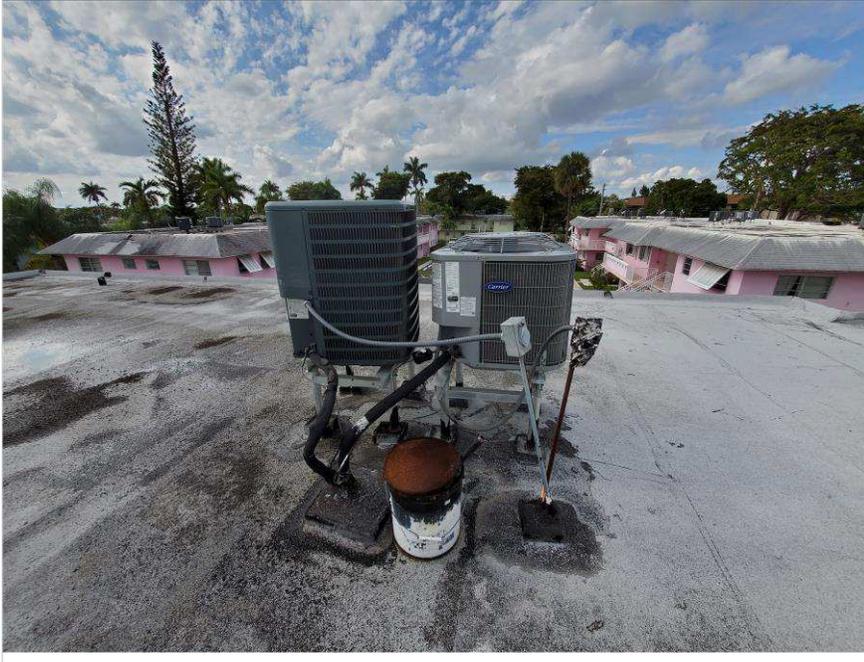
Photo 10 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Main Service - Grounding

Grounding resistance to be
tested to determine if repairs
and/or maintenance are
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Photo 11 – Village of Dadeland Condominium Association



Rooftop Condenser Units -
Improperly supported switches.
Missing or non-compliant
method of providing disconnect
switches.
Corroded conduits and boxes.

Photo 12 – Village of Dadeland Condominium Association



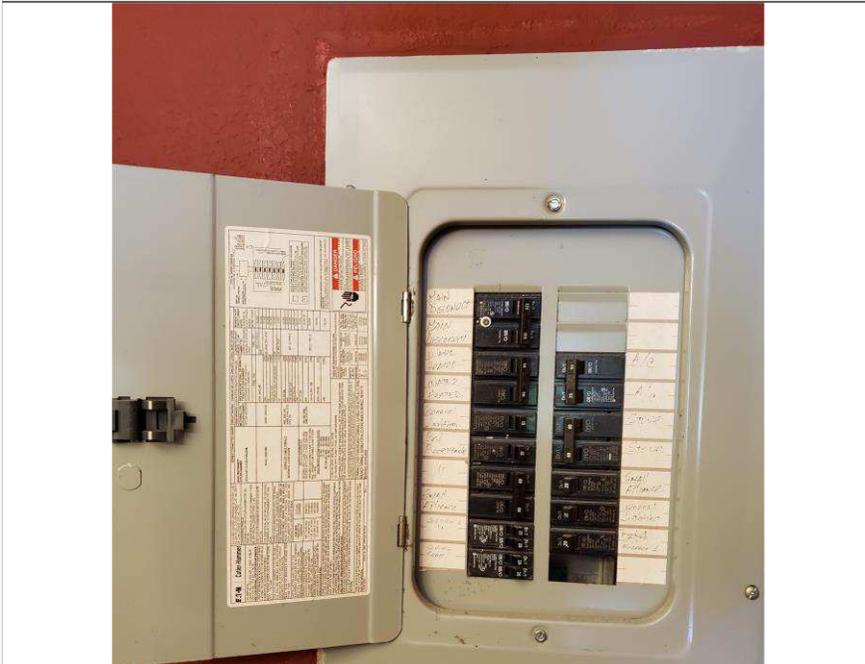
Rooftop Condenser Units -
Corroded junction boxes and
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Photo 13 – Village of Dadeland Condominium Association



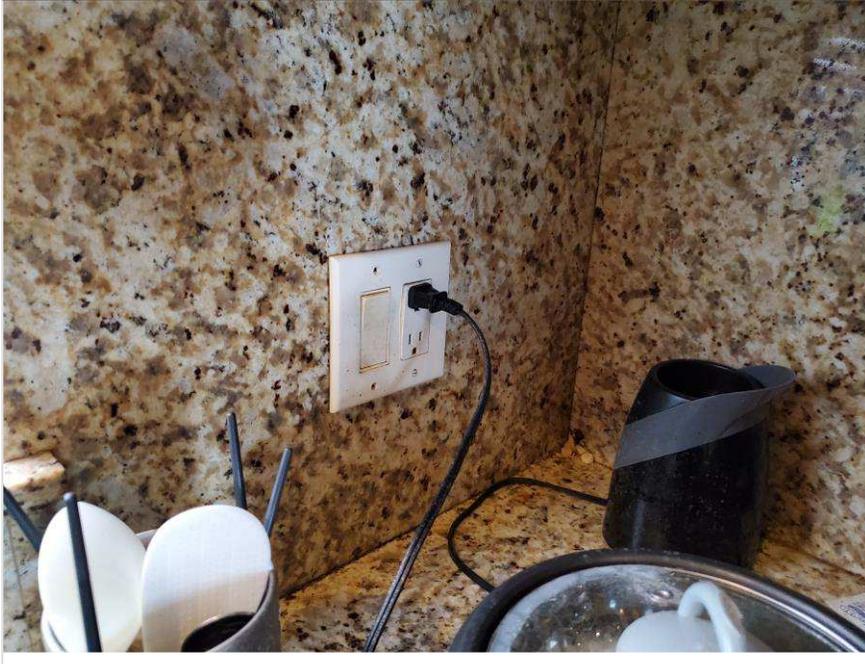
Points of Egress -
Insufficient illumination at
catwalks, stairs, and sidewalks.
Exterior lights not functional.

Photo 14 – Village of Dadeland Condominium Association



Apartments - Electrical Panels
Open breaker slot.

Photo 15 – Village of Dadeland Condominium Association



Apartments - Kitchen outlets are not GFCI type.

Photo 16 – Village of Dadeland Condominium Association



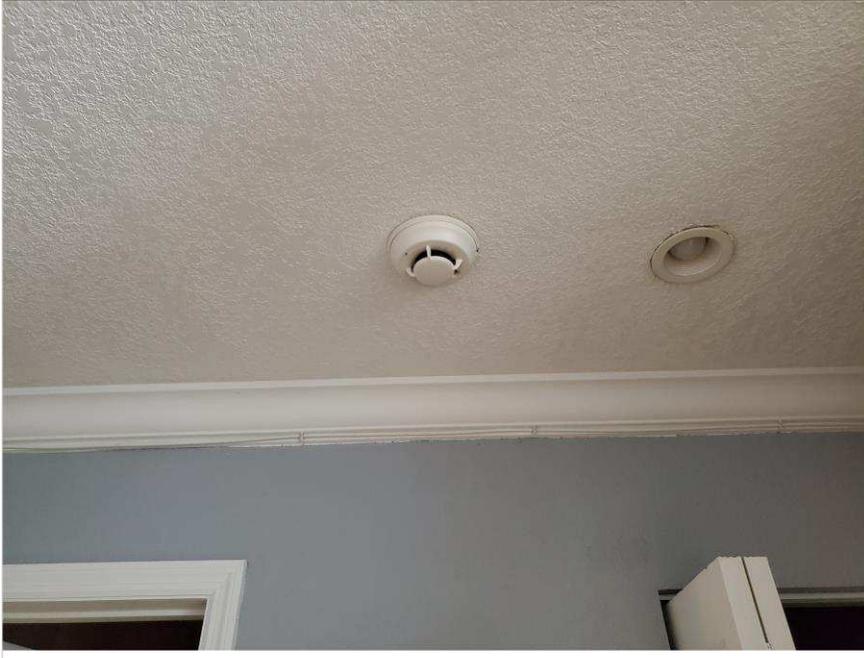
Apartments - Bathroom outlets are not GFCI type.

Photo 17 – Village of Dadeland Condominium Association



Apartments - Bathroom outlets
are not GFCI type.

Photo 18 – Village of Dadeland Condominium Association



Apartments - Old Detectors



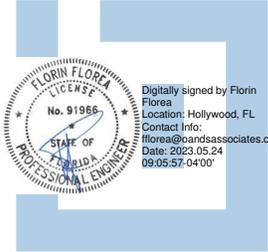
MINIMUM INSPECTION PROCEDURAL GUIDELINES FOR BUILDING ELECTRICAL RECERTIFICATION

INSPECTION COMMENCED

Date: 1/17/2022

INSPECTION COMPLETED

Date: 1/28/2022



INSPECTION MADE BY: FLORIN FLOREA P.E

SIGNATURE:

PRINT NAME: FLORIN FLOREA PE 91966 FLORIDA

TITLE: Sr Electrical Engineer

ADDRESS: 2500 Hollywood Blvd, Suite 212 Hollywood, FL 33020

DESCRIPTION OF STRUCTURE

Table with 1 column and 13 rows containing structure details: a. Name on Title: Village at Dadeland Condominiums (G), b. Street Address: 7560 SW 82nd St. Miami, Florida 33143, c. Legal Description: Village at Dadeland Condominiums, d. Owner's Name: Village at Dadeland Condominiums, e. Owner's Mailing Address: 7560 SW 82nd St. Miami, Florida 33143, f. Folio Number of Property on which Building is Located: 30-4035-047-XXXX, g. Building Code Occupancy Classification: R2 - Residential, h. Present Use: Condominium, Residential, i. General Description, Type of Construction, Size, Number of Stories, and Special Features. Additional Comments: The condominium building was built in 1968. Is a two story building comprised of concrete slab on compacted grade and stucco covered cmu exterior load bearing wall. The second floor catwalk consists of pre-cast concrete slabs, concrete tie columns and tie beams along exterior walls up to the roof level. The roof is a low slope roof and comprised of timber trusses and plywood decking covered with a bituminous asphalt membrane. At the perimeter of the roof there are timber framed gable ends covered with asphalt shingles that also cover the building balconies and catwalks. There is a Main Electrical Room at the rear of the building. There are multiple services at the building that are controlled by a main switch contained within the electrical room. The main switch controls power to the House Service Meter and the House Panel. The main switch also controls power to the individual condominium unit meters and breakers. The house panel serves common loads of the building.

MINIMUM GUIDELINES AND INFORMATION FOR RECERTIFICATION OF ELECTRICAL SYSTEMS OF FORTY (40) YEAR STRUCTURES

1. ELECTRIC SERVICE

1. Size: Amperage (400) Fuses () Breakers ()
2. Phase: Three Phase () Single Phase ()
3. Condition: Good () Fair () Needs Repair ()

Comments: Main Power (1) 600A 120/240V AC 1 Phase 3 Wire - Poor Condition Old with Rust

(1) House Panel is 70A (40A Main Breaker) 120/240V AC 1 Phase 3 Wire - Poor Condition Rusted

(3) Meter Center 120/240V AC 1 Phase 3 Wire - 3 Meters each serving a 100A Branch Circuit.

2. METER AND ELECTRIC ROOM

1. Clearances: Good () Fair () Requires Correction ()

Comments: Main Power - Insufficient Clearance 25", House Panel Insufficient Clearance 25" side to side, and Meter Center - Insufficient Clearance 19". All electrical equipment is old and has corrosion.

All electrical equipment and branch circuits shall be clearly labeled and identified.

3. GUTTERS

Location: Good () Requires Repair ()
Taps and Fill: Good () Requires Repair ()

Comments: Observed corrosion, requires maintenance.

4. ELECTRICAL PANELS

Location: Good () Needs Repair ()

1. Panel #(House)

 Good () Needs Repair ()

2. Panel #()

 Good () Needs Repair ()

3. Panel #()

 Good () Needs Repair ()

4. Panel #()

 Good () Needs Repair ()

5. Panel #()

 Good () Needs Repair ()

Comments: Panel is old and has corrosion, replace panel.

Insufficient Clearance side to side only 25" at Panel.

5. BRANCH CIRCUITS:

1. Identified: Yes () Must be identified ()

2. Conductors: Good () Deteriorated () Must be replaced ()

Comments: All branch circuits must be clearly identified. Conductors not visible. Old Branch Circuits.

6. GROUNDING SERVICE:

Good () Repairs Required ()

Comments: Observed corrosion and/or section loss at the ground bars. We recommend that grounding resistance to be tested by an electrician and repaired/replaced if necessary.

7. GROUNDING OF EQUIPMENT:

Good () Repairs Required ()

Comments: Observed corrosion and/or possible section loss at the ground bars. We recommend that the grounding of equipment be replaced/repared by an electrician.

8. SERVICE CONDUITS/RACEWAYS:

Good () Repairs Required ()

Comments: Some conduits are corroded, open and corroded junction boxes and corroded outlet.

9. SERVICE CONDUCTOR AND CABLES:

Good () Repairs Required ()

Comments: Service conductors and cables were concealed.

10. TYPES OF WIRING METHODS:

Conduit Raceways:	Good	(<input checked="" type="checkbox"/>)	Repairs Required	()
Conduit PVC:	Good	()	Repairs Required	()
NM Cable:	Good	()	Repairs Required	()
BX Cable:	Good	()	Repairs Required	()

11. FEEDER CONDUCTORS:

Good () Repairs Required ()

Comments: Feeder cables were concealed.

12. EMERGENCY LIGHTING:

Good () Repairs Required ()

Comments: N/A

13. BUILDING EGRESS ILLUMINATION:

Good () Repairs Required ()

Comments: Low illumination levels at catwalks and sidewalks - Repairs Required

14. FIRE ALARM SYSTEM:

Good () Repairs Required ()

Comments: N/A

15. SMOKE DETECTORS:

Good () Repairs Required ()

Comments: All old smoke detectors to be replaced. Smoke detectors to be installed and maintained in all .
main electric rooms. Apartments - Not all apartments have smoke detectors in the living room, hallways,
and/or bedrooms. As observed in Units G114, all other units to be verified for compliance.

16. EXIT LIGHTS:

Good () Repairs Required ()

Comments: N/A

17. EMERGENCY GENERATOR:

Good () Repairs Required ()

Comments: N/A

18. WIRING IN OPEN OR UNDER COVER PARKING GARAGE AREAS:

Require Additional

Go od () Repairs Required ()

Comments: Wiring was concealed

19. OPEN OR UNDERCOVER PARKING GARAGE AREAS AND EGRESS ILLUMINATION:

Require Additional

Go od () Repairs Required ()

Comments: Open parking areas have low illumination levels creating unsafe conditions and security concerns. Additional lighting is required to illuminate the parking walking surfaces for safety and security purposes. Parking lights mounted on other buildings are out - Repairs Required.

20. SWIMMING POOL WIRING:

Go od () Repairs Required ()

Comments: N/A

21. WIRING TO MECHANICAL EQUIPMENT:

Go od () Repairs Required ()

Comments: 1. Mechanical Rooftop Equipment - Repairs/Replacement Required at all oxidized electrical disconnect boxes, supports, and conduit. All disconnect switches are to be operable and inside electrical components rust free. 2. All Rooftop Mechanical Equipment and Disconnect Switches to be properly identified.

22. ADDITIONAL COMMENTS:

- | |
|-----------------------------------------------------------------------------------------------------------------|
| 1. Not all apartments have GFCI type outlets in Kitchens, Bathrooms, and or Balconies - Repairs Required |
| 2. Unit G213 - Bathroom outlets are not GFCI type, Repairs Required |
| 3. Unit G114, G213 - Kitchen outlets are not GFCI type, Repairs Required |
| 4. All Kitchen Island outlets are to be GFCI type, Repairs Required |
| 5. Electrical outlets that have an open ground and/or are hot are to be repaired. |
| 6. All Balcony and Patio outlets to be GFCI type and should be installed in a HD waterproof enclosure. |
| 7. Not all balcony and/or patio outlets are GFCI type outlets, Repairs Required. |
| 8. Not all balcony and/or patio outlets are WP type, Repairs Required. |
| 9. Electrical Panels in the apartments have considerable oxidation and are to be replaced. |
| 10. Electrical Panels in the apartments are missing labels and/or are not properly identified. |
| 11. All Electrical Panels in the apartments are to be properly labeled with branch circuits clearly identified. |
| 12. All Electric Panel covers to properly fit over circuit breakers boards. |

13. Some Electrical Panel covers do not fit properly leaving lots of space around the circuit breakers.

14. All electrical panels installed 40 years or later, even though in good working order has passed its useful life and is recommended to be replaced.

SD:rs:vc:mb:js:jg:rtc1:10/12/2015:40yrtrackingsystem

15. All open outlets, switches, or junction boxes are to be repaired.

16. Unit G114 - Open Neutral Wiring or Open Ground at bathroom or Kitchen outlet, repairs required.

17. Time clocks, Disconnects, and Electric Panel installed too high, repairs required.

18. Time Clocks installed too high at 81" A.F.F. - Repairs Required.

19. Fire caulk all wall and ceiling penetrations at electric room.

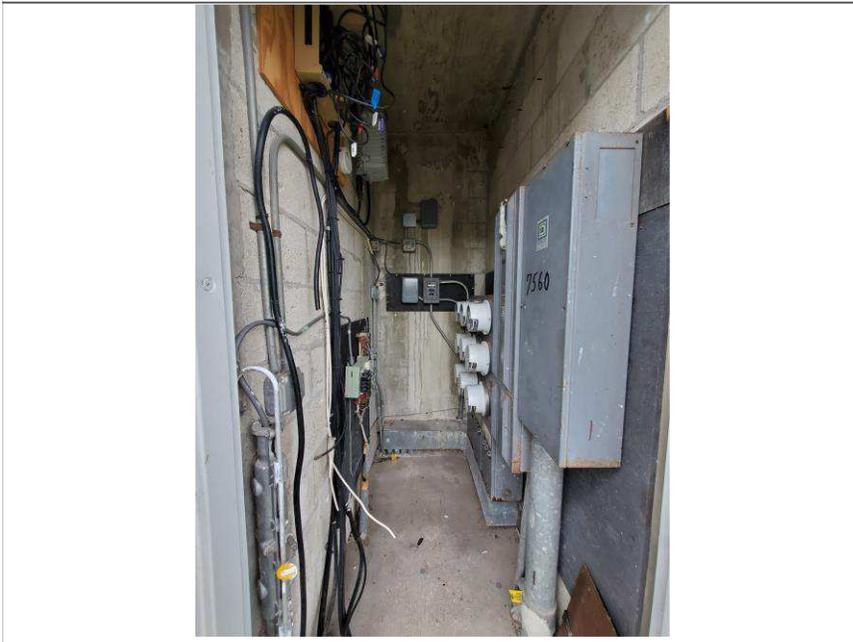
Photo 1 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
No Storage Permitted

Missing sign with Room name
and Building number.

Photo 2 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Main Switches for Apartments,
Meters, and Gutter.

Photo 3 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Main Disconnect and Meter
Stacks

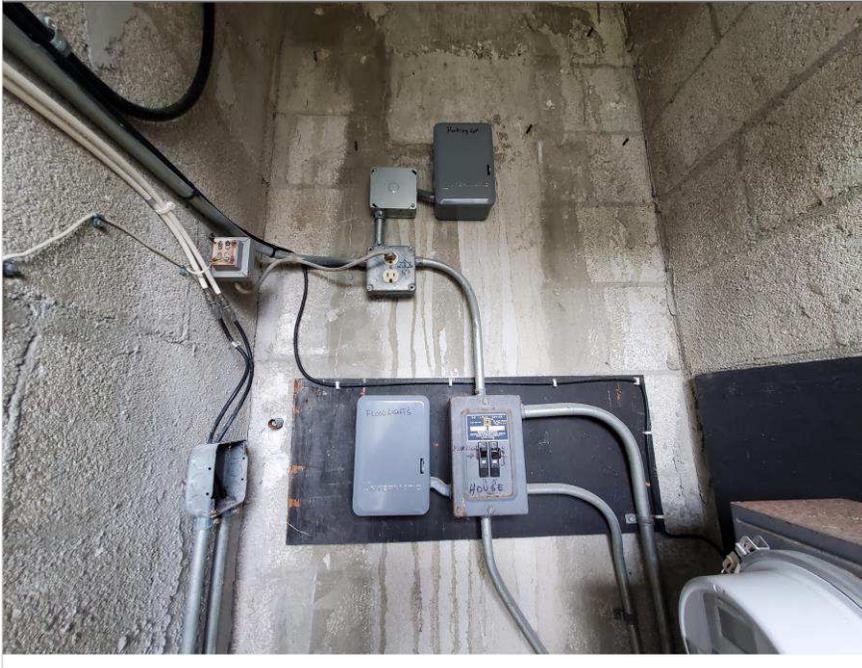
Photo 4 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Main Disconnect – Top View

Corroded tops and taps of
electrical components.

Photo 5 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
House Panel Board and Meter

Open junction boxes to be
closed.

All wall penetrations to be fire
caulked.

Photo 6 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
House Panel Board and
breakers.

Corroded panel and old circuit
breakers.

Photo 7 – Village of Dadeland Condominium Association

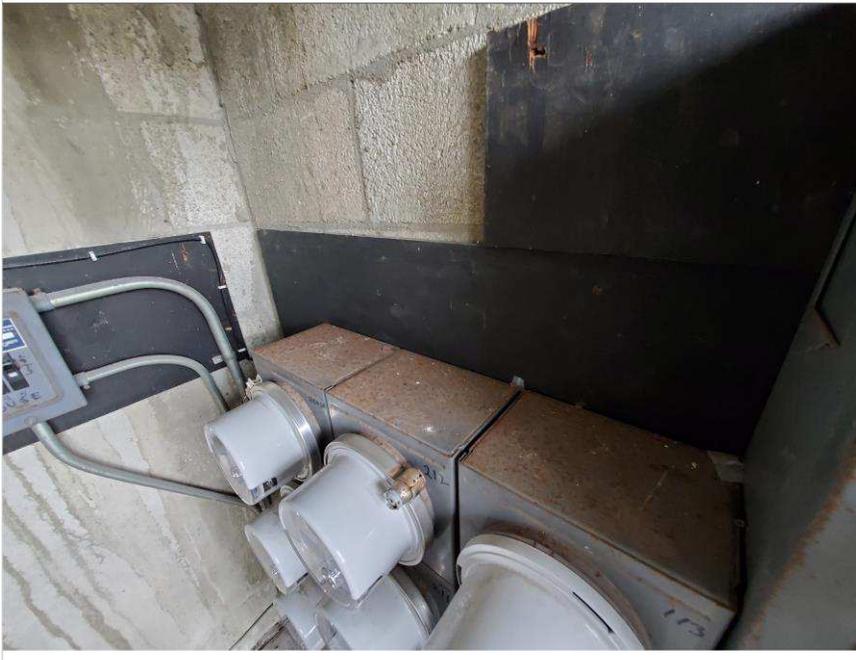


Existing Electrical Room - 1st FL
Main Switches for Apartments,
Meters, and Gutter.

Old and corroded meter stacks.

Apartment Disconnect Switches
are old.

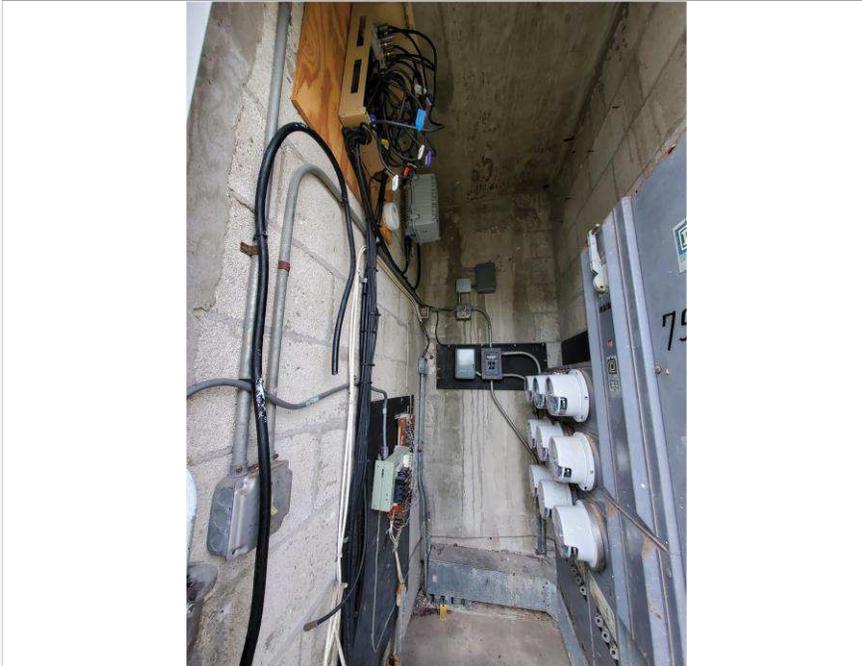
Photo 8 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Apartment Meters - Top View

Old and corroded meter stacks.

Photo 9 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Apartment Meters, Gutter and
Main Disconnect Switch

Insufficient clearance at
electrical components.

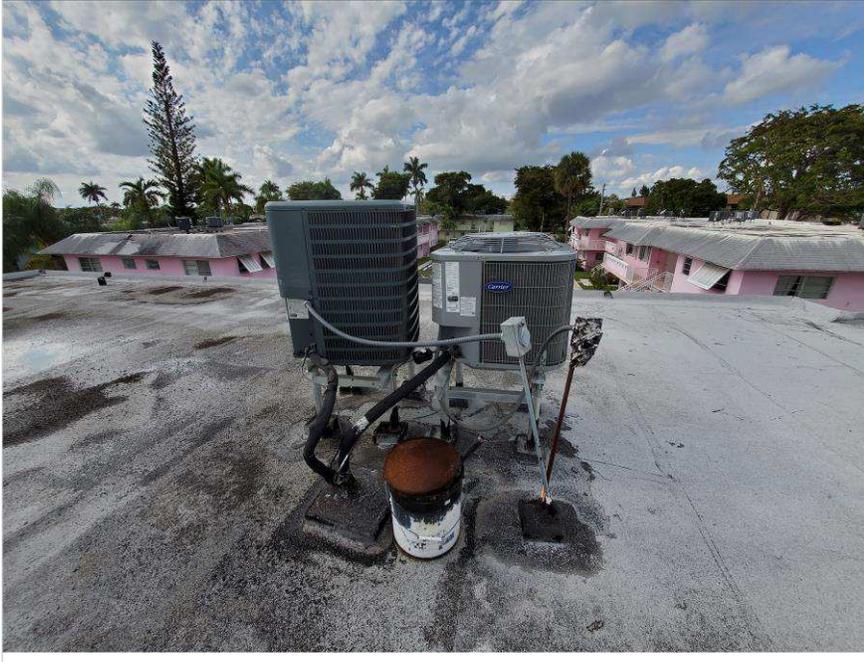
Photo 10 – Village of Dadeland Condominium Association



Existing Electrical Room - 1st FL
Main Service - Grounding

Grounding resistance to be
tested to determine if repairs
and/or maintenance are
required.

Photo 11 – Village of Dadeland Condominium Association



Rooftop Condenser Units -

Improperly supported switches.

Missing or non-compliant method of providing disconnect switches.

Corroded conduits and boxes.

Photo 12 – Village of Dadeland Condominium Association



Rooftop Condenser Units -

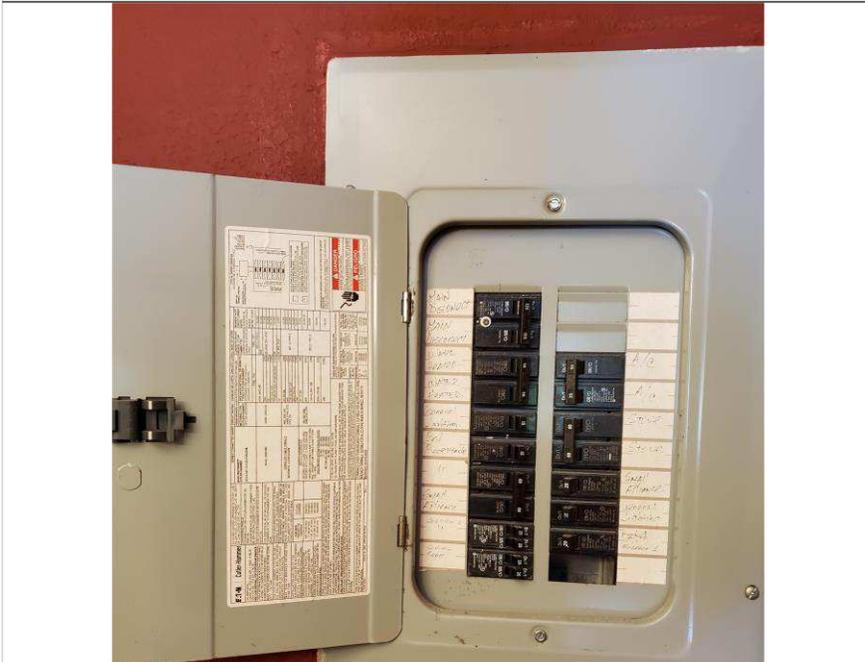
Corroded junction boxes and conduits.

Photo 13 – Village of Dadeland Condominium Association



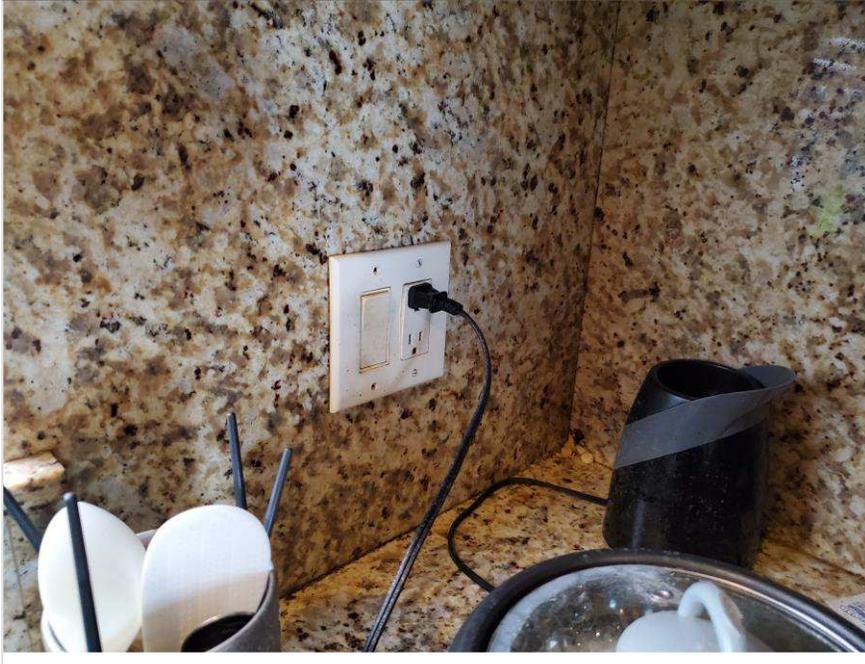
Points of Egress -
Insufficient illumination at
catwalks, stairs, and sidewalks.
Exterior lights not functional.

Photo 14 – Village of Dadeland Condominium Association



Apartments - Electrical Panels
Open breaker slot.

Photo 15 – Village of Dadeland Condominium Association



Apartments - Kitchen outlets are not GFCI type.

Photo 16 – Village of Dadeland Condominium Association



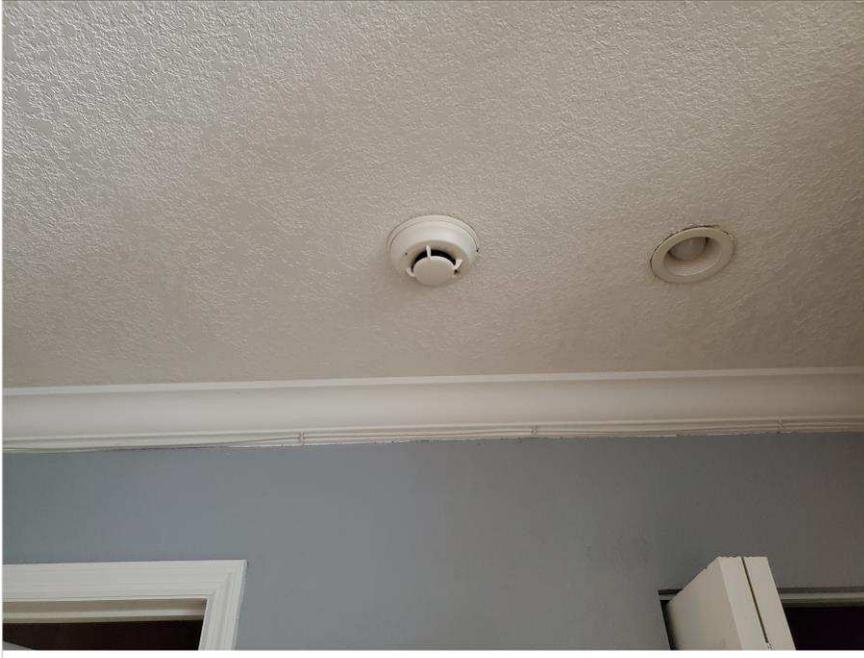
Apartments - Bathroom outlets are not GFCI type.

Photo 17 – Village of Dadeland Condominium Association



Apartments - Bathroom outlets are not GFCI type.

Photo 18 – Village of Dadeland Condominium Association



Apartments - Old Detectors

October 13, 2022

To: Building Department Official

City of Miami-Dade, FL
11805 SW 26th Street,
Miami, FL 33175.

RE: Village at Dadeland Condominiums
7500 SW 82nd St, Miami, FL 33143
Structural Repairs for Building Recertification
Parcel #: 30-4035-047-XXXX

Dear Recipient,

To the best of my knowledge based on the visual inspection of exposed structural members, the building located at said address is structurally safe for continued occupancy while the concrete repairs are performed.

The association of Village at Dadeland Condominiums must submit all necessary repairs documents and specifications to the City Miami Dade Building Department within 180 days as described in the Miami-Dade County Building Safety Inspection requirements.

As routine matter, in order to avoid possible misunderstanding, nothing in this report should be construed directly or indirectly as a guarantee for any portion of the structure system. To the best of my knowledge and ability, this report represents an accurate appraisal of the present condition of the building based upon careful evaluation of observed conditions, to the extent reasonably possible. There was no destructive testing done at the building and none of the covered structural members could be visual inspected.

Please contact me with any concerns at (305) 676-9888.

Digitally signed by Jason Borden
Contact Info 305-676-9888
Date: 2023.05.19.16:17:47-04'00'

Respectfully,

Jason Borden, P.E.

Regional Director

O&S Associates, Inc. – Engineers & Architects

jborden@OandSassociates.com

October 13, 2022

To: Building Department Official

City of Miami-Dade, FL
11805 SW 26th Street,
Miami, FL 33175.

RE: Village at Dadeland Condominiums
7520 SW 82nd St, Miami, FL 33143
Structural Repairs for Building Recertification
Parcel #: 30-4035-047-XXXX

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Please contact me with any concerns at (305) 676-9888.

Digitally signed by Jason Borden

Contact Info: 305-676-9888

Date: 2023.05.19

16:17:28-04'00"

Respectfully,

Jason Borden, P.E.

Regional Director

O&S Associates, Inc. – Engineers & Architects

jborden@OandSassociates.com

October 13, 2022

To: Building Department Official

City of Miami-Dade, FL
11805 SW 26th Street,
Miami, FL 33175.

RE: Village at Dadeland Condominiums
7530 SW 82nd St, Miami, FL 33143
Structural Repairs for Building Recertification
Parcel #: 30-4035-047-XXXX

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Digitally signed by Jason Borden
Contact Info 305-676-9888
Date: 2023.05.19.16:17:04-04'00'

Respectfully,

Jason Borden, P.E.

Regional Director

O&S Associates, Inc. – Engineers & Architects

jborden@OandSassociates.com

October 13, 2022

To: Building Department Official

City of Miami-Dade, FL
11805 SW 26th Street,
Miami, FL 33175.

RE: Village at Dadeland Condominiums
7560 SW 82nd St, Miami, FL 33143
Structural Repairs for Building Recertification
Parcel #: 30-4035-047-XXXX

Dear Recipient,

To the best of my knowledge based on the visual inspection of exposed structural members, the building located at said address is structurally safe for continued occupancy while the concrete repairs are performed.

The association of Village at Dadeland Condominiums must submit all necessary repairs documents and specifications to the City Miami Dade Building Department within 180 days as described in the Miami-Dade County Building Safety Inspection requirements.

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Please contact me with any concerns at (305) 676-9888.

Digitally signed by Jason Borden
Contact Info: 305-676-9888
Date: 2023.05.19.16.15:50-04'00'



Respectfully,

Jason Borden, P.E.

Regional Director

O&S Associates, Inc. – Engineers & Architects

jborden@OandSassociates.com

May 24, 2023

To: Building Department Official

Miami-Dade County, FL
11805 SW 26th Street,
Miami, FL 33175.

RE: Village at Dadeland Condominium Association
7500 SW 82nd St, Miami, FL 33143
Electrical Repairs for Building Recertification
Folio #: 30-4035-047-XXXX

Dear Recipient,

To the best of my knowledge, based on the visual inspection of observable elements of the building electrical system, the building located at the above noted address is safe for continued occupancy while the electrical repairs are performed.

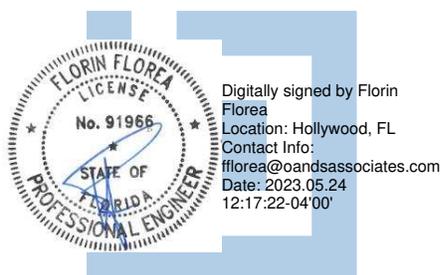
The Village at Dadeland Condominium Association must submit all necessary repairs documents and specifications to the Miami-Dade County Building Department within 180 days as described in the Miami-Dade County Building Safety Inspection requirements.

As a routine matter, in order to avoid possible misunderstanding, nothing in this report should be construed directly or indirectly as a guarantee for any portion of the electrical system. To the best of my knowledge and ability, this report represents an accurate appraisal of the present condition of the building based upon careful evaluation of observed conditions, to the extent reasonably possible. There was no destructive testing done at the building and none of the covered electrical conduits or wiring could be visually inspected.

Please contact me with any concerns at (305) 676-9888.

Respectfully,
Florin Florea, P.E.
Electrical Engineer

O&S Associates, Inc. – Engineers & Architects



May 24, 2023

To: Building Department Official

Miami-Dade County, FL
11805 SW 26th Street,
Miami, FL 33175.

RE: Village at Dadeland Condominium Association
7520 SW 82nd St, Miami, FL 33143
Electrical Repairs for Building Recertification
Folio #: 30-4035-047-XXXX

Dear Recipient,

To the best of my knowledge, based on the visual inspection of observable elements of the building electrical system, the building located at the above noted address is safe for continued occupancy while the electrical repairs are performed.

The Village at Dadeland Condominium Association must submit all necessary repairs documents and specifications to the Miami-Dade County Building Department within 180 days as described in the Miami-Dade County Building Safety Inspection requirements.

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Respectfully,
Florin Florea, P.E.
Electrical Engineer

O&S Associates, Inc. – Engineers & Architects

May 24, 2023

To: Building Department Official

Miami-Dade County, FL
11805 SW 26th Street,
Miami, FL 33175.

RE: Village at Dadeland Condominium Association
7530 SW 82nd St, Miami, FL 33143
Electrical Repairs for Building Recertification
Folio #: 30-4035-047-XXXX

Dear Recipient,

To the best of my knowledge, based on the visual inspection of observable elements of the building electrical system, the building located at the above noted address is safe for continued occupancy while the electrical repairs are performed.

The Village at Dadeland Condominium Association must submit all necessary repairs documents and specifications to the Miami-Dade County Building Department within 180 days as described in the Miami-Dade County Building Safety Inspection requirements.

As a routine matter, in order to avoid possible misunderstanding, nothing in this report should be construed directly or indirectly as a guarantee for any portion of the electrical system. To the best of my knowledge and ability, this report represents an accurate appraisal of the present condition of the building based upon careful evaluation of observed conditions, to the extent reasonably possible. There was no destructive testing done at the building and none of the covered electrical conduits or wiring could be visually inspected.

Please contact me with any concerns at (305) 676-9888.



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