

Ahlers & Ogletree

1788 Ellsworth Industrial Blvd.
Atlanta, GA 30318

Project Directory

Building Data

Project Description

Existing Business Occupancy Interior Renovation for Ahlers & Ogletree in a single-tenant, 1-story building of steel structure with masonry and glass facade. The project includes demolition and new construction of reception space, office space, conference space, break area, and restrooms. Re-configuration of existing warehouse storage space. New construction shall consist of metal framed gypsum board partitions and lay-in ceiling tiles. Existing Warehouse Storage under ownership to remain as Warehouse Storage.

Applicable Codes

- International Building Code, 2018 Edition, with Georgia Amendments (2020), (2022)
- International Residential Code, 2018 Edition, with Georgia Amendments (2020)
- International Fire Code, 2018 Edition, with Georgia Amendments (2020)
- International Plumbing Code, 2018 Edition, with Georgia Amendments (2020), (2022)
- International Mechanical Code, 2018 Edition, with Georgia Amendments (2020)
- International Fuel Gas Code, 2018 Edition, with Georgia Amendments (2020), (2022)
- National Electrical Code, 2020 Edition, with Georgia Amendments (2021)
- International Energy Conservation Code, 2015 Edition, with Georgia Supplements and Amendments (2020), (2022)
- NFPA 101 Life Safety Code 2018 Edition with State Amendments (2020)
- Georgia Accessibility Code 120-3-20 (.01-.08), Referencing the 2010 ADA Standards for Accessible Design
- International Property Maintenance Code, 2018 Edition, with Georgia Amendments (2021)
- International Existing Building Code, 2018 Edition, with Georgia Amendments (2021)
- National Green Building Standard, 2008 Edition, with Georgia Amendments (2011)

Building Design

Single-tenant (1) story warehouse storage and office building, steel structure with masonry and glass exterior facade. Scope of construction includes renovations throughout, including new business/office space and at existing Warehouse Storage space, to remain Warehouse Storage space.

Occupancy Classification:	Business Group B Storage Group S Type IIB Unprotected Non-Combustible
Construction:	No
Sprinkler:	Yes
Fire Alarm System:	No
Generator:	No
Number of Stories:	1 Story
Gross Floor Area:	18,938 SF

Means of Egress

PER 2018 NFPA 101 CHAPTER 7	
Project Square Footage:	Useable Area = 18,938 SF
Project Use and Classification:	Storage Occupancy (Non-Sprinklered) = 15,155 SF Business Occupancy (Non-Sprinklered) = 3,783 SF

Maximum Occupant Load Calculation (per NFPA 101 Table 7.3.1.2):
Doors (2) at 34" (clear) are provided - 68" / 0.2 = 340 ppl
Doors (1) at 68" (clear) are provided - 68" / 0.2 = 340 ppl
Total of 3 doors widths - 340 + 340 = 680 ppl
Maximum Occupant Load per floor = 1,000 ppl (maximum for three exits)

Storage Occupancy:	15,155 sf
Storage Occupancy Load:	1 Person per 300 gsf = 51 Occ.
Business Occupancy:	3,783 sf
Business Occupancy Load:	1 Person per 150 gsf = 26 Occ.

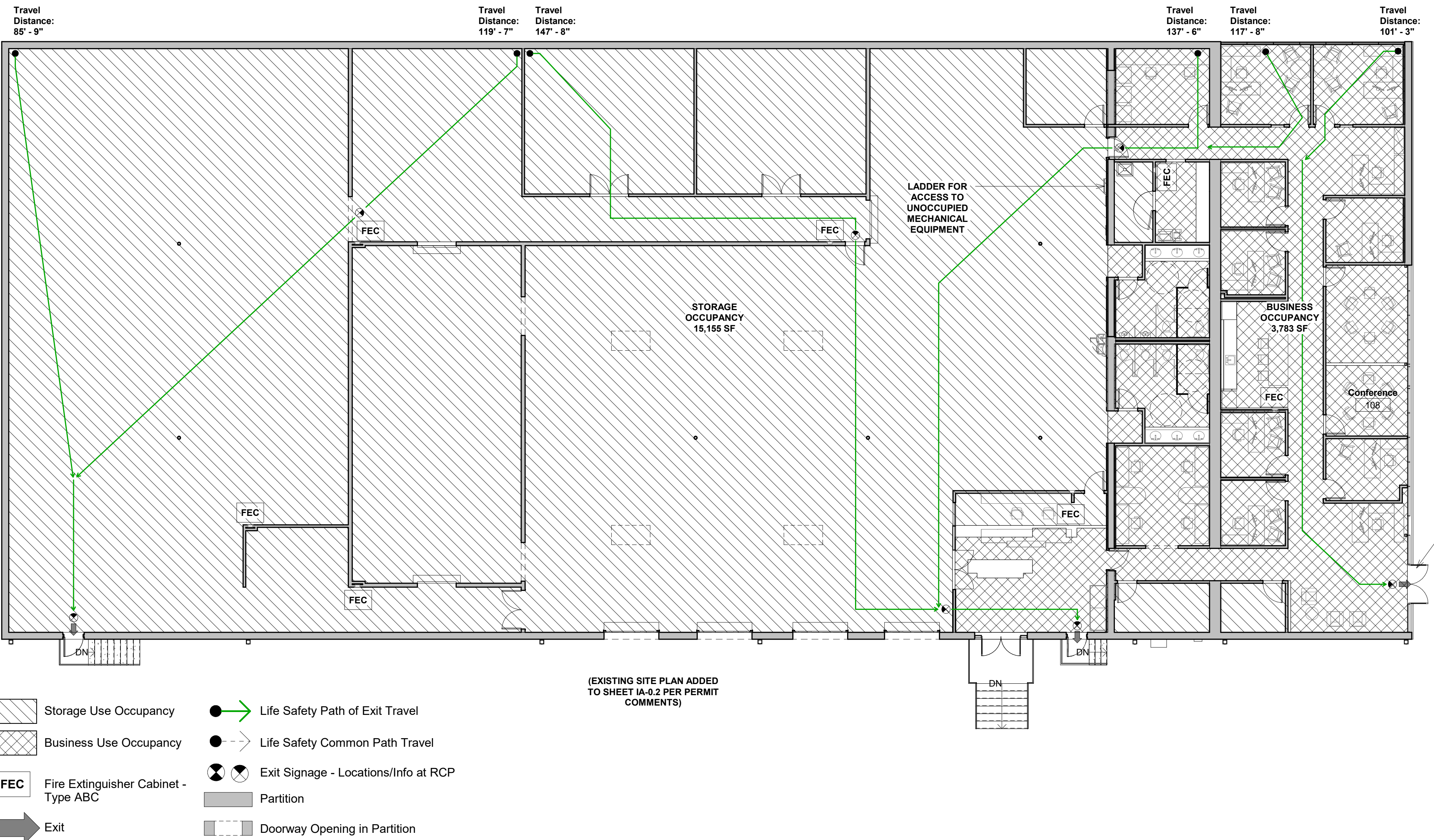
Total Occupant Load for the Floor: **57 Occupants**
Maximum Occupancy Load for the Floor Provided: **1,000 Occupants**

Travel Distance:	150 feet (Non-Sprinklered)
Common Path of Travel:	75 feet (Non-Sprinklered)
Dead End Corridor:	50 feet (Non-Sprinklered)

Fire Ratings

Assembly Space Separation:	0 hour(s)
Exit Access Corridor:	1 hour(s)
Interior Walls:	0 hours bearing, 0 hours non-bearing

Life Safety Plan



Abbreviations

ADA	Americans w/Disabilities Act	HVAC	Heating, Ventilation & Air Conditioning
ADJ	Adjustable	IN	Inch
AFF	Above Finished Floor	INSUL	Insulation
AL/ALUM	Aluminum	J.C.	Janitor Closet
A.C.T	Acoustical Ceiling Tile	J.B.	Junction Box
ARCH	Architectural/Architect	L.F.	Linear Feet
BLDG	Building	MFR	Manufacturer
B.S.	Building Standard	MTL	Metal
CL	Center Line	N/A	Not Applicable
CLG	Ceiling	N.I.C	Not in Contract
CLR	Clear	NSF	Net Square Footage
COL	Column	O.C.	On Center
CONC	Concrete	O.D.	Outside Diameter
CONST	Construction	PART	Partition
CONT	Continuous	P-LAM	Plastic Laminate
CPT	Carpet	PLYWD	Plywood
C.T.	Ceramic Tile	QTY	Quantity
DIA	Diameter	R.C.P.	Reflected Ceiling Plan
DIM	Dimension	R.S.F.	Rentable Square Footage
DN	Down	S.C.	Solid Core
DR	Door	SCHED	Schedule
DTL/DET.	Detail	S.F.	Square Foot(age)
ELEC	Electrical	SIM	Similar
EMER	Emergency	S.S.	Stainless Steel
EQ	Equal	STD	Standard
E/EXIST	Existing	TEL	Telephone
EXT	Exterior	TYP	Typical
F.A	Fire Alarm	U.N.O.	Unless Noted Otherwise
F.E.C.	Fire Extinguisher Cabinet	U.S.F.	Usable Square Footage
F.D.	Floor Drain	V.I.F.	Verify In Field
FIXT	Fixture	VCT	Vinyl Composition Tile
FT	Foot/Feet	V.T.	Vinyl Tile
GL	Glass/Glazed	V.W.C.	Vinyl Wall Covering
GSF	Gross Square Footage	W/	With
GYW	Gypsum	W/O	Without
G.W.B.	Gypsum Wall Board	WC	Water Closet
H.C.	Hollow Core	WD	Wood
H.M.	Hollow Metal	W.H.	Water Heater
HT/H	Height		

Sheet Naming

Discipline IA-0.1a

A	Architectural
C	Civil
E	Electrical
F	Finishes
FFE	Furniture, Fixtures, and Equipment
FP	Fire Protection
G	Graphics / Signage
IA	Interior Architecture
L	Landscaping
M	Mechanical
P	Plumbing
PC	Power and Communication
S	Structural

Series

0	Cover, Specifications, Schedule, Life Safety, Site
1	Demolition
2	Floor/Partition Plan
3	Reflected Ceiling Plan
4	Power and Communication Plan
5	Finish Plan
6	Enlarged Plans, Core
7	Interior Elevations
8	Construction Details
9	Furniture, Fixture, and Equipment Plan

Sheet

Sequential number beginning with 1 (use floor number on plans)

Suffix

Identifies quadrant segment shown on key plan

Drawing List

- Re-Issued or Revised
- Re-Issued, No Revisions

GENERAL	
IA-0.1	Cover Page
IA-0.2	Existing Site Plan
IA-0.3	Life Safety Details
IA-0.4	Fire Rated Assemblies
IA-0.5	Specifications
IA-0.6	Specifications
IA-0.7	Door Schedule & Details

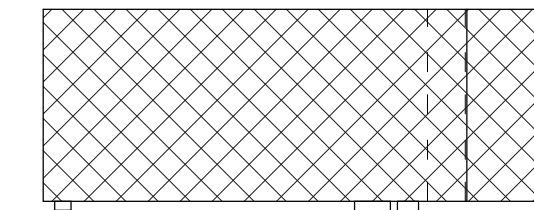
ARCHITECTURAL	
IA-1.1	Demolition Plan
IA-2.1	Partition Plan
IA-3.1	RCP
IA-4.1	P & C Plan
IA-5.1	Finish Plan
IA-7.1	Interior Elevations
IA-8.1	Wall Details
IA-8.4	Details Model

MECHANICAL	
M-0.1	Mechanical Specifications
M-1.1	Mechanical Existing/Demo Plan
M-1.2	Mechanical New Work Plan
M-2.1	Mechanical Schedules and Details

ELECTRICAL	
E-0.1	Electrical General
E-1.1	Lighting Plan
E-2.1	Power Plan
E-3.1	Electrical Schedules

PLUMBING	
P-0.1	Plumbing General
P-1.1	Plumbing Demo
P-1.2	Plumbing Plan
P-1.3	Plumbing Details

Key Plan



Area of Work

No.	Date	Issue	By	Check
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No.	Date	Revision	By	Check
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Cover Page

IA-0.1



DOOR SCHEDULE									
DOOR						FRAME			
DOOR NO.	TYPE	WIDTH	HEIGHT	THK	MAT	FIN	MAT	FIN	REMARKS
101a	D-4	3' - 0"	7' - 0"		Glass		Alum	Annodized	
101b	A-4	3' - 0"	7' - 0"	0' - 2"	Wood		Mtl		
102	A-3	3' - 0"	7' - 0"	0' - 2"	Wood	Walnut	Mtl	Painted	Verify finish with owner prior to order.
103	A-3	3' - 0"	7' - 0"	0' - 2"	Wood	Walnut	Mtl	Painted	Verify finish with owner prior to order.
105	A-1	3' - 0"	7' - 0"	0' - 2"	Wood	Walnut	Mtl	Painted	Verify finish with owner prior to order.
106	A-1	3' - 0"	7' - 0"	0' - 2"	Wood	Walnut	Mtl	Painted	Verify finish with owner prior to order.
107	A-1	3' - 0"	7' - 0"	0' - 2"	Wood	Walnut	Mtl	Painted	Verify finish with owner prior to order.
108a	A-1	3' - 0"	7' - 0"	0' - 2"	Wood	Walnut	Mtl	Painted	Verify finish with owner prior to order.
108b	A-1	3' - 0"	7' - 0"	0' - 2"	Wood	Walnut	Mtl	Painted	Verify finish with owner prior to order.
110	A-1	3' - 0"	7' - 0"	0' - 2"	Wood	Walnut	Mtl	Painted	Verify finish with owner prior to order.
111	A-1	3' - 0"	7' - 0"	0' - 2"	Wood	Walnut	Mtl	Painted	Verify finish with owner prior to order.
112	A-1	3' - 0"	7' - 0"	0' - 2"	Wood	Walnut	Mtl	Painted	Verify finish with owner prior to order.
113	A-4	3' - 0"	7' - 0"	0' - 2"	Wood		Mtl		
114	C-2	3' - 0"	7' - 0"	0' - 2"	Wood	Walnut	Mtl	Painted	Verify finish with owner prior to order.
115	C-2	3' - 0"	7' - 0"	0' - 2"	Wood	Walnut	Mtl	Painted	Verify finish with owner prior to order.
116	A-2	3' - 0"	7' - 0"	0' - 2"	Wood	Walnut	Mtl	Painted	Verify finish with owner prior to order.
118	A-3	3' - 0"	7' - 0"	0' - 2"	Wood	Walnut	Mtl	Painted	Verify finish with owner prior to order.
119	A-2	3' - 0"	7' - 0"	0' - 2"	Wood	Walnut	Mtl	Painted	Verify finish with owner prior to order.
120	R	6' - 0"	12' - 0"	0' - 3"					Existing roll-up door to be relocated.
121	A-1	3' - 0"	7' - 0"	0' - 2"	Wood	Walnut	Mtl	Painted	Verify finish with owner prior to order.
122	A-1	3' - 0"	7' - 0"	0' - 2"	Wood	Walnut	Mtl	Painted	Verify finish with owner prior to order.
124a	F-1	3' - 0"	6' - 11 1/4"		Glass		Alum	Annodized	
124b	A-1	3' - 0"	7' - 0"	0' - 2"	Wood	Walnut	Mtl	Painted	Verify finish with owner prior to order.
124c	D-4	3' - 0"	8' - 0"		Glass		Alum	Annodized	
124d	E-4	3' - 0"	6' - 7"	0' - 2"		(Exist)	(Exist)	(Exist)	
125	A-1	3' - 0"	7' - 0"	0' - 2"	Wood	Walnut	Mtl	Painted	Verify finish with owner prior to order.
126	B-3	6' - 0"	7' - 0"	0' - 2"	Wood	Walnut	Mtl	Painted	Verify finish with owner prior to order.
127	B-3	6' - 0"	7' - 0"	0' - 2"	Wood	Walnut	Mtl	Painted	Verify finish with owner prior to order.
128	R	6' - 0"	12' - 0"	0' - 3"					Existing roll-up door to be relocated.
129	R	6' - 0"	12' - 0"	0' - 3"					Existing roll-up door to be relocated.
130	B-1	6' - 0"	7' - 0"	0' - 2"	Wood	Walnut	Mtl	Painted	Verify finish with owner prior to order.
131	E-4	3' - 0"	6' - 7"	0' - 2"		(Exist)	(Exist)	(Exist)	

General Notes

- Hardware schedule indicates general intent of hardware operation for the doors in the facility. All necessary components, accessories, and writing required for complete installation shall be provided by the Contractor / door hardware vendor and reviewed and approved by Architect and owner.
- All hardware provided and keyed by General Contractor, unless noted otherwise.
- Provide strike plates for all doors. For hollow metal door frames, provide strike plate as recommended by door hardware manufacturer for application.
- Provide silencer sets on all hollow metal door frames not to receive gasketing.
- New wood doors to match building standard type and finish.
- All doors and frames to be installed plumb, straight and true. Maintain adequate tolerances and clearances so that all doors fit as specified and swing/slide properly.
- Any deviation from this will be rejected by owner as unacceptable and will be replaced at supplier's and installer's sole cost.
- Provide all parts necessary for proper operation of all doors.
- Maximum door opening effort of 5 lbs. at interior doors and exterior doors. 15 lbs. at fire rated doors.
- All doors in the required path of egress equipped with electronic locking devices shall have these devices release in the event of a fire alarm activation.
- All doors must be operable from the inside without the use of key, special knowledge or effort.
- All glazing and sidelites to be 1/4" thick clear tempered glass, U.O.N.
- All keyed locksets to be supplied with building standard cylinder.
- Submit shop drawings for all doors, frames, and hardware prior to fabrication.
- Provide three jamb anchors minimum at approximate hinge points for doors up to 7'-6"H max. and one base anchor with two power actuated fasteners per jamb.
- Provide frame rough opening dimensions as recommended by frame manufacturer.
- Provide standard frame profile throat dimensions compatible with and as determined by scheduled partition types.
- Provide straps, anchors and framing accessories as required for as-built field conditions as recommended by the manufacturer and industry standards.
- Door frames shall be secured in place with two full height studs per jamb minimum.
- Door undercuts shall be kept to a minimal dimension based on floor finish material, and shall be uniform throughout project, U.O.N.
- All doors shall comply with the door landing clearances for approaches meeting minimum ADA requirements.

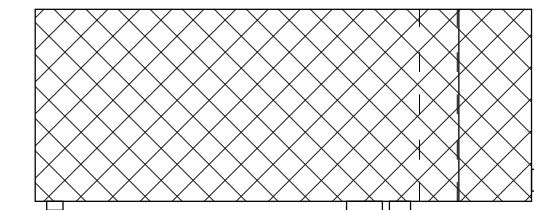
Hardware Schedule

Hardware Type 1	Passage Set 4 Hinges 1 Floor Stop 4 Silencers
Hardware Type 2	1 Office Lockset Function 4 Hinges 1 Floor Stop 4 Silencers 1 Coat Hook (Offices Only)
Hardware Type 3	1 Store Room Lockset Function 4 Hinges 1 Floor Stop 4 Silencers
Hardware Type 4	Code Key Lockset Function 4 Hinges 1 Floor Stop 4 Silencers Hardware Type 4 code lock tied to building alarm system - Fail-safe release in case of emergency.
(E)	Indicates Existing Door - To Receive New Code Lockset Function Added to Existing Door.



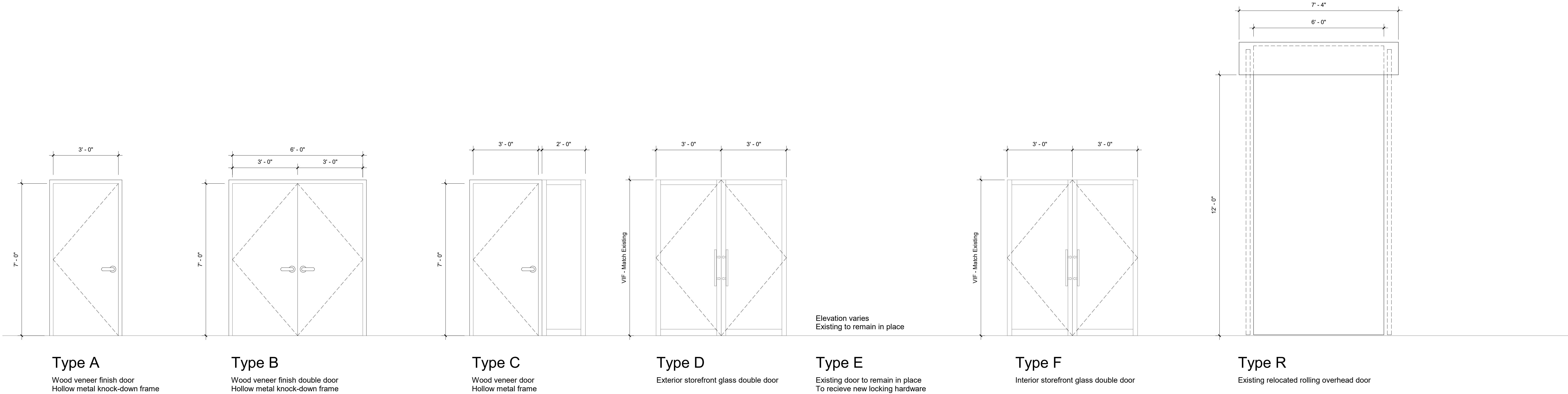
1788 Ellsworth Industrial Blvd.
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Key Plan

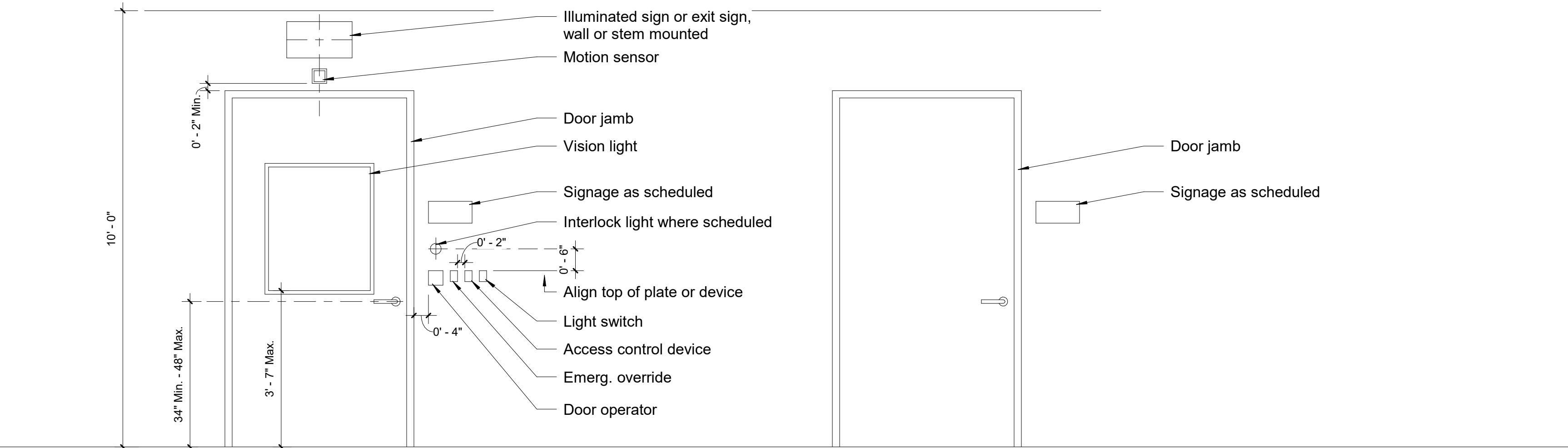


Area of Work

Door Elevation Types

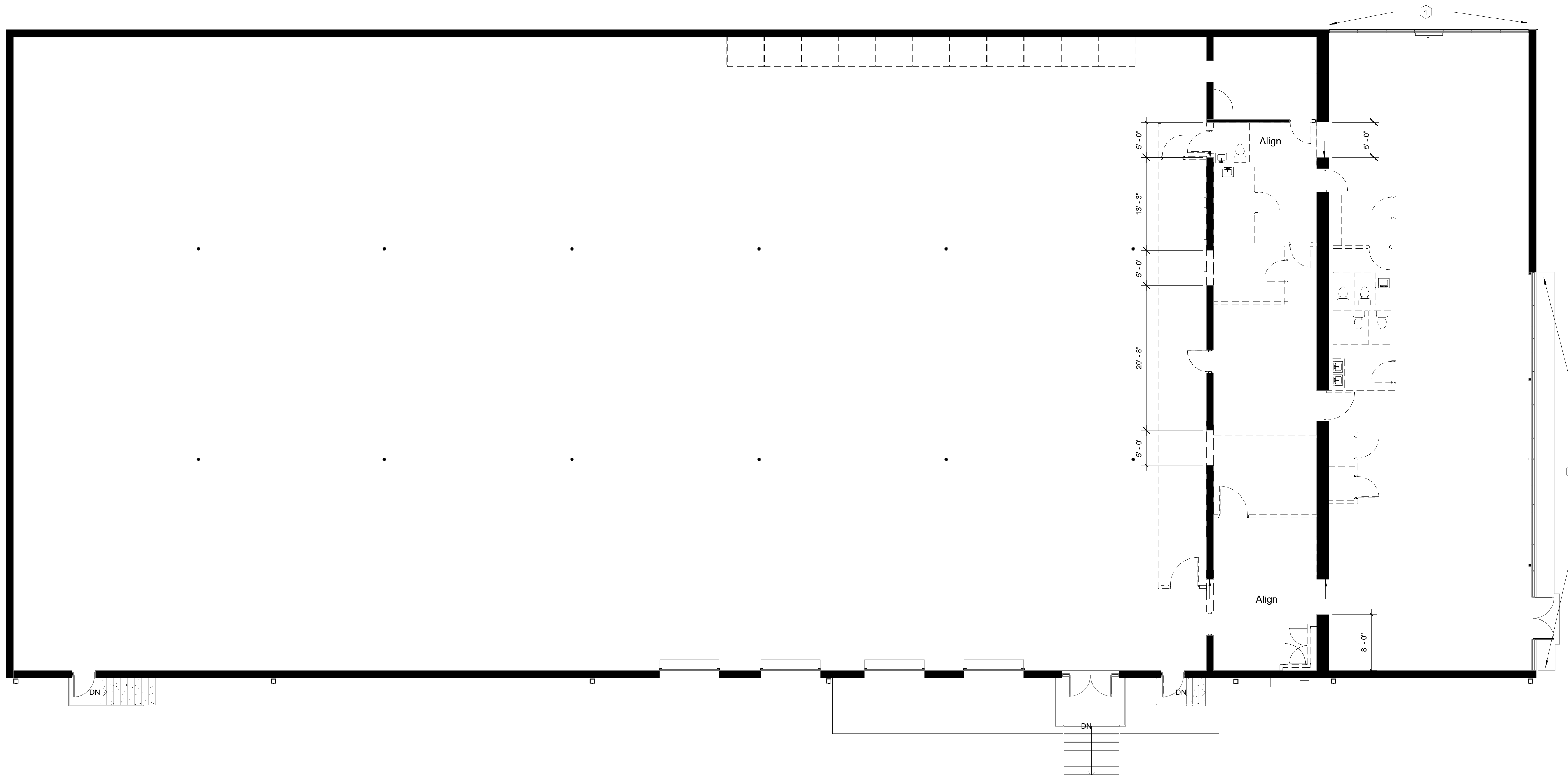


Door Elevations

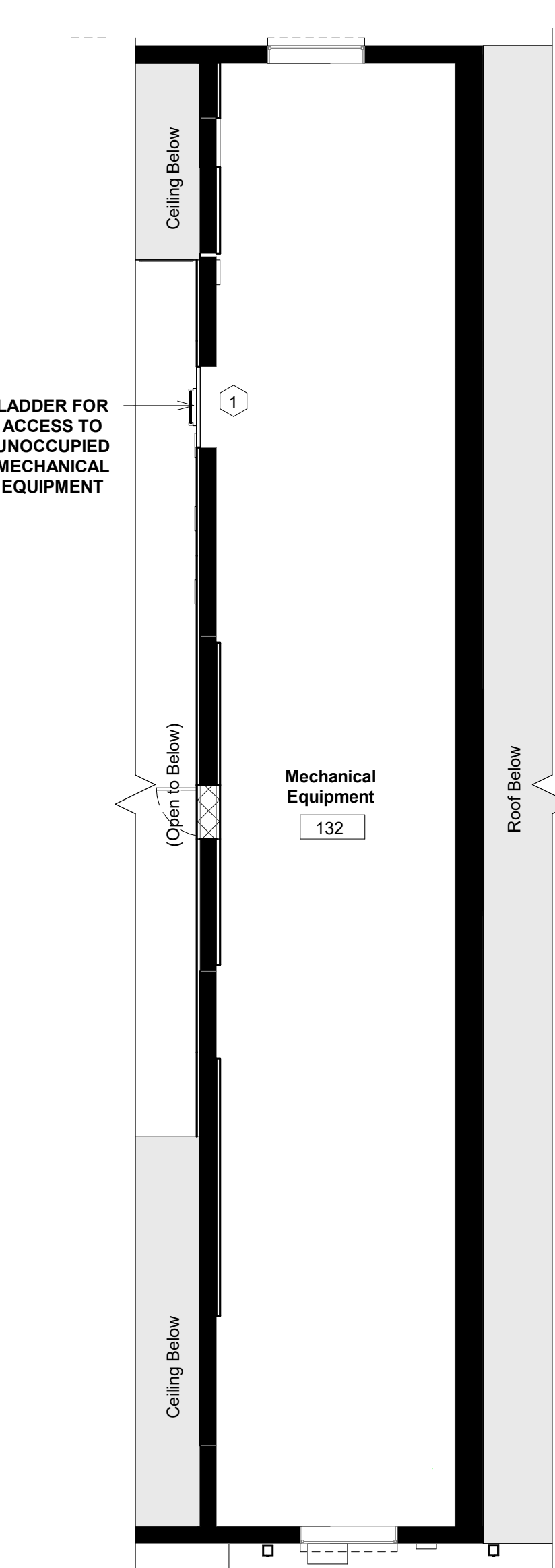
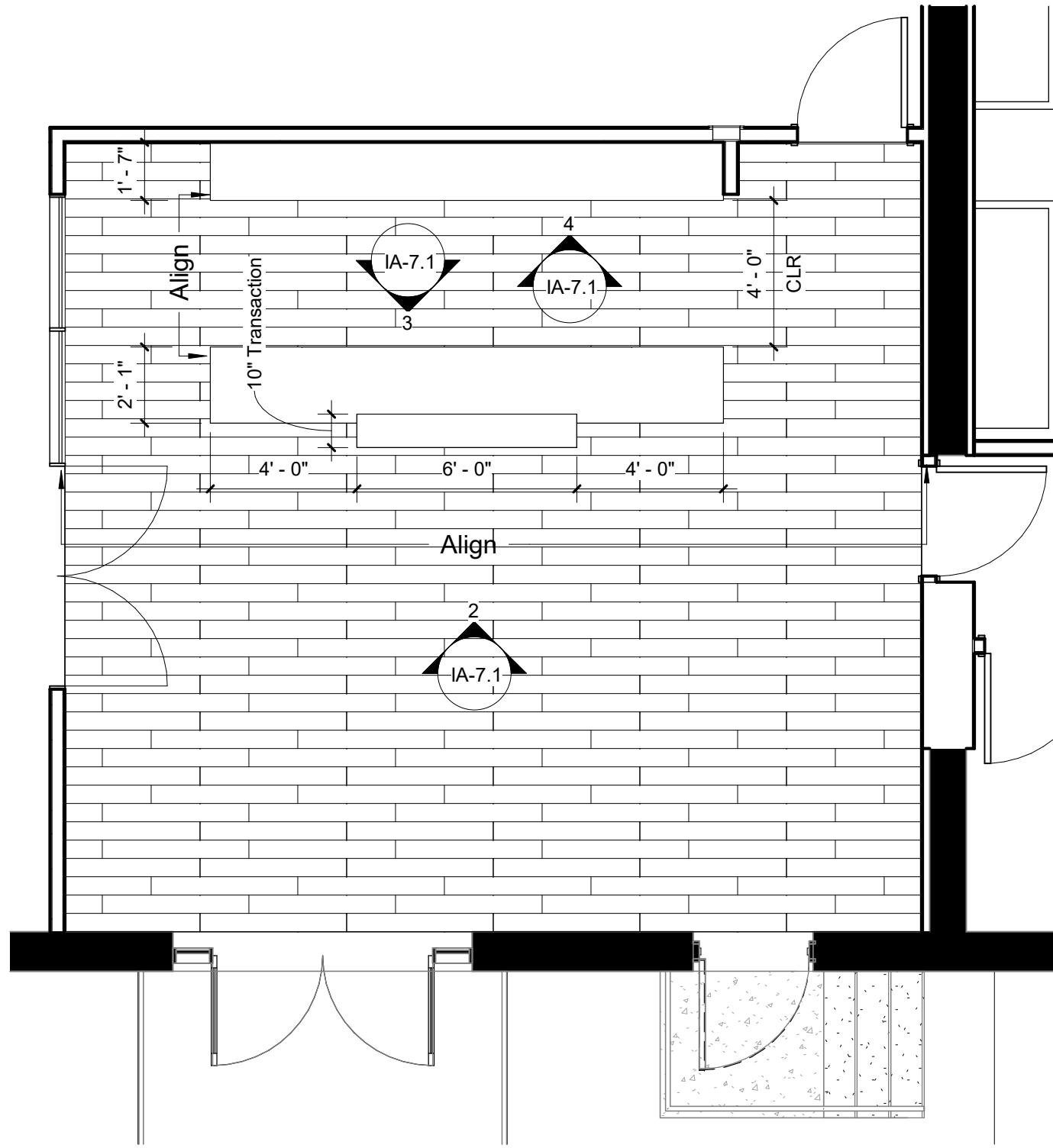
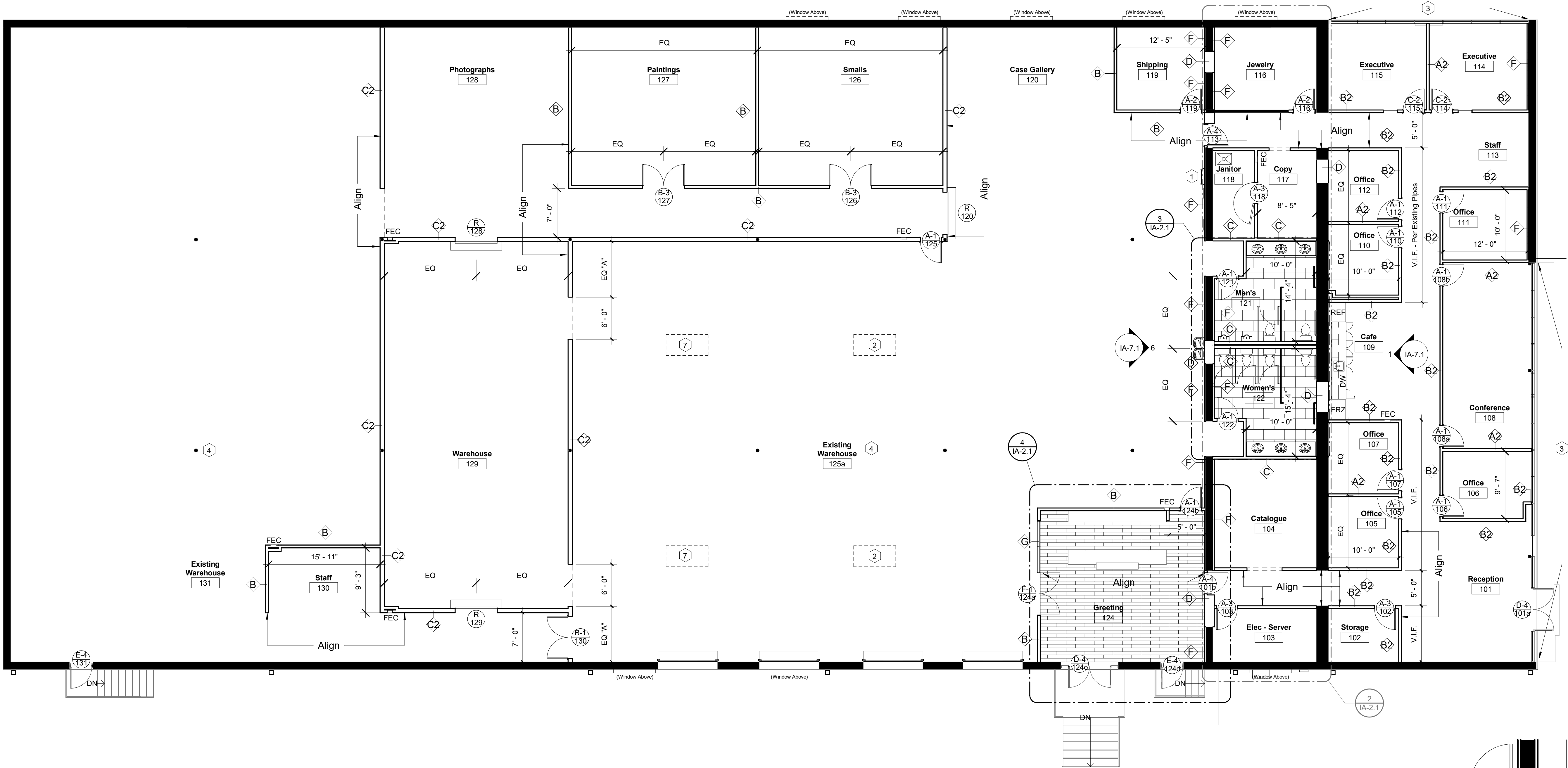


Door Schedule & Details

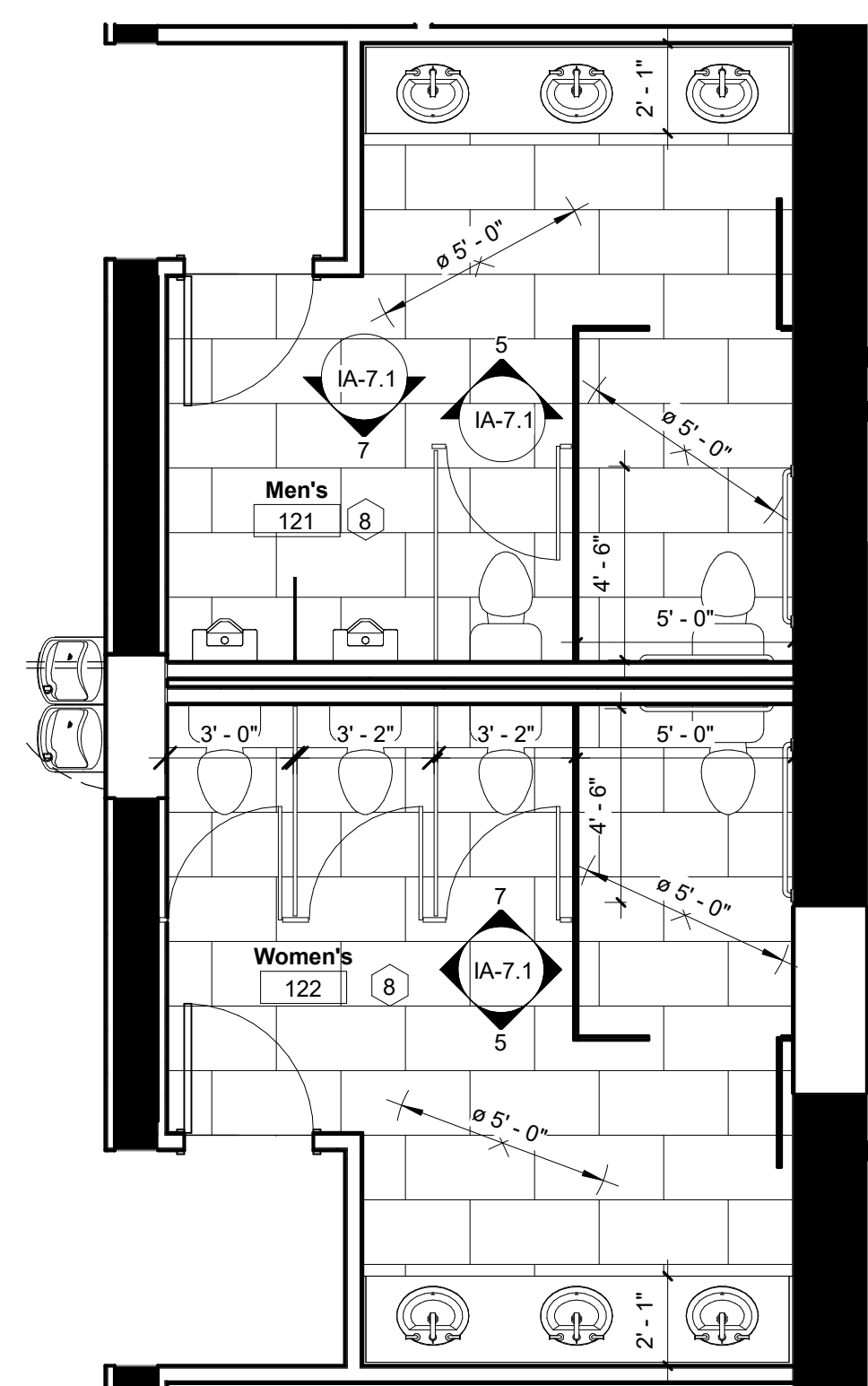


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Type	Section	Description	Type	Section	Description
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2. Mechanical Equipment



3. Restrooms Enlarged Plan

1. Partition Plan - Main Level

General Notes

- Partitions dimensioned to finish face U.O.N. Do not adjust dimensions indicated as "Clear" without written direction from Architect. Drawings shall not be scaled- dimensions govern. Verify all dimensions and existing as built field conditions, including field measurements prior to start of work, notify Architect where discrepancies occur in writing.
- All dimensions shown on the drawings shall be considered critical. It shall be the responsibility of the contractor to notify the architect of any deviation in the placement of partition prior to the erection of the stud walls.
- Dimensions taken from perimeter exterior window wall are taken from the inside face of the vertical mullion. Dimensions marked verify in field, shall be verified prior to start of work unless otherwise noted. All new interior partitions to be typed "A" U.O.N.
- Use Type "X" gypsum on fire rated partitions.
- Maintain integrity of existing fire resistant rated assemblies for all penetrations.
- Where existing rated assemblies are shown, contractor is requested to field verify as built field conditions to confirm ratings shown. If non-compliant conditions are found, demo and replace with new equivalent UL Assembly, or report findings to Owner/Architect in writing who will provide written direction.
- Patch floor and wall areas damaged due to new construction or where penetrations have been made for Mechanical, Electrical and Plumbing work. Firesafe at UL Rated Assemblies consistent with existing UL Rating.
- Use cementitious backer board ('Durock') or equal at partitions scheduled to receive ceramic tile (U.O.N.). See Finish Plan for location of tile.
- Provide Level 4 Finish U.O.N. Provide Level 5 Finish at all partitions to receive wall covering, writable wall Paint, or graphics. Refer to Finish Plans for locations and additional information.
- Provide fire treated blocking as required at locations including, but not limited to: grab bars, shelving, overhead cabinets, signage, toilet room accessories, wall mount equipment, TV mounting brackets, etc.
- Walls to be located at center line of window mullion U.O.N.
- New gypsum board construction meeting existing gypsum board construction in the same plane shall be flush with no visible joints showing. Remove existing metal corner bead(s) and other trim as required to receive new construction.
- Patch and repair all existing partitions after demolition where damage has occurred at unprotected locations. Please note that demolition activity may occur beyond work limits shown on demolition plan due to concealed conditions.
- All exposed outside gypsum board corners shall have a continuous metal corner bead.
- Use water resistant panels at all break areas and locations noted for water service.
- Furr out all core walls/columns only where power or voice/data j-boxes are required.
- Contractor to chalk lines for all systems furniture locations at the time of wall layout. Refer to furniture plans for location. Coordinate pendant light fixture placement over workstations with architect and furniture vendor as required.
- Contractor to coordinate ceiling grid with location of walls prior to installation.
- Contractor shall coordinate work with HVAC, Mechanical, Electrical, Plumbing, Design Build Fire Protection and Structural drawings and report to the Architect discrepancies for correction and adjustment prior to start of work. No allowance will be made for increased cost due to the Contractor's lack of coordination.

Key Notes

- New OSHA compliant ship's ladder for access to Mezzanine Level.
- Existing skylight location above (remain in place).
- Existing storefront system to be replaced.
- Existing warehouse under new ownership remains as a warehouse.
- Utility sink on legs.
- Provide stainless steel toilet partitions. Include coat hook on back of doors.
- Relocated skylight location above.
- Refer to IA-0.3 for ADA guidelines at restrooms.

Symbols and Legend

Symbol	Description
	Building Core
	Not in Scope
	Existing Partition To Remain
	New Partition See Partition Types
	Ceiling / Soffit Element Above
Room name Rm #	Room Identification
	Partition Types See IA-8.1 for details.
	Key Note
	North Arrow
	Centerline
	Recessed Fire Extinguisher Cabinet

4. Greeting Area Updated

Partition Types

Symbol	Description
	Door Tag
	Section Marker
	Elevation Marker
	Column Identification and Centerline

Type	Section	Description
A		One layer 5/8" GWB on each side 3-5/8" metal studs (25ga.) at 16" O.C. (total thickness of 4-7/8"). Partition built to underside of ceiling . See IA-8.1 for details.
A2		One layer 5/8" GWB on each side 3-5/8" metal studs (25ga.) at 16" O.C. (total thickness of 4-7/8"). Partition built to underside of ceiling . Provide insulation. See IA-8.1 for details.
B		One layer 5/8" GWB on each side 3-5/8" metal studs (25ga.) at 16" O.C. (total thickness of 4-7/8"). Partition built to underside of ceiling . See IA-8.1 for details.
B2		One layer 5/8" GWB on each side 3-5/8" metal studs (25ga.) at 16" O.C. (total thickness of 4-7/8"). Partition built to underside of ceiling . See IA-8.1 for details.
C		One layer 5/8" GWB on each side 3-5/8" metal studs (25ga.) at 16" O.C. (total thickness of 4-7/8"). Partition built to underside of ceiling . See IA-8.1 for details.
C2		One layer 5/8" GWB on each side 6" metal studs (25ga.) at 16" O.C. (total thickness of 7-1/4"). Partition built to underside of ceiling . See IA-8.1 for details.

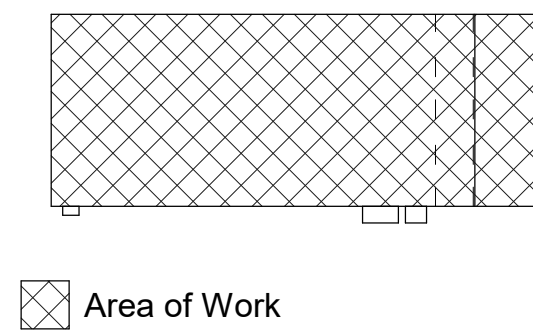
3. Restrooms Enlarged Plan

Type	Section	Description
D		Infill at Existing Partition - One layer 5/8" GWB on each side align to existing. Partition structure will vary - match existing wall thickness. See IA-8.1 for details.
F		Furring at Existing Partition - One layer 5/8" GWB on 2" channels. Partition built to underside of ceiling . See IA-8.1 for details.
G		Interior storefront glass wall and door system, TBD.

Partition Plan

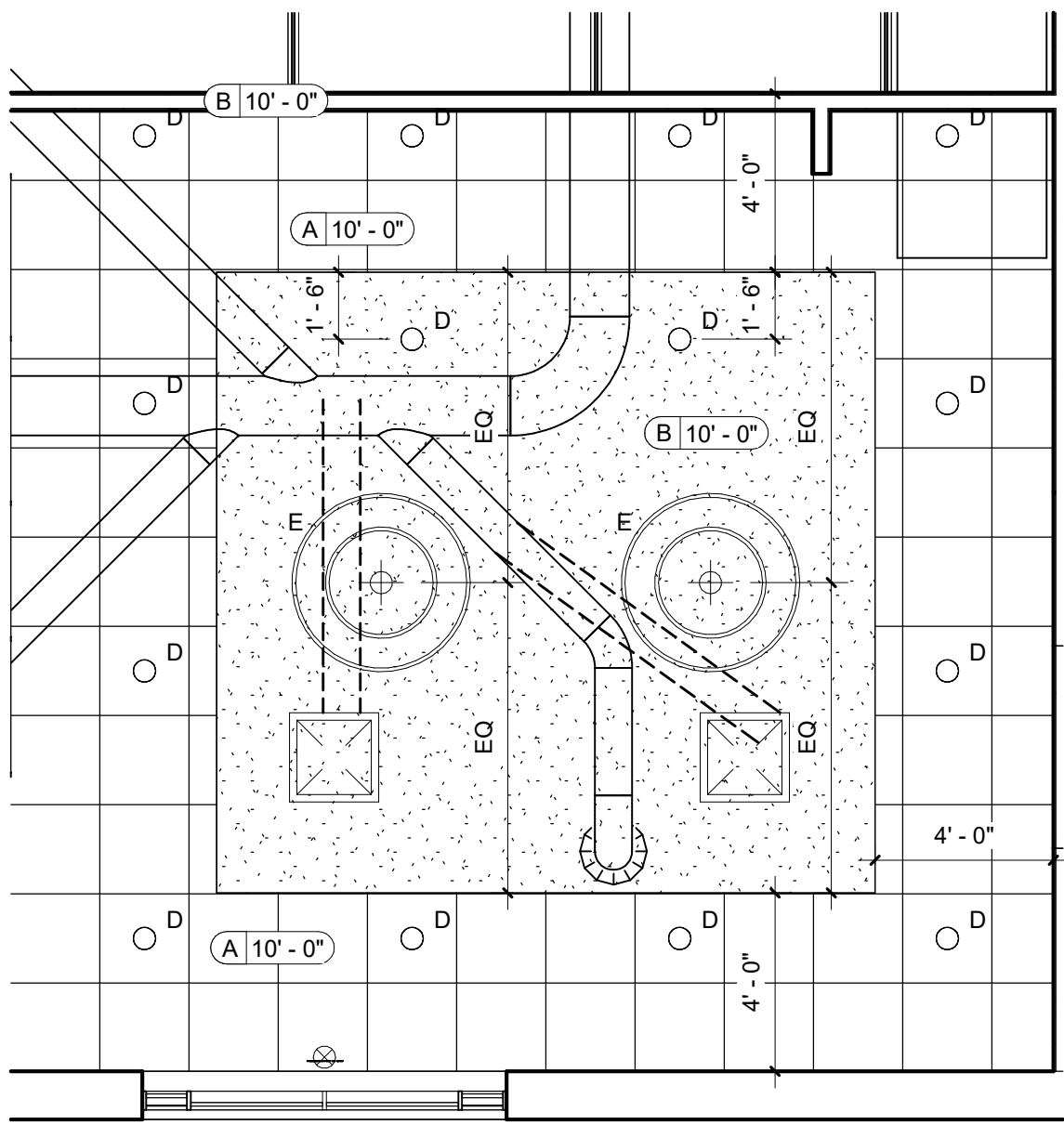
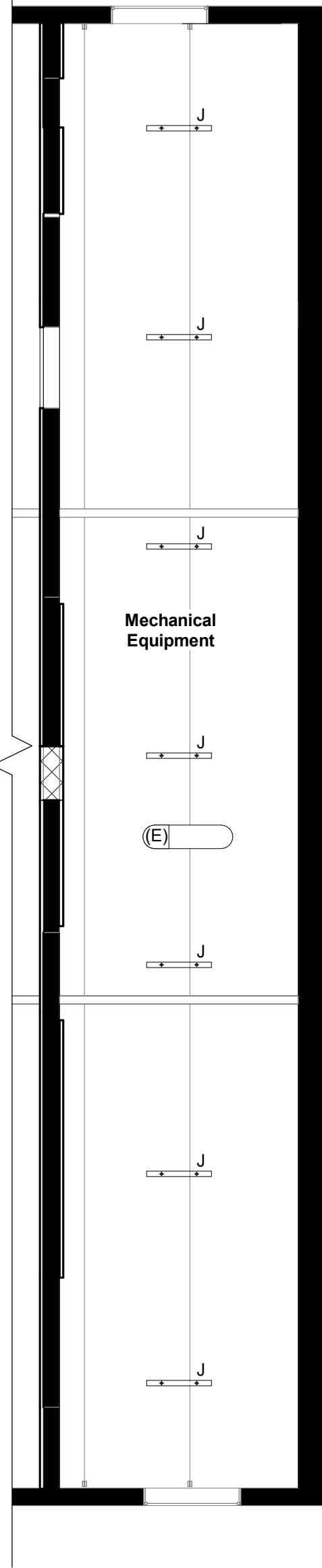
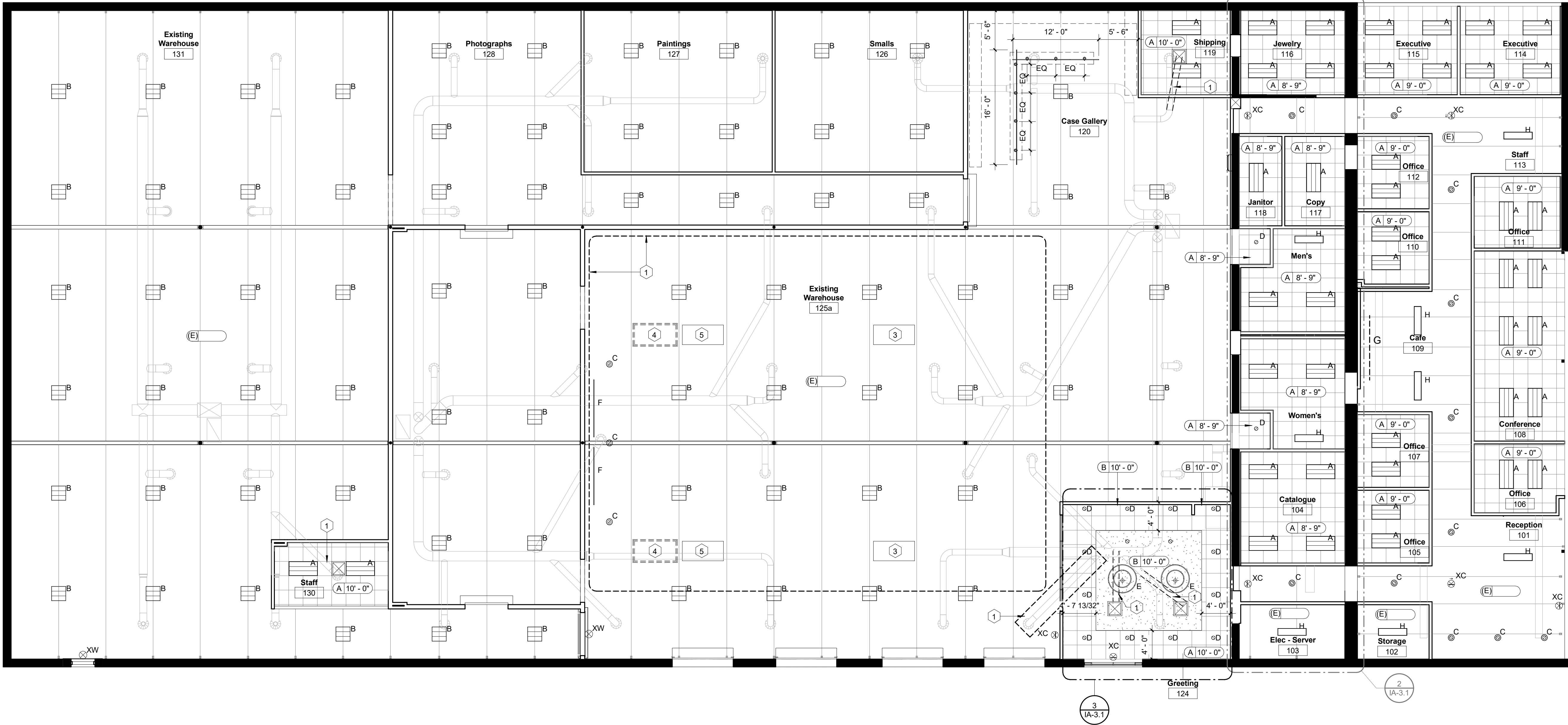
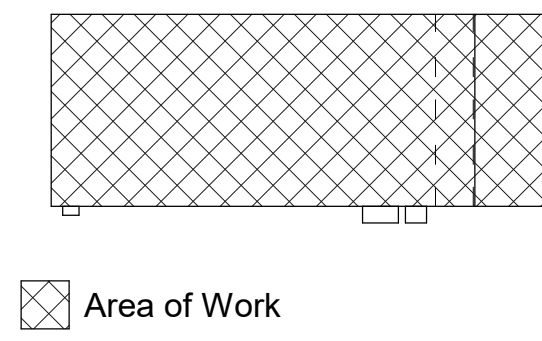
IA-2.1

Key Plan



Area of Work

Key Plan



1. Reflected Ceiling Plan - Main Level

General Notes

- Do not scale drawing. Dimensions govern.
- All ceiling heights to be 9'-0" A.F.F., new ceiling to match existing, unless noted otherwise.
- All switches shall be mounted 4'-0" A.F.F., to centerline of switch unless noted otherwise.
- All switch cover plates shall be white & shall be mounted straight and aligned.
- Where multiple switches occur (switches, dimmers or both) gang groups of switches in the same box with one common cover plate.
- Down lights, fire alarm signal devices, exit signs, etc. to be located in center of ceiling tile unless noted otherwise.
- Contractor to review locations of all fire alarm signal devices and thermostats with architect prior to installation. These devices should be coordinated and aligned with other devices in the same plane.
- Contractor to maintain plastic covers over fluorescent fixtures during construction to avoid accumulation of dirt and finger prints on specular lens cover.
- Refer to engineer's drawings for fixtures tied to building emergency power systems.
- In the event of conflict between M.E.P. and Architectural drawings, notify architect before proceeding.
- Verify lighting layouts with plenum limitation prior to installations.
- Provide all electrical drawings required to secure building permit.
- Existing ceiling grid and remain, new ceiling grid to match existing. Replace all damaged wall angle tees, including but not limited to the holes in tees where walls have been demolished or relocated, unless noted otherwise.
- Sprinklers: Building standard sprinkler heads, for normal use, in a standard distribution pattern installed per building codes spaced to give coverage of 225 usable square feet per head. Relocate sprinklers as required to accommodate local code and light fixture placement. Provide concealed sprinkler heads at drywall ceilings or soffits.
- General Contractor is responsible for ensuring that all lamps are functional at the end of the job.
- All new fluorescent lamps are to be 3000 Kelvin and provided by the same manufacturer.

Key Notes

- Relocate existing duct to feed new space.
- Raise Level of existing ducts to **(HEIGHT TBD)**
- Existing skylight location (remain in place).
- Existing skylight to be relocated.
- Relocated skylight location.

3. Greeting Area Updated

Symbols and Legend

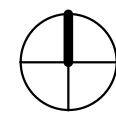
Symbol	Tag	Description
Ceiling Identification:		
	A	2' x 2' lay-in acoustical ceiling tile and grid
	B	Gypsum board ceiling/soffit
	(E)	Exposed to deck above
Symbol	Tag	Description
		Supply / Return
		Start of full tile
	A	Lithonia Lighting 2' x 4' LED Center Basket Troffer
	B	Lithonia Lighting 2' x 2' LED High Bay - Suspended
	C	WAC Lighting Tube Pendant Downlight Ctg Mount
	D	Focal Point ID+ 6" LED Downlight
	E	Exos Double Shade Medium Semi-Flushmount
	F	8' suspended track; Eaton Halo 4" LED
	G	WAC Lighting LED strip undercabinet

2. Mechanical Equipment

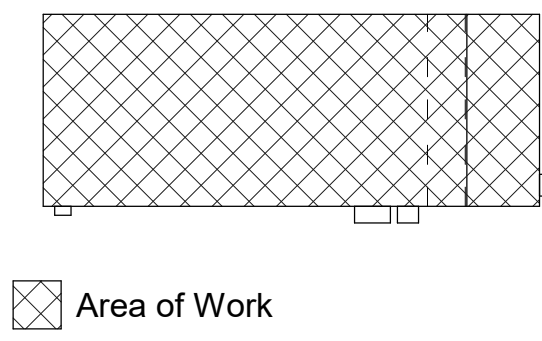
Symbol	Tag	Description
	H	Oracle 1' x 4' Architectural LED Flat Panel Backlit 14-FPL-BL-LED - Suspended
	J	4' LED Suspended Strip
	XW	Exit sign- Wall mounted
	XC	Exit sign- Ceiling mounted

Note: Light fixtures color temp 3,000K - 3,500K.

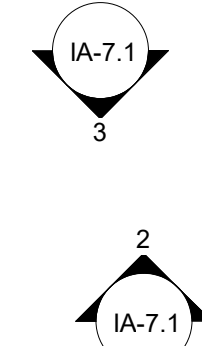
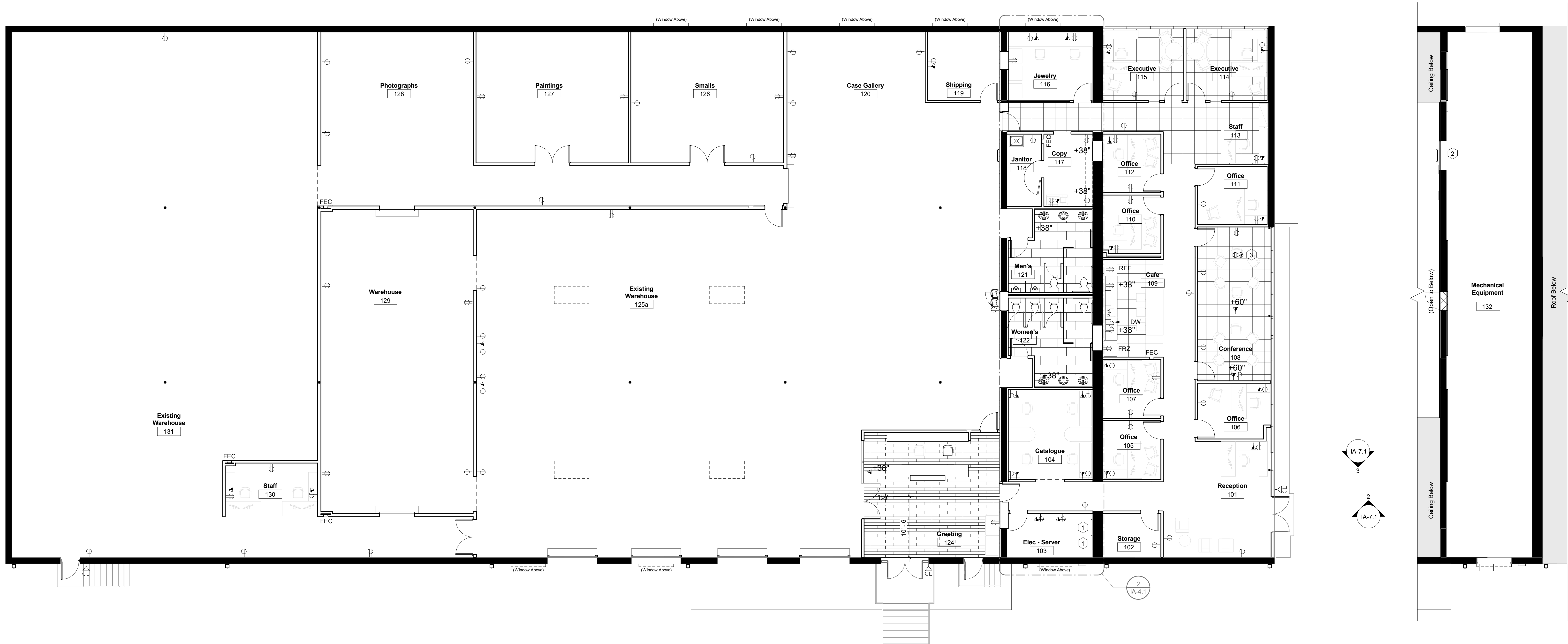
Note: White finish for all applicable light fixtures.



Key Plan



Area of Work



1. Power and Communication Plan

General Notes

- Do not scale drawings. Dimensions govern.
- All receptacles, junction boxes and voice/data receptacles shall be mounted 18" A.F.F. to centerline of receptacle unless noted otherwise.
- All switches, keypads and wall phones shall be mounted 48" A.F.F. to centerline of device unless noted otherwise.
- All voice, data, and electrical cover plates shall be white in color and shall be mounted straight and aligned.
- All dimensions to devices are A.F.F. and to centerline or outlets and outlet groupings.
- Stagger electrical boxes 6" O.C. at back conditions and separate with a stud within wall.
- Group adjacent electrical devices in one box under common plate.
- All devices above countertops shall be mounted horizontally.
- Coordinate alignment of all devices such as outlets, fire alarm strobes, thermostats, etc. Review alignments with Architect prior to rough-in.
- Locations of floor and wall mounted power, voice/data feeds for systems furniture to be coordinated and verified by the contractor, architect and furniture vendor prior to floor coring or device installation.
- In the event of conflict between M.E.P. and architectural drawings, notify architect prior to proceeding.
- Verify outlet requirements for electrical appliances and equipment: Refrigerators, Vending Machines and copiers.
- Furniture and equipment shown is not in contract and will be provided and installed by owner. Dimensions shown reflect minimum requirements for code compliance only, based on this furniture configuration. Revisions to this should be revised for code compliance.
- Per NFPA 90A 4-3.10.2 Plenum rated cable required in return air plenum. Refer to engineering drawings.
- Any coring work must be scheduled 24 hours in advance with Engineer/Property Management. The General Contractor and/or other sub-contractors must demonstrate to Engineer/Property Management that they have carried out X-Raying or sonar investigation in order to ensure that no damage can occur to items in the slab. The General Contractor is responsible for any cost associated with the investigation and should include the cost in their bids. Coring should not be carried out through beams or joists.
- All power to support A/V equipment must be on same electrical phase in order to eliminate hum bars on project devices.
- Coordinate power requirements and mounting heights/placement with Owner's Vendor.

Key Notes

- Location of electrical panels.
- Ladder access to Mezzanine Level.
- Provide add-alternate price for floor core to feed quad outlet and voice/data.

Symbols and Legend

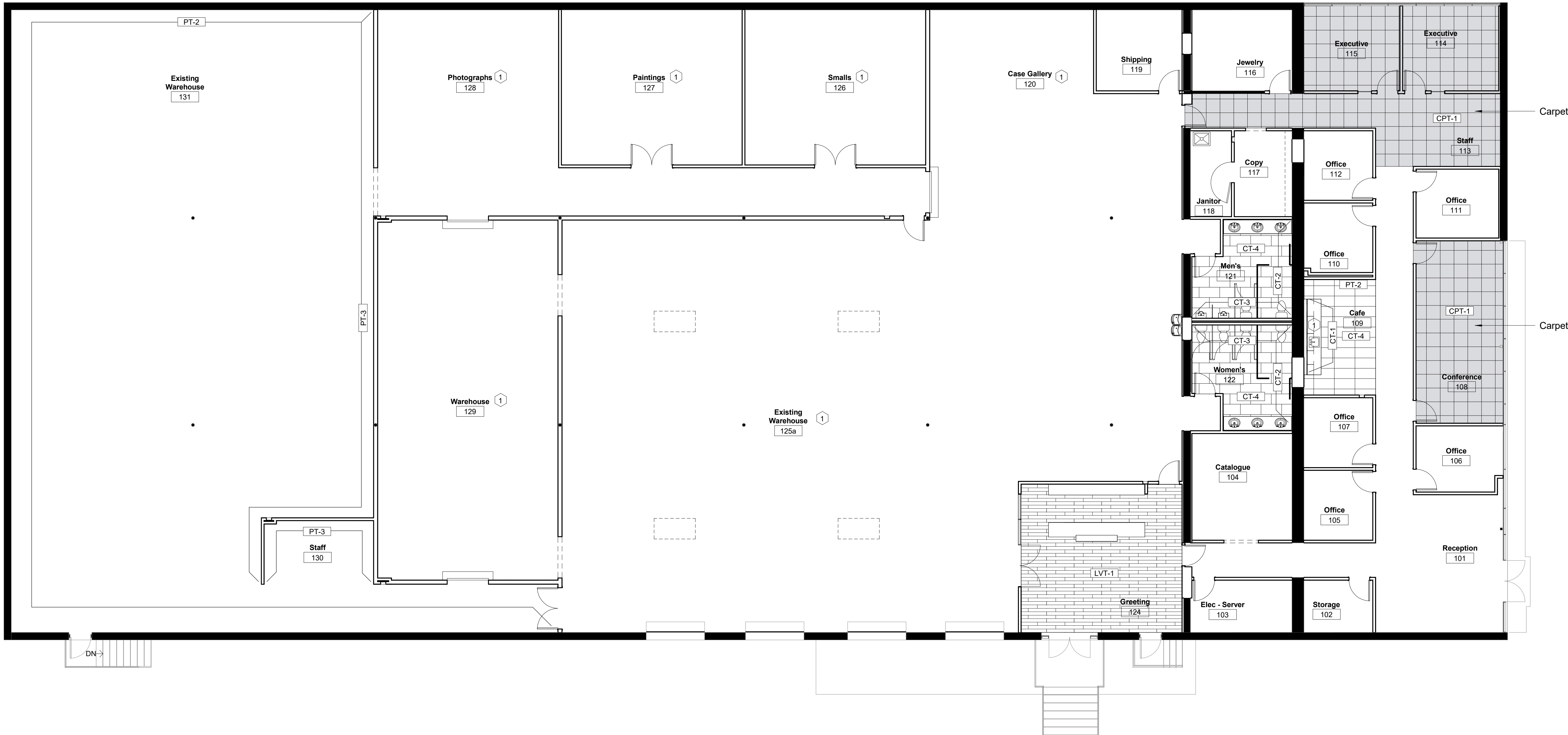
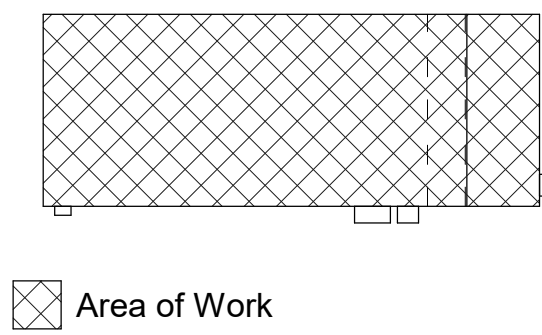
Floor Mounted	Ceiling Mounted	Wall Mounted	Flex Mounted	
Ⓚ				Single power receptacle
Ⓚ	Ⓚ	Ⓚ	Ⓚ	Duplex power receptacle
Ⓚ	Ⓚ	Ⓚ		Quadruplex power receptacle
Ⓚ	Ⓚ	Ⓚ		Dedicated duplex receptacle
		Ⓚ		Ground fault interrupt receptacle
Ⓚ	Ⓚ	Ⓚ	Ⓚ	Combination voice data receptacle
Ⓚ	Ⓚ	Ⓚ		Junction box / Floor core
		Ⓚ		Code lock
		Ⓚ	Ⓚ	

2. Mechanical Equipment

Symbol	Description
E	Existing to remain
(2)	Number of receptacles
+38"	Outlet mount height AFF to CL



Key Plan



1. Finish Plan

General Notes

- Do not scale drawings. Dimensions govern.
- All finishes to be installed in accordance with the manufacturers specifications and contract documents.
- All interior finishes shall be a minimum of class "C" fire rated finish.
- Contractor to provide client with all maintenance instructions for all finish materials provided by sub-contractor.
- All interior partitions shall receive one coat primer and two coats commercial grade eggshell latex paint unless noted otherwise.
- All recessed fire extinguisher cabinets shall be painted the color of the wall on which they occur.
- All wall finishes shall be PT-1 unless noted otherwise.
- All interior doors and door frames shall be PT-2 with semi-gloss finish unless noted otherwise.
- All flooring shall be CPT-1 unless noted otherwise.
- All rubber base shall be RB-1 unless noted otherwise.
- Provide transition strip between carpet and hard surface.
- Flooring installer to provide Installation Diagram for placement of hard surface flooring and carpet. Refer to drawings for intent of placement of tiles and patterns.
- Note: All final finished surfaces or furniture in fire rated lobby or egress areas are to have a minimum flame spread and smoke development rating of class "a" or "b" and a minimum radiant flux value of class 1 or 2. flame and smoke rating can be reduced to class "c" or class "b" where class "b" or class "a" is required and radiant flux value can be reduced to class 1 or none if the building has a sprinkler system. All final finish selections are to be reviewed by the Architect for compliance with this requirement, this requirements are set forth in n.f.p.a. 101.10.2, 10.2.8, 38.3.3 (new construction) and 39-3.3 (existing construction) and 101-3.3.120, 10.2 interior finish chapter of the 2003 or most current edition of the n.f.p.a 101 Life Safety Handbook.

Key Notes

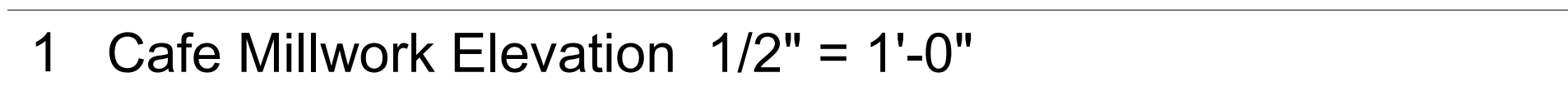
- 1 Walls in this room to be painted with PT-3

Symbols and Legend

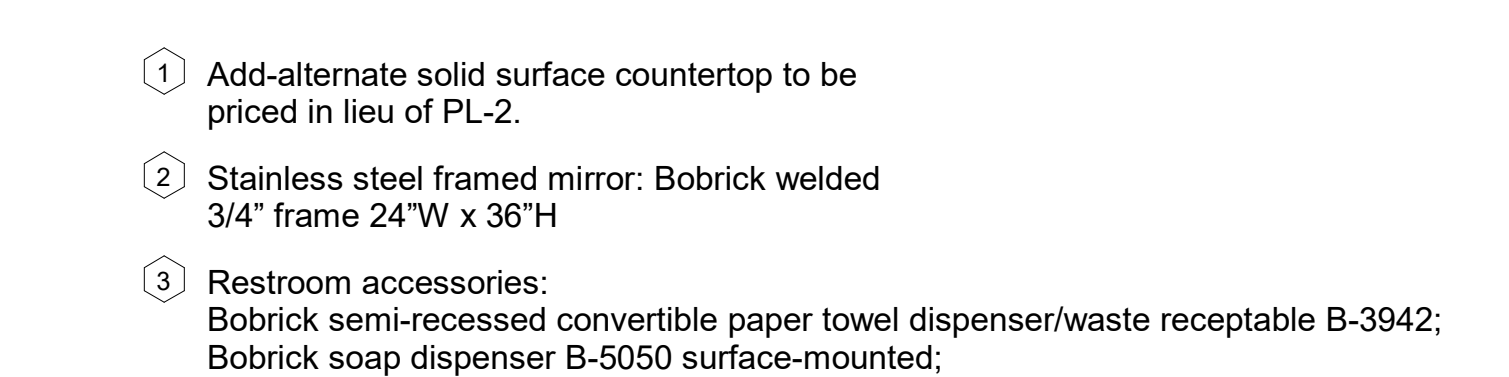
Symbol	Description	Symbol	Description	Symbol	Description	Symbol	Description	Symbol	Description	Symbol	Description
	Floor Material Transition		Finish Tags	Ceramic Tile		Solid Surface		LVT Flooring		Carpet	
	Carpet Seam		Direction of Pattern		DIST: Floor and Decor Style: 100905454 Diagonal Sabia Color: N/A Install: Cafe Backsplash		DIST: Floor and Decor Style: 100888650 Kavala White Color: N/A Install: Restrooms		MFTR: Caesarstone Style: 5131 Color: Calacatta Nuvo Install:		
Paint					MFTR: Sherwin-Williams Color: Pratt & Lambert 1670 Free Spirit Finish: Flat Install: Pair with RB-1		MFTR: Sherwin-Williams Color: Pratt & Lambert 1670 Free Spirit Finish: Semi-Gloss Install: Pair with RB-1		DIST: Floor and Decor Style: 100655307 Meringue II Matte Color: N/A Install: Mens Restroom		DIST: Floor and Decor Style: 100979814 Soho Grammercy Color: N/A Install: Restrooms and Cafe Floors
Rubber Base					MFTR: Sherwin-Williams Color: Pratt & Lambert 1670 Free Spirit Finish: Eggshell Install: Pair with RB-1	Plastic Laminates			MFTR: Arborite Style: W-305 EV Color: Parliament Walnut Install:		MFTR: Formica Style: 6698-58 Color: Paloma Polar- Matte Finish Install:
					MFTR: Tarkett Style: Johnsonite Baseworks Color: TSB 32 Pebble Install: All walls except as noted.		MFTR: Arborite Style: S405 SR Color: Black Install:				MFTR: Aladdin Commercial Style: Unexpected Mix Tile # 2B118 Color: #878 Collaborate Install: Quarter Turn

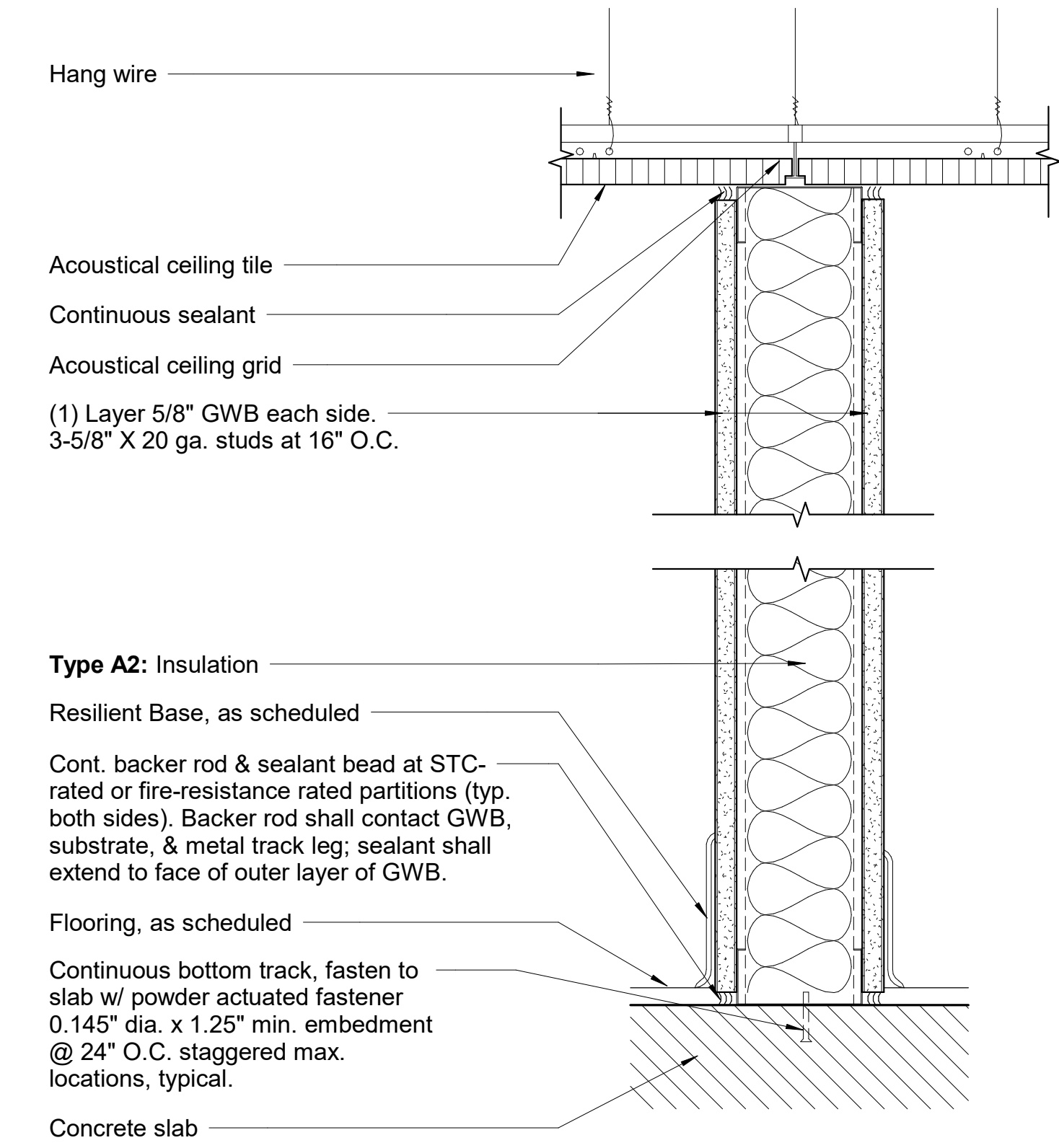
Finish Plan



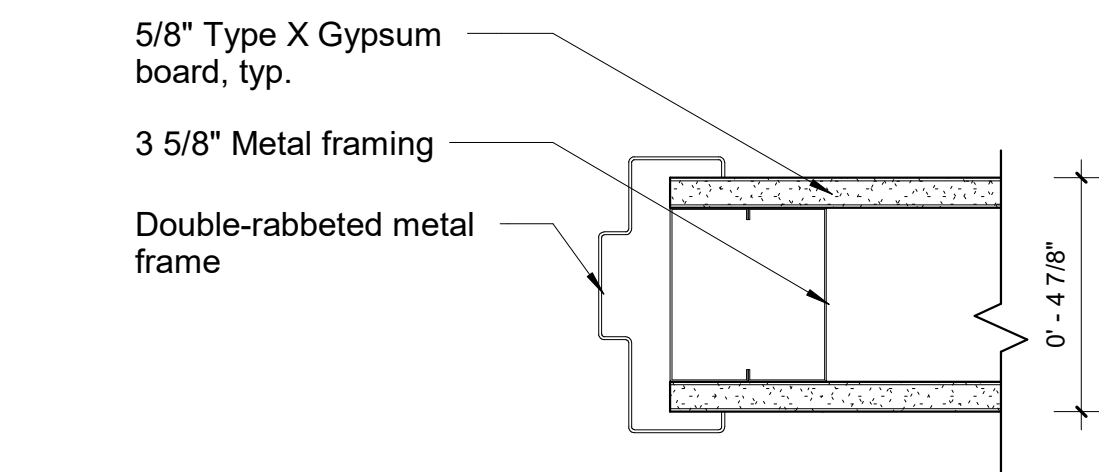


3 Reception Desk Back 1/2" = 1'-0"

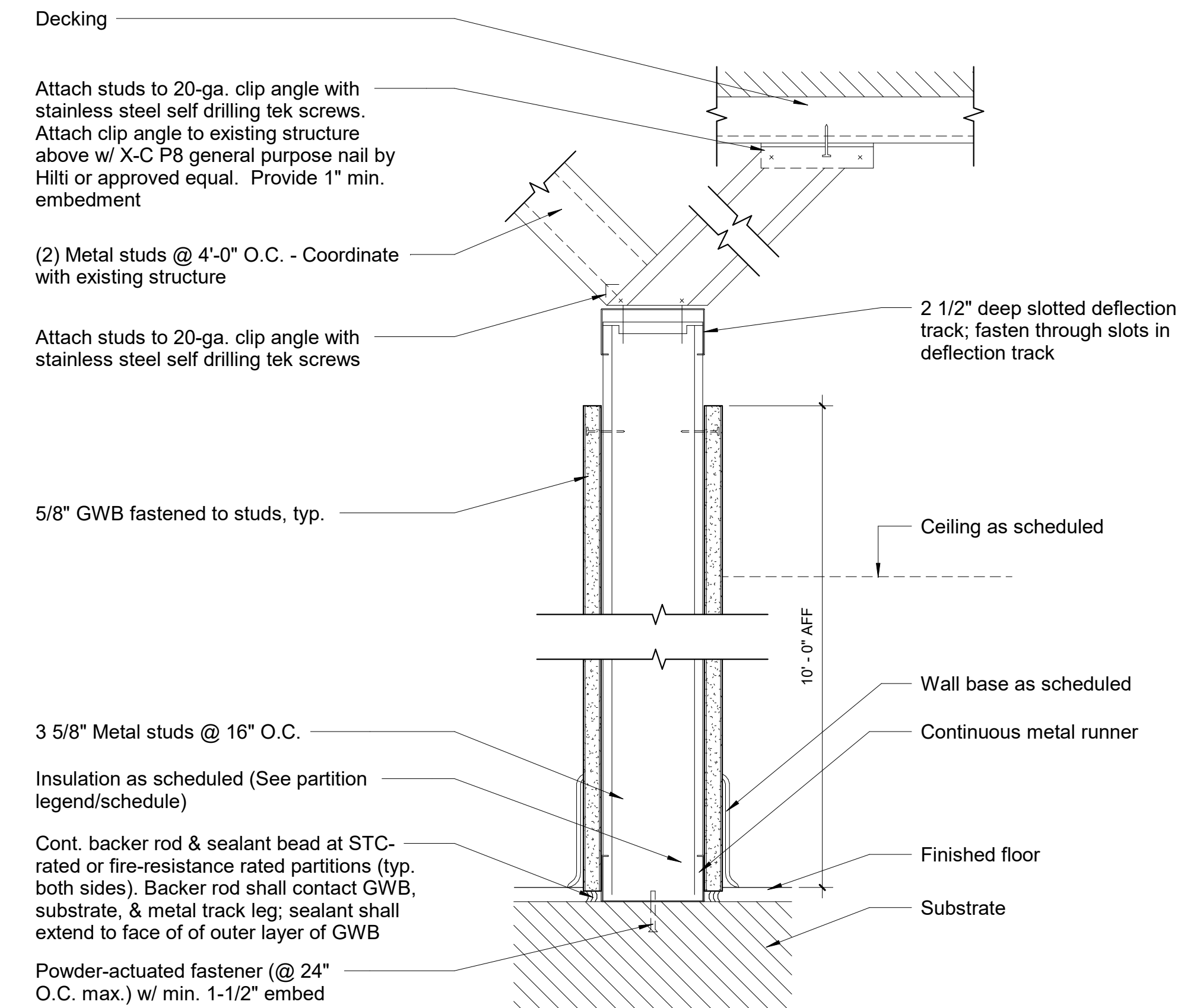




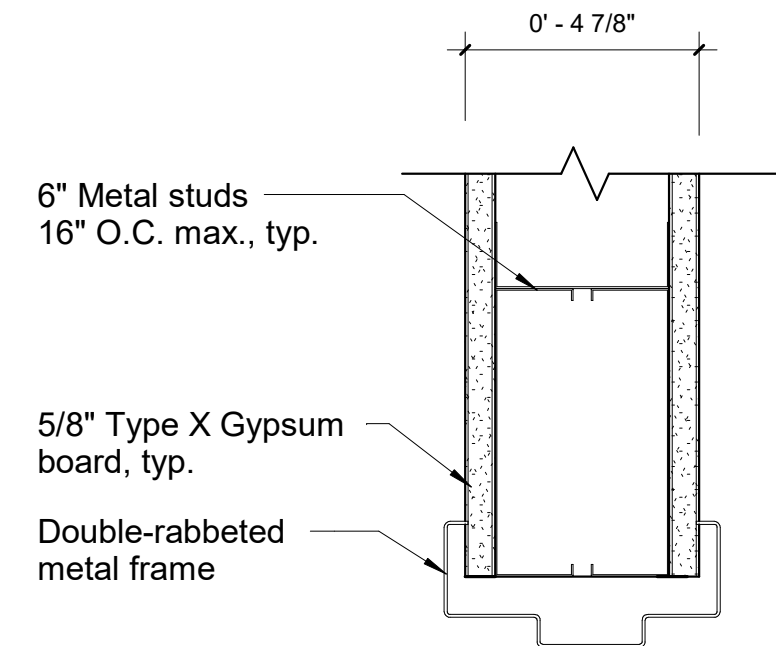
1 Partition Type A - A2 3" = 1'-0"



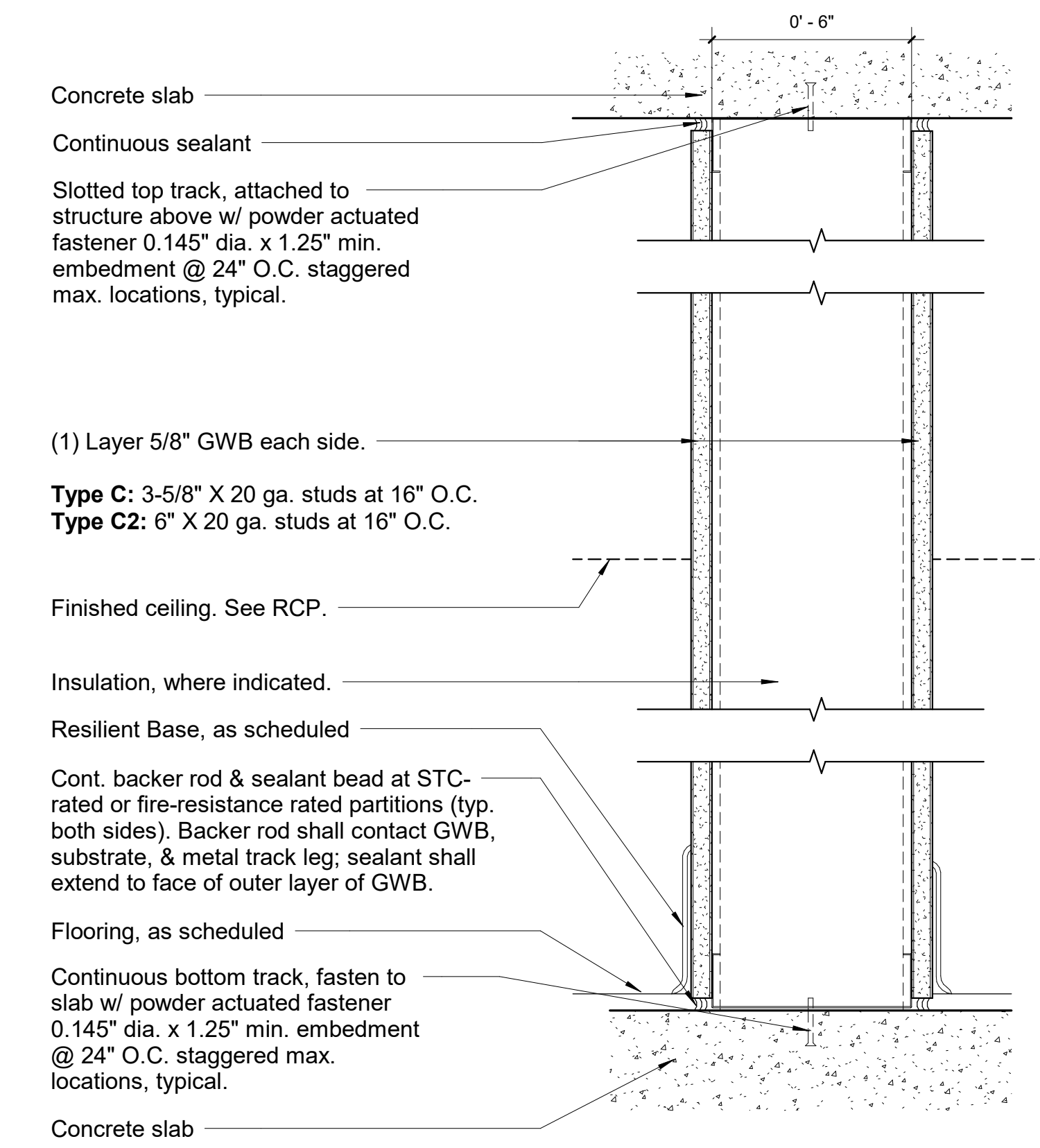
4 Hollow Metal Jamb Detail 1 3" = 1'-0"



2 Partition Type B 3" = 1'-0"

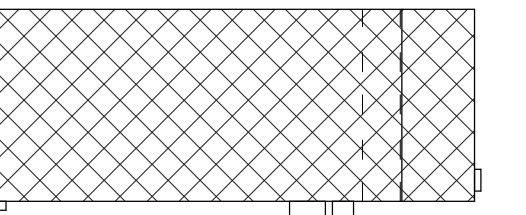


5 Hollow Metal Head Detail 1 3" = 1'-0"



3 Partition Type C - C2 3" = 1'-0"

Key Plan



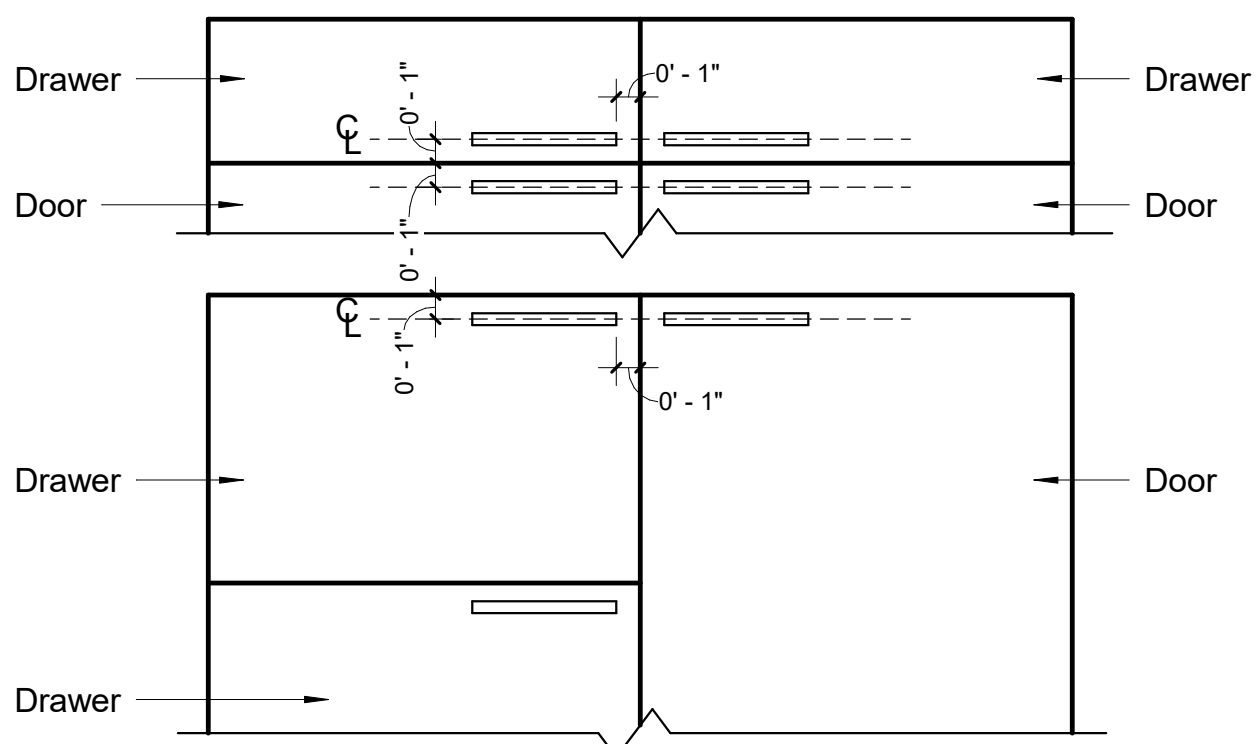
Area of Work

No. Date Issue By Check

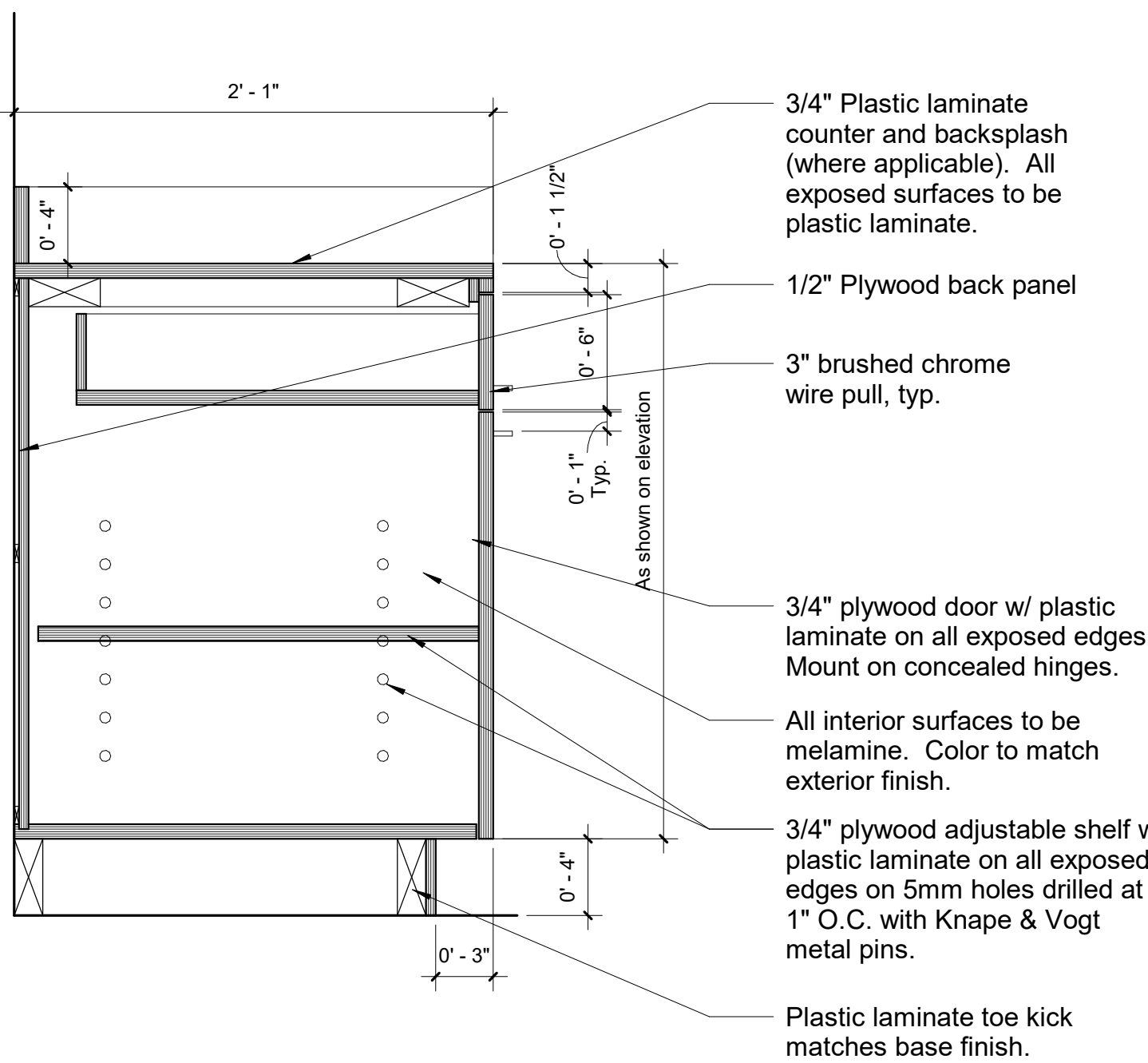
Revisions

No. Date Revision By Check

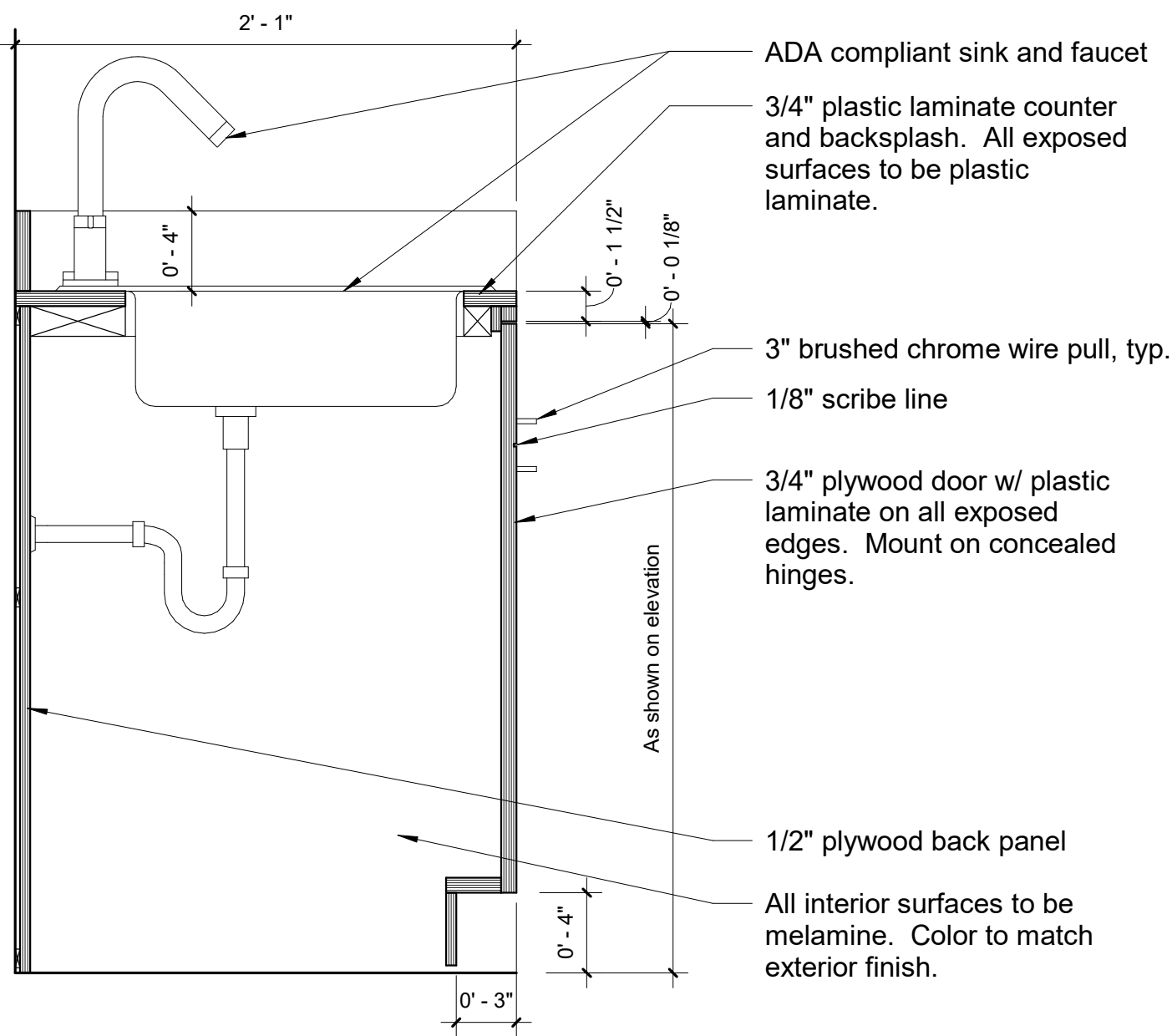




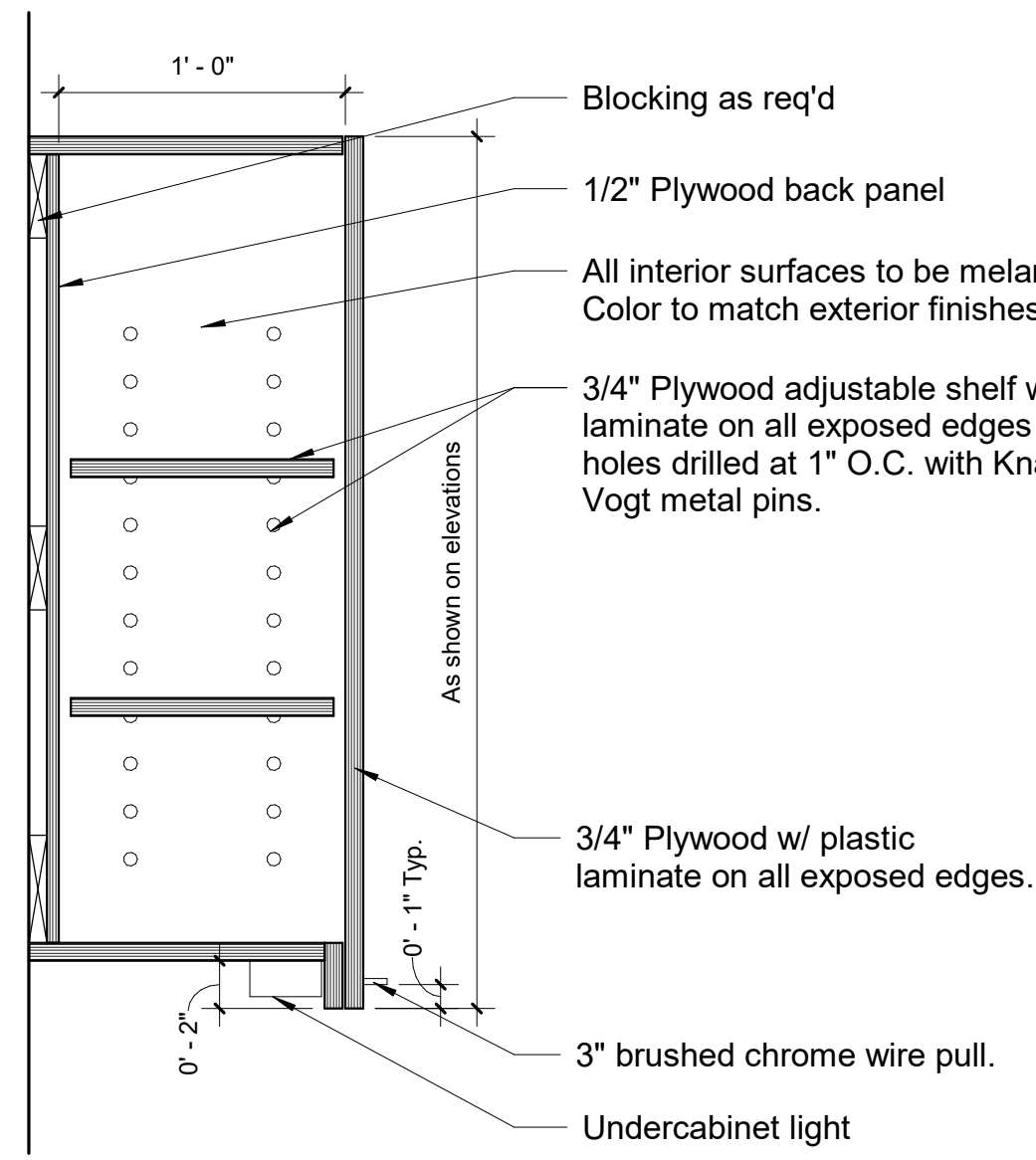
9 Cabinet Hardware Mounting 1 1/2" = 1'-0"



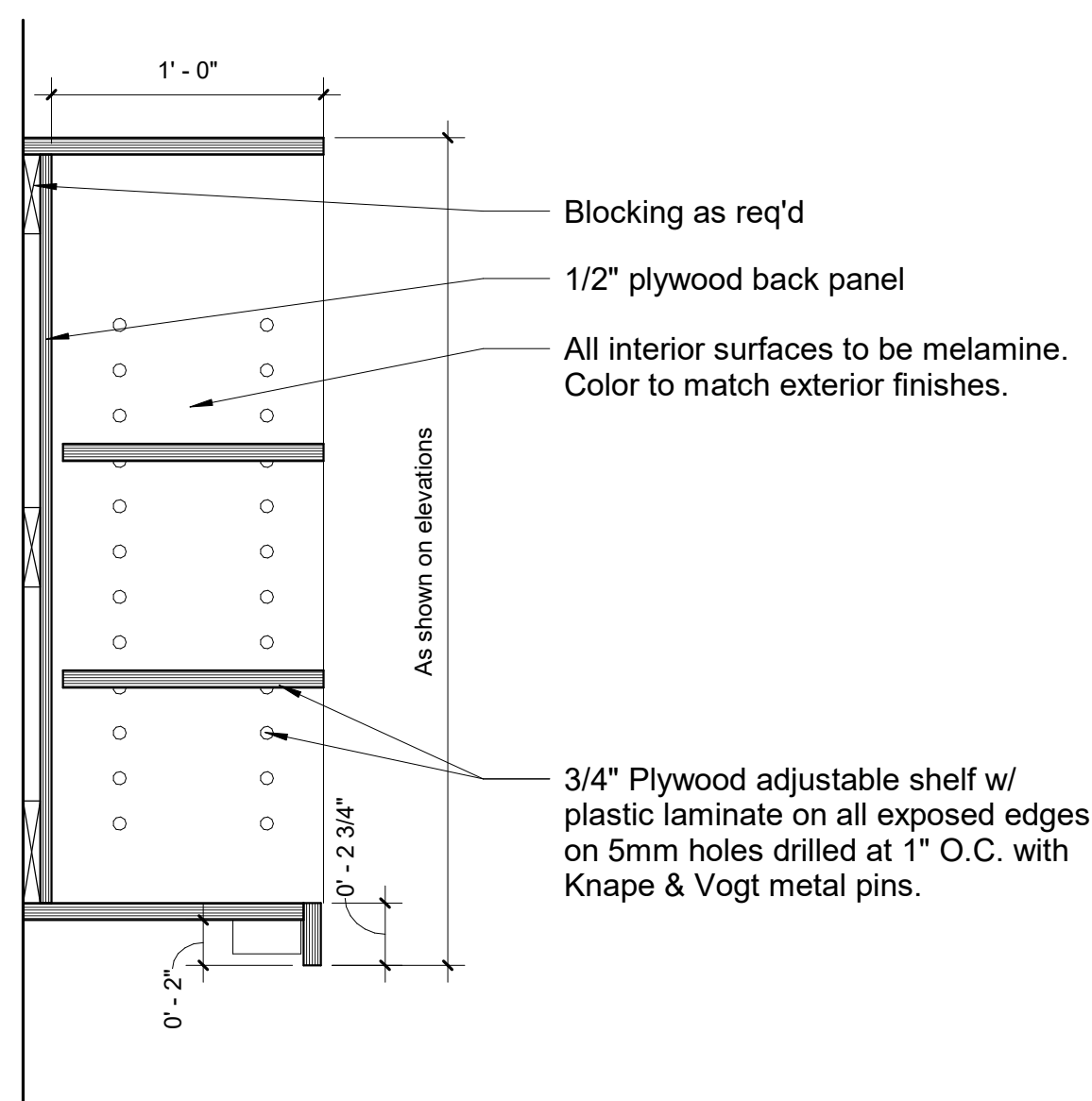
1 Base Door Drawer 1 1/2" = 1'-0"



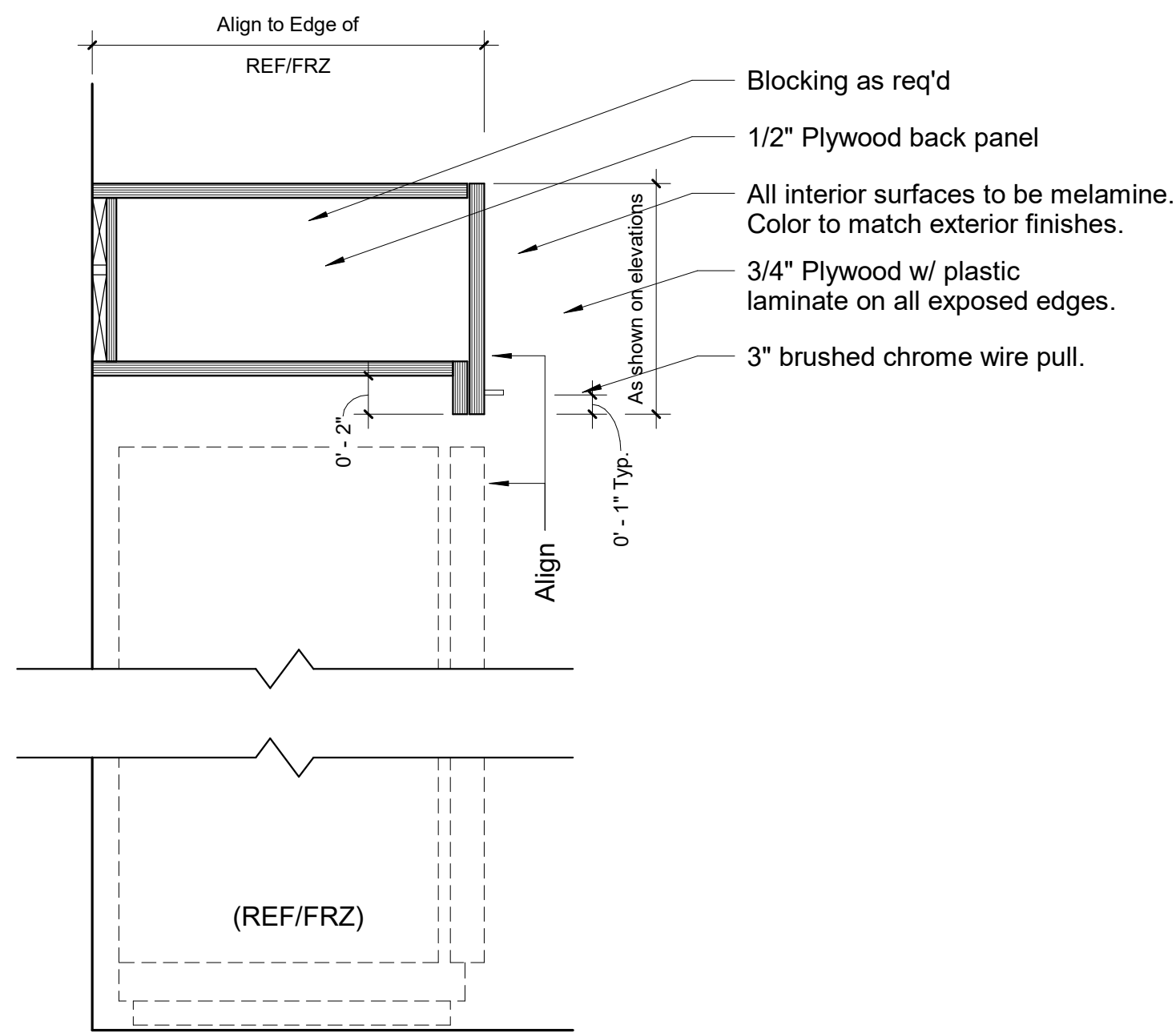
2 Base Sink 1 1/2" = 1'-0"



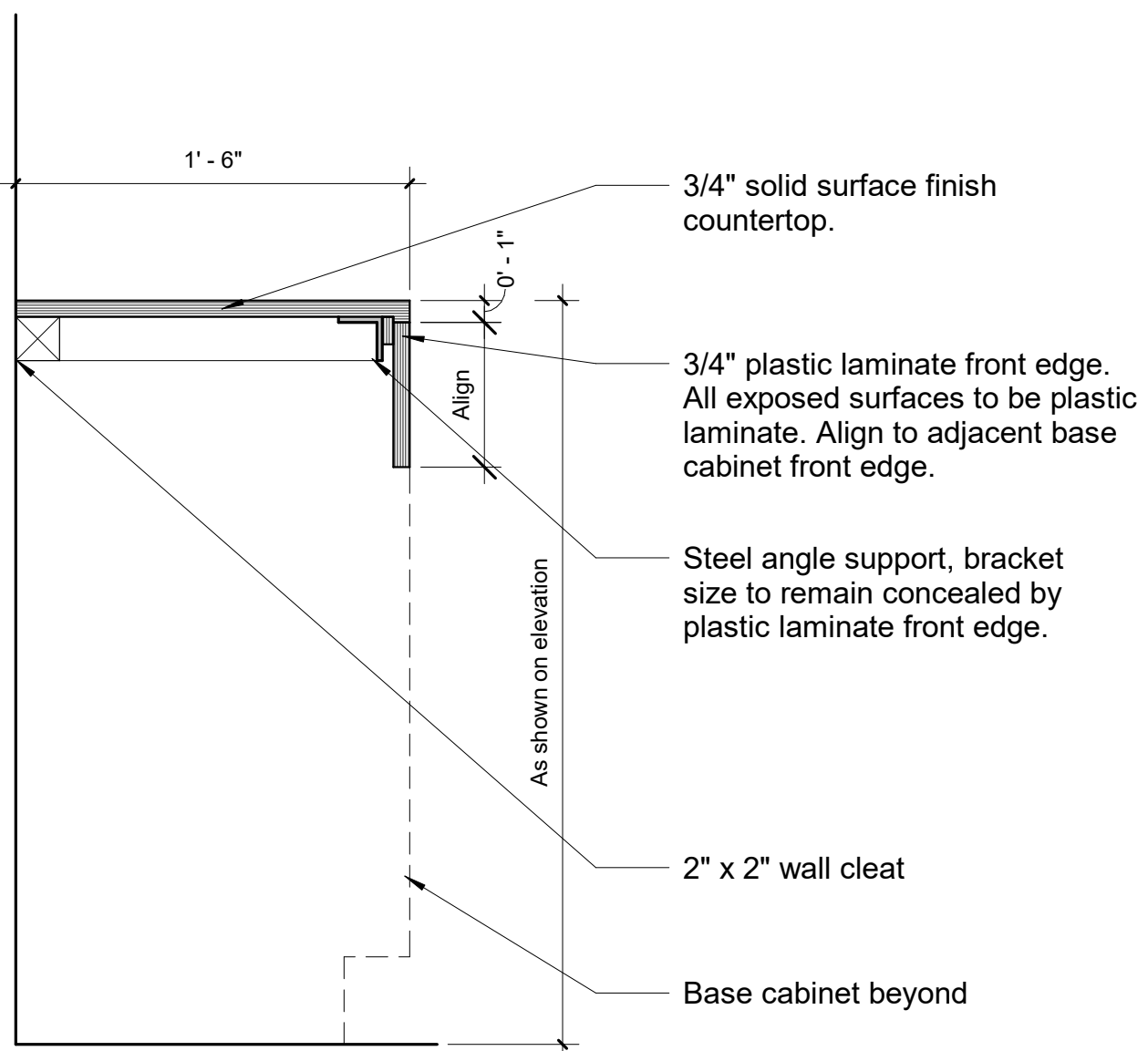
3 Wall Cabinet 1 1/2" = 1'-0"



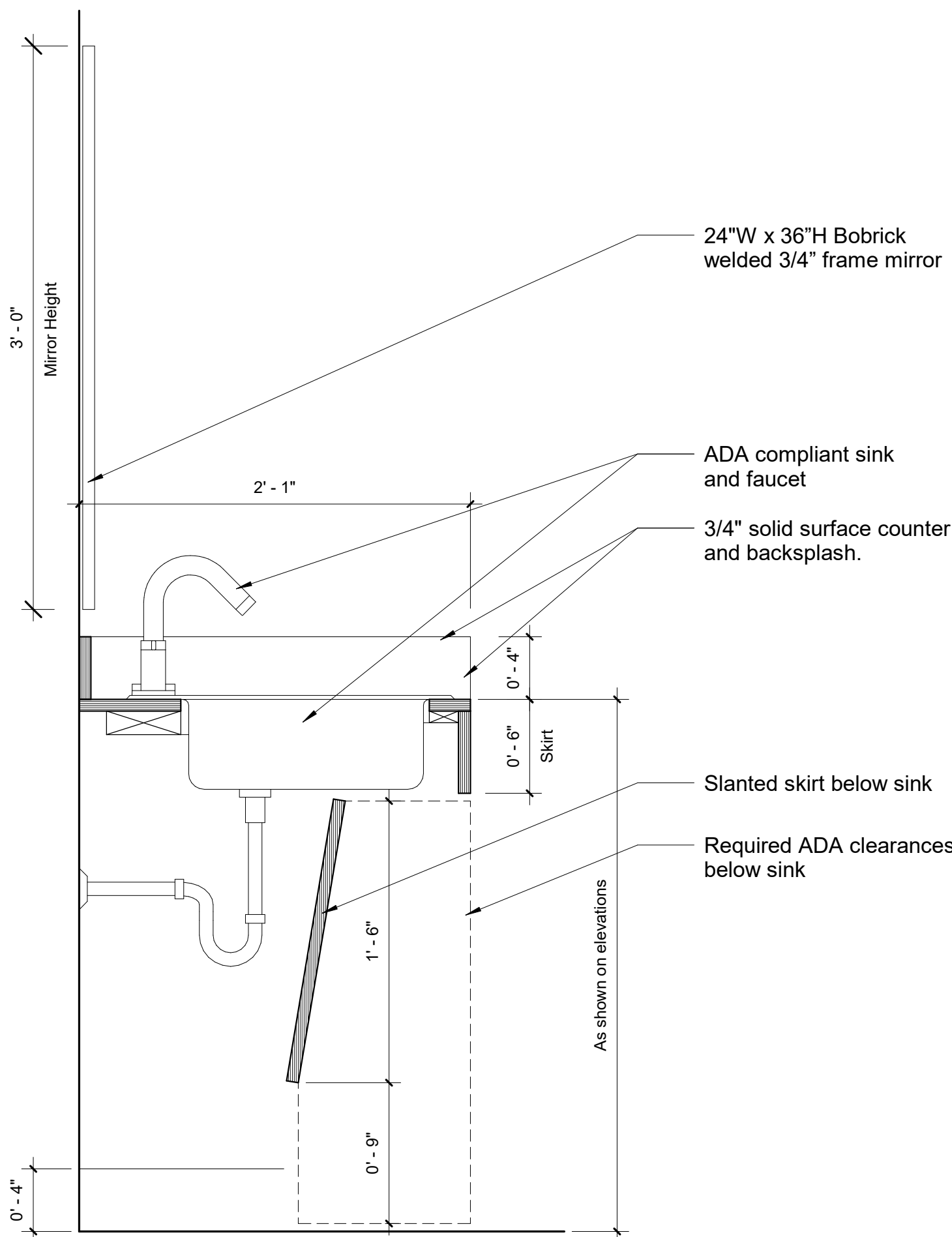
4 Wall Upper Shelves 1 1/2" = 1'-0"



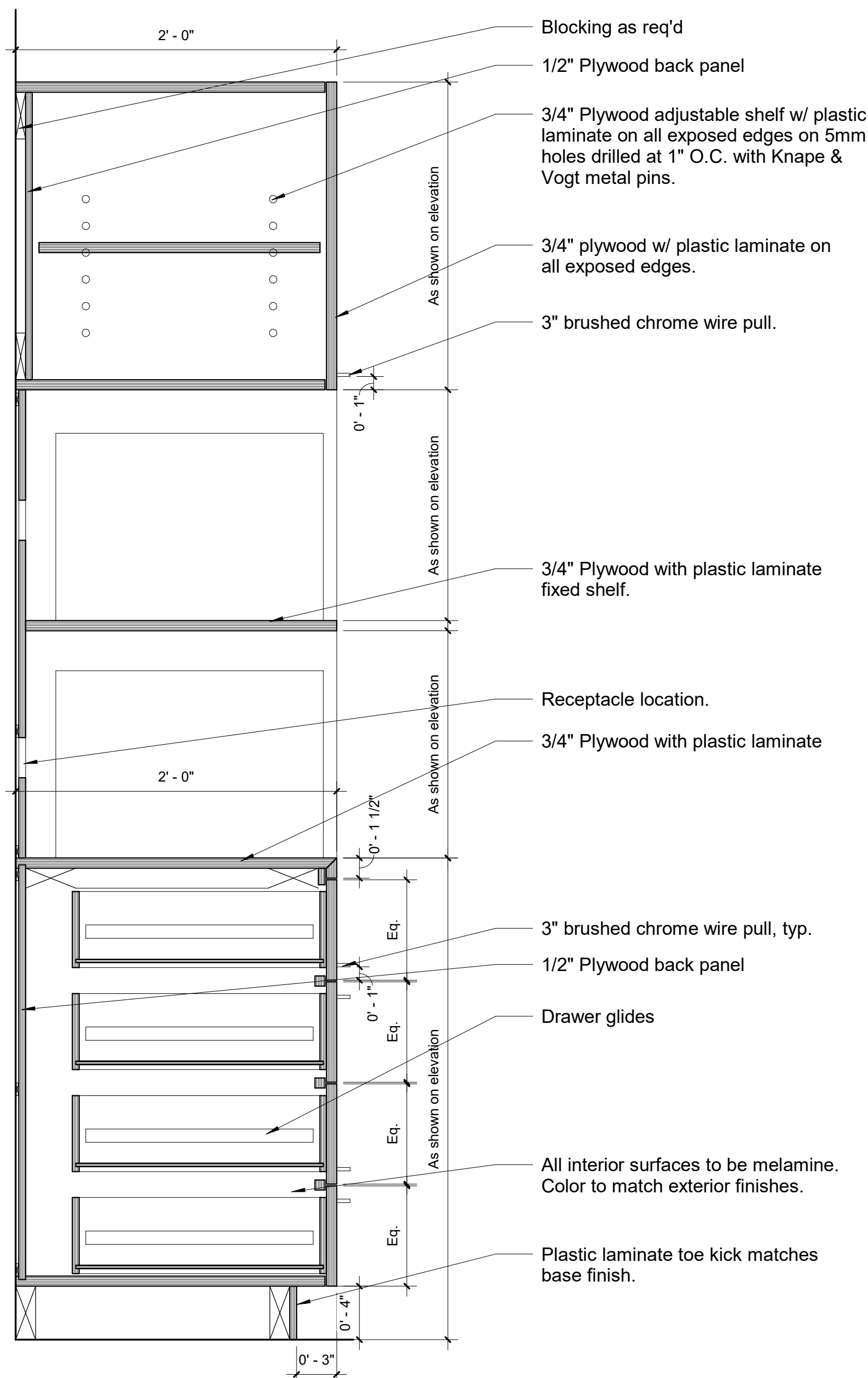
5 Wall Cabinet @ Refrigerator 1 1/2" = 1'-0"



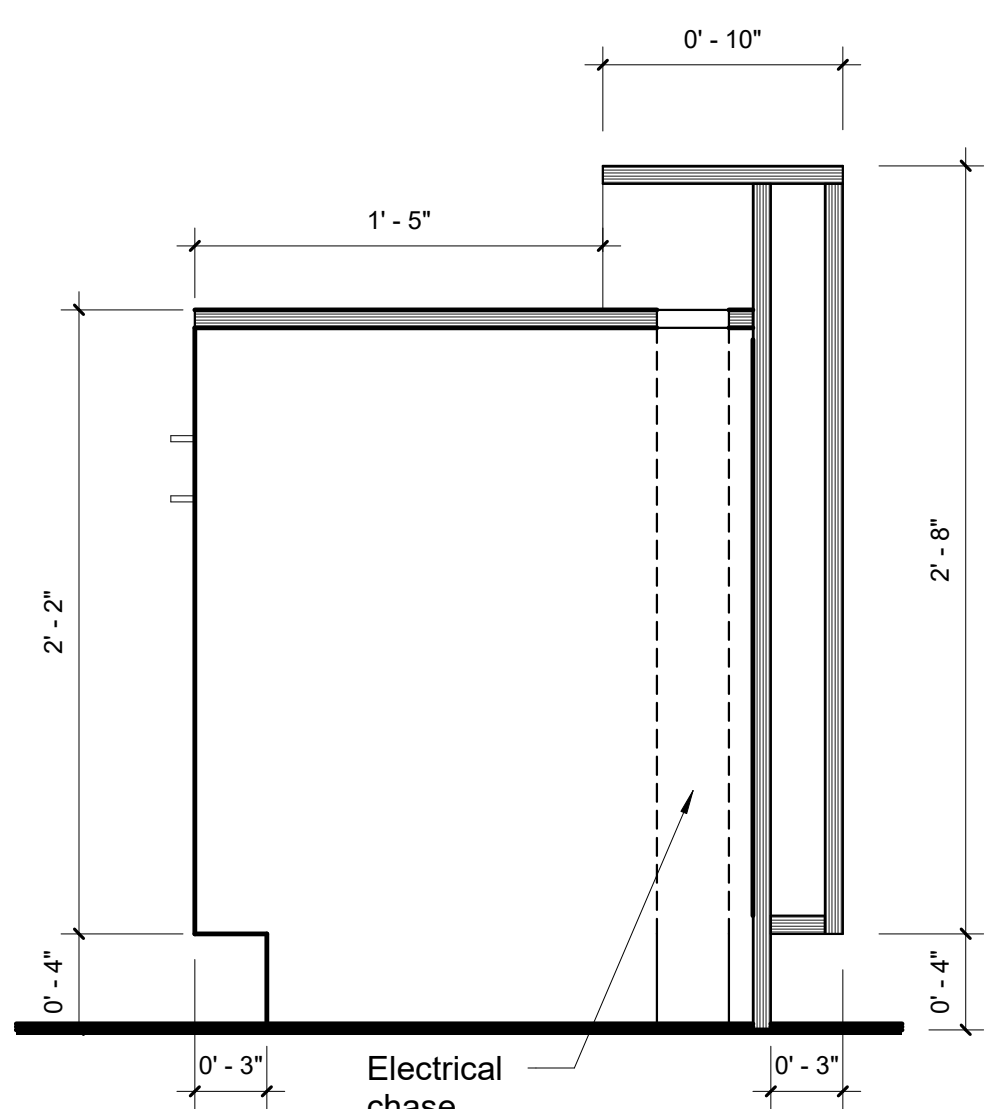
10 Countertop Open Below Behind Reception 1 1/2" = 1'-0"



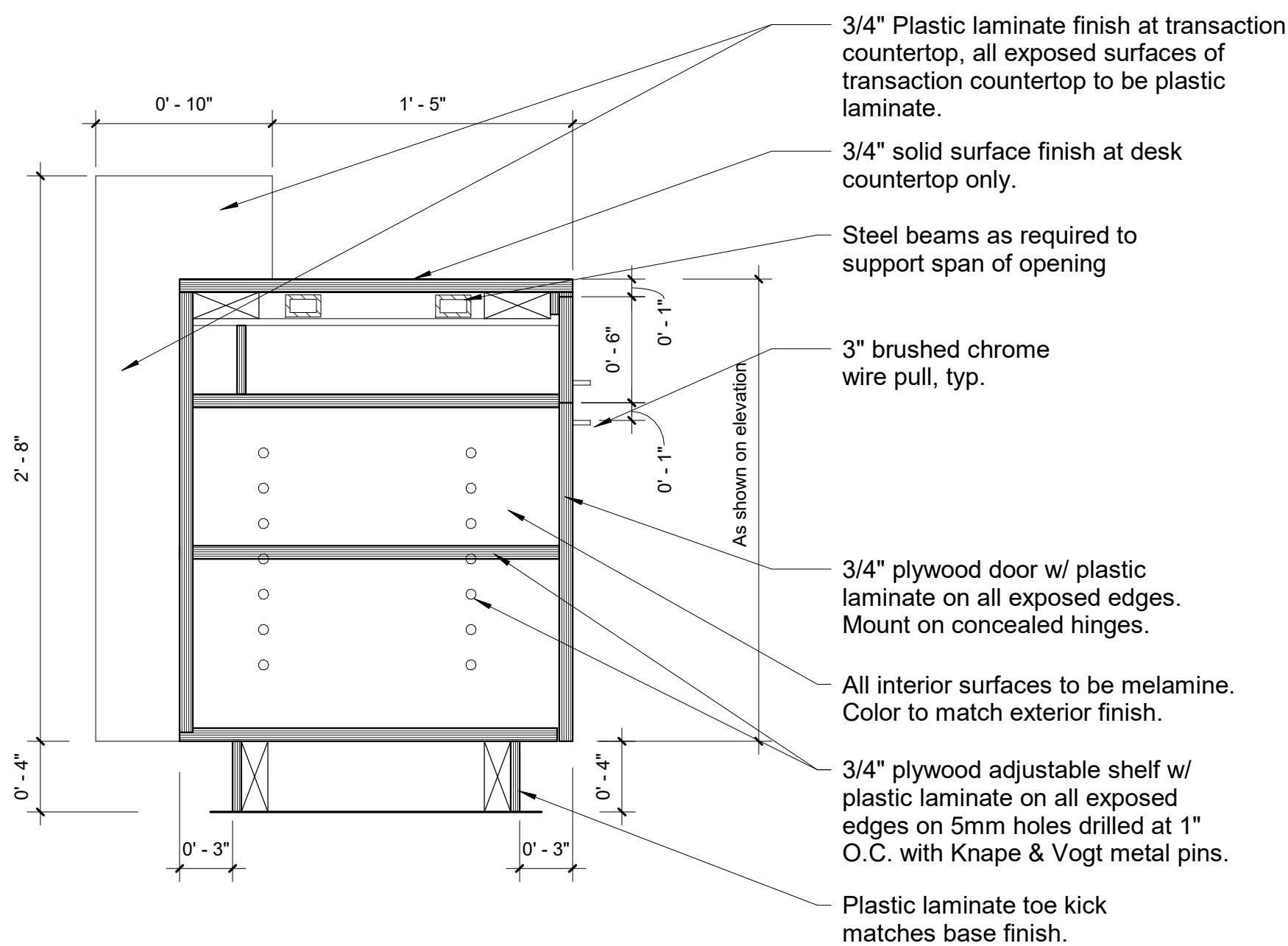
11 Restroom Sink 1 1/2" = 1'-0"



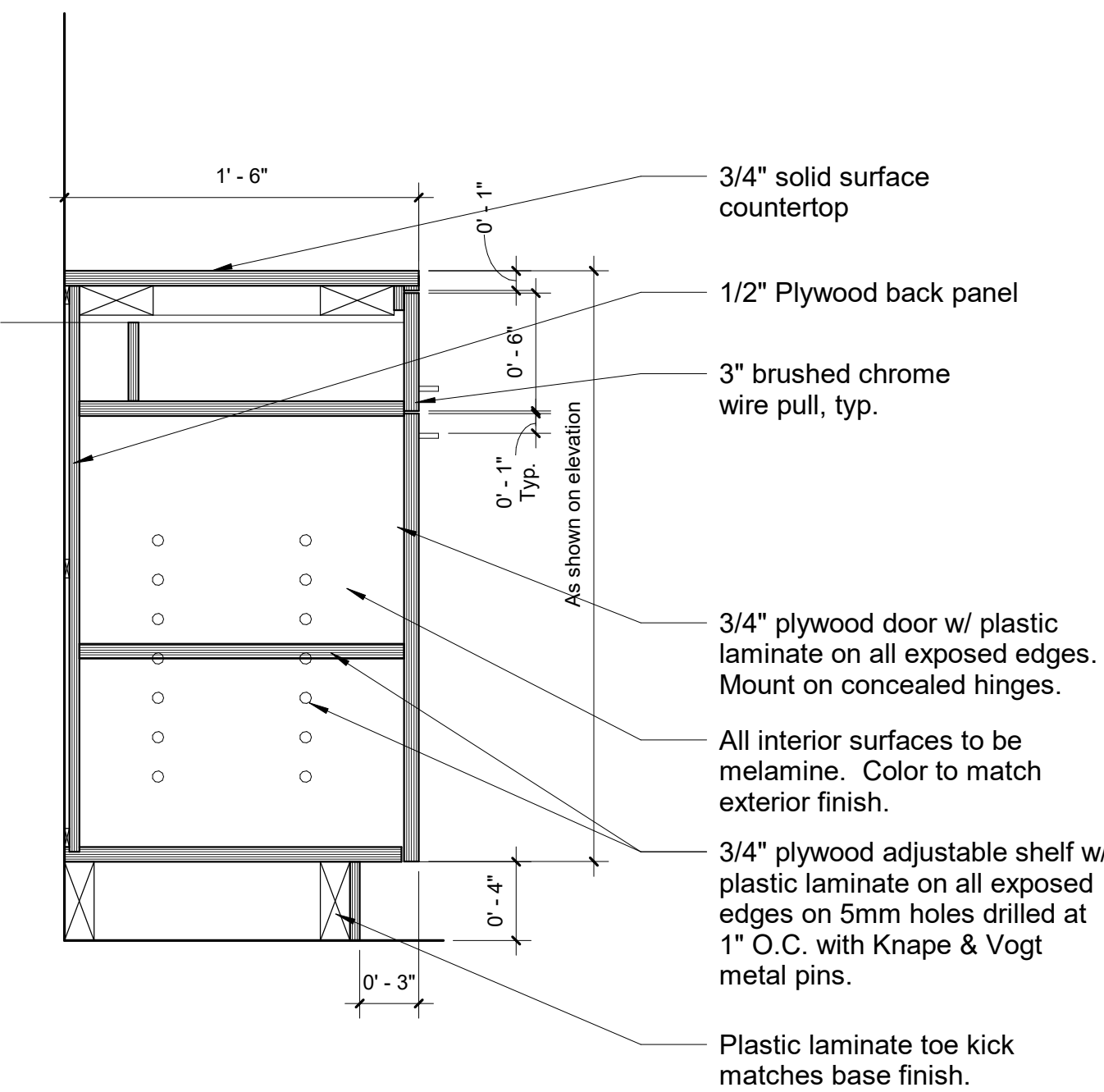
6 Wall Microwave 1 1/2" = 1'-0"



7 Greeting Reception Desk 1 1/2" = 1'-0"

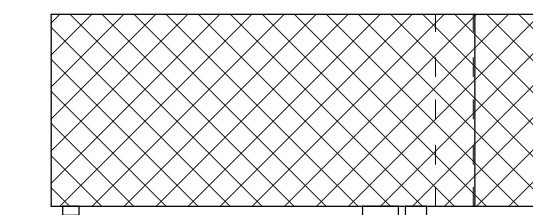


12 Greeting Reception Desk 1 1/2" = 1'-0"



8 Base Cabinet Behind Reception Desk 1 1/2" = 1'-0"

Key Plan



Area of Work

No. Date Issue By Check

Revisions
No. Date Revision By Check

