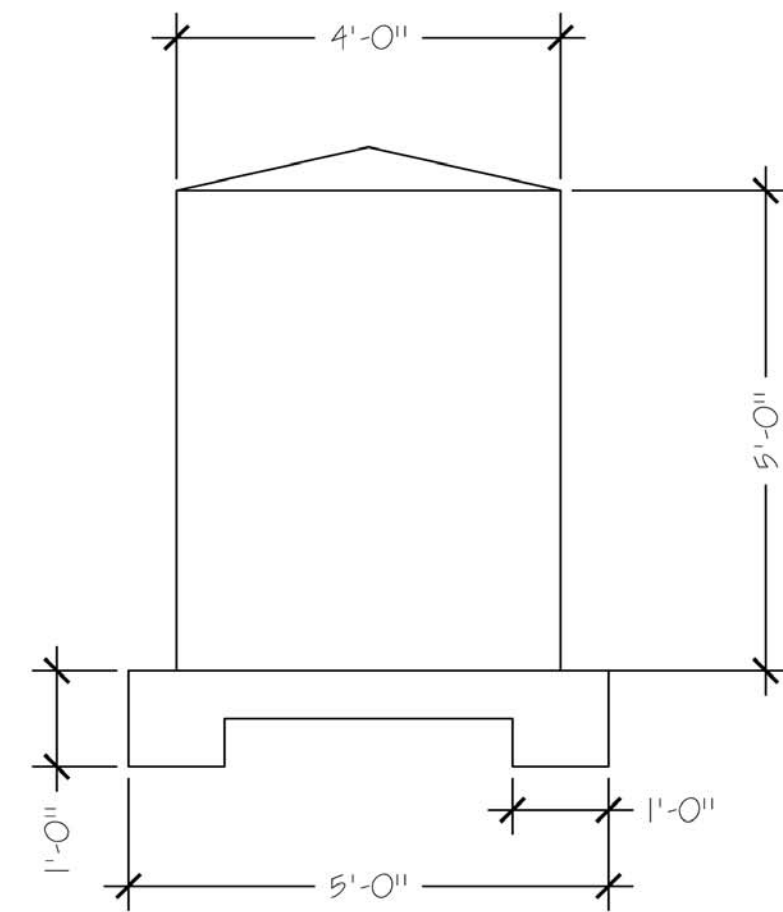


VICINITY MAP

N15

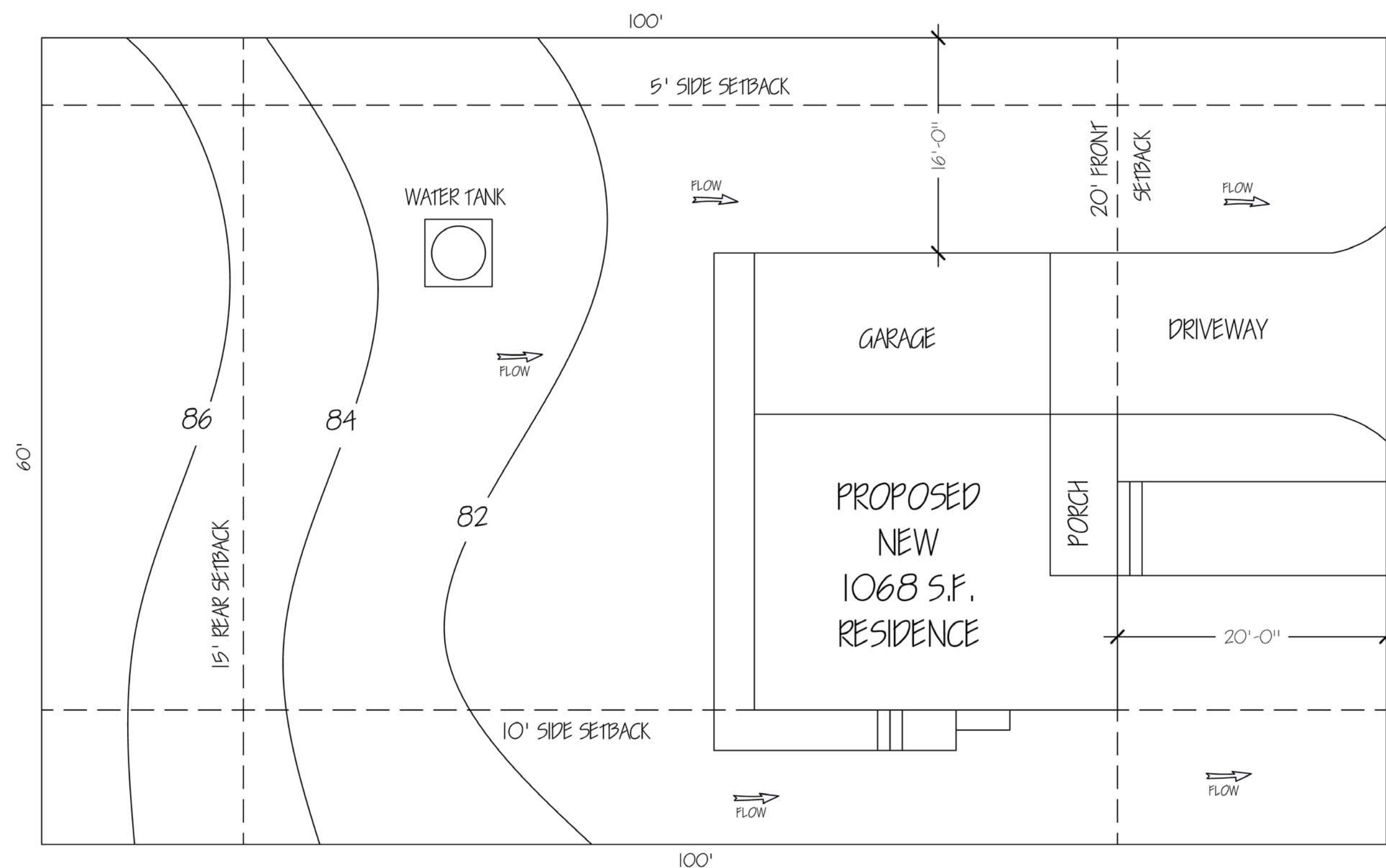
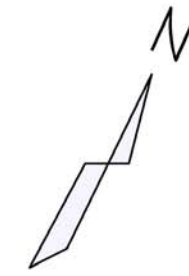
EROSION CONTROL NOTES

- ROOF TO DRAIN INTO DOWNSPOUTS ONTO SPLASH BLOCKS.
- GRADE LOT TO PROVIDE FOR RUNOFF TO STREET.
- HOSES TO BE EQUIPPED WITH SHUT OFF NOZZLES.
- SITE RUNOFF TO BE CONTROLLED DURING CONSTRUCTION BY THE INSTALLATION OF WATTLES OR EQUIVALENT MEASURES.



WATER TANK X-SECTION

SCALE 1" = 1'



PLOT PLAN

SCALE 1/8" = 1'

1000 PARADISE AVE.

SCOPE OF PROJECT

BUILD 1008 S.F. RESIDENCE WITH 264 S.F. GARAGE ON CURRENTLY VACANT 100' X 60' LOT.

PROJECT INCLUDES ONE FULL AND ONE HALF BATHROOM, WASHER AND KITCHEN SINK.

TOTAL GROUND COVERAGE = 858 S.F.

TOTAL PAVED AREA = 604 S.F.

TOTAL IMPERMEABLE SURFACE = 1462

EXPRESSED AS PERCENTAGE = 24% OF LOT.

PROJECT TO BE FIRE SPRINKLERED

APN

000-000-00

CONTACT INFO

OWNER:

WINNIE AND BOB OWNER
STREET ADDRESS
CITY, STATE ZIP CODE
PHONE NUMBER

DESIGNER:

DESIGNER'S NAME
CITY, STATE, ZIP CODE
PHONE NUMBER

ENGINEER:

ENGINEER'S NAME
CITY, STATE, ZIP CODE
PHONE NUMBER

TABLE OF CONTENTS

- PAGE 1: PLOT PLAN / EROSION CONTROL / VICINITY MAP
- PAGE 2: FLOOR PLANS AND ELECTRICAL PLAN
- PAGE 3: ELEVATIONS
- PAGE 4: FOUNDATION PLAN AND DETAILS
- PAGE 5: FLOOR FRAME, ROOF FRAME PLANS
- PAGE 6: CROSS SECTION AND DETAILS
- PAGE 7: DETAILS AND WINDOW SCHEDULE
- PAGE 8: SHEER PLAN AND ENGINEERING DETAILS
- PAGE 9: NOTES AND ENERGY CALCS

YOUR NAME
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P.O. BOX 0000
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PH. NUMBER

PROPOSED NEW RESIDENCE FOR
WINNIE AND BOB ANYONE
1000 PARADISE AVE
ANYTOWN, CA 99999
PH. NUMBER

NO.	REVISION	DATE

PLOT PLAN
SCOPE
AND
CONTENTS

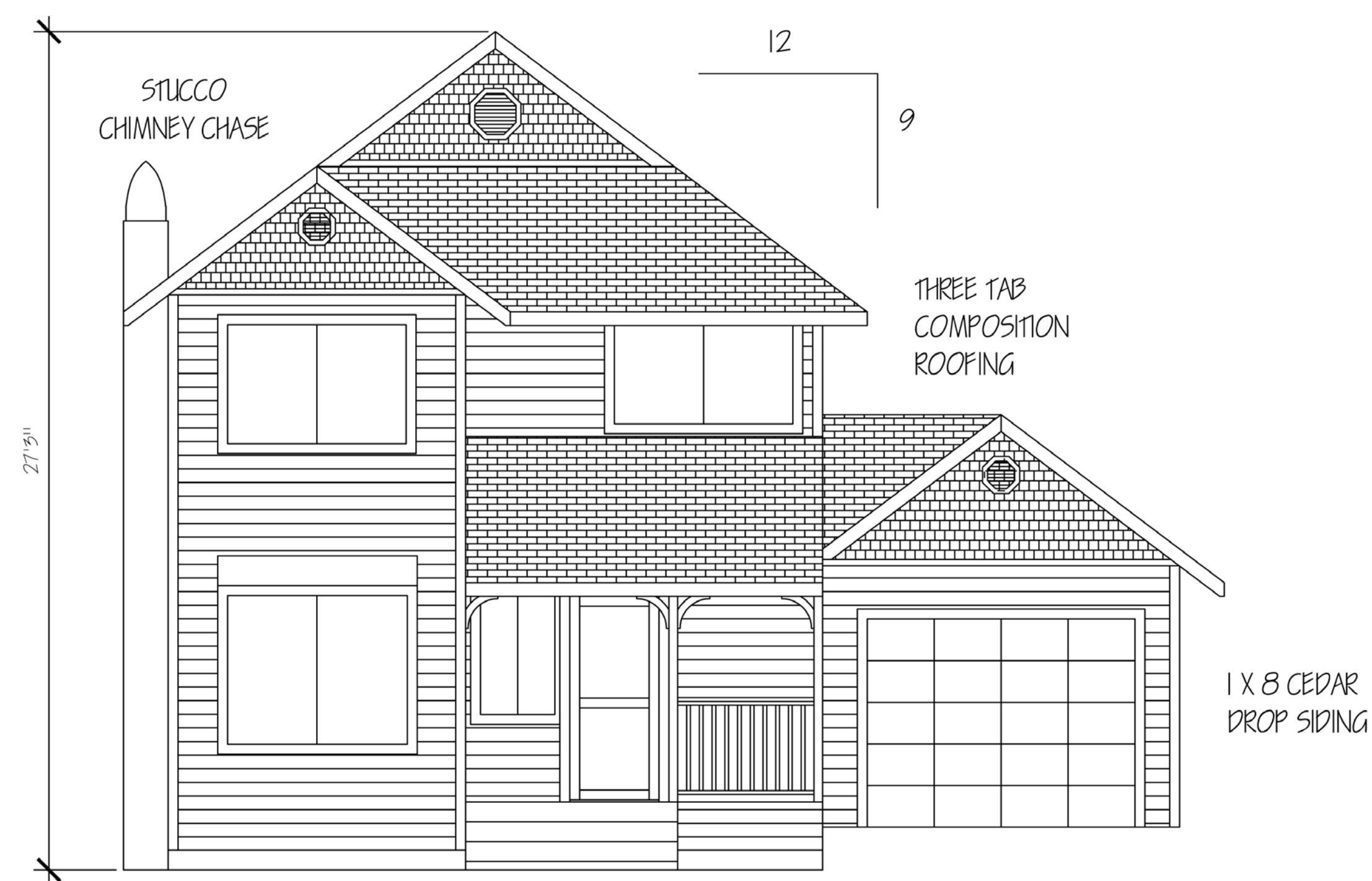
DRAWN BY JAMES BEEBE
PROJECT 10000001
DATE 20AUG25
SCALE SEE VIEW
PAGE NO.

1



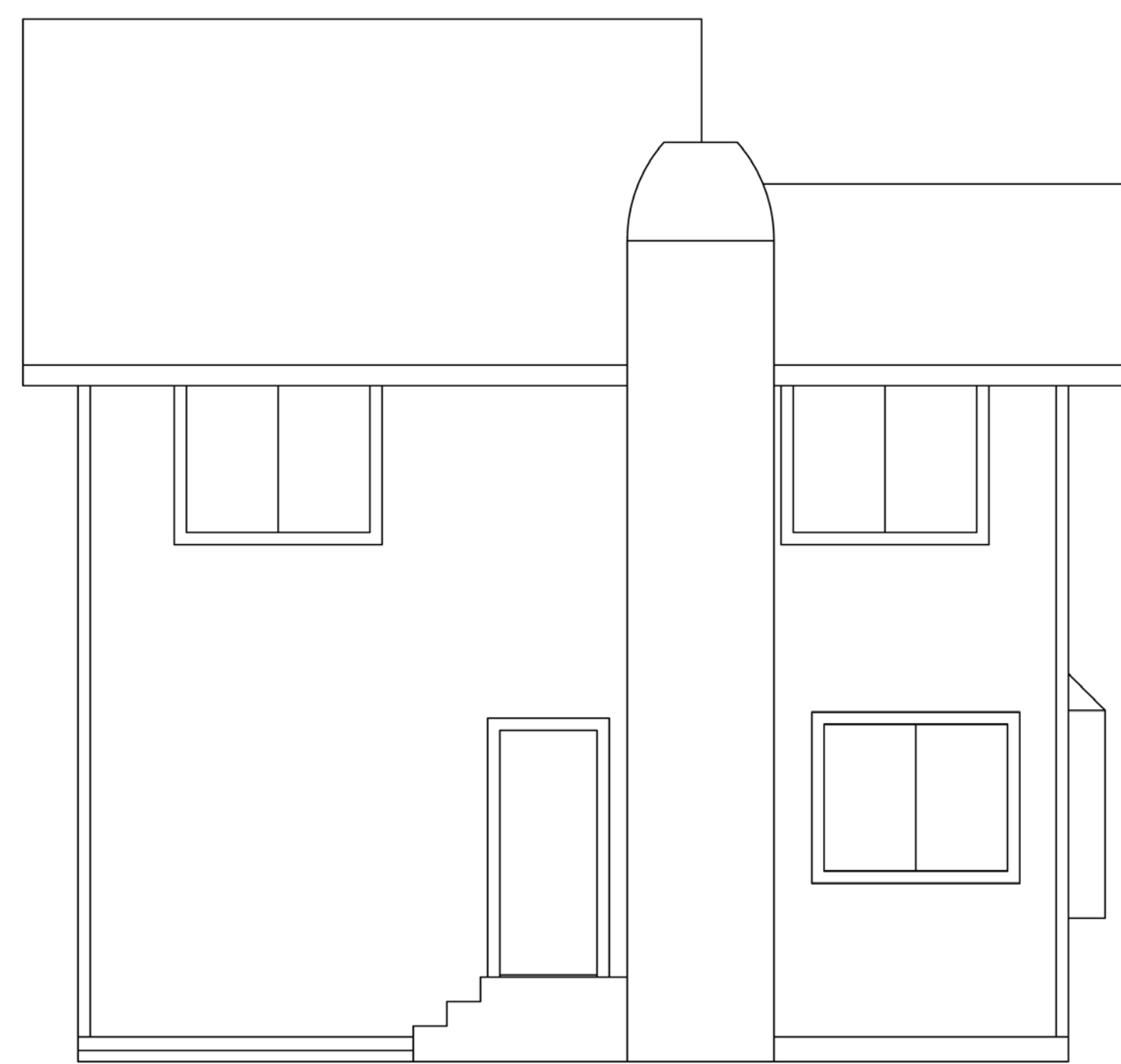
EAST ELEVATION

SCALE 1/4" = 1'



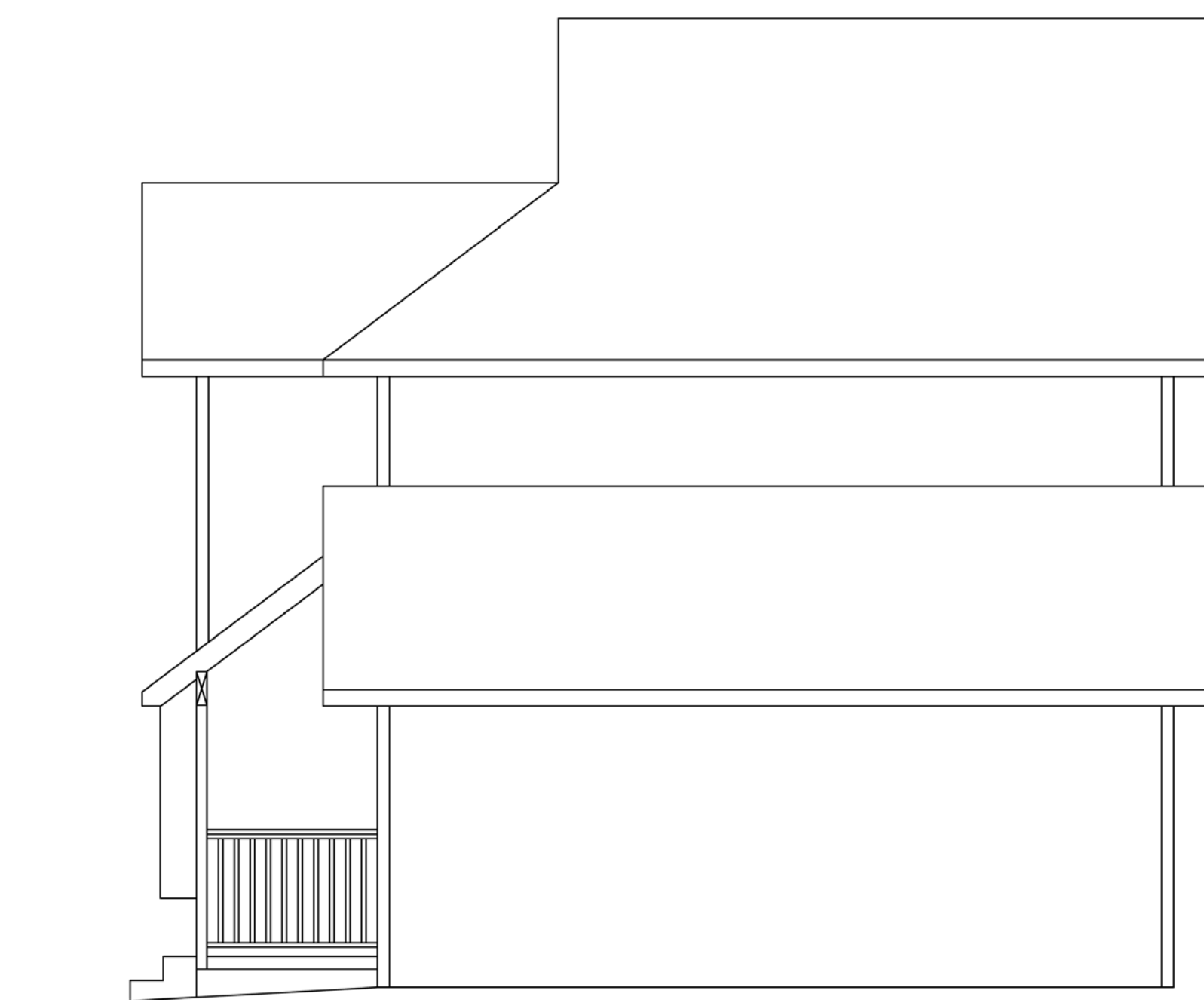
WEST ELEVATION

SCALE 1/4" = 1'



SOUTH ELEVATION

SCALE 1/4" = 1'



NORTH ELEVATION

SCALE 1/4" = 1'

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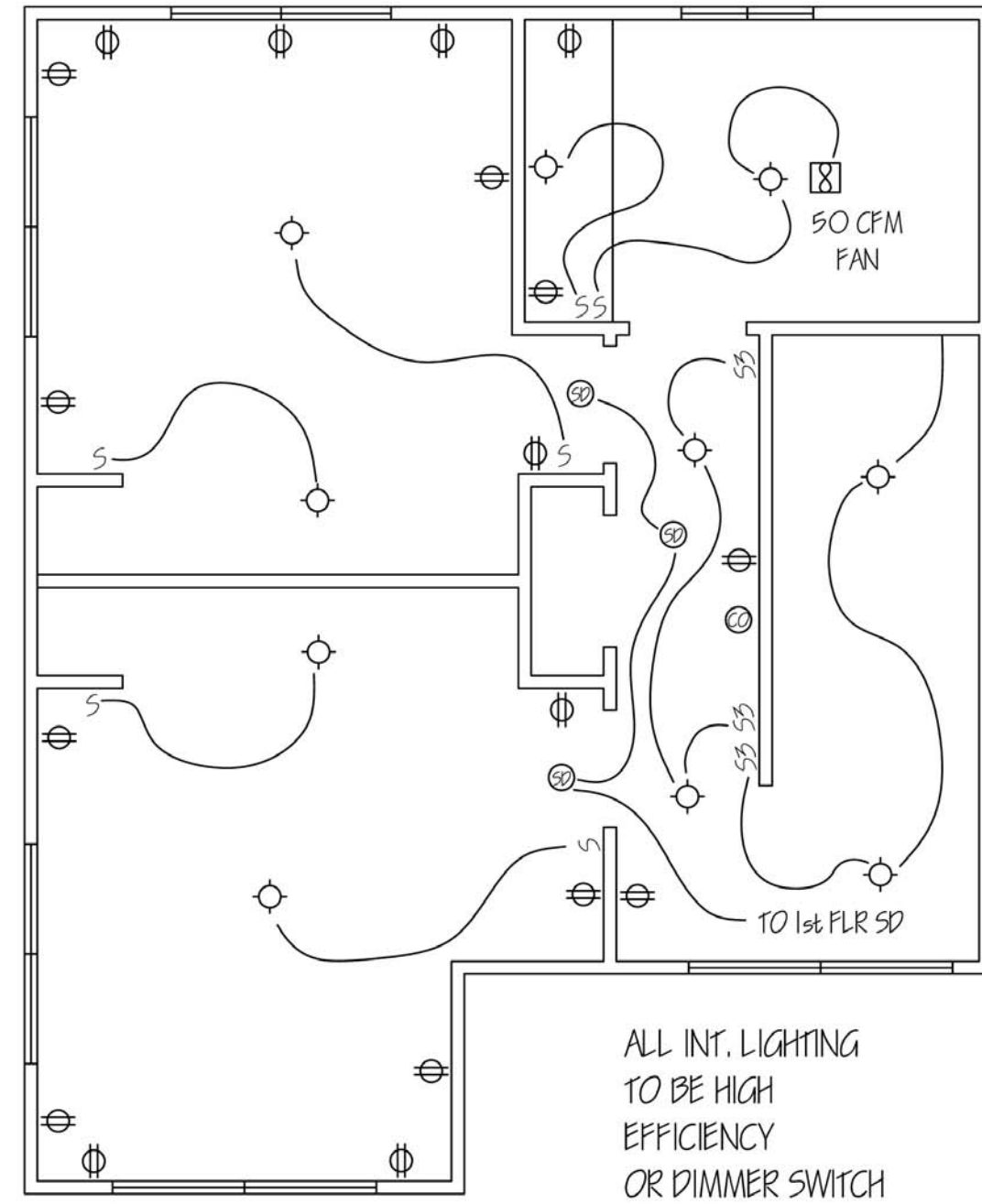
NO.	REVISION	DATE

ELEVATIONS

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PROJECT 10000001
DATE 20AUG25
SCALE 1/4" = 1'
PAGE NO.

ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT, SINGLE PHASE, 15 AND 20 AMP OUTLETS SHALL BE PROTECTED BY AFCI BREAKERS EXCEPT CIRCUITS REQUIRING PROTECTION BY GFI PER CEC 210-12(B) AND CEC 210.8(A)

ALL 15 AND 20 AMP OUTLETS TO BE TAMPER RESISTANT



BATHROOM LIGHTING TO BE HIGH EFFICIENCY OR ON OCCUPANT SENSOR SWITCH

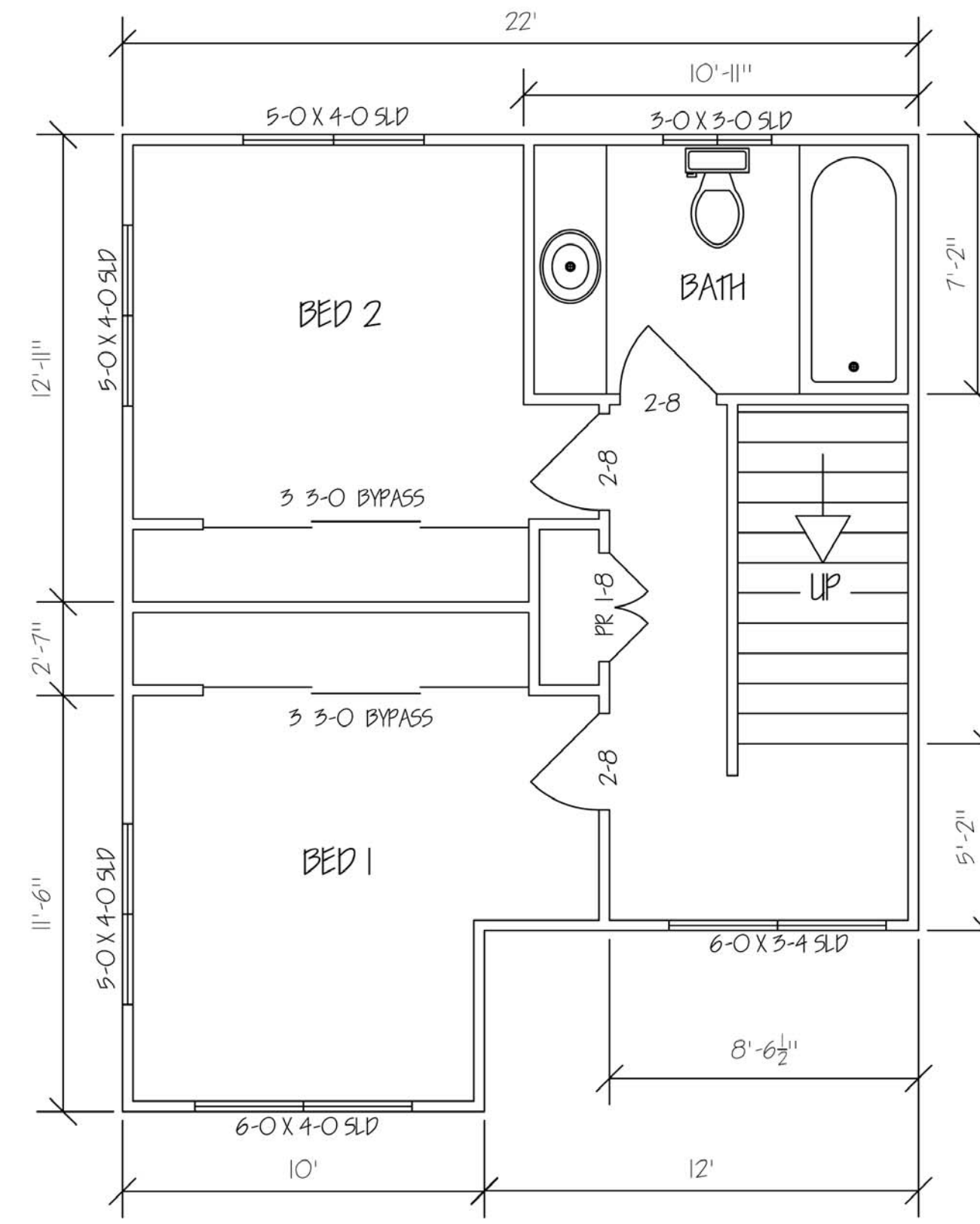
BATH CIRCUIT TO BE NEW 20A GFI PROTECTED

BATH FAN TO BE EQUIPPED WITH BACK FLOW DAMPER

ALL INT. LIGHTING TO BE HIGH EFFICIENCY OR DIMMER SWITCH CONTROLLED

2ND STORY ELECTRICAL PLAN

SCALE 1/4" = 1'



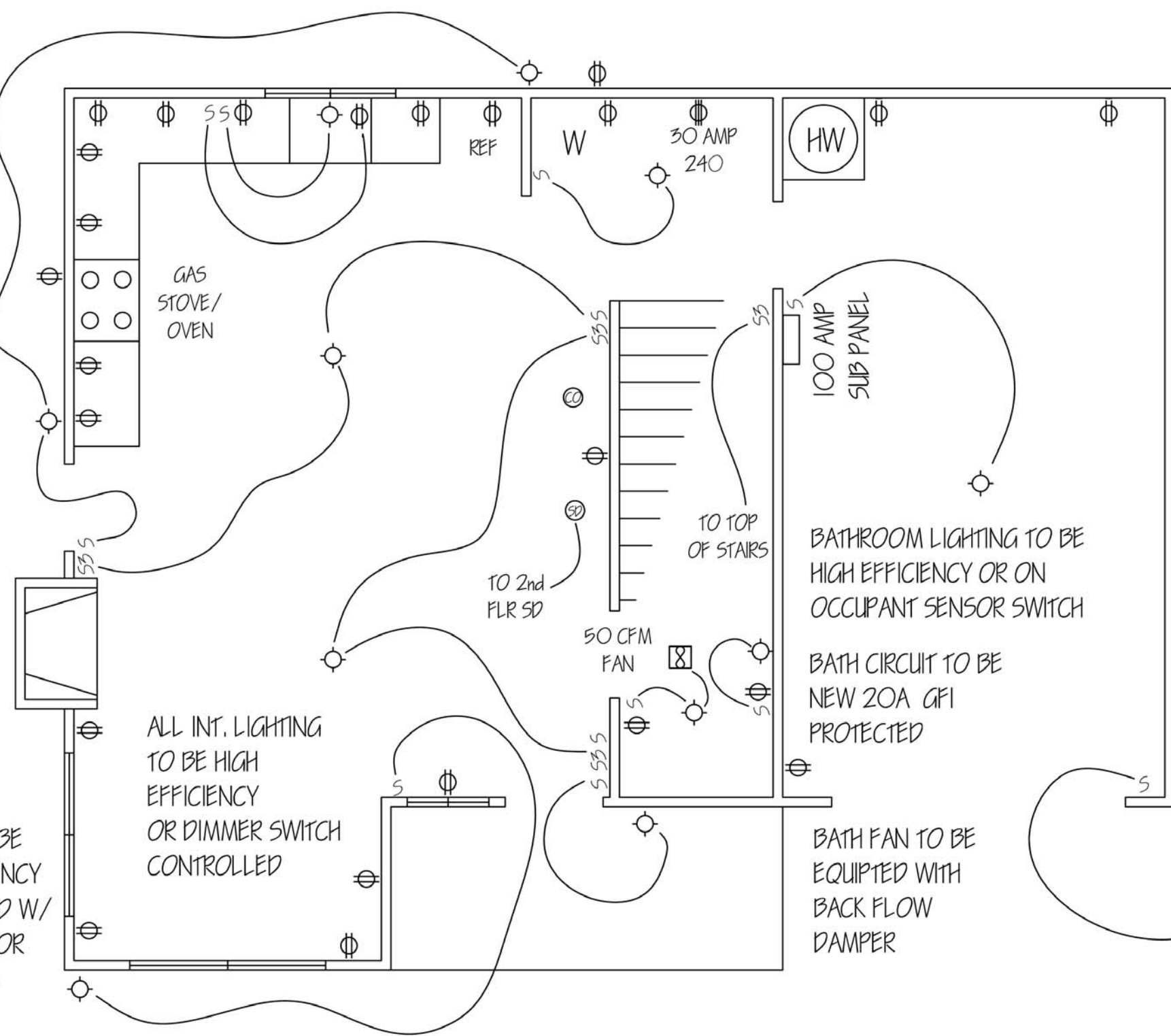
2ND STORY FLOOR PLAN

SCALE 1/4" = 1'

ALL BRANCH CIRCUITS THAT SUPPLY 125-VOLT, SINGLE PHASE, 15 AND 20 AMP OUTLETS SHALL BE PROTECTED BY AFCI BREAKERS EXCEPT CIRCUITS REQUIRING PROTECTION BY GFI PER CEC 210-12(B) AND CEC 210.8(A)

ALL 15 AND 20 AMP OUTLETS TO BE TAMPER RESISTANT

ALL EXT. LIGHTING TO BE HIGH EFFICIENCY AND EQUIPPED W/ PHOTO SENSOR AND MOTION DETECTOR



ALL EXT. LIGHTING TO BE HIGH EFFICIENCY AND EQUIPPED W/ PHOTO SENSOR AND MOTION DETECTOR

BATHROOM LIGHTING TO BE HIGH EFFICIENCY OR ON OCCUPANT SENSOR SWITCH

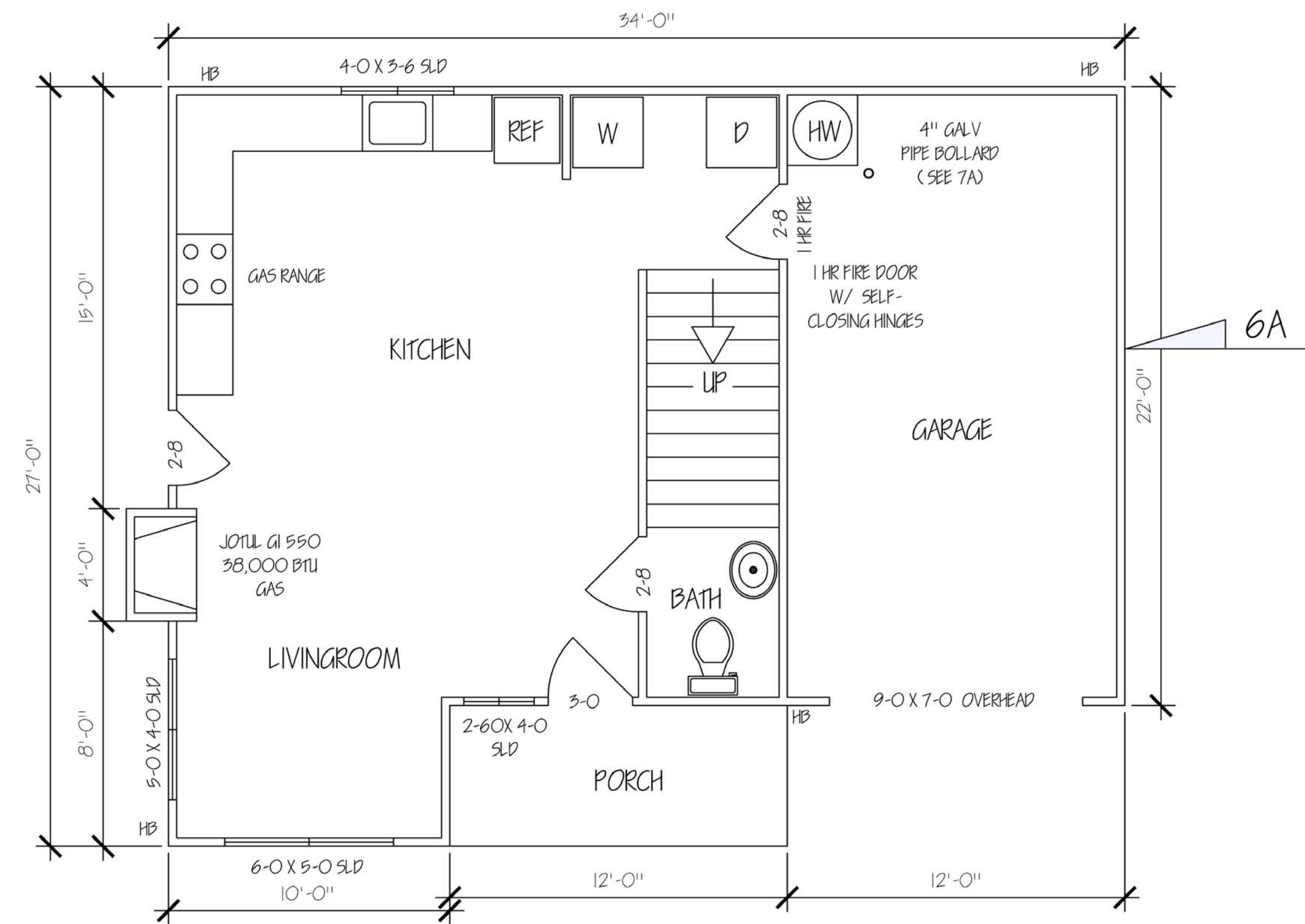
BATH CIRCUIT TO BE NEW 20A GFI PROTECTED

BATH FAN TO BE EQUIPPED WITH BACK FLOW DAMPER

ALL INT. LIGHTING TO BE HIGH EFFICIENCY OR DIMMER SWITCH CONTROLLED

FIRST STORY ELECTRICAL PLAN

SCALE 1/4" = 1'



FIRST STORY FLOOR PLAN

SCALE 1/4" = 1'

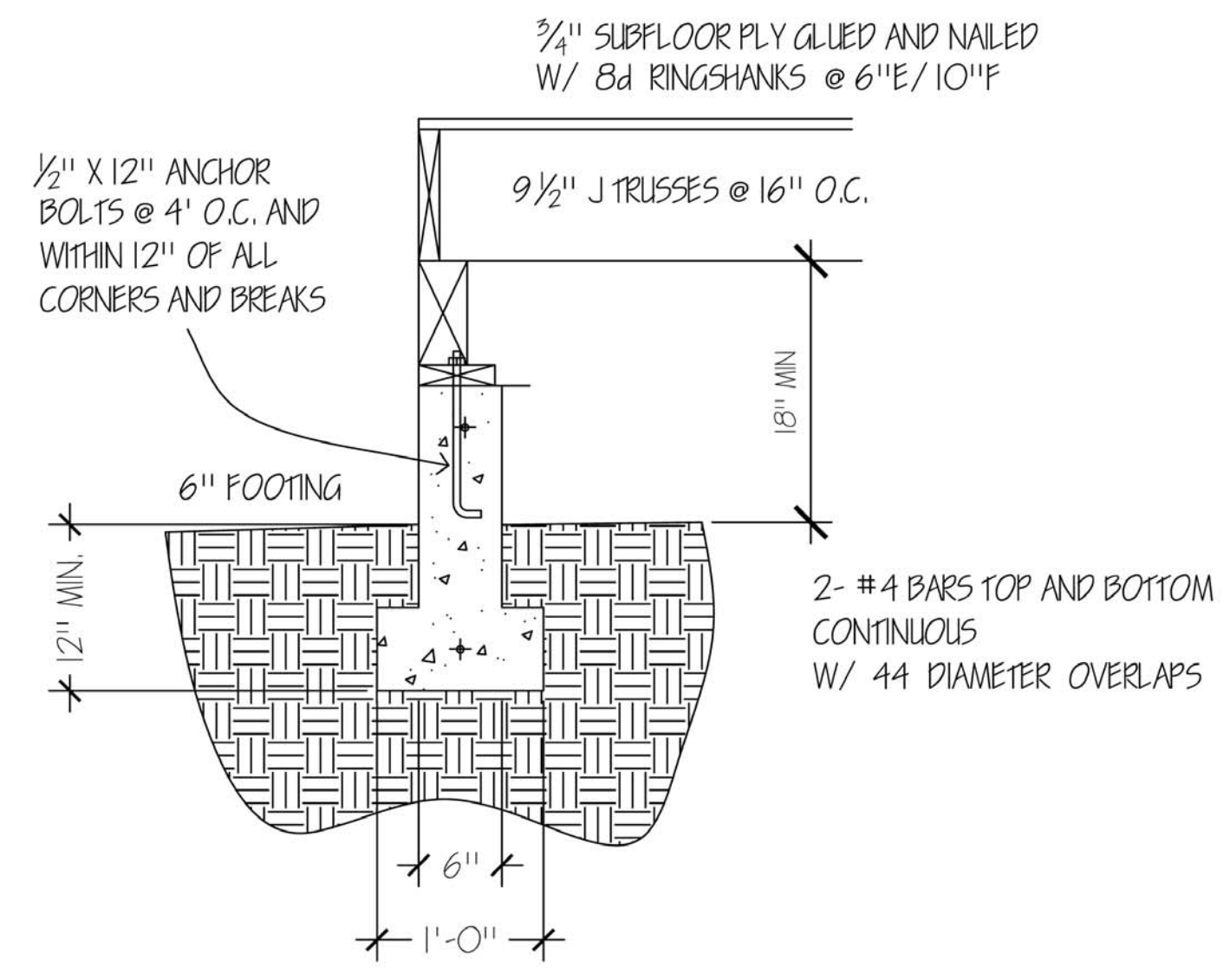
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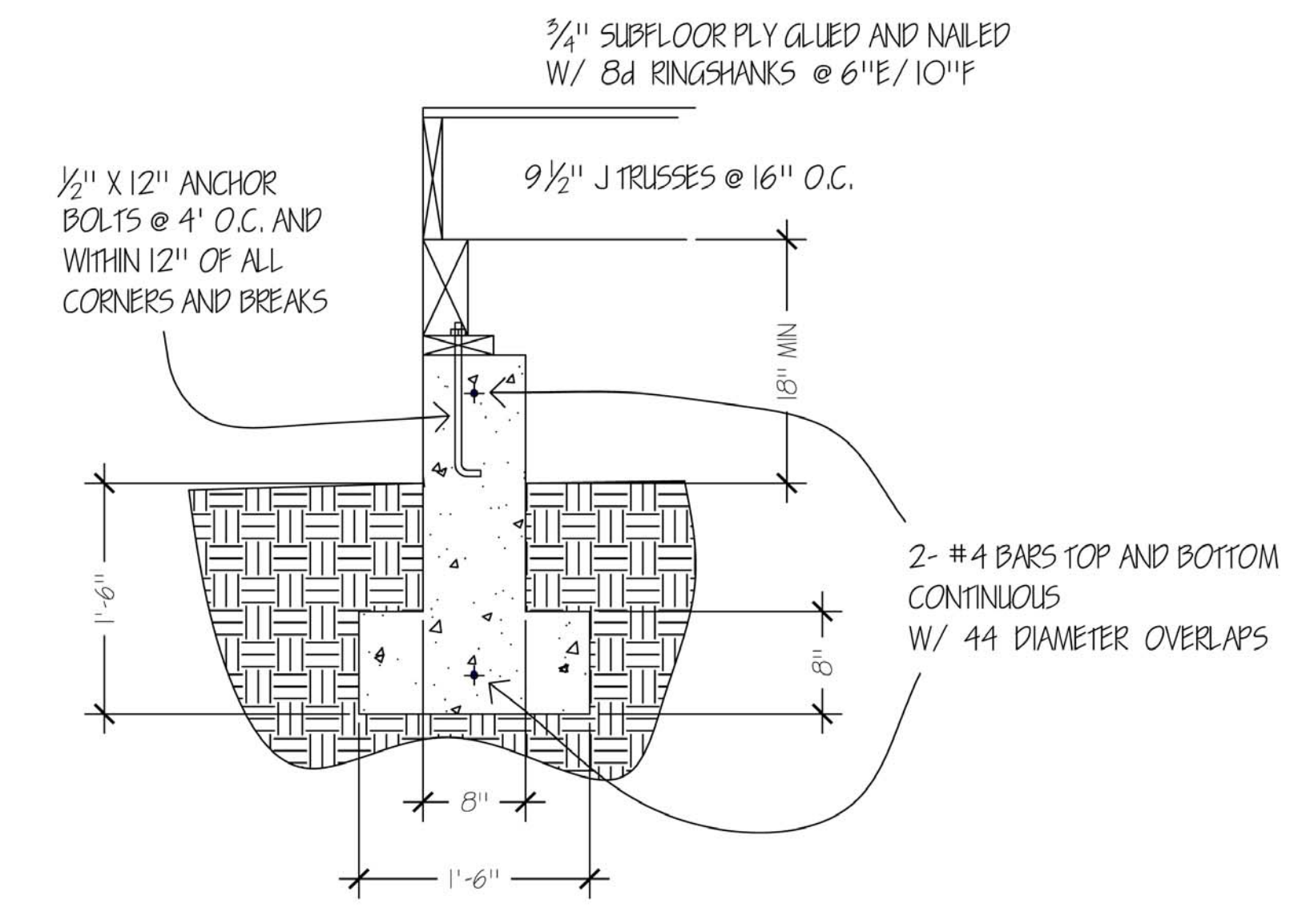
FLOOR PLANS AND ELECTRICAL PLAN

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PROJECT 10000001
DATE 20AUG25
SCALE 1/4" = 1'
PAGE NO.



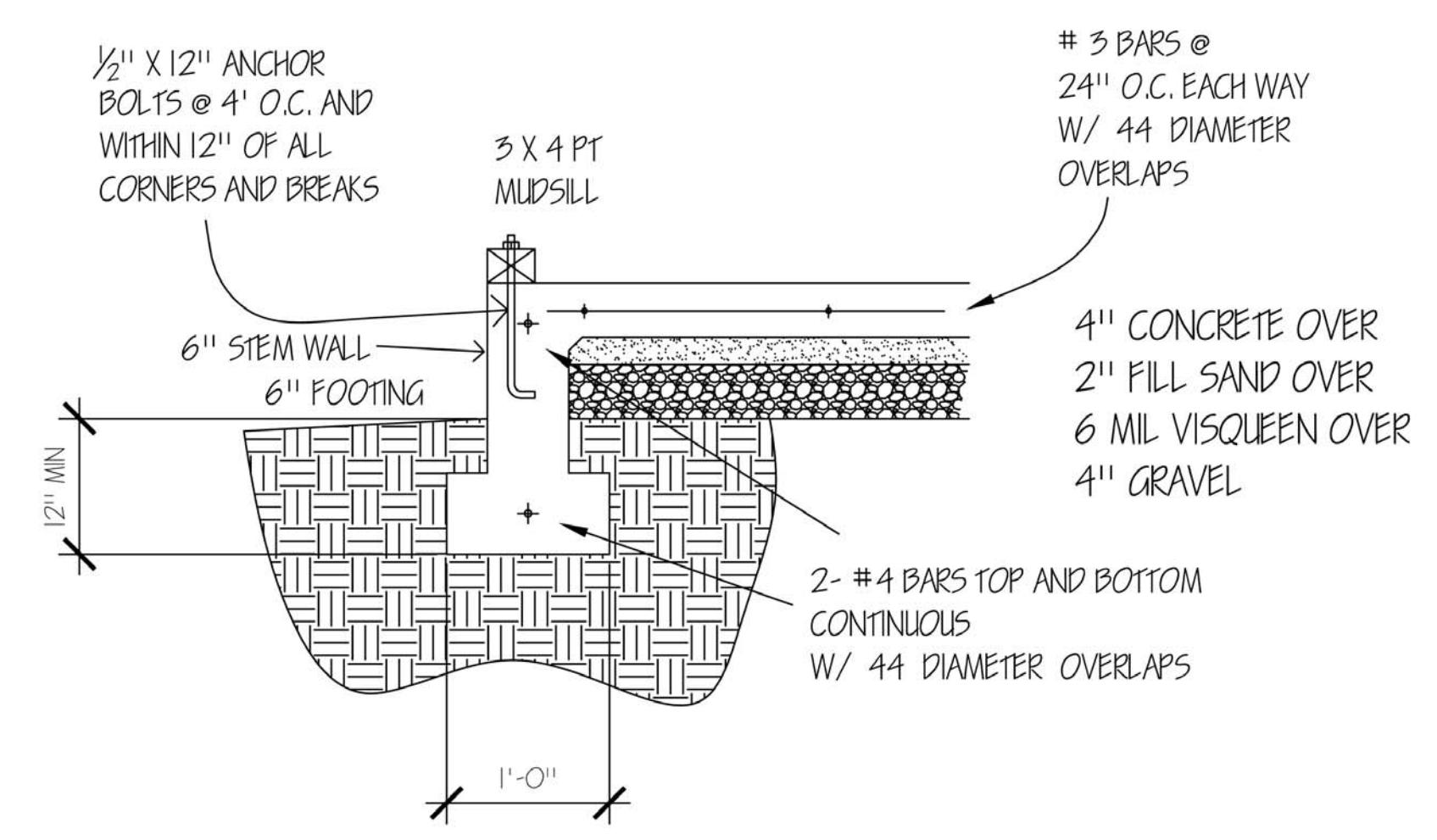
DETAIL 4B

SCALE 1" = 1'



DETAIL 4A

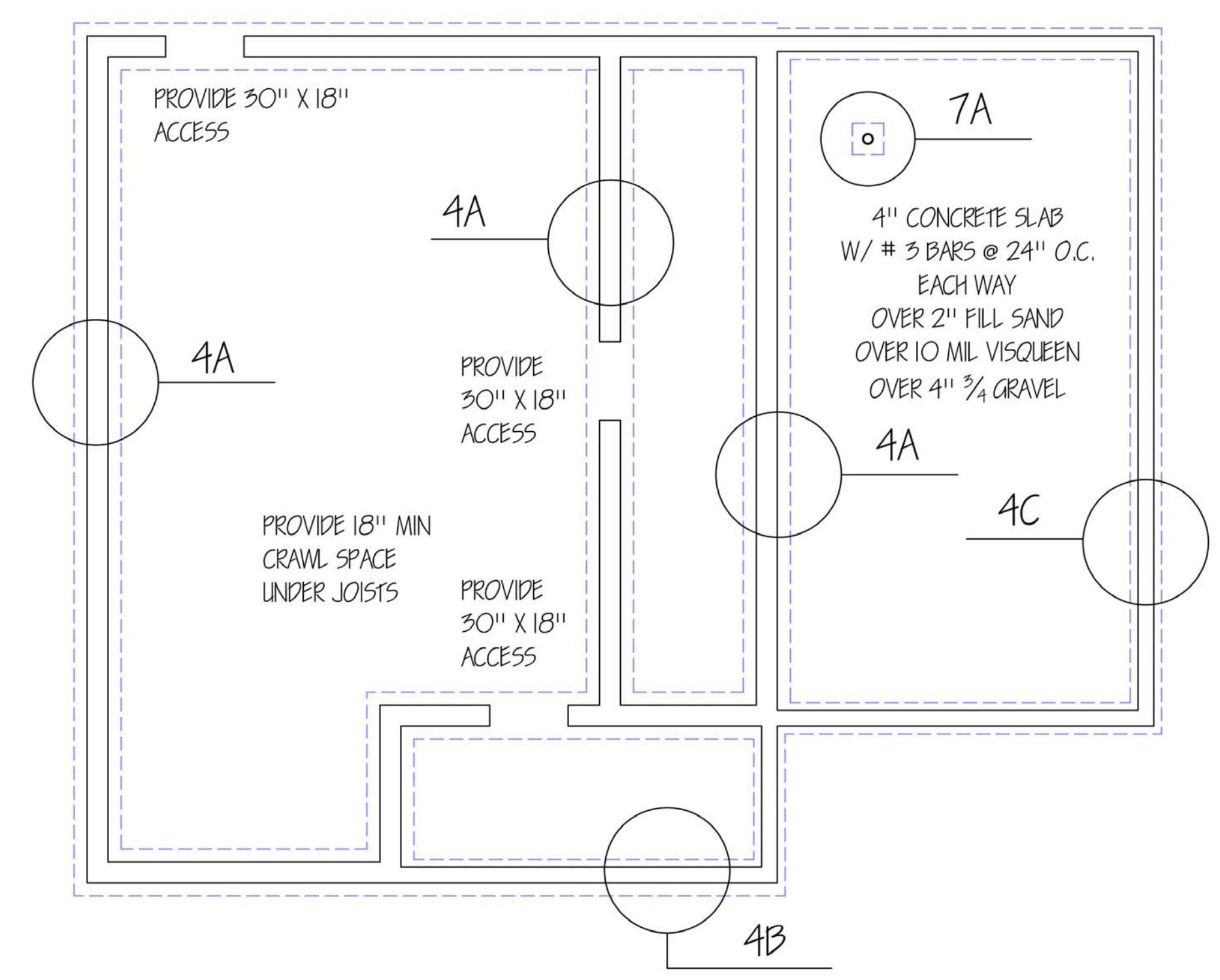
SCALE 1" = 1'



DETAIL 4C

SCALE 1" = 1'

PROVIDE FINISHED GRADE OF 2% FOR 5 FT SLOPED AWAY FROM FOUNDATION



FOUNDATION PLAN

SCALE 1/4" = 1'

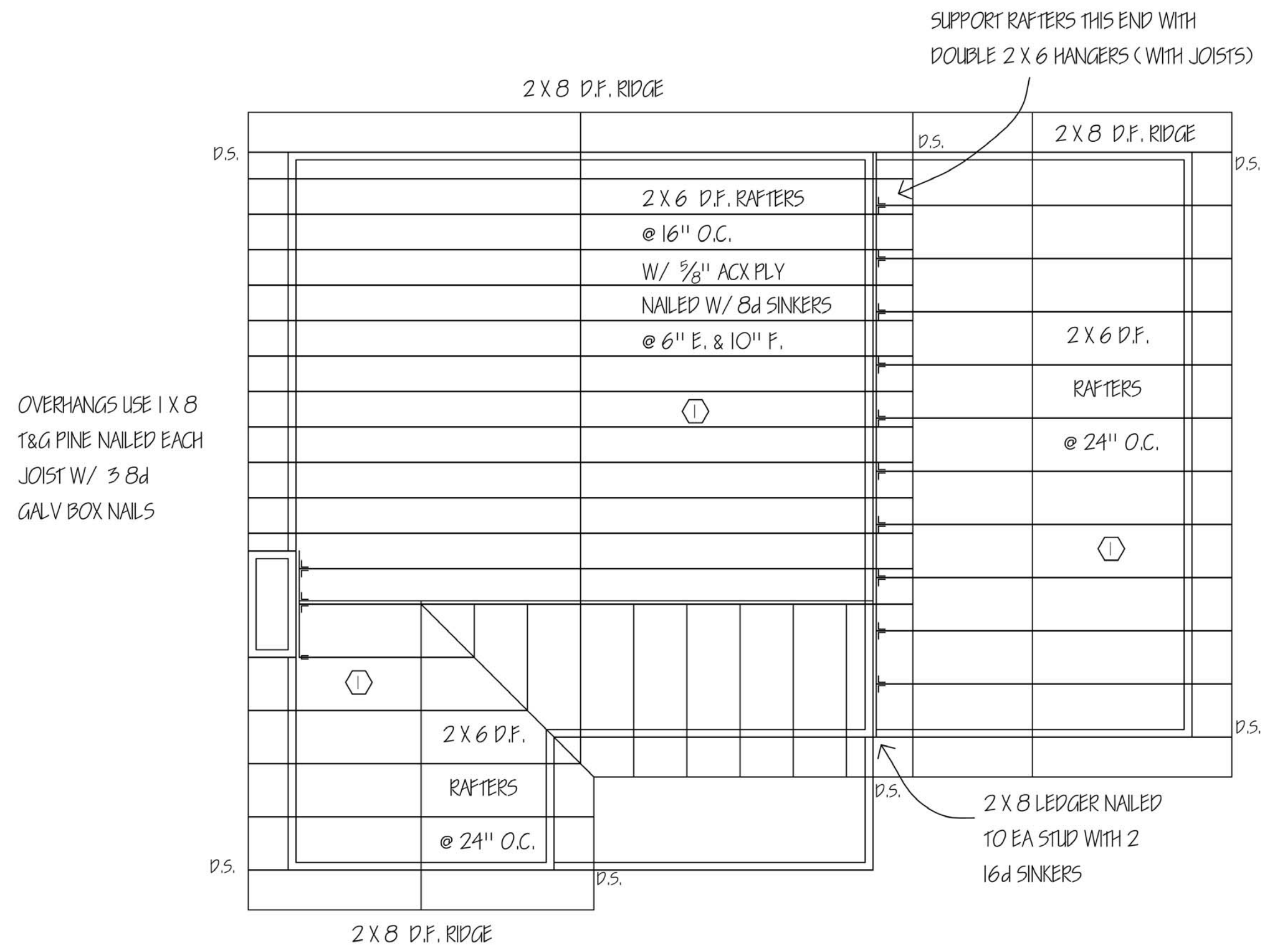
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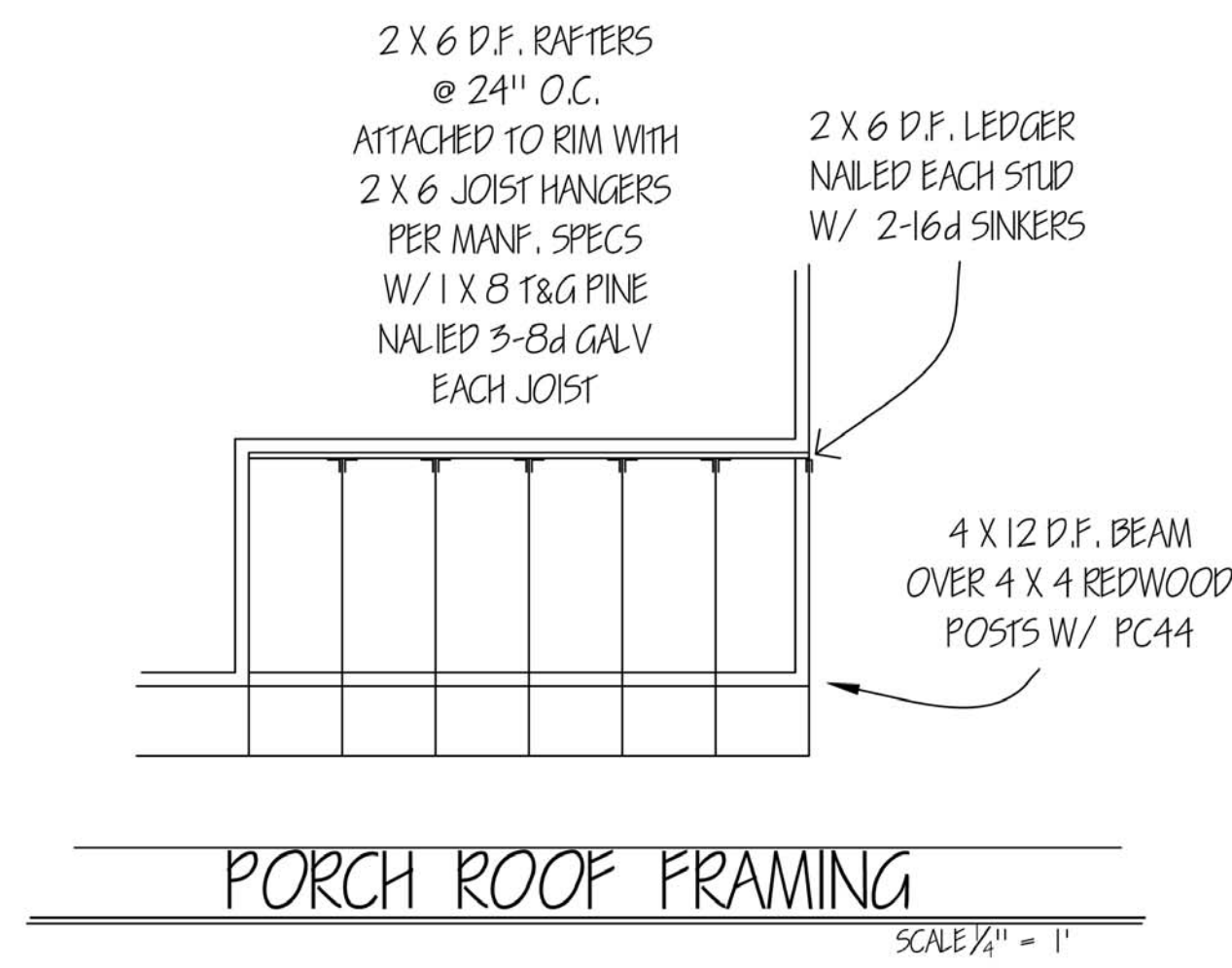
FOUNDATION
PLAN
&
DETAILS

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DATE 20AUG25
SCALE 1/4" = 1'
PAGE NO.



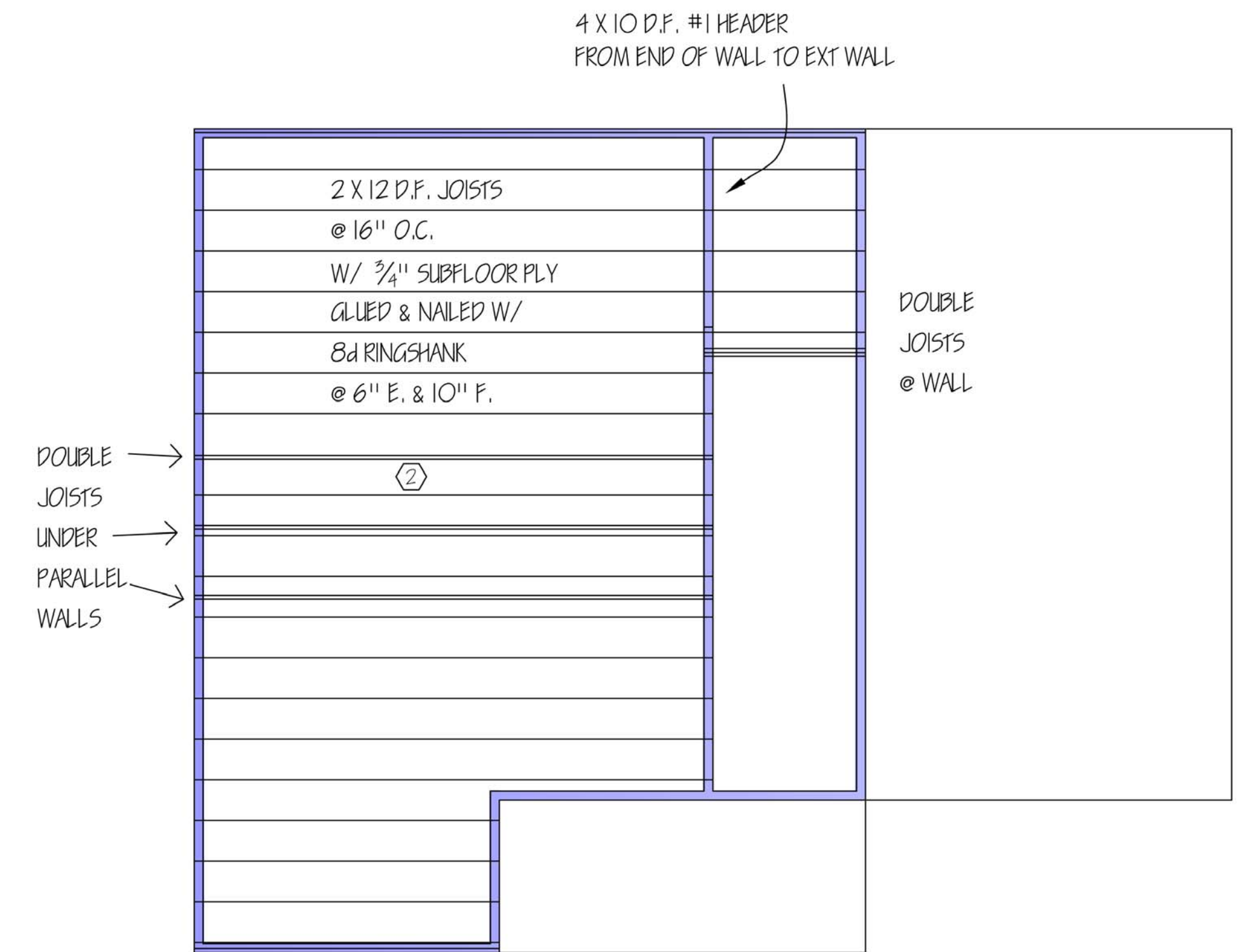
ROOF FRAMING PLAN

SCALE 1/4" = 1'



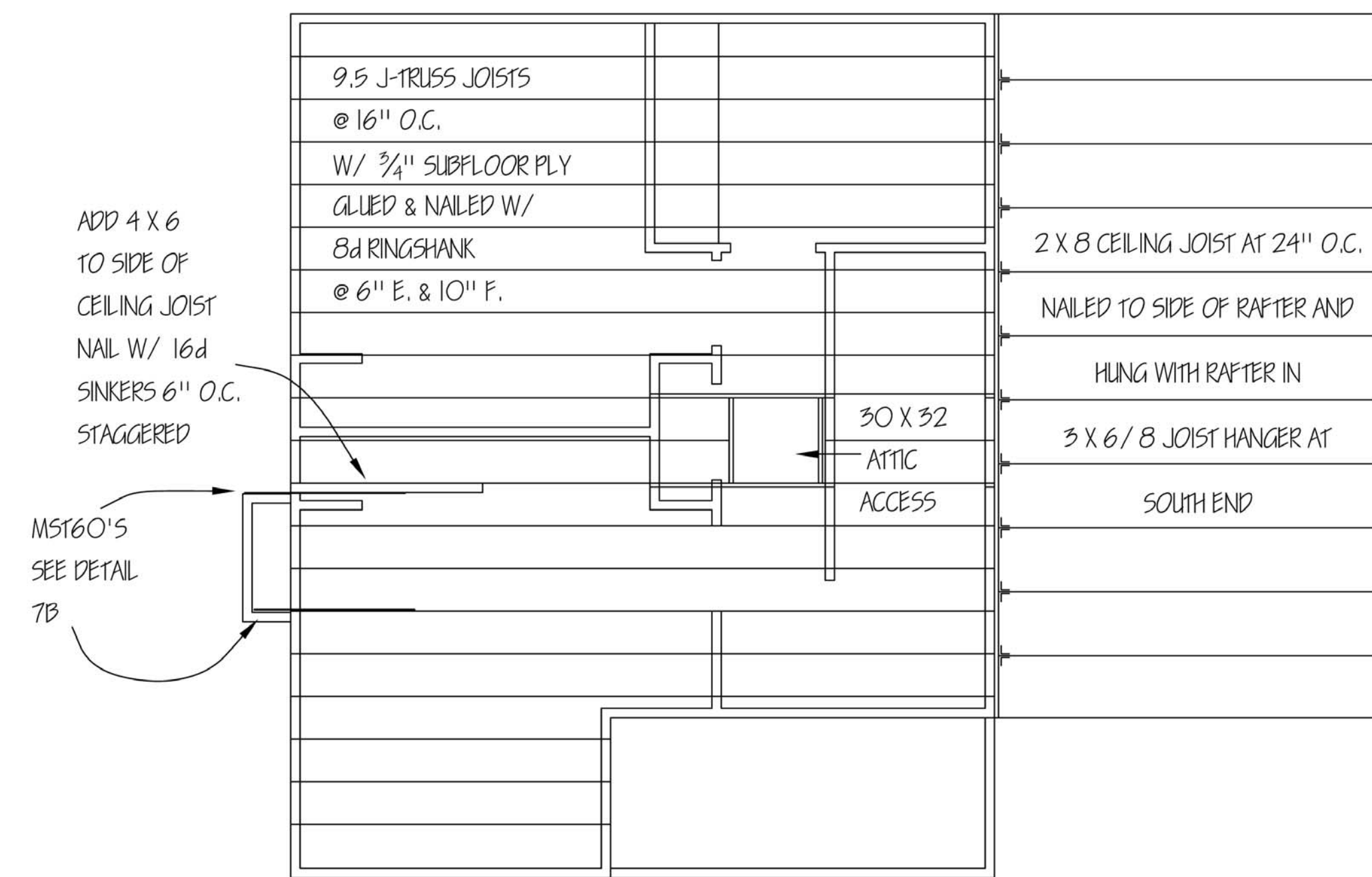
PORCH ROOF FRAMING

SCALE 1/4" = 1'



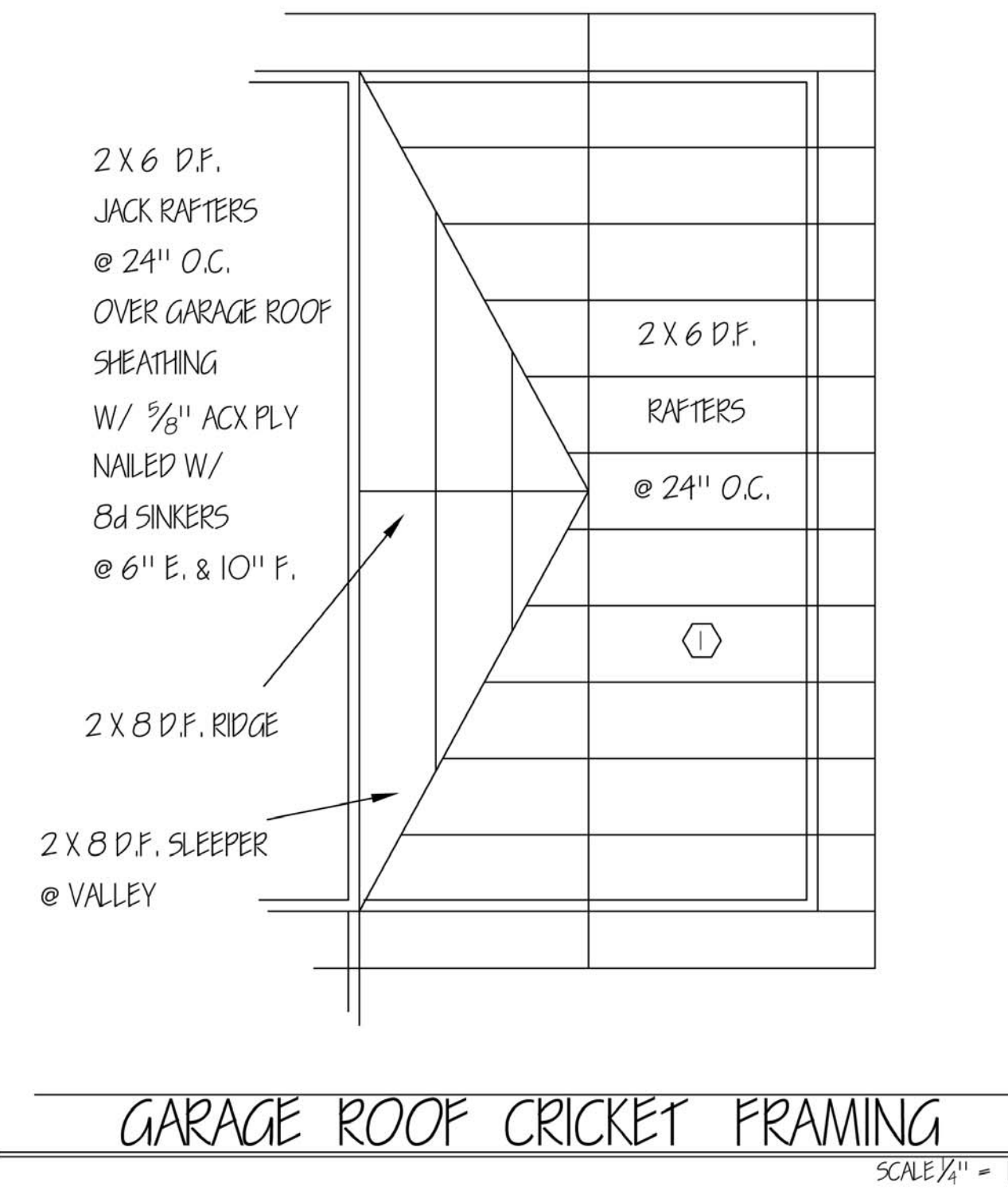
2ND STORY FLOOR FRAME PLAN

SCALE 1/4" = 1'



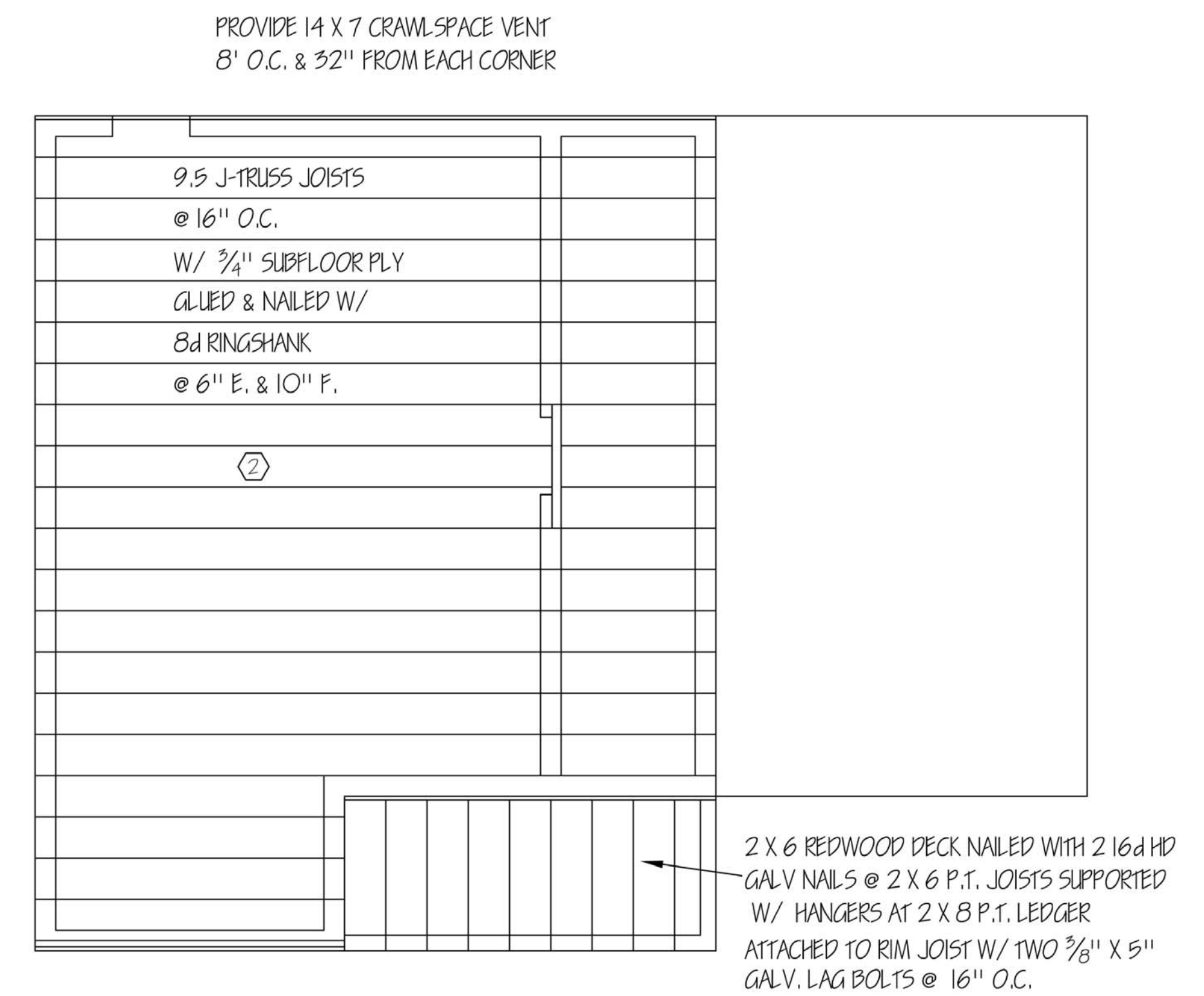
CEILING FRAMING PLAN

SCALE 1/4" = 1'



GARAGE ROOF CRICKET FRAMING

SCALE 1/4" = 1'



FIRST STORY FLOOR FRAME PLAN

SCALE 1/4" = 1'

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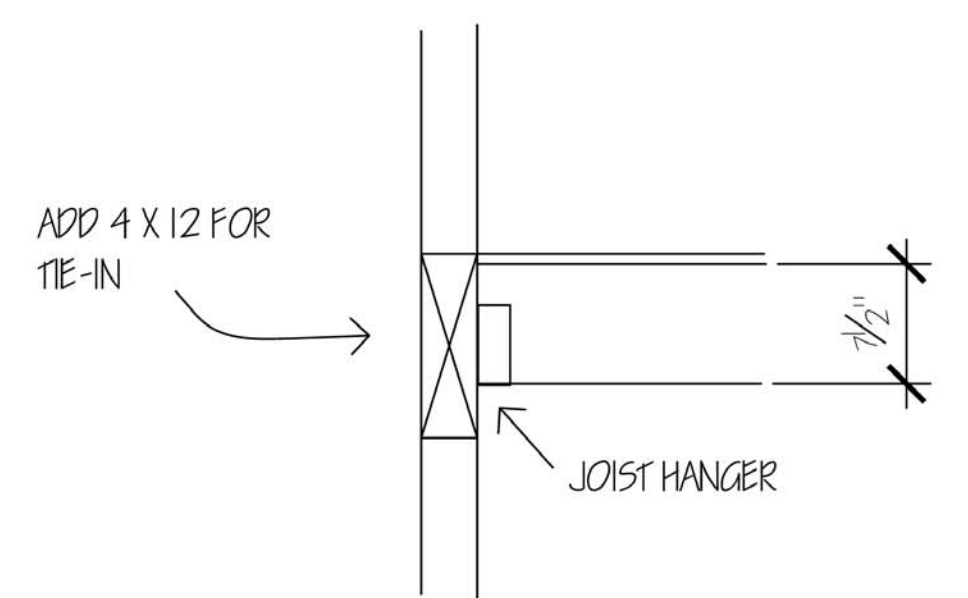
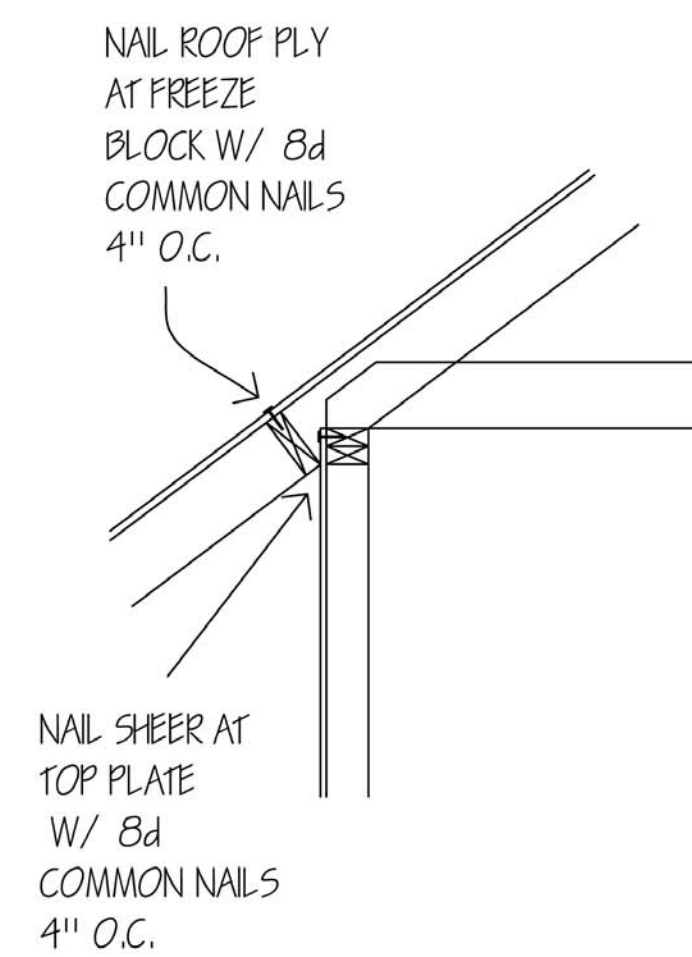
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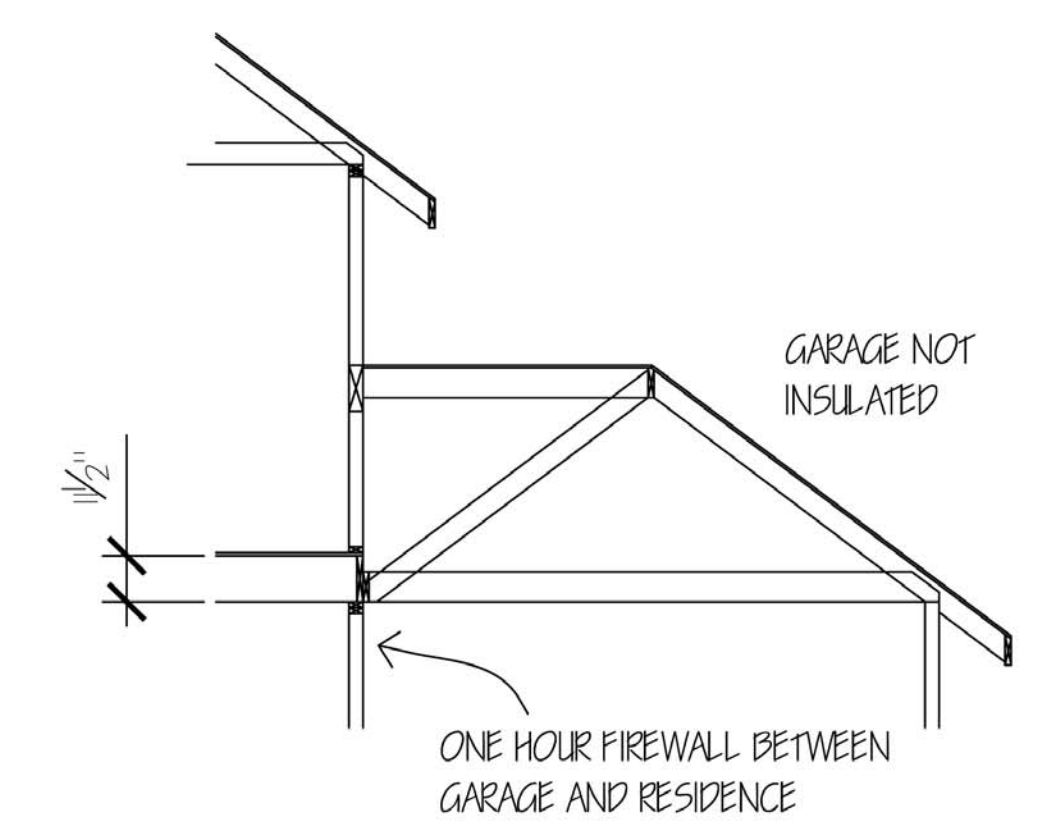
FLOOR /
CEILING
&
ROOF
FRAMING

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DATE 20AUG25
SCALE 1/4" = 1'
PAGE NO.

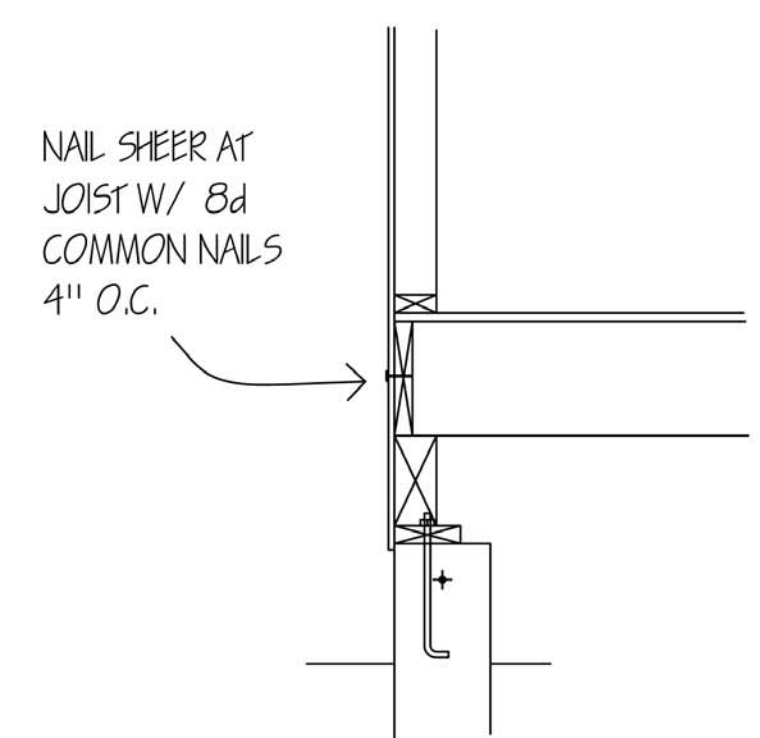
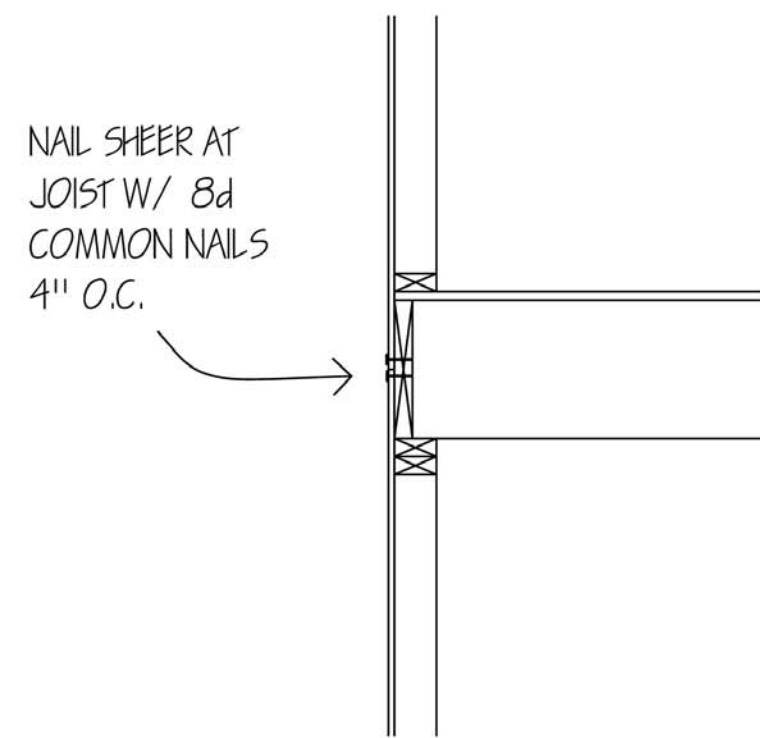
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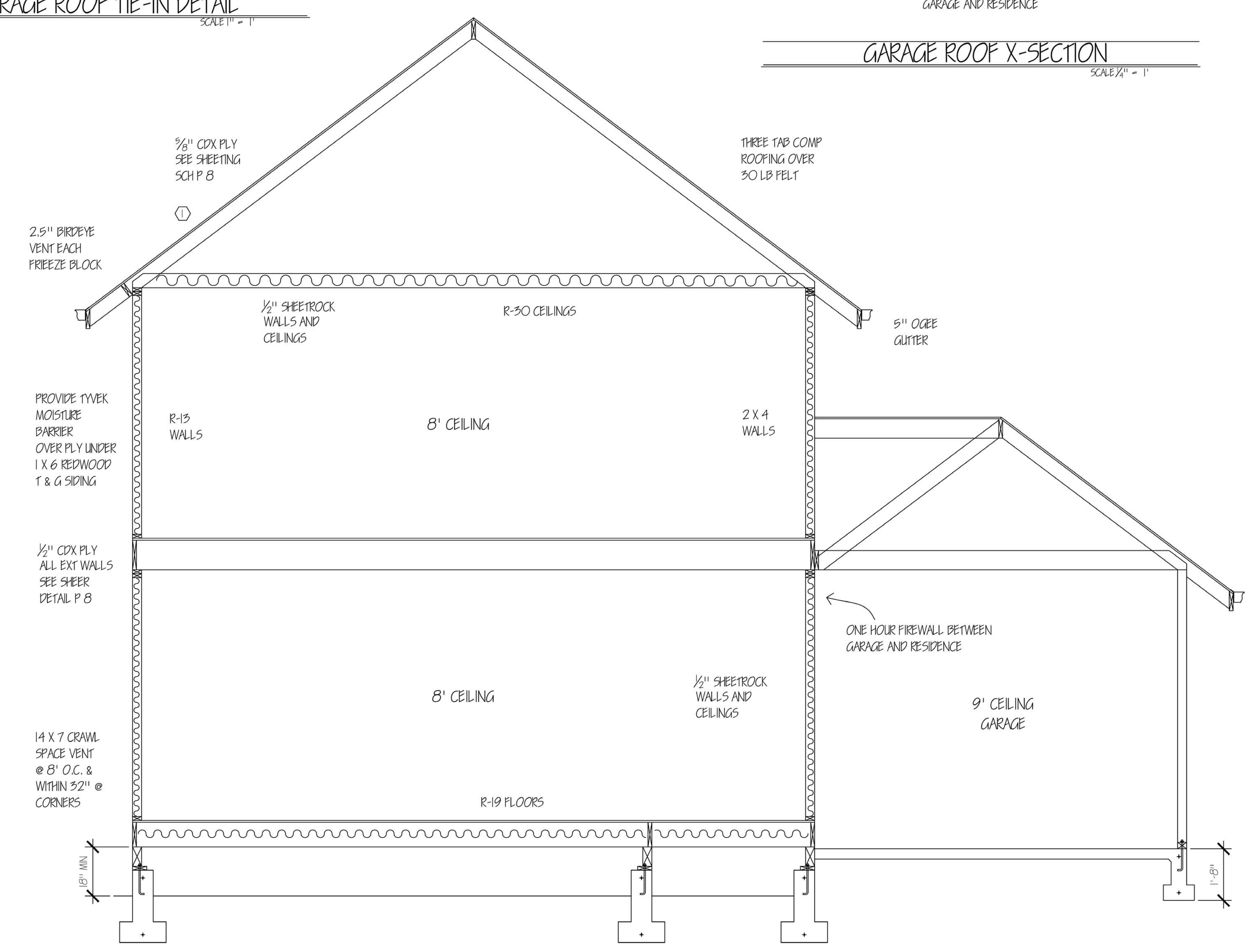
GARAGE ROOF TIE-IN DETAIL
SCALE 1" = 1"



GARAGE ROOF X-SECTION
SCALE 1/4" = 1"



SHEER TRANSFER DETAILS
SCALE 3/4" = 1"



CROSS SECTION 6A
SCALE 1/2" = 1"

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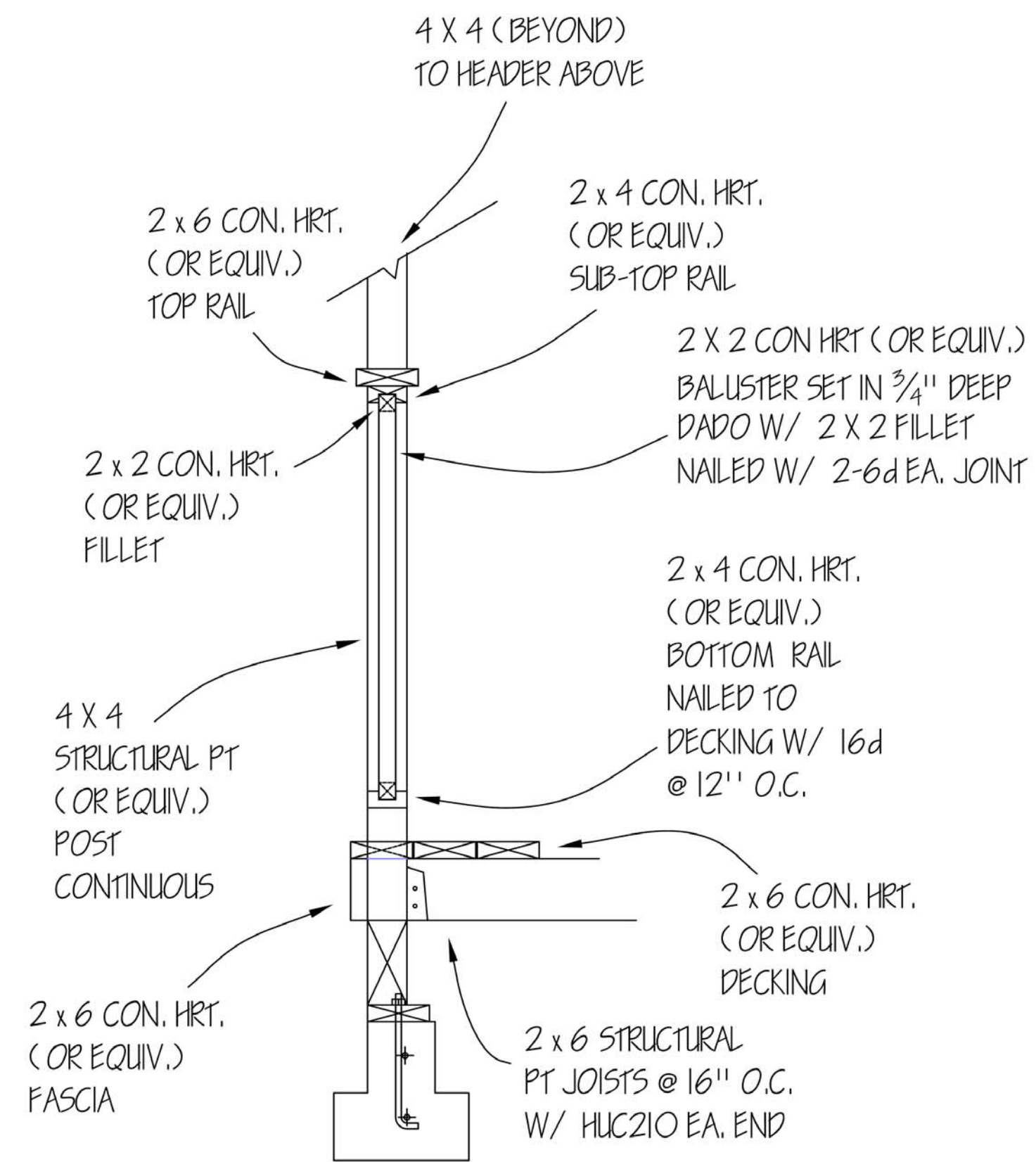
PROPOSED NEW RESIDENCE FOR
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NO.	REVISION	DATE

X SECTION
SHEER TRANSFER
ROOF TIE-IN
&
GARAGE ROOF
X-SECTION

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PROJECT 10000001
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SCALE 1/4" = 1"
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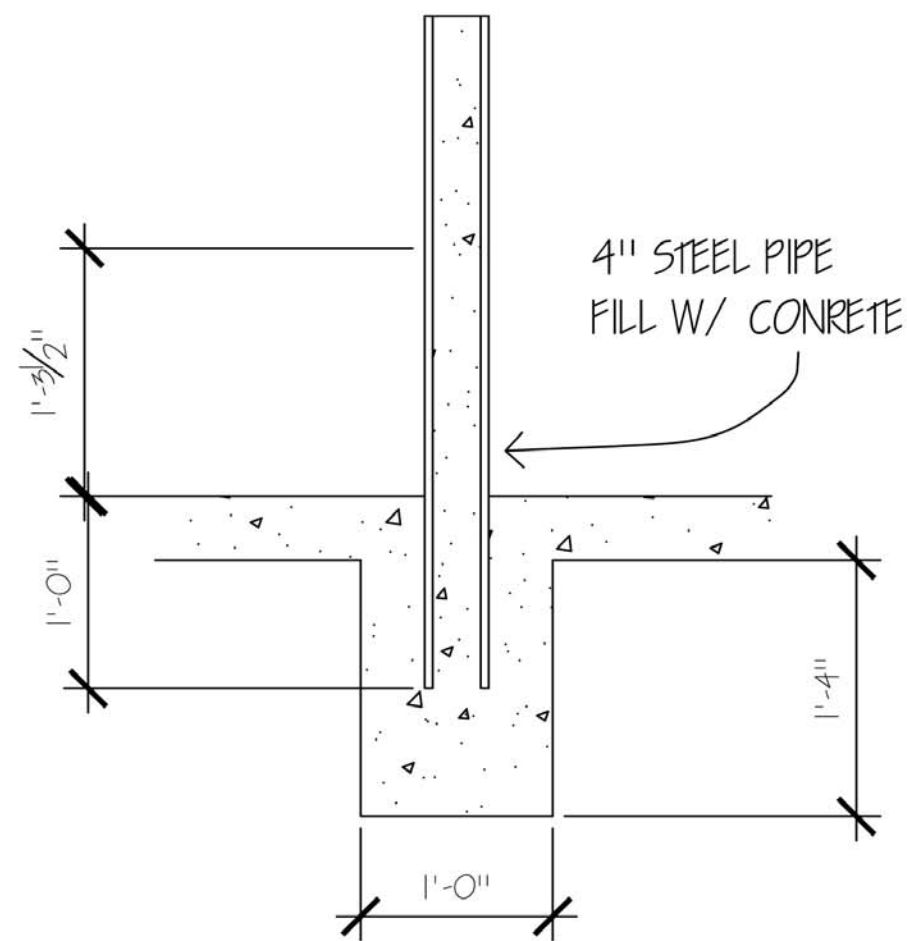
6



RAIL HEIGHT IS 42" FROM FINISHED DECK SURFACE

RAIL DETAIL 7C

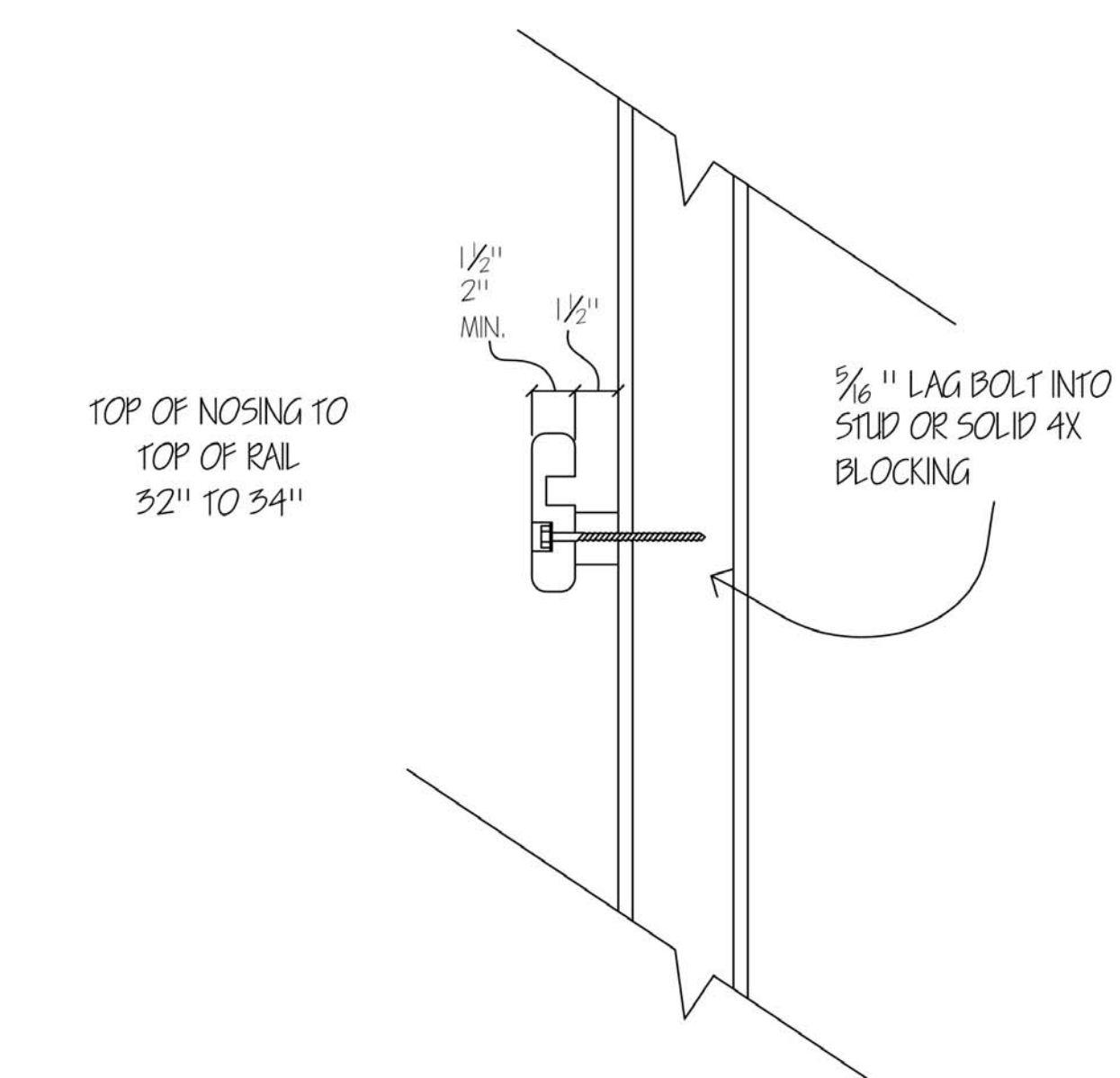
SCALE 1" = 1'



BOLLARD DETAIL 7A

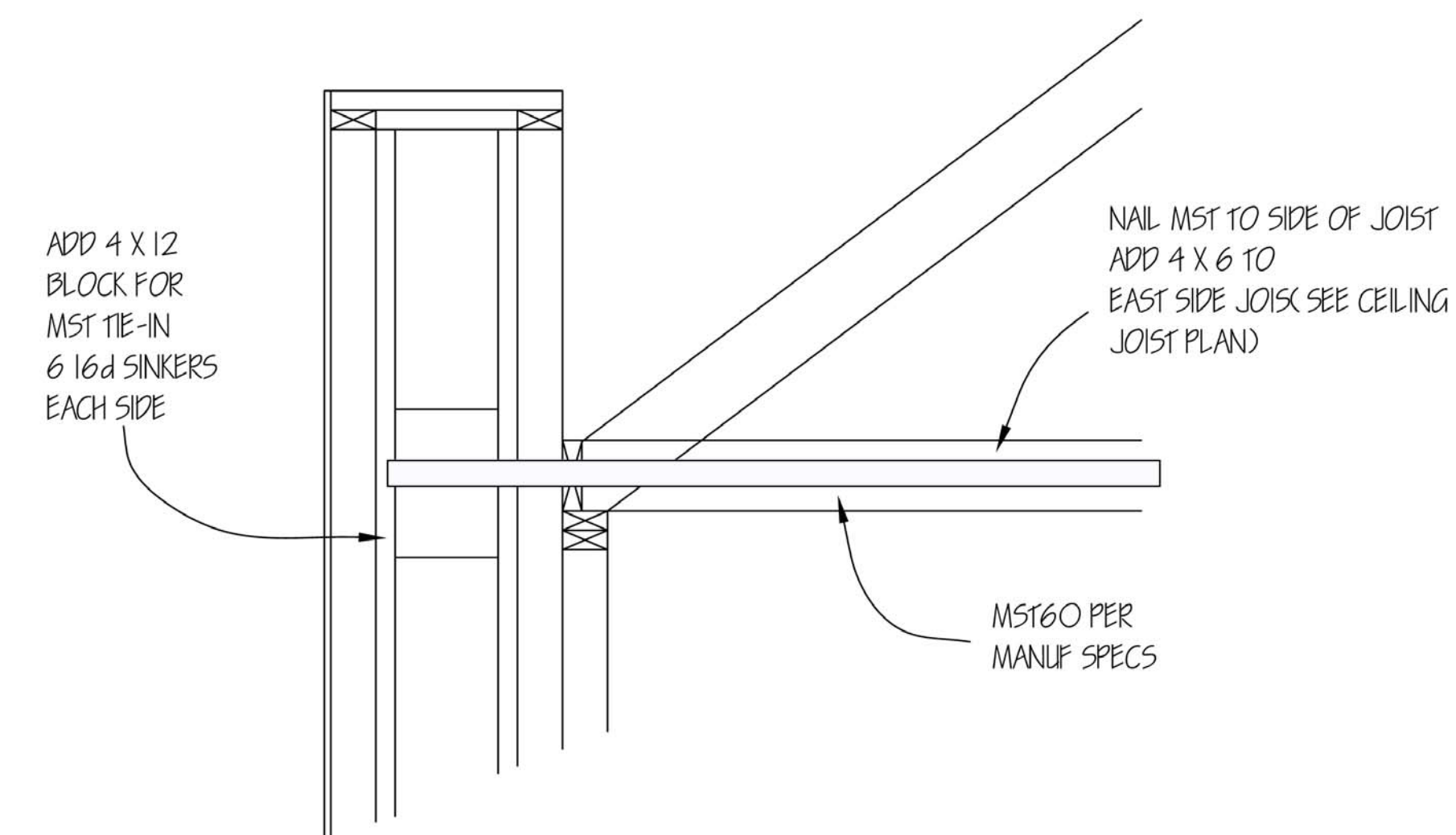
SCALE 1" = 1'

WINDOW SCHEDULE					
ROOM	SIZE	S.F.	TYPE	MATERIAL	GLAZING
LIVINGROOM	2-6 X 4-0	10	SLD	VNML	DUAL
	6-0 X 9-0	50	SLD	VNML	DUAL
	9-0 X 4-0	20	SLD	VNML	DUAL
KITCHEN	4-0 X 3-6	14	SLD	VNML	DUAL
UPSTAIRS HALL	6-0 X 3-0	18	SLD	VNML	DUAL
BEDROOM 1	6-0 X 4-0	24	SLD	VNML	DUAL
	9-0 X 4-0	20	SLD	VNML	DUAL
BEDROOM 2	9-0 X 4-0	20	SLD	VNML	DUAL
	9-0 X 4-0	20	SLD	VNML	DUAL
UPSTAIRS BATH	3-0 X 3-0	9	SLD	VNML	DUAL
GARAGE	4-0 X 4-0	16	SLD	VNML	SINGLE



HAND RAIL DETAIL

SCALE 2" = 1'



CHIMNEY ATTACHMENT DETAIL 7B

SCALE 1" = 1'

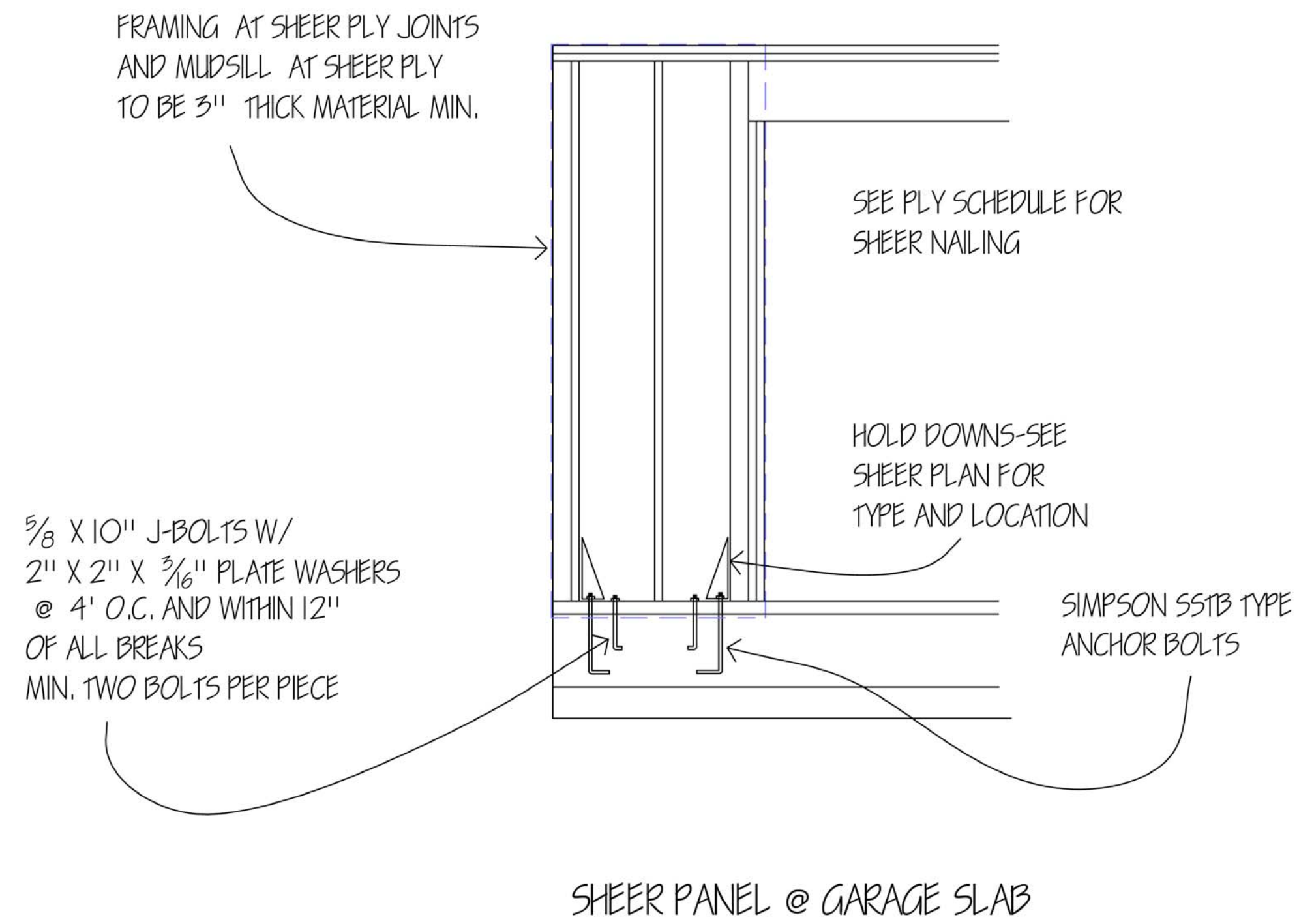
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PROPOSED NEW RESIDENCE FOR
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NO.	REVISION	DATE

WINDOW SCHEDULE & DETAILS

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PROJECT 10000001
DATE 20AUG25
SCALE 1/4" = 1'
PAGE NO.

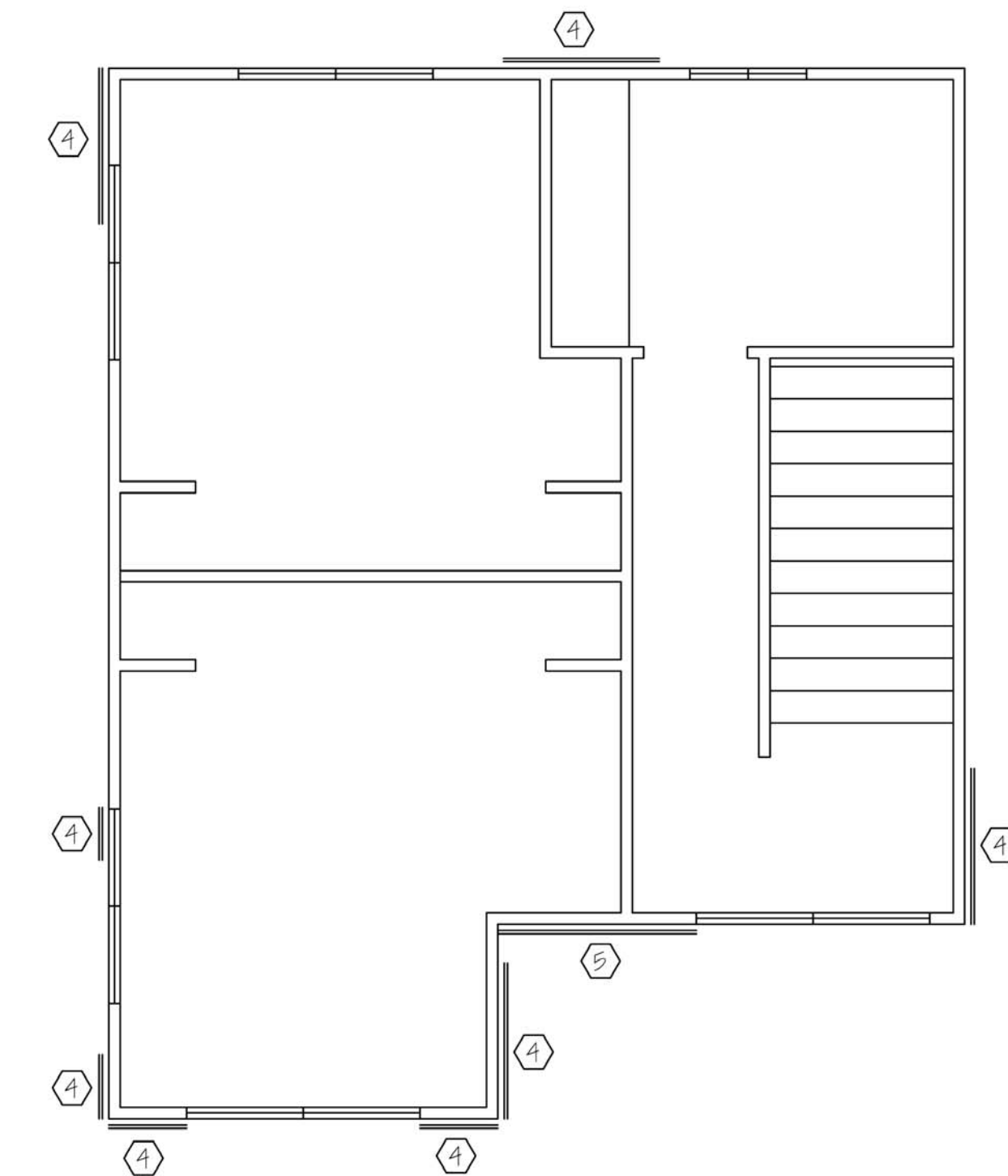


SHEER DETAIL 8A

SCALE: 1/2" = 1'

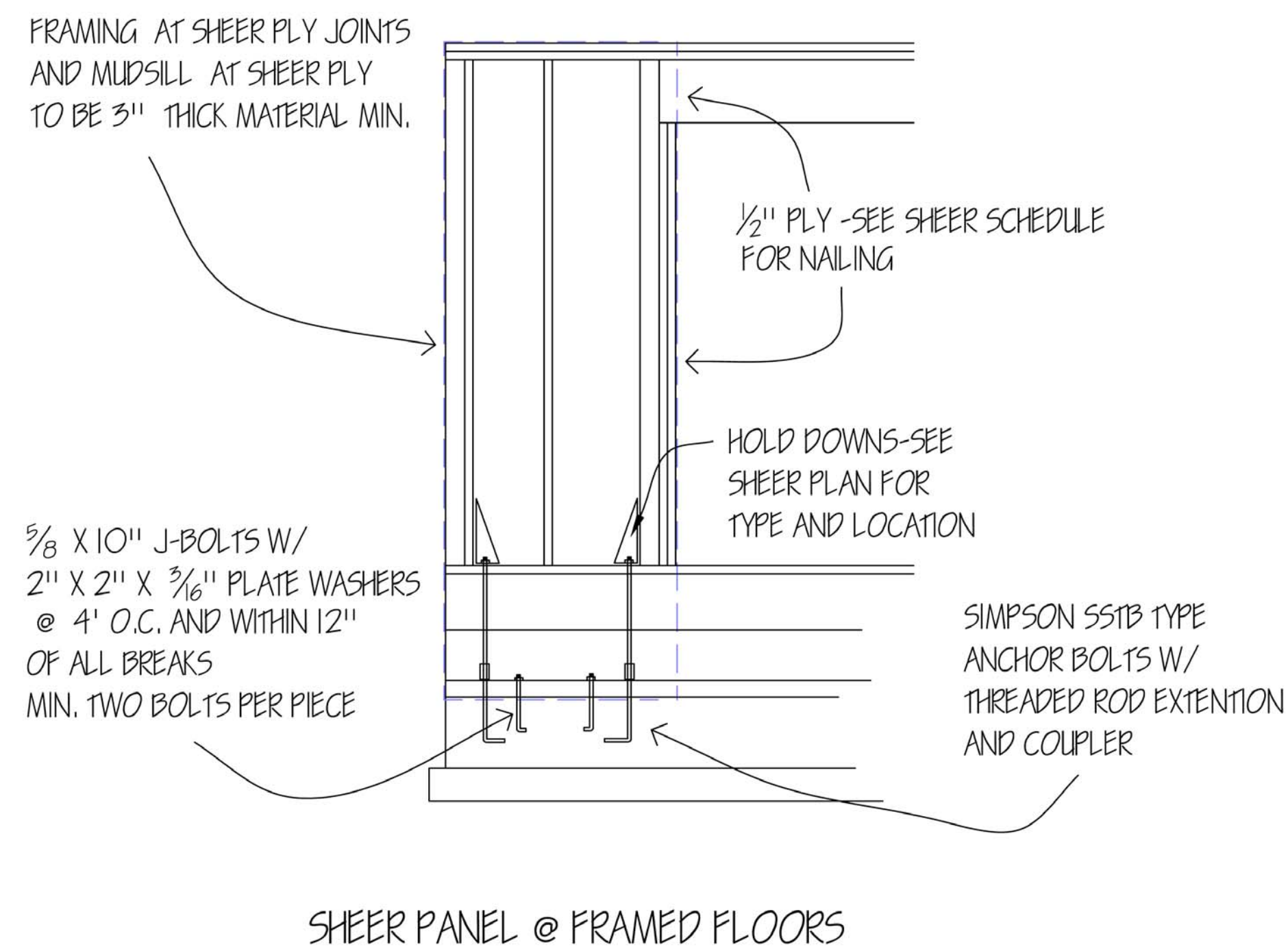
PLY SCHEDULE						
PLY KEY	PLY THICKNESS	PLYWOOD RATING	COMMON NAIL SIZE	PANEL EDGE NAIL SPACING	FIELD NAIL SPACING	PENETRATED EDGE BLOCKING REQ'D
①	3/8"	APA RATED CDX	8d	6	12	
②	3/4"	APA RATED LL	8d	6	10	T & G
③	1/2"	APA RATED CDX	8d	6*	12	B
④	1/2"	APA RATED CDX	8d	4*	12	B
⑤	1/2"	APA RATED CDX	8d	2*	12	B
⑥	3/8"	APA RATED CDX	8d	2*	12	B

- EDGE FRAMING AND SILL PLATE AT ADJOINING PANEL EDGES TO BE 3X FRAMING MINIMUM WITH NAILS STAGGERED 1" MINIMUM
- DOUBLE TOP PLATES AT WALLS TO BE LAPPED 4' MIN.
HOLD DOWNS: USE S5TB16 ANCHORS



2ND STORY SHEER PLAN

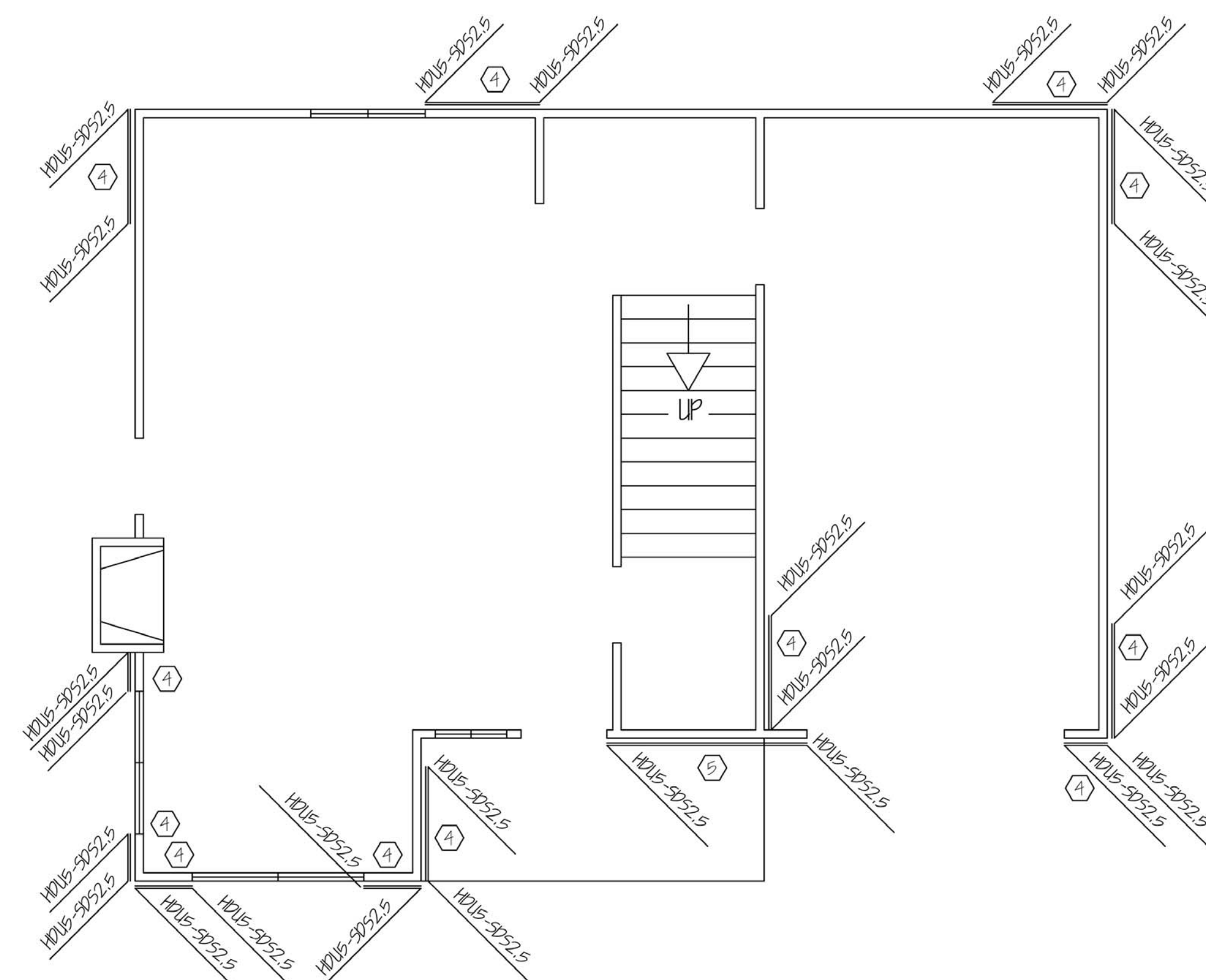
SCALE: 1/4" = 1'



SHEER PANEL @ FRAMED FLOORS

SHEER DETAIL 8B

SCALE: 1/2" = 1'



FIRST STORY SHEER PLAN

SCALE: 1/4" = 1'

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ANYTOWN, CA 99999
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SHEER
PLAN
&
ENGINEERING

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PROJECT 10000001
DATE 20AUG25
SCALE 1/4" = 1'
PAGE NO.

GENERAL CONSTRUCTION NOTES

- 1-CURRENT APPLICABLE CODES: 2010 CBC, 2010 MECH, PLUMB & ELECT CODES.
- 2-PLUMBING FIXTURES SHALL COMPLY WITH THE FOLLOWING STANDARDS
 - TOILETS TO BE HIGH EFFICIENCY = 1.6 GALS/ FLUSH MAX
 - SHOWER HEAD = 2.5 GALS./ MIN MAX.
 - LAVATORY FAUCET = 2.2 GALS./ MIN. MAX.
- 3-ALL DOORS AND WINDOWS TO BE CAULKED FOR SEAL FOR DRAFT BARRIER.
- 4-ALL EXT DOORS TO BE WEATHER STRIPPED.
- 5-CHAULK ALL VENTS AND PIPES AT PERFORATION OF EXT. MEMBRANE.
- 6-PROVIDE TYVEK TYPE MOISTURE BARRIER AT EXT. WALLS UNDER SIDING.
- 7-ALL EXT FASTENERS TO BE OF CORROSION RESISTANCE EX: GALV, ANODIZED, STAINLESS OR ALUMINUM.
- 8-ALL CONSTRUCTION LUMBER TO BE #2 & BTR DF UNLESS SPECIFIED.
- 9-ALL WOOD EXPOSED TO THE WEATHER TO BE PT OR APPROVED NATURALLY DECAY RESISTANT SPECIES.
 - PROVIDE 7" SEPARATION BETWEEN NON-DECAY RESISTANT WOOD AND EARTH.
- 10-ALL FASTENERS INTO PT LUMBER TO BE HOT DIPPED ZINC COATED GALVANIZED, ANODIZED, OR STAINLESS STEEL.
- 11-ALL MEASUREMENTS TO BE FIELD VERIFIED.
- 12-PROVIDE 12" X 12" REMOVABLE ACCESS PANEL FOR ALL PLUMBING FIXTURES W/ CONCEALED SLIP JOINT CONNECTORS.
- 13-SHOWER ENCL.OSURE TO BE TEMPERED GLASS.
- 14-PROVIDE NON-REMOVABLE BACK FLOW DEVICES AT ALL HOSE BIBS.
- 15-PROVIDE WEEP SCREED AT BOTTOM OF ALL STUCCO SECTIONS.

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NOTES

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 DATE 20AUG25
 SCALE 1/4" = 1"
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