

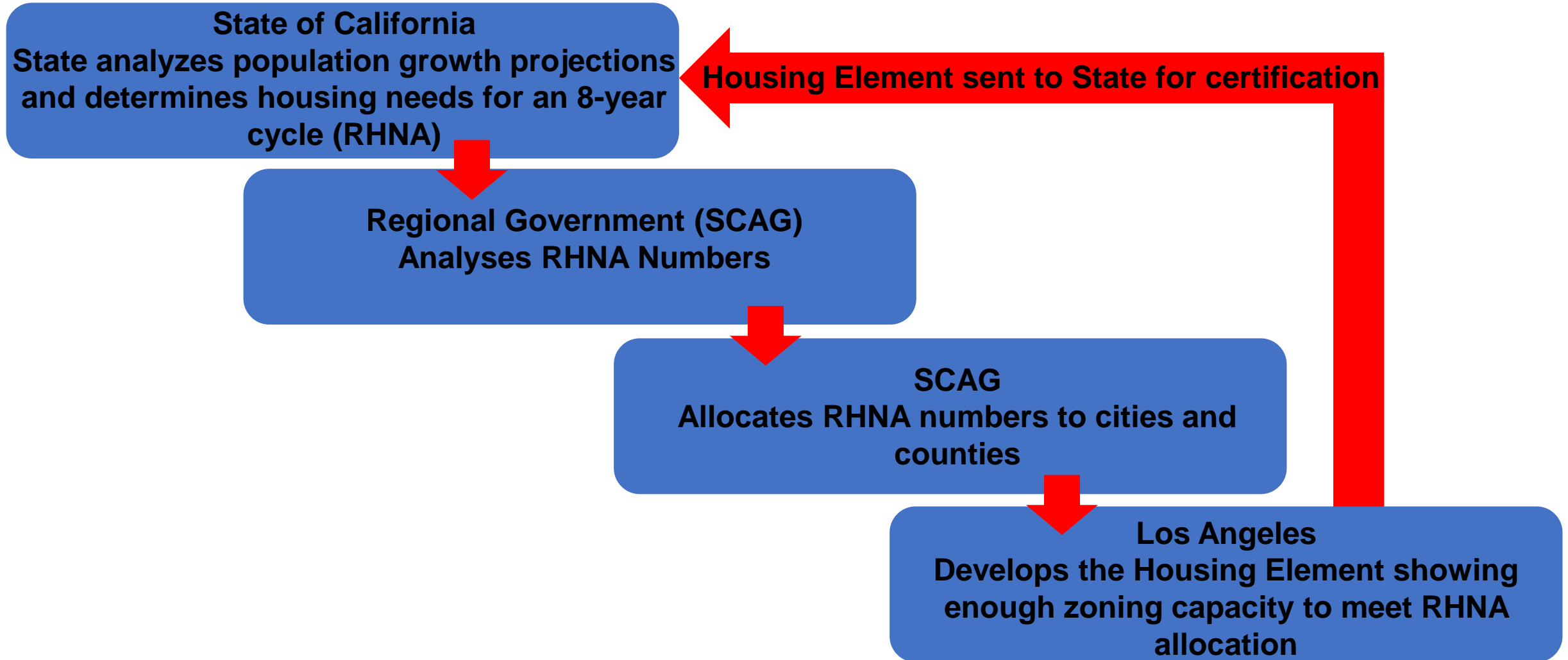
COMMUNITY-BASED HOUSING SOLUTIONS

Presentation to

Sherman Oaks Homeowners Association

August 16, 2023

State of California Regional Housing Needs Assessment RHNA



STATE MANDATE

A photograph of the California State Capitol building in Sacramento, California. The building is a grand, white, neoclassical structure with a prominent central dome. The dome is topped with a statue and surrounded by a circular colonnade. The main entrance is flanked by a portico with tall columns. The building is set against a clear blue sky, with green trees framing the scene on both sides.

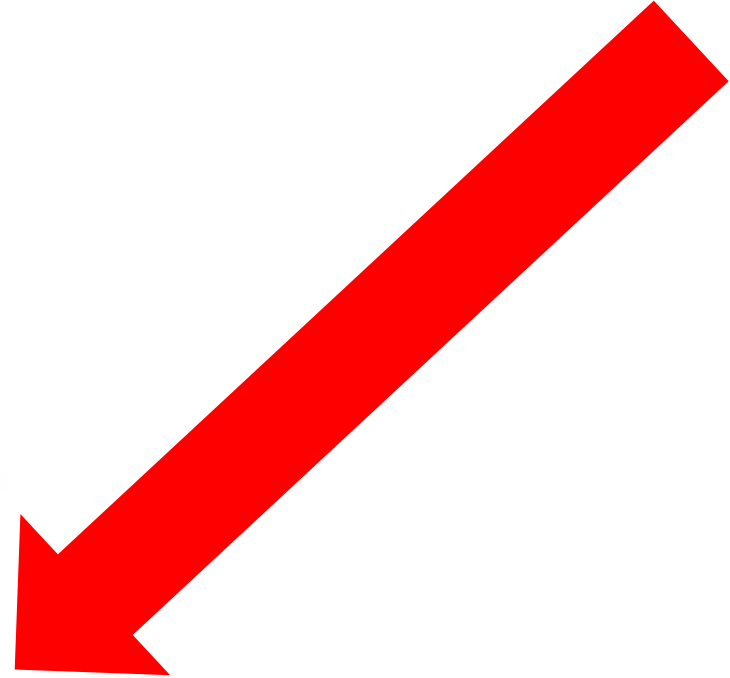
- LA is required to zone for 456,000 housing units in this RHNA cycle
- LA Planning added a 7% cushion making it 485,000 units
- LA identified existing zoning will accommodate 230,000 units.
- *LA must rezone for the remaining **255,000** units.*

Planning Dept. rezoning strategy

Table 4.19 Results from Rezoning Inventory Model

Rezoning Strategy	Parcel Count	Very Low Income Units	Low Income Units	Moderate Income Units	Above Moderate Income Units	Total Units
Community and Neighborhood Planning (CPU)	33,749	90,473	90,473	2,121	444,572	627,638
Residential Opportunity Corridors (OPP RC)	3,477	29,093	29,093	0	16,901	74,903
Opportunity Avenues (OPP RC2)	5,316	0	0	23,643	12	23,643
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Transit Opportunity Corridor Areas (TOPP C)	272	0	0	0	1,022	1,022
TOC Expansion in Higher Opportunity Areas (TOC EXP)	11,792	287,811	27,811	0	94,780	150,402
50% Density Bonus (DB50)	18,908	123,699	123,699	250	153,892	401,540
Parking Zones (P)	1,032	1,978	1,978	0	780	4,736
Adaptive Reuse (ARO)	10,153	4,747	4,747	1,595	32,039	43,128
Micro Unit Regional Center (MURC)	1,250	3,417	3,417	43	14,518	21,639
Accessory Dwelling Units (ADU)	48,797	0	0	4,141	0	4,141
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Public Facility Zone (PF)	6,407	2,072	2,072	0	2,972	7,116
Faith-Based Owned Properties (FBO)	2,865	1,273	1,273	0	1,006	3,552
Total	243,245	297,433	297,433	49,872	790,461	1,432,059

To meet RHNA's requirement of **255,000 units**, Planning proposes rezoning for **1,400,000 units**.



Total= 1,432,059 units (5.6 times more housing than required)

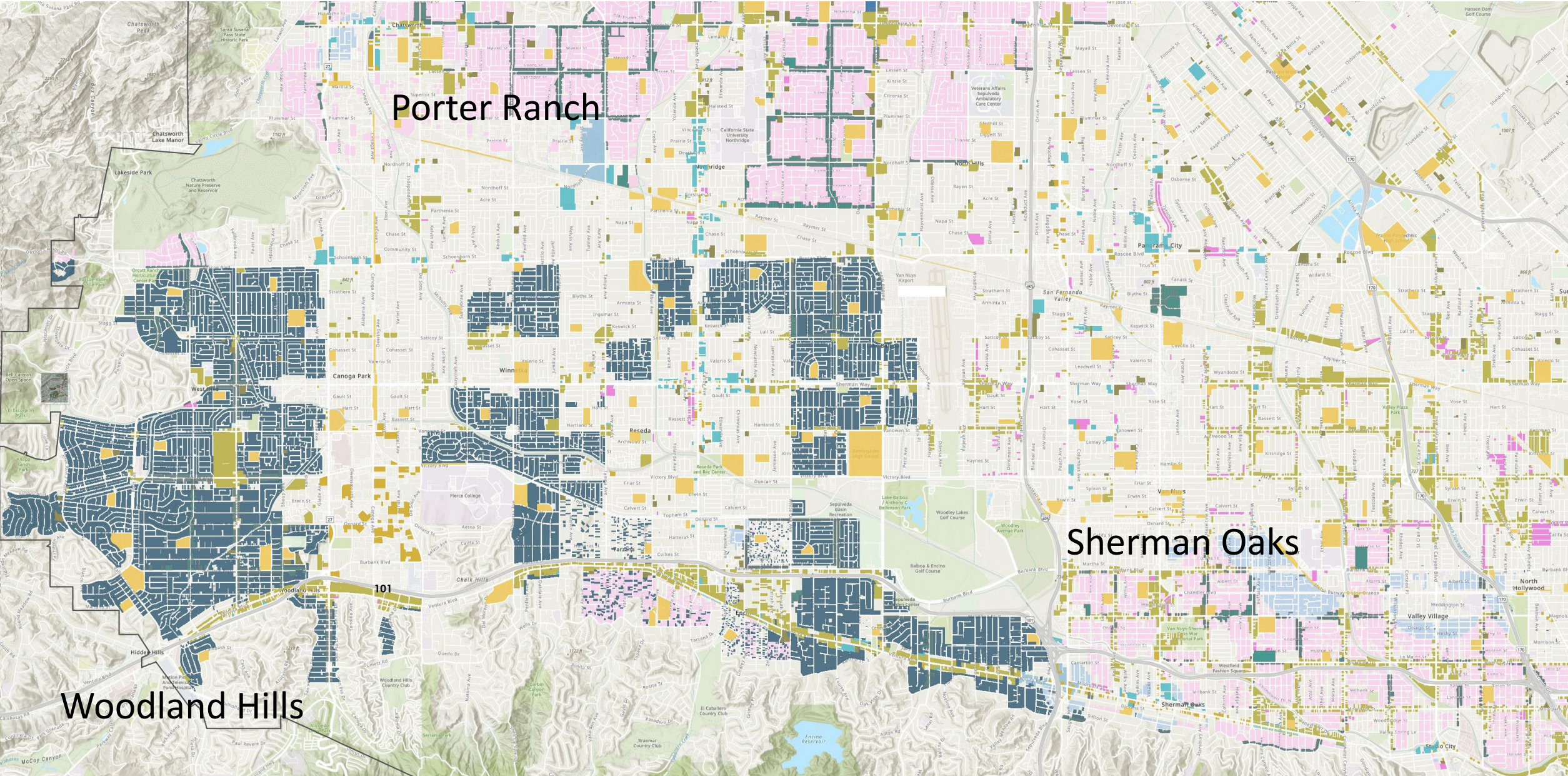


Single-Family

Commercial Corridor

To reach the 1.4M units, Planning is up-zoning single-family and multi-family neighborhoods without fully identifying all the opportunities on the commercial corridors and public lands.

Rezoning Multi-family and single-family neighborhoods happens like this...

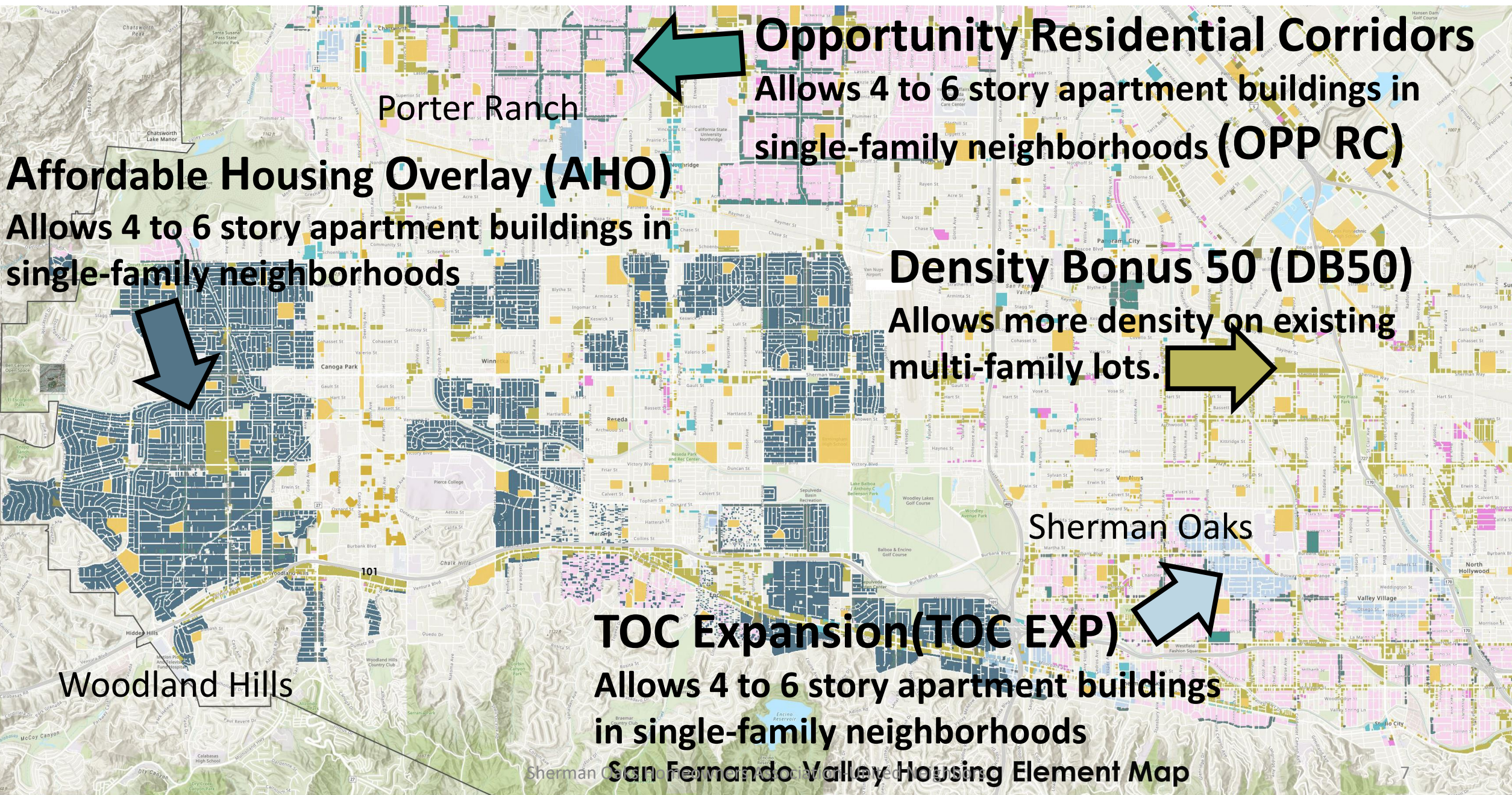


Porter Ranch

Sherman Oaks

Woodland Hills

Rezoning Multi-family and single-family neighborhoods happens like this...



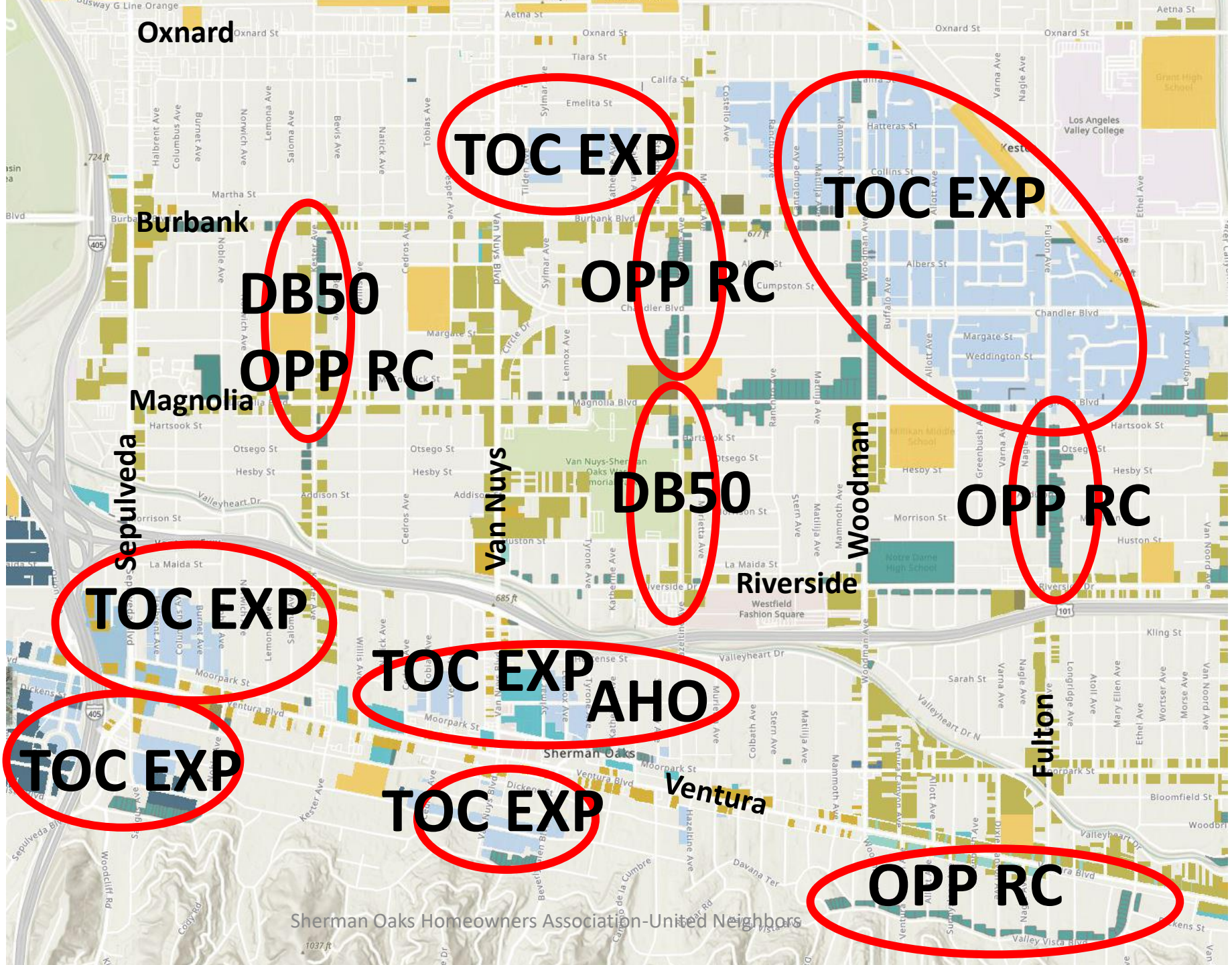
Opportunity Residential Corridors
Allows 4 to 6 story apartment buildings in single-family neighborhoods (OPP RC)




Affordable Housing Overlay (AHO)
Allows 4 to 6 story apartment buildings in single-family neighborhoods

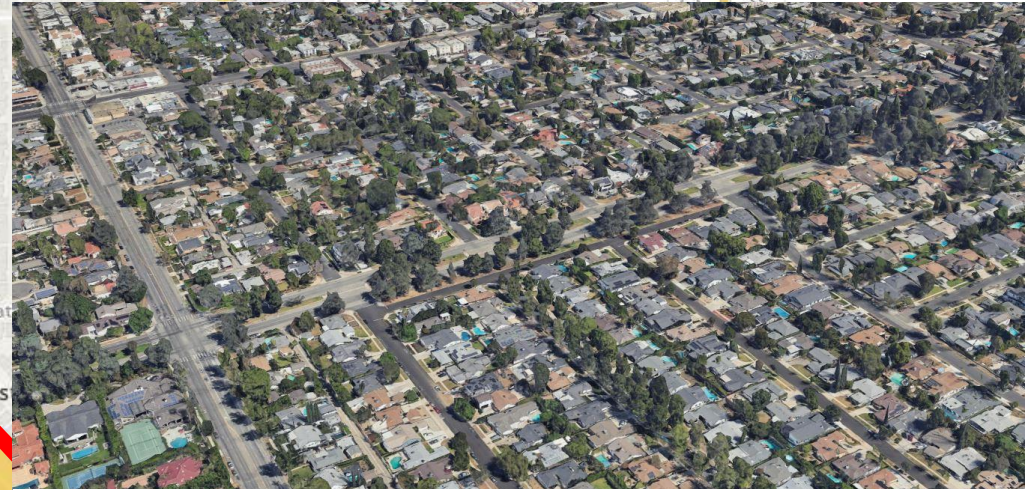
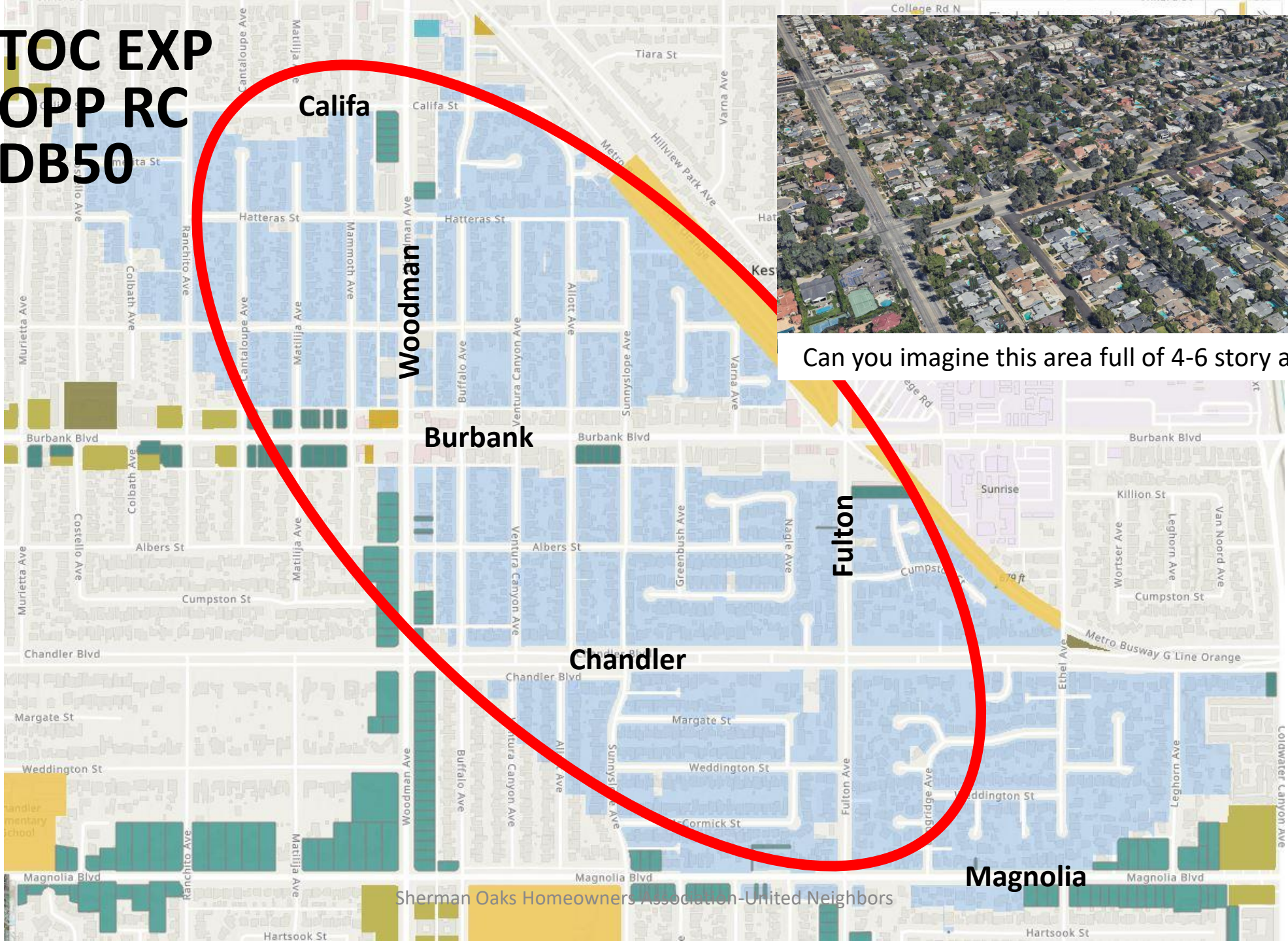
Density Bonus 50 (DB50)
Allows more density on existing multi-family lots.

TOC Expansion (TOC EXP)
Allows 4 to 6 story apartment buildings in single-family neighborhoods

IMPACT ON SHERMAN OAKS

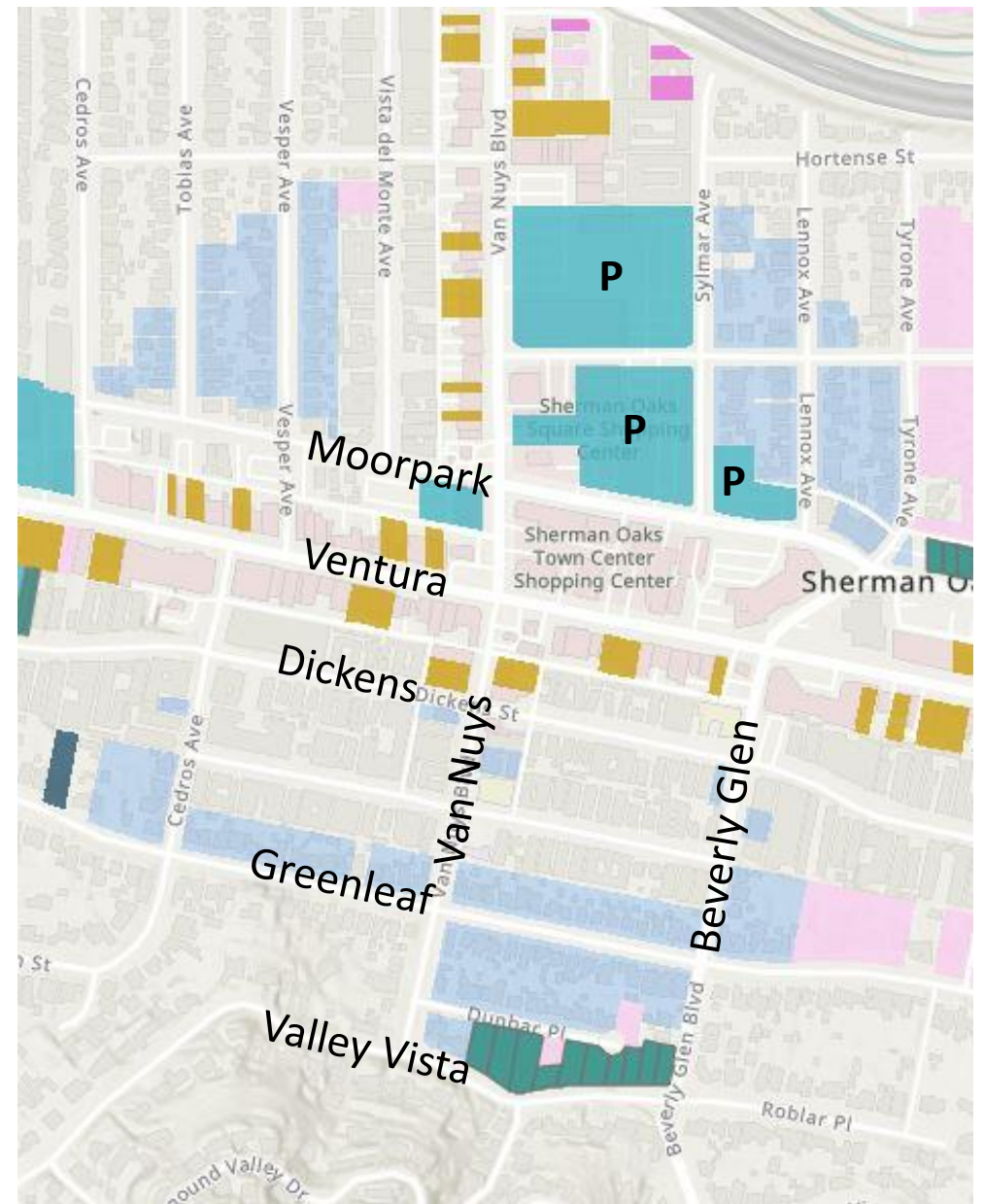
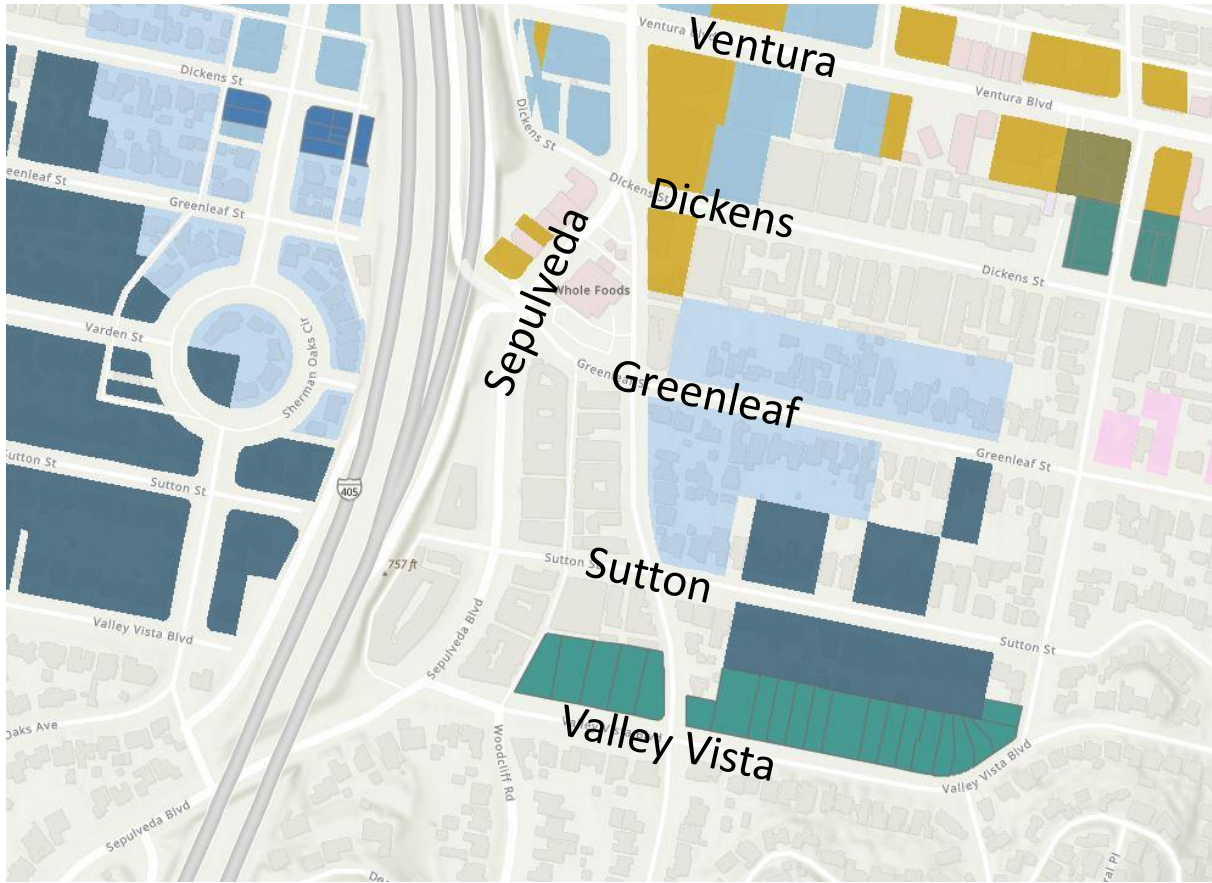


-  **TOC EXP**
-  **OPP RC**
-  **DB50**

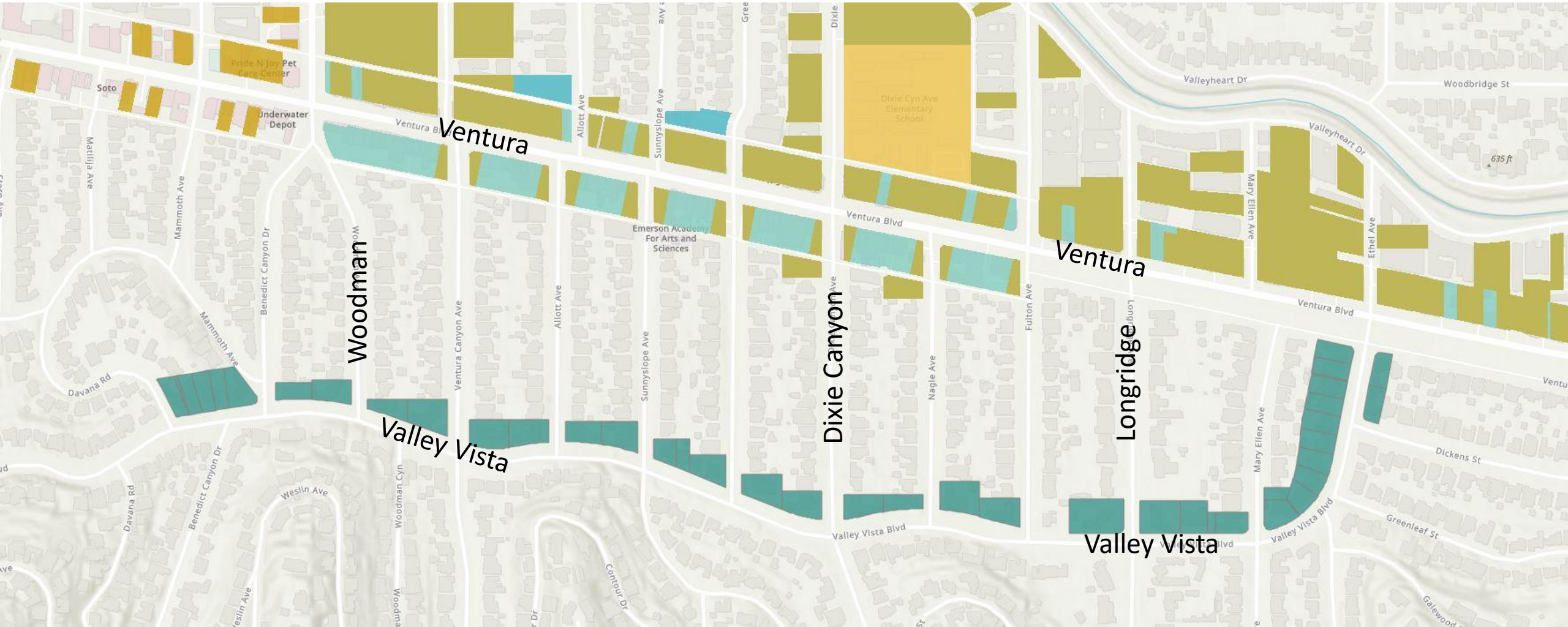


Can you imagine this area full of 4-6 story apartments?

- TOC EXP
- AHO
- OPP RC
- DB50



- OPP C**
- OPP RC**
- DB50**



Density Bonus 50 (DB50) will allow greater density in multi-family neighborhoods.



Density Bonus 50 (DB50) will allow greater density in multi-family neighborhoods.



Eliminating older more affordable units and causing displacement.

TOC EXP, OPP RC, & AHO will allow 4-6 story apartments in single-family neighborhoods



Sherman Oaks Homeowners Association-United Neighbors

TOC EXP, OPP RC, & AHO will allow 4-6 story apartments in single-family neighborhoods



This is now economically feasible.

This can happen in any of our single-family neighborhoods that would be rezoned



Sutton Street

This can happen in any of our single-family neighborhoods that would be rezoned



Sutton Street

This L.A. developer aims to tear down homes to build apartments where the city doesn't want them



Akhilesh Jha plans to build a 67-unit apartment building to replace this single-family home in Woodland Hills, one of three major redevelopment projects he's proposing in Los Angeles. (Mel Melcon / Los Angeles Times)

This could be the fate of Sherman Oaks.

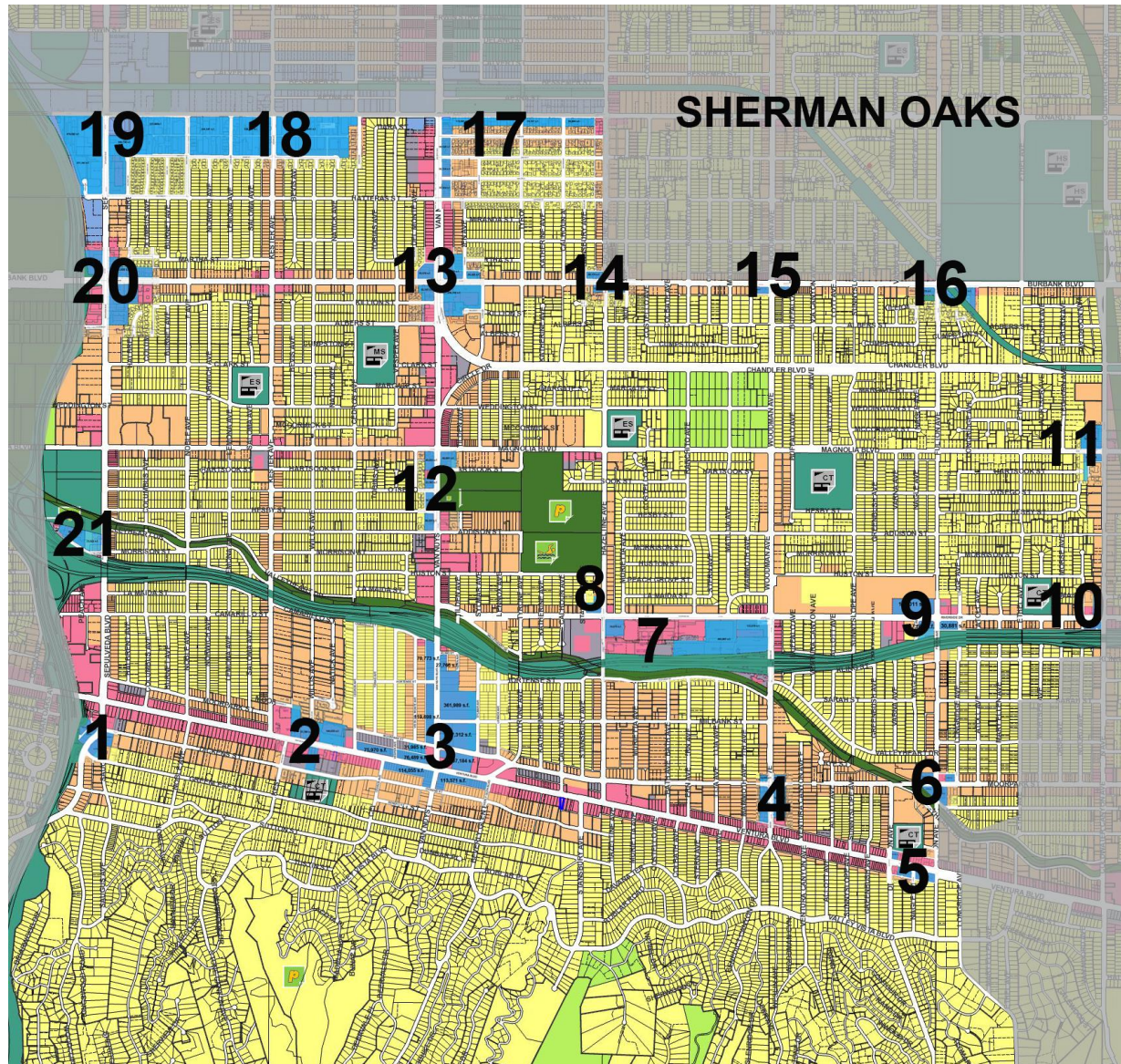
Don't trust the Planning Department to change their rezoning maps. We must insist our Councilmembers advocate for their communities and gets these maps changed.



Akhilesh Jha plans to build a 67-unit apartment building to replace this single-family home in Woodland Hills, one of three major redevelopment projects he's proposing in Los Angeles. (Mel Melcon / Los Angeles Times)

This could be the fate of Sherman Oaks.

Our Sherman Oaks “community-based housing” study does not rezone single-family or multi-family areas



- All sites are on underutilized commercial corridors
- Located throughout our community Affirmatively Furthering Fair Housing
- Revitalizing Sherman Oaks

These sites more than exceed the RHNA criteria for Sherman Oaks

On existing sites that are one-story, underutilized developments with vast areas of surface parking...and not identified for upzoning in the Housing Element and not currently zoned for significant amounts of housing.

Planning Dept. rezoning strategy

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Parking Zones (P)	1,032	1,978	1,978	0	780	4,736
Adaptive Reuse (ARO)	10,153	4,747	4,747	1,595	32,039	43,128
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Total	243,245	297,433	297,433	49,872	790,461	1,432,059

Remember,
to meeting the zoning
requirement of 255,000 units...
Planning is
rezoning for 1,400,000 units.

To put that in perspective...

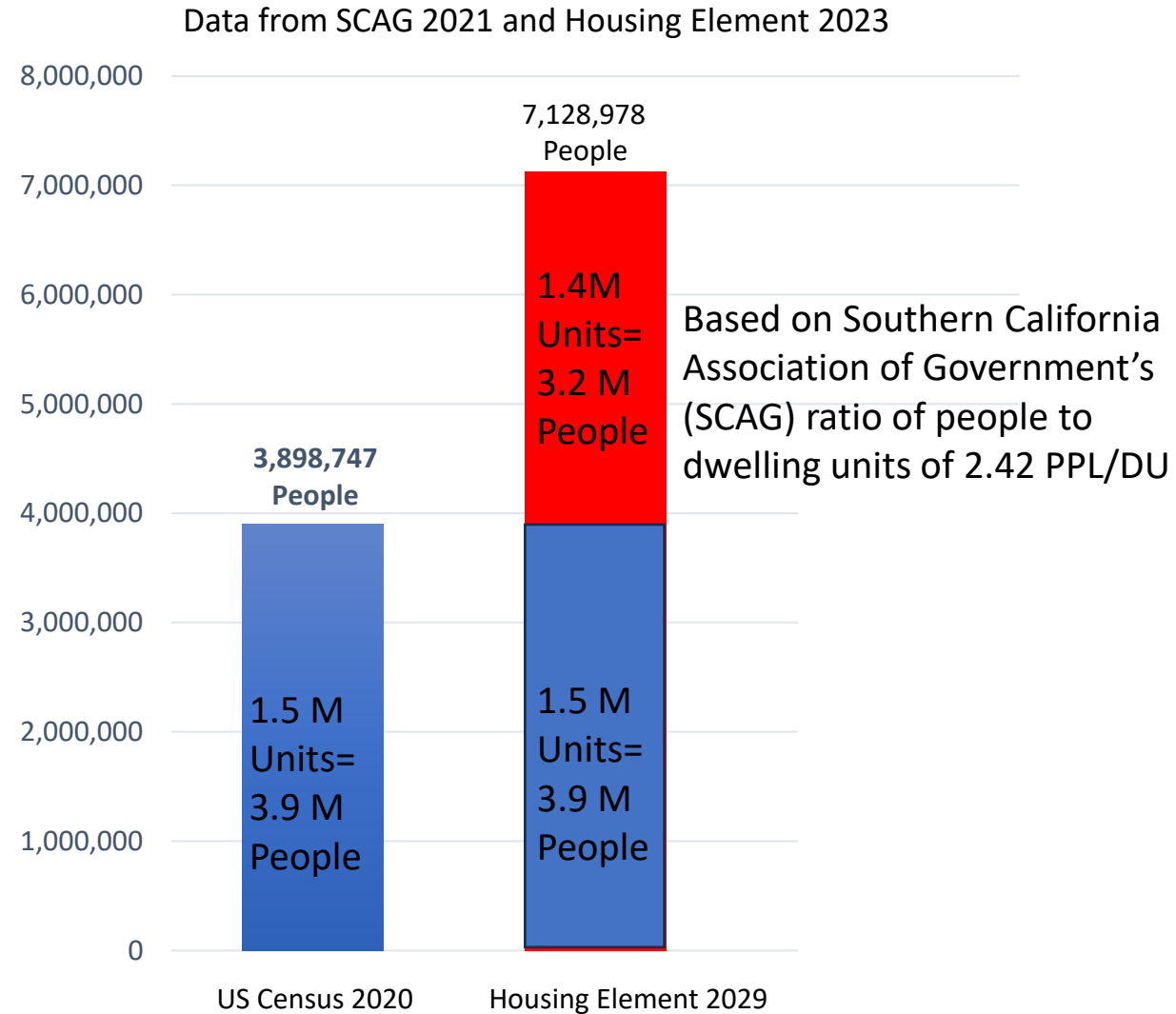
1,432,059 Total= 1,432,059 units (5.6 times more housing than required)

Existing verses proposed housing units

Data from SCAG 2021 and Housing Element 2023



LA Planning Department is zoning for an additional 3.2 Million people in the next 8 years.

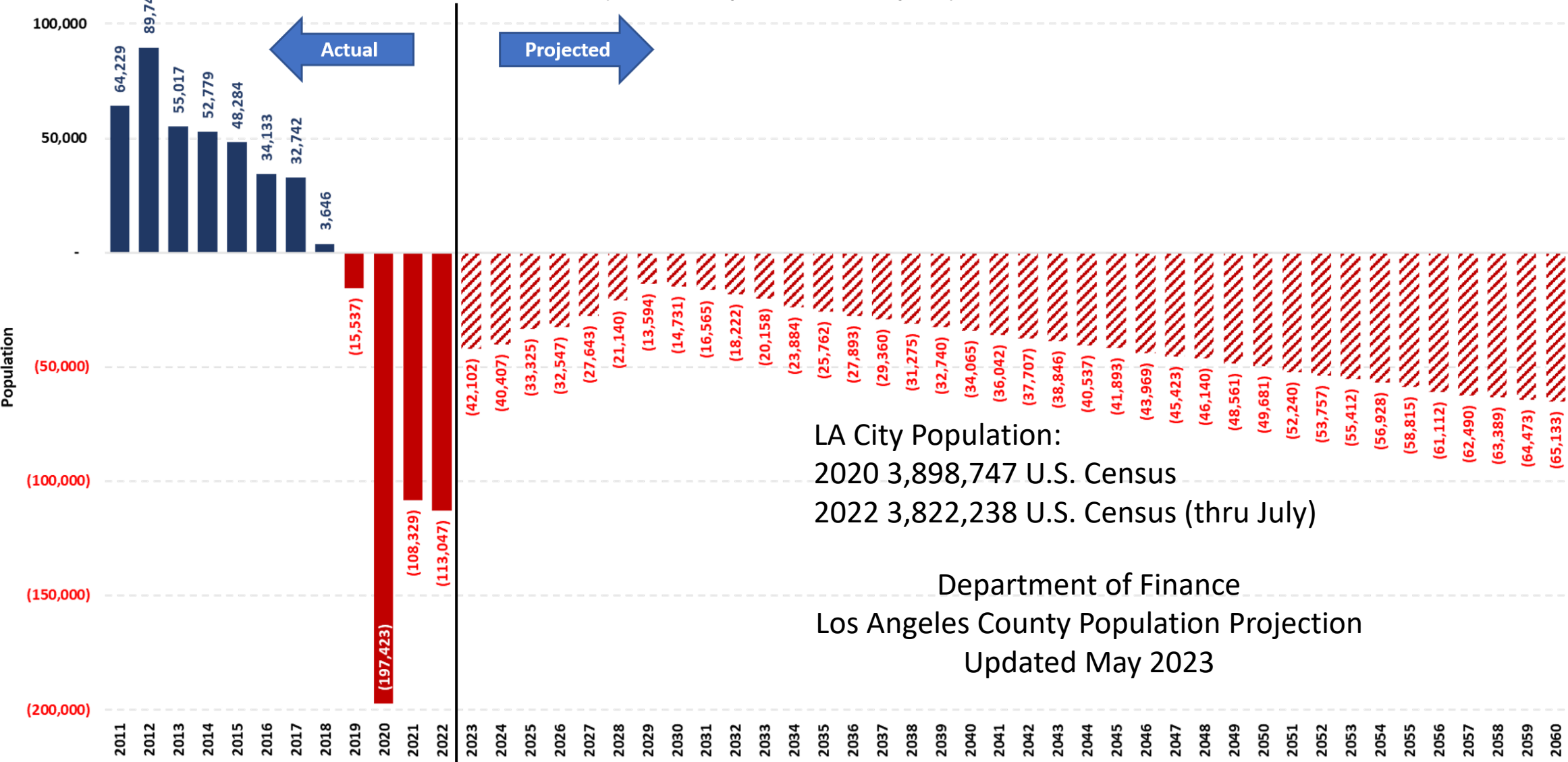


However, the State does not even project that magnitude of growth in LA County.

Annual Population Change 2010-2060

DoF 07-19-2023 Projections

(Incl. 2010 to 2019 from 07-19-2021 DoF Projections)



LA City Population:
 2020 3,898,747 U.S. Census
 2022 3,822,238 U.S. Census (thru July)

Department of Finance
 Los Angeles County Population Projection
 Updated May 2023

And neither does SCAG that projects less than 1 Million people in the next 25 years

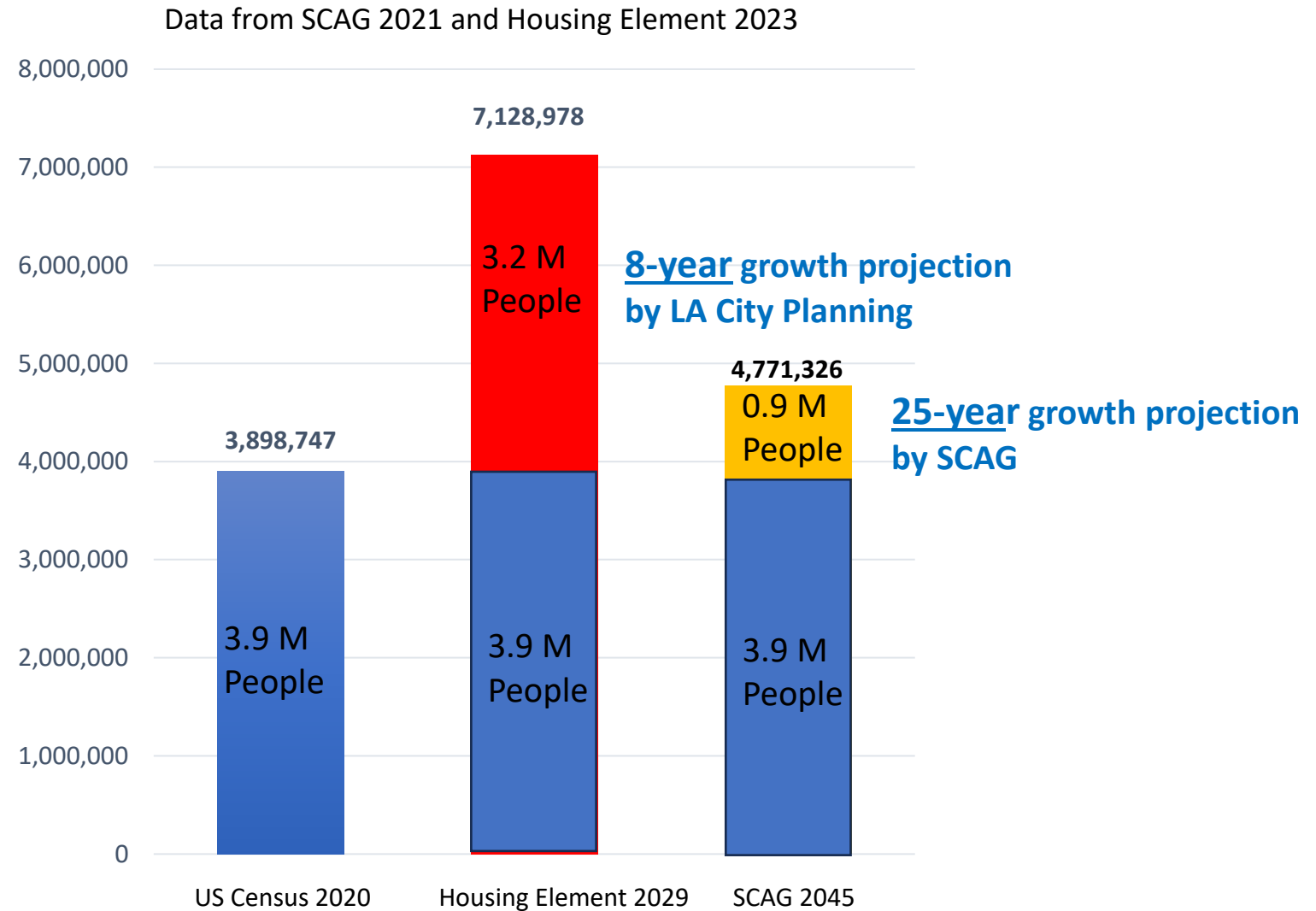
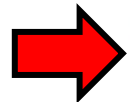
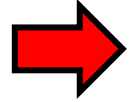
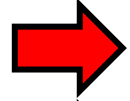
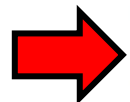


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DB 50	18,908	123,699	123,699	250	153,892	401,540
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Adaptive Reuse (ARO)	10,153	4,747	4,747	1,595	32,039	43,128
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Total	243,245	297,433	297,433	49,872	790,461	1,432,059



Eliminating overlays that affect residential neighborhoods, still leaves **760,000** units, much more than the 255,000 units required to meet RHNA.

Dangers to over zoning: over zoning will result in over building causing unnecessary stress on the city's finances, environment, infrastructure and change the socio-economic make up of communities as they absorb more market-rate units.

New Total= 760,000 units **(3.3X more housing than required)**

255,000 units are required to meet RHNA.

The recent Downtown and Hollywood Community Plans allow for a total of 259,500 new units.

Statistical, the RHNA goal has been met.

Table 4.19

Rezoning Strategy (RZ)	RZ				Moderate	Reconciling					Hollywood		Total	Remaining
	Abbrev.	Parcel Count	VLI Units	LI Units	Units	Market Rate	Items	Total Units	Market Rate	Affordable	Downtown	Plan (Mid Pt)	Planned	
Community and Neighborhood Planning	CPU	33,749	90,473	90,473	2,121	444,572	(1)	627,638	70.8%	29.2%	133,000	126,500	259,500	368,138
Residential Opportunity Corridors	OPP RC	3,477	29,093	29,093	-	16,901	(184)	74,903	22.6%	77.4%	-	-	-	74,903
Opportunity Avenues	OPP RC2	5,316	-	-	23,643	12	(12)	23,643	0.1%	99.9%	-	-	-	23,643
Commercial Opportunity Corridors	OPP C	667	1,194	1,194	-	2,859	1	5,248	54.5%	45.5%	-	-	-	5,248
Transit Opportunity Corridor Areas	TOPP C	272	-	-	-	1,022	-	1,022	100.0%	-	-	-	-	1,022
TOC Expansion in Higher Opportunity Areas	TOC EXP	11,792	27,811	27,811	-	94,780	-	150,402	63.0%	37.0%	-	-	-	150,402
50% Density Bonus (DB50)	DB50	18,908	123,699	123,699	250	153,892	-	401,540	38.3%	61.7%	-	-	-	401,540
Parking Zones	P	1,032	1,978	1,978	-	780	-	4,736	16.5%	83.5%	-	-	-	4,736
Adaptive Reuse	ARO	10,153	4,747	4,747	1,595	32,039	-	43,128	74.3%	25.7%	-	-	-	43,128
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Affordable Housing Overlay	AHO	34,034	10,198	10,198	-	25,120	-	45,516	55.2%	44.8%	-	-	-	45,516
Public Facility Zone	PF	6,407	2,072	2,072	-	2,972	-	7,116	41.8%	58.2%	-	-	-	7,116
Faith-Based Owned Properties (FBO)	FBO	2,865	1,273	1,273	-	1,006	-	3,552	28.3%	71.7%	-	-	-	3,552
Total (a)		243,289	295,955	295,955	49,872	790,473	47	1,432,302	55.2%	44.8%	133,000	126,500	259,500	1,172,802
RHNA			115,979	68,744	75,091	196,832	n/a	456,646	43.1%	56.9%	133,000	126,500	259,500	197,146
Rezoning Strategy Difference to RHNA			179,976	227,211	(25,219)	593,641	n/a	975,609	60.8%	39.2%				
Percent of RHNA			155.2%	330.5%	(33.6%)	301.6%	n/a	213.6%						

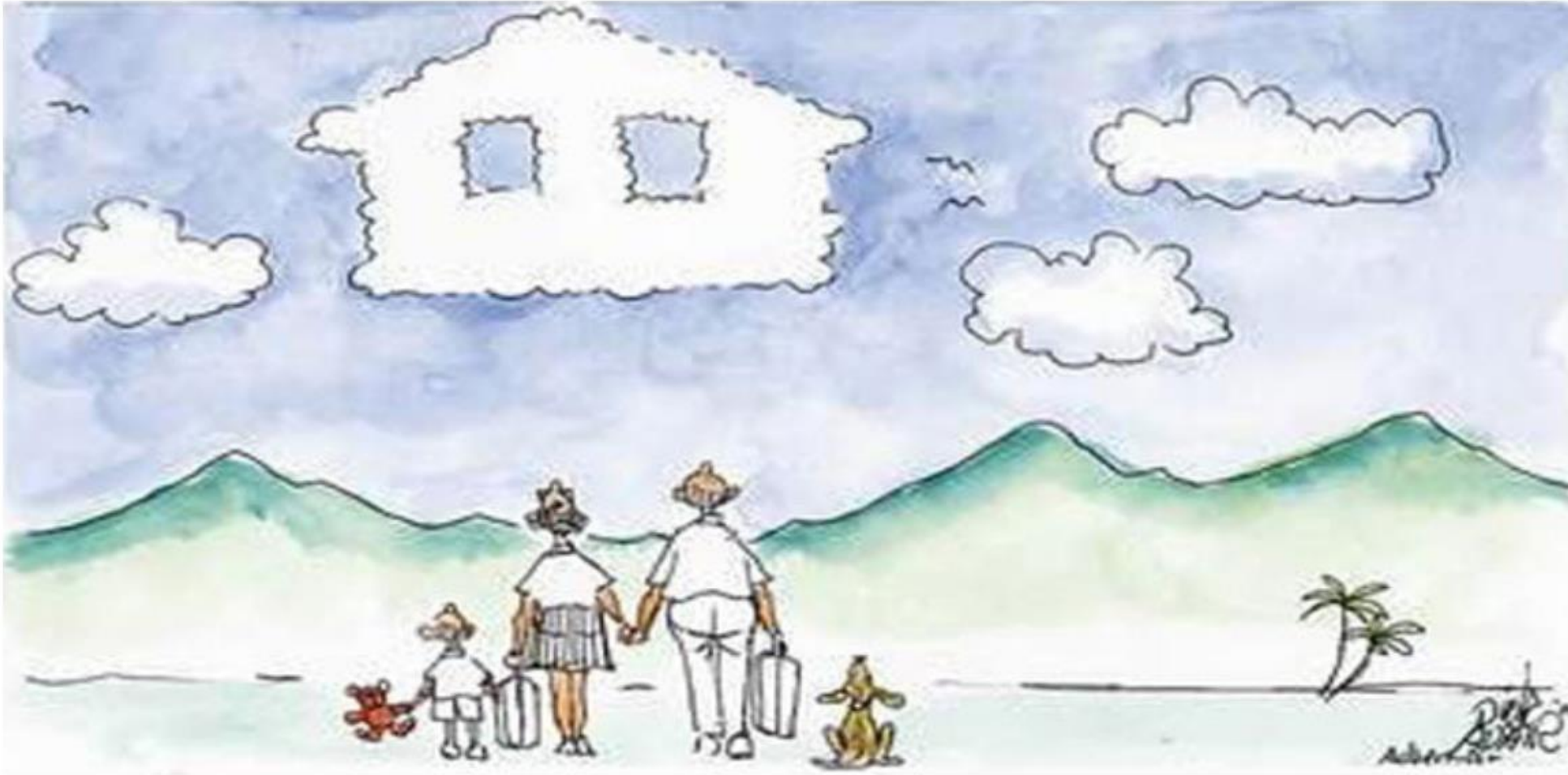
Unit totals do not agree to LA City Table 4.19 due to LA City table errors



Our population is not growing, it is shrinking.

It is time to focus on the **Existing Need of Affordable Housing** equitably distributed around Los Angeles

Housing affordability should not be a dream



Source: KADVACORP

These corridors are where we have the space, infrastructure, transit and the economy of scale to build meaningful amounts of affordable housing



The city can demand a greater percentage of affordable housing by incentivized rezoning, fee waivers, priority processing and financial assistance.

Why build apartments in single-family neighborhoods when there is so much underutilized commercial space?



Here is a theoretical example.

Instead of apartments here...



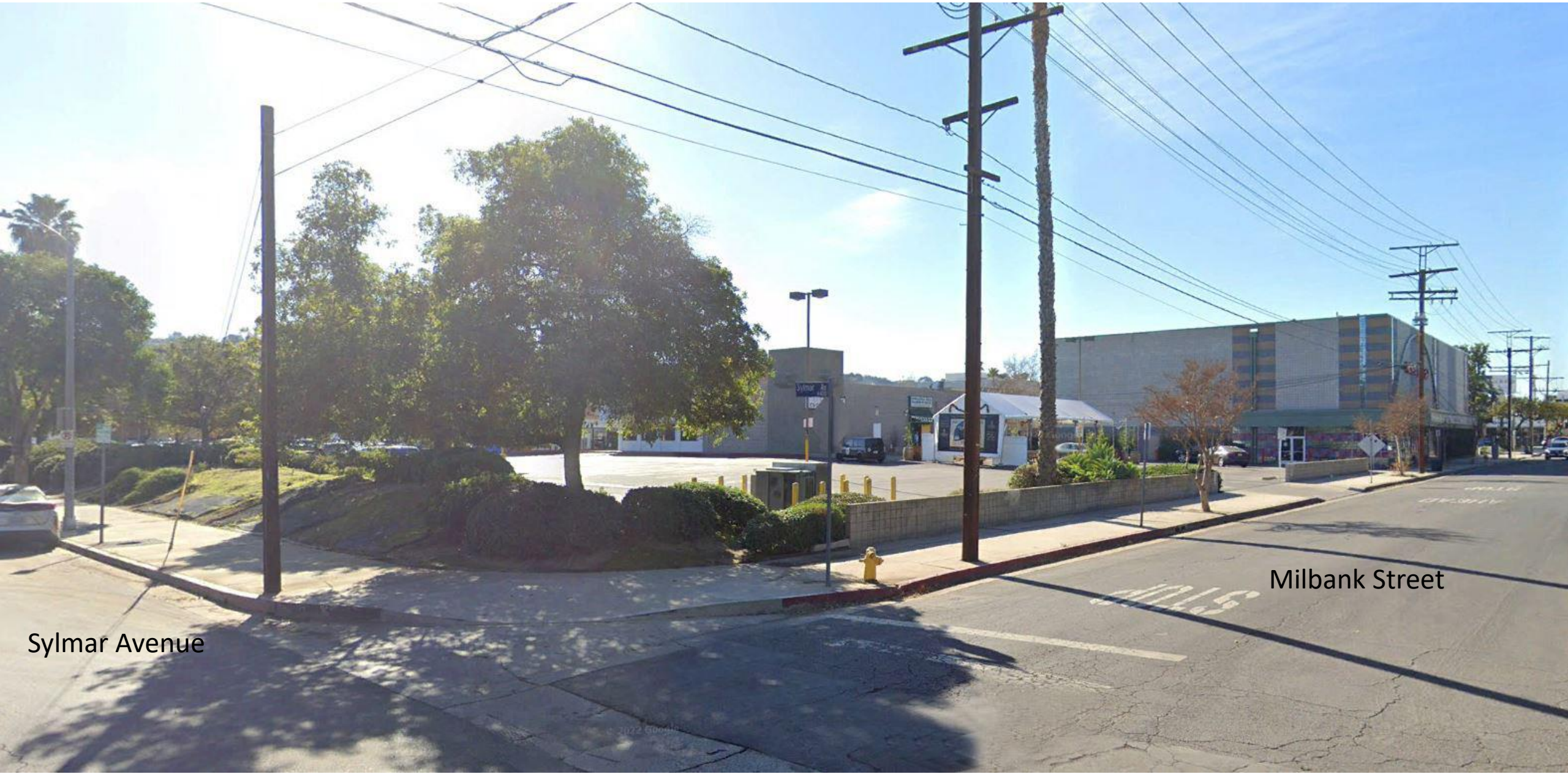
Here is a theoretical example.

Instead of apartments here...

attached mixed-income, single-family homes for sale.



**CREATING NEW AFFORDABLE, MIXED-INCOME ROW HOUSES
THIS IS AN OPPORTUNITY TO BUILD GENERATIONAL WEALTH**



Sylmar Avenue

Milbank Street



Sylmar Avenue

Milbank Street

**CREATING NEW AFFORDABLE, INTEGRATED NEIGHBORHOODS
WHILE REVITALIZING THE COMMERCIAL AREAS**

Carefully rezoning corridors can...



Carefully rezoning corridors can...



- **Revitalize communities**
- **Provide significant amounts of mixed income housing, including enabling home ownership**
- **Respect existing neighborhoods and integrates significant amounts of affordable housing**

The City must become better negotiators



- **Rezoning of commercial properties should not be a give-away to developers.**
- **Rezoning these properties should require more affordable units, upwards of 30%**
- **State and City laws now keep granting more benefits to developers and asking less affordable units in return**




LA Times- Nov 2022

Karen Bass “believes that many single-family-home neighborhoods — should remain off-limits for greater density. ”

“Bass pointed to Sherman Oaks...proposed building on commercial strips in their neighborhood instead, which she believed was a fair alternative.”

“I would not, and I do not believe you force things on people. But you do involve people and let them come up with their own solutions. The attitude has to be, we all have skin in the game and given that...how do you deal with it in your neighborhood.”

HOUSING ELEMENT - CD4

-  TOC EXP 2.5:1 FAR 13-32 Units/site
-  AHO 1.75:1 FAR, 2.5 Stories, plus Density Bonus
-  DB50

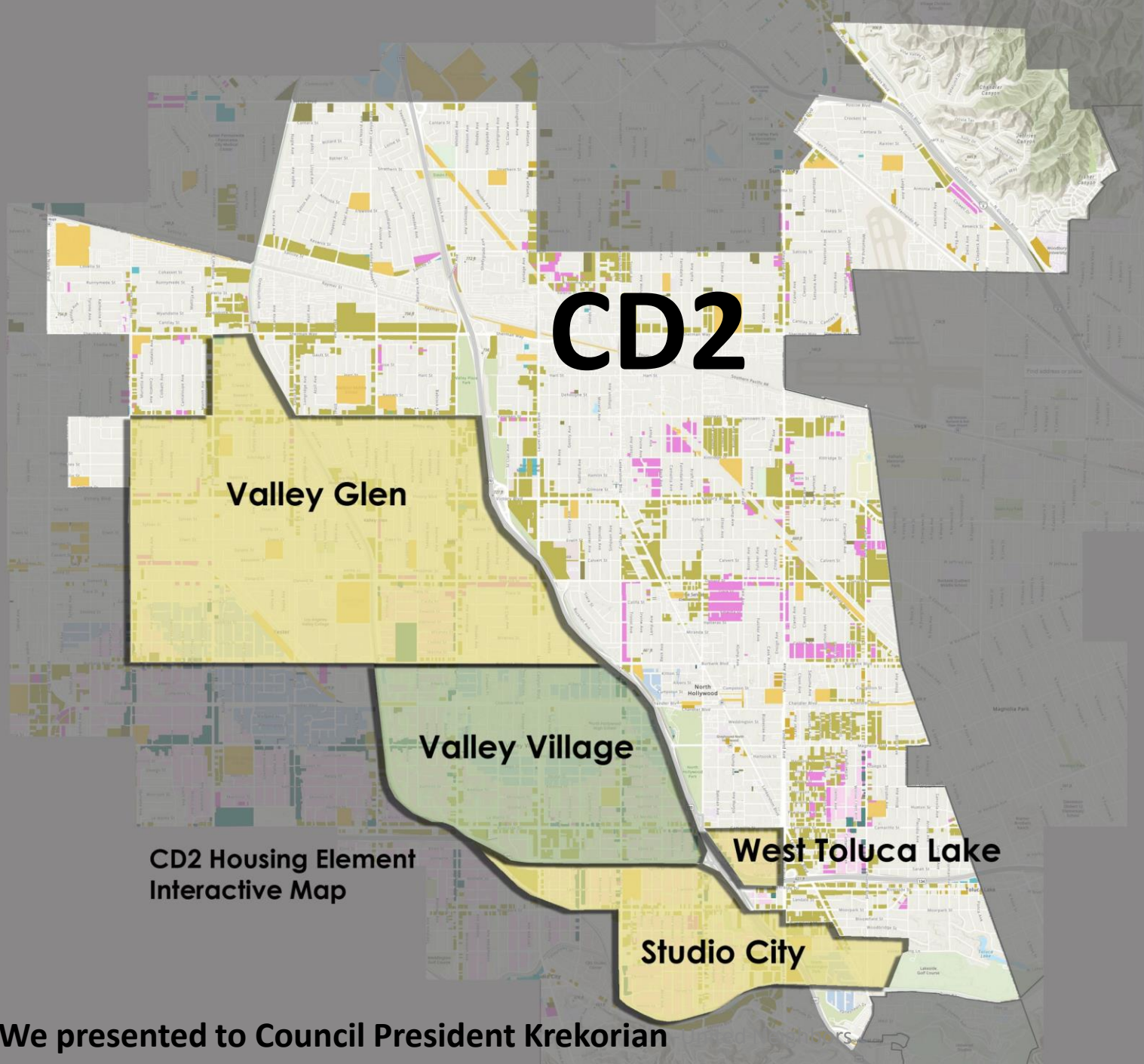
Encino

Sherman Oaks

Studio City

Los Feliz

We presented to Councilmember Raman



CD2

Valley Glen

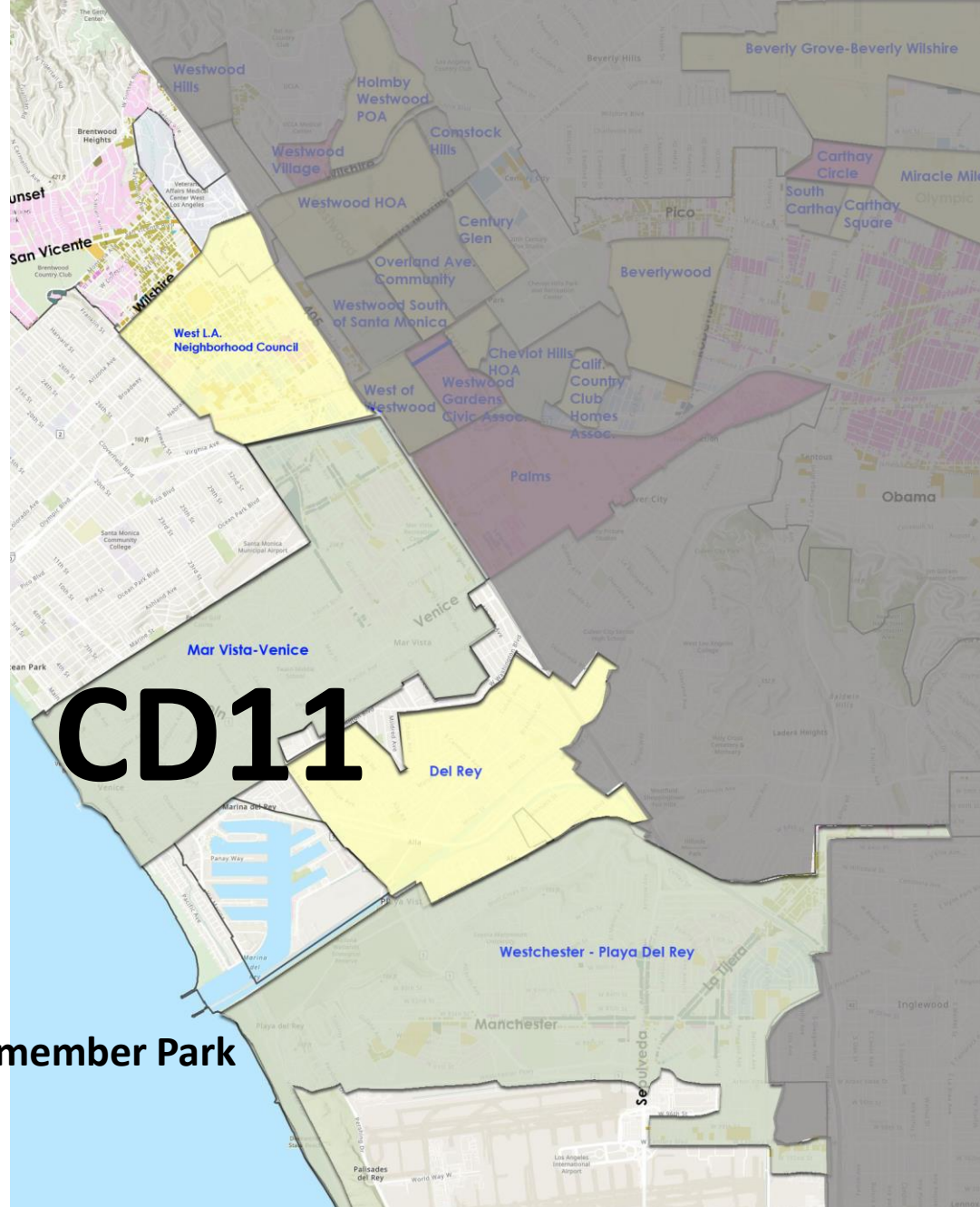
Valley Village

West Toluca Lake

Studio City

CD2 Housing Element
Interactive Map

We presented to Council President Krekorian

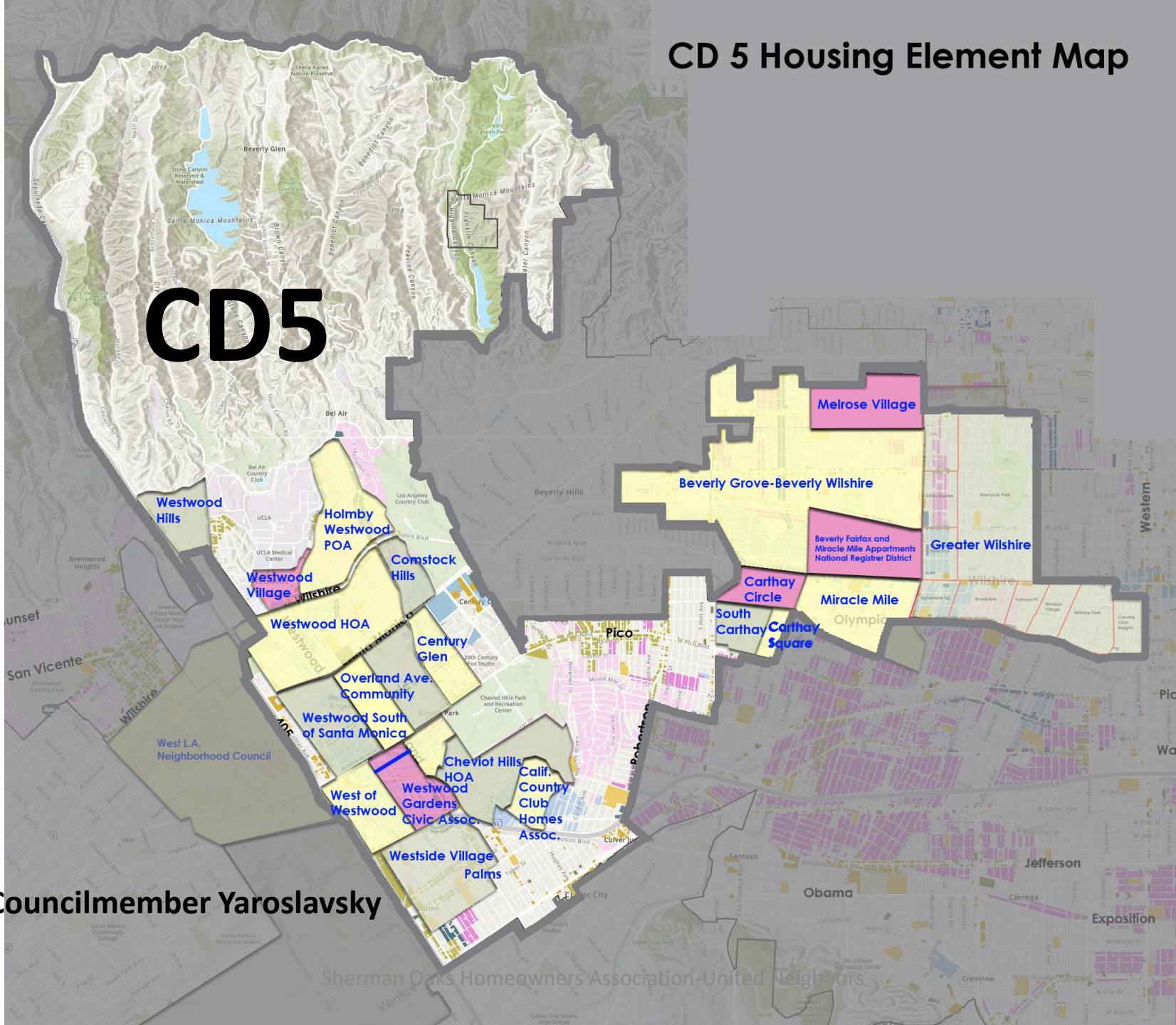


CD11

We presented to Councilmember Park

CD 5 Housing Element Map

CD5



We presented to Councilmember Yaroslavsky

We must remove the needless rezoning of our residential neighborhoods from the Housing Element maps before those maps are put into the environmental review process late this Fall

Once properties are rezoned, neighborhoods stay vulnerable to the whims of developers forever